



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: STARBUCKS COFFEE COMPANY – NEWBURGH
RETAIL DEVELOPERS LLC -AMENDED SITE PLAN
PROJECT NO.: 2024-08
PROJECT LOCATION: SECTION 97, BLOCK 2, LOT 34/1282 UNION AVE
REVIEW DATE: 11 APRIL 2024
MEETING DATE: 18 APRIL 2024
PROJECT REPRESENTATIVE: KIMLEY HORN/ DAVE LOFRISCO

1. The project involves a 700 square foot expansion with site improvements including grading, landscaping, striping, directional signage, and a new drive through order menu location.
2. The proxy appears to authorize a Nicole Davis to represent the Planning Board meeting while other forms in the application are signed by a David LoFrisco.
3. The Planning Board should determine whether an overall site parking calculation is required.
4. Amended site plan requires Orange County Department of Planning referral.
5. Adjoiner’s Notices must be circulated.
6. The applicant’s representative requested to address whether the facility will attempt to remain open during the improvements.
7. Town of Newburgh requires double striped parking spaces per attached detail.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

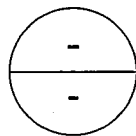
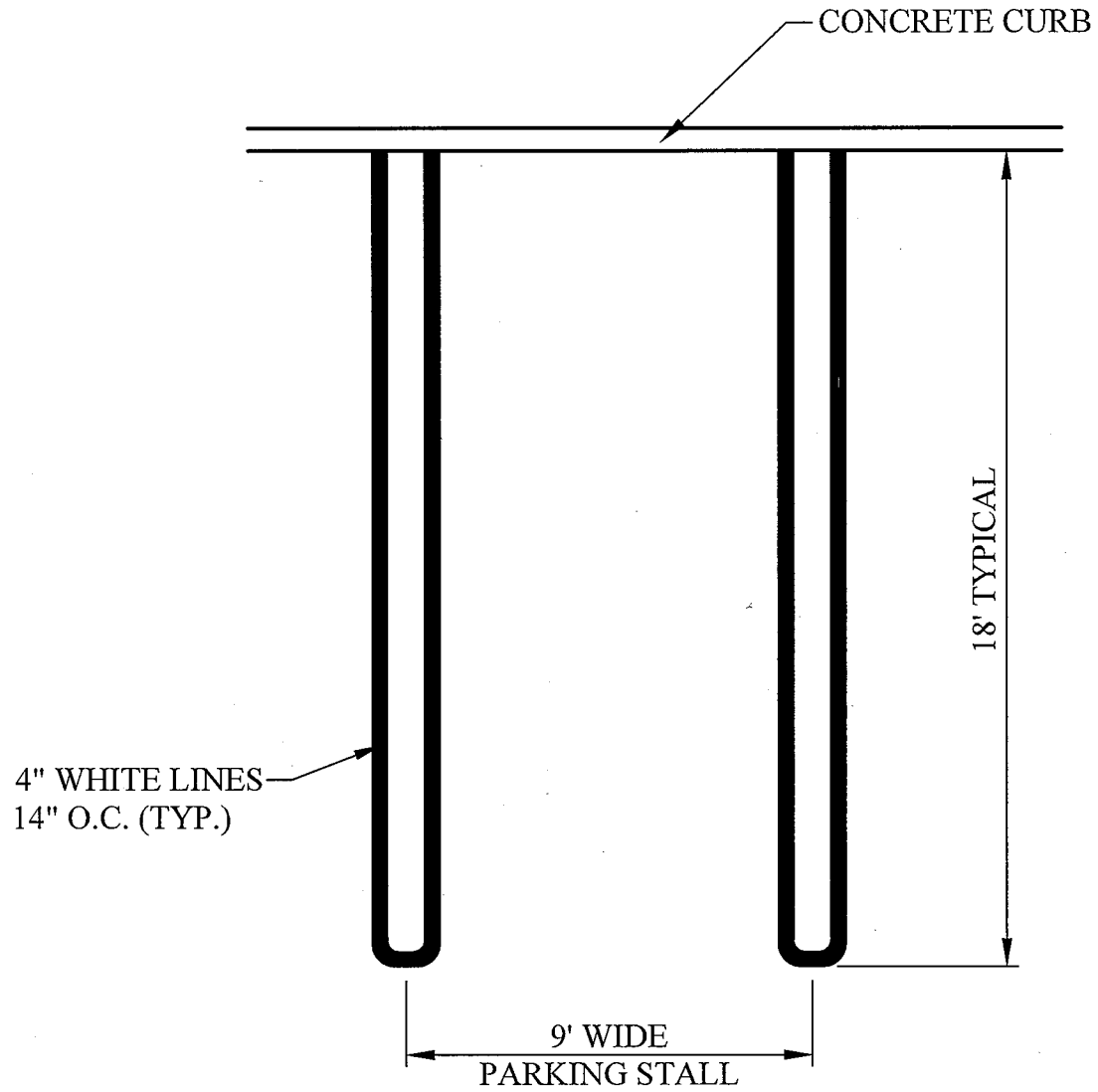
Patrick J. Hines
Principal
PJH/lrm

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



TYPICAL PARKING SPACE DETAIL

SCALE: N.T.S.

