



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: TESLA-EV CHARGING STATION-NEWBURGH MALL
PROJECT NO.: 2024-07
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 41.21/1410 UNION AVE.
REVIEW DATE: 31 MAY 2024
MEETING DATE: 6 JUNE 2024
PROJECT REPRESENTATIVE: DEWBERRY ENGINEERING

1. The project was submitted to the Orange County Planning Department on 8 April 2024.
2. The project is an Unlisted Action under SEQRA. No other involved agencies have been identified. Planning Board can consider a Negative Declaration for the project based on information provided and limited scope of the activity.
3. The Planning Board may wish to discuss whether a Public Hearing will be held for the Amended Site Plan.
4. Based on the limited amount of landscaping proposed the Planning Board may waive the security for landscaping and base the final landscaping installation review to the Code Enforcement Department upon request for a Certificate of Compliance.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines', written in a cursive style.

Patrick J. Hines
Principal
PJH/kbw

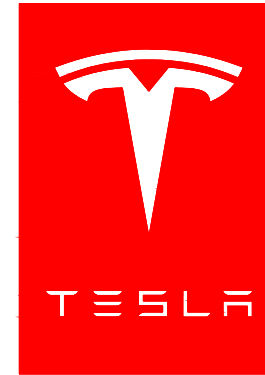
NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

TESLA



NEWBURGH, NY - UNION AVE

TRT ID: 26671
 SITE ADDRESS:
 1401 NY-300 (UNION AVE)
 NEWBURGH, NY 12550



3500 DEER CREEK ROAD
 PALO ALTO, CA 94304
 (650) 681-5000



Dewberry Engineers Inc.
 600 PARSIPPANY ROAD
 SUITE 301
 PARSIPPANY, NJ 07054
 PHONE: 973.739.9400
 FAX: 973.739.9710



DAVID E. REVETTE, P.E.
 NEW YORK LICENSE No. 101758

SITE INFORMATION	APPLICABLE CODES	PROJECT DESCRIPTION	ZONING INFORMATION	DRAWING INDEX	
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PROPOSED TESLA EV SITE ADDRESS:
 1401 NY-300 (UNION AVE)
 NEWBURGH, NY 12550

PROPERTY OWNER:
 NEWBURGH MALL VENTURES, LLC
 95 CHESTNUT RIDGE RD
 MONTVALE, NJ 07645

PARCEL ID:
 PARCEL ID: 60-3-41.21

POWER COMPANY:
 CENTRAL HUDSON GAS & ELECTRIC
 CONTACT: JASON MALIZIA
 EMAIL: JMALIZIA@CENHUD.COM
 PHONE: (845) 563-4529
 WORK ORDER: J888934

COUNTY:
 ORANGE COUNTY

LATITUDE*:
 41° 31' 3.82" N

LONGITUDE*:
 74° 4'11.04" W
 *BASED ON GOOGLE EARTH

CONTACT ENGINEER:
 DAVID REVETTE, P.E.
 DEWBERRY ENGINEERS INC.
 (973) 576-9639
 drevette@Dewberry.com

APPLICANT:
 TESLA, INC.
 DESIGN MANAGER: BENNY TORTORICI
 3500 DEER CREEK RD, PALO ALTO, CA 94304
 BTORTORICI@TESLA.COM
 516-4857-3302

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 NEW YORK UNIFORM BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES:
 2020 BUILDING CODE OF NYS (IBC 2018 W/AMENDMENTS).
 2020 ENERGY CONSERVATION CODE OF NYS (IECC 2018 W/AMENDMENTS).
 2017 NATIONAL ELECTRIC CODE (NEC)
 IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

- INSTALL (1) PAD MOUNTED UTILITY TRANSFORMER
- INSTALL (4) TESLA PRE-ASSEMBLED SUPERCHARGER UNITS, EACH WITH (1) SUPERCHARGER CABINET, (1) 600A SERVICE DISCONNECT, & (4) CHARGE POSTS
- INSTALL (16) TESLA LEVEL 2 CHARGE POSTS
- INSTALL (1) LEVEL 2 MODULE W/ INTEGRATED STEP-DOWN TRANSFORMER

PERMITTING JURISDICTION: TOWN OF NEWBURGH
 APN: 60-3-41.21
 ZONING: IB (INTERCHANGE BUSINESS DISTRICT)
 ACREAGE: 48.90 ACRES
 TOTAL LAND DISTURBANCE: 3,097 SF
 ESTIMATED CUBIC YARDS OF MATERIAL TO BE EXCAVATED/REMOVED FROM SITE: 0 CY
 ESTIMATED CUBIC YARDS OF FILL REQUIRED: 0 CY
 FIRE DISTRICT: WINONA LAKE
 SCHOOL DISTRICT: NEWBURGH CITY

SHT. NO.	SHEET TITLE
T-1	TITLE SHEET
C-1A	AERIAL TAX MAP & BULK REQUIREMENTS
C-1	SITE PLAN
C-2	EXISTING CONDITIONS PLAN
C-3	EQUIPMENT/PARKING PLAN
C-4	CONSTRUCTION DETAILS I
C-5	CONSTRUCTION DETAILS II
C-6	CONSTRUCTION DETAILS III
C-7	CONSTRUCTION DETAILS IV
C-8	CONSTRUCTION DETAILS V
C-9	CONSTRUCTION DETAILS VI

DRAWN BY:	FG
CHECKED BY:	TK
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167670

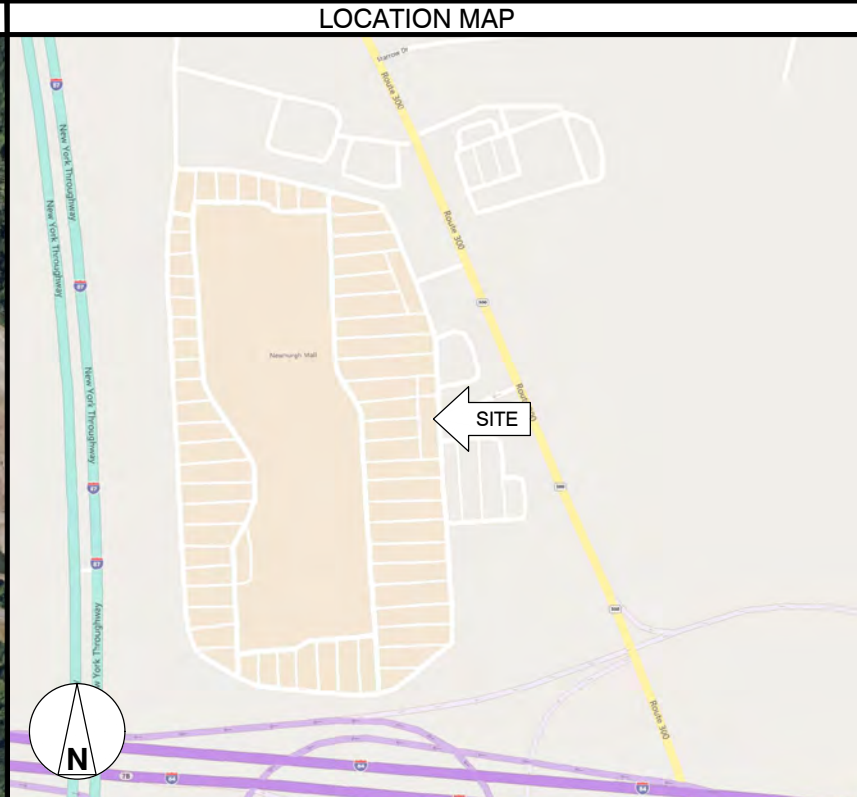
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A	01/25/24	ISSUED FOR 90% REVIEW

SITE NAME:
 NEWBURGH, NY – UNION AVE
 (TRT ID: 26671)

SITE ADDRESS:
 1401 NY-300 (UNION AVE)
 NEWBURGH, NY 12550

CONTRACTOR NOTE

CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.



BEFORE SCALING

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TESLA REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL BEFORE YOU DIG

UNDERGROUND SERVICE ALERT
 UTILITY NOTIFICATION CENTER
 811 OR 1-800-272-4480
 3 WORKING DAYS UTILITY NOTIFICATION
 PRIOR TO CONSTRUCTION

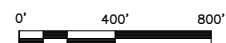
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TITLE SHEET

SHEET NUMBER
T-1



AERIAL TAX MAP

SCALE: 1"=800' FOR 11"x17"
1"=400' FOR 22"x34"



IMPERVIOUS SURFACE CALCULATIONS	
IMPERVIOUS AREA DESCRIPTION	AREA (SF)
ADDED PARKING RAMP (CONCRETE)	37
CHARGER FOUNDATIONS (PSU)	520
CHARGER FOUNDATIONS (CONCRETE)	18
EQUIPMENT FOUNDATIONS (CONCRETE)	34
TRANSFORMER FOUNDATIONS (CONCRETE)	56
TOTAL:	665
APPROXIMATE EXCESS MATERIAL:	0 CY*

*EXCAVATED SOIL MATERIAL TO BE UTILIZED FOR BACK FILL OF TRENCH & PARKING SURFACE. ALL EXCESS MATERIAL TO BE DISPOSED OF ON SITE. NO MATERIAL SHALL BE TAKEN OFF SITE.

