

ZEN Design Consultants, Inc.

6 Old North Plank Road
Newburgh, New York 12550

AUG 22 2016
August 19, 2016

Re: Tarben Subdivision
16 Lot Residential Subdivision
Revere Road

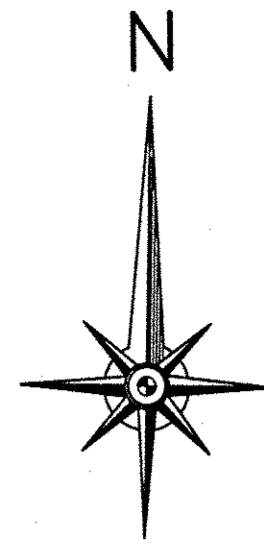
Dear Planning Board:

Since our last meeting with the planning board we were contacted by the owner of the parcel along the south eastern edge of the subdivision. We were able to come to an agreement and will be re-adding this parcel back to our subdivision plan allowing the lots along this edge to go back to the original approved layout and the pond will remain as originally designed and installed.

Comments addressed from McGoey, Hauser & Edsall, dated 08/01/2016:

1. Revisions to the subdivision must be submitted to the Orange County Health Department for review and approval as project previously received Health Department Approval.
Revised plans have been submitted to the OCHD and awaiting their response.
2. Stormwater Management pond has been revised. Revised Stormwater Management Report should be submitted modeling the revised pond.
The ponds location will remain in its original proposed location without change.
3. Cross grading easements should be provided for grading of roadways and grading depicted across lot lines.
This has been added to the plans.
4. Mike Donnelly's comments regarding the proposed easement depicted on what is now lot 12, which if dedicated for roadway purposes would segment lot 12, should be received.
We relocated the proposed easement to follow along the adjoining property line.
5. Lot 16 is depicted as a 1.23 acre parcel. The narrative identifies that lots 14, 15, & 16 were combines into 1 lot.
This is correct and with the removal of the property on the west side of the project we needed to combine these lots into 1 single lot.
6. The planning board should evaluate the location of the cul-de-sac which terminates prior to the adjoining lots.
The adjoining lot has been combined to another lot from an adjoining subdivision.
7. The grading plans do not depict the driveways. Driveways should be shown on the grading plans.
Driveways have been added to the grading plan.
8. The plans should be updated to include as-built conditions for improvements within the roadway. Any changes that resulted during construction should be depicted during the plans.
There is a road construction bond in place with the town which has provisions for this road as-built to be completed. This will be submitted to the town prior to the road being dedicated in the future.

9. Engineered certtrificaitons that the storm drainage piping has been constructed of gasketed sealed pipes per the approved County plans should be received.
Part of the road as-built submission is to certify that the road construction and drainage has been constructed according to the approved plans prior to roadway dedication.



LOCATION MAP SCALE 1"=2000'

ZEN DESIGN
CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550
(845) 629-1567 (phone)

OWNER'S CONSENT NOTE:
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE, TARBEN INC.

APPLICANT/OWNER
TARBEN INC.
225 STONEYWOOD DRIVE
NEWBURGH, NY 12550
SBL: 6-1-19
SBL: 6-1-21
SBL: 17-2-110
SBL: 6-1-91

CERTIFICATION:
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON FEBRUARY 25, 2004. BY ANTHONY D. VALDINA, LAND SURVEYOR.

TOWN CERTIFICATION:
I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAT HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

TOPOGRAPHY NOTE
TOPOGRAPHY PROVIDED BY ROBINSON AERIAL SURVEYS, INC.,
1 EDGEVIEW DRIVE, HACKETTSTOWN, NJ 07840, FLOWN ON 12/03/03.

TOWN BOARD NOTE:
ROAD LENGTH WAIVER GRANTED BY THE TOWN OF NEWBURGH 06/01/05.

WETLANDS NOTES:
1. WETLANDS DELINEATED ON 02/26/04 BY ERS CONSULTANTS, INC., P.O. BOX 214, BELLVALE, NEW YORK 10912
2. FUTURE OWNER TO CONTACT THE A.C.O.E. PRIOR TO DISTURBANCE OF WETLANDS.

WELL NOTE:
1. INDIVIDUAL WELLS ARE PROPOSED FOR EACH LOT.
2. NO WELLS WITHIN 200' DOWNHILL OR 100' UPHILL OF PROPOSED SEPTIC SYSTEMS.

SEWER NOTE:
INDIVIDUAL SEPTIC SYSTEMS

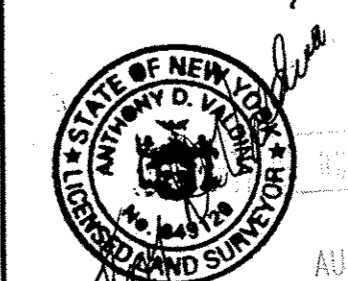
SURVEY NOTES:
1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. SURVEYED IN ACCORDANCE WITH FILED MAPS, DEEDS, AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF SURVEY.
5. SUBJECT TO ANY STATE OF FACTS REVEALED BY A TITLE REPORT ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, TITLE # 031614, DATED AUGUST 10, 2003.
6. FILED MAP REFERENCES:
A. "SUBDIVISION PLAN, LANDS OF CHARLES L. BURNS", FM #253-96
B. "P.A.T. REALTY OF NEWBURGH", FM #10324

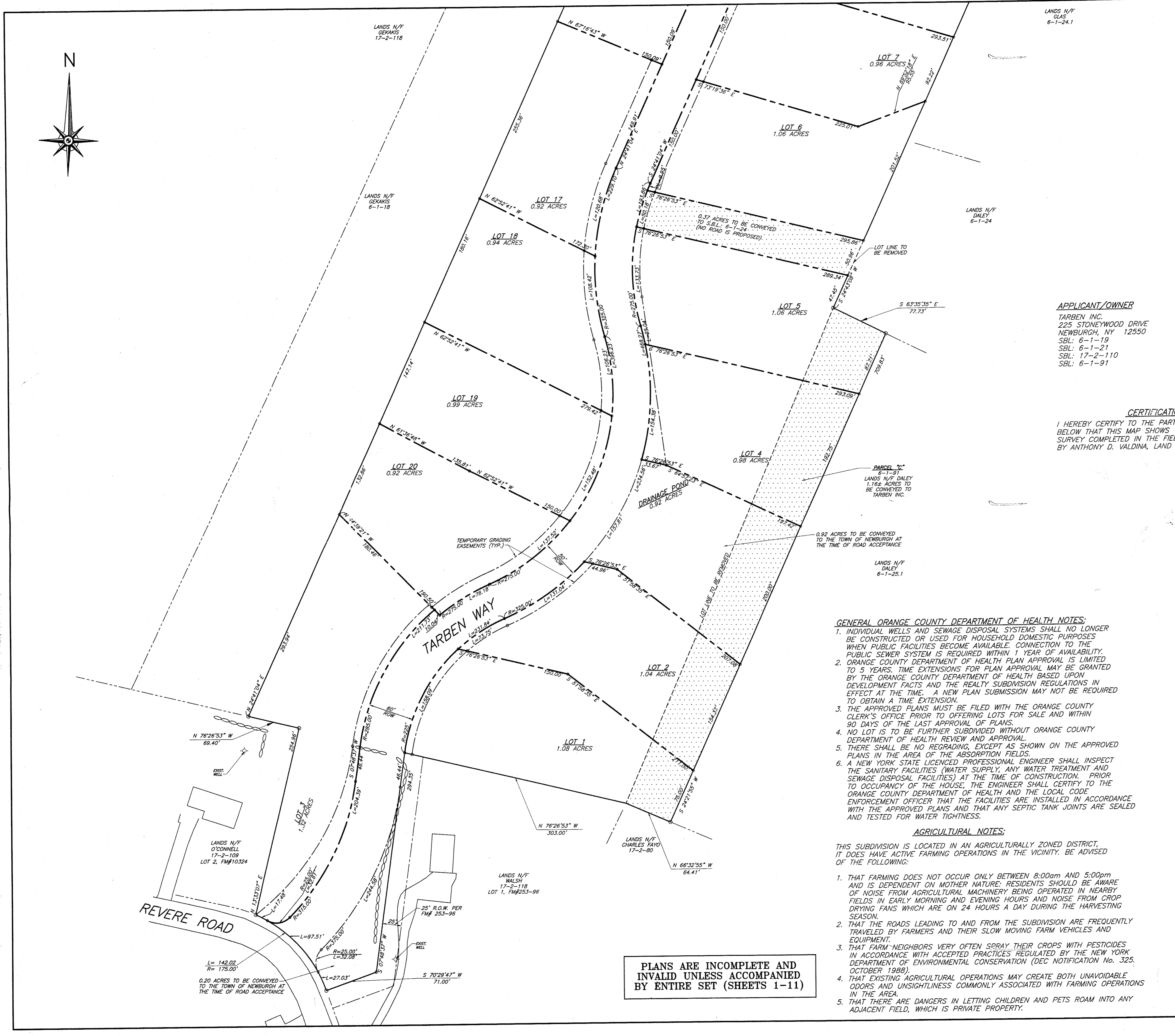
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13. REVISED 06/23/16 PER PROPERTY CHANGES
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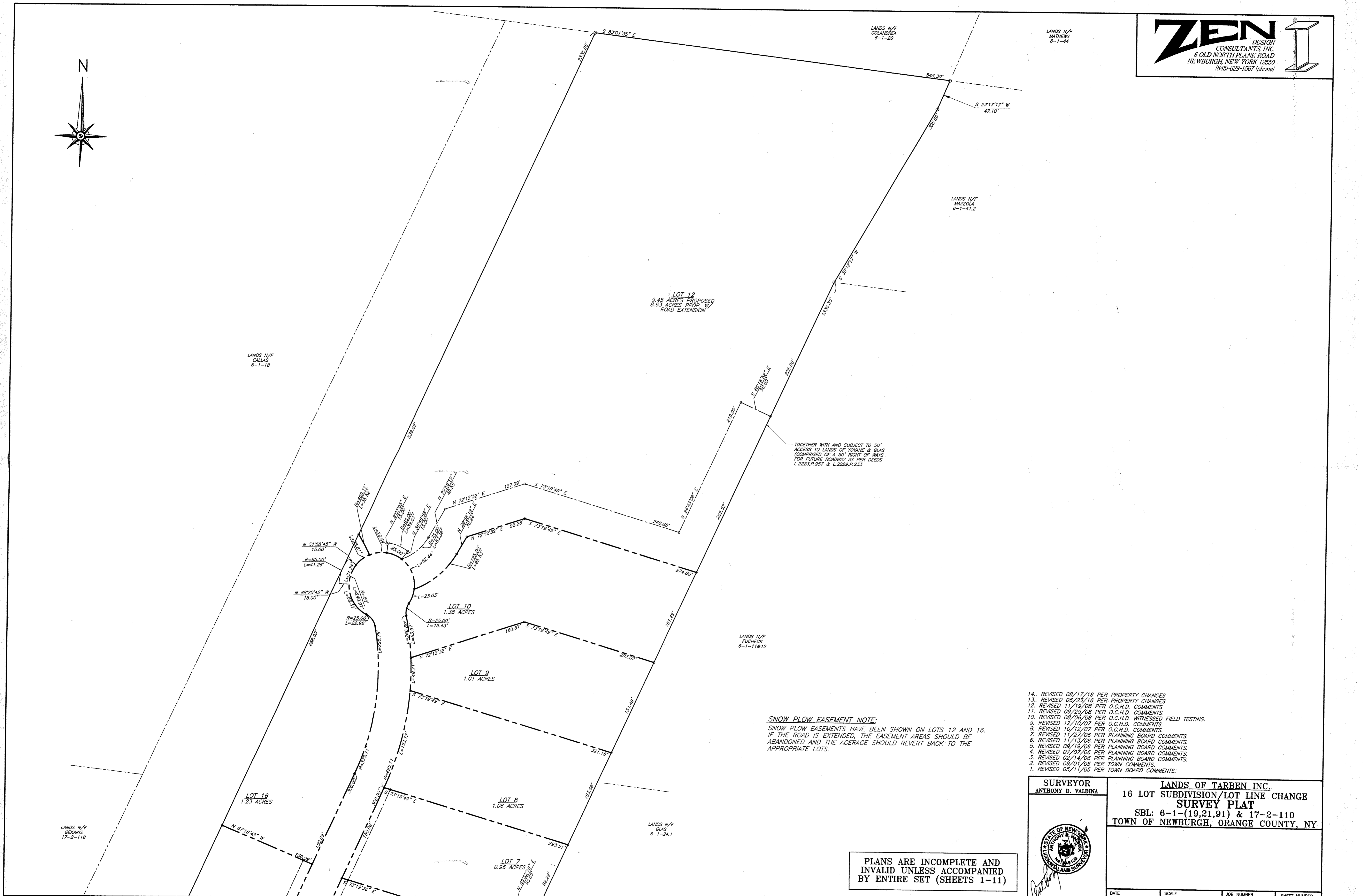
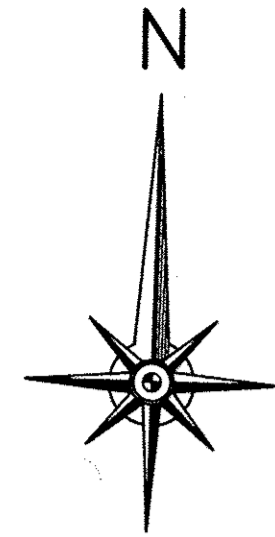
GENERAL ORANGE COUNTY DEPARTMENT OF HEALTH NOTES:
1. INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
2. ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THE TIME. A NEW PLAN SUBMISSION MAY NOT BE REQUIRED TO OBTAIN A TIME EXTENSION.
3. THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF PLANS.
4. NO LOTS TO BE FURTHER SUBDIVIDED WITHOUT ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.
5. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS IN THE AREA OF THE ABSORPTION FIELDS.
6. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION, PRIOR TO OCCUPANCY OF THE HOUSE, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS.

AGRICULTURAL NOTES:
THIS SUBDIVISION IS LOCATED IN AN AGRICULTURALLY ZONED DISTRICT, IT DOES HAVE ACTIVE FARMING OPERATIONS IN THE VICINITY. BE ADVISED OF THE FOLLOWING:
1. THAT FARMING DOES NOT OCCUR ONLY BETWEEN 8:00am AND 5:00pm AND IS DEPENDENT ON MOTHER NATURE. RESIDENTS SHOULD BE AWARE OF NOISE FROM AGRICULTURAL MACHINERY BEING OPERATED IN NEARBY FIELDS IN EARLY MORNING AND EVENING HOURS AND NOISE FROM CROP DRYING FANS WHICH ARE ON 24 HOURS A DAY DURING THE HARVESTING SEASON.
2. THAT THE ROADS LEADING TO AND FROM THE SUBDIVISION ARE FREQUENTLY TRAVELED BY FARMERS AND THEIR SLOW MOVING FARM VEHICLES AND EQUIPMENT.
3. THAT FARM-NEIGHBORS VERY OFTEN SPRAY THEIR CROPS WITH PESTICIDES IN ACCORDANCE WITH ACCEPTED PRACTICES REGULATED BY THE NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC NOTIFICATION No. 325, OCTOBER, 1988).
4. THAT EXISTING AGRICULTURAL OPERATIONS MAY CREATE BOTH UNAVOIDABLE ODORS AND UNSIGHTLINESS COMMONLY ASSOCIATED WITH FARMING OPERATIONS IN THE AREA.
5. THAT THERE ARE DANGERS IN LETTING CHILDREN AND PETS ROAM INTO ANY ADJACENT FIELD, WHICH IS PRIVATE PROPERTY.

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

 SURVEYOR ANTHONY D. VALDINA	LANDS OF TARBEN INC. 16 LOT SUBDIVISION/LOT LINE CHANGE SURVEY PLAT SBL: 6-1-(19,21,91) & 17-2-110 TOWN OF NEWBURGH, ORANGE COUNTY, NY		
	DATE 3/1/04	SCALE 1" = 60'	JOB NUMBER 23078-TAR





TOGETHER WITH AND SUBJECT TO 50' ACCESS TO LANDS OF YOVANE & GLAS (COMPRISED OF A 50' RIGHT OF WAYS FOR FUTURE ROADWAY AS PER DEEDS L.2223.P.937 & L.2223.P.533

SNOW PLOW EASEMENT NOTE:
 SNOW PLOW EASEMENTS HAVE BEEN SHOWN ON LOTS 12 AND 16. IF THE ROAD IS EXTENDED, THE EASEMENT AREAS SHOULD BE ABANDONED AND THE ACERAGE SHOULD REVERT BACK TO THE APPROPRIATE LOTS.