February 26, 2024

Re: Starbucks Drive-Thru Modifications
1282 Union Avenue, Newburgh, NY

Kimley-Horn has been retained by the tenant, Starbucks Coffee Company, to provide civil engineering services at 1282 Union Avenue, Newburgh, NY on behalf of property owner Newburgh Retail Developers, LLC.

The scope of work for this project proposes site and building modifications to the existing Starbucks drive through commercial building. Site improvement include minor grading, landscaping, striping, directional signage, drive-thru order and menu equipment relocation, and an approximately 700 sf building expansion. The building expansion is proposed to add more employee space for operations and order preparation. There is a proposed reduction of 12 stalls with a proposed addition of 9 drive through stacking spaces.

Today, well over 50% of Starbucks transaction happen through the drive-thru window or customer counter pick up. Although customers do sit in Starbucks cafés, the existing drive-thru does not provide sufficient stacking capacity for the existing drive-thru demand. During peak hours, the existing drive-thru stack often overflows into the adjacent drive lanes, causing overall site congestion issues and limiting or prohibiting access to surrounding parking spaces. The proposed drive through layout is intended to better manage the existing peak customer demand at this location and is not anticipated to generate additional traffic volume.

This package includes site plan drawings for the exterior modifications. Building modifications are to be filed under separate application.

If you have any questions, please call me at (332) 213-1083.

Sincerely,

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.



David LoFrisco, P.E.

02-26-2024

Date

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: 4/01/2024 **TOWN FILE NO:** 24-08
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Starbucks Coffee Co

2. Owner of Lands to be reviewed:

Name Newburgh Retail Developers, LLC
Address 1224 Mill St., Building D
East Berlin, CT 06023
Phone 860-561-0121

3. Applicant Information (If different than owner):

Name Starbucks Coffee Co
Address PO 34442 STAX 2
Seattle, WA 98124
Representative Dave LoFrisco
Phone 332-213-1083
Fax _____
Email Dave.LoFrisco@kimley-horn.com

4. Subdivision/Site Plan prepared by:

Name Kimley Horn
Address 60 E 422nd St., Ste. 1730
New York, NY 10165
Phone/Fax 332-213-1083

5. Location of lands to be reviewed:

1282 Union Ave., Newburgh, NY 12550

6. Zone IB **Fire District** Winona Lake Fire District
Acreage 10.2 **School District** Newburgh City School District

7. Tax Map: Section 97 **Block** 2 **Lot** 34

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1

Lot line change N/a

Site plan review Drive-Thru equipment installation, striping, landscaping

Clearing and grading Grading, Landscaping, Striping in drive-thru lane

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) No restrictions on property at this time

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature David LoFrisco Title Authorized Agent

Date: 3/14/2024

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Starbucks Coffee Co

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. **Surveyor,s Certification** Please see provided survey PDF
12. **Surveyor’s seal and signature** Please see provided survey PDF
13. **Name of adjoining owners**
14. **Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements**
15. **Flood plain boundaries**
16. **Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989**
17. **Metes and bounds of all lots** Please see provided survey PDF
18. **Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street**
19. **Show existing or proposed easements (note restrictions)**
20. **Right-of-way width and Rights of Access and Utility Placement**
21. **Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)**
22. **Lot area (in sq. ft. for each lot less than 2 acres)**
23. **Number of lots including residual lot**
24. **Show any existing waterways**
25. **A note stating a road maintenance agreement is to be filed in the County Clerk’s Office where applicable**
26. **Applicable note pertaining to owners review and concurrence with plat together with owner’s signature** No adjustments to property lot lines are proposed
27. **Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.**
28. **Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided**
29. **Show topographical data with 2 or 5 ft. contours on initial submission**

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. N/A Estimated or known cubic yards of material to be excavated and removed from the site Material removal is anticipated to be minimal for this project scope
34. N/A Estimated or known cubic yards of fill required Fill volume anticipated to be minimal for this project scope
35. The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
No site preparation falls within the 100ft buffer strip of wetlands. The site is not located within or adjacent to a state listed Critical Environmental Area.
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
No site preparation falls within or near the existing water course on the eastern portion of the site. The site is not located within a 100 year floodplain.
38. _____ List of property owners within 500 feet of all parcels to be developed (see attached statement). To be provided by Town Assessor Office