ABUTTERS INFO

ITEM	TM#	ZONING	OWNER
1	60-1-14.11	R2	TOWN OF NEWBURGH, 20-26 UNION AVE EXT, NEWBURGH, NY 12550
2	60-1-14.13	R2	TOWN OF NEWBURGH, 20-26 UNION AVE EXT, NEWBURGH, NY 12550
3	60-1-14.2	R2	HELEN MOROSCO, ED BENNETT C/O MARY MOROSCO PIETROGALLO, 1 PADDOCK PLACE, NEWBURGH, NY 12550
4	60-3-33	IB	MHR NEWBURGH, LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
5	60-3-35.2	IB	MHR NEWBURGH, LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
6	60-3-34	IB	MHR NEWBURGH, LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
7	60-3-35.1	IB	MALL ACCESS LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
8	60-3-55	IB	MOBIL, LLC C/O ACCOUNTS PAYABLE DEPT, 536 MAIN ST, NEW PALTZ, NY 12561
9	60-3-54	IB	UNION AVE, LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
10	60-3-38	IB	TJM, WENDY'S RESTAURANT, PO BOX 2470, POUGHKEEPSIE, NY 12603
11	60-3-39	IB	PETERKIN FAMILY LIVING TRUST, C/O ROGER O. PETERKIN, JR., 18479 SE WOOD HAVEN LANE #F, TEQUESTA, FL 33469
12	60-3-40.2	IB	JR & RAY LLC, RHINEBECK REALTY LLC, C/O BJ ADAMS REAL ESTAT MGMT, PO BOX 752, HARRISON, NY 10528
13	60-3-32.21	IB	CONEW, LLC C/O CBRE, INC., 250 PEHLE AVE, STE 600, SADDLE BROOK, NJ 07663
14	60-3-29.11	IB	CONEW, LLC C/O CBRE, INC., 250 PEHLE AVE, STE 600, SADDLE BROOK, NJ 07663
15	60-3-32.11	IB	CONEW, LLC C/O CBRE, INC., 250 PEHLE AVE, STE 600, SADDLE BROOK, NJ 07663
16	60-3-52	IB	DANBURY APPLE, LLC, 128 MERRITT DRIVE, ORADELL, NJ 07649
17	60-3-51.1	IB	F&K EQUITY, LLC, PO BOX 687, MONROE, NY 10949
18	66-2-1	IB	NORSTAR BANK OF UPSTATE NY, ATTN: BANK OF AMERICA CORP RE ASSESS NCI-001-03-81, 101 N. TRYON ST, CHARLOTTE, NC 28255
19	66-2-26	IB	STARROW DRIVE, LLC, 5020 RTE 9W, NEWBURGH, NY 12550
20	66-3-1.1	IB	TEGLAS-GEISSLER REALTY CO., LLC, 419 ROUTE 211 EAST, MIDDLETOWN, NY 10940
21	66-3-2.2	R3	MARIA SANCHEZ, 8 STARROW DRIVE, NEWBURGH, NY 12550
22	66-3-3	R3	JEFFREY A. & SUSAN B. NOLL, 10 STARROW DRIVE, NEWBURGH, NY 12550
23	66-3-19	IG	PETROLEUM LEASE TRUST, 5901 SW 112TH ST, MIAMI, FL 33156
24	66-3-20	IB	ORANCOM LLC, C/O THYLAN ASSOCIATES, 805 THIRD AVE, 10TH FLOOR, NEW YORK, NY 10022
25	60-3-44.2	IB	GOLDMINE, LLC, 264 NORTH PLANK ROAD, NEWBURGH, NY 12550
26	60-3-43	IB	1400 ROUTE 300 LLC, GIL'S PRIDE INC, 31 SAYVILLE AVE, RYE, NY 10580
27	60-3-57	IB	MATRIX/PPF NEWBURGH, 4 MATRIX DRIVE, LLC, FORSGATE DRIVE CN4000, CRANBURY, NJ 08512
28	60-3-58	IB	MATRIX/PPF NEWBURGH, 4 MATRIX DRIVE, LLC, FORSGATE DRIVE CN4000, CRANBURY, NJ 08512
29	95-1-79.2	IB	MATRIX NEWBURGH I, LLC C/O MATRIX REALTY, INC., CN 4000 FORSGATE DRIVE, CRANBURY, NJ 08512
30	95-1-78	R2	GAIANE & DANIEL POSHOTIAN, 1 PROMISE LANE, NEWBURGH, NY 12550

BULK REQUIREMENTS: IB - INTERCHANGE BUSINESS DISTRICT

ITEM	REQUIRED	EXSITING	PROPOSED	COMMENTS
MIN. LOT AREA :	5 AC.	±48.90 AC.	NO CHANGE	CONFORMING
MIN. LOT WIDTH :	300 FT	±2090 FT	NO CHANGE	CONFORMING
MIN. LOT DEPTH :	300 FT	±980 FT	NO CHANGE	CONFORMING
MIN. FRONT YARD : (PRINCIPAL STRUCTURE)	60 FT	±345 FT	NO CHANGE	CONFORMING
MIN. SIDE YARD : (PRINCIPAL STRUCTURE)	50 FT	±115 FT	NO CHANGE	CONFORMING
MIN. REAR YARD : (PRINCIPAL STRUCTURE)	60 FT	±300 FT	NO CHANGE	CONFORMING
MIN. FRONT YARD (ACCESSORY STRUCTURE) : (EV EQUIPMENT)	N/A	N/A	±210 FT	N/A
MIN. SIDE YARD (ACCESSORY STRUCTURE) : (EV EQUIPMENT)	N/A	N/A	±585 FT	N/A
MIN. REAR YARD (ACCESSORY STRUCTURE) : (EV EQUIPMENT)	N/A	N/A	±950 FT	N/A
MAX. BUILDING COVERAGE :	30%	<20%	NO CHANGE	CONFORMING
MAX. LOT SURFACE COVERAGE :	80%	<72%	+609 SQ.FT.	CONFORMING
MAX. BUILDING HEIGHT : (PRINCIPAL STRUCTURE)	35 Ft	<35 FT	N/A	CONFORMING
MIN. STALL SIZE :	9 FT X 18 FT	9 FT X 18 FT	9 FT X 18 FT	CONFORMING

NOTE:

- PROPERTY INFORMATION BASED ON PARTIAL TOPOGRAPHIC & LOCATION SURVEY, TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK, BY CONTROL POINT ASSOCIATES, INC. DATED 11/20/23 & AERIAL MAPPING.



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

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APPROVED BY: DER

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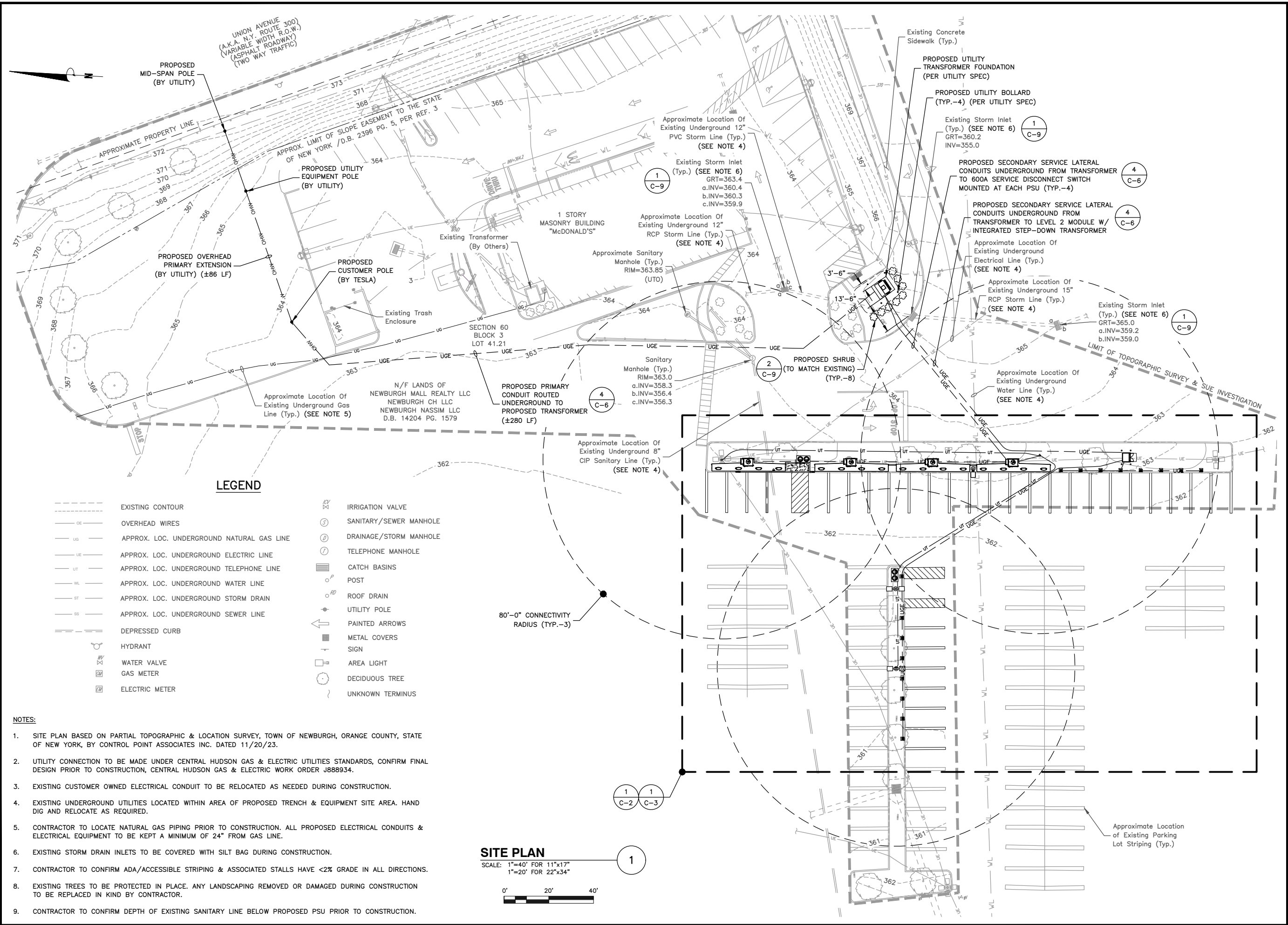
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AERIAL TAX MAP &
BULK REQUIREMENTS

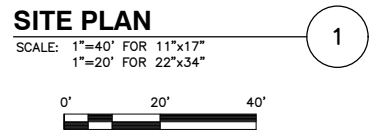
SHEET NUMBER
C-1A



LEGEND

- | | | | |
|------|---|---|------------------------|
| --- | EXISTING CONTOUR | ⊗ | IRRIGATION VALVE |
| —OE— | OVERHEAD WIRES | ⊙ | SANITARY/SEWER MANHOLE |
| —UG— | APPROX. LOC. UNDERGROUND NATURAL GAS LINE | ⊖ | DRAINAGE/STORM MANHOLE |
| —UE— | APPROX. LOC. UNDERGROUND ELECTRIC LINE | ⊕ | TELEPHONE MANHOLE |
| —UT— | APPROX. LOC. UNDERGROUND TELEPHONE LINE | ▒ | CATCH BASINS |
| —WL— | APPROX. LOC. UNDERGROUND WATER LINE | ○ | POST |
| —SD— | APPROX. LOC. UNDERGROUND STORM DRAIN | ⊙ | ROOF DRAIN |
| —SS— | APPROX. LOC. UNDERGROUND SEWER LINE | ⊙ | UTILITY POLE |
| --- | DEPRESSED CURB | → | PAINTED ARROWS |
| ⊙ | HYDRANT | ■ | METAL COVERS |
| ⊕ | WATER VALVE | ⊕ | SIGN |
| ⊕ | GAS METER | □ | AREA LIGHT |
| ⊕ | ELECTRIC METER | ○ | DECIDUOUS TREE |
| | | ⋯ | UNKNOWN TERMINUS |

- NOTES:**
- SITE PLAN BASED ON PARTIAL TOPOGRAPHIC & LOCATION SURVEY, TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK, BY CONTROL POINT ASSOCIATES INC. DATED 11/20/23.
 - UTILITY CONNECTION TO BE MADE UNDER CENTRAL HUDSON GAS & ELECTRIC UTILITIES STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, CENTRAL HUDSON GAS & ELECTRIC WORK ORDER J888934.
 - EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
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 - CONTRACTOR TO CONFIRM DEPTH OF EXISTING SANITARY LINE BELOW PROPOSED PSU PRIOR TO CONSTRUCTION.



