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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: UNIFIRST AMENDED SITE PLAN
PROJECT NO.: 18-01
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 38.32
REVIEW DATE: 15 JANUARY 2018
MEETING DATE: 18 JANUARY 2018
PROJECT REPRESENTATIVE: TALCOTT ENGINEERING

1. It appears from a review of the proposed site plan that tractor trailer trucks accessing this site will have to back into the site from Jeanne Drive. Ken Wersted's comments on this should be received.
2. A new Subsurface Sanitary Sewer Disposal System is proposed. We would recommend review and approval by the Orange County Health Department, as a system is proposed to be located under paved parking in conjunction with required fill.
3. Plans should address how drainage from the loading dock is transferred to daylight. Plans should also address drainage from the site in general as it appears runoff from the site will discharge towards Jeanne Drive.
4. Plans should clearly identify where curbing is proposed on the site. Commercial properties should be curbed consistent with Town requirements.
5. Address drainage at Jeanne Drive entrance road for modified site access. Current pipe crossings appear to be smaller than those required in the proposed condition.
6. Identify existing water line to be removed. Coordinate with Town water personnel to remove existing water main.
7. Address with Code Department whether water line is adequate for fire protection system required in the structure. If fire suppression systems are required water main layout must conform to Town requirements.

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •

8. Bulk table identifies the front yard setback as 82.7 while it is labeled as 86.94 on the plan sheet.
9. Detail of retaining wall with fence should be added to the plans.
10. Dumpster enclosure appears to be built into the hill at the retaining wall. Enclosure only identifies chain link fence with privacy slats. Will concrete exterior walls be proposed.
11. Fence details should be added to the plans.
12. Site lighting details should be added to future plans.
13. Landscaping should be address on the site.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

Talcott Engineering

DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550
(845) 569-8400* ~ (fax) (845) 569-4583

Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, NY 12550

January 4, 2018

Attn: John Ewasutyn, Chairman

Re: Project Narrative
Amended Site Plan for UniFirst
33 Jeanne Drive
Town Project No. 2018-01
S-B-L: 34-2-38.32
Job No. 16007-UFC

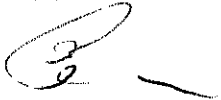
AMENDED SITE PLAN FOR UNIFIRST ADDITION PROJECT NARRATIVE

The subject parcel is a 1.80 acre lot, owned by UniFirst Corporation, located at 33 Jeanne Drive. The property is located in the IB (Interchange Business) Zone, and contains an existing commercial building that is predominantly warehouse, which is serviced by Town water and on-site septic system.

The proposal is to build a 3,328 sf addition to the front of the building, which will contain offices, remove the offices (722 sf) from the existing building, and add a 1,638 sf warehouse addition to the rear of the existing building. The plans also include a new on-site septic system, new water service line, a fenced in area for box truck parking, a new sign and additional parking to accommodate the additions. The project, as proposed, is in compliance with Zoning.

Attached please find 12 sets of prints, applications, and EAF Long Forms along with the applicants' checks for escrow (\$ 4,000.00), application fees (\$ 2,350.00), and public hearing fee (\$ 150.00). I will deliver one set to Pat Hines and FedEx one set to Mike Donnelly.

Respectfully yours,



Charles T. Brown, P.E. – President
Talcott Engineering Design, PLLC

PC; Bob Stevens, RA
Pat Hines
Mike Donnelly

JAN 5 2018

JAN 11 2018

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ TOWN FILE NO: _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
AMENDED SITE PLAN FOR UNIFIRST ADDITION

2. Owner of Lands to be reviewed:
Name UNIFIRST CORPORATION
Address 33 JEANNE DRIVE
NEWBURGH, NY 12550
Phone _____

3. Applicant Information (If different than owner):
Name (SAME)
Address _____

Representative CHARLES T. BROWN, PE / TALCOTT ENGINEERING
Phone (845) 569-8400
Fax (845) 569-4583
Email TALCOTTDESIGN12@GMAIL.COM

4. Subdivision/Site Plan prepared by:
Name CHARLES T. BROWN, PE / TALCOTT ENGINEERING
Address 1 GARDNERTOWN ROAD
NEWBURGH, NY 12550
Phone/Fax (845) 569-8400 (845) 569-4583

5. Location of lands to be reviewed:
33 JEANNE DRIVE

6. Zone ZB Fire District CROMBER VALLEY
Acreage 1.80 School District NEWBURGH

7. Tax Map: Section 34 Block 2 Lot 38.32

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1
Lot line change N/A
Site plan review YES
Clearing and grading N/A
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) UTILITY EASEMENT FOR STATE 38-C-7861

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature: [Signature] Title MATHEW CROATTI
VP - ENGINEERING
Date: 9/1/17 UNIFIRST CORPORATION

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

AMENDED SITE PLAN FOR UNIT FIRST ADDITION
PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. N/A Surveyor,s Certification
12. N/A Surveyor's seal and signature
13. Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. Estimated or known cubic yards of material to be excavated and removed from the site
34. Estimated or known cubic yards of fill required
35. The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
Licensed Professional

Date: 11/30/2017

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

MATTHEW CROATTI
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

9/18/17
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) UNFIRST CORPORATION, DEPOSES AND SAYS THAT HE/SHE
RESIDES AT 68 JONSPIN RD, WILMINGTON
IN THE COUNTY OF MIDDLESEX
AND STATE OF MASSACHUSETTS
AND THAT HE/SHE IS THE OWNER IN FEE OF _____
33 JEANNE DRIVE, SBL: 34-2-38.32

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND CHARLES T. BROWN, PE. IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 9/18/17


OWNERS SIGNATURE

MATTHEW CROATTI
OWNERS NAME (printed)

NAMES OF ADDITIONAL
REPRESENTATIVES


WITNESS' SIGNATURE

Gina Cowan
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS


The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

9/18/17
DATED

MATTHEW CROATTI
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X NONE

_____ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

_____ **TOWN BOARD**
 X **PLANNING BOARD**
_____ **ZONING BOARD OF APPEALS**
_____ **ZONING ENFORCEMENT OFFICER**
_____ **BUILDING INSPECTOR**
_____ **OTHER**

 9/18/17
DATED

_____ **INDIVIDUAL APPLICANT**

 UNFIRST CORPORATION
CORPORATE OR PARTNERSHIP APPLICANT

BY: MATTHEW CROATTI
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: AMENDED SITE PLAN FOR UNIFIRST ADDITION			JOB # 16007
Project Location (describe, and attach a general location map): 33 JEANNE DRIVE, NEWBURGH			
Brief Description of Proposed Action (include purpose or need): BUILD A 3,294 SF OFFICE ADDITION TO THE FRONT AND A 1638 SF WAREHOUSE ADDITION TO THE REAR OF AN EXISTING COMMERCIAL BUILDING WITH ASSOCIATED TRUCK DOCKS, PARKING, SEPTIC SYSTEM AND LANDSCAPING FOR EXPANSION OF THE BUISNESS CURRENTLY IN THE BUILDING.			
Name of Applicant/Sponsor: UIFIRST CORPORATION		Telephone:	
		E-Mail:	
Address: 33 JEANNE DRIVE			
City/PO: NEWBURGH		State: NY	Zip Code: 12550
Project Contact (if not same as sponsor; give name and title/role): (SAME)		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
Property Owner (if not same as sponsor): (SAME)		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SITE PLAN APPROVAL FROM PLANNING BOARD	9-11-17
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	BUILDING PERMIT FROM TOWN BUILDING DEPARTMENT	3-11-18
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? NEWBURGH ENLARGED SCHOOL DISTRICT

b. What police or other public protection forces serve the project site?
TOWN OF NEWBURGH POLICE DEPARTMENT

c. Which fire protection and emergency medical services serve the project site?
CROMNER VALLEY

d. What parks serve the project site?
CROMNER PARK, ALGONQUIN PARK, AND CHADWICK LAKE

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? COMMERCIAL

b. a. Total acreage of the site of the proposed action? 1.80 acres
b. Total acreage to be physically disturbed? 0.89 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 1.80 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 94% Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 6 months

- ii. If Yes:
- Total number of phases anticipated _____
 - Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 - Anticipated completion date of final phase _____ month _____ year
 - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures 1
- ii. Dimensions (in feet) of largest proposed structure: 25 height; 80 width; and 190 length
- iii. Approximate extent of building space to be heated or cooled: 10,182 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____
- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
- Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes:

i. Total anticipated water usage/demand per day: _____ 330 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
If Yes:

- Name of district or service area: NEWBURGH
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

- If Yes:
- Describe extensions or capacity expansions proposed to serve this project: _____
 - Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

- If Yes:
- Applicant/sponsor for new district: _____
 - Date application submitted or anticipated: _____
 - Proposed source(s) of supply for new district: _____
- v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 330 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

SANITARY WASTEWATER

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

SUBSURFACE SEWERAGE DISPOSAL SYSTEM

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

FLEET

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend

Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

LOCAL UTILITY

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

• Monday - Friday: _____ 7 AM TO 8 PM

• Saturday: _____ 7 AM TO 8 PM

• Sunday: _____

• Holidays: _____

ii. During Operations:

• Monday - Friday: _____

• Saturday: _____

• Sunday: _____

• Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration: _____

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n.. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____



Photo

Photo for 7-11-14 in City of Newburgh

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.54	0.88	+0.34
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>LAWN</u>	1.26	0.92	-0.34

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ OVER 6' feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: UH-UDORTHENTS _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 4 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 95 % of site
 10-15%: _____ % of site
 15% or greater: _____ 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 DEER, BIRDS, SQUIRREL _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? Yes No

If Yes:
i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
ii. Name: _____
iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:
i. Describe possible resource(s): _____
ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:
i. Identify resource: _____
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____
iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:
i. Identify the name of the river and its designation: _____
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

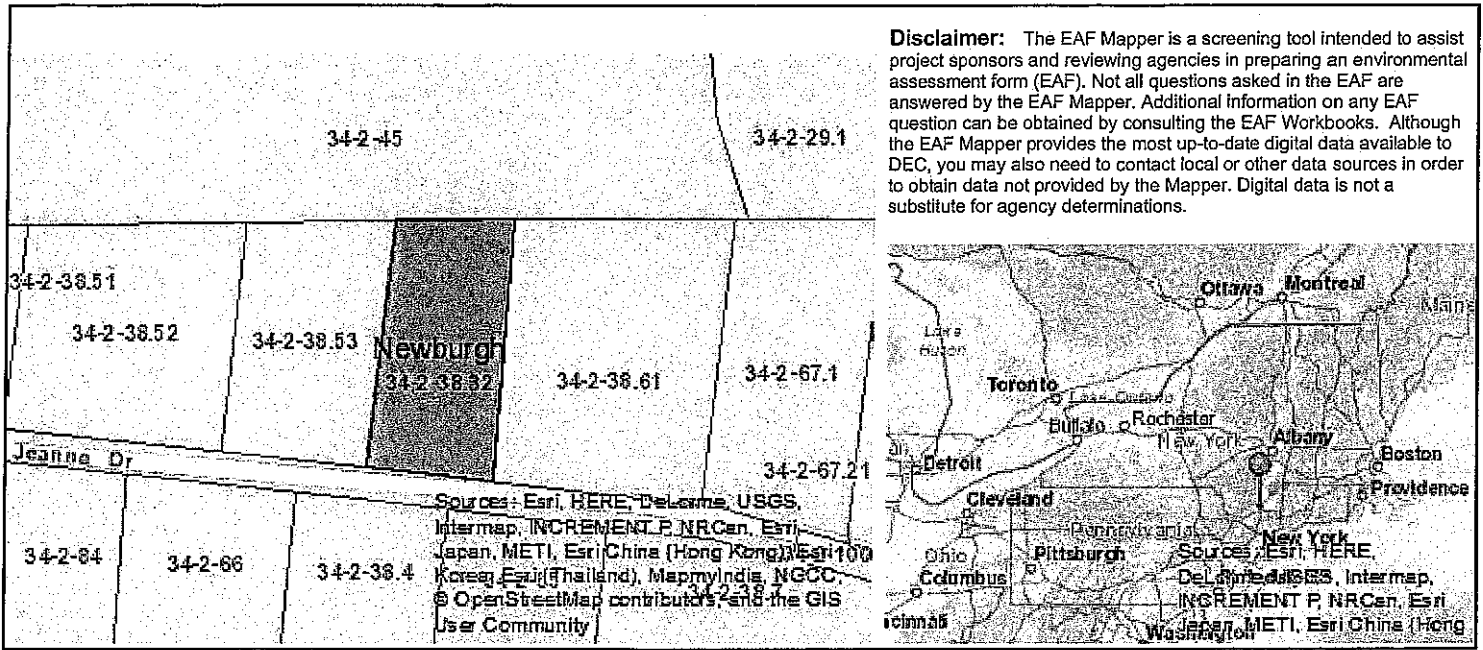
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name CHARLES T. BROWN, PE Date 8-31-2017