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 ANTHONY D. VALDINA SURVEYOR	LANDS OF TARBEN INC. 16 LOT SUBDIVISION/LOT LINE CHANGE SURVEY PLAT SBL: 6-1-(19,21,91) & 17-2-110 TOWN OF NEWBURGH, ORANGE COUNTY, NY		
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LANDS N/F
 GEDAKS
 17-2-118

LANDS N/F
 CALLAS
 6-1-18

LANDS N/F
 COLANDREA
 6-1-20

LANDS N/F
 MATHEWS
 6-1-44

LANDS N/F
 MAZZOLA
 6-1-41.2

LANDS N/F
 FUCHSCK
 6-1-11&12

LANDS N/F
 GLAS
 6-1-24.1

LEGEND

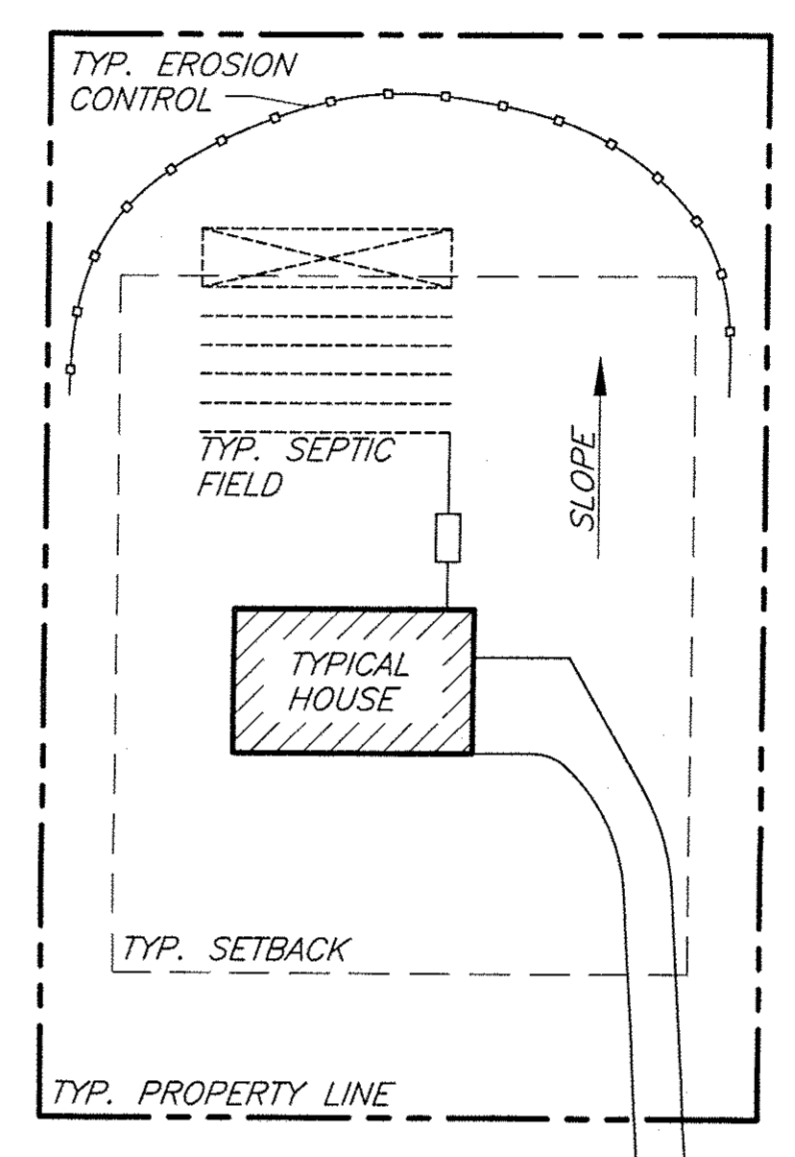
- PROPOSED CONTOURS
- CONTOURS
- PROPOSED DRAINAGE SWALE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- FEDERAL WETLANDS
- PROPOSED WELL
- EXISTING WELL
- PROPOSED HOUSE
- PROPOSED CLEANOUT
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROPOSED PUMP CHAMBER
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET
- PROP. CURB BOX LOCATION



**NOT FOR O.C.H.D. REVIEW OR APPROVAL
(THIS SECTION ONLY)**

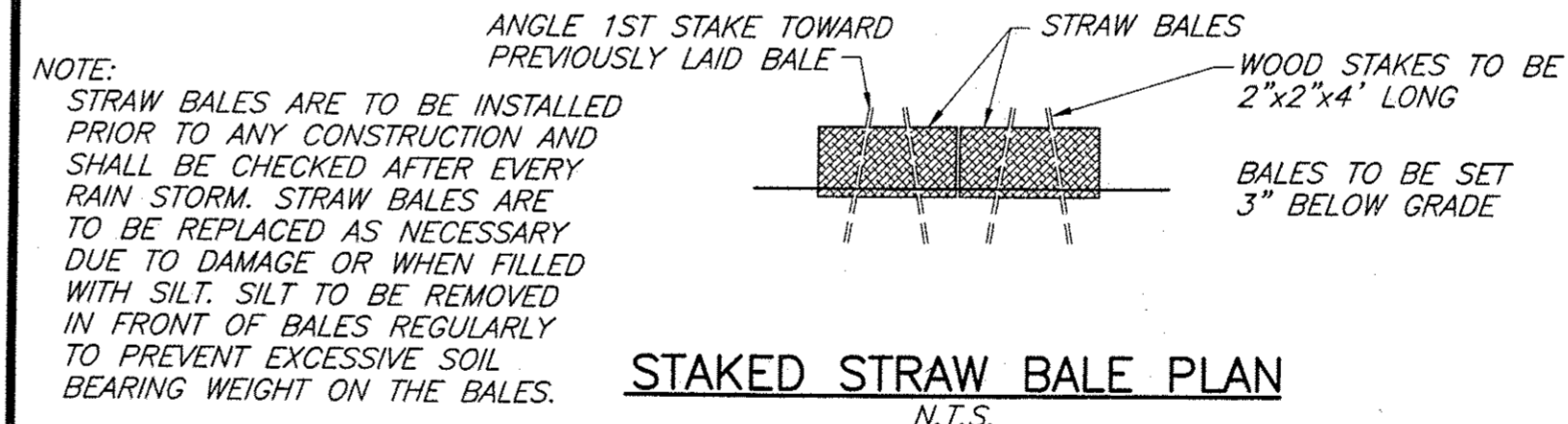
EROSION CONTROL STANDARD NOTES

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCRoACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISTURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.



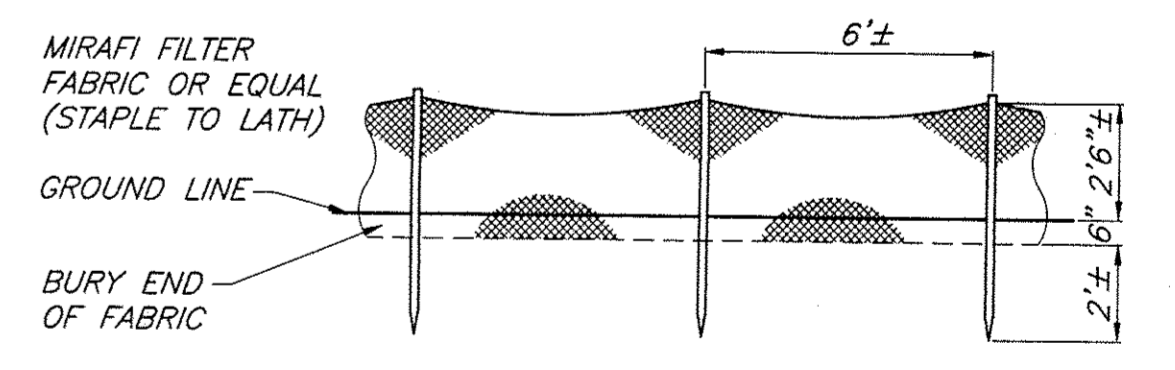
TYPICAL EROSION CONTROL DETAIL
N.T.S.

- NOTE:
1. STRAW BALES OR SILT FENCING ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. EROSION CONTROL TO BE LOCATED ON THE DOWNHILL SIDE OF DISTURBED LAND. EROSION CONTROL LOCATIONS WILL VARY DEPENDING ON THE DIRECTION OF SLOPE FOR THE INDIVIDUAL LOTS. SEE DETAILS FOR INSTALLATION INSTRUCTIONS.



STAKED STRAW BALE PLAN
N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. STRAW BALES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.



SILT FENCE DETAIL
N.T.S.

ALL SEPTIC SYSTEMS SHOWN HAVE BEEN DESIGNED FOR 4 BEDROOM HOMES UNLESS NOTED. SEE CHART ON SHEET 6 FOR DETAILED INFORMATION.

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

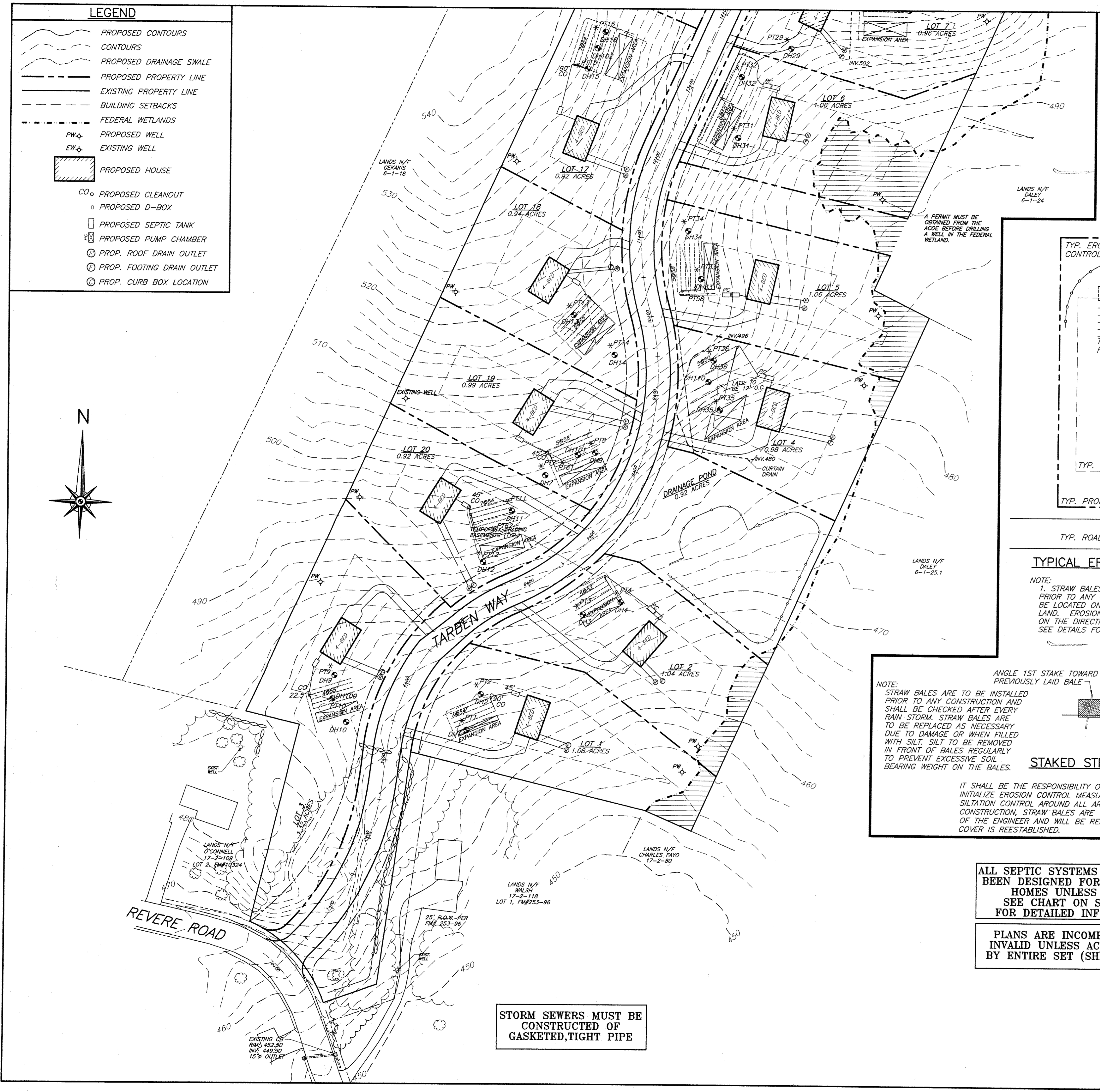
STORM SEWERS MUST BE CONSTRUCTED OF GASKETED, TIGHT PIPE

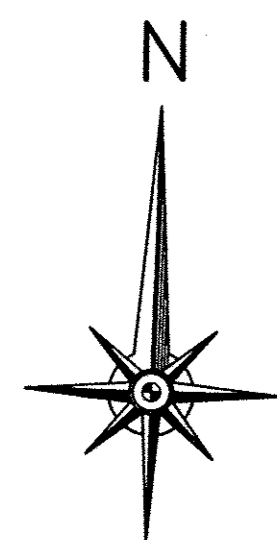
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ENGINEER
WILLIAM J. MORREAU, P.E.

LANDS OF TARPEN INC.
16 LOT SUBDIVISION/LOT LINE CHANGE
LAYOUT PLAN - 1
SBL: 6-1-(19,21,91) & 17-2-110
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 3/1/04 SCALE: 1" = 60' JOB NUMBER: 23078-TAR SHEET NUMBER: 3 OF 11





TOWN: NEWBURGH
 ZONE: AR
 TOTAL ACREAGE: 29.2 ±

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5
MINIMUM LOT AREA	40,000 sf	47,218sf	45,211sf	57,660sf	42,600sf	46,281sf
MINIMUM YARDS						
FRONT	50'	105'	107'	55'	99'	117'
REAR	50'	223'	130'	53'	114'	123'
SIDE 1	30'	45'	50'	100'	47'	45'
SIDE BOTH	80'	97'	100'	185'	111'	99'
MINIMUM LOT WIDTH	150'	150'	150'	180'	171'	150'
DEPTH	150'	376'	312'	452'	257'	266'
MAXIMUM BUILD. COVERAGE	10%	<10%	<10%	<10%	<10%	<10%
MAXIMUM HEIGHT	35'	<35'	<35'	<35'	<35'	<35'

LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13
45,956sf	41,634sf	46,066sf	43,849sf	59,770sf	NOT A BUILDING LOT	411,426sf/ 375,681sf	NOT A BUILDING LOT
71'	61'	94'	165'	199'		480'	
179'	198'	180'	139'	181'		351'	
45'	46'	48'	44'	39'		221'	
102'	94'	100'	92'	91'		559'	
153'	147'	152'	154'	151'		625'	
290'	293'	303'	375'	326'		881'	
<10%	<10%	<10%	<10%	<10%		<10%	
<35'	<35'	<35'	<35'	<35'		<35'	

LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
NOT A BUILDING LOT	NOT A BUILDING LOT	53,540sf	40,017sf	40,840sf	43,235sf	40,021sf
		103'	63'	62'	113'	104'
		157'	59'	102'	149'	91'
		40'	54'	55'	49'	49'
		97'	211'	127'	99'	105'
		150'	255'	180'	150'	189'
		486'	150'	172'	285'	244'
		<10%	<10%	<10%	<10%	<10%
		<35'	<35'	<35'	<35'	<35'

TOGETHER WITH AND SUBJECT TO 50' ACCESS TO LANDS OF YOVANE & GLAS (COMPRISED OF A 50' RIGHT OF WAYS FOR FUTURE ROADWAY AS PER DEEDS L.2223,P.957 & L.2229,P.233

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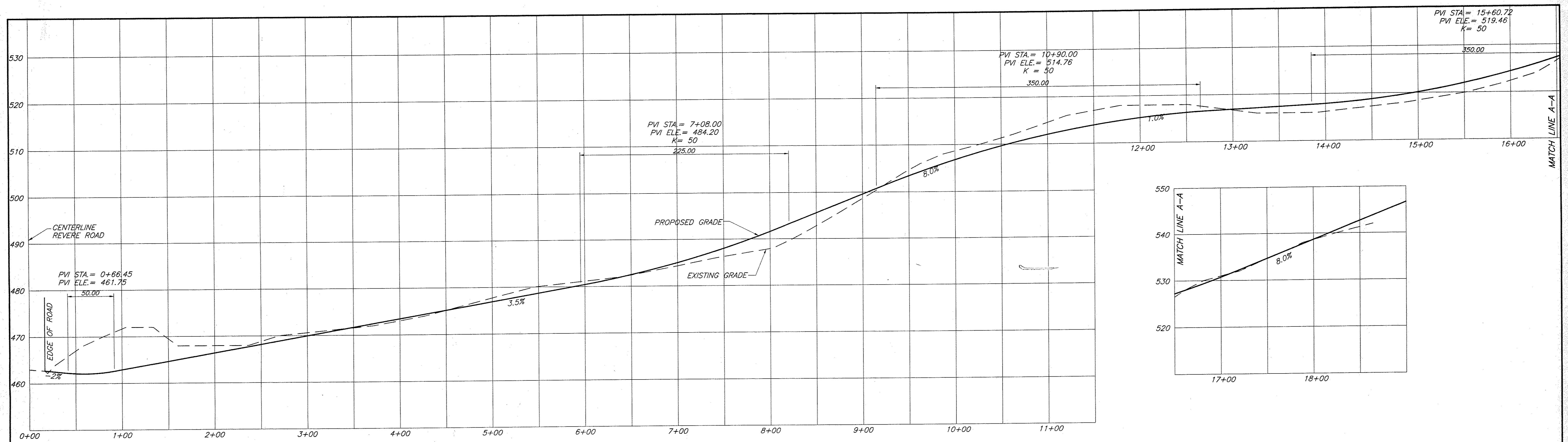
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5. REVISED 09/19/06 PER PLANNING BOARD COMMENTS
4. REVISED 07/07/06 PER PLANNING BOARD COMMENTS
3. REVISED 02/14/06 PER PLANNING BOARD COMMENTS
2. REVISED 09/01/05 PER TOWN COMMENTS
1. REVISED 05/11/05 PER TOWN BOARD COMMENTS

ENGINEER
 WILLIAM J. MORREAU, P.E.