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

DRAWN BY:	FG
CHECKED BY:	TK
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167670

SUBMITTALS

REV.	DATE	DESCRIPTION
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1	03/22/24	ISSUED FOR PERMIT
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SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1



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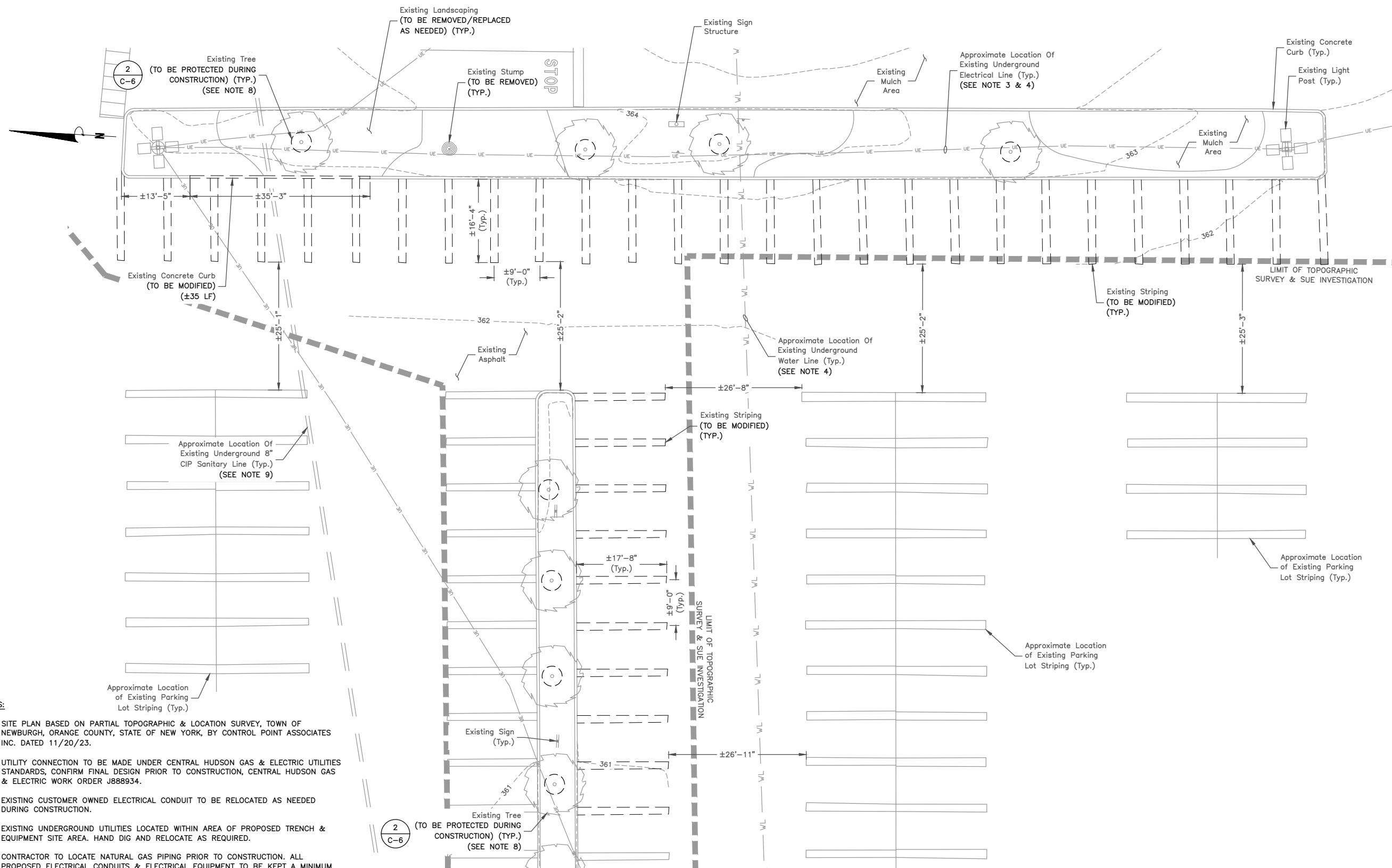
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SHEET TITLE

EXISTING CONDITIONS
PLAN

SHEET NUMBER

C-2

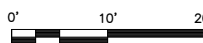


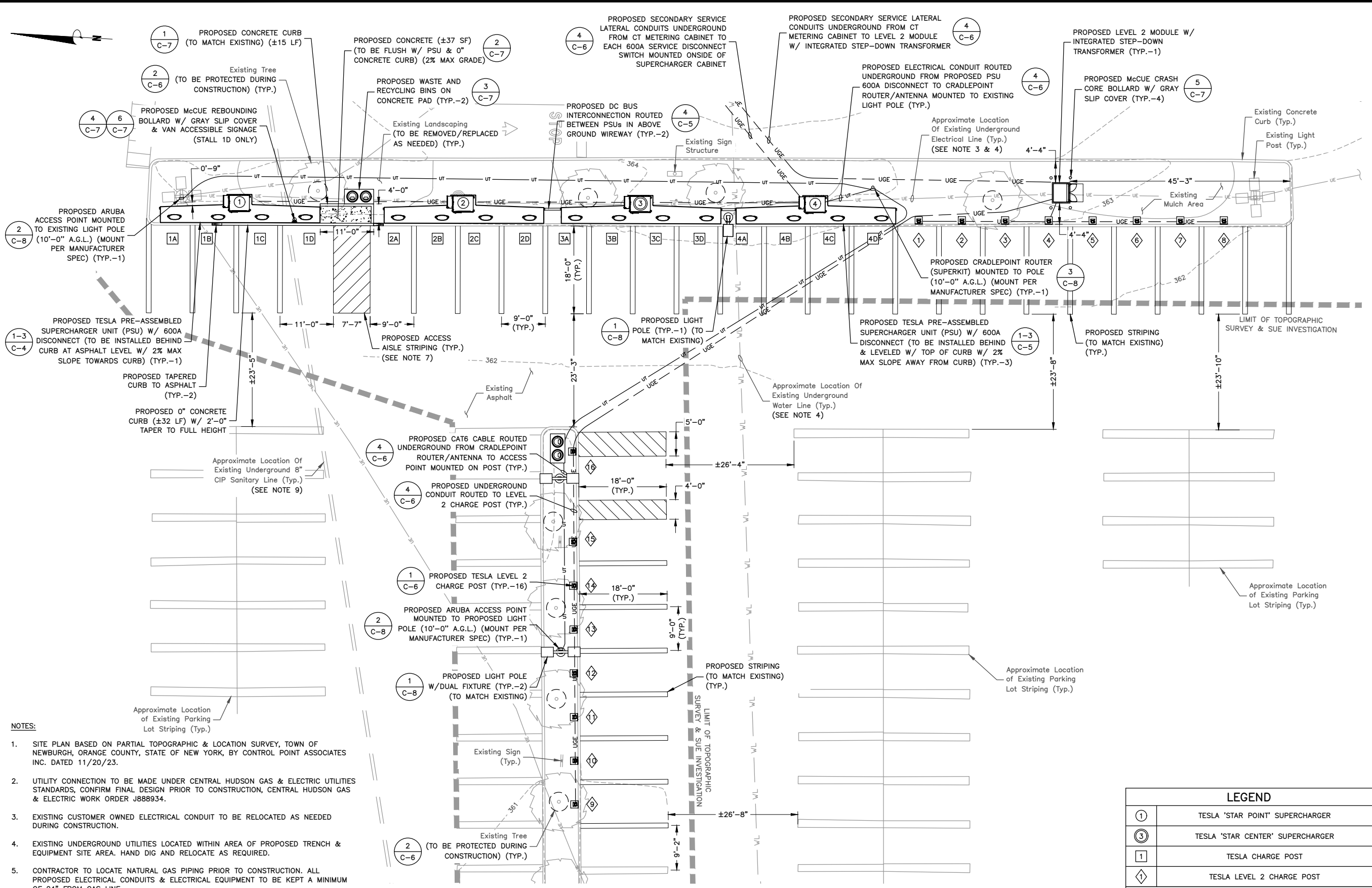
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9. CONTRACTOR TO CONFIRM DEPTH OF EXISTING SANITARY LINE BELOW PROPOSED PSU PRIOR TO CONSTRUCTION.

EXISTING CONDITIONS PLAN

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"





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EQUIPMENT/PARKING PLAN 1
 SCALE: 1"=20' FOR 11"x17"
 1"=10' FOR 22"x34"
 0' 10' 20'

LEGEND	
①	TESLA 'STAR POINT' SUPERCHARGER
③	TESLA 'STAR CENTER' SUPERCHARGER
①	TESLA CHARGE POST
◇	TESLA LEVEL 2 CHARGE POST

PARKING STALL SCHEDULE	
DESCRIPTION	QUANTITY
EXISTING STALLS (TO BE MODIFIED)	34
PROPOSED TESLA STALLS	32
NET PARKING STALL CHANGE	-2



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JOB #: 50167670

SUBMITTALS

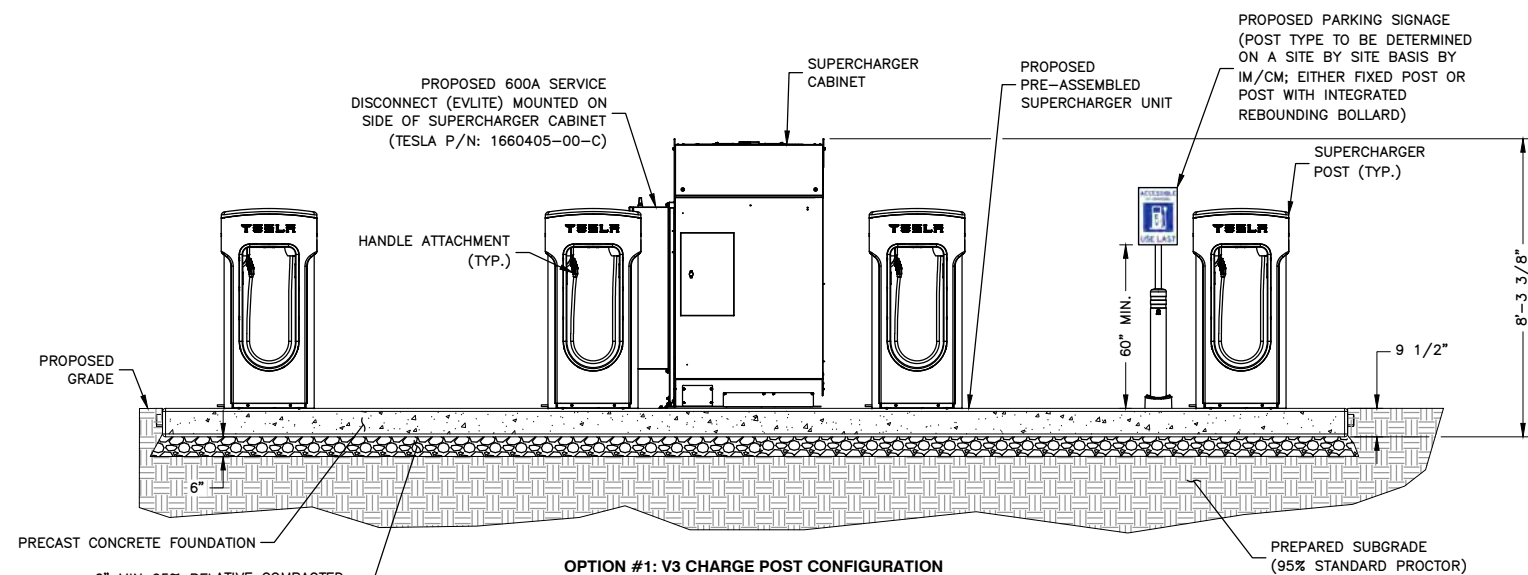
REV.	DATE	DESCRIPTION
2	04/23/24	REVISED PER COMMENT
1	03/22/24	ISSUED FOR PERMIT
0	02/26/24	ISSUED FOR PERMIT
C	02/15/24	FINAL REVIEW
B	02/02/24	REVISED PER COMMENT
A	01/25/24	ISSUED FOR 90% REVIEW

