



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

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WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: LANDS OF WESTPORT MANAGEMENT**  
**PROJECT NO.: 2015-12**  
**PROJECT LOCATION: SECTION 47, BLOCK 1, LOT 70**  
**REVIEW DATE: 30 NOVEMBER 2015**  
**MEETING DATE: 3 DECEMBER 2015**  
**PROJECT REPRESENTATIVE: MERCURIO-NORTON-TAROLLI-MARSHALL**

1. Plans have been revised pursuant to a field meeting with representatives of this office , Jim Osborne and the Applicants Engineer. Site distance improvements including removal of several trees within the proposed right of way as well as existing dead tree limbs have been noted on the plans. Condition of approval should be that existing tree removal and limbs should be removed prior to filing of the subdivision map.
2. A catch basin and pipe has been proposed at the intersection at the common driveways to positively convey runoff across Gardnertown Road in direction of the stream. An easement should be provide in favor of the Town for that portion of the pipe which is outside the proposed right of way.
3. Common driveway access and maintenance should be reviewed by Mike Donnelly's office.
4. A Public Hearing is required for the project.
5. This office would recommend a Negative Declaration based on a review of the plans, reports and information provided.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

\_\_\_\_\_  
Patrick J. Hines  
Principal



45 Main Street · P.O. Box 166  
Pine Bush, New York 12566  
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William G. Norton, L.S.  
Alphonse Mercurio, L.S.

Lawrence J. Marshall, P.E.  
John Tarolli, P.E., L.S.

Zachary A. Peters, P.E.  
Kenneth W. Vriesema, L.S.

November 12, 2015

Planning Board  
Town of Newburgh  
308 Gardnertown Road  
Newburgh, NY 12550

Re: Job No. 3882  
Lands of Westport Management, LLC  
Tax Map Parcel: 47-1-70  
Town of Newburgh, Gardnertown Road  
4-Lot Residential Subdivision  
*Town of Newburgh Project #2015-12*

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Twelve (12) copies of the revised Subdivision Plan
2. Twelve (12) copies of the revised Project Narrative
3. Twelve (12) copies of the Stormwater Pollution Prevention Plan (SWPPP)

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers dated November 4, 2015:

1. The site plan has been revised to show a proposed catch basin and culvert under Gardnertown Road at the location of the proposed common driveways as per comments raised at a field meeting with the Planning Board Engineer, Patrick Hines, and Town Engineer, James Osbourne, P.E..

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers dated June 12, 2015:

1. A variance for the front yard setback for the existing dwelling on Lot 1 was granted by the Town of Newburgh Zoning Board of Appeals (ZBA) on October 22, 2015. A note has been added to the Zoning Legend on sheets 1 and 2 to this regard.
2. The existing barn on Lot 2 will be removed.
3. As described above, the plans have been revised to show a proposed catch basin and culvert under Gardnertown Road to convey runoff from the common driveways.
4. Common driveway agreements are being prepared by the applicant's attorney and will be submitted for review as soon as they have been completed.
5. We have reviewed the June 18, 2015 letter from the Planning Board Attorney regarding the portion of the ±3.3 acre portion of tax parcel 47-1-70 located between Gardnertown

Road and NYS Route 52. This portion of land is proposed to be hooked to Lot 1 on the northeasterly side of Gardnertown Road. Existing site constraints, including the required separation to the stream, location of the floodplain, and area of steep slopes do not leave sufficient area for the installation of an onsite sewage disposal system. As such, the ±3.3 acre area does not constitute a buildable lot based upon current Town of Newburgh Zoning Code (Town Code), New York State Department of Health (NYSDOH), and Orange County Department of Health (OCDOH) regulations. Notwithstanding the definition of 'subdivision' noted in the Town Code, we believe this area should remain hooked to Lot 1 to avoid creating an unbuildable lot.

6. The subdivision plan has been revised to clearly identify the locations of the proposed common driveways and existing driveways to be removed. Lots 2 & 3 will be served by a common driveway at the location of the existing access drive serving the existing barn to be removed. Lots 1 & 4 will be served by a common driveway approximately 75 feet north of the existing driveway serving the existing dwelling. The Project Narrative has been revised to describe the proposed site access. Copies of the subdivision plan and Project Narrative have been forwarded to the Highway Superintendent for review, as requested.

Please place this project on the next available meeting agenda for discussion.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at [zpeters@mnt-pc.com](mailto:zpeters@mnt-pc.com).

Sincerely,



Zachary A. Peters, P.E.

ZP/zp  
Enc.

cc: Westport Management, LLC  
Patrick Hines (w/ all enc.)  
Michael Donnelly, Esq. (w/ all enc.)



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## Project Narrative

For

### Westport Management Subdivision

Gardnertown Road  
Town of Newburgh  
Orange County, New York  
**Town of Newburgh Project #2015-12**

*Prepared for:*

Westport Management, LLC  
33 S. Plank Road  
Newburgh, NY 12550

*Prepared by:*

Mercurio-Norton-Tarolli-Marshall, P.C.  
P. O. Box 166  
45 Main Street  
Pine Bush, NY 12566  
(845) 744-3620



*Prepared:*

May 28, 2014

*Last Revised:*

November 10, 2014

Project Narrative for  
Westport Management Subdivision

A. Description of Project Site

The Westport Management Subdivision is a proposed four (4) lot residential subdivision. The project involves the creation of three (3) single-family dwelling lots and one (1) existing single-family dwelling. The project is located on the northeasterly side of Gardnertown road in the town of Newburgh, County of Orange, State of New York. The site is designated as tax map parcel: Section 47, Block 1 Lot 70. The project site contains a total of 10.324 Acres located in the R-1 zoning district.

B. Description of the Project

Lot 1, containing the existing single-family dwelling and barn, has an area of 46,484 square feet on the northerly side of Gardnertown road, greater than the 40,000 square foot minimum required lot size. The single-family dwelling is served by an individual well and sewage disposal system which will remain. In addition to the 46,484 square foot area, it is proposed that the 3.383 acres on the southerly side of Gardnertown Road be hooked to Lot 1. This area is unbuildable under current Town of Newburgh and New York State Department of Health regulations. Lots 2, 3, and 4 are proposed single-family residential lots with areas of 114,156 square feet, 54,617 square feet, and 55,179 square feet, respectively. All three lots are larger than the 40,000 square foot minimum lot size required for single-family residential lots. All three lots will meet the required zoning setbacks.

The sizes of the buildable area within the setback are: Lot 1 – 14,092 square feet, Lot 2 – 35,852 square feet, Lot 3 – 20,152 square feet, Lot 4 – 15,394 square feet. The buildable areas for all lots exceed the minimum area required for single-family dwellings.

C. Description of Proposed Improvements

The site is currently accessed by two gravel driveways serving the existing house (easterly drive) and barn (westerly drive). Lots 2 & 3 will be served by a proposed common driveway at the location of the existing driveway on the north edge of the property. Based upon comments made by the Town of Newburgh Planning Board at the June 18, 2015 meeting, the easterly driveway serving the existing dwelling on Lot 1 will be abandoned. Access to Lot 1 will be provided by a proposed common driveway serving Lots 1 & 4. The common driveway is located approximately 75 feet north of the existing easterly driveway. The proposed improvements will result in an increase in the sight distance from the existing easterly driveway.

D. Stormwater Management

The total proposed area of disturbance is approximately 2.4 acres. Erosion and sediment control measures will be installed during construction to prevent the transportation of sediment off-site. Silt fencing will be installed below disturbed areas and stabilized construction entrances will be installed at each of the proposed driveway entrances. Erosion and sediment control measures will be maintained at all times during construction.

Project Narrative for  
Westport Management Subdivision

E. Access

The existing house and barn on the project parcel are currently served by two (2) driveways accessing Gardnertown Road. The two (2) existing driveways do not meet the minimum required sight distance of 300 feet specified in §161-38.C of the Town Code in the easterly direction. Sight distance in the westerly direction for both driveways exceeds the required 300 feet.

The project site contains approximately 300 feet of frontage along Gardnertown Road to the east of the existing dwelling; however, this area is not accessible due to the steep bank along the edge of the road. A proposed entrance is not feasible at this location without extensive grading both along the roadway and into the project site.

Lots 2 & 3 will be served by a proposed common driveway at the location of the existing driveway on the north edge of the property. This driveway currently serves the existing barn, which will be removed. At the request of the Planning Board, the driveway serving the existing dwelling on Lot 1 will be abandoned. Lots 1 & 4 will be served by a proposed common driveway located between the two existing driveways on the project site. The proposed common driveway is located approximately 75 feet northwest of the existing driveway serving the dwelling on Lot 1. The proposed driveways have been located to optimize the sight distance and minimize the amount of grading necessary along Gardnertown Road.