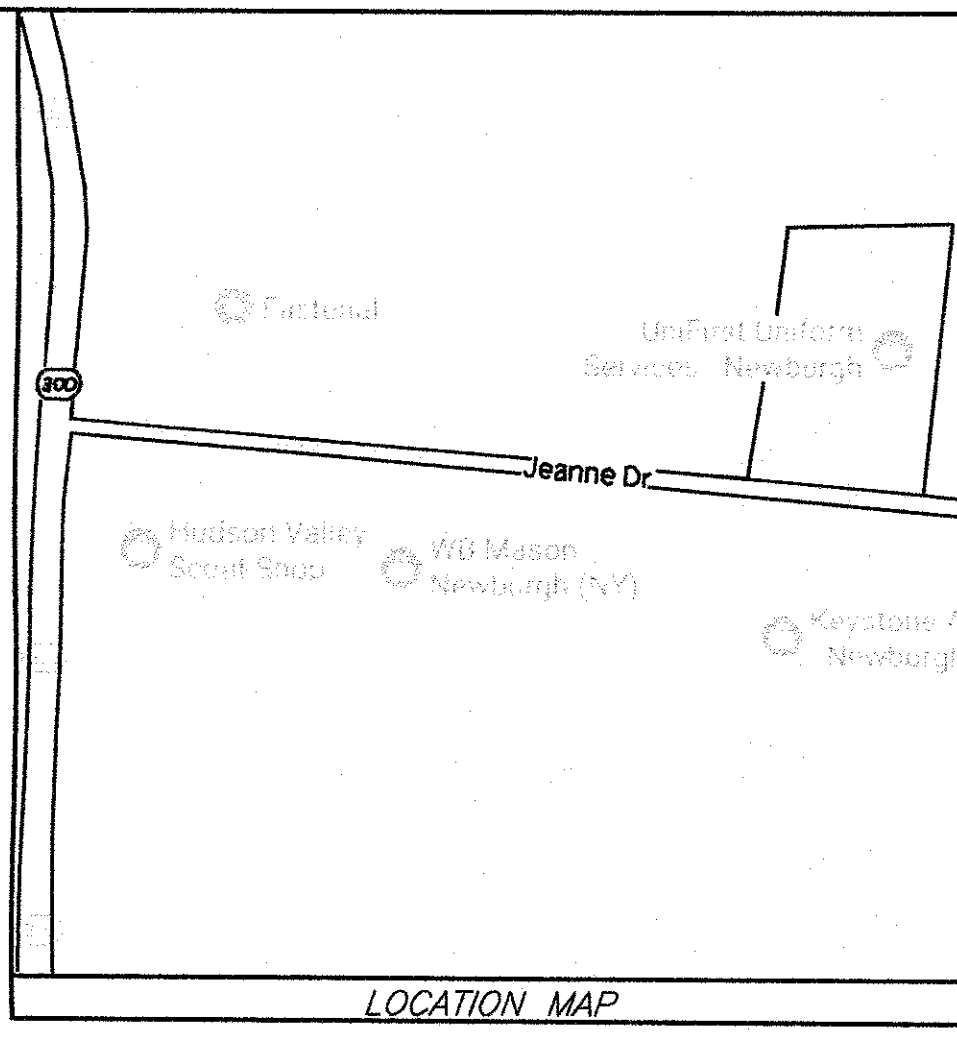
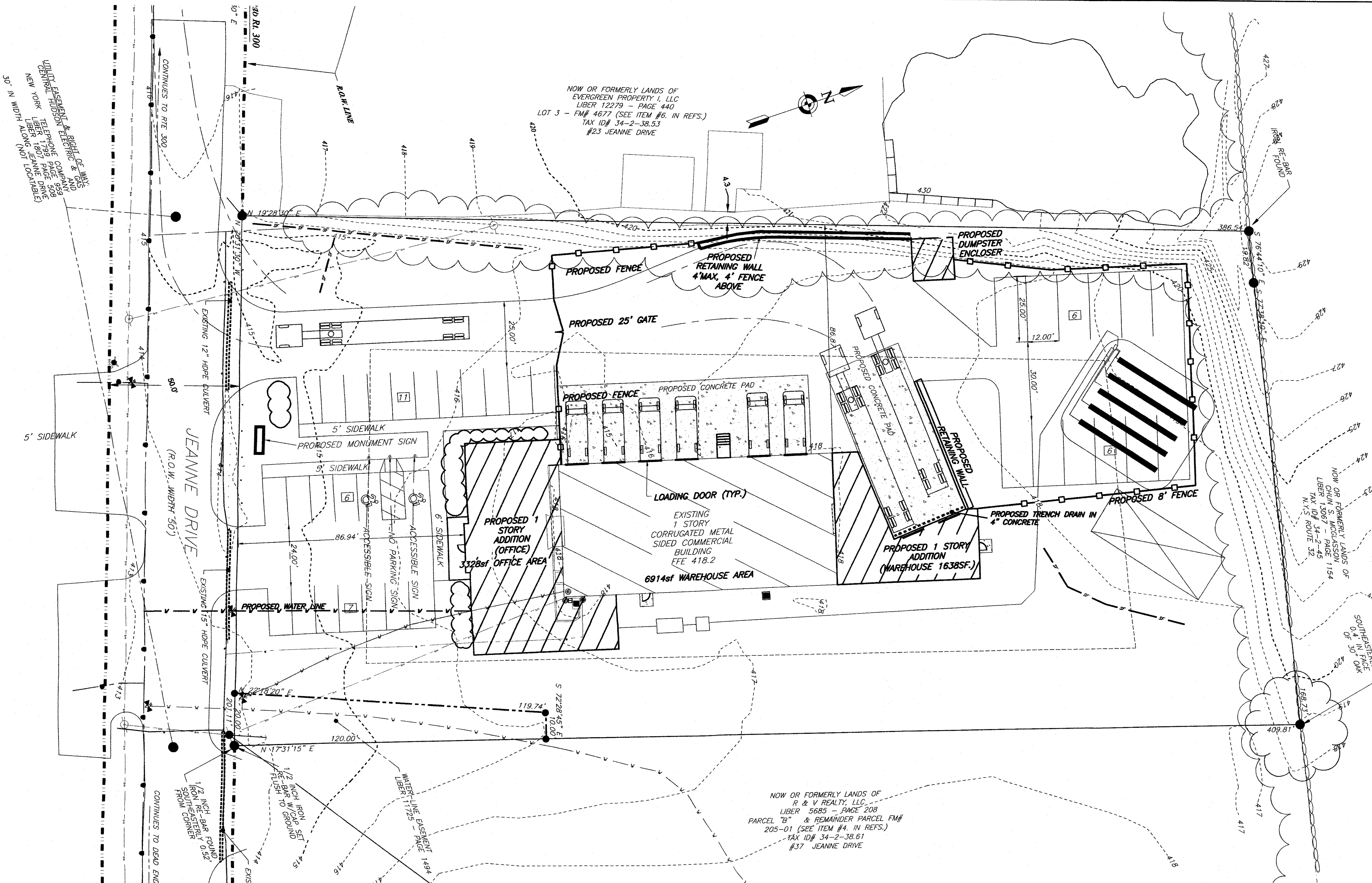
Signature  Title PROJECT ENGINEER



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No

E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



ZONING SCHEDULE
ZONE: I-B

	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 s.f.	77,326 s.f.
MINIMUM YARDS (feet)		
FRONT	50'	82.70'
REAR	60'	71.25'
SIDE		
ONE	30'	37.37'
BOTH	80'	124.24'
MINIMUM LOT WIDTH (feet)	150'	201.11'
MINIMUM LOT DEPTH (feet)	150'	409.61'
LOT SURFACE COVERAGE (%)	80%	58% ±
LOT BUILDING COVERAGE	40%	19% ±
MAXIMUM HEIGHT	40'	40' MAX

PARKING SCHEDULE
OFFICE 3,328SF AT 1 SPACE/200SF = 17 SPACES
WAREHOUSE 6,914SF - 3 EMPLOYEES = 2 SPACES
19 SPACES REQUIRED
29 SPACES PROPOSED INCLUDING 2 HANDICAPPED INCLUDING 12 @ 12'X24'

24' BOX TRUCK PARKING
12 @ 12 @ 12'X25' PROVIDED

NOTE: TOTAL AREA OF PARKING EXCEEDS THE AREA OF THE WAREHOUSE

TRUCK DOCK NOTES
1. DOCK WILL ACCOMMODATE A 53' TRAILER MAX. (WB-67)
2. TRACTOR SHALL BE A DAY CAB
3. TRACTOR SHALL BE DETACHED WHEN PARKED

MAXIMUM PROPOSED DISTURBANCE= 0.73AC

RECORD OWNER'S CONSENT NOTE:
THE UNDERSIGNED OWNERS OF THE PROPERTY HERON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

33 JEANNE DRIVE
NEWBURGH, NY, 12550
&
68 JONSPIN ROAD
WILMINGTON, MA, 01887

SIGNATURE

APPLICANT
UNIFIRST CORPORATION
33 JEANNE DRIVE
NEWBURGH, NY, 12550
&
68 JONSPIN ROAD
WILMINGTON, MA, 01887

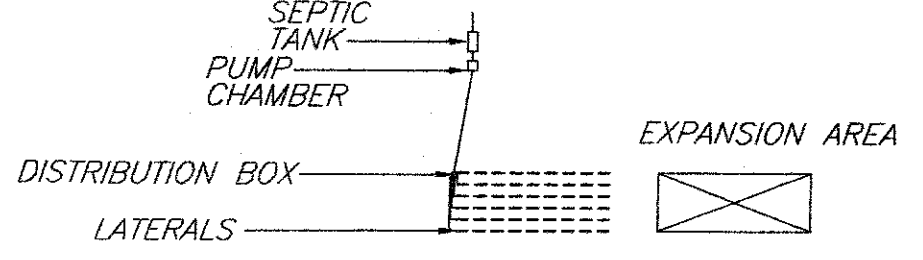
UNIFIRST CORPORATION
33 JEANNE DRIVE
NEWBURGH, NY 12550
LIBER 187-2-38.53
TAX ID# 34-2-38.53
(NOT LOANABLE)

NOW OR FORMERLY LANDS OF
EVERGREEN PROPERTY I, LLC
LIBER 12279 - PAGE 440
LOT 3 - FM# 4677 (SEE ITEM #6. IN REFS.)
TAX ID# 34-2-38.53
#23 JEANNE DRIVE

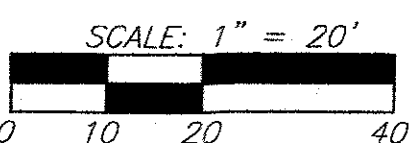
NOW OR FORMERLY LANDS OF
R & V REALTY, LLC
LIBER 5685 - PAGE 208
PARCEL "B" & REMAINDER PARCEL FM#
205-01 (SEE ITEM #4. IN REFS.)
TAX ID# 34-2-38.61
#37 JEANNE DRIVE

LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- - - EXISTING CONTOURS (2')
- - - EXISTING CONTOURS (10')
- CONTOURS PROPOSED (1')
- - - CONTOURS PROPOSED (5')
- - - EASEMENT
- - - WATER SERVICE LINE EXISTING
- - - GAS LINE
- - - OVERHEAD WIRE
- - - SETBACKS
- STONEWALL
- - - WATER SERVICE LINE PROPOSED
- - - SILT FENCE



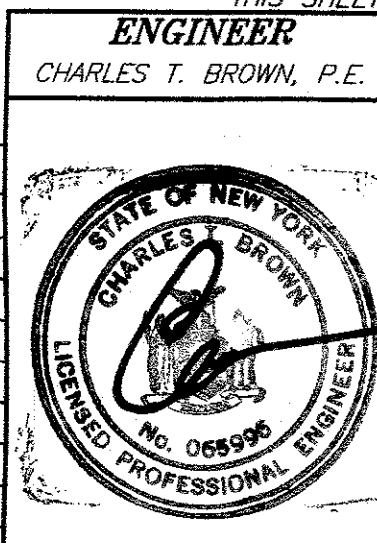
*P# PERCOLATION TEST
*D# DEEP TEST



MAP REFERENCES:
1. ALL EXISTING FEATURES INCLUDING TOPOGRAPHY BUILDING, PROPERTY LINES AND ROADS LINES HAVE BEEN OBTAINED PER A SURVEY ENTITLED "UNIFIRST CORPORATION" PERFORM BY JONATHAN N. MILLEN L.L.S. LAST REVISED 10/23/15

REVISIONS

REV.	DATE	BY	DESCRIPTION
2	12/26/17	RBM	REVISED BUILDING
1	08/30/17	RBM	REVISED BUILDING



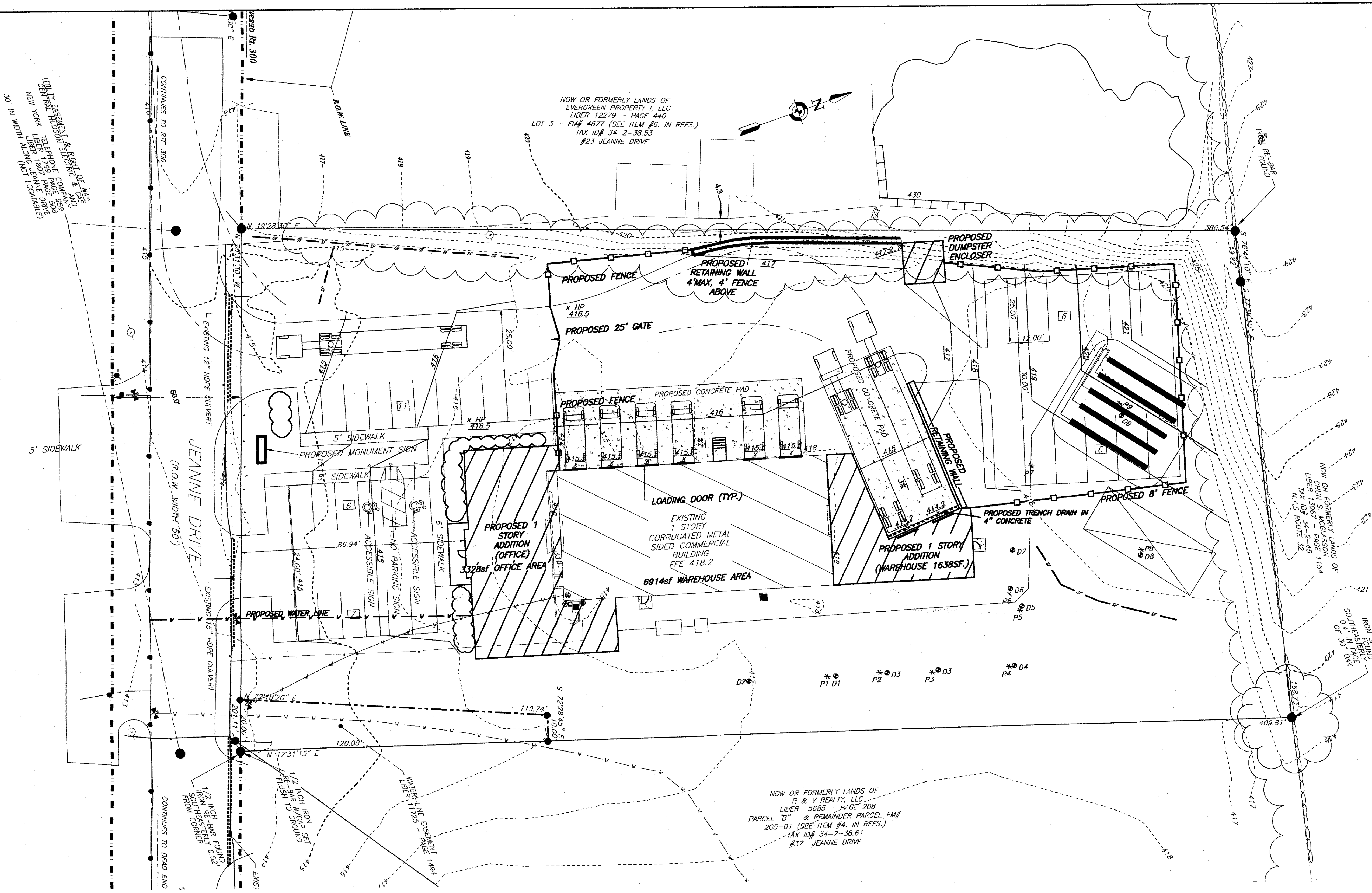
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

ENGINEER
CHARLES T. BROWN, P.E.