SITE NAME:
NEWBURGH, NY – UNION AVE
(TRT ID: 26671)

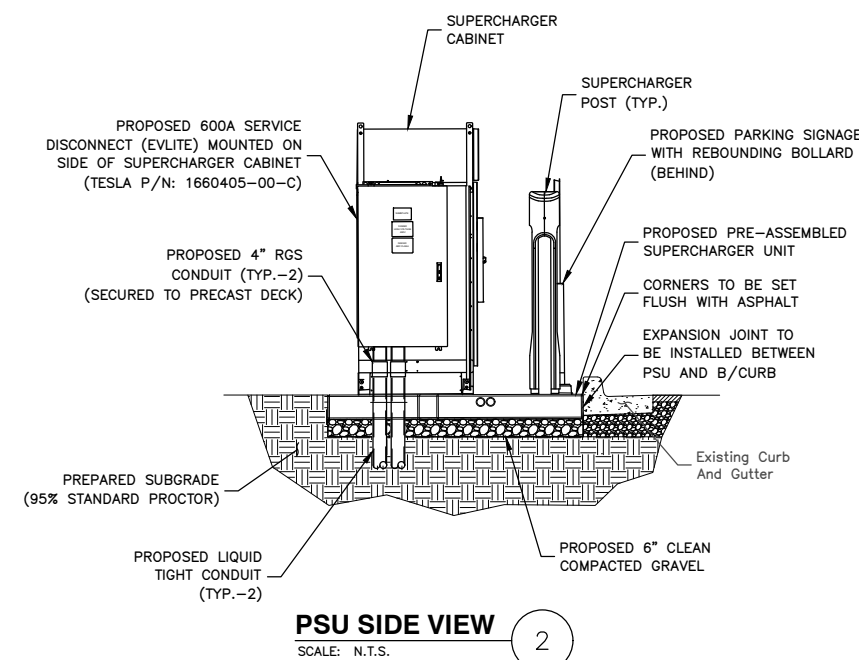
SITE ADDRESS:
1401 NY-300 (UNION AVE)
NEWBURGH, NY 12550

SHEET TITLE
**CONSTRUCTION
DETAILS I**

SHEET NUMBER
C-4

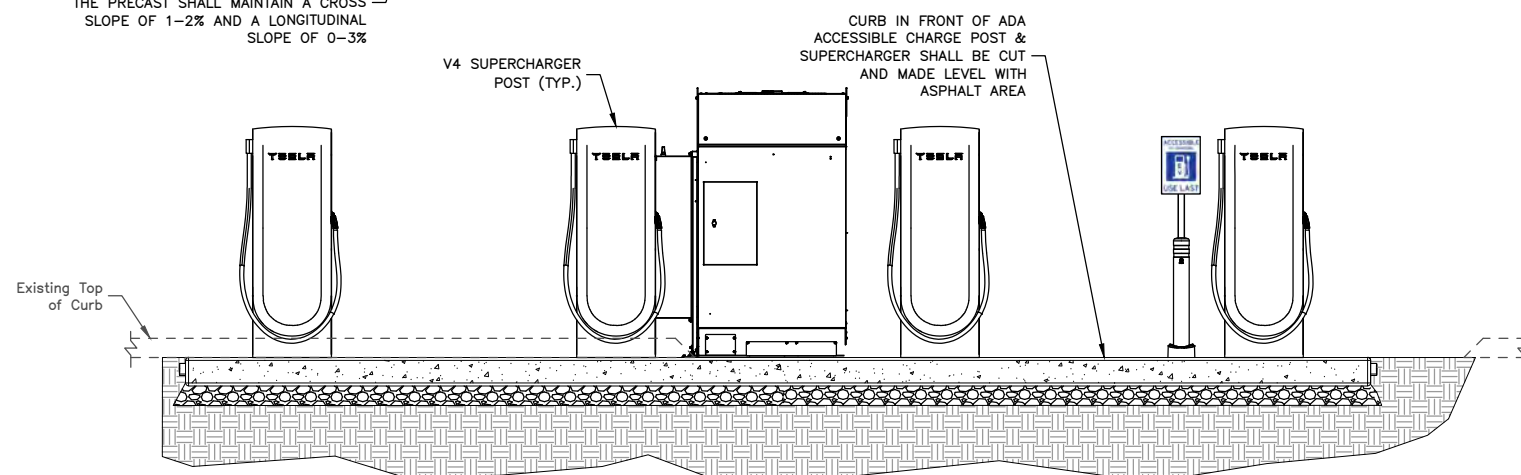


OPTION #1: V3 CHARGE POST CONFIGURATION



PSU SIDE VIEW
SCALE: N.T.S.

2



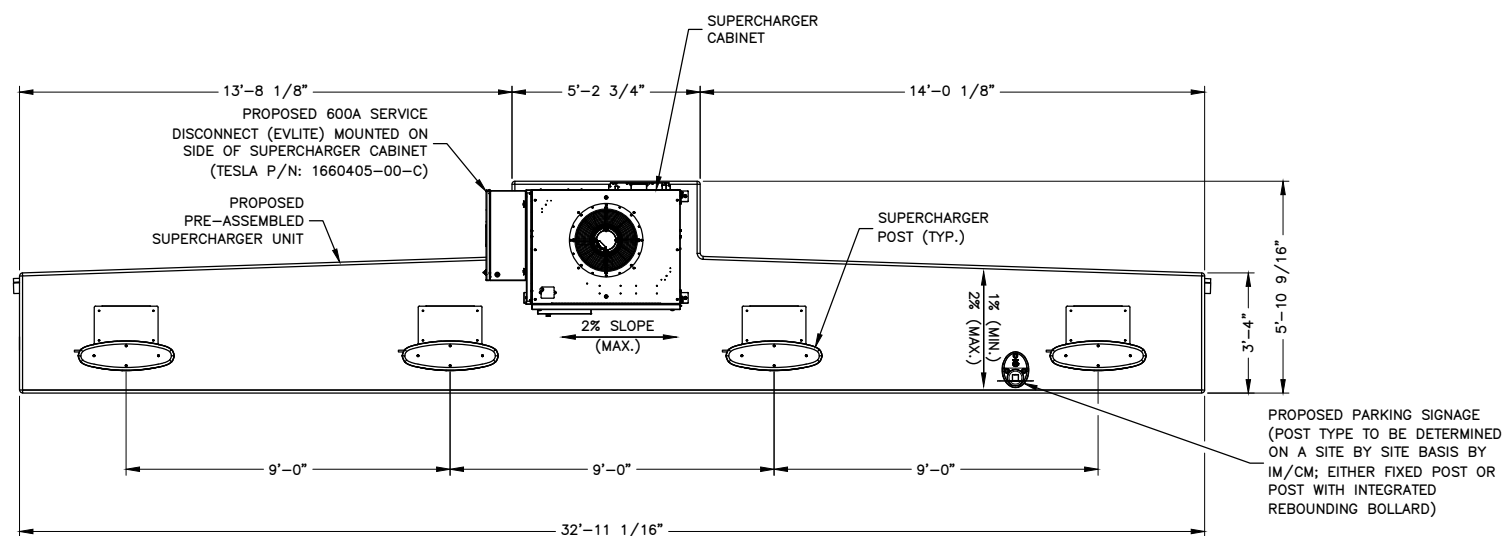
OPTION #2: V4 CHARGE POST CONFIGURATION

NOTE:

- FINAL CHARGE POST CONFIGURATION SELECTION DETERMINED BY TESLA DESIGN MANAGER BASED ON AVAILABILITY AT TIME OF CONSTRUCTION.

PSU ELEVATIONS
SCALE: N.T.S.

1



PSU PLAN VIEW
SCALE: N.T.S.

3



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

DRAWN BY: FG

CHECKED BY: TK

APPROVED BY: DER

PROJECT #: 50123704

JOB #: 50167670

SUBMITTALS

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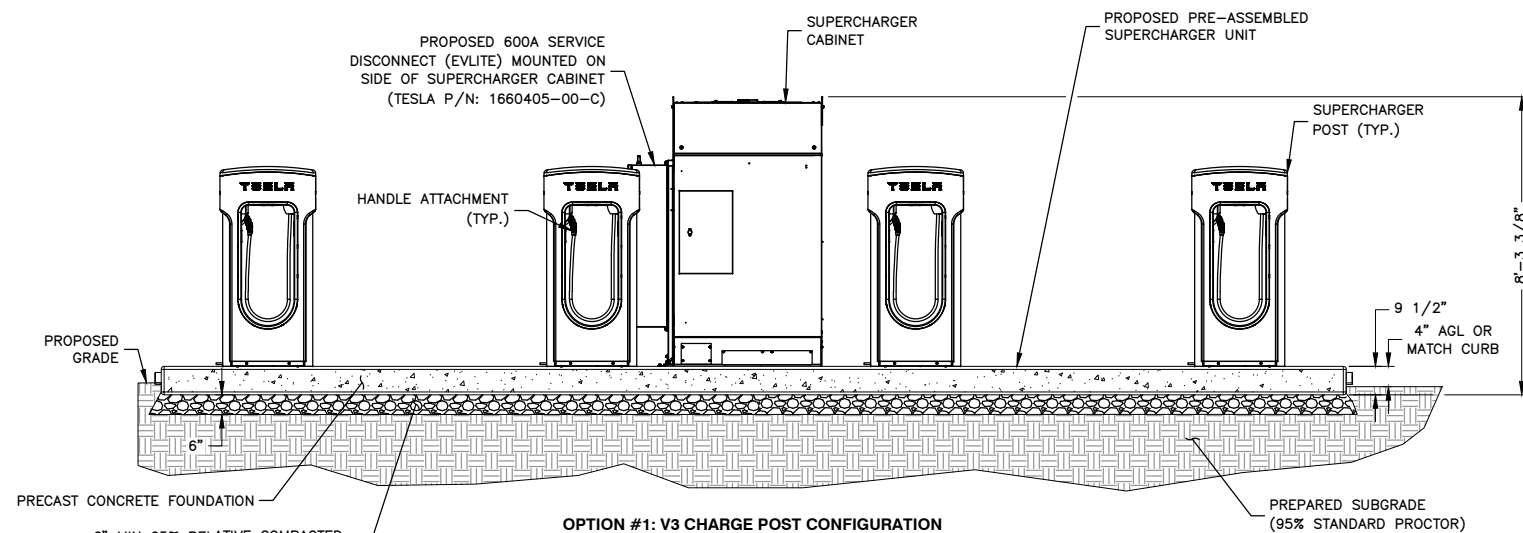
SITE NAME:
NEWBURGH, NY – UNION AVE
(TRT ID: 26671)