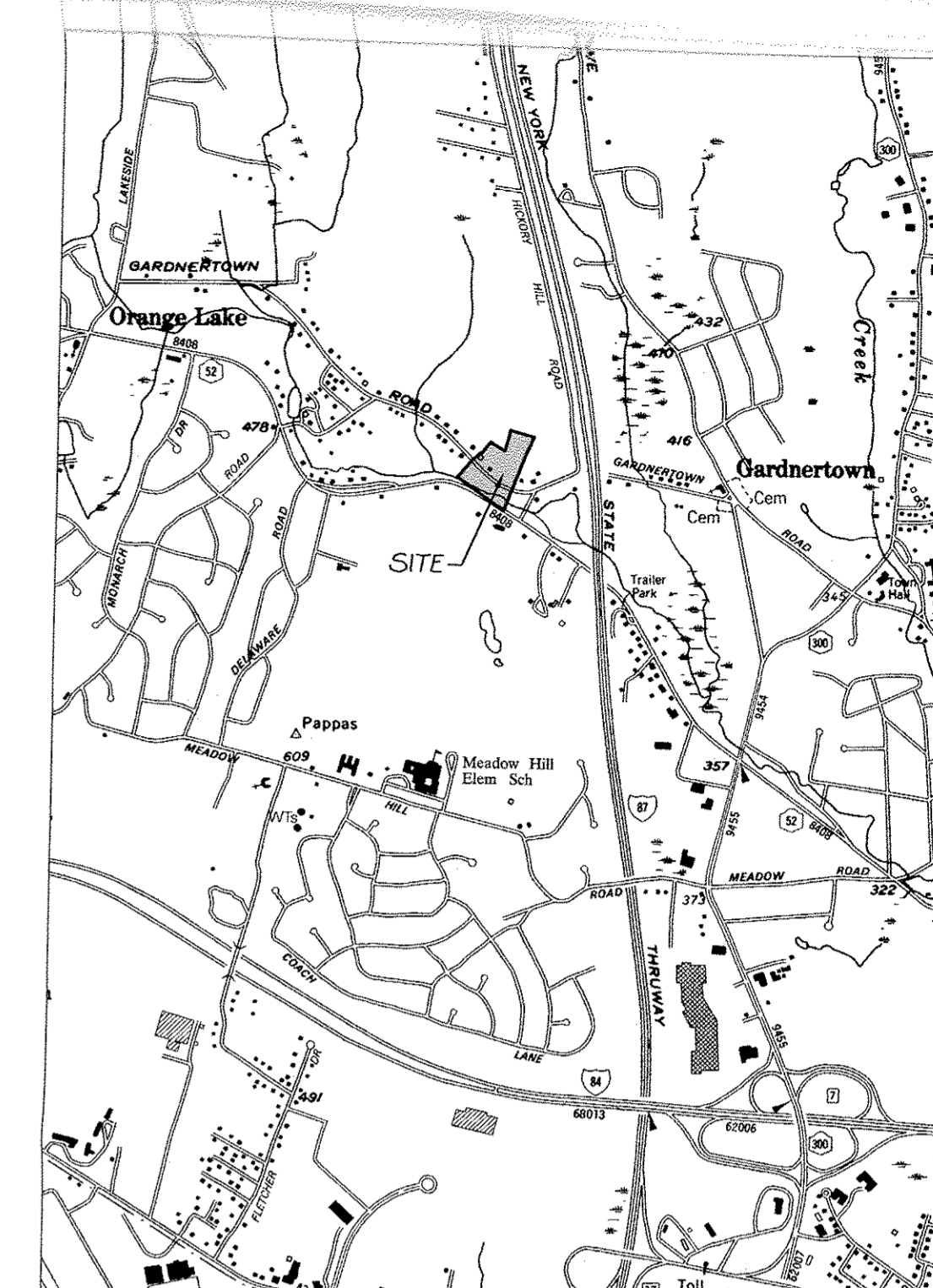
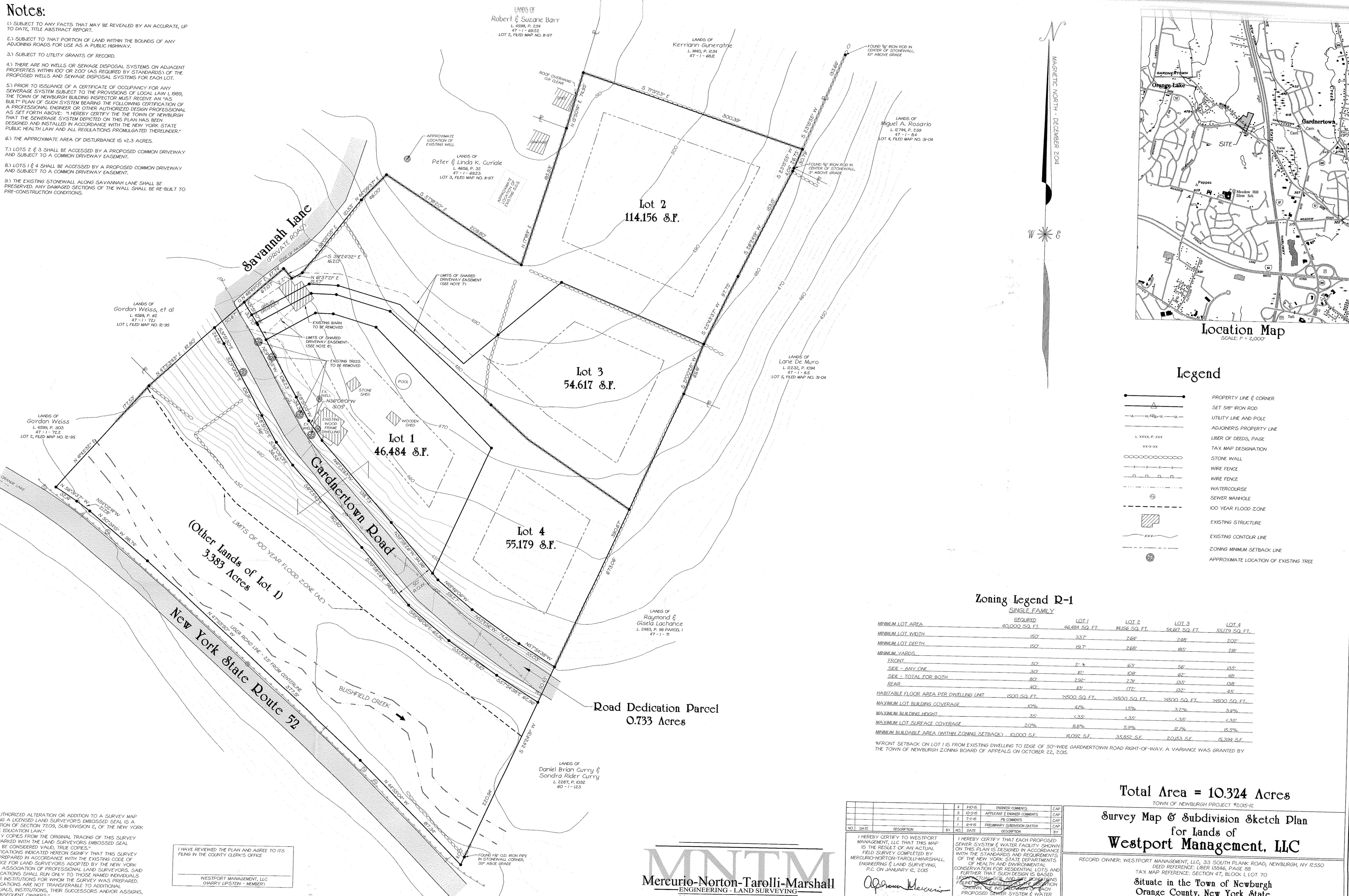
F. Zoning

Lot 1 has a front yard setback of approximately two (2) feet to the existing single-family dwelling. The minimum required front setback in the R-1 Zone is 50 feet. The existing parcel contains land on the north and south side of Gardnertown Road and includes ownership of the roadbed. Gardnertown Road is a user road through this parcel. As part of this subdivision, a dedication of Gardnertown Road to the Town of Newburgh is being proposed. The dedication of the roadway results in the insufficient front yard setback for the existing home on Lot 1.

A variance for the front yard setback to the existing dwelling on Lot 1 was granted by the Town of Newburgh Zoning Board of Appeals on October 22, 2015.

**Notes:**

- 1) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 2) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ANY ADJOINING ROADS FOR USE AS A PUBLIC HIGHWAY.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) THERE ARE NO WELLS OR SEWAGE DISPOSAL SYSTEMS ON ADJACENT PROPERTIES WITHIN 100' OR 200' (AS REQUIRED BY STANDARDS) OF THE PROPOSED WELLS AND SEWAGE DISPOSAL SYSTEMS FOR EACH LOT.
- 5) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SEWERAGE SYSTEM SUBJECT TO THE PROVISIONS OF LOCAL LAW 1, 1989, THE TOWN OF NEWBURGH BUILDING INSPECTOR MUST RECEIVE AN "AS BUILT" PLAN OF SUCH SYSTEM BEARING THE FOLLOWING CERTIFICATION OF A PROFESSIONAL ENGINEER OR OTHER AUTHORIZED DESIGN PROFESSIONAL AS SET FORTH ABOVE: "I HEREBY CERTIFY THAT THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."
- 6) THE APPROXIMATE AREA OF DISTURBANCE IS 42.3 ACRES.
- 7) LOTS 2 & 3 SHALL BE ACCESSED BY A PROPOSED COMMON DRIVEWAY AND SUBJECT TO A COMMON DRIVEWAY EASEMENT.
- 8) LOTS 1 & 4 SHALL BE ACCESSED BY A PROPOSED COMMON DRIVEWAY AND SUBJECT TO A COMMON DRIVEWAY EASEMENT.
- 9) THE EXISTING STONEWALL ALONG SAVANNAH LANE SHALL BE PRESERVED. ANY DAMAGED SECTIONS OF THE WALL SHALL BE RE-BUILT TO PRE-CONSTRUCTION CONDITIONS.



**Location Map**  
SCALE: 1" = 2,000'

**Legend**

- PROPERTY LINE & CORNER
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**Zoning Legend R-1**  
SINGLE FAMILY

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA	40,000 SQ. FT.	46,484 SQ. FT.	114,156 SQ. FT.	54,617 SQ. FT.	55,179 SQ. FT.
MINIMUM LOT WIDTH	150'	337'	269'	248'	202'
MINIMUM LOT DEPTH	150'	197'	268'	185'	218'
MINIMUM YARDS					
FRONT	50'	2'-3"	63'	56'	135'
SIDE - ANY ONE	30'	82'	108'	62'	48'
SIDE - TOTAL FOR BOTH	80'	292'	236'	135'	138'
REAR	40'	83'	172'	132'	45'
HABITABLE FLOOR AREA PER DWELLING UNIT	1500 SQ. FT.	21500 SQ. FT.	21500 SQ. FT.	21500 SQ. FT.	21500 SQ. FT.
MAXIMUM LOT BUILDING COVERAGE	10%	4.7%	15%	3.2%	3.4%
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'	<35'	<35'
MAXIMUM LOT SURFACE COVERAGE	20%	8.6%	5.9%	12.1%	15.5%
MINIMUM BUILDABLE AREA (WITHIN ZONING SETBACK)	10,000 S.F.	14,082 S.F.	35,852 S.F.	20,153 S.F.	15,394 S.F.