TALCOTT ENGINEERING DESIGN PLLC
1 GARDNERTOWN ROAD
NEWBURGH, NY 12550
(845)-569-8400
(FAX) (845)-569-4583
TALCOTTDESIGN12@GMAIL.COM

PROPOSED LAYOUT
AMENDED SITE PLAN FOR:
UNIFIRST ADDITION
33 JEANNE DRIVE, SBL: 34-2-38.32
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 08/30/16 SCALE: 1"=20' JOB NUMBER: 16007-UFC SHEET NUMBER: 1 OF 5



DEEP TEST DATA:

D1-1	120" DEEP	08/02/16
0-2"	TOPSOIL	
2-4"	FILL	
4-120"	CLAYLOAM W/ GRAVEL, SOME MOTTLING	
	WATER SEEPAGE @ 27"; WATER @ 120"; MOTTLING @ 55"	
D1	68" DEEP	08/02/16
0-8"	TOPSOIL	
8-50"	CLAYLOAM W/ GRAVEL	
50"-68"	WET	
	WATER @ 50", NO ROCK	
D2	WATER IN HOLE	08/02/16
D3	63" DEEP	08/02/16
0-4"	TOPSOIL	
4-10"	FILL	
10"-63"	CLAYLOAM W/ GRAVEL	
	WATER @ 58", NO ROCK	
D4	65" DEEP	10/11/17
0-2"	TOPSOIL	
2-12"	DARK SHALE LOAM	
12"-65"	CLAYLOAM W/ STONE	
	NO WATER, NO ROCK, MOTTLING @ 12"	
D5	65" DEEP	10/11/17
0-5"	TOPSOIL	
5-12"	DARK SHALE LOAM W/ LARGE ROCK AND DEBRIS	
12"-65"	CLAYLOAM W/ STONE	
	NO ROCK, NO WATER, MOTTLING @ 26"	
D6	65" DEEP	10/11/17
0-5"	TOPSOIL	
5-12"	DARK SHALE LOAM W/ LARGE ROCK AND DEBRIS	
12"-65"	CLAYLOAM W/ STONE	
	NO ROCK, NO WATER, MOTTLING @ 26"	
D7	65" DEEP	10/11/17
0-5"	TOPSOIL	
5-12"	DARK SHALE LOAM W/ LARGE ROCK AND DEBRIS	
12"-65"	CLAYLOAM W/ STONE	
	NO ROCK, NO WATER, MOTTLING @ 26"	
D8	50" DEEP	10/11/17
0-3"	TOPSOIL	
3-7"	DARK SHALE LOAM W/ LARGE ROCK	
7"-50"	CLAYLOAM W/ STONE	
	NO WATER, NO MOTTLING, ROCK @ 50"	
D9	50" DEEP	10/11/17
0-3"	TOPSOIL	
3-7"	DARK SHALE LOAM W/ LARGE ROCK	
7"-50"	CLAYLOAM W/ STONE	
	NO WATER, NO MOTTLING, ROCK @ 50"	

PERCOLATION DATA:

* P8	12" DEEP	10/11/17
	1	2
	FINISH	11:44 11:50
	START	11:39 11:45
	TIME	00:05 00:05
	STABILIZED PERCOLATION RATE: 5 MINUTES /INCH	
* P9	12" DEEP	10/11/17
	1	2
	FINISH	12:28 12:49 1:09
	START	12:18 12:29 12:49
	TIME	00:10 00:20 00:20
	STABILIZED PERCOLATION RATE: 20 MINUTES /INCH	

SEPTIC DESIGN CRITERIA:

OFFICE 3,328SF x 0.1 G/SF x 80% (LOW FLOW) = 266.24GPD
 WAREHOUSE 3 EMPLOYEES x 15 G/E x 80% (LOW FLOW) = 36.00 GPD
 302.24GPD

- FLOW RATE (GALS /DAY) - 302
- SEPTIC TANK - 1,250gal
- DESIGN LENGTHS:
- 5 ROWS OF 8 UNITS (35' ROWS WITH END CAPS) = 175LF total (161LF REQ'D) *
- FILL REQUIRED

* SEWAGE DISPOSAL SYSTEMS MUST BE CONSTRUCTED USING THE "CULTECH CONTRATOR 100HD" AS MANUFACTURED BY CULTECH SEE CULTECH NOTES AND DETAILS ON SHEET 5

LEGEND

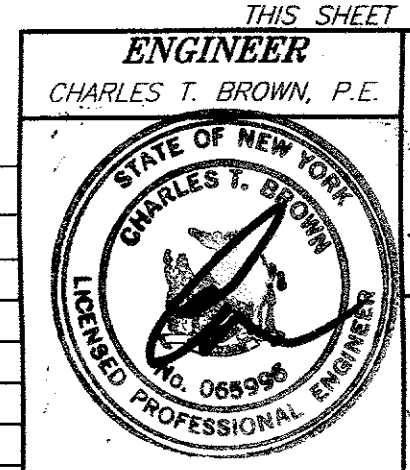
- PROPERTY LINE EXISTING
 - — — PROPERTY LINE ADJOINING
 - - - - - EXISTING CONTOURS (2')
 - - - - - EXISTING CONTOURS (10')
 - — — CONTOURS PROPOSED (1')
 - — — CONTOURS PROPOSED (5')
 - - - - - EASEMENT
 - - - - - WATER SERVICE LINE EXISTING
 - - - - - GAS LINE
 - - - - - OVERHEAD WIRE
 - - - - - SETBACKS
 - STONEMASS
 - - - - - WATER SERVICE LINE PROPOSED
 - - - - - SILT FENCE
- SEPTIC TANK
 PUMP CHAMBER
 DISTRIBUTION BOX
 LATERALS
 EXPANSION AREA
 PERCOLATION TEST
 DEEP TEST

TOWN OF NEWBURGH CERTIFICATION:

"I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

REVISIONS

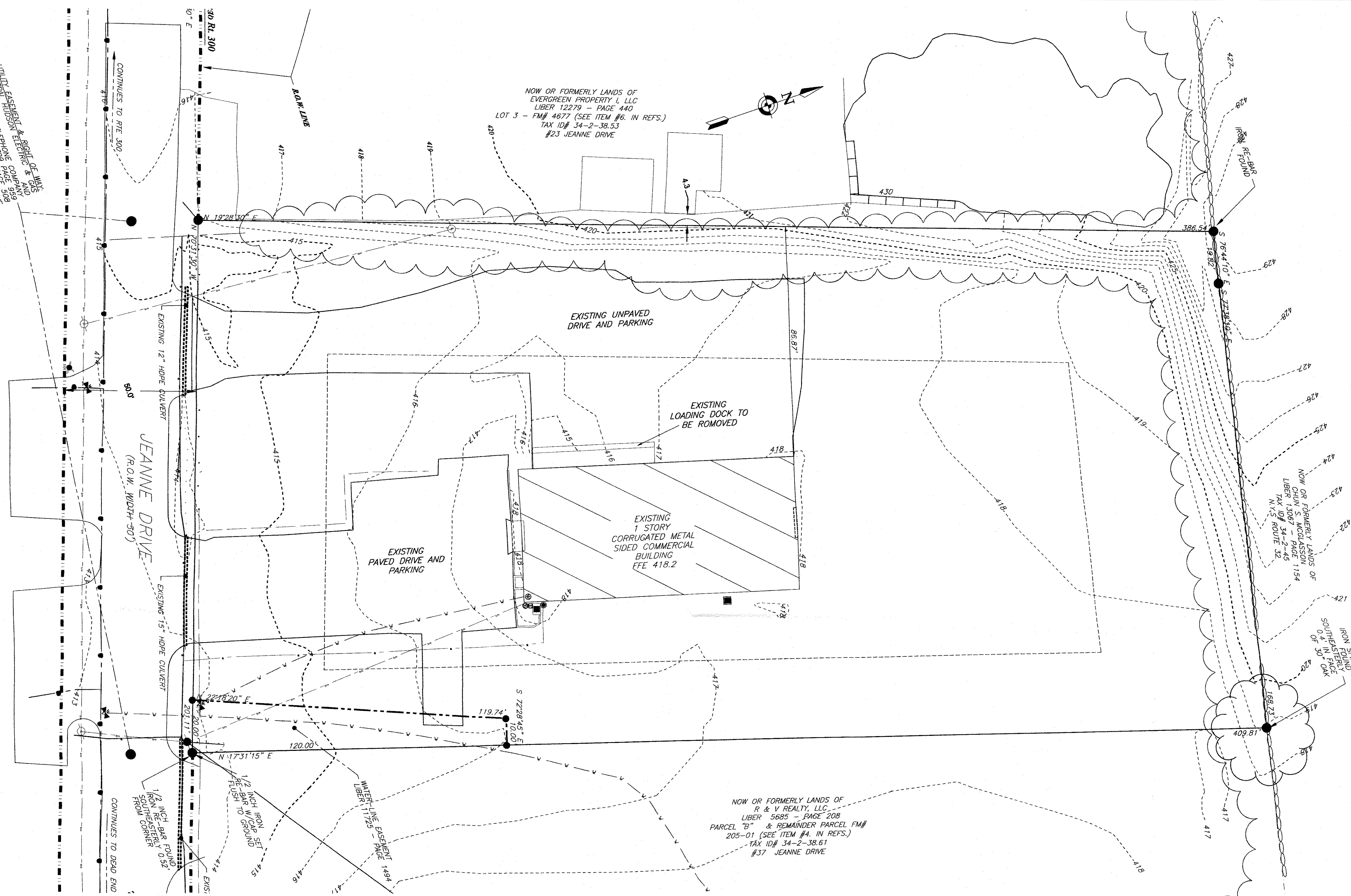
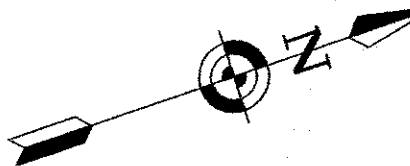
REV.	DATE	BY	DESCRIPTION
2	12/26/17	RBM	REVISED BUILDING
1	08/30/17	RBM	REVISED BUILDING



THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.
ENGINEER
 CHARLES T. BROWN, P.E.
TALCOTT ENGINEERING DESIGN PLLC
 1 GARDNERTOWN ROAD
 NEWBURGH, NY 12550
 (845)-569-8400
 (FAX) (845)-569-4583
 TALCOTTDESIGN12@GMAIL.COM
GRADING
AMENDED SITE PLAN FOR:
UNIFIRST ADDITION
33 JEANNE DRIVE, SBL: 34-2-38.32
TOWN OF NEWBURGH, ORANGE COUNTY, NY
 DATE: 08/30/16 SCALE: 1"=20' JOB NUMBER: 16007-UFC SHEET NUMBER: 2 OF 5

UTILITY EASEMENT & RIGHT OF WAY
 CENTRAL Hudson Electric Co. ANY
 TELEPHONE CABLE 939
 NEW YORK LIBER 1807 JEFFERSON
 LIBER JEANNE DRIVE
 30' IN WIDTH ALONG (NOT LOCARABLE)

NOW OR FORMERLY LANDS OF
 EVERGREEN PROPERTY I, LLC
 LIBER 12279 - PAGE 440
 LOT 3 - FM# 4677 (SEE ITEM #6. IN REFS.)
 TAX ID# 34-2-38.53
 #23 JEANNE DRIVE




NOW OR FORMERLY LANDS OF
 R & V REALTY, LLC
 LIBER 5685 - PAGE 208
 PARCEL "B" & REMAINDER PARCEL FM#
 205-01 (SEE ITEM #4. IN REFS.)
 TAX ID# 34-2-38.61
 #37 JEANNE DRIVE

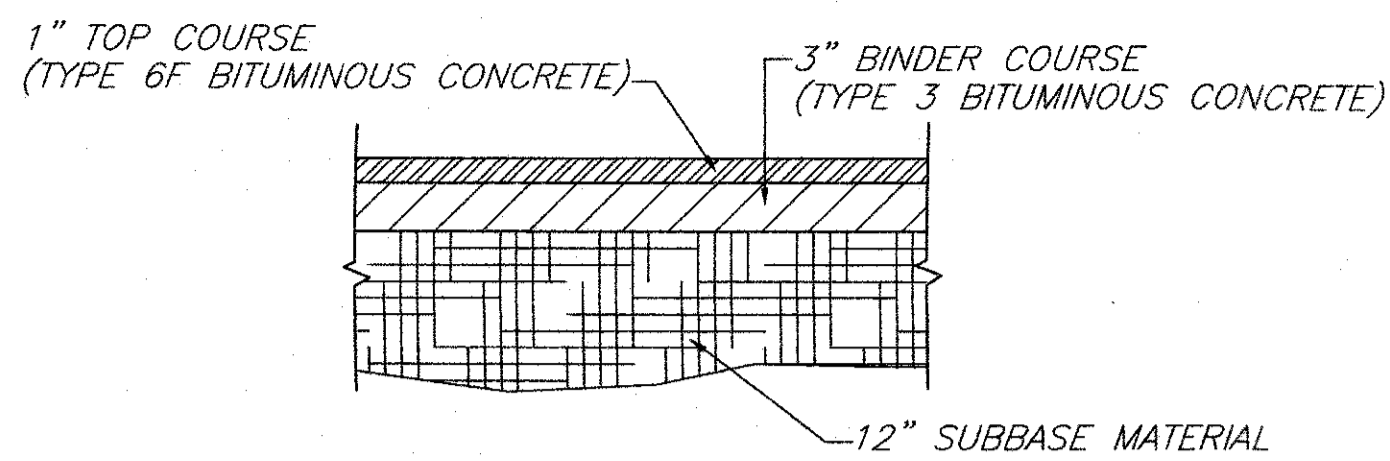
LEGEND

- PROPERTY LINE EXISTING
- — — PROPERTY LINE ADJOINING
- - - - - EXISTING CONTOURS (2')
- - - - - EXISTING CONTOURS (10')
- — — CONTOURS PROPOSED (1')
- — — CONTOURS PROPOSED (5')
- - - - - EASEMENT
- - - - - WATER SERVICE LINE EXISTING
- - - - - GAS LINE
- - - - - OVERHEAD WIRE
- - - - - SETBACKS
- ○ ○ ○ ○ STONEMALL