SITE ADDRESS:
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NEWBURGH, NY 12550

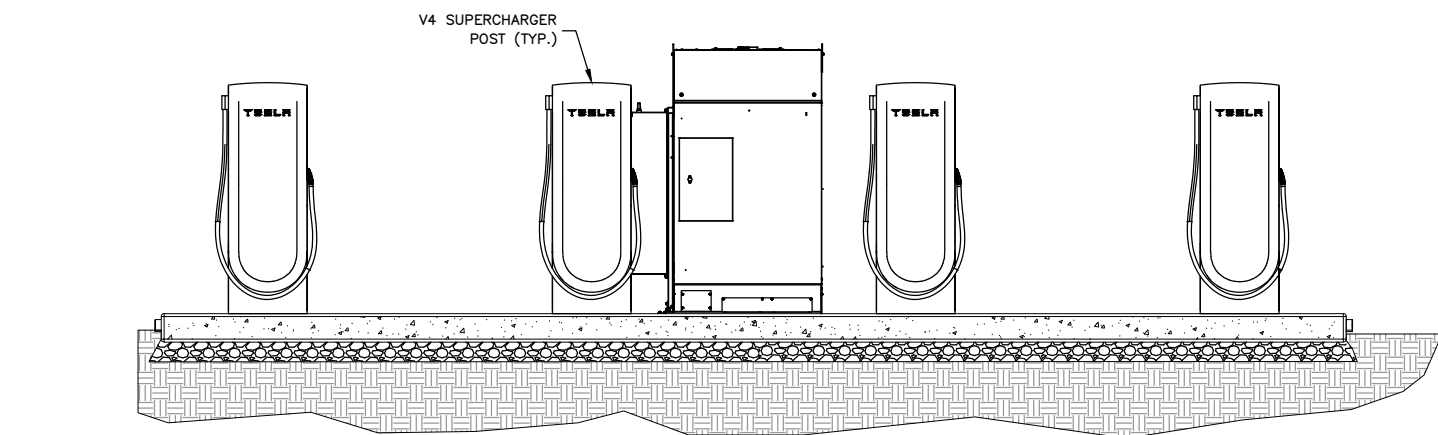
SHEET TITLE
CONSTRUCTION
DETAILS II

SHEET NUMBER

C-5



6" MIN 95% RELATIVE COMPACTED CLASS 2 AGGREGATE BASE. THE PRECAST SHALL MAINTAIN A CROSS SLOPE OF 1-2% AND A LONGITUDINAL SLOPE OF 0-3%



NOTE:

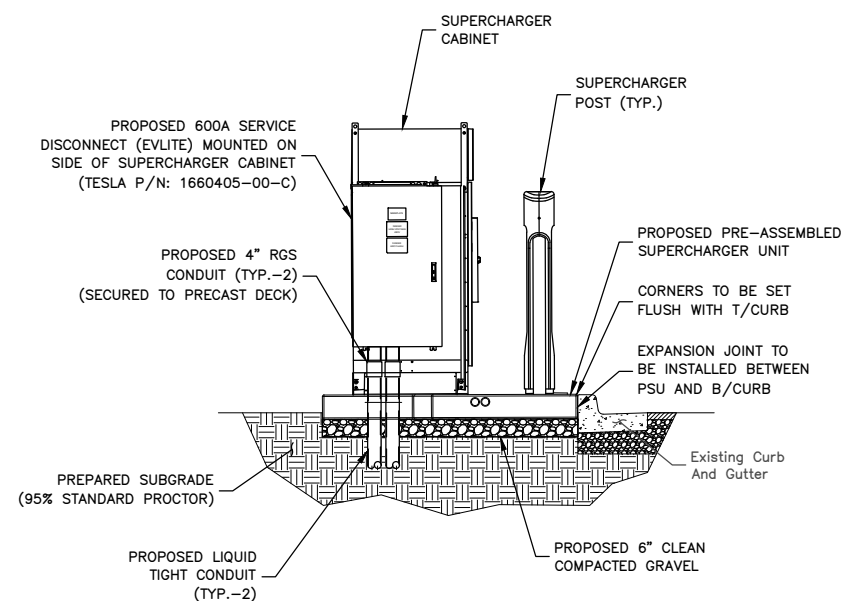
OPTION #2: V4 CHARGE POST CONFIGURATION

1. FINAL CHARGE POST CONFIGURATION SELECTION DETERMINED BY TESLA DESIGN MANAGER BASED ON AVAILABILITY AT TIME OF CONSTRUCTION.

PSU ELEVATIONS

SCALE: N.T.S.

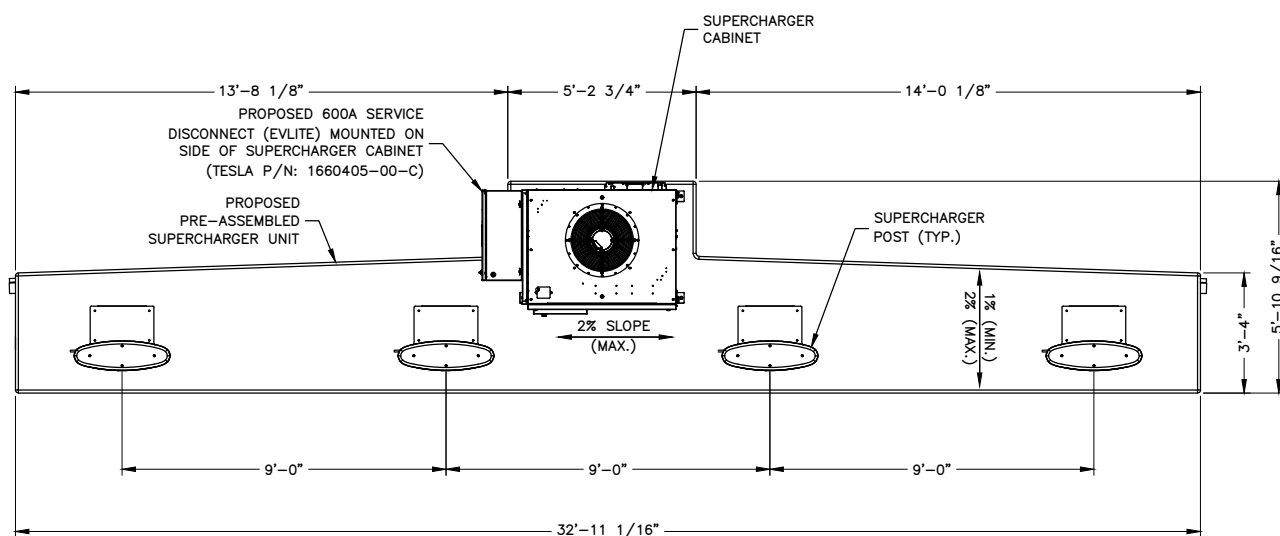
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PSU SIDE VIEW

SCALE: N.T.S.

2

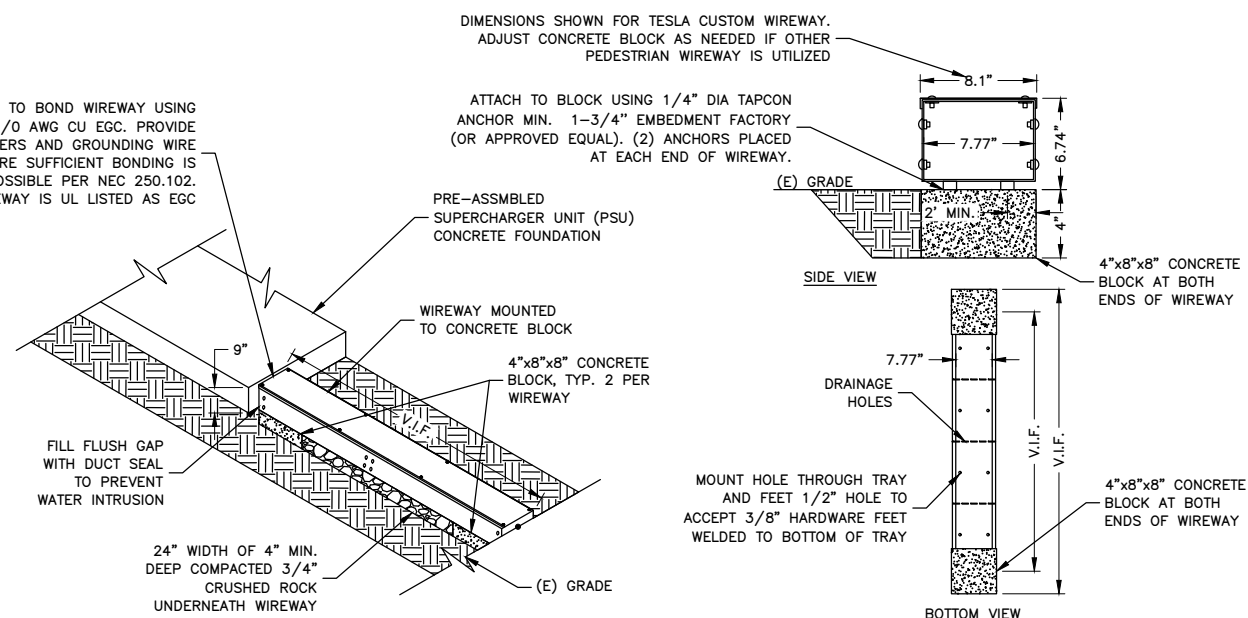


PSU PLAN VIEW

SCALE: N.T.S.

3

E.C. TO BOND WIREWAY USING 1/0 AWG CU EGC. PROVIDE JUMPERS AND GROUNDING WIRE WHERE SUFFICIENT BONDING IS NOT POSSIBLE PER NEC 250.102. WIREWAY IS UL LISTED AS EGC



WIREWAY TROUGH DETAIL

SCALE: N.T.S.