\*FRONT SETBACK ON LOT 1 IS FROM EXISTING DWELLING TO EDGE OF 50'-WIDE GARDNERTOWN ROAD RIGHT-OF-WAY. A VARIANCE WAS GRANTED BY THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON OCTOBER 22, 2015.

**Total Area = 10,324 Acres**  
TOWN OF NEWBURGH PROJECT #2015-12

**Survey Map & Subdivision Sketch Plan**  
for lands of  
**Westport Management, LLC**

RECORD OWNER: WESTPORT MANAGEMENT, LLC, 33 SOUTH PLANK ROAD, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 13846, PAGE 88  
TAX MAP REFERENCE: SECTION 47, BLOCK 1, LOT 70  
**Situate in the Town of Newburgh**  
**Orange County, New York State**  
Scale 1"=50' April 2015  
ORIGINAL SURVEY COMPLETED: JANUARY 12, 2015

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."  
"ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."  
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

I HAVE REVIEWED THE PLAN AND AGREE TO ITS FILING IN THE COUNTY CLERK'S OFFICE  
WESTPORT MANAGEMENT, LLC  
(HARRY LIPSTEIN - MEMBER)

**MNTM**  
**Mercurio-Norton-Tarolli-Marshall**  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F:(845)744.3805 Email: mnt-pe@mnt-pe.com

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	12-15-14	ENGINEER COMMENTS	ZAP	1	12-15-14	ENGINEER COMMENTS	ZAP
2	12-15-14	APPLICANT & ENGINEER COMMENTS	ZAP	2	12-15-14	APPLICANT & ENGINEER COMMENTS	ZAP
3	12-15-14	PRELIMINARY SUBDIVISION SKETCH	ZAP	3	12-15-14	PRELIMINARY SUBDIVISION SKETCH	ZAP

I HEREBY CERTIFY TO WESTPORT MANAGEMENT, LLC THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON JANUARY 12, 2015

I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND FURTHER THAT SUCH DESIGN IS BASED UPON ACTUAL FIELD AND OFFICE OBSERVATIONS FOUND ON EACH LOT AND THE POSITIONS SHOWN ON THIS PLAN. EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

ALPHONSE MERCURIO, P.E. 1256602

MAGNETIC NORTH - DECEMBER 2014

LANDS OF  
Robert & Suzane Barr  
L. 4598, P. 254  
47-1-69.22  
LOT 2, FILED MAP NO. II-97

LANDS OF  
Kerriann Guneratne  
L. #40, P. 1234  
47-1-68/2

LANDS OF  
Peter & Linda K. Curiale  
L. 4656, P. 32  
47-1-69.23  
LOT 3, FILED MAP NO. II-97

LANDS OF  
Lane De Myro  
L. 1232, P. 1094  
47-1-8.5  
LOT 5, FILED MAP NO. 3I-04

LANDS OF  
Raymond &  
Gisela Lachance  
L. 2483, P. 98 PARCEL 1  
47-1-71

**Notes:**

- 1.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 2.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ANY ADJOINING ROADS FOR USE AS A PUBLIC HIGHWAY.
- 3.) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4.) THERE ARE NO WELLS OR SEWAGE DISPOSAL SYSTEMS ON ADJACENT PROPERTIES WITHIN 100' OR 200' (AS REQUIRED BY STANDARDS) OF THE PROPOSED WELLS AND SEWAGE DISPOSAL SYSTEMS FOR EACH LOT.
- 5.) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SEWERAGE SYSTEM SUBJECT TO THE PROVISIONS OF LOCAL LAW 1, 1989, THE TOWN OF NEWBURGH BUILDING INSPECTOR MUST RECEIVE AN "AS BUILT" PLAN OF SUCH SYSTEM BEARING THE FOLLOWING CERTIFICATION OF A PROFESSIONAL ENGINEER OR OTHER AUTHORIZED DESIGN PROFESSIONAL AS SET FORTH ABOVE: "I HEREBY CERTIFY THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."
- 6.) THE APPROXIMATE AREA OF DISTURBANCE IS 12.4 ACRES.
- 7.) LOTS 2 & 3 SHALL BE ACCESSED BY A PROPOSED COMMON DRIVEWAY AND SUBJECT TO A COMMON DRIVEWAY EASEMENT.
- 8.) LOTS 1 & 4 SHALL BE ACCESSED BY A PROPOSED COMMON DRIVEWAY AND SUBJECT TO A COMMON DRIVEWAY EASEMENT.
- 9.) THE EXISTING STONEWALL ALONG SAVANNAH LANE SHALL BE PRESERVED. ANY DAMAGED SECTIONS OF THE WALL SHALL BE RE-BUILT TO PRE-CONSTRUCTION CONDITIONS.

**Legend**

- PROPERTY LINE & CORNER
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**Driveway Sight Distance Table**

GARDNERTOWN ROAD POSTED SPEED LIMIT: 30 MPH			
AASHTO MINIMUM SIGHT DISTANCE FOR POSTED SPEED: 200'			
LOCATION	SIGHT LINE	DISTANCE	NOTES
A	1	480'	LIMITED DUE TO HORIZONTAL CURVATURE IN GARDNERTOWN ROAD
	2	+300'	* CLEARING & GRADING AT EXISTING BUILDING REQUIRED
B	1	500'	LIMITED DUE TO HORIZONTAL CURVATURE IN GARDNERTOWN ROAD
	2	+300'	* CLEARING & GRADING AT EXISTING BUILDING REQUIRED
C	1	585'	LIMITED DUE TO HORIZONTAL CURVATURE IN GARDNERTOWN ROAD
	2	130'	LIMITED BY BUSHES & ENVIRONMENT AT EXISTING DWELLINGS

**Zoning Legend R-1**  
SINGLE FAMILY

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA	40,000 SQ. FT.	46,484 SQ. FT.	11,156 SQ. FT.	54,817 SQ. FT.	55,179 SQ. FT.
MINIMUM LOT WIDTH	150'	337'	264'	248'	202'
MINIMUM LOT DEPTH	150'	191.7'	268'	185'	218'
MINIMUM YARDS					
FRONT	50'	21.3'	63'	56'	135'
SIDE - ANY ONE	30'	17'	108'	62'	48'
SIDE - TOTAL FOR BOTH	60'	292'	234'	135'	138'
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HABITABLE FLOOR AREA PER DWELLING UNIT	1500 SQ. FT.	71500 SQ. FT.	71500 SQ. FT.	71500 SQ. FT.	71500 SQ. FT.
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MAXIMUM BUILDING HEIGHT	35'	<35'	<35'	<35'	<35'
MAXIMUM LOT SURFACE COVERAGE	20%	8.6%	6.0%	8.4%	15.5%
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\*FRONT SETBACK ON LOT 1 IS FROM EXISTING DWELLING TO EDGE OF 50'-WIDE GARDNERTOWN ROAD RIGHT-OF-WAY. A VARIANCE WAS GRANTED BY THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON OCTOBER 22, 2015.

3	11-0-15	ENGINEER COMMENTS	ZAP
2	10-5-15	APPLICANT & ENGINEER COMMENTS	ZAP
1	7-2-15	PB COMMENTS	ZAP
003	DATE	DESCRIPTION	BY

I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND LOTS WITHIN SUBDIVISIONS. I HAVE FOUND UPON EACH LOT AT THE LOCATION SHOWN THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

LAWRENCE MARSHALL PE #087107

DRAFTED BY: ZAP MAP CK: WGN

TOWN OF NEWBURGH PROJECT #2015-12

**Subdivision Detail Plan**  
for Lands of  
**Westport Management, LLC**

RECORD OWNER: WESTPORT MANAGEMENT, LLC, 33 SOUTH PLANK ROAD, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 13846, PAGE 85

TAX MAP REFERENCE: SECTION 47, BLOCK 1, LOT 70  
**Situate in the Town of Newburgh**  
**Orange County, New York State**  
Scale 1"=40' April 2015

**MNTM**  
**Mercurio-Norton-Tarolli-Marshall**  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F: (845)744.3805 Email: mnt-pc@mnt-pc.com

PROJECT: 3882 SHEET: 2 OF 4



### Deep Soils Testing Results

TEST HOLE #	4.1	4.2	3.1	3.2	2.1	2.2
TESTING DATE:	07-30-15	07-30-15	07-30-15	07-30-15	07-30-15	07-30-15
TESTER:	RTS	RTS	RTS	RTS	RTS	RTS
	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" LIGHTLY PACKED SANDY SILT LOAM 72" 4' 5' 6' SMALL STONES THROUGHOUT	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" TIGHTLY PACKED SANDY SILT LOAM 72" 4' 5' 6' SMALL STONES THROUGHOUT	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" TIGHTLY PACKED SANDY SILT LOAM 72" 4' 5' 6' SMALL STONES THROUGHOUT	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" TIGHTLY PACKED SANDY SILT LOAM WITH BOULDERS 72" 4' 5' 6' LARGE ROCK 7' 8' SOME BOULDERS	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" TIGHTLY PACKED SANDY SILT LOAM 72" 4' 5' 6' SMALL STONES THROUGHOUT	0' TOPSOIL 12" 1' SANDY SILT LOAM 2' 3' 8" TIGHTLY PACKED SANDY SILT LOAM 72" 4' 5' 6' SMALL STONES THROUGHOUT