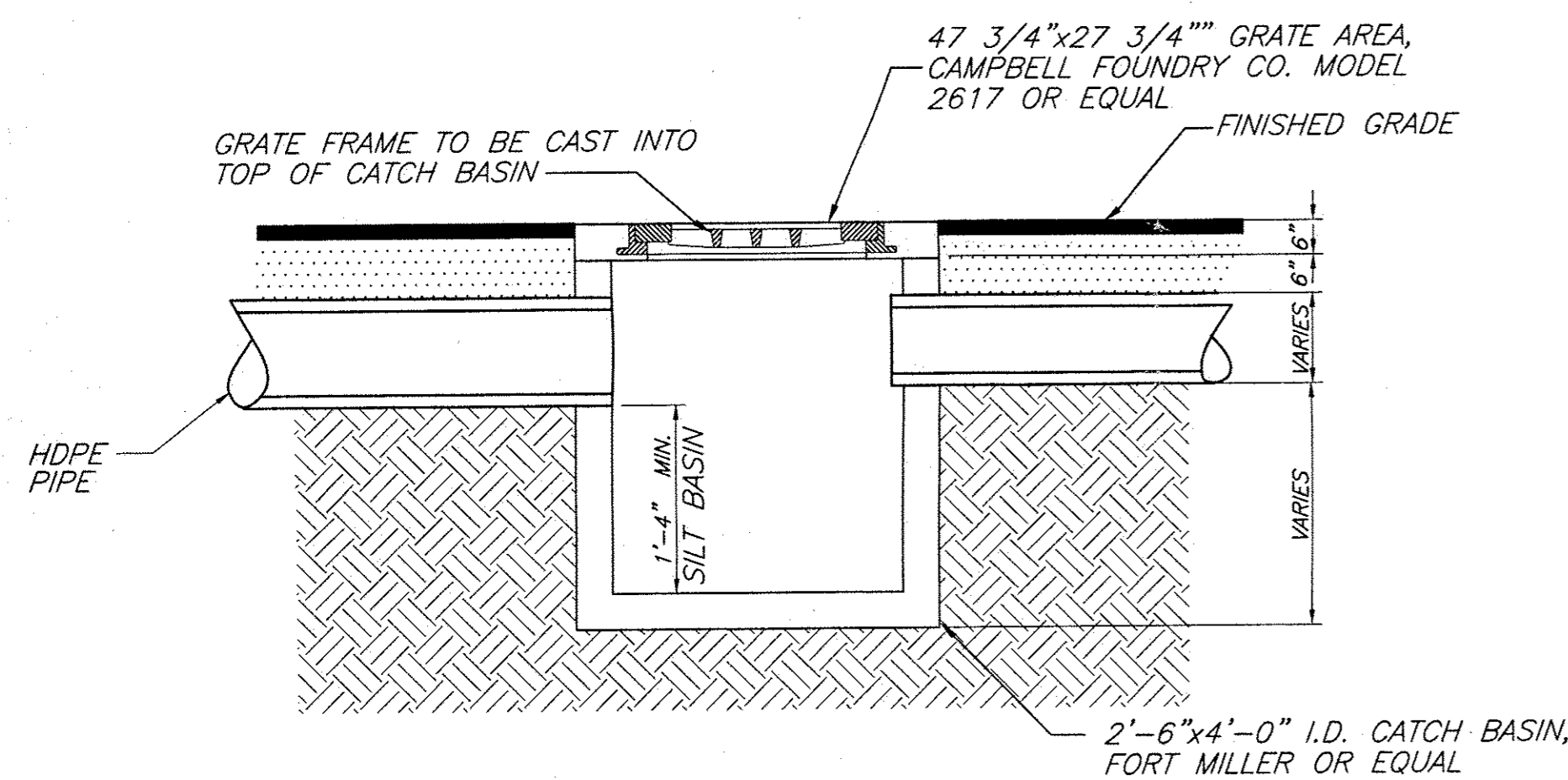
LANDS OF TARBEN INC.
 16 LOT SUBDIVISION/LOT LINE CHANGE
 LAYOUT PLAN - 2
 SBL: 6-1-(19,21,91) & 17-2-110
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 3/1/04 SCALE: 1" = 60' JOB NUMBER: 23078-TAR SHEET NUMBER: 4 OF 11

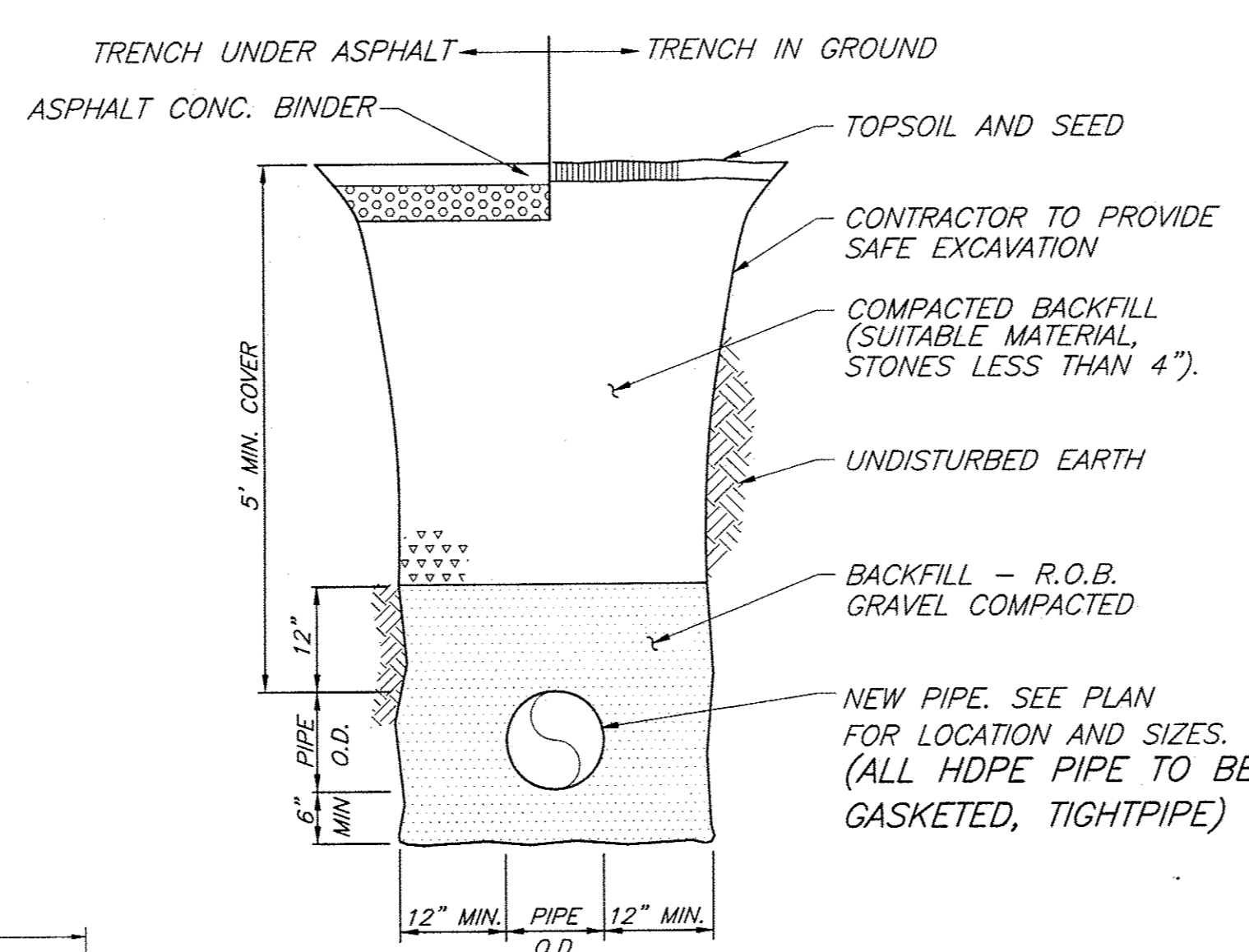


TARBEN WAY PROPOSED ROAD PROFILE

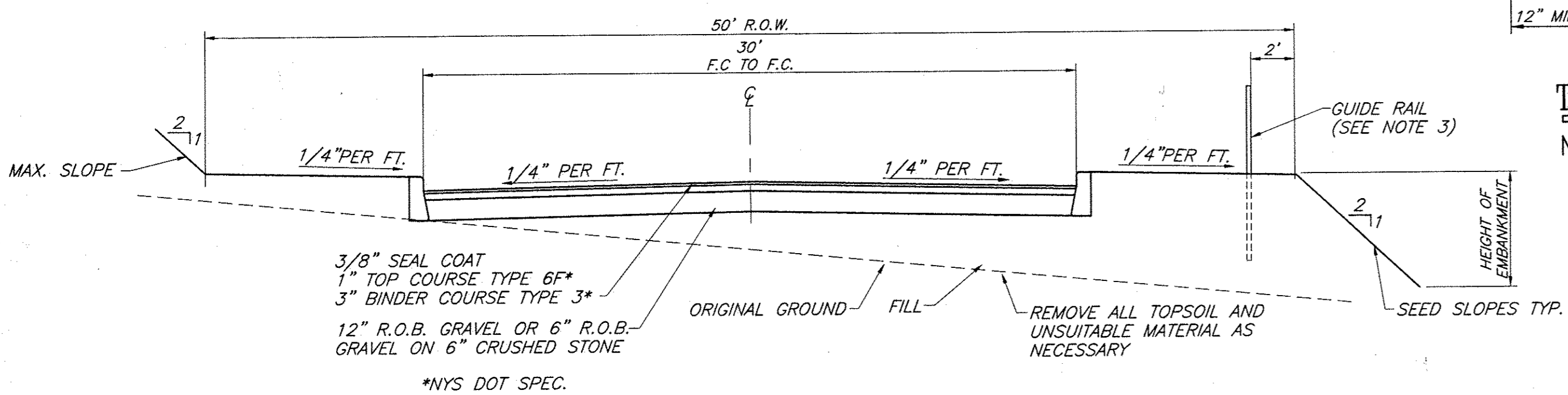
HORIZONTAL SCALE - 1"=50'
VERTICAL SCALE - 1"=10'



TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

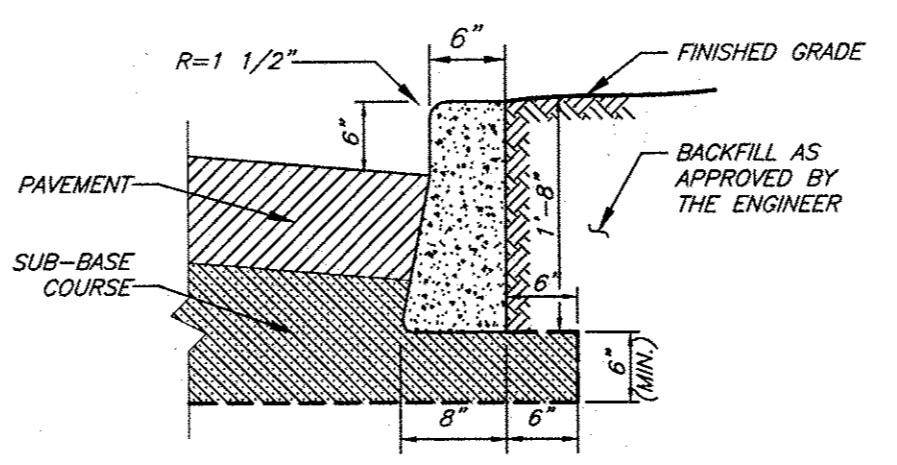


TYPICAL PIPE TRENCH DETAIL
NOT TO SCALE



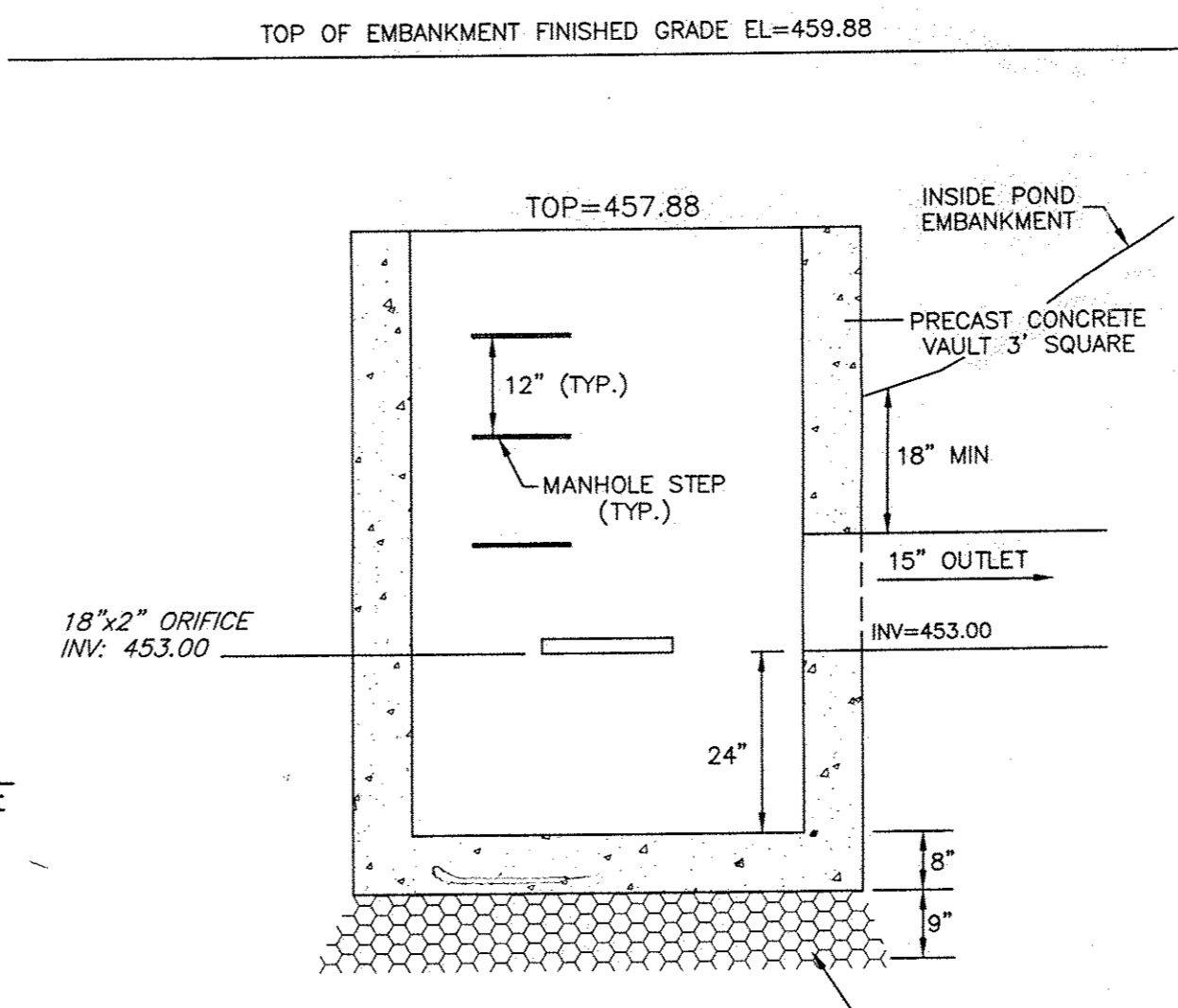
TYPICAL SECTION - MINOR RESIDENTIAL ROAD WITH CURBS
N.T.S.