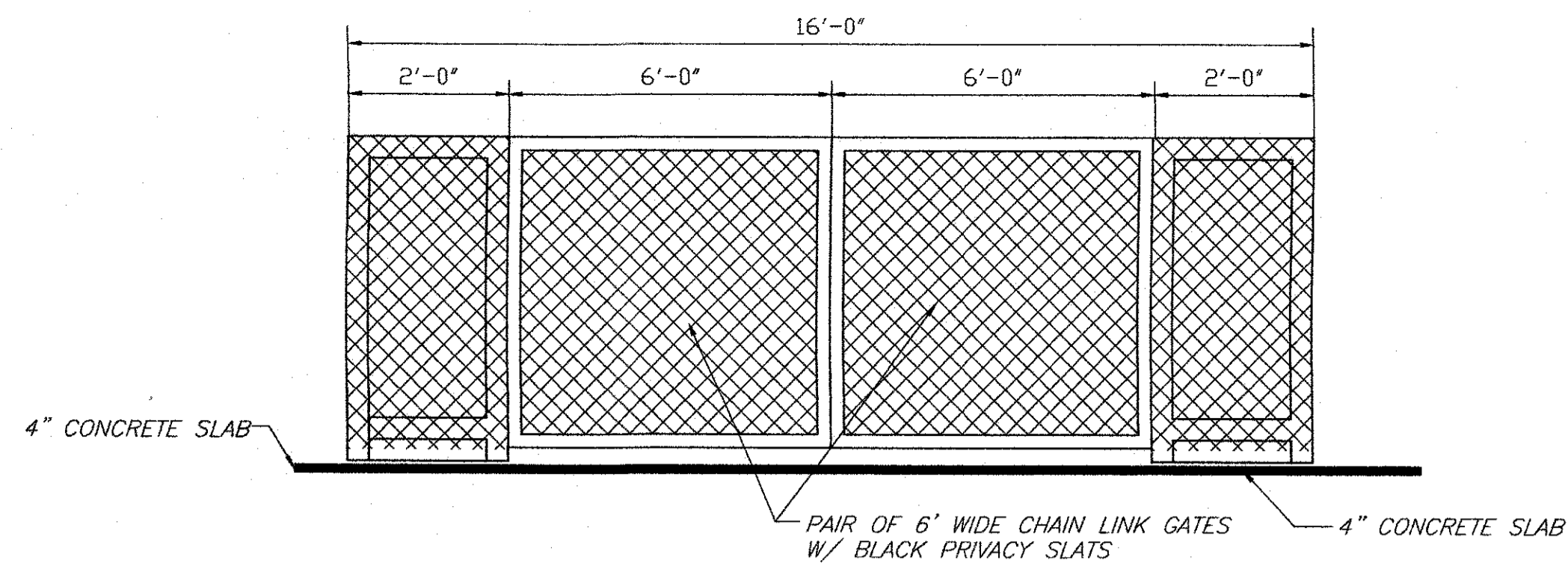
REVISIONS			
REV.	DATE	BY	DESCRIPTION

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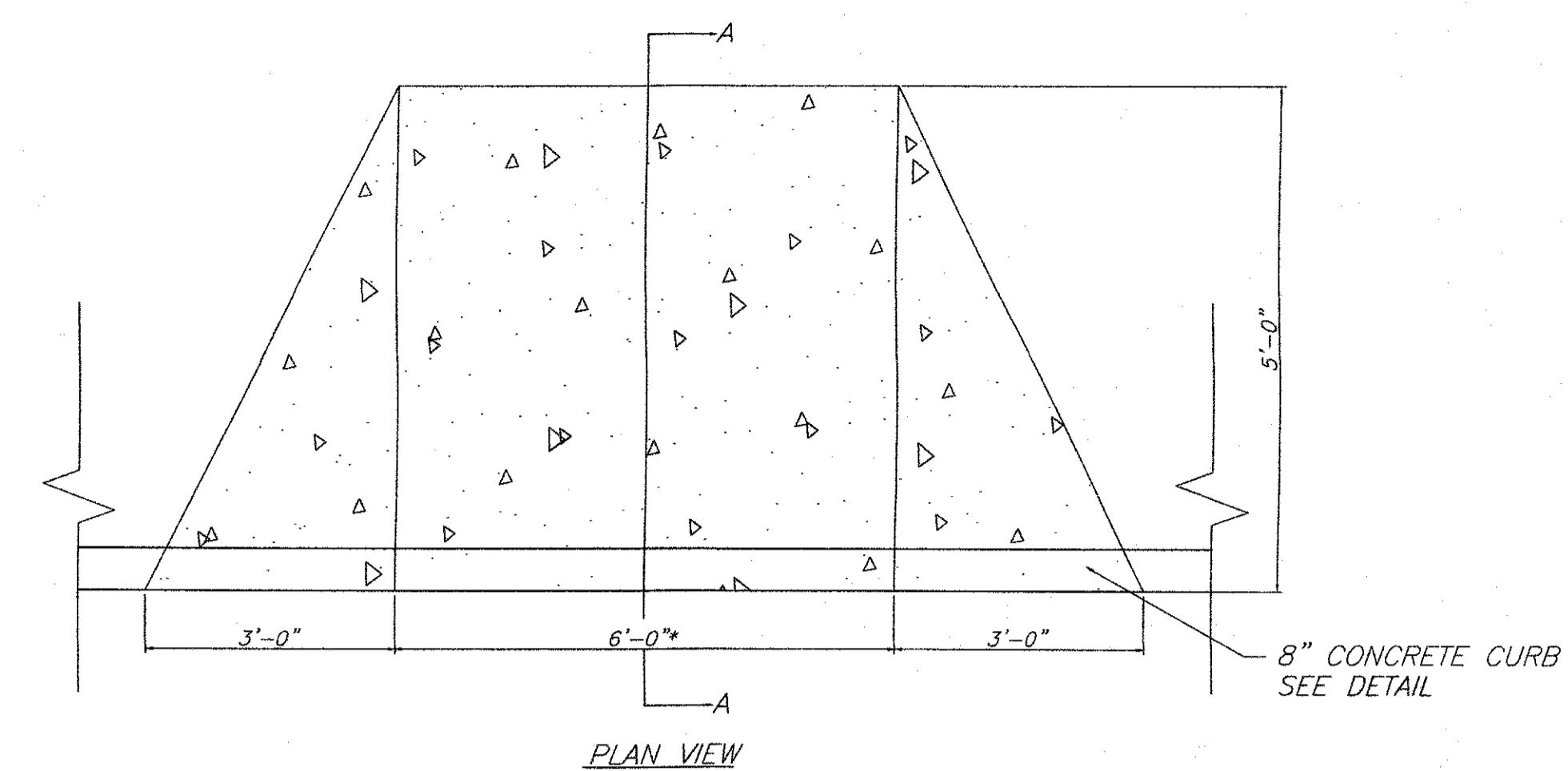
<p>ENGINEER CHARLES T. BROWN, P.E.</p> 	<p style="text-align: center;">TALCOTT ENGINEERING DESIGN PLLC</p> <p style="text-align: center;">1 GARDNERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX)(845)-569-4583 TALCOTTDESIGN12@GMAIL.COM</p> <p style="text-align: center;">EXISTING LAYOUT</p> <p style="text-align: center;">AMENDED SITE PLAN FOR: UNIFIRST ADDITION 33 JEANNE DRIVE, SBL: 34-2-38.32 TOWN OF NEWBURGH, ORANGE COUNTY, NY</p>		
DATE: 12/26/17	SCALE: 1"=20'	JOB NUMBER: 16007-UFC	SHEET NUMBER: 3 OF 3



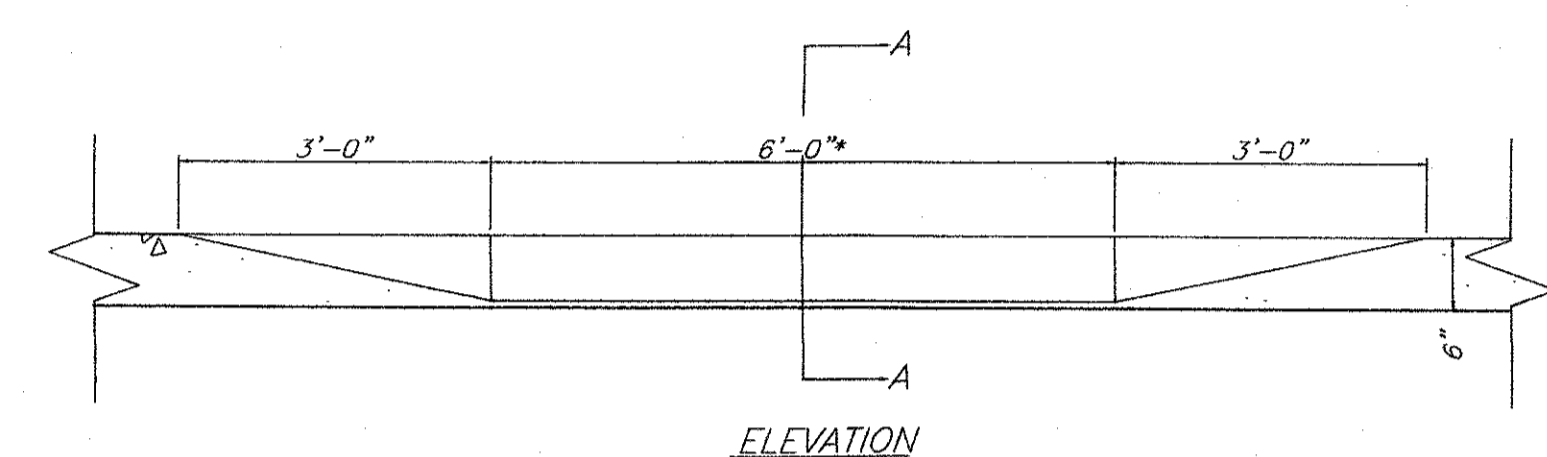
PAVEMENT DETAIL
N.T.S.



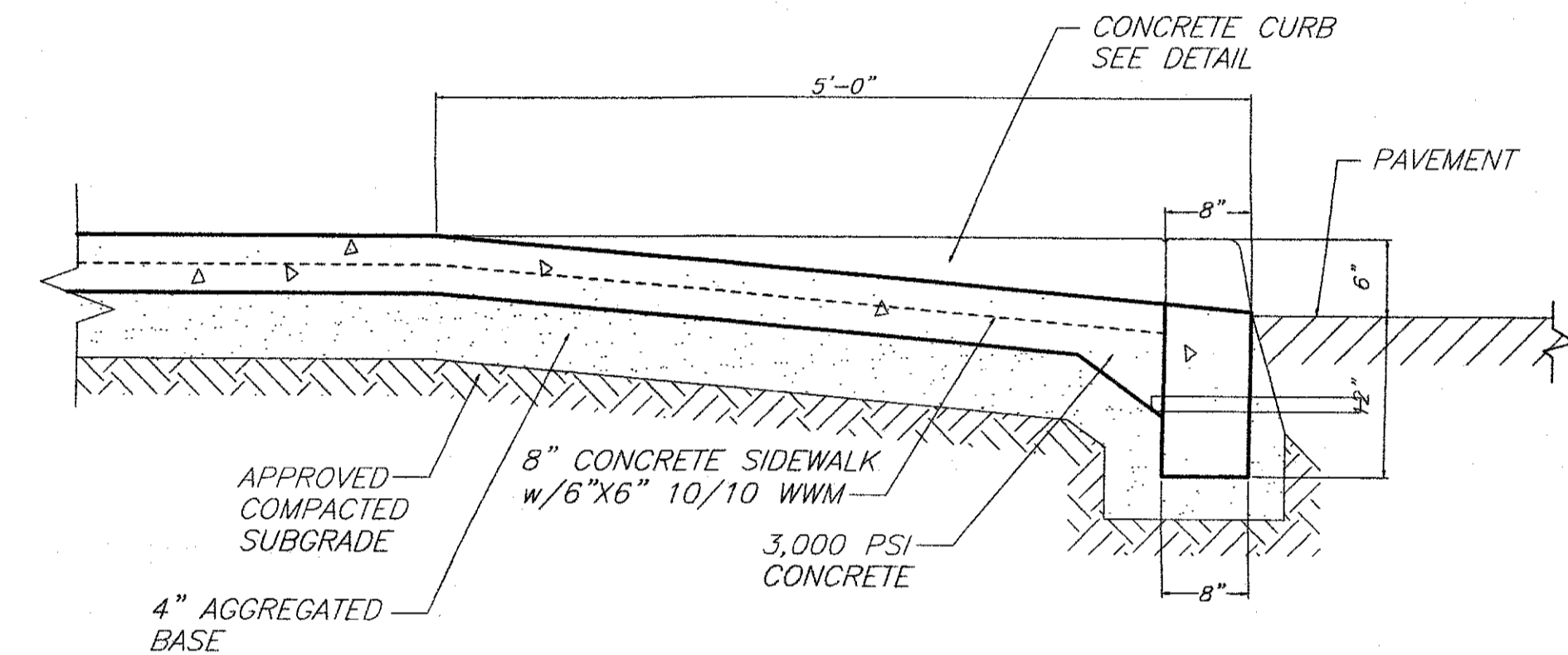
12'x12' DUMPSTER ENCLOSURE DETAIL
N.T.S.