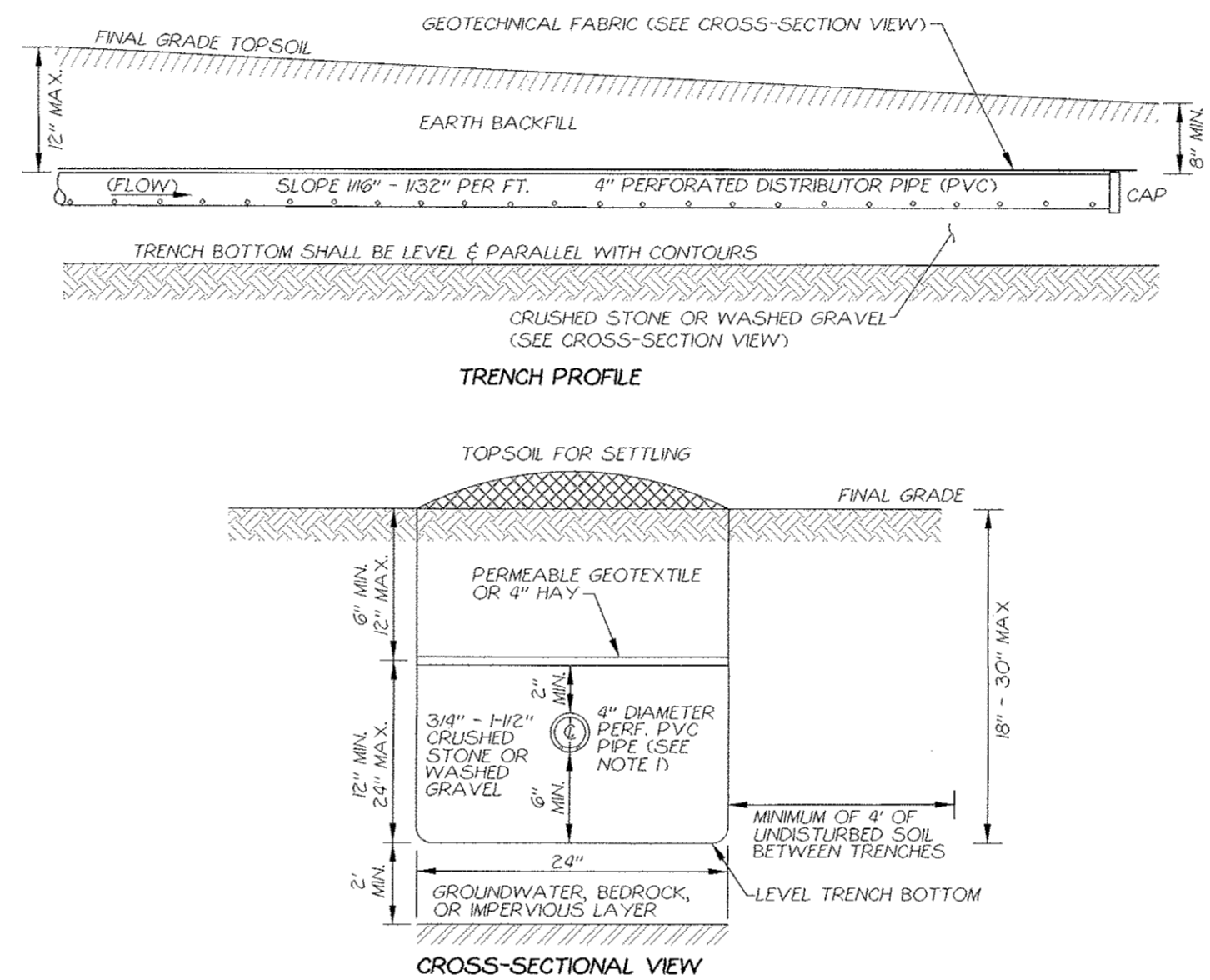
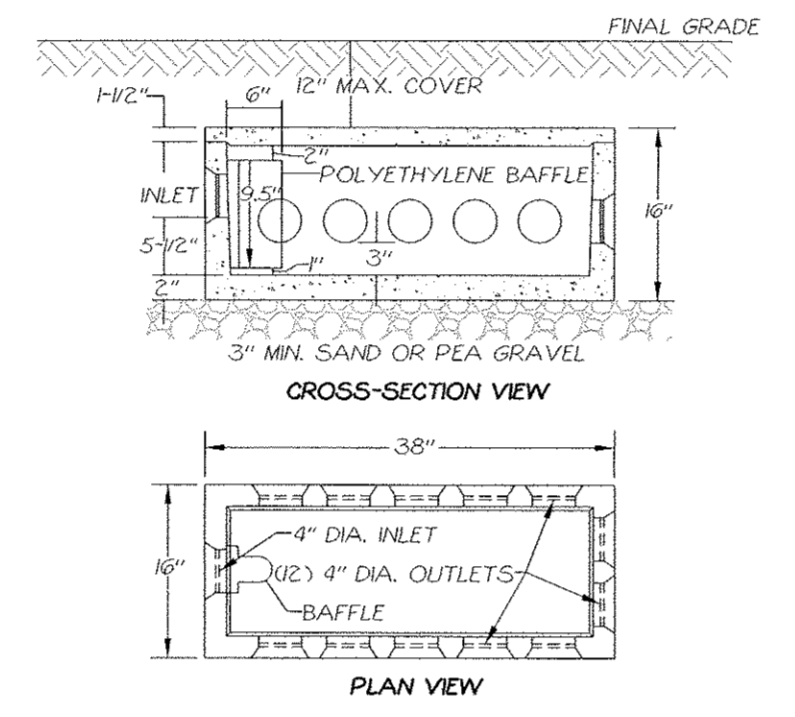
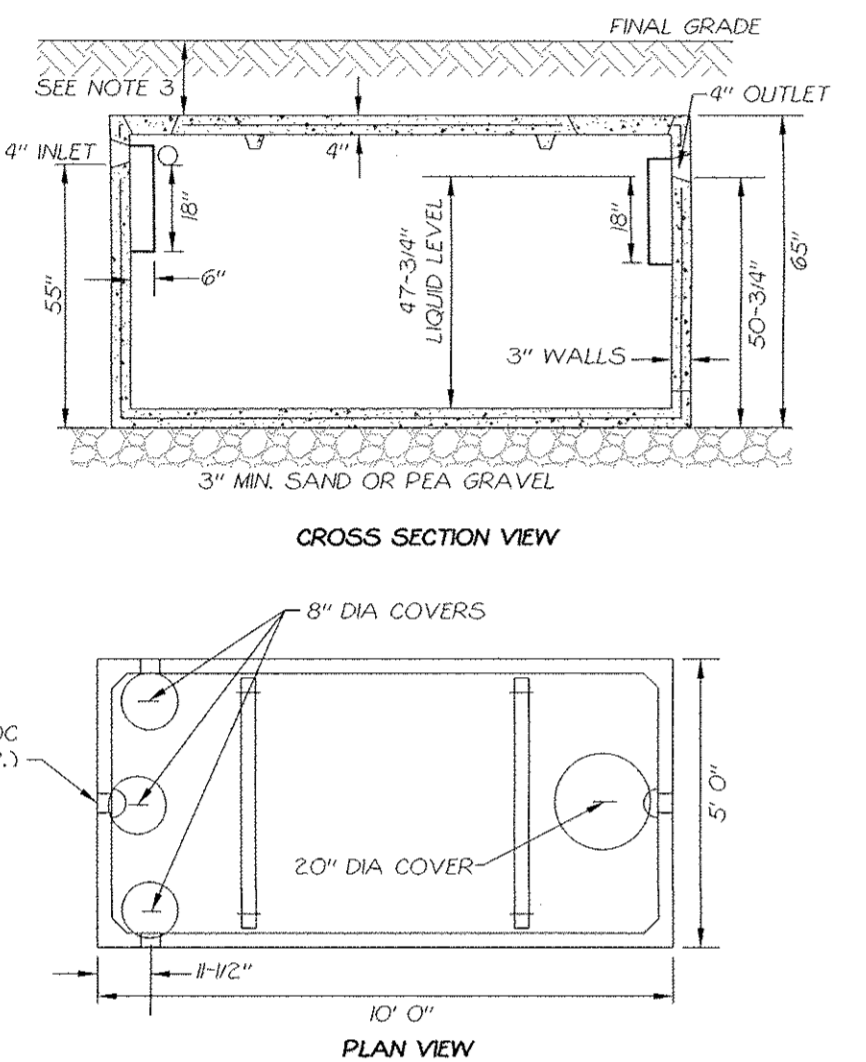
### Percolation Testing Results

TEST HOLE #	2A	2B	3A	3B	4A	4B
TESTING DATE:	07-14-2015	07-14-2015	07-14-2015	07-14-2015	07-14-2015	07-14-2015
DEPTH / TESTER:	24" - KW	24" - KW	24" - KW	24" - KW	24" - KW	24" - KW
PERCOLATION TEST RESULTS (CALL TESTING COMPLETED WITH A STOPWATCH & ELAPSED TIMES ARE IN MINUTES)						
RUN 1 ELAPSED TIME:	12:00	6:56	14:12	4:59	2:07	17:14
RUN 2 ELAPSED TIME:	13:56	9:00	15:50	12:30	2:40	2:22
RUN 3 ELAPSED TIME:	14:19	9:43	16:11	14:50	2:9:10	2:2:0
RUN 4 ELAPSED TIME:				15:21	3:0:17	
RUN 5 ELAPSED TIME:						
RUN 6 ELAPSED TIME:						
RUN 7 ELAPSED TIME:						
STABILIZED RATE:	14:19	9:43	16:11	15:21	3:0:17	2:2:0