- MINOR RESIDENTIAL ROAD NOTES:**
- REFER TO SECTION 14 "CONSTRUCTION SPECIFICATIONS" FOR ALL PAVEMENT AND SUBBASE REQUIREMENTS.
 - LIGHTPOLES, WHEN REQUIRED WILL BE LOCATED AS DIRECTED BY THE TOWN ENGINEER AND TOWN SUPERINTENDENT OF HIGHWAYS.
 - GUIDERAIL IS TO BE INSTALLED IN ACCORDANCE WITH NYS DOT SPECIFICATIONS AND SECTION 15A OF THE TOWN OF NEWBURGH ROAD SPECIFICATIONS.
 - SIDEWALKS, WHEN REQUIRED WILL BE 2' INSIDE OF THE RIGHT-OF-WAY. REFER TO SECTION 10 OF THE TOWN OF NEWBURGH ROAD SPECIFICATIONS.

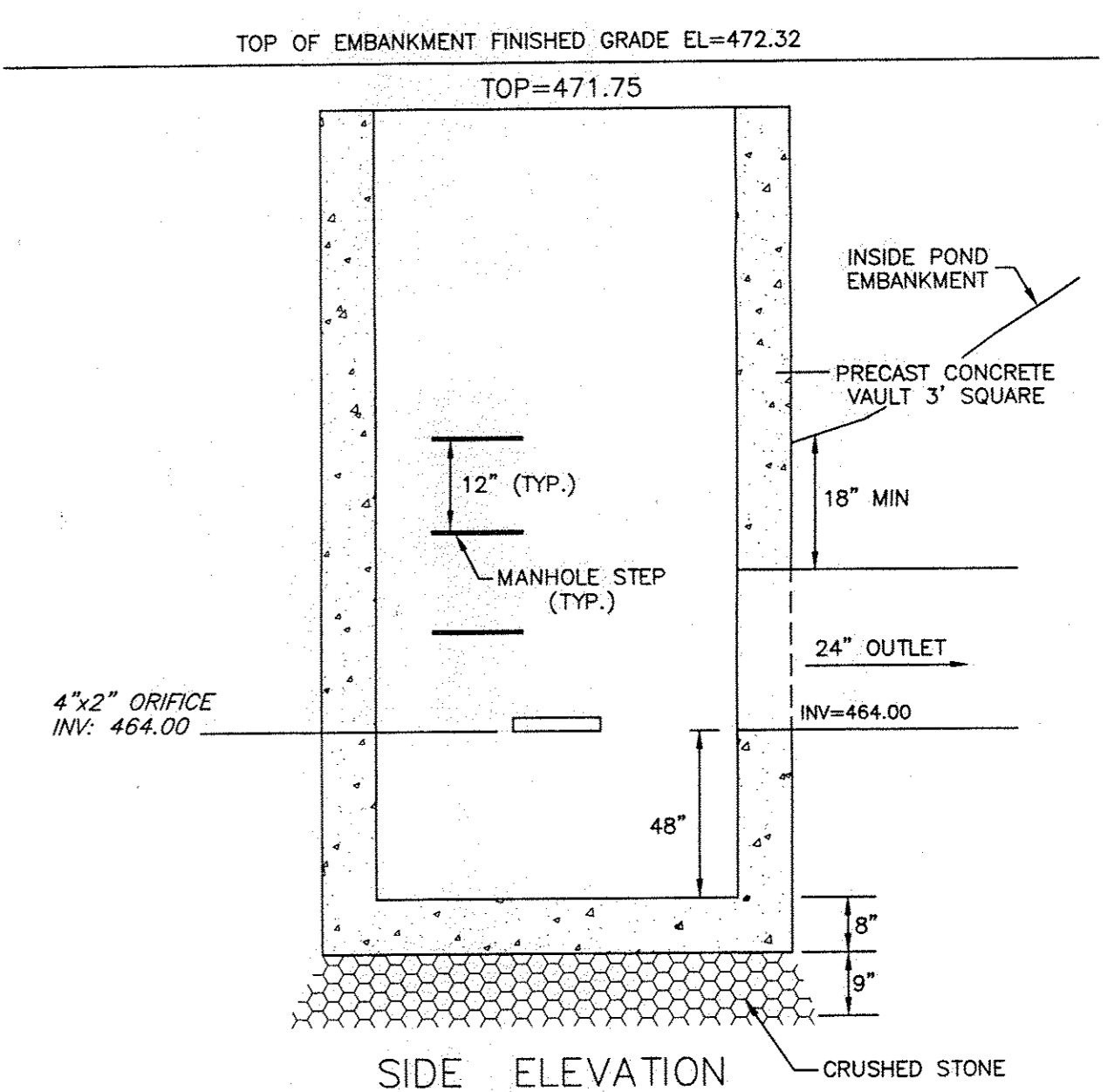


CONCRETE CURB DETAIL
N.T.S.

- CONCRETE CURB NOTES:**
- ALL CONSTRUCTION AND MATERIALS USED TO FORM THE CURB SHALL MEET THE REQUIREMENTS OF SECTION 14K OF THE TOWN OF NEWBURGH ROAD SPECIFICATIONS.
 - DETAILS OF PRECAST CONCRETE CURB AND STONE CURB ARE TO BE SUBMITTED TO THE TOWN ENGINEER AND THE TOWN SUPERINTENDENT OF HIGHWAYS FOR ACCEPTANCE.



OUTLET STRUCTURE POND #2
N.T.S.



OUTLET STRUCTURE POND #1
N.T.S.

- REVISED 08/17/16 PER PROPERTY CHANGES
- REVISED 06/23/16 PER PROPERTY CHANGES
- REVISED 11/19/08 PER O.C.H.D. COMMENTS
- REVISED 09/29/08 PER O.C.H.D. COMMENTS
- REVISED 08/08/08 PER O.C.H.D. WITNESSED FIELD TESTING.
- REVISED 12/10/07 PER O.C.H.D. COMMENTS
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- REVISED 11/27/06 PER PLANNING BOARD COMMENTS
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- REVISED 08/19/06 PER PLANNING BOARD COMMENTS
- REVISED 07/07/06 PER PLANNING BOARD COMMENTS
- REVISED 02/14/06 PER PLANNING BOARD COMMENTS
- REVISED 09/01/05 PER TOWN COMMENTS
- REVISED 05/11/05 PER TOWN BOARD COMMENTS

NOT FOR O.C.H.D. REVIEW OR APPROVAL

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

ENGINEER
WILLIAM J. MORRAU, P.E.

LANDS OF TARBEN INC.
16 LOT SUBDIVISION/LOT LINE CHANGE
ROAD PROFILE & MISC. DETAILS
SBL: 6-1-(19,21,91) & 17-2-110
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
3/1/04	1" = 50'	23078-TAR	5 OF 11

SEPTIC SYSTEM DESIGN DATA:

Table with 12 columns for LOT #1 through LOT #12. Each column contains data for PERCOLATION DATA, DEEP PIT DATA, and DESIGN DATA. The design data includes details on bedrooms, daily flow, septic tank capacity, and absorption field requirements. Vertical text 'DRAINAGE POND LOT' and 'NOT A BUILDING LOT' is oriented vertically across several columns.

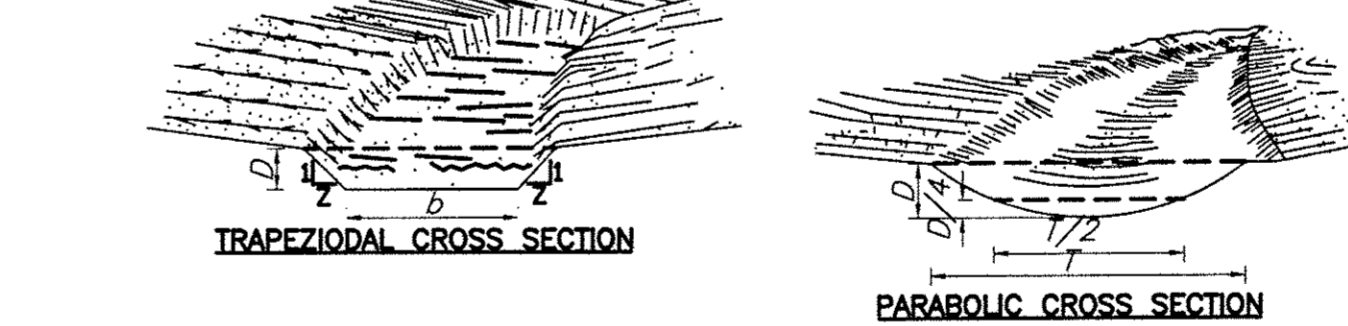
* = WITNESSED BY ORANGE COUNTY DEPARTMENT OF HEALTH

REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (AS SHOWN IN NY STATE DEPARTMENT OF HEALTH DESIGN HANDBOOK FOR INDIVIDUAL RESIDENTIAL WASTEWATER SYSTEMS, ed. 1996)

Table showing required separation distances between various system components (House Sewer, Septic Tank, etc.) and different types of structures (Well, Stream, etc.).

SEPTIC SYSTEM GENERAL NOTES: 1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL. 2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE. 3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD. 4. NO SWIMMING POOLS, DRINKING OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD. 5. NO TRENCHES TO BE INSTALLED IN WET SOIL. 6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH. 7. GROUP ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX. 8. DISTRIBUTION LINE ARE TO BE CAPPED. 9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER. 10. NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH. 11. NO SEWAGE SYSTEM SHALL BE PLACED WITH IN 100' OF ANY WATER COURSE OR 50' OF ANY DRAINAGE DITCH. 12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM. 13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED. 14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL. 15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION TO AVOID ANY UNLAWFUL COMPACTING THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED. 16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOMMODATE THEM. 17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT. 18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING ANYSDEC WELL COMPLETION REPORT. THE PURCHASER SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY. (REFER TO PAGES 58-61 OF THE NYSDOH DESIGN HANDBOOK FOR RECOMMENDED ROUTINE OPERATION AND MAINTENANCE ITEMS). 19. THE DESIGN ENGINEER WILL BE REQUIRED TO CERTIFY CONSTRUCTION OF A FACILITY WITH AN AS-BUILT DRAWING SUBMITTED TO THE TOWN PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED.

STANDARD NOTES: THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE: 'APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE.' 'WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH.' 'RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH.' 'PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH.' 'THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES. ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT. TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS. COUNTY CERTIFICATION: THE PROPOSED SEWAGE DISPOSAL SYSTEM AND WATER SUPPLY SYSTEM SHOWN ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION. THE DESIGN IS BASED UPON THE ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOT AT THE DESIGN LOCATION AT THE TIME OF DESIGN.

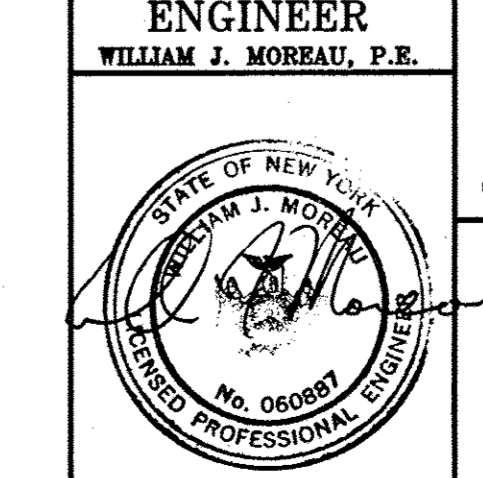


GRASS-LINED SWALE N.T.S. CONSTRUCTION SPECIFICATIONS

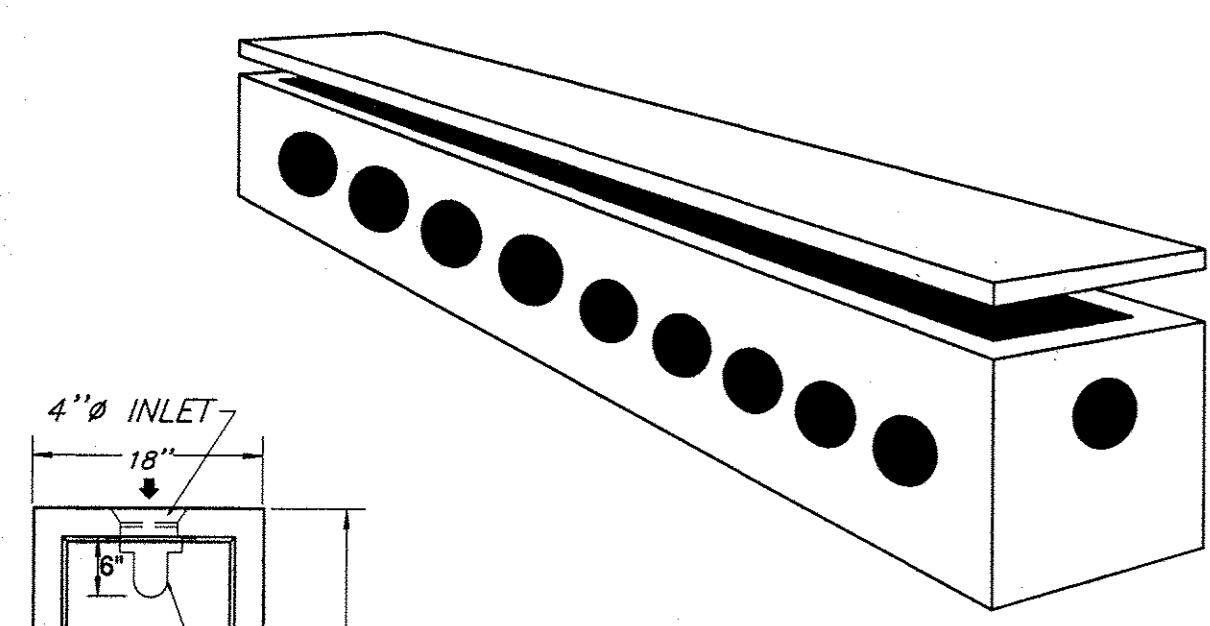
- 1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY. 2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED E NORMAL FLOW. 3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY. 4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY. 5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES. A. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC., SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT, WHEN CONDITIONS PERMIT, TEMPORARY WATERWAYS OR OTHER MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION. B. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE WATERWAY SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED JUTE OR EXCELISOR MATING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED. C. STRUCTURAL - VEGETATIVE PROTECTION SUBSURFACE DRAIN FOR BASE FLOW SHALL BE CONSTRUCTED AS SHOWN ON THE STANDARD DRAWING AND AS SPECIFIED IN THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN.