4



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

DRAWN BY: FG

CHECKED BY: TK

APPROVED BY: DER

PROJECT #: 50123704

JOB #: 50167670

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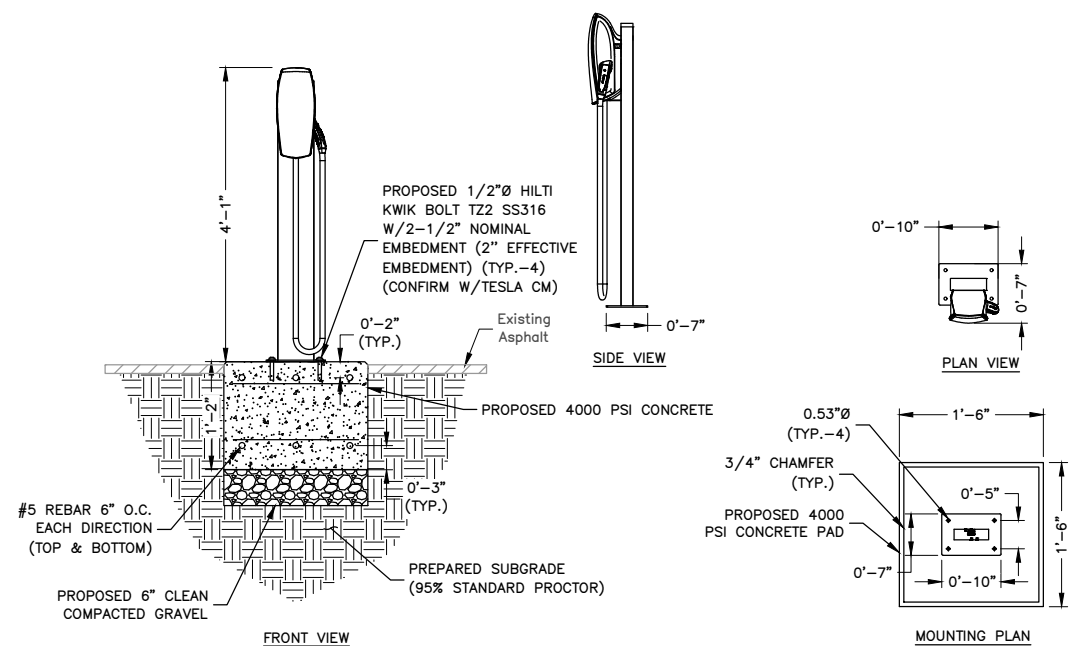
SITE ADDRESS:
1401 NY-300 (UNION AVE)
NEWBURGH, NY 12550

SHEET TITLE

CONSTRUCTION
DETAILS III

SHEET NUMBER

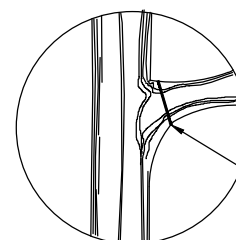
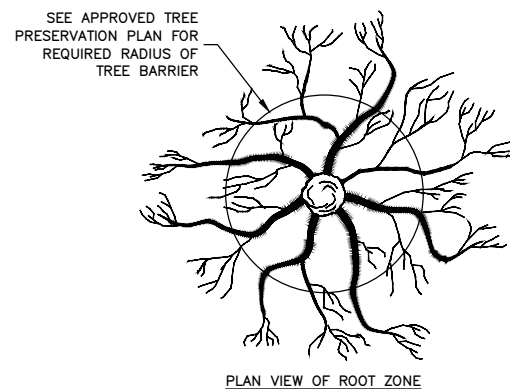
C-6



GEN 3 CONNECTOR - CONCRETE FOOTER DETAIL

SCALE: N.T.S.

1

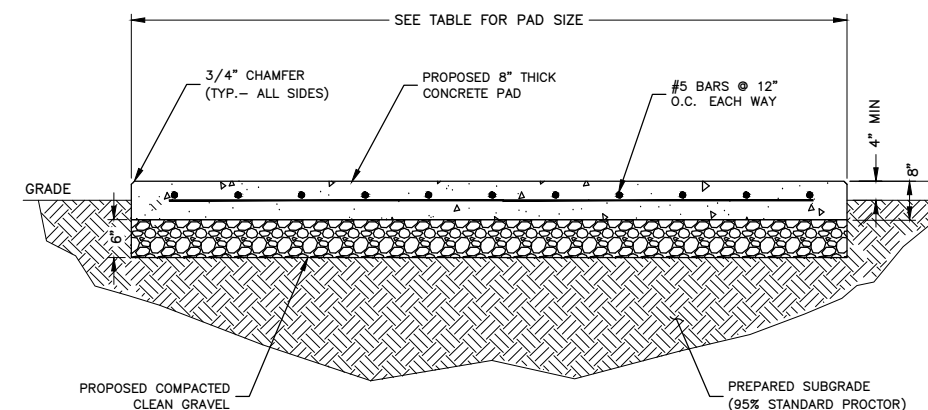


2"x4" STANDARDS + 1"x4" RAILS OR ORANGE SAFETY FENCING MAY BE USED

TREE PROTECTION DETAIL

SCALE: N.T.S.

2



CONCRETE PAD DIMENSIONS					
PAD TYPE	CONCRETE	L	W	t (THICKNESS)	AREA
L2 MODULE	4000 PSI	4'-3"	3'-8"	8"	15.6 S.F.

NOTES:

- SEE CONCRETE NOTES ON SHEET GN-2.
- INSTALL FORMS AS NECESSARY.
- COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
- CONTRACTOR TO PROVIDE A MIN OF 6" OF COMPACTED CRUSHED STONE FOR CAPILLARY BREAK AND CONSTRUCTION CONTROL UNDER ALL CONCRETE SLABS. CONTRACTOR SHALL IDENTIFY POOR DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL GRADED COURSE-GRADED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.
- SEE DETAIL 3/E-2 FOR L2 CONDUIT STUP-UP AND ANCHOR LAYOUT

CONCRETE PAD DETAIL

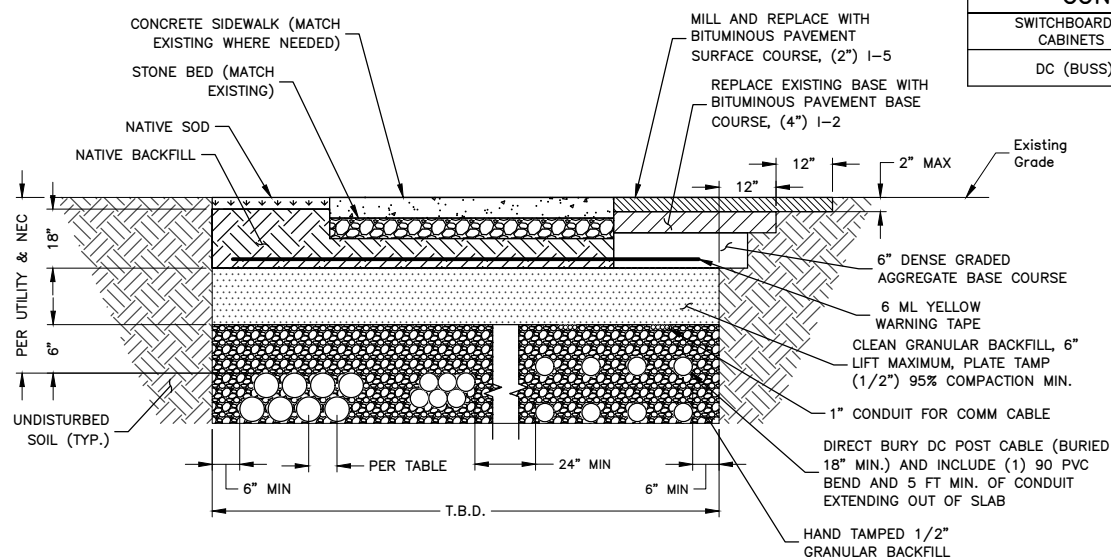
SCALE: N.T.S.

4

MINIMUM CENTER TO CENTER CONDUIT SPACING	
SWITCHBOARD TO CABINETS	7.5" O.C.
DC (BUSS)	7.5" O.C.

NOTES:

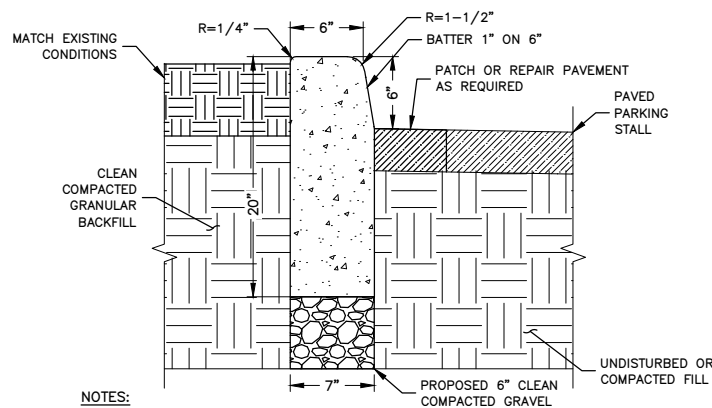
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
- IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
- CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.
- ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
- MAINTAIN 12" SEPARATION MIN. BETWEEN AC OR DC CONDUCTORS AND COMMUNICATION CABLES.
- MAINTAIN 2" SEPARATION MINIMUM BETWEEN OUTER WALLS OF CONDUITS.
- CONFIRM ALL DEPTHS W/UTILITY & NEC PRIOR TO CONSTRUCTION.
- DIRECT BURIAL SHALL BE EMBEDDED WITH A MINIMUM DEPTH OF FOUR INCHES OF SAND OR FINE COARSE MATERIAL BELOW CABLE, THREE INCH ON THE SIDES, ADDITIONAL FOUR-SIX COVERAGE.
- TRENCH SHALL NOT HAVE ROCKS 3" OR SHARP OBJECTS GREATER IN DIAMETER NEAR OR AROUND DIRECT CABLE INSTALLATION.



TYP. BURIED CONDUIT TRENCH DETAILS

SCALE: N.T.S.

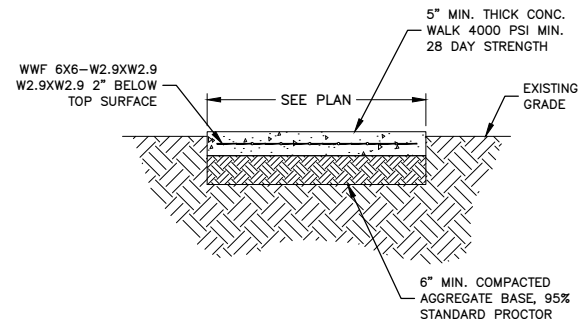
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- NOTES:
1. SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
 2. INSTALL FORMS AS NECESSARY.
 3. COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
 4. CONCRETE TO BE 4000 PSI AIR ENTRAINED CONCRETE.
 5. INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

CONCRETE CURB DETAIL
SCALE: N.T.S.