### Well Construction Data

WATER-BEARING FORMATION	OVER BURDEN	OVERSIZE DRILLHOLE FOR GROUT (1)		WELL DIA.		MIN. CASING LENGTH OR DEPTH	CONSTRUCTION CONDITIONS (2)
		DIA.	MIN. DEPTH	CASED PORTION	UNCASED PORTION		
5. OVERSIZED, SHATTERED OR OTHERWISE FRACTURED SHALE, LIMESTONE, IRREGULAR METAMORPHIC OR SIMILAR ROCK TYPES OR SANDSTONE.	CLAY, HARDPAN, TELL, SHALE, OR SIMILAR MATERIAL TO A DEPTH OF 15' OR MORE.	CASING SIZE 4" FOR GRAVITY OR 12" FOR PRESSURE (4,5,6)	50'	6" MIN.	6" PREF.	NA	50'

- IN THE CASE OF A FLOWING ARTESIAN WELL, ATTEMPTS SHOULD BE MADE TO INSTALL AND SEAL THE WELL IN A MANNER THAT PROTECTS THE ARTESIAN AQUIFER, PREVENTS EROSION OF OVERLYING GEOLOGIC MATERIALS, AND CONFINES THE FLOW WITHIN THE WELL CASING, GIVING DUE CONSIDERATION TO PRACTICALITY, COST, AND SAFETY.
- PRESSURE PLACEMENT INCLUDES METHODS OF GROUT PLACEMENT USING PUMPS AND TREME TUBES OR USING GROUT DISPLACEMENT THROUGH THE CASING, OR OTHERWISE FROM THE BOTTOM UP ALONG THE CASING, WITH ONE OR MORE DRILLABLE PLUGS. WHEN PRESSURE PLACEMENT IS USED WITH A BOREHOLE DIAMETER OF ONLY 2" GREATER THAN THE CASING DIAMETER, GRAVITY PLACEMENT INCLUDES ANY METHOD THAT RELIES ON GRAVITY TO DRAW GROUT, EITHER DRY OR AS A SLURRY, DOWN INTO THE ANNULAR SPACE BETWEEN THE CASING AND BOREHOLE OR BETWEEN AN INNER CASING AND OUTER CASING.
- FOR WELLS CONSTRUCTED BY CABLE TOOL, HOLLOW ROD, JETTING, OR OTHER DRILLING METHOD WHERE THE PERMANENT CASING IS DRIVEN, AND WHERE NEITHER TEMPORARY CASING NOR AN OVERSIZE BOREHOLE ARE USED, DRY DRIVEN GROUT METHODS USING GRANULAR BENTONITE MAY BE USED. THESE METHODS USE CONTINUOUS FEEDING OF GRANULAR BENTONITE INTO A STARTER HOLE OR CONTINUOUS MOUNDING AROUND THE CASING AS THE CASING IS DRIVEN. COLLAR FLARED JOINTS OR WELD BEADS EXTENDING BEYOND THE OUTSIDE DIAMETER OF THE PERMANENT CASING SHALL BE USED WITH SUFFICIENT SPACING TO ENSURE THAT THE GROUT SEAL IS CONTINUOUS AND EXTENDS DOWNWARD INTO THE SATURATED ZONE OF THE WATER TABLE.
- THE OVERSIZED BOREHOLE FOR GROUT PLACEMENT SHOULD BE AS DEEP AS NECESSARY, BASED UPON LOCAL HYDROLOGIC CONDITIONS AND POTENTIAL CONTAMINANT SOURCES, TO PREVENT CONTAMINATION FROM ENTERING THE WELL. GROUT SHOULD BE PLACED ALONG THE FULL LENGTH OF CASING, PARTICULARLY WHERE THE PRESENCE OF NON-CAVING UNCONSOLIDATED MATERIALS, COARSE GRAVEL OR OVERSIZED, SHATTERED, OR FRACTURED ROCK MAY RESULT IN PATHWAYS OF CONTAMINATION TO A WELL WATER SYSTEM. WHERE THIS IS NOT FEASIBLE BECAUSE OF PRACTICALITY, COST OR SAFETY, GROUT SHALL BE PLACED AT LEAST TO A MINIMUM DEPTH OF 10 FEET. SEE NOTE 1.



- DISTRIBUTION BOX NOTES:**
- FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.
  - ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
  - FLOW EQUALIZERS MUST BE USED.
  - OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
  - OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

### Typical Precast Concrete Distribution Box

AS MANUFACTURED BY "WOODARDS CONCRETE PRODUCTS, INC.", BULLVILLE, NY.  
MODEL DB-12 (OR APPROVED EQUAL)  
NOT TO SCALE

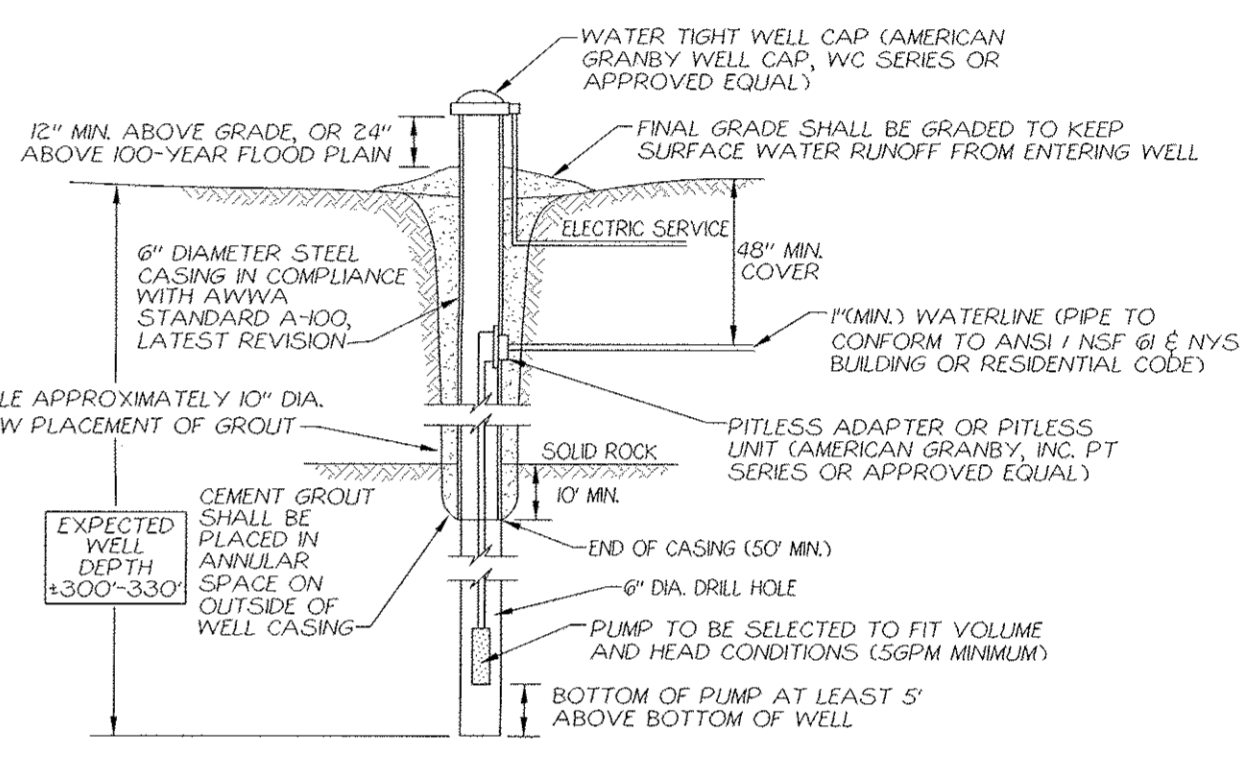
### Absorption Trench Detail

- NOTES:**
- DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.
  - DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE BAKED PRIOR TO INSTALLATION OF GRAVEL.
  - THE END OF EACH LATERAL SHALL BE CAPPED.

### General Notes:

- PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.
- SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH (60' MAX.).
- ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- MAXIMUM GROUND SLOPE OF THE FIELD AREA SHALL NOT EXCEED 15%.
- NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- ALL STEEL TANKS SHALL BE UL - 70 APPROVED.
- NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- SPEED LEVELERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.
- SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE TANK SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- HOUSE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE.