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

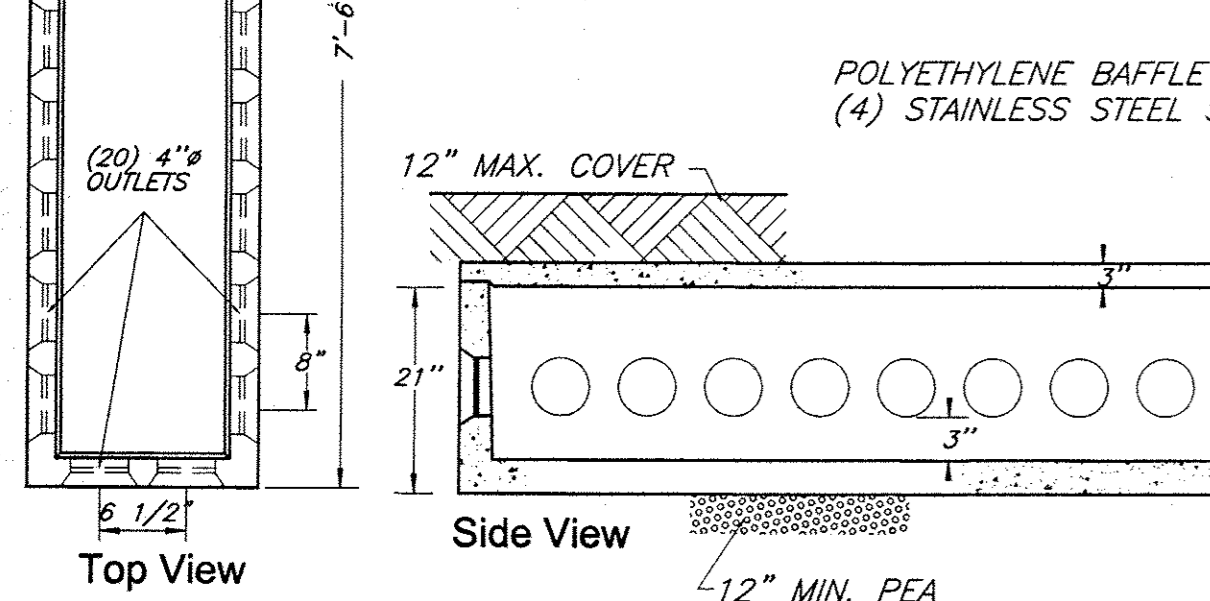
- 14. REVISED 08/17/16 PER PROPERTY CHANGES
13. REVISED 06/23/16 PER PROPERTY CHANGES
12. REVISED 11/19/09 PER O.C.H.D. COMMENTS
11. REVISED 05/29/08 PER O.C.H.D. COMMENTS
10. REVISED 08/06/08 PER O.C.H.D. WITNESSED FIELD TESTING
9. REVISED 12/10/07 PER O.C.H.D. COMMENTS
8. REVISED 10/13/07 PER O.C.H.D. COMMENTS
7. REVISED 11/27/06 PER PLANNING BOARD COMMENTS.
6. REVISED 11/13/06 PER PLANNING BOARD COMMENTS.
5. REVISED 09/19/06 PER PLANNING BOARD COMMENTS.
4. REVISED 10/07/06 PER PLANNING BOARD COMMENTS.
3. REVISED 02/14/06 PER PLANNING BOARD COMMENTS.
2. REVISED 08/01/05 PER TOWN COMMENTS.
1. REVISED 05/11/05 PER TOWN BOARD COMMENTS.



ENGINEER WILLIAM J. MORRAU, P.E. LANDS OF TARBEN INC. 16 LOT SUBDIVISION/LOT LINE CHANGE SEPTIC TESTS RESULTS SBL: 6-1-(19,21,91) & 17-2-110 TOWN OF NEWBURGH, ORANGE COUNTY, NY

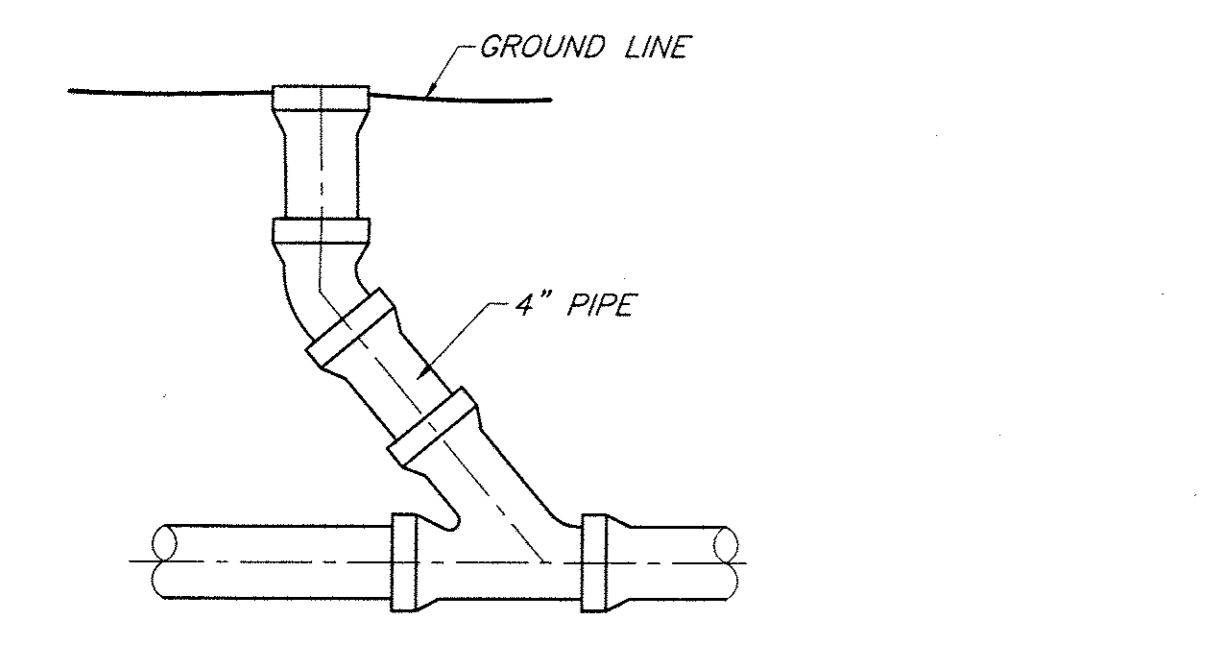


NOTES:
 1. OUTLETS ARE TO BE SET AT THE SAME ELEVATION AND FLOW EQUALIZERS ARE REQUIRED
 2. OUTLETS MUST BE USED IN A MANNER THAT WILL ALLOW ACCESS TO THE EXPANSION AREA WITHOUT DISTURBING EXISTING PIPING



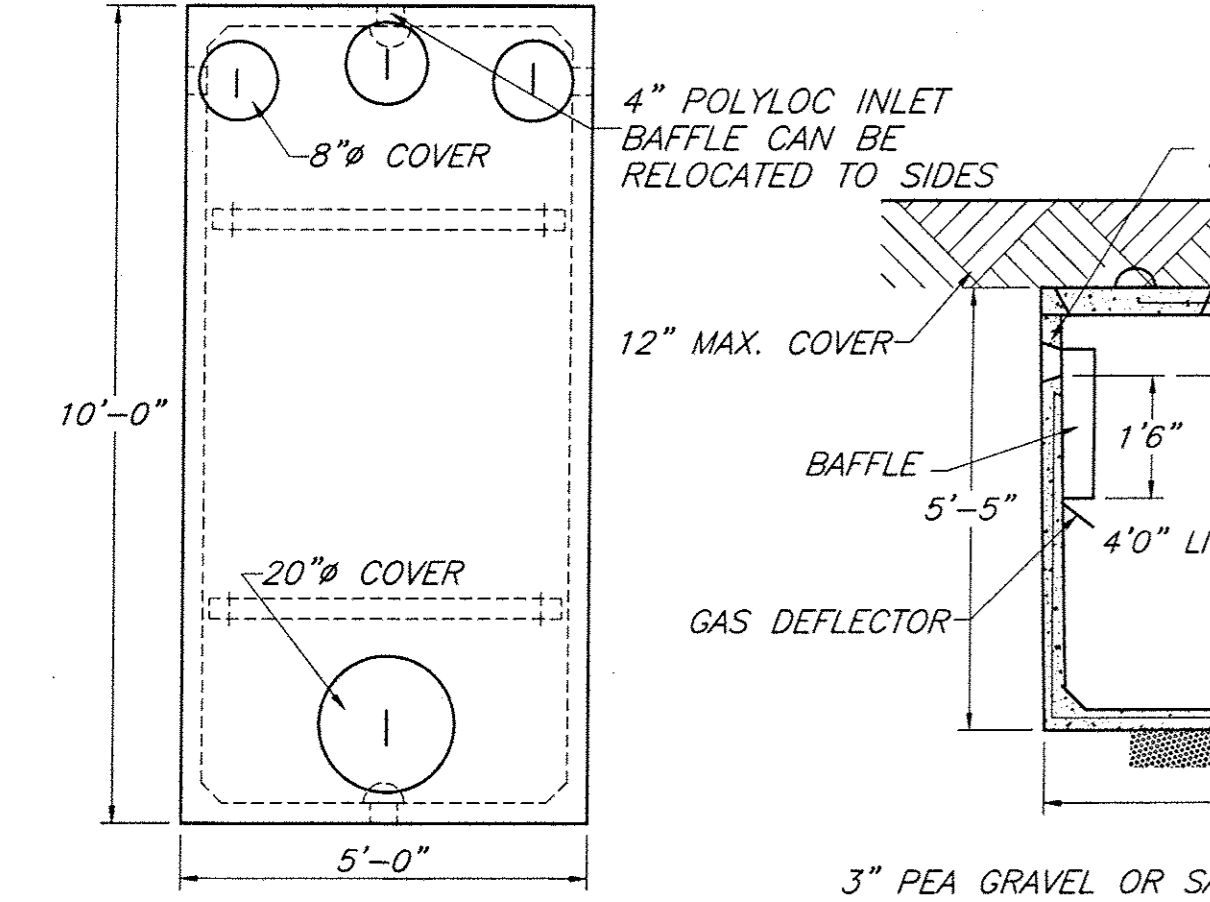
WOODARD'S PRECAST DISTRIBUTION BOX MODEL DB-20 / 20 OUTLETS W/BAFFLE
 Concrete Min. Strength: 4,000 psi at 28 days
 Reinforcement: #4 Rebar, 10 ga. Wire Mesh
 Air Entrainment: 5%
 Pipe Connection: Polylok Seal (patented)
 Load Rating: 300 psf
 Weight: Box = 1,400 lbs, Lid = 400 lbs

20-HOLE DISTRIBUTION BOX *NOTE: USE DB-20 ON LOT 12 ONLY
 N.T.S.



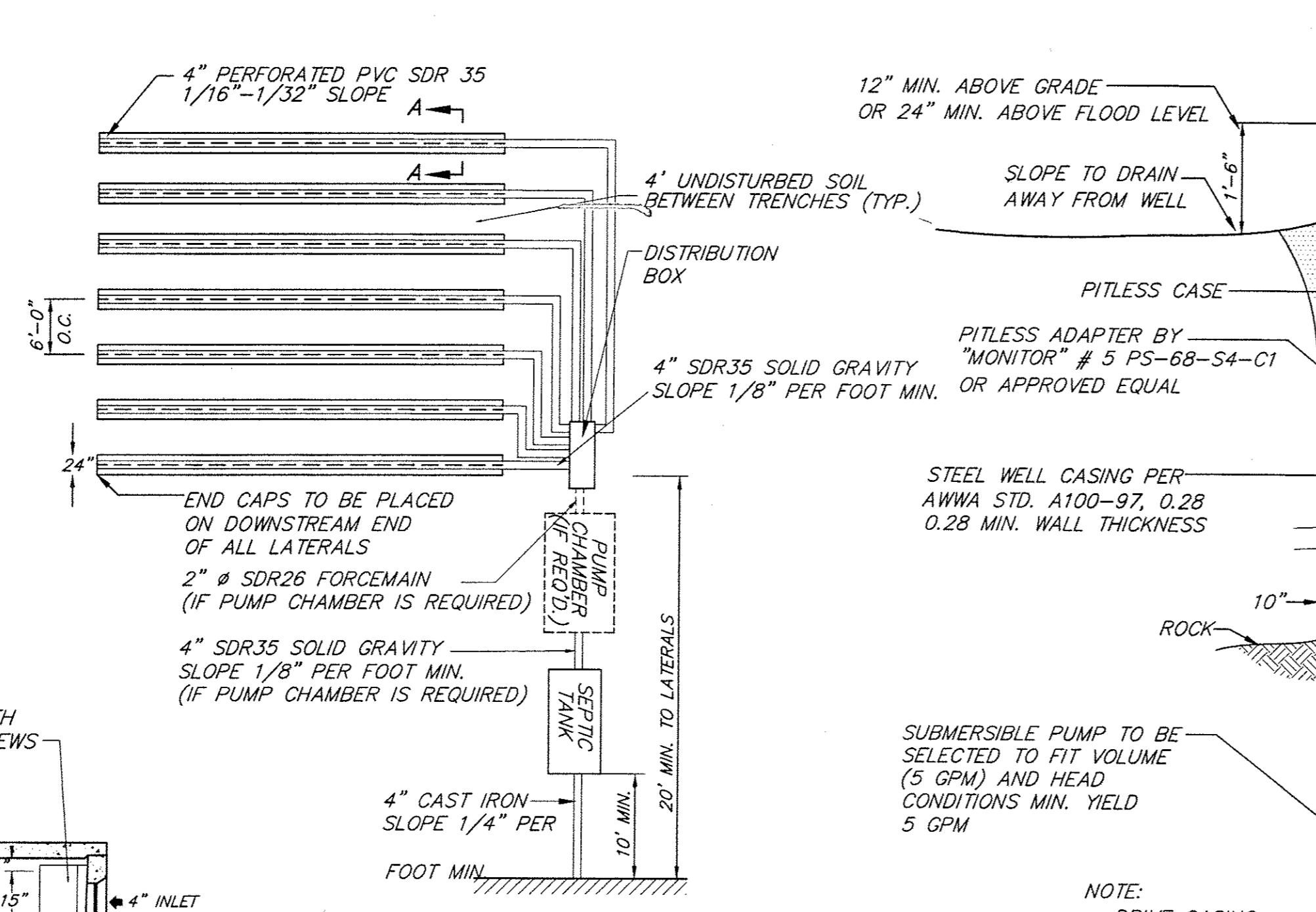
CLEANOUT DETAIL
 N.T.S.

- TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS.
- TO BE INSTALLED WHERE PIPE DEFLECTION EXCEEDS 15" AT INTERSECTION WITH CONCRETE TRENCH

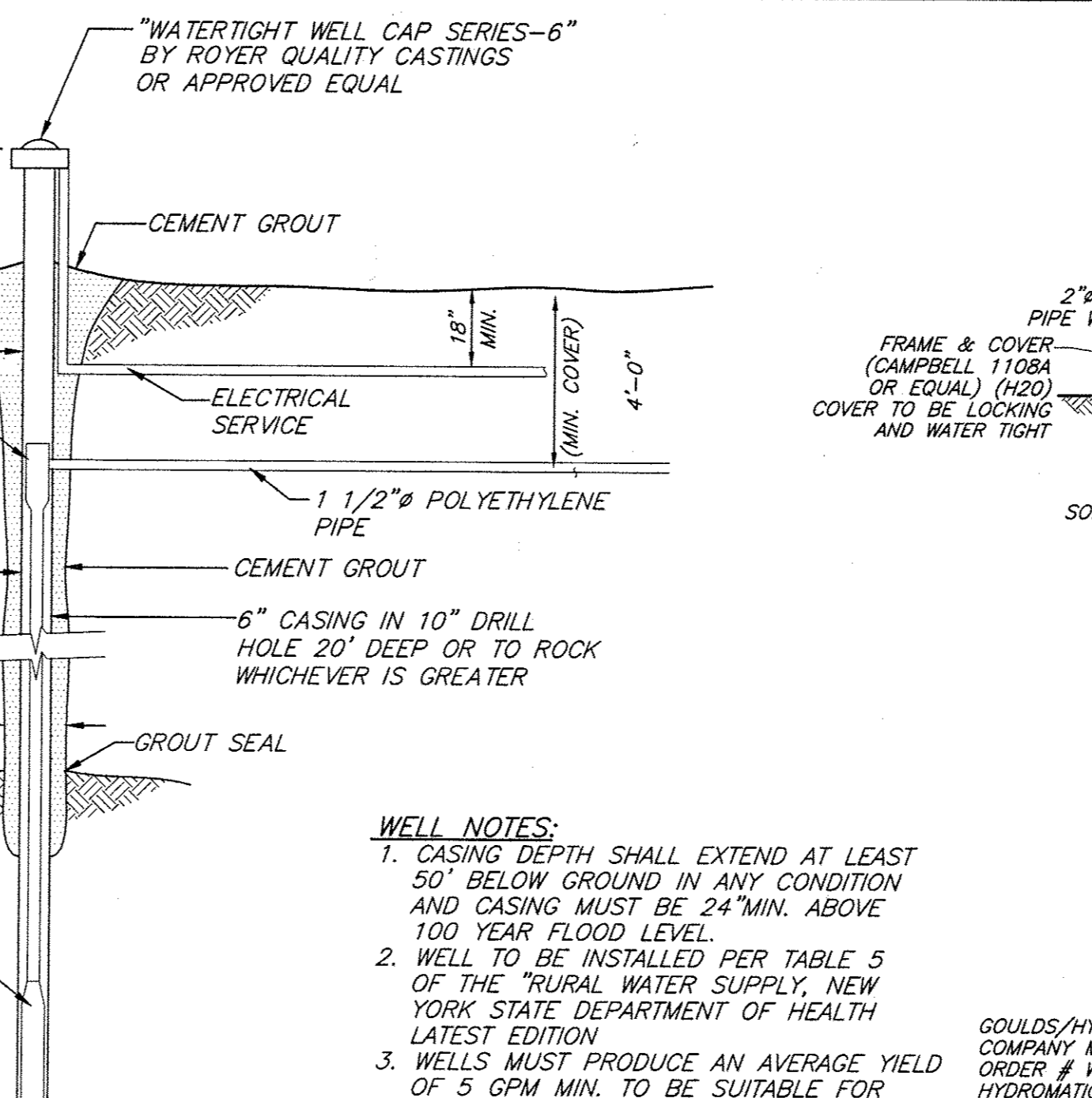


WOODARD'S 1250gal. SEPTIC TANK OR EQUAL
 N.T.S.