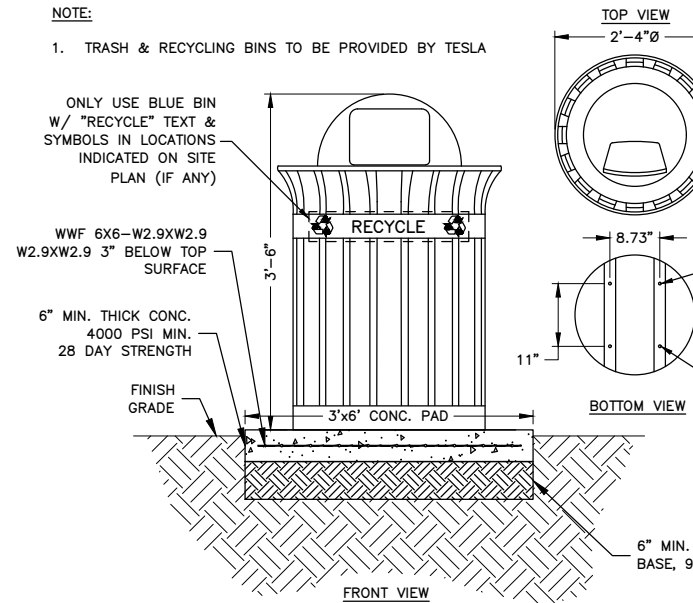
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- NOTES:
1. SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
 2. INSTALL FORMS AS NECESSARY.
 3. COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
 4. CONCRETE TO BE 4000 PSI AIR ENTRAINED CONCRETE.
 5. INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

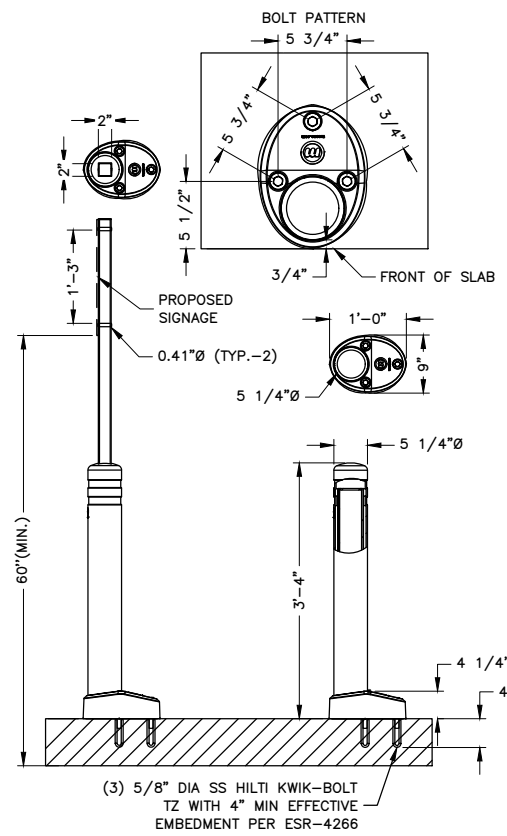
CONCRETE SIDEWALK DETAIL
SCALE: N.T.S.

2



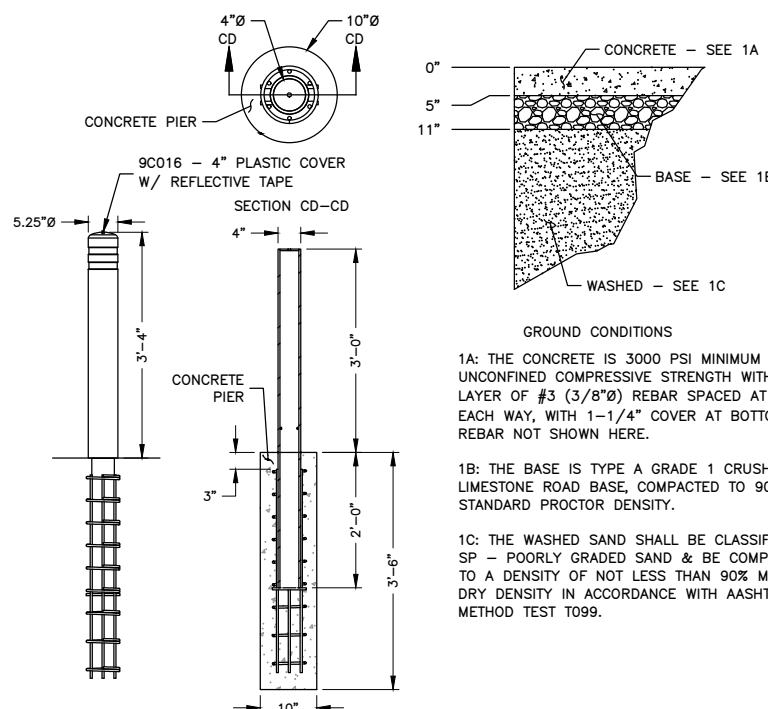
WASTE MANAGEMENT BIN & PAD DETAIL
SCALE: N.T.S.

3



McCUE REBOUNDING BOLLARD & SIGN
SCALE: N.T.S.

4



McCUE CRASH CORE BOLLARD DETAIL
SCALE: N.T.S.

5



ACCESSIBLE SIGNAGE DETAIL
SCALE: N.T.S.

6



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

DRAWN BY:	FG
CHECKED BY:	TK
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167670

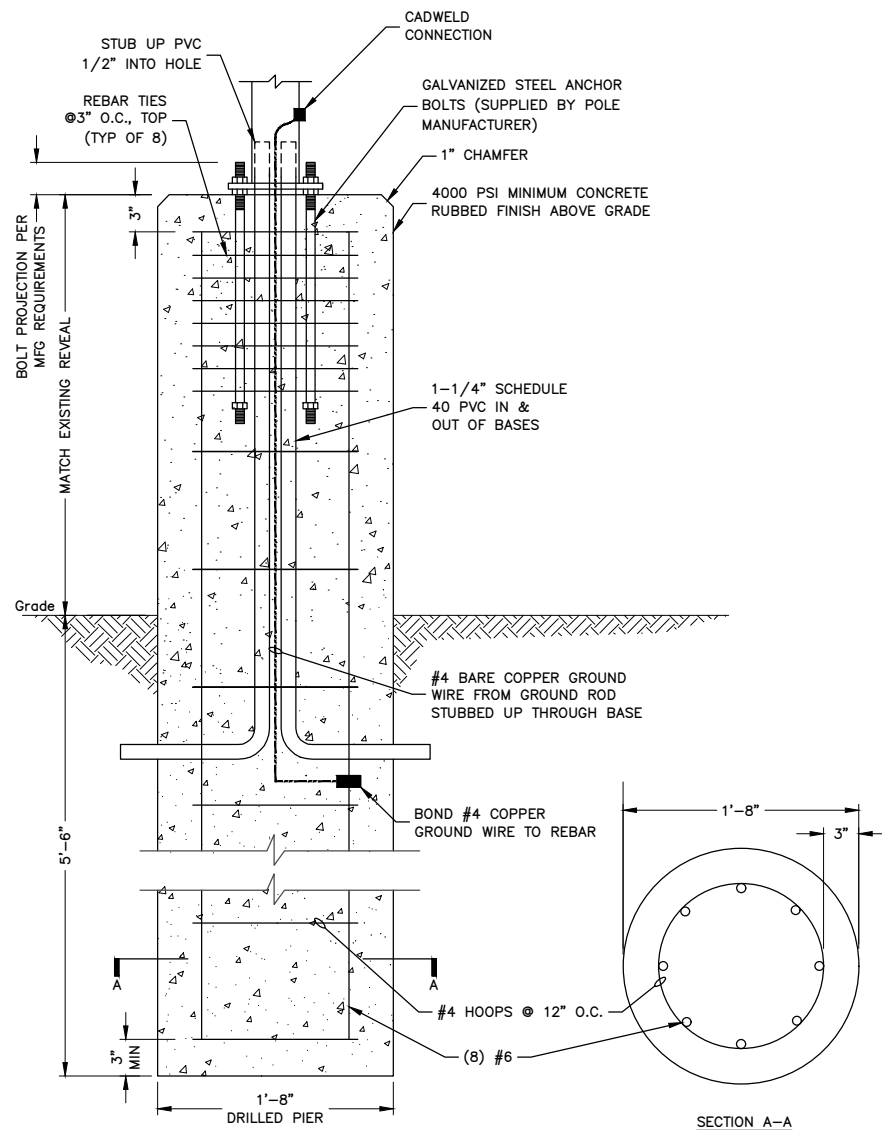
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NEWBURGH, NY 12550

SHEET TITLE
**CONSTRUCTION
DETAILS IV**

SHEET NUMBER
C-7



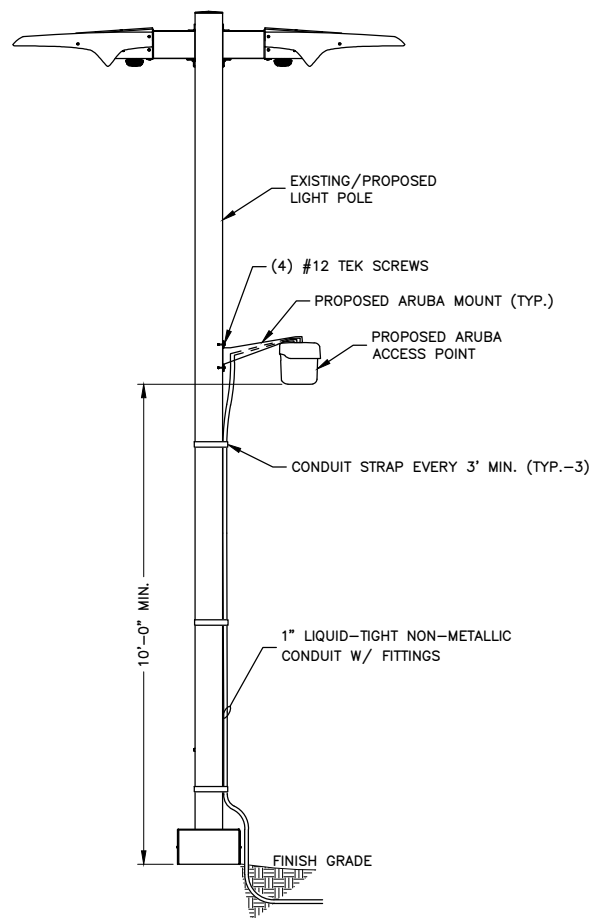
NOTE:

1. CONFIRM BASE DESIGN W/MANUFACTURER SPECIFICATIONS.

PEDESTRIAN LIGHT POLE BASE DETAIL

SCALE: N.T.S.

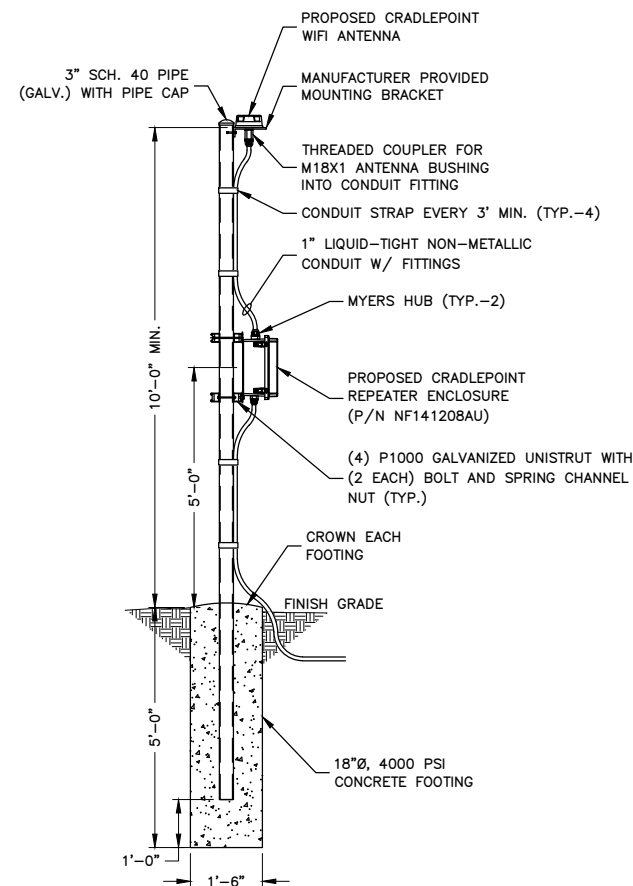
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ARUBA ACCESS POINT MOUNTING DETAIL

SCALE: N.T.S.