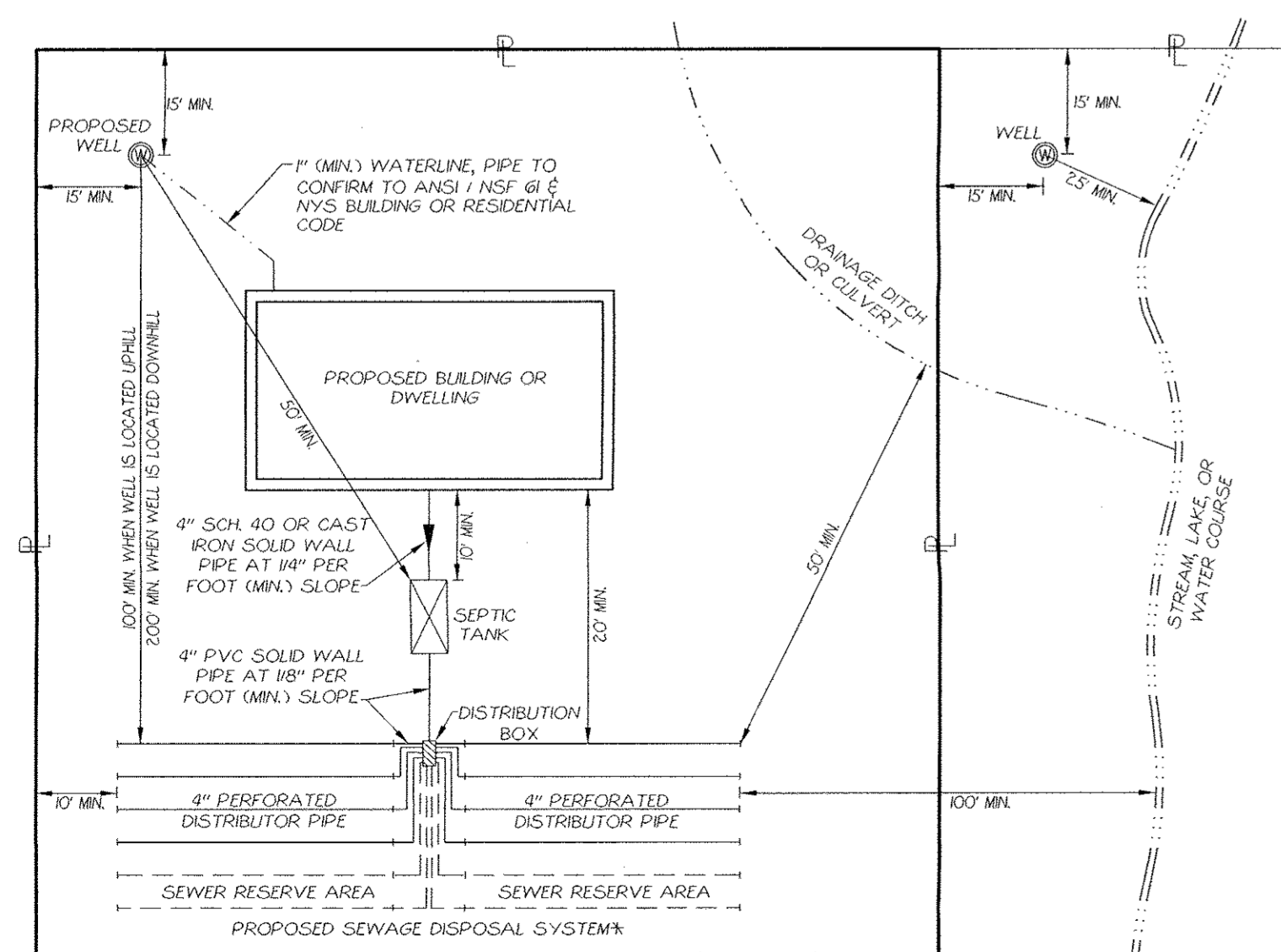
### Well Detail



- NOTES:**
- WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE N.Y.S. DEPARTMENT OF HEALTH APPENDIX 5-B "STANDARDS FOR WATER WELLS."
  - THE WELL CAP MUST BE A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FLOOD ELEVATION.

### Typical Precast 1,250 Gallon Concrete Septic Tank

AS MANUFACTURED BY "WOODARDS CONCRETE PRODUCTS, INC.", BULLVILLE, NY.  
MODEL ST-1250 (OR APPROVED EQUAL)  
NOT TO SCALE



### Generic Plot Plan

\* THE 'GENERIC PLOT PLAN' IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

### MINIMUM SEPARATION DISTANCES FROM EXISTING OR PROPOSED FEATURES

SYSTEM COMPONENTS	WELL OR SUCTION LINE (A)	STREAM, LAKE, OR WATERCOURSE (B)	DWELLING	PROPERTY LINE	DRAINAGE DITCH (C)
HOUSE SEWER (WATERTIGHT JOINTS)	50'	25'	3'	10'	-
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD	100' (A)	100'	20'	10'	50'
SEEPAGE PIT	150' (A)	100'	20'	10'	50'
DRY WELL (ROOF & FOOTINGS)	50'	25'	20'	10'	10'
RAISED OR MOUND SYSTEM (C)	100' (A)	100'	20'	10'	50'

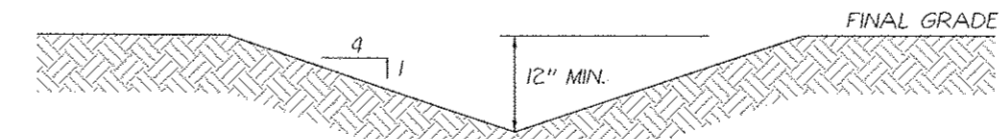
- (A) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COARSE GRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL.
- (B) MEAN HIGH WATER MARK.
- (C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.
- (D) RECOMMENDED SEPARATION DISTANCES.
- (E) UNLESS CAST IRON OR PVC WITH O-RING JOINTS IS UTILIZED, THEN 25'.

SYSTEM COMPONENTS	SWALE, STREAM, OR WATERCOURSE	CEMETERY PROPERTY LINE	SUBDIVISION BOUNDARY
WELL	25'	100'	50'

SYSTEM COMPONENT	HIGH WATER LINE OF A WET POND	INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED, TIGHT PIPE)	CURTAIN DRAIN	TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE	SOLID CURTAIN DRAIN, ROOF OR FOOTING PILES, SNOW STORAGE EASEMENT
ABSORPTION FIELD	100'	50'	35'	15'	10'

### Minimum Separation Distances From Existing Or Proposed Features

FOR ORANGE COUNTY - AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK, 2002 EDITION & ORANGE COUNTY POLICY & STANDARDS LAST REVISED SEPTEMBER 2004



### Diversion Swale Detail

NOTE: THE DIVERSION SWALE SHALL BE SEED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

### Sewage Disposal System Requirements

LOT NUMBER	NUMBER OF BEDROOMS	DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM	DESIGN STABILIZED PERCOLATION RATE (MPH)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN
2	4	440	1,250	DB-12	A.T.	14:19	275	275	5 ROWS @ 55 L.F.
3	4	440	1,250	DB-12	A.T.	16:11	315	330	6 ROWS @ 55 L.F.
4	4	440	1,250	DB-12	A.T.	30:17	367	385	7 ROWS @ 55 L.F.