SPECIFICATIONS
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6"10GA. WWF, #4 REBAR
 AIR ENTRAPMENT- 5%
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 9,500LBS

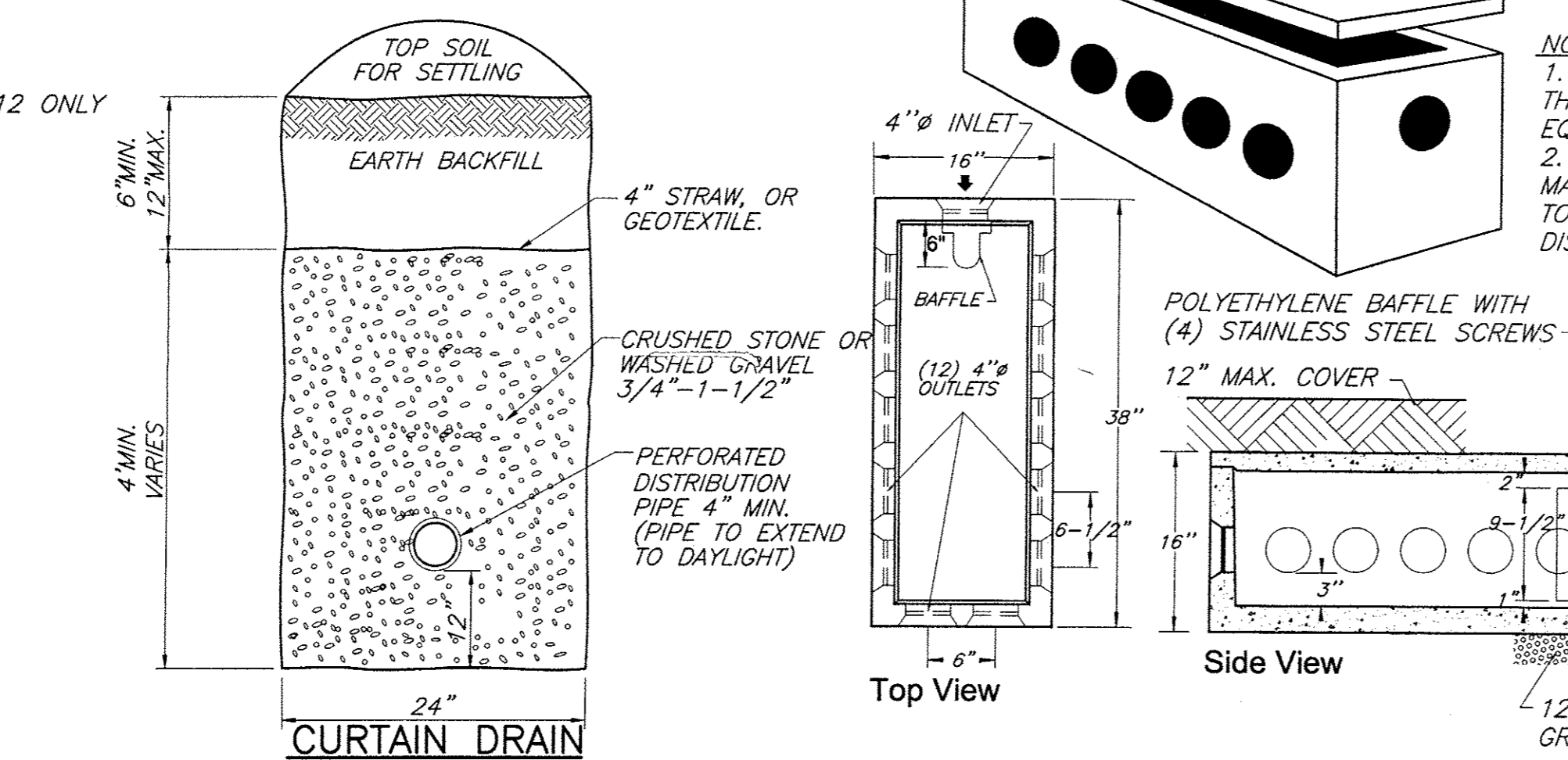


TYPICAL PLAN VIEW
 N.T.S.



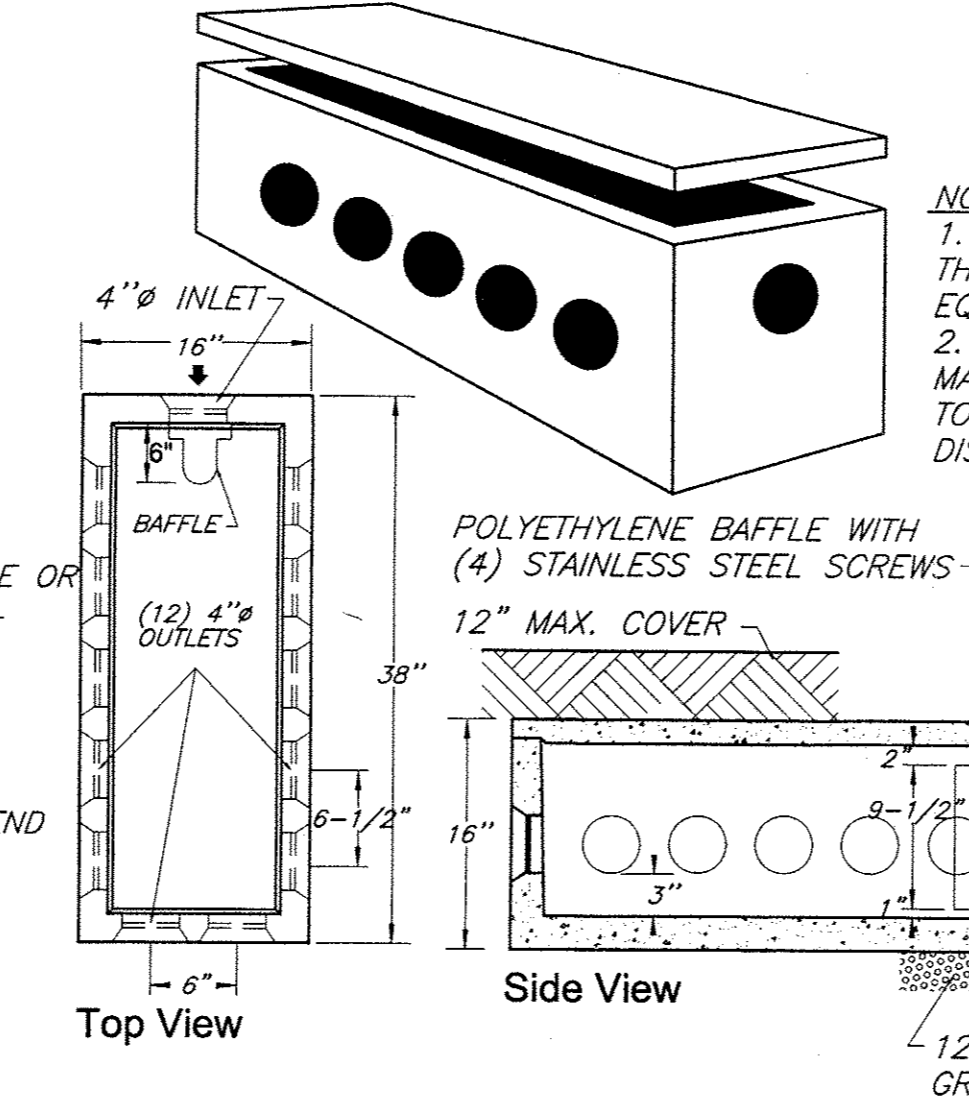
WELL DETAIL
 N.T.S.

WELL NOTES:
 1. CASING DEPTH SHALL EXTEND AT LEAST 50' BELOW GROUND IN ANY CONDITION AND CASING MUST BE 24" MIN. ABOVE 100 YEAR FLOOD LEVEL.
 2. WELL TO BE INSTALLED PER TABLE 5 OF THE "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH LATEST EDITION.
 3. WELLS MUST PRODUCE AN AVERAGE YIELD OF 5 GPM MIN. TO BE SUITABLE FOR RESIDENTIAL DEVELOPMENT.
 4. BASED ON TEST WELLS FOR LOTS 12&19: APPROX WELL DEPTH: 300'
 TYPE OF OVERBURDEN: HARDPAN BEDROCK SOFT SHALE



CURTAIN DRAIN
 N.T.S.

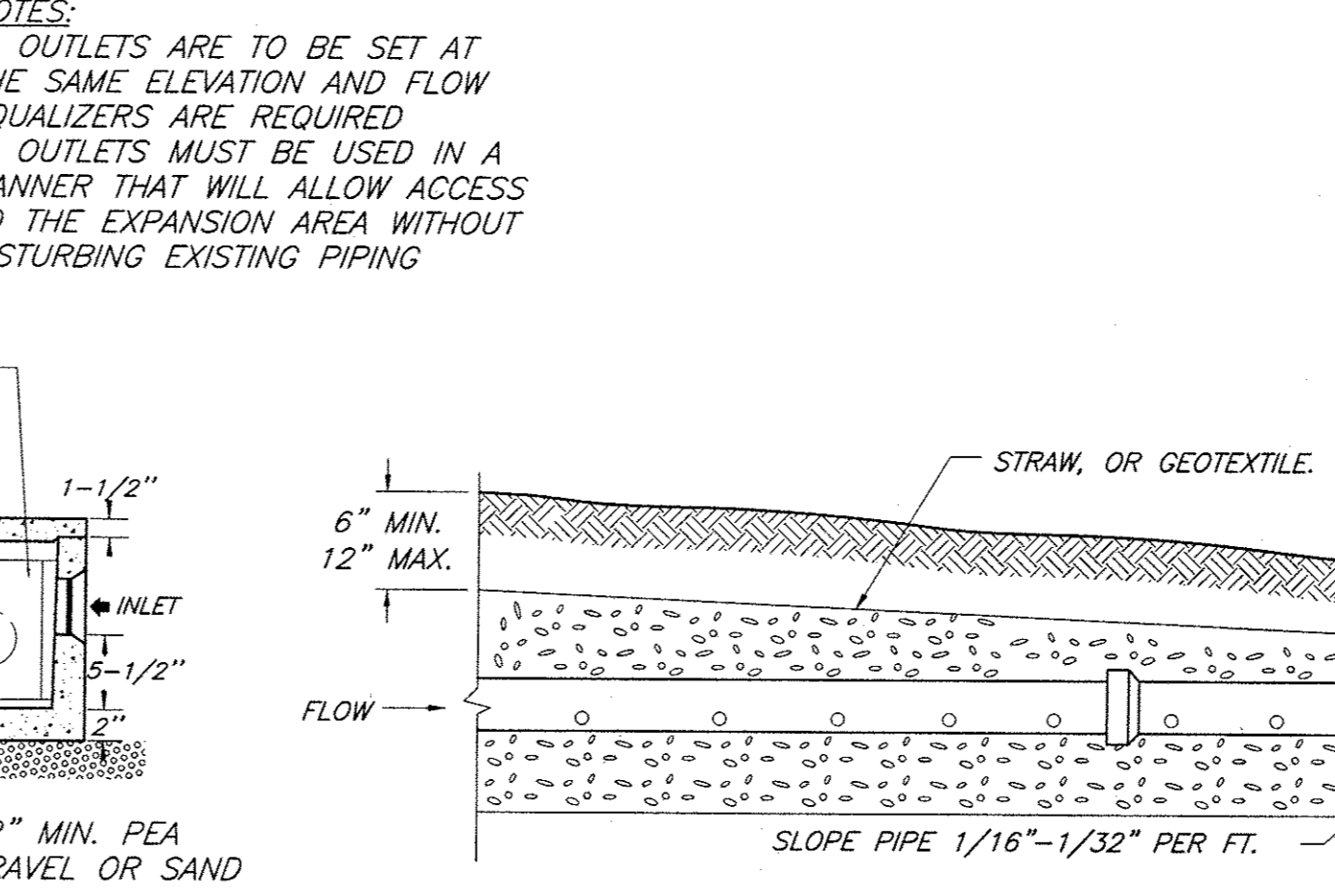
- OUTLET TO BE SCREENED TO PREVENT ANIMAL ENTRY.
- MINIMUM PIPE SLOPE TO BE 0.4%.
- PERFORATED PIPE TO BE INSTALLED UP TO END OF SDS FIELD. SOLID PIPE TO BE USED TO EXTEND TO DAYLIGHT.



WOODARD'S PRECAST DISTRIBUTION BOX MODEL DB-12 / 12 OUTLETS W/BAFFLE
 Concrete Min. Strength: 4,000 psi at 28 days
 Reinforcement: Fiber, 10ga. wire mesh
 Air Entrainment: 5%
 Pipe Connection: Polylok Seal (patented)
 Load Rating: 300 psf
 Weight = 325 lbs

12-HOLE DISTRIBUTION BOX
 N.T.S.

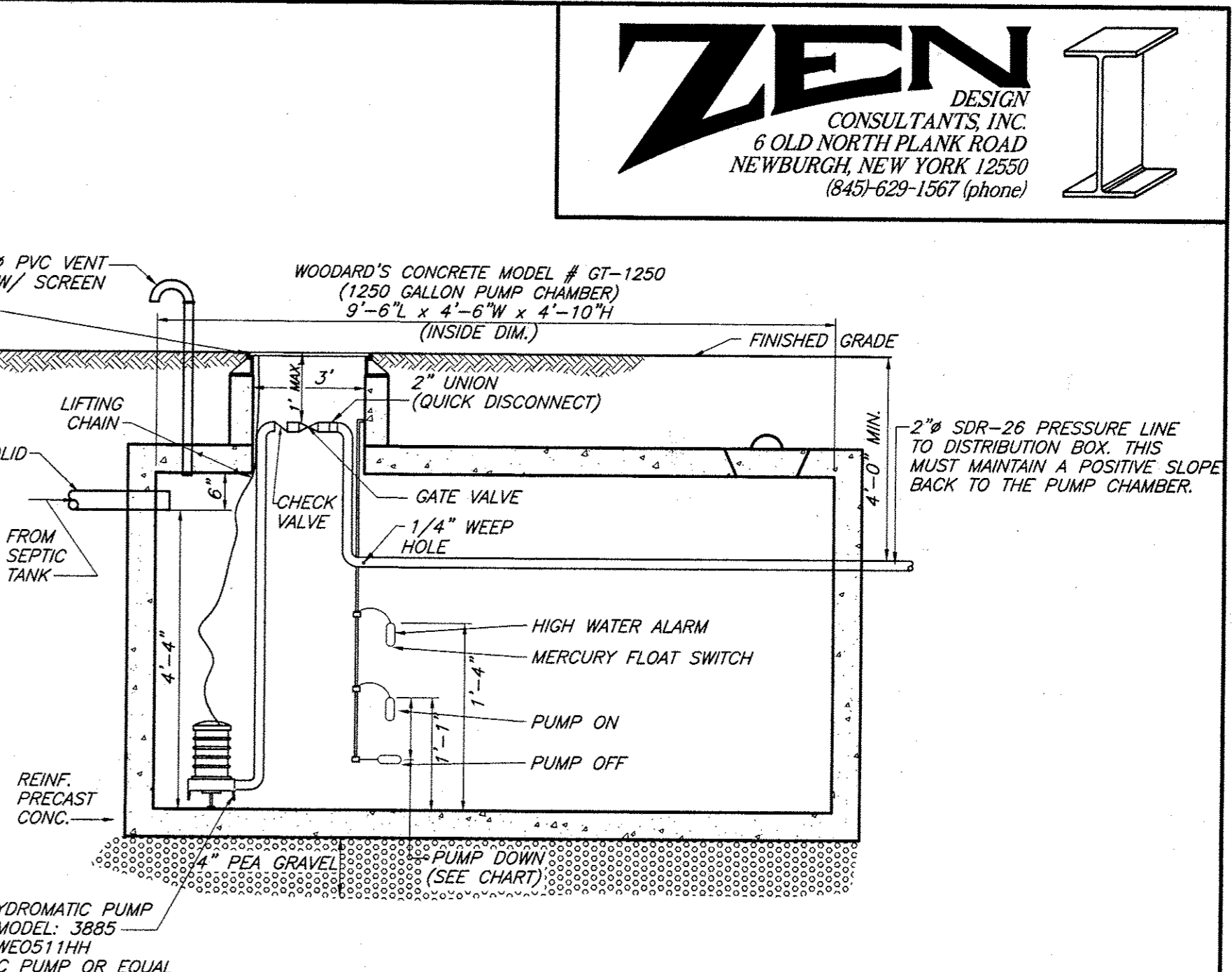
*NOTE: SOME LOTS MAY REQUIRE A DB-20 SEE DESIGN CHART FOR TOTAL NUMBER OF LATERALS REQUIRED.