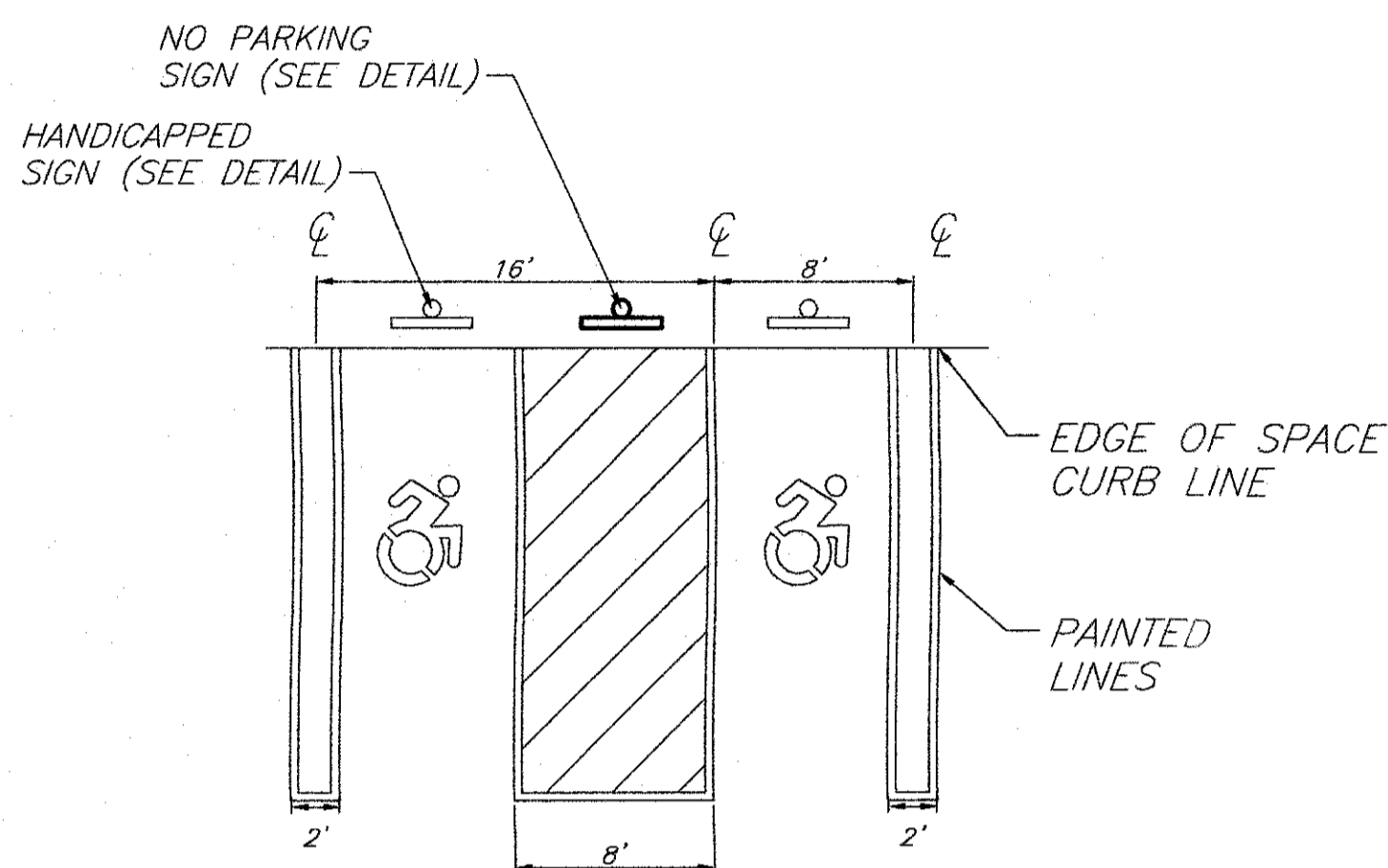
PLAN VIEW



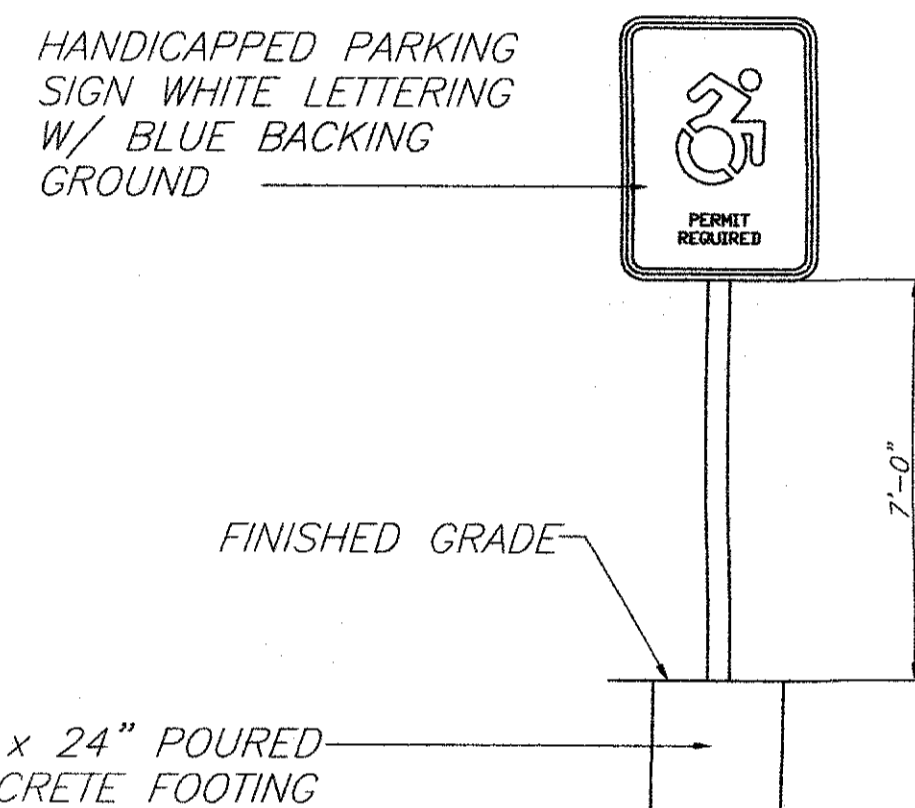
ELEVATION



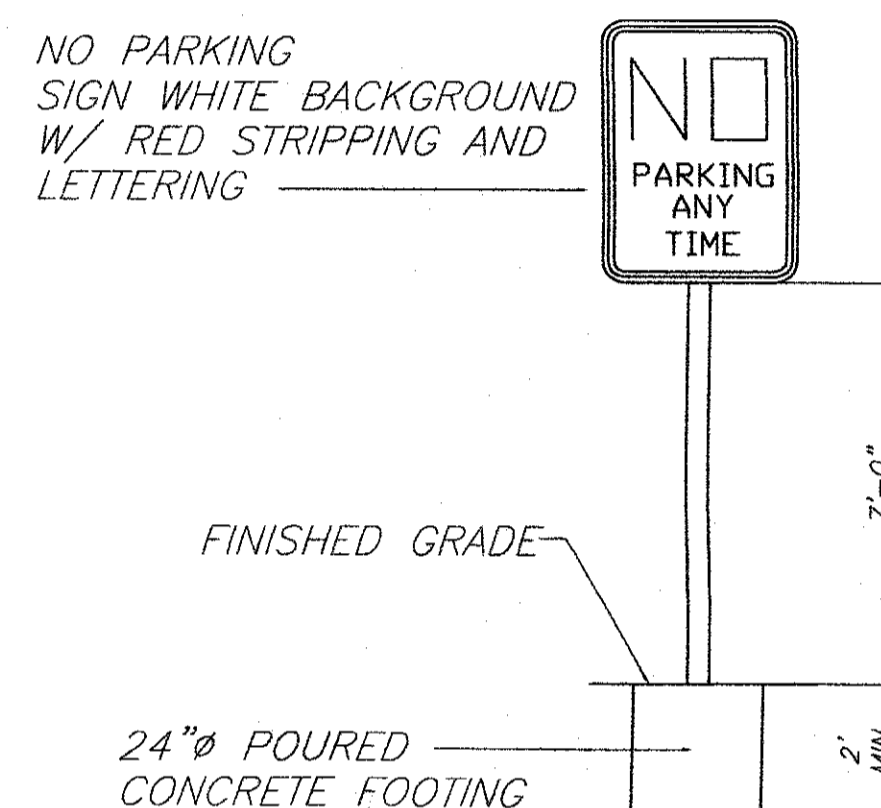
SECTION A-A *OR MATCH EXISTING SIDEWALK WIDTH
DROP CURB & HANDICAPPED RAMP DETAIL
N.T.S.



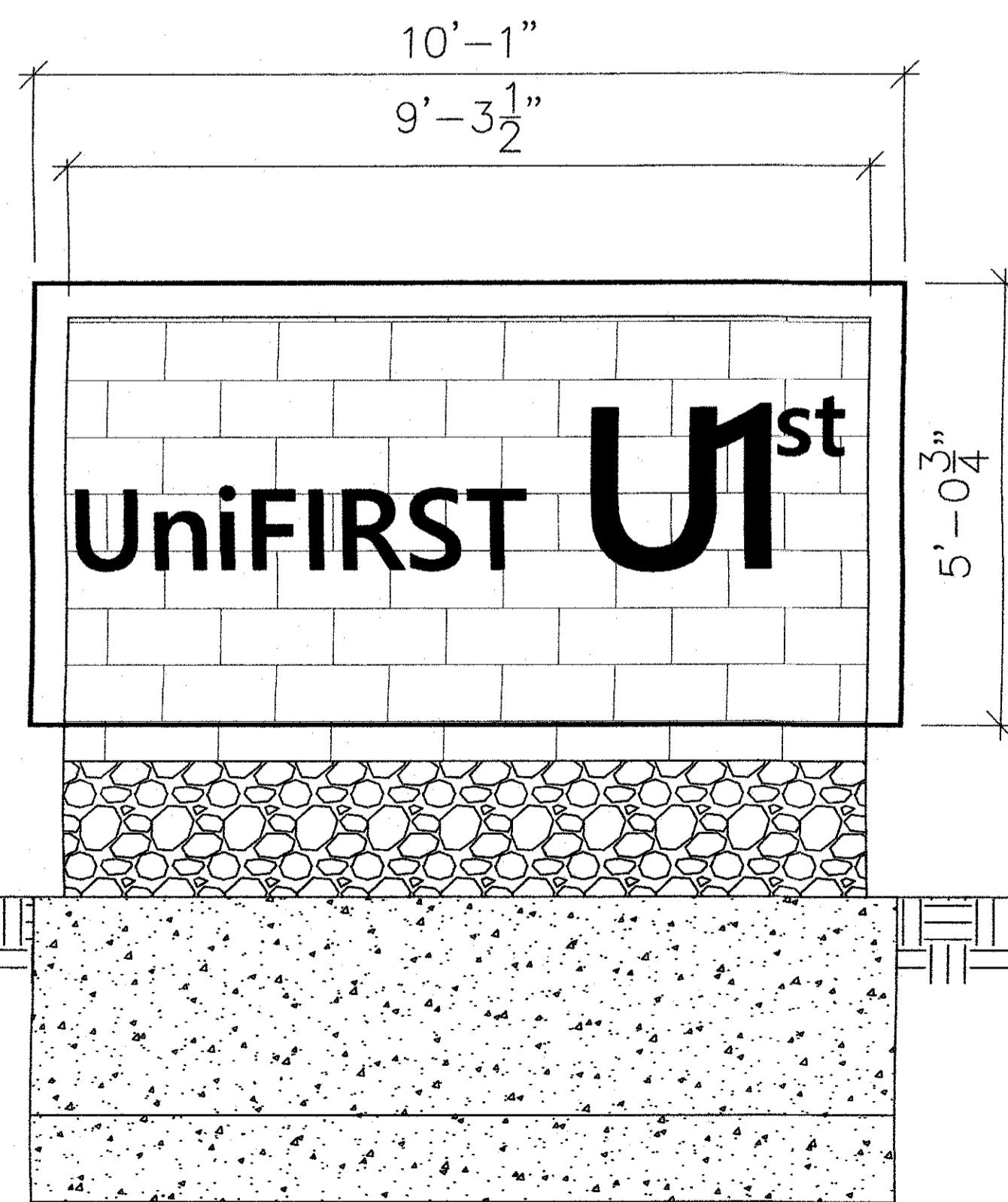
HANDICAPPED PARKING SPACE DETAIL
N.T.S.