\* A.T. = ABSORPTION TRENCH SYSTEM

TOWN OF NEWBURGH PROJECT #2015-12

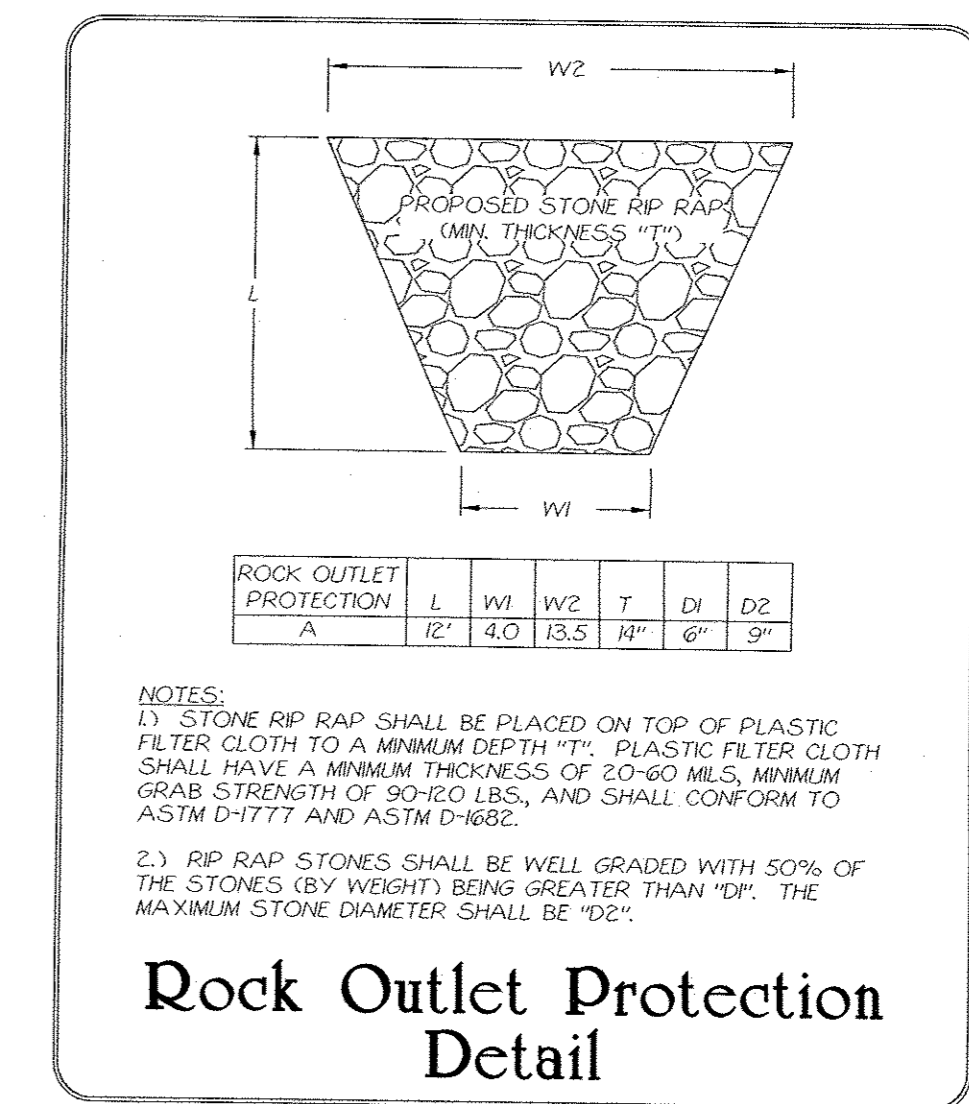
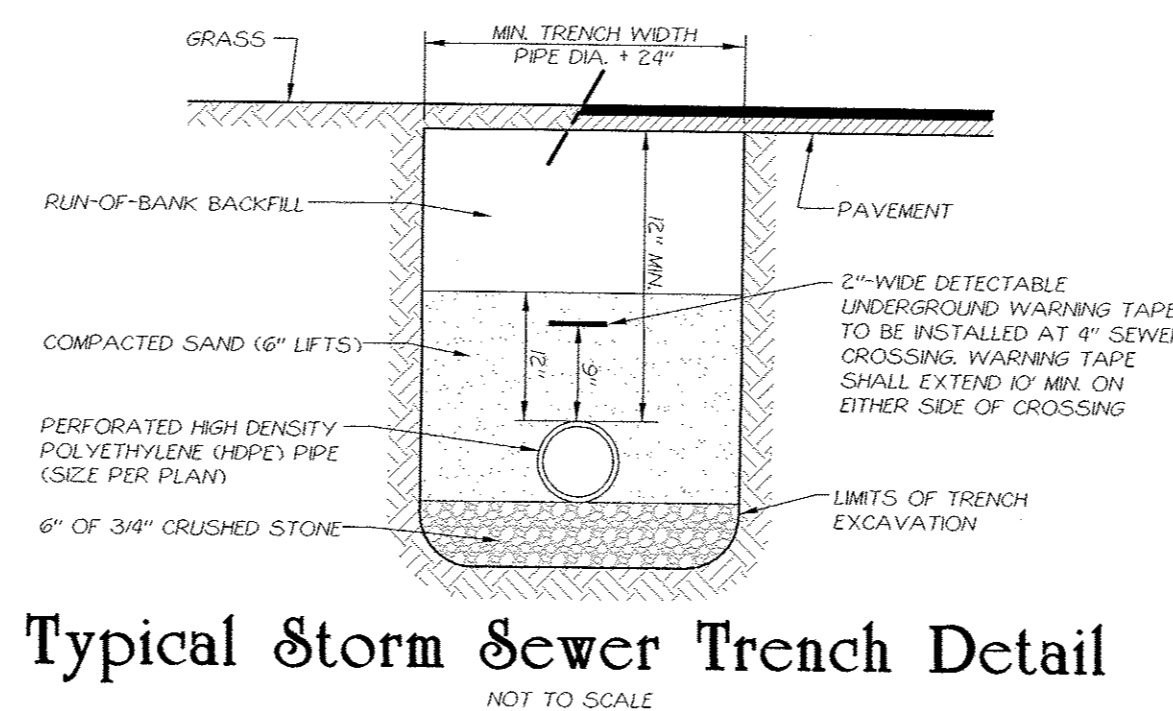
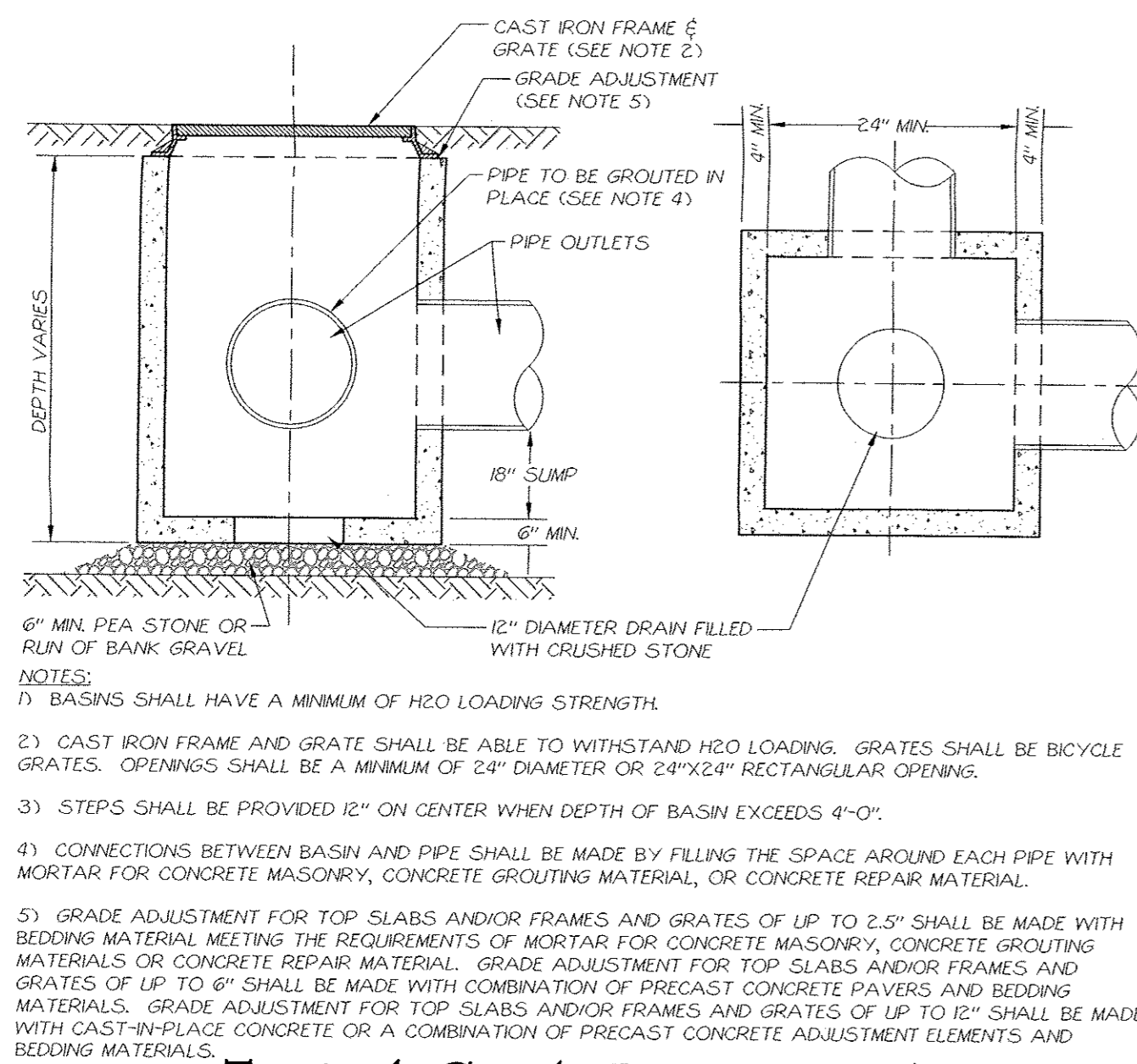
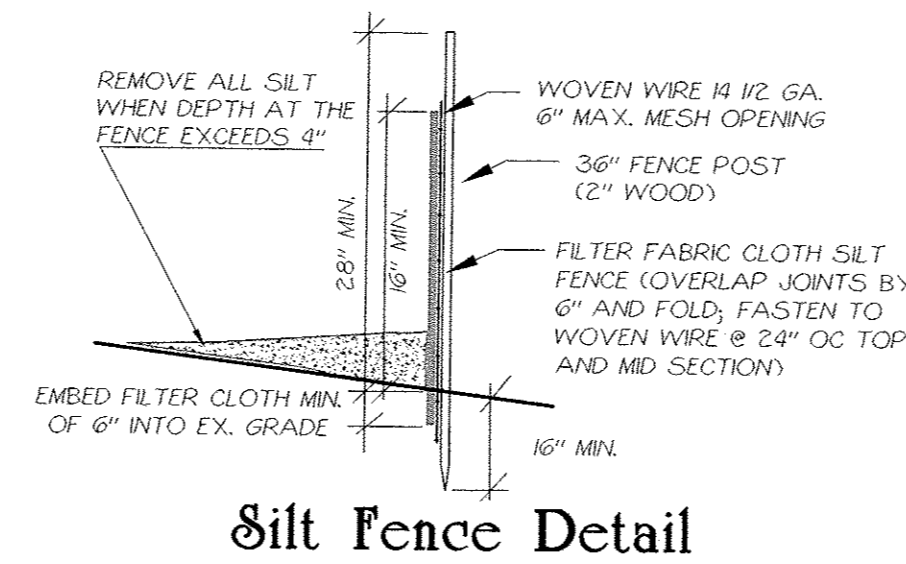
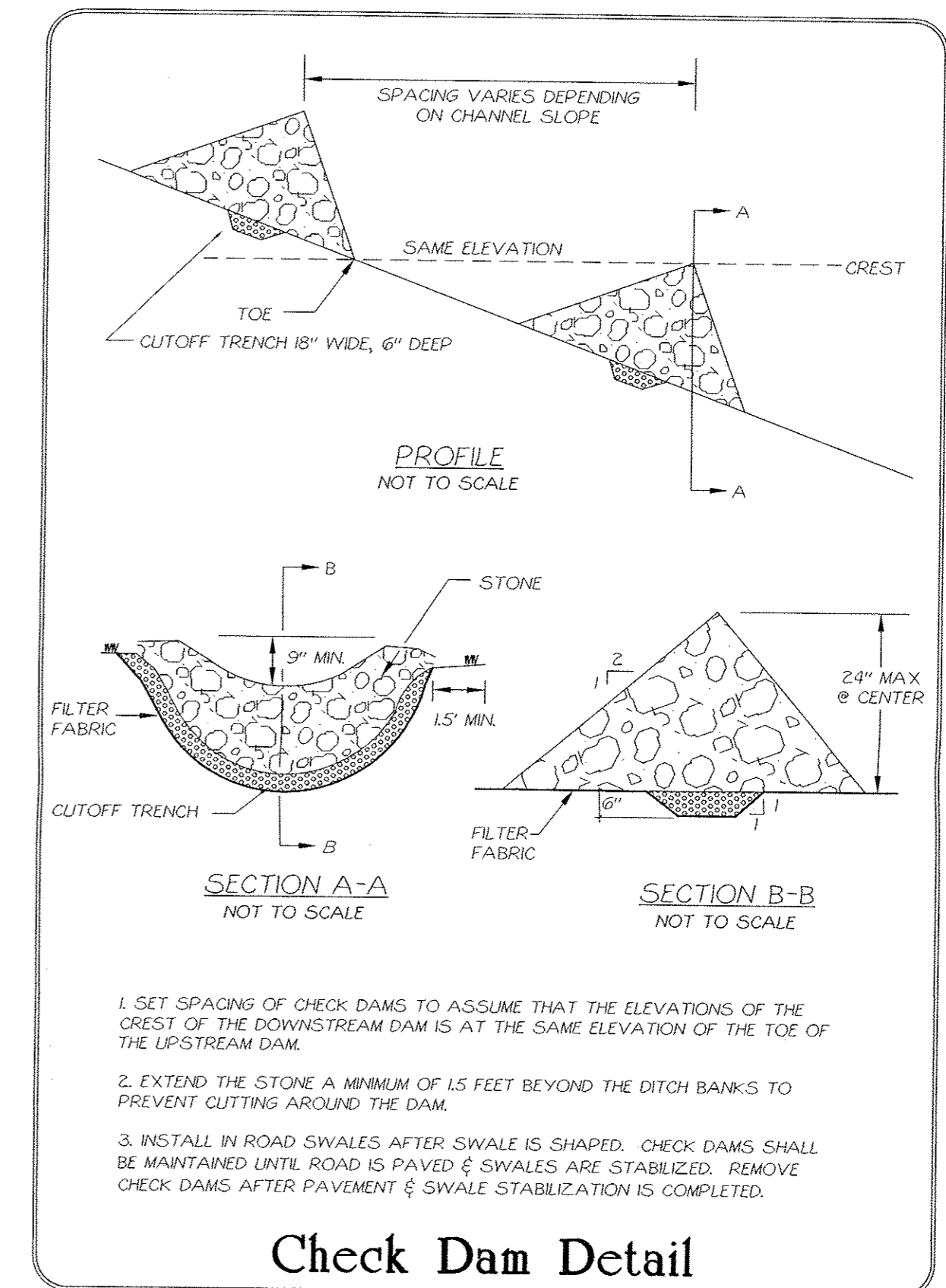
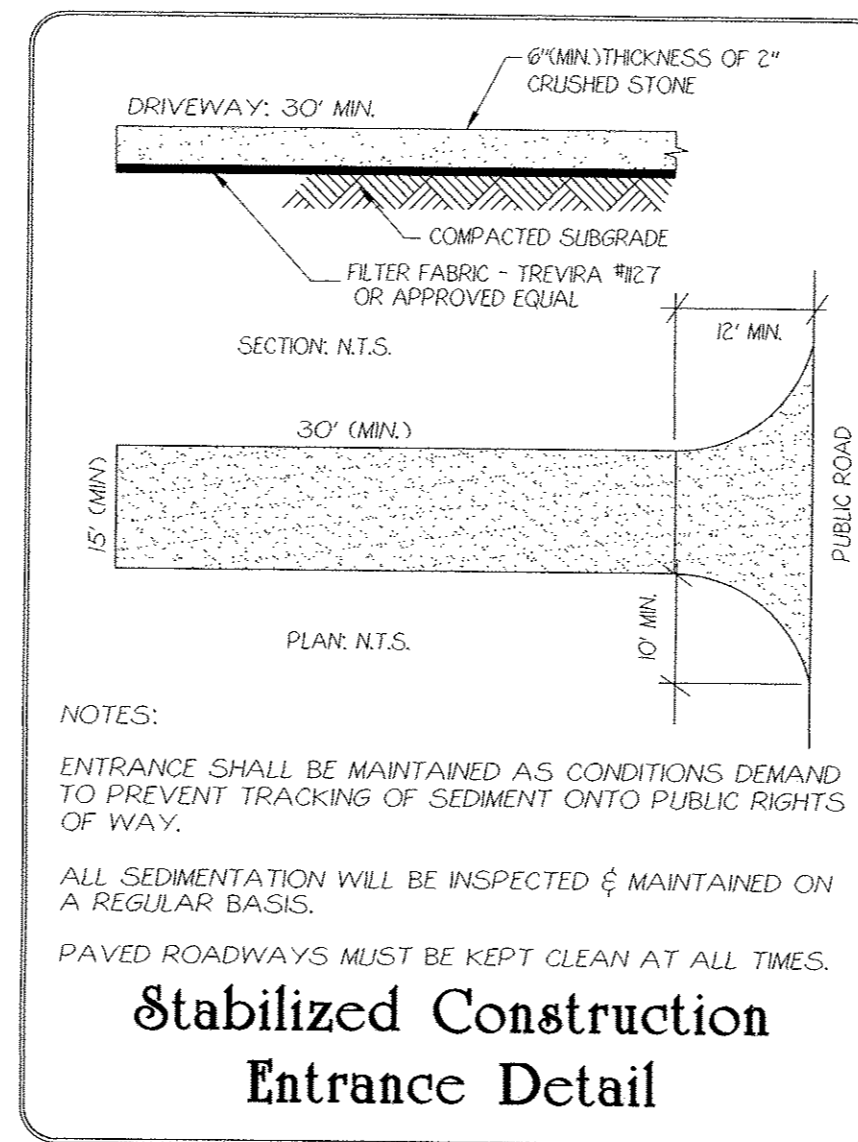
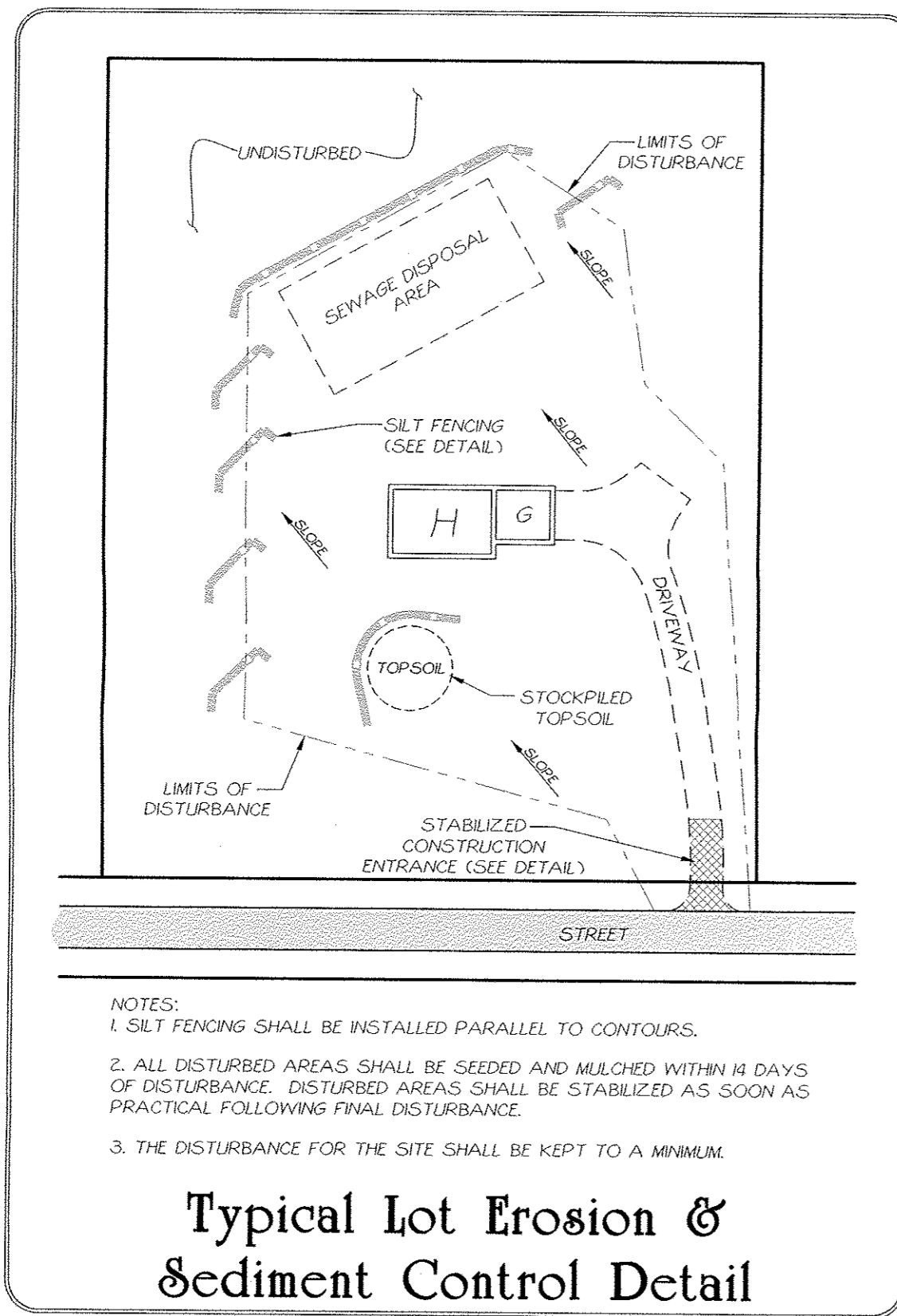
### Well & Sewage Disposal System Detail for Lands of Westport Management, LLC