TRENCH PROFILE
 N.T.S.

- DO NOT INSTALL TRENCHES IN WET SOIL
- RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.
- ENDS OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
- TRENCHES TO BE 6" MINIMUM ON CENTER.
- 4" MINIMUM OF UNDISTURBED SOIL TO BE MAINTAIN BETWEEN TRENCHES.
- THE BOTTOM OF THE TRENCH TO BE SET LEVEL.
- LATERALS FOR DOSED SYSTEMS ARE TO BE SET NEARLY LEVEL.
- LATERALS FOR GRAVITY-FED SYSTEMS SHOULD BE SLOPED 1/16"-1/32" PER FT.

ABSORPTION TRENCH DETAIL
 N.T.S.



WOODARD'S GT 1250 PUMP CHAMBER (LOTS #2, 4, 5, 6, 10 & 12 ONLY)
 N.T.S.

PUMP CHAMBER NOTES:
 1. CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
 2. ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
 3. THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
 4. A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
 5. QUANTITY DOSED IS BASED UPON 75% OF 4" PIPE AND ASSUMED 50' 2" FORCE MAIN
 6. QUANTITY STORED IS BASED UPON (2) DAYS FLOW.
 7. AS-BUILT MUST SHOW FORCE MAIN LOCATION.
 8. NO ELECTRICAL CONNECTION OR SPLICES TO BE INSIDE OF TANK

LOT #2 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 5"
 STORAGE QTY (GALS.): 948
 MAX. ELEV. DIFFERENTIAL: 20'

LOT #4 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 5"
 STORAGE QTY (GALS.): 133
 STORAGE QTY (GALS.): 948
 MAX. ELEV. DIFFERENTIAL: 20'

LOT #5 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 5.5"
 STORAGE QTY (GALS.): 3-0"
 DOSE QTY (GALS.): 147
 STORAGE QTY (GALS.): 948
 MAX. ELEV. DIFFERENTIAL: 20'

LOT #6 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 7"
 STORAGE DEPTH: 3'-0"
 DOSE QTY (GALS.): 187
 STORAGE QTY (GALS.): 948
 MAX. ELEV. DIFFERENTIAL: 20'

LOT #10 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 6"
 STORAGE DEPTH: 3'-0"
 DOSE QTY (GALS.): 187
 STORAGE QTY (GALS.): 985
 MAX. ELEV. DIFFERENTIAL: 20'

LOT #12 PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 10"
 STORAGE DEPTH: 3'-0"
 DOSE QTY (GALS.): 267
 STORAGE QTY (GALS.): 985
 MAX. ELEV. DIFFERENTIAL: 20'

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

- REVISED 08/17/16 PER PROPERTY CHANGES
- REVISED 06/23/16 PER PROPERTY CHANGES
- REVISED 11/19/08 PER O.C.H.D. COMMENTS
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- REVISED 9/06/08 PER O.C.H.D. WITNESSED FIELD TESTING.
- REVISED 12/10/07 PER O.C.H.D. COMMENTS.
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- REVISED 02/14/06 PER PLANNING BOARD COMMENTS.
- REVISED 09/01/05 PER TOWN COMMENTS.
- REVISED 05/11/05 PER TOWN BOARD COMMENTS.

ENGINEER
 WILLIAM J. MOREAU, P.E.

LANDS OF TARBEN INC.
 16 LOT SUBDIVISION/LOT LINE CHANGE
MISC DETAILS - 1
 SBL: 6-1-(19,21,91) & 17-2-110
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 9/14/04
 SCALE: NTS
 JOB NUMBER: 23078-TAR
 SHEET NUMBER: 7 OF 11

CLEARING NOTES:

1. THE CLEARING LIMIT SHALL BE SURVEYED AND EROSION CONTROL FENCING AND TREE FENCING SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION.
2. ADDITIONAL LANDSCAPE NOTES ARE LOCATED ON THE LANDSCAPE PLAN PAGES.

CATCH BASIN SCHEDULE

CATCH BASIN #	RIM ELEV.	INV. IN	FROM	INV. IN	FROM	INV. OUT	OUT TO	PIPE LENGTH, SIZE & SLOPE
CB7	504.00	500.00	CB5	-----	-----	500.00	CB8	22 LF-30" @ 2.0%
CB8	504.00	499.56	CB7	-----	-----	499.56	CB10	230 LF-24" @ 7.5%
CB9	486.25	-----	-----	-----	-----	482.69	CB10	22 LF-15" @ 2.0%
CB10	486.25	482.25	CB8	482.25	CB9	473.34	ES(PD1)	97 LF-24" @ 1.0%
		473.34	CB12	-----	-----	-----	-----	-----
ES	-----	-----	-----	-----	-----	472.37	-----	-----
CB11	478.13	-----	-----	-----	-----	474.57	CB12	22 LF-18" @ 2.0%
CB12	478.13	474.13	CB11	-----	-----	474.13	CB10	158 LF-18" @ 0.5%
CB13	469.44	-----	-----	-----	-----	466.44	CB14	22 LF-18" @ 2.0%
CB14	469.44	466.00	CB13	-----	-----	466.00	CB16	246 LF-18" @ 3.1%
CB15	461.25	-----	-----	-----	-----	458.81	CB16	22 LF-18" @ 2.0%
CB16	461.25	458.37	CB14	458.37	CB15	457.77	ES(PD2)	30 LF-24" @ 2.0%
ES	-----	-----	-----	-----	-----	457.77	-----	-----

LEGEND

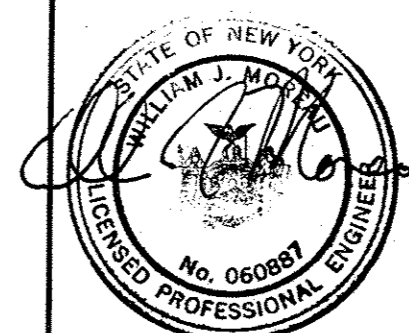
- PROPOSED CONTOURS
- CONTOURS
- PROPOSED DRAINAGE SWALE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- FEDERAL WETLANDS
- PROPOSED WELL
- EXISTING WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROPOSED PUMP CHAMBER
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET
- PROP. CURB BOX LOCATION

14. REVISED 08/17/16 PER PROPERTY CHANGES
13. REVISED 06/23/16 PER PROPERTY CHANGES
12. REVISED 11/15/08 PER O.C.H.D. COMMENTS
11. REVISED 09/29/08 PER O.C.H.D. COMMENTS
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3. REVISED 02/14/06 PER PLANNING BOARD COMMENTS
2. REVISED 09/01/05 PER TOWN COMMENTS
1. REVISED 05/11/05 PER TOWN BOARD COMMENTS

NOT FOR O.C.H.D. REVIEW OR APPROVAL

PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-11)

ENGINEER
 WILLIAM J. MOREAU, P.E.



LANDS OF TARBEN INC.
 16 LOT SUBDIVISION/LOT LINE CHANGE
 GRADING & DRAINAGE PLAN- 1
 SBL: 6-1-(19,21,91) & 17-2-110
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 3/1/04 SCALE: 1" = 60' JOB NUMBER: 23078-TAR SHEET NUMBER: 8 of 11

CLEARING NOTES:

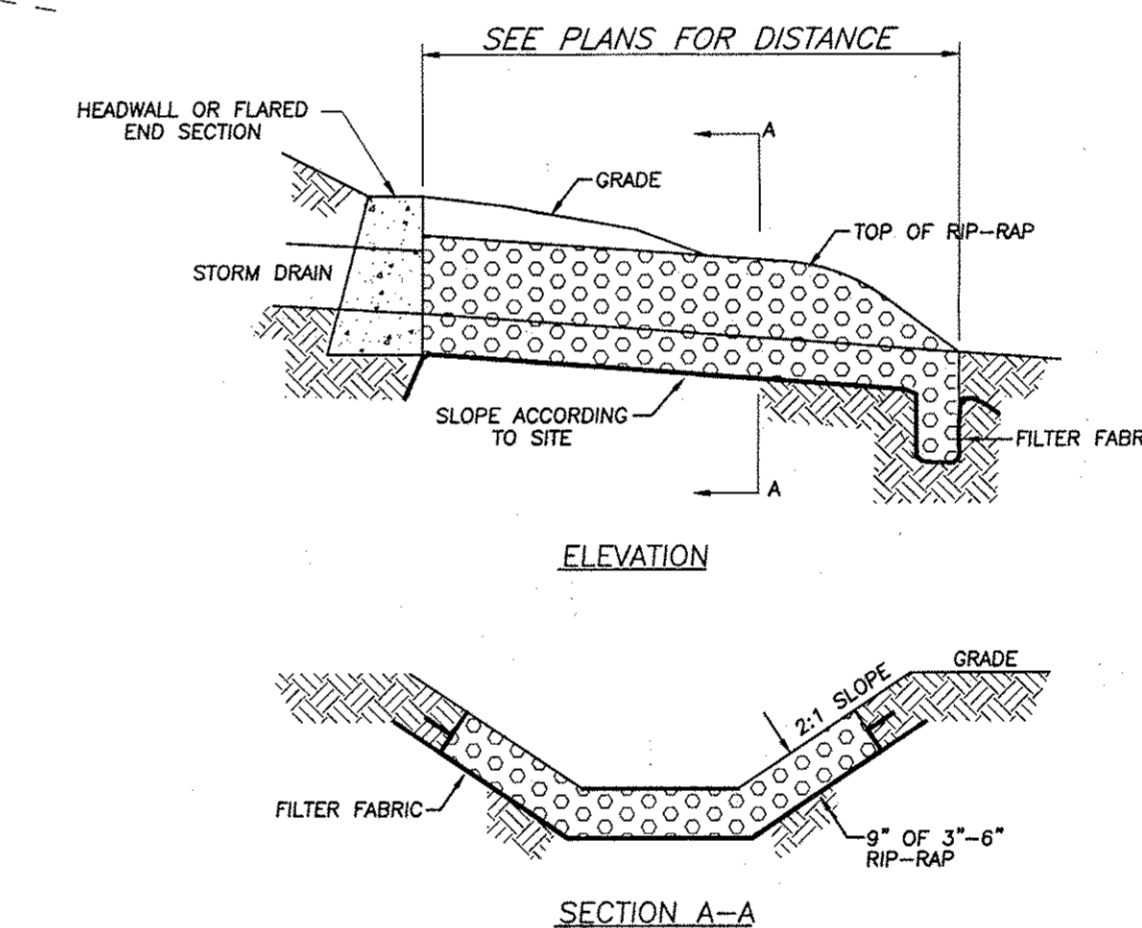
1. THE CLEARING LIMIT SHALL BE SURVEYED AND EROSION CONTROL FENCING AND TREE FENCING SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION.
2. ADDITIONAL LANDSCAPE NOTES ARE LOCATED ON THE LANDSCAPE PLAN PAGES.

CATCH BASIN SCHEDULE

CATCH BASIN #	RIM ELEV.	INV. IN	FROM	INV. IN	FROM	INV. OUT	OUT TO	PIPE LENGTH, SIZE & SLOPE
CB1	536.00	---	---	---	---	532.00	CB2	22 LF-15" @ 2.0%
CB2	536.00	531.56	CB1	---	---	531.56	CB4	235 LF-18" @ 6.7%
CB3	519.75	515.37	CB4	---	---	515.37	CB5	338 LF-24" @ 1.0%
CB4	519.75	515.81	CB2	---	---	515.81	CB3	22' LF-18" @ 2.0%
CB5	515.00	511.99	CB3	511.99	CB6	511.99	CB7	228 LF-24" @ 5.3%
CB6	515.00	---	---	---	---	512.43	CB5	22 LF-15" @ 2.0%

LEGEND

- PROPOSED CONTOURS
- CONTOURS
- PROPOSED DRAINAGE SWALE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- FEDERAL WETLANDS
- PROPOSED WELL
- EXISTING WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROPOSED PUMP CHAMBER
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET
- PROP. CURB BOX LOCATION

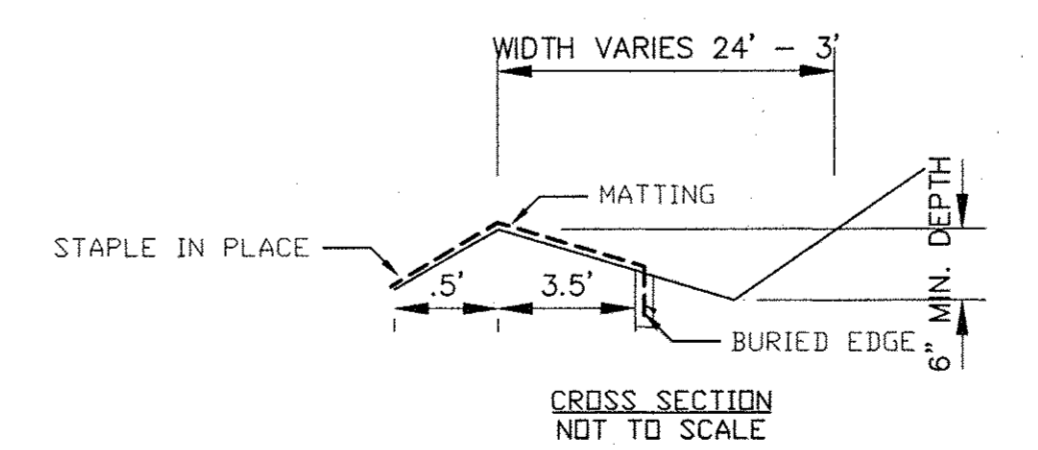


RIP RAP OUTLET PROTECTION

N.T.S.

NOT FOR O.C.H.D. REVIEW OR APPROVAL

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LEVEL SPREADER DETAIL

1. THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE LIP AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOD AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
2. ENSURE THAT THE LIP IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
3. THE LIP SHALL BE CONSTRUCTED ON UNDISTURBED SOIL NOT FILL.
4. A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
5. THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
6. SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

ENGINEER
 WILLIAM J. MORBAU, P.E.

LANDS OF TARBEN INC.
 16 LOT SUBDIVISION/LOT LINE CHANGE
GRADING & DRAINAGE PLAN-2
 SBL: 6-1-(19,21,91) & 17-2-110
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
3/1/04	1" = 60'	23078-TAR	9 OF 11

LEGEND

- PROPOSED CONTOURS
- CONTOURS
- PROPOSED DRAINAGE SWALE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- FEDERAL WETLANDS
- FW+ PROPOSED WELL
- EW+ EXISTING WELL
- ▭ PROPOSED HOUSE
- PROPOSED D-BOX
- ▣ PROPOSED SEPTIC TANK
- ▣ PROPOSED PUMP CHAMBER
- ⊙ PROP. ROOF DRAIN OUTLET
- ⊙ PROP. FOOTING DRAIN OUTLET
- ⊙ PROP. CURB BOX LOCATION

LANDSCAPING CHART

QTY (+) SM. PND.	QTY (+) L.G. PND.	COMMON NAME	SPACING
BASE OF POND (BARE ROOT PLANTS)			
6	102	DUCKWEED	2'-6"
6	102	BUSHY BEARDGRASS	2'-6"
6	102	ARROW ARUM	2'-6"
6	102	SWEET FLAG	2'-6"
SIDES OF POND			
10	31	SPECKLED ALDER	10'-0"
10	31	RED CHOKY BERRY	10'-0"
10	31	LARCH TAMARACK	10'-0"
10	31	BLACK WILLOW	10'-0"
STREET TREES (MIXED)			
47		SUGAR MAPLE	40'-0"
48		RED OAK	40'-0"

- ALL PLANTS MUST BE MULCHED WITH 3" MIN. MULCH.
- ALL PLANTS TO BE INSTALLED AS PER THE CURRENT NURSERY STANDARDS.