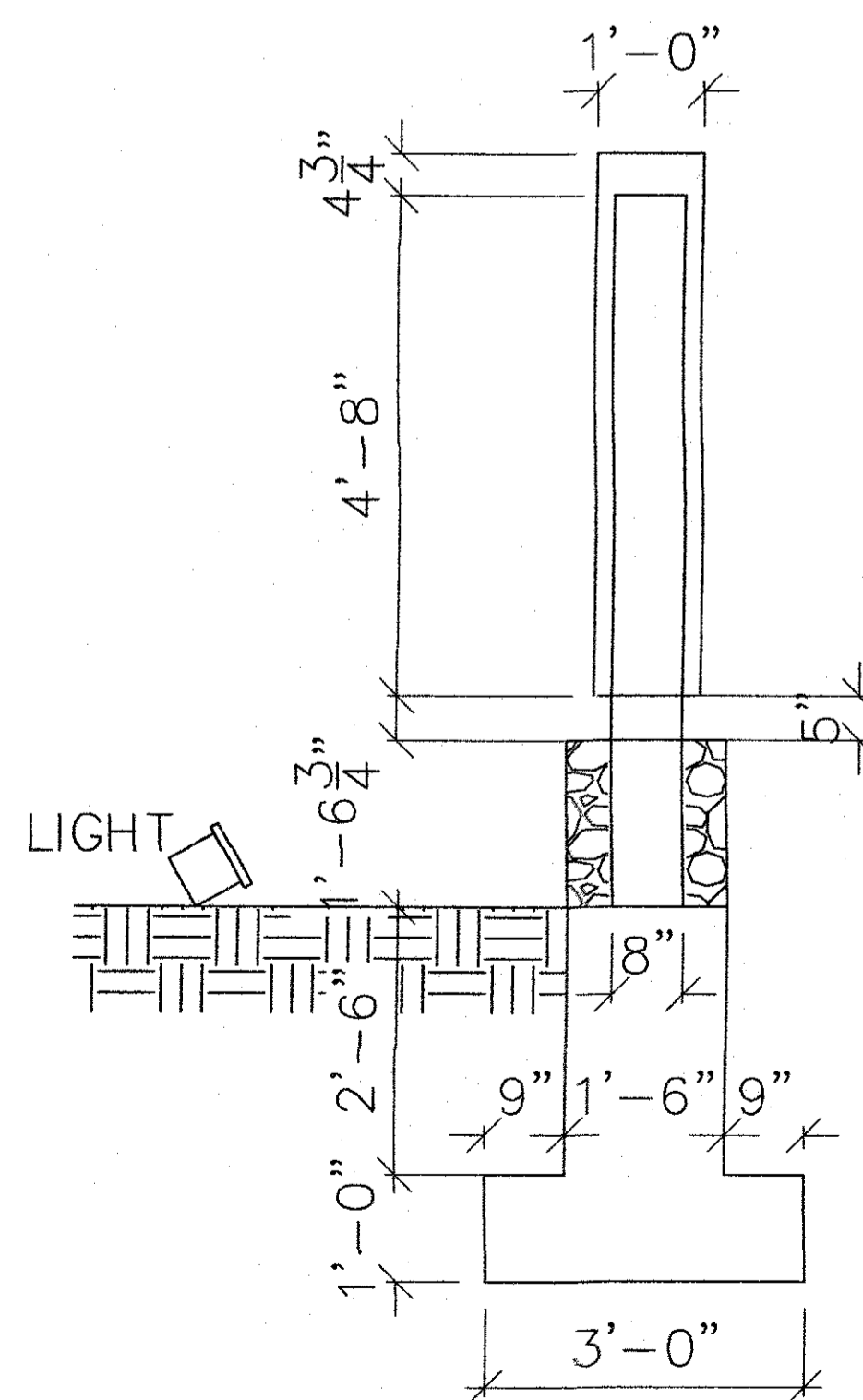
HANDICAP SIGN DETAIL
N.T.S.



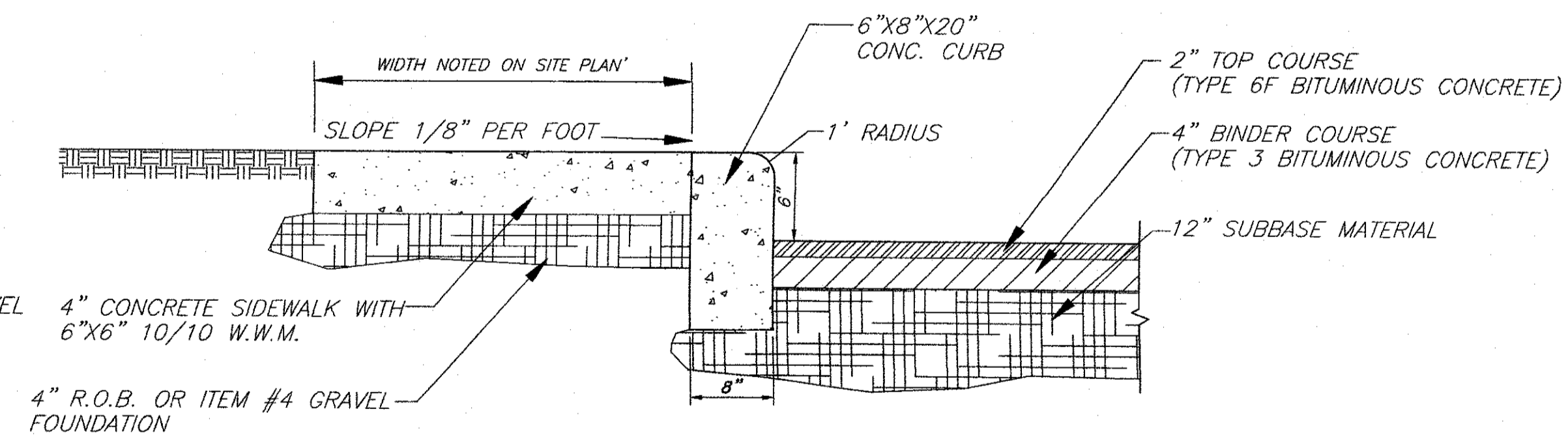
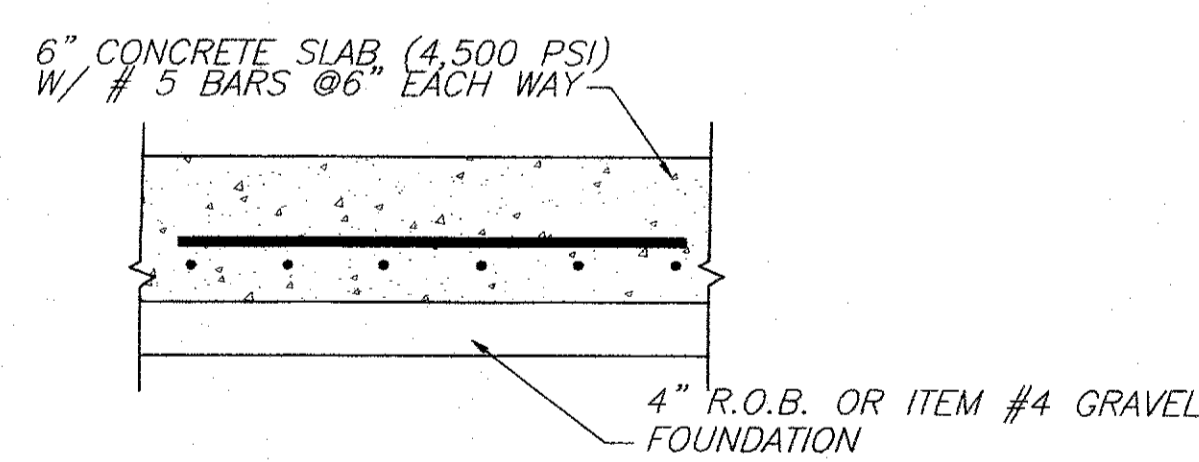
P1-1 SIGN DETAIL
N.T.S.



PROPOSED MOUNTMENT SIGN DETAIL
N.T.S.



CONCRETE DETAIL
N.T.S.



SIDEWALK, CURB & PAVEMENT DETAIL
N.T.S.

SIDEWALK NOTE:
PROVIDE 1/4" PRE MOLDED
EXPANSION JOINTS AT 20'
INTERVALS, AND CONTRACTION
JOINTS AT 5' INTERVALS

REVISIONS			
REV.	DATE	BY	DESCRIPTION

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

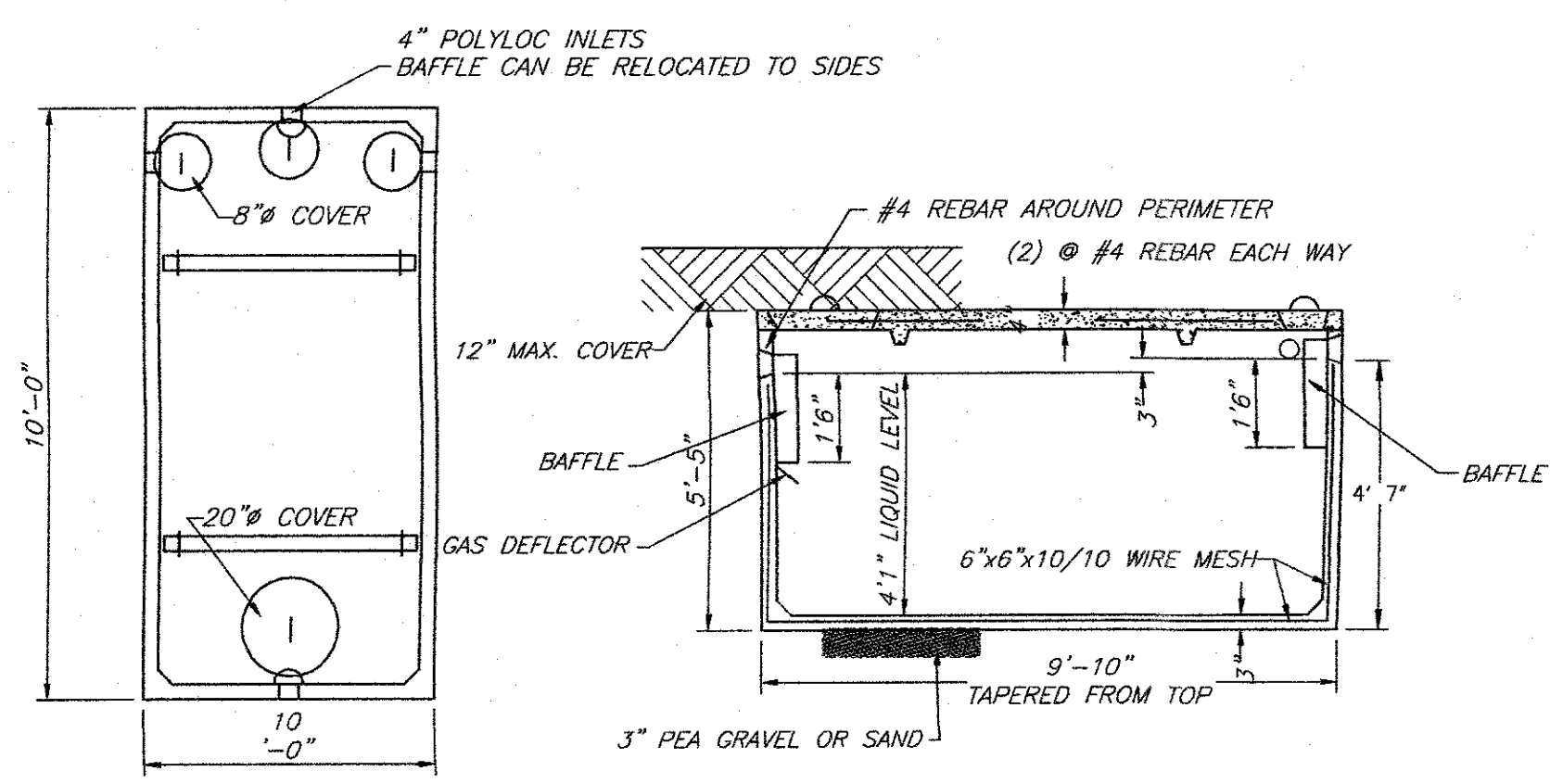
ENGINEER
CHARLES T. BROWN, P.E.

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NEWBURGH, NY 12550
(845)-569-8400
(FAX)(845)-569-4583
TALCOTTDDESIGN12@GMAIL.COM

DETAILS

AMENDED SITE PLAN FOR:
UNIFIRST ADDITION
33 JEANNE DRIVE, SBL: 34-2-38.32
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 12/26/17 SCALE: AS NOTED JOB NUMBER: 16007-UFC SHEET NUMBER: 4 OF 5



WOODARD'S 125gal. SEPTIC TANK OR EQUAL
N.T.S.

SPECIFICATIONS
CONCRETE MINIMUM STRENGTH - 4,000 PSI AT 28 DAYS REINFORCEMENT - 6x6 TOGA WWF, #4 REBAR AIR ENTRAPMENT - 5% CONSTRUCTION JOINT - BUTYL RUBBER - BASE CEMENT PIPE CONNECTION - POLYLOK SEAL (PATENTED) LOAD RATING - 300PSF WEIGHT = 9,500LBS

TOWN OF NEWBURGH WATER SERVICE NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE T.O.N. WATER SYSTEM REQUIRES A PERMIT FROM THE T.O.N. WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDDH AND THE T.O.N.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON. MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE T.O.N. WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 3/4 AND 1 INCH, MUELLER H-15000 OR B-25000 FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2 FOR 3/4 AND 1 INCH AND MUELLER B-25204 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314 FOR 3/4 AND 1 INCH AND MUELLER H-10310 FOR 1 1/2 AND 2 INCH SIZES. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE T.O.N. WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE T.O.N. WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE T.O.N. REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE T.O.N. WATER DEPARTMENT PRIOR TO PUTTING THE WATER MAIN IN SERVICE. SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE T.O.N. WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.

SEPTIC SYSTEM GENERAL NOTES:

- ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
- SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE AND 50' FROM WELL, CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN OR INTO THE VICINITY OF ABSORPTION FIELD.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
- NO TRENCHES TO BE INSTALLED IN WET SOIL.
- RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
- GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
- DISTRIBUTION LINES ARE TO BE CAPPED.
- THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
- ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
- NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 100' OF ANY WATER COURSE OR 35' DRAINAGE DITCH.
- ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
- BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
- THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JAGUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- THE DESIGN ENGINEER WILL BE REQUIRED TO CERTIFY THE COMPLETED DISPOSAL FACILITY.
- AN AS-BUILT SURVEY AND CERTIFICATION SHALL BE PROVIDED TO THE TOWN OF NEWBURGH CODE ENFORCEMENT DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATION OF OCCUPANCY.