NO.	DATE	DESCRIPTION	BY

RECORD OWNER: WESTPORT MANAGEMENT, LLC, 33 SOUTH PLANK ROAD, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 13646, PAGE 88  
TAX MAP REFERENCE: SECTION 47, BLOCK 1, LOT 70

Situate in the Town of Newburgh  
Orange County, New York State  
April 2015

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F: (845)744.3805 Email: mnt-pc@mnt-pc.com



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NO.	DATE	DESCRIPTION	BY

I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND LOTS ON WHICH SOLID WASTE COLLECTIONS FOUND UPON EACH LOT AT THE LOCATION SHOWN. THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

LAWRENCE MARSHALL PE #081707 DRAFTED BY: ZAP MAP OK: -

TOWN OF NEWBURGH PROJECT #2015-12

**Detail Sheet**  
**for lands of**  
**Westport Management, LLC**

RECORD OWNER: WESTPORT MANAGEMENT, LLC, 33 SOUTH PLANK ROAD, NEWBURGH, NY 12550  
 DEED REFERENCE: LIBER 13846, PAGE 88  
 TAX MAP REFERENCE: SECTION 47, BLOCK 1, LOT 70

**Situate in the Town of Newburgh**  
**Orange County, New York State**  
 April 2015

PROJECT: 3882 | SHEET 4 OF 4