LANDSCAPING NOTES:

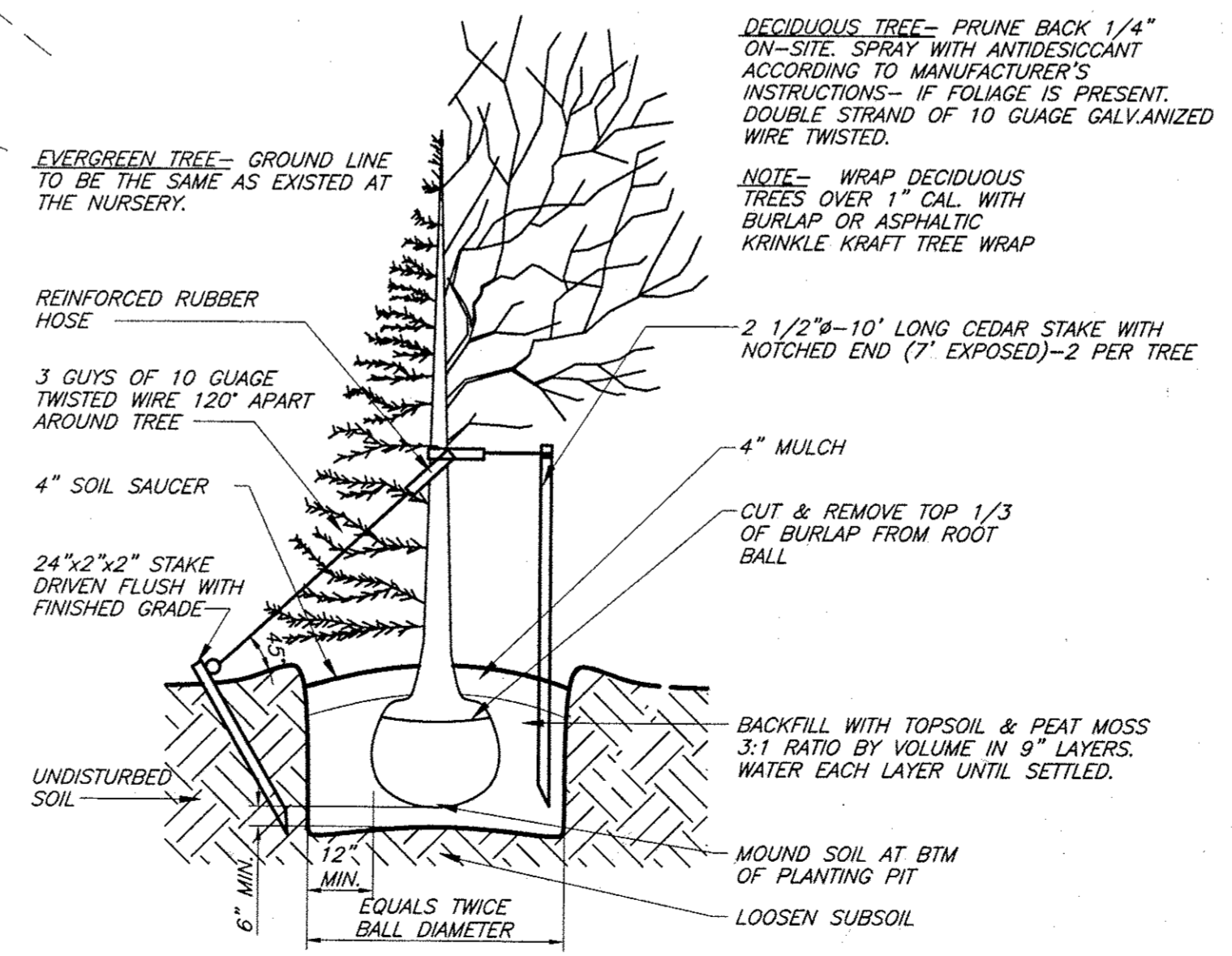
- CARE SHOULD BE TAKEN TO PRESERVE TREES OF 15"Ø OR LARGER, WHERE POSSIBLE.
- ALL PLANTS SHALL CONFORM TO GUIDELINES SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
- ALL DISTURBED AREAS SHOULD BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL. EXISTING TOPSOIL SHOULD BE STRIPPED AND STOCKPILED TO BE USED FOR FINISH GRADING.
- ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS.
- PLANTS THAT ARE MISSING OR ARE MORE THAN 25% DEAD SHOULD BE REPLACED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS ON THESE PLANS. THIS ALSO INCLUDES PLANTS THAT APPEAR UNHEALTHY OR HAVE LOST THEIR SHAPE. ANY TREE THAT LOOSES ITS MAIN LEADER SHALL BE REPLACED.
- PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR A PERIOD OF TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPOSTAND MUST BE REPLACED WITHIN TWO MONTHS OF THE RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
- THE CLEARING LIMIT SHALL BE SURVEYED AND EROSION CONTROL FENCING AND TREE FENCING SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION.

NUMBER	SPECIES	DIA.	CONDITION
2	RED OAK	24"	GOOD, SOME DEAD WOOD
3	RED OAK	18"	SLIGHT LEAN, GOOD
5	RED OAK	20"	GOOD, SOME DEAD WOOD
6	RED OAK	22"	GOOD TREE
7	RED OAK	26"	MULTI-TRUNK, GOOD
9	RED OAK	28"	GOOD TREE
10	RED OAK	18"	SOME ROT IN TRUNK
11	RED OAK	22"	GOOD TREE
12	WHITE OAK	20"	HOLLOW, LEAN, POOR
13	BURR OAK	22"	GOOD TREE
14	RED OAK	18"	NICE TREE
15	RED OAK	24"	BUTT ROT, LEAN
16	BEECH	16"	MULTI-STEM
17	RED OAK	22"	GOOD TREE
18	HICKORY	18"	GOOD TREE
19	WHITE OAK	18"	NICE YOUNG TREE
20	RED OAK	18"	DEADWOOD
22	BEECH	18"	WOUND AT BASE
23	SUGAR MAPLE	20"	LARGE SPLIT IN TRUNK
24	SUGAR MAPLE	16"	NICE YOUNG TREE
25	HICKORY	18"	GOOD TREE
26	RED OAK	16"	GOOD TREE
27	SUGAR MAPLE	18"	GOOD TREE
30	RED OAK	18"	SOME DEADWOOD
31	RED OAK	18"	GOOD, SOME DEADWOOD
33	BEECH	20"	SPECIMEN TREE
34	BEECH	20"	NICE TREE, LEAN
35	RED OAK	18"	GOOD, SOME DEADWOOD
36	BURR OAK	18"	GOOD TREE
37	RED OAK	20"	FAIR, SOME CRACKS
39	RED OAK	18"	GOOD, LEAN
40	BLACK BIRCH	18"	GOOD TREE
41	RED OAK	18"	GOOD TREE
42	WHITE PINE	24"	SPECIMEN TREE
43	ROCK OAK	18"	LEAN, OK
44	BLACK BIRCH	18"	NICE TREE
45	RED OAK	18"	GOOD TREE
46	RED OAK	21"	MULTI-STEM, GOOD
47	RED OAK	24"	LEAN, OK
48	RED OAK	22"	SOME DEADWOOD
49	SUGAR MAPLE	16"	NICE TREE
50	SUGAR MAPLE	16"	NICE TREE
51	WHITE OAK	16"	GOOD TREE
52	WHITE OAK	18"	GOOD TREE
53	WHITE OAK	20"	SPECIMEN TREE
54	RED OAK	18"	GOOD TREE
55	TULIP	18"	TRIPLE TRUNK
56	HEMLOCK	16"	GOOD TREE
57	HEMLOCK	18"	GOOD TREE
58	BLACK BIRCH	18"	NICE TREE
59	SYCAMORE	18"	GOOD TREE
60	SYCAMORE	22"	SPECIMEN TREE
61	SYCAMORE	20"	SPECIMEN TREE
62	RED OAK	16"	ONE-SIDED
63	WHITE OAK	18"	GOOD TREE
64	RED OAK	18"	SLIGHT LEAN
65	TULIP	20"	GOOD TREE
66	TULIP	16"	GOOD TREE
67	SYCAMORE	18"	GOOD TREE
68	TULIP	18"	SOME ROT
69	HICKORY	16"	GOOD TREE
70	RED OAK	26"	MULTI-STEM, GOOD
71	RED OAK	16"	GOOD TREE
72	RED OAK	16"	GOOD TREE
73	BLACK BIRCH	18"	NICE TREE
74	RED OAK	18"	NICE TREE
75	BEECH	18"	SPECIMEN TREE
76	RED OAK	18"	MULTI-STEM, OK
77	TULIP	20"	GOOD TREE
78	RED OAK	16"	GOOD TREE
79	BEECH	18"	SPECIMEN TREE
80	RED OAK	18"	SMALL SCAR ON TRUNK
81	RED OAK	16"	SOME DEADWOOD
83	RED OAK	16"	GOOD TREE
84	RED OAK	20"	GOOD TREE
85	RED OAK	21"	SPECIMEN TREE
86	RED OAK	18"	SOME DEADWOOD

TREE LOCATION NOTES:

- TREE LOCATIONS AND INVENTORY BY HUDSON VALLEY HORTICULTURAL SERVICES INC., 19 WINDWOOD DRIVE, NEWBURGH, NY 12550 ON 12/17/2005.
- MISSING NUMBERS IN TREE LIST REFER TO CONTROL POINTS THAT WERE USED FOR LOCATION PURPOSES.

- REVISED 08/17/16 PER PROPERTY CHANGES
- REVISED 08/23/16 PER PROPERTY CHANGES
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- REVISED 09/29/08 PER O.C.H.D. COMMENTS
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- REVISED 02/14/06 PER PLANNING BOARD COMMENTS.
- REVISED 05/01/05 PER TOWN COMMENTS.
- REVISED 05/11/05 PER TOWN COMMENTS.



STREET TREE PLANTING DETAIL

NO SCALE
NOTE: TREES TO BE SPACED ALONG ROADSIDE AT NO MORE THAN 40' O.C., TREES TO HAVE A MIN. CALIPER OF 2". TREE SPECIES TO BE A COMBINATION OF THE FOLLOWING:
1. SUGAR MAPLE
2. RED OAK

NOT FOR O.C.H.D. REVIEW OR APPROVAL

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ENGINEER
WILLIAM J. MORRAU, P.E.



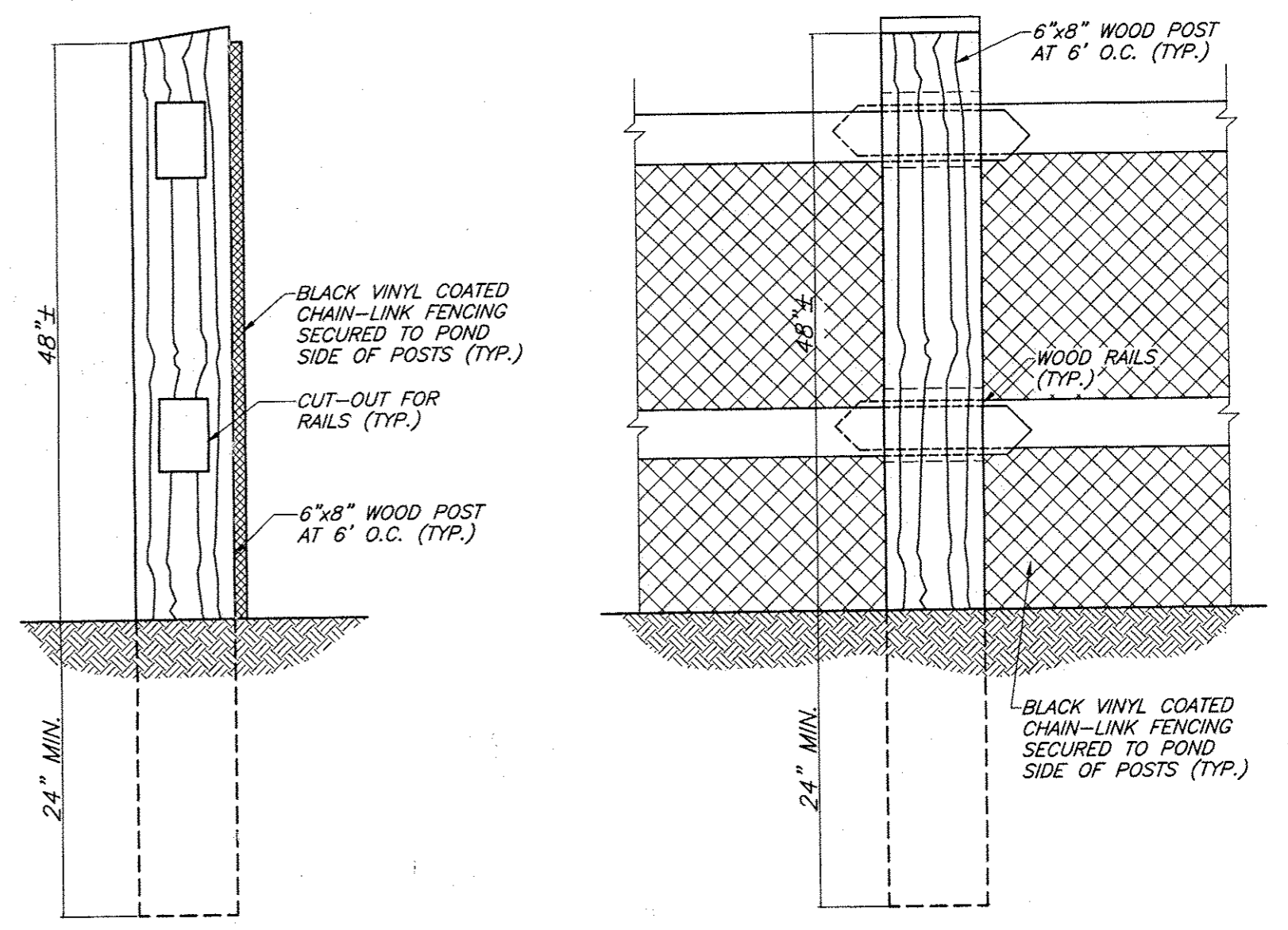
LANDS OF TARBEN INC.
16 LOT SUBDIVISION/LOT LINE CHANGE
LANDSCAPING PLAN- 1
SBL: 6-1-(19,21,91) & 17-2-110
TOWN OF NEWBURGH, ORANGE COUNTY, NY

PERFORMANCE SECURITY NOTE:

A. 1. Pursuant to 185-57 (L), together with 163-9 (B) [incorporated therein by reference], as well as 185-50 (D), this approval shall be subject to the applicant posting, with the Town Clerk, a performance security, in an amount to be fixed by the town board upon recommendation of the town's landscape consultant in order to secure timely completion and appropriate maintenance of the landscaping improvements depicted on the plans, satisfactory to the Town Board, Town Engineer and Town Attorney as to form, sufficiency, manner of execution and surety. The performance security shall recite that all improvements secured thereby shall be completed within three year(s) of this approval and maintained for a period of two years thereafter. The Town's Landscape Architect, is hereby authorized to periodically inspect the site in order to insure compliance with this condition. A separate inspection fee in an amount in accordance with Section 104-2 (G)(6) shall be submitted and deposited in an escrow account to cover the cost of the Town's Landscape Architect services. The applicant shall be required to pay the required landscaping security to the town before any building permit for any building or structure within the subdivided lands is issued. The amount of the landscape security may be adjusted (upon recommendation of the Town's landscape consultant) if, due to changes in the market pricing of the required landscape materials, warrants. The applicant shall be required to pay the required landscaping inspection fee in the amount of \$1,000 to the town before the plans are signed.



LEGEND	
	PROPOSED CONTOURS
	CONTOURS
	PROPOSED DRAINAGE SWALE
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	BUILDING SETBACKS
	FEDERAL WETLANDS
	PROPOSED WELL
	EXISTING WELL
	PROPOSED HOUSE
	PROPOSED D-BOX
	PROPOSED SEPTIC TANK
	PROPOSED PUMP CHAMBER
	PROP. ROOF DRAIN OUTLET
	PROP. FOOTING DRAIN OUTLET
	PROP. CURB BOX LOCATION



WOOD SPLIT-RAIL FENCE DETAIL
N.T.S.

NOT FOR O.C.H.D. REVIEW OR APPROVAL.

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- 1. REVISED 05/11/05 PER TOWN BOARD COMMENTS

ENGINEER
WILLIAM J. MOREAU, P.E.

LANDS OF TARBEN, INC.
16 LOT SUBDIVISION/LOT LINE CHANGE
LANDSCAPING PLAN-2
SBL: 6-1-(19,21,91) & 17-2-110
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
3/1/04	1" = 60'	23078-TAR	11 OF 11