STANDARD NOTES:

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

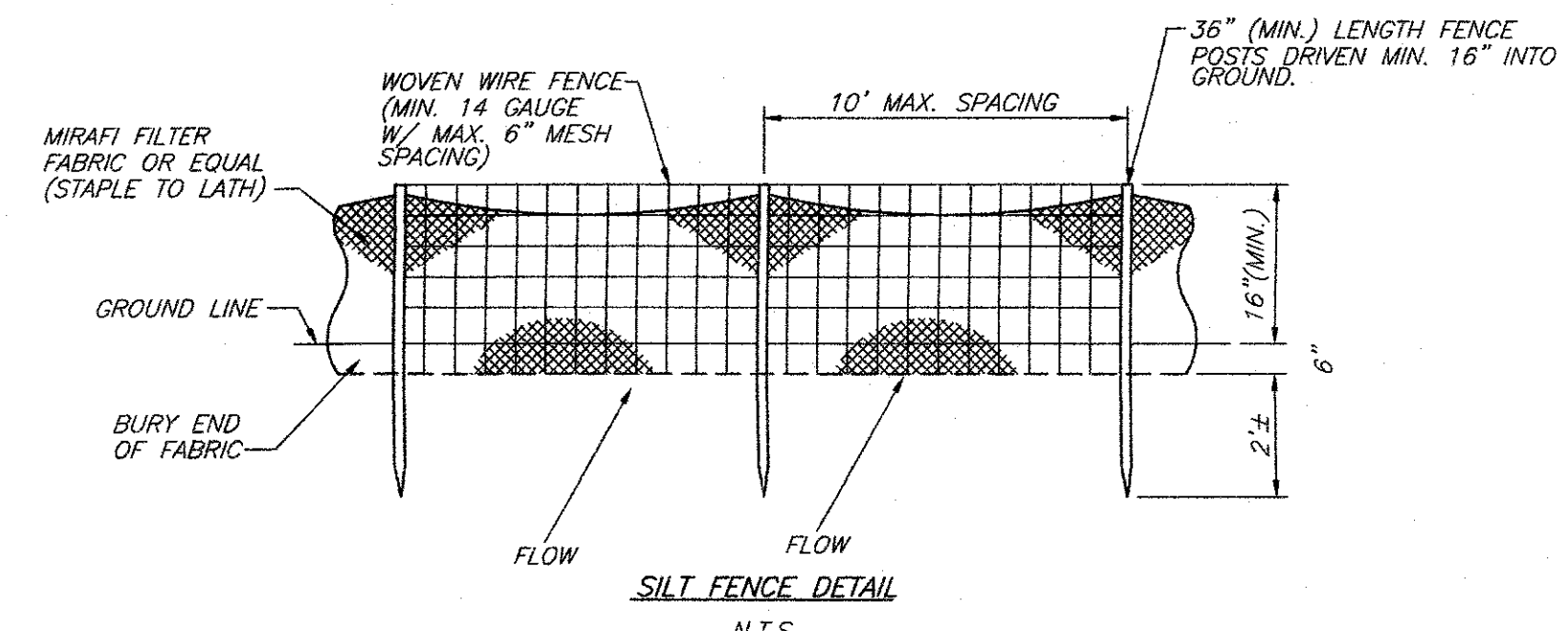
"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE.

ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

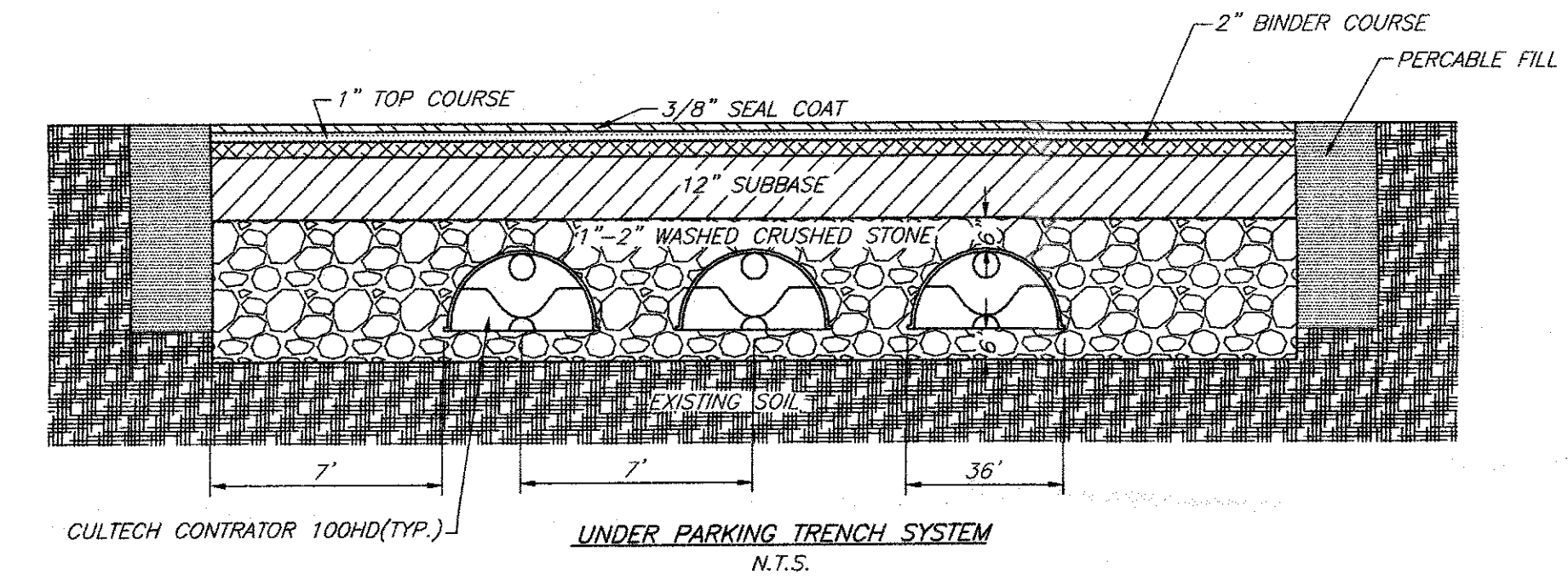
TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".



SILT FENCE DETAIL
N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.

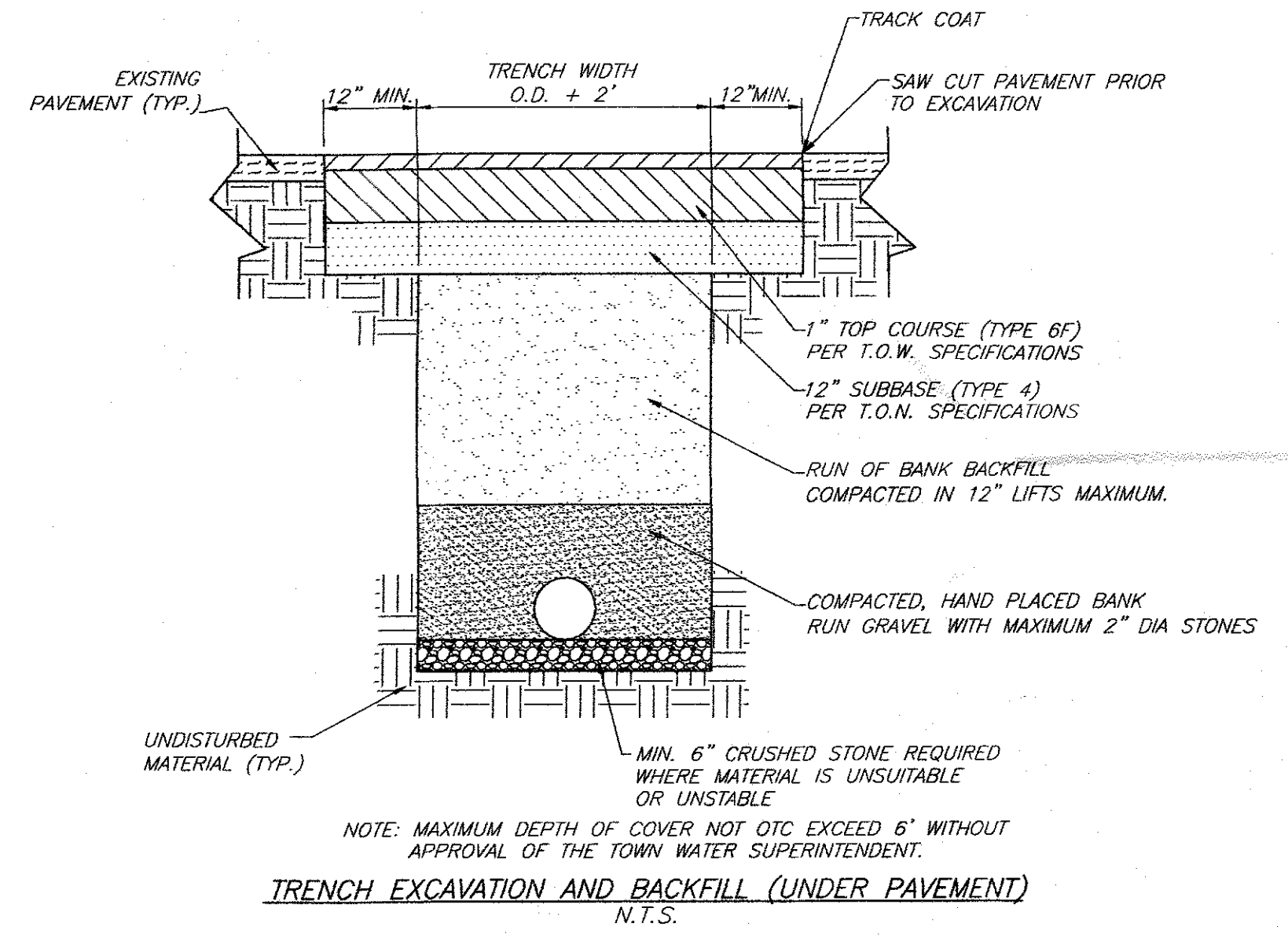
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "I" OR "U" TYPE, OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



UNDER PARKING TRENCH SYSTEM
N.T.S.

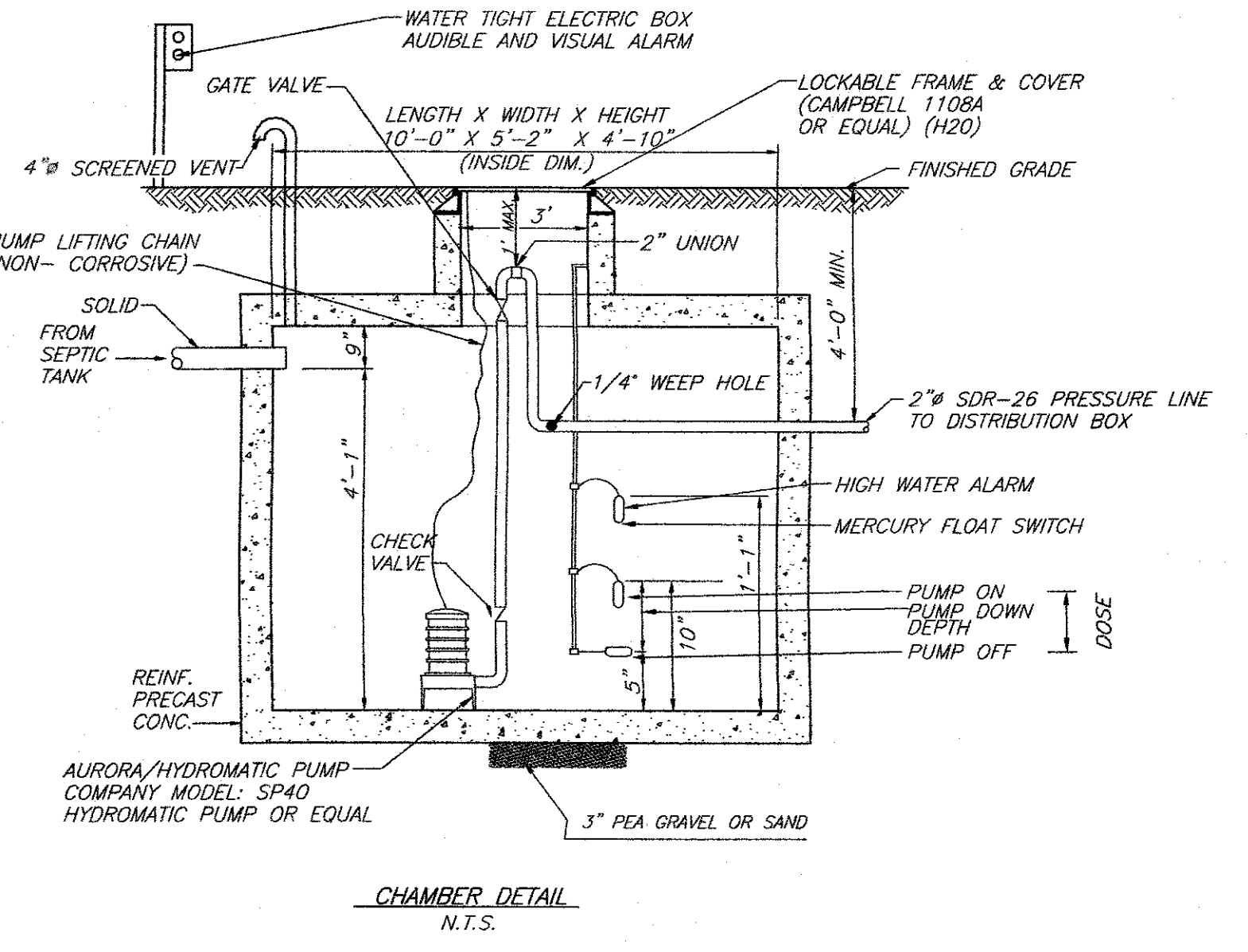
UNDER PARKING TRENCH SYSTEM NOTES:

- USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
- MAXIMUM DEPTH OF USABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30".
- TRENCH BOTTOMS SHALL BE LEVEL. TRENCHES SHALL BE PARALLEL TO GROUND CONTOURS.
- ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT EROSION.
- FILL SHALL EXTEND AT LEAST 10' BEYOND ENDS OF TRENCHES BEFORE STARTING TO ON 3 EDGES OF FILL.