2



CRADLEPOINT ENCLOSURE MOUNTING DETAIL

SCALE: N.T.S.

3



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DAVID E. REVETTE, P.E.
NEW YORK LICENSE No. 101758

DRAWN BY: FG

CHECKED BY: TK

APPROVED BY: DER

PROJECT #: 50123704

JOB #: 50167670

SUBMITTALS

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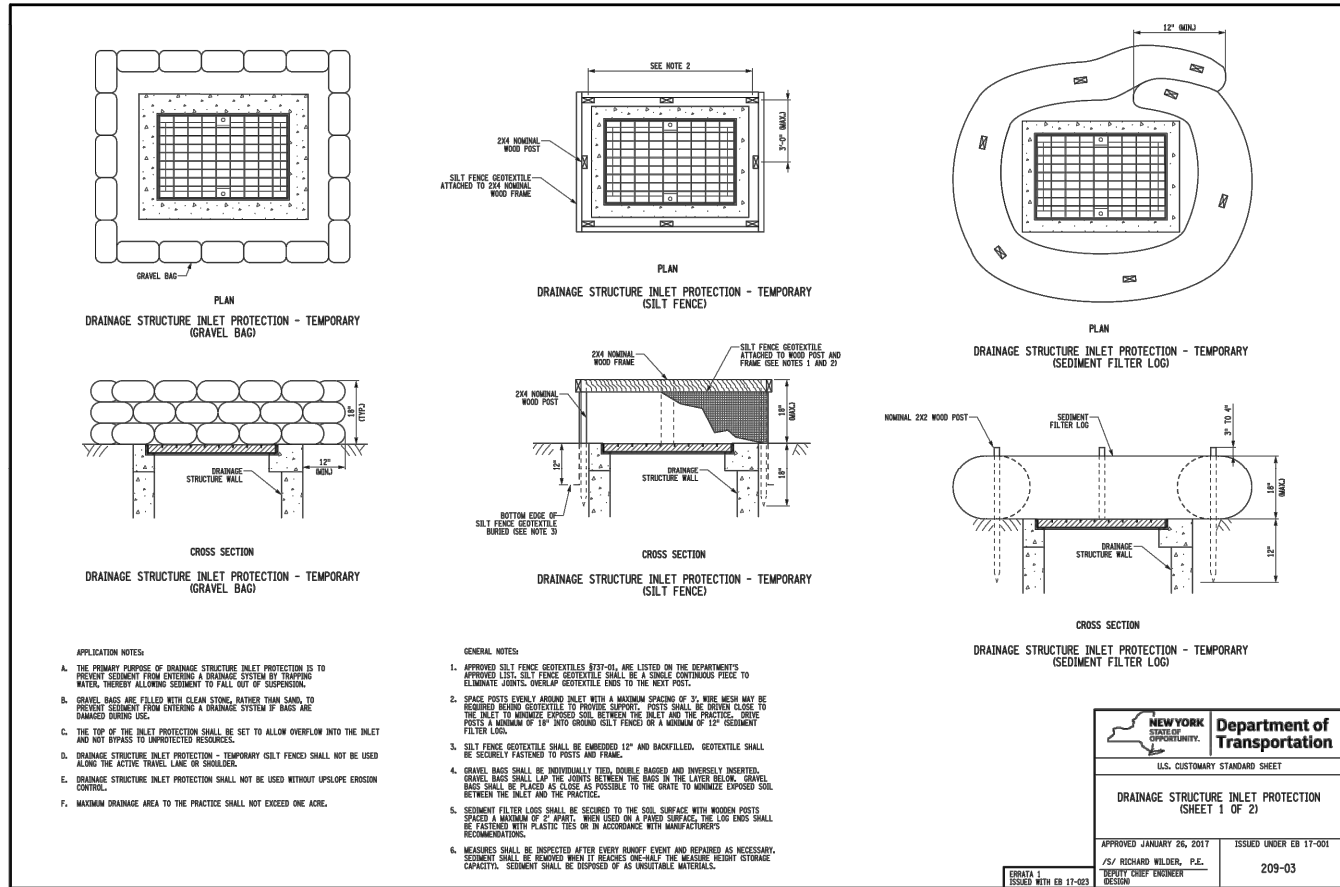
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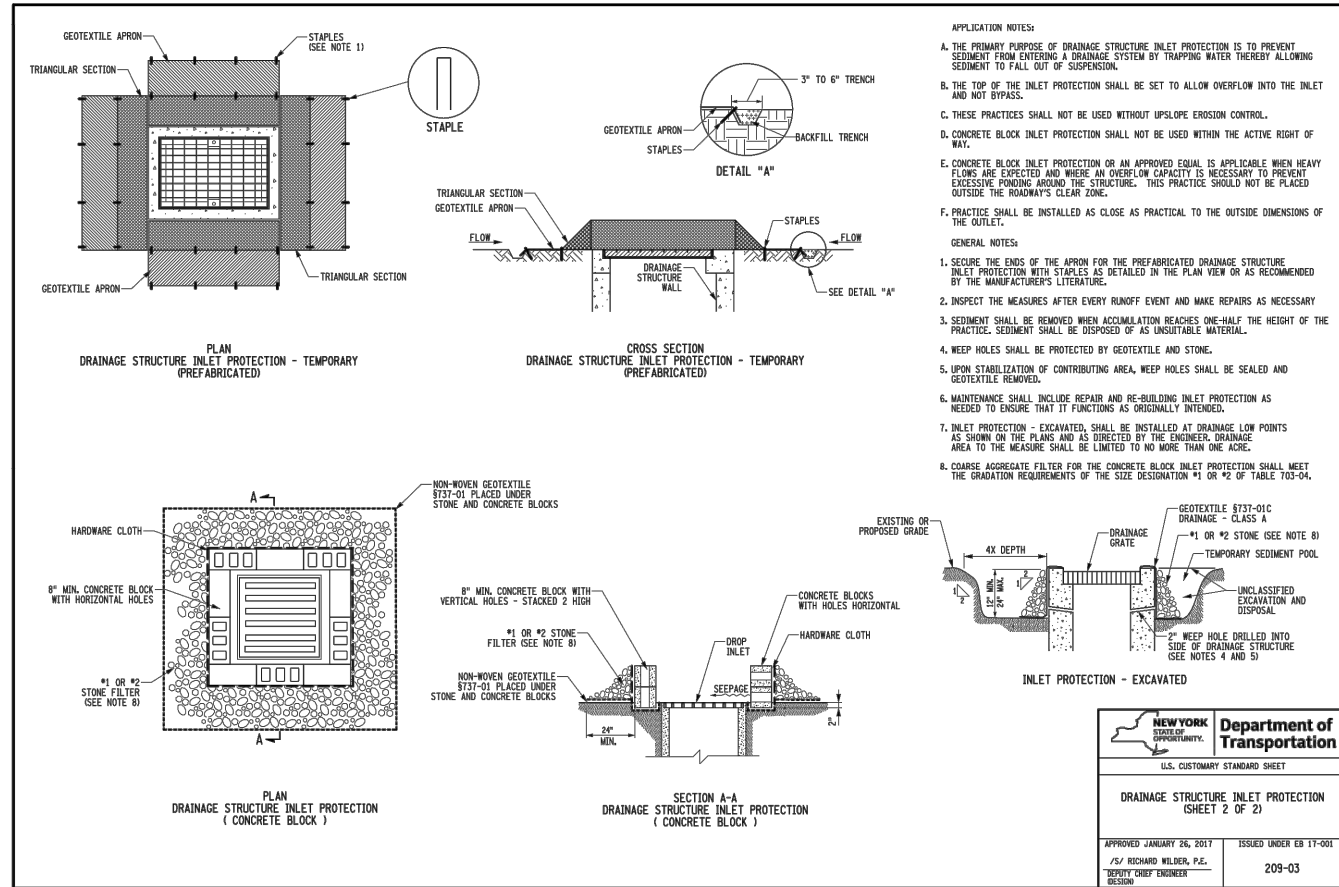
SHEET TITLE
**CONSTRUCTION
DETAILS V**

SHEET NUMBER

C-8



Department of Transportation U.S. CUSTOMARY STANDARD SHEET	
DRAINAGE STRUCTURE INLET PROTECTION (SHEET 1 OF 2)	
APPROVED JANUARY 26, 2017 /S/ RICHARD WILSON, P.E. DEPUTY CHIEF ENGINEER DESIGN	ISSUED UNDER EN 17-001 209-03
ERRATA 1 ISSUED WITH EN 17-003	

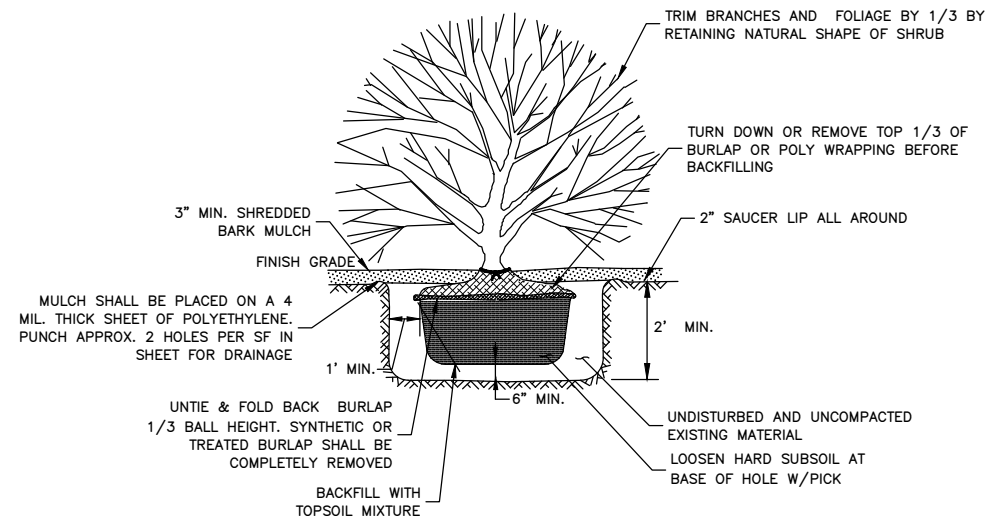


Department of Transportation U.S. CUSTOMARY STANDARD SHEET	
DRAINAGE STRUCTURE INLET PROTECTION (SHEET 2 OF 2)	
APPROVED JANUARY 26, 2017 /S/ RICHARD WILSON, P.E. DEPUTY CHIEF ENGINEER DESIGN	ISSUED UNDER EN 17-001 209-03

NY DOT INLET PROTECTION DETAILS

SCALE: N.T.S.

1



SHRUB PLANTING DETAIL

SCALE: N.T.S.

2



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SHEET TITLE
CONSTRUCTION
DETAILS VI

SHEET NUMBER
C-9