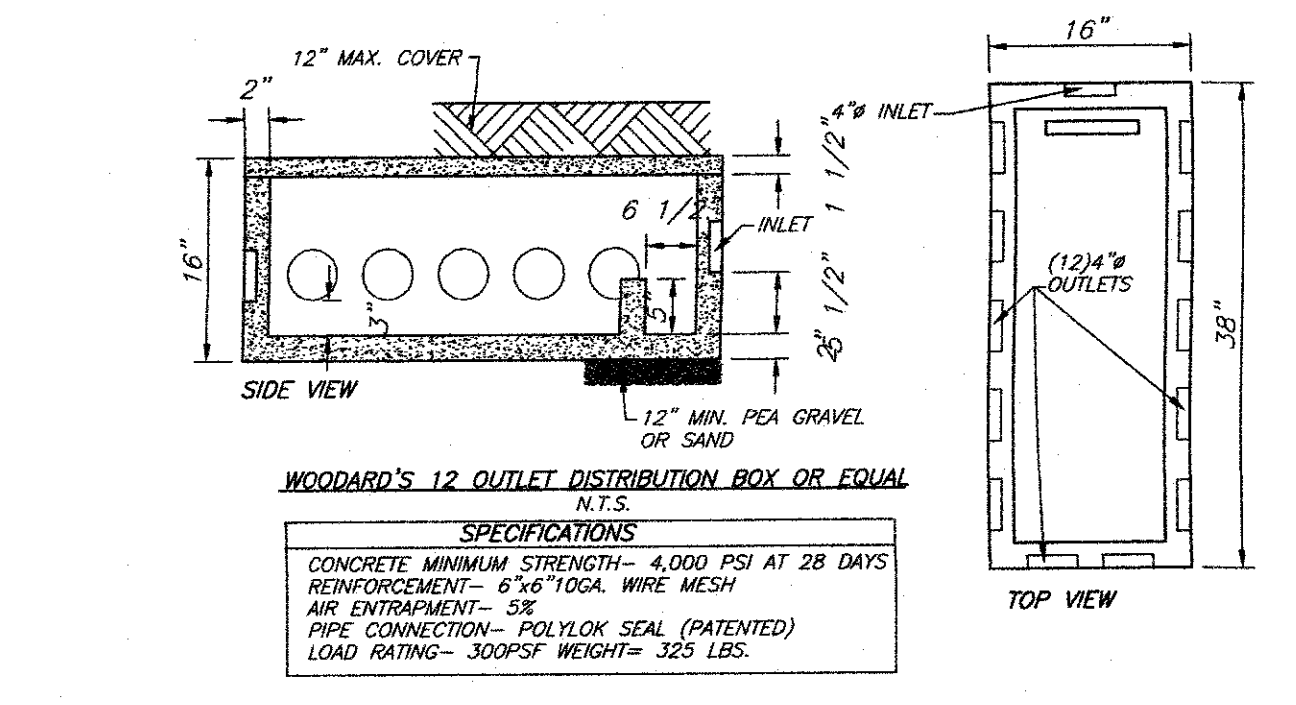
TRENCH EXCAVATION AND BACKFILL (UNDER PAVEMENT)
N.T.S.

NOTE: MAXIMUM DEPTH OF COVER NOT TO EXCEED 6" WITHOUT APPROVAL OF THE TOWN WATER SUPERINTENDENT.



PUMP CHAMBER NOTES:

- CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
- ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
- THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
- A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
- QUANTITY Dosed IS BASED UPON 75% OF 4" PIPE.
- QUANTITY STORED IS BASED UPON (2) DAY FLOW MINIMUM (ABOVE THE HIGH WATER ALARM).
- AS-BUILT MUST SHOW FORCE MAIN LOCATION.
- TANK JOINTS SHALL BE SEALED AND TESTED FOR WATER TIGHTNESS PRIOR TO USE.

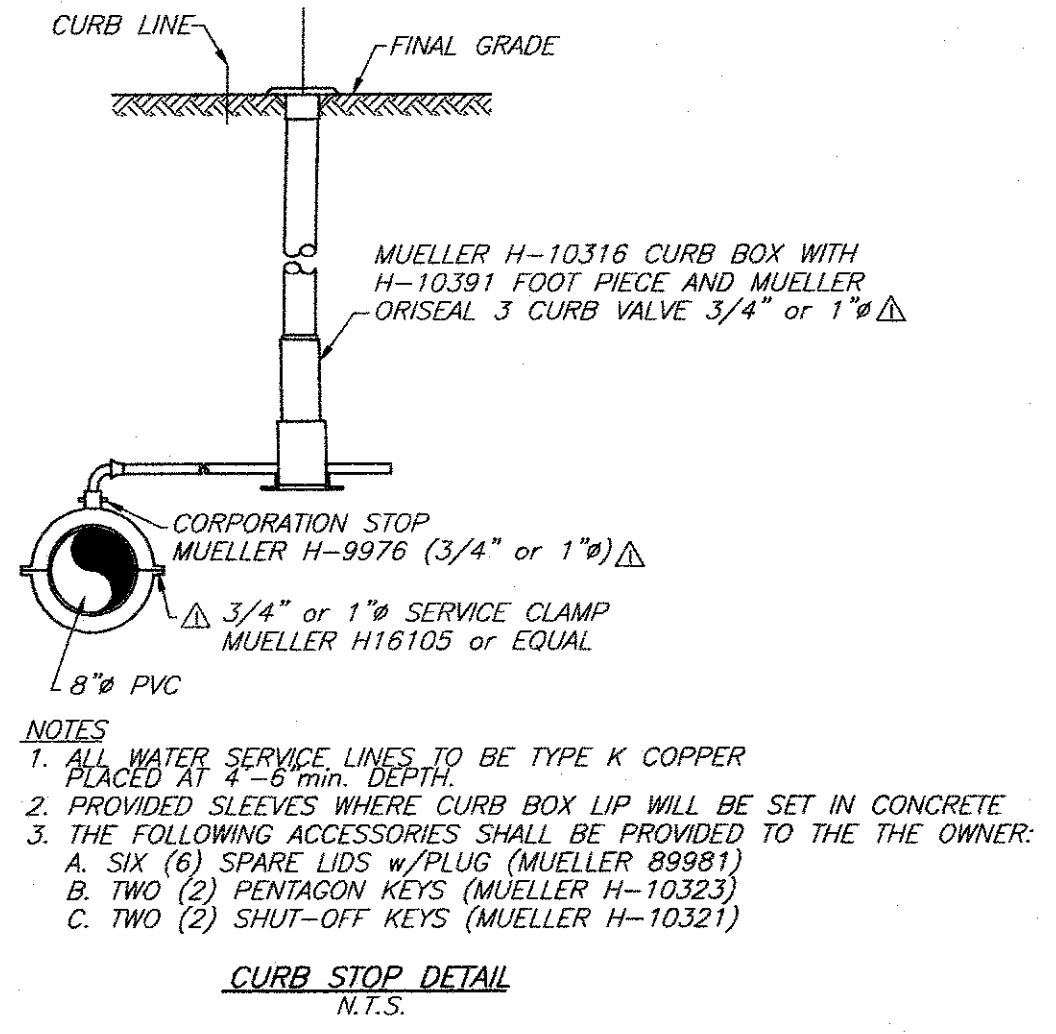
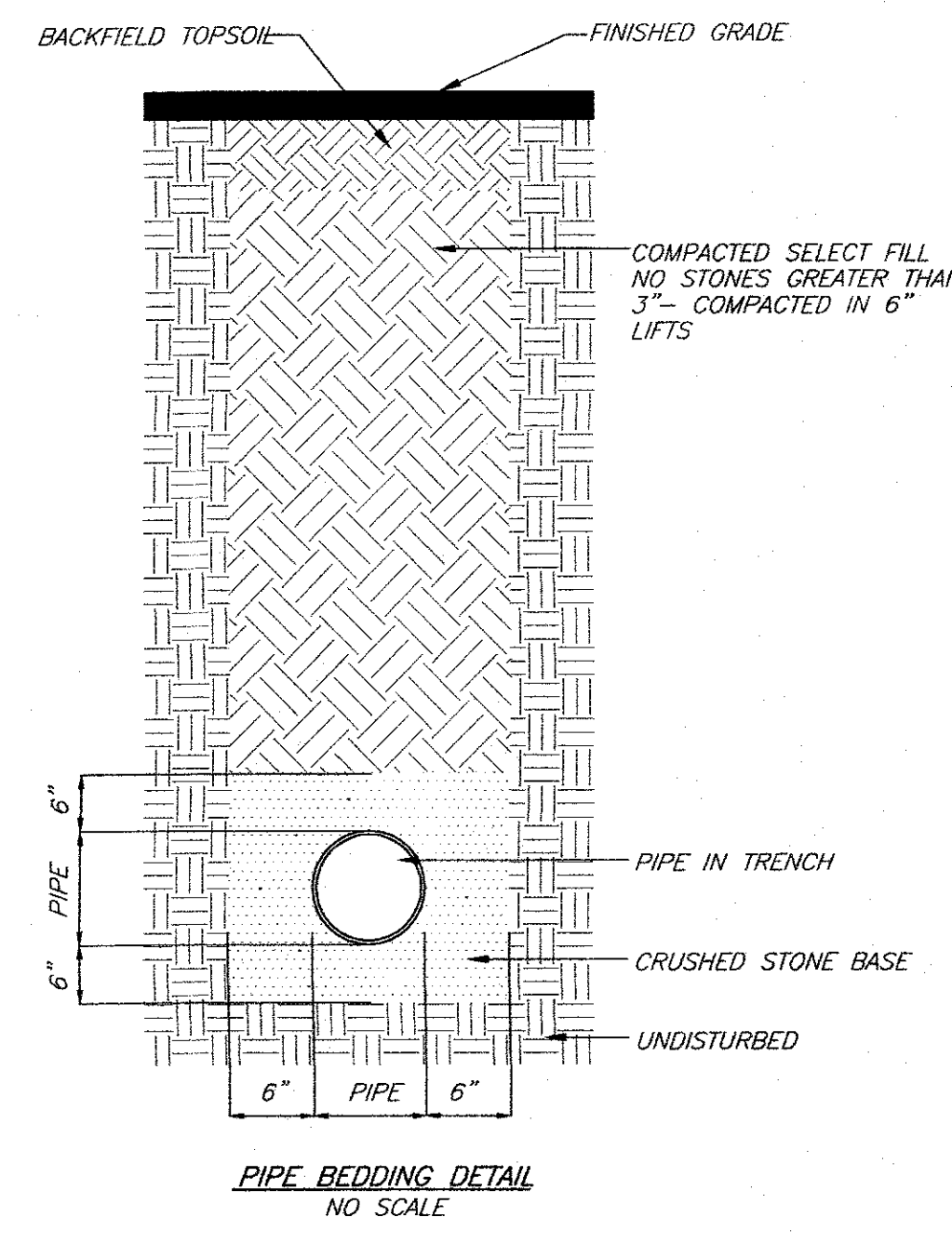


WOODARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL
N.T.S.

SPECIFICATIONS
CONCRETE MINIMUM STRENGTH - 4,000 PSI AT 28 DAYS REINFORCEMENT - 6x6 TOGA WIRE MESH AIR ENTRAPMENT - 5% PIPE CONNECTION - POLYLOK SEAL (PATENTED) LOAD RATING - 300PSF WEIGHT = 325 LBS.

WOODARD'S SPEED LEVELER FSL-4

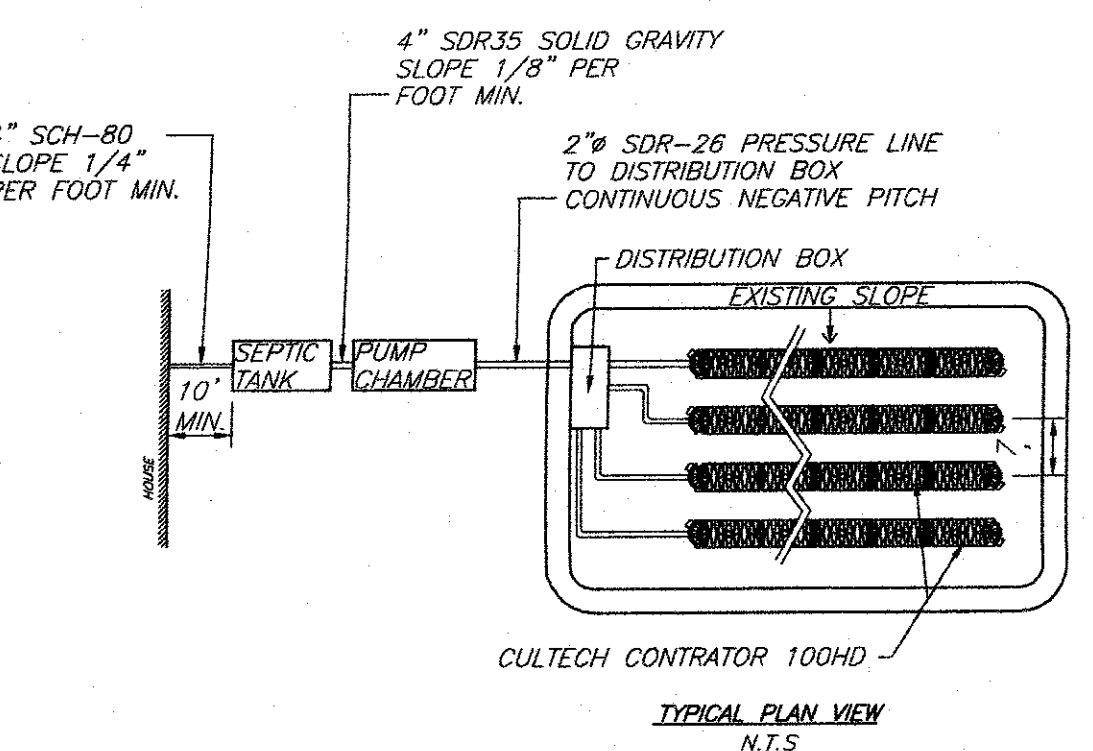
- INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DROPBOX.
- ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.



CURB STOP DETAIL
N.T.S.

NOTES

- ALL WATER SERVICE LINES TO BE TYPE K COPPER PLACED AT 4-6 MIN. DEPTH.
- PROVIDED SLEEVES WHERE CURB BOX LIP WILL BE SET IN CONCRETE.
- THE FOLLOWING ACCESSORIES SHALL BE PROVIDED TO THE OWNER:
 - SIX (6) SPARE LIDS w/PLUG (MUELLER 89861)
 - TWO (2) PENTAGON KEYS (MUELLER H-10323)
 - TWO (2) SHUT-OFF KEYS (MUELLER H-10321)



REVISIONS			
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ENGINEER
CHARLES T. BROWN, P.E.

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DETAILS

AMENDED SITE PLAN FOR:
UNIFIRST ADDITION
33 JEANNE DRIVE, SBL: 34-2-38.32
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 12/26/17 SCALE: 1"=20' JOB NUMBER: 16007-UFC SHEET NUMBER: 5 OF 5