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: David Lusio
Licensed Professional
Date: 01-10-2024

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: Starbucks Coffee Co

Name of owner on premises: Newburgh Retail Developers, LLC

Address of owner: 1224 Mill St., Building D, East Berlin, CT 06023

Telephone number of owner: 860-561-0121

Telephone number of applicant: 332-213-1083

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Engineer

Location of land on which proposed work will be done: 1282 Union Ave., Newburgh, NY 12550

Section: 97 Block: 2 Lot: 34 Sub. Div.: _____

Zoning District of Property: IB Size of Lot: 10.2 ac

Area of lot to be cleared or graded: 0.18 ac

Proposed completion of date: TBD

Name of contractor/agent, if different than owner: TBD

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ Date: _____

Signature of applicant (if different than owner): David LoFrisco

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

David LoFrisco
APPLICANT'S NAME (printed)

David LoFrisco
APPLICANTS SIGNATURE

3/14/2024
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Newburgh Retail Developers, LLC, DEPOSES AND SAYS THAT HE/SHE
RESIDES AT 1224 Mill Street, Bldg D, Suite 103, East Berlin, CT

IN THE COUNTY OF _____

AND STATE OF CONNECTICUT

AND THAT HE/SHE IS THE OWNER IN FEE OF Starbucks Coffee Co
1282 Union Ave., Newburgh, NY 12550

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Nicole Davis IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 2/15/23

NEWBURGH RETAIL DEVELOPERS, LLC
175 Property Manager

OWNERS SIGNATURE
KELLY VOSS

Dave LoFrisco

OWNERS NAME (printed)

Luke Boswell

David Shipe


WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Tara Dignan
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

3/14/2024

DATED

David LoFrisco

APPLICANT'S NAME (printed)

David LoFrisco

APPLICANT'S SIGNATURE

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Starbucks Newburgh - Drive-Thru and Menu Relocation		
Project Location (describe, and attach a general location map): 1282 Union Avenue, Newburgh, NY; Tax Parcel 97-2-34		
Brief Description of Proposed Action (include purpose or need): The scope of work for this project proposes the retrofit of an existing drive-thru commercial building and associated site improvements including grading, landscaping, striping, directional signage, and the installation of a drive-thru pre-menu board, 5-panel menu board and digital order-point with overhead canopy. The existing +/- 1,820 sf building will be expanded by +/- 638 sf to include additional seating and the outdoor area will be modified to include an outdoor patio with seating. The proposed action is part of a larger retail parcel (approximately 10.2 ac), which includes several food establishments and retail spaces.		
Name of Applicant/Sponsor: Dave LoFrisco (Kimley-Horn), Authorized Agent of Starbucks Coffee Company	Telephone: 332-213-1083	
	E-Mail: Dave.LoFrisco@kimley-horn.com	
Address: Kimley Horn, 60 E. 42nd Street, Suite 1730		
City/PO: New York	State: NY	Zip Code: 10165
Project Contact (if not same as sponsor; give name and title/role): same	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Newburgh Retail Developers, LLC	Telephone: 860-561-0121	
	E-Mail:	
Address: 1224 Mill Street, Building D		
City/PO: East Berlin	State: CT	Zip Code: 06023

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board: Site Plan App., SEQR	
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Department: Building Permit	
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

Hudson Valley Greenway Compact Community, Quassaick Creek Watershed Management Plan

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

Orange County Open Space Plan, Orange County Agricultural and Farmland Protection Plan

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Interchange Business (IB) _____
- b. Is the use permitted or allowed by a special or conditional use permit? Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? Newburgh City School District
- b. What police or other public protection forces serve the project site?
Newburgh Police Department
- c. Which fire protection and emergency medical services serve the project site?
Winona Lake Fire District, Newburgh EMS
- d. What parks serve the project site?
Algonquin Park, Cronomer Hill Park, Crest View Lake, Stewart State Forest, Temple Hill Park, San Giacomo Park, Delano-Hitch Recreation Park

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? commercial
- b. a. Total acreage of the site of the proposed action? _____ 10.2 acres
b. Total acreage to be physically disturbed? _____ 0.18 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 10.2 acres
- c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 120 Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ 6-12 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 18 height; 66' width; and 36' length

iii. Approximate extent of building space to be heated or cooled: 2,460 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes: _____

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? (no change from existing) Yes No

If Yes: _____

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes: _____

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes: _____

- Describe extensions or capacity expansions proposed to serve this project: _____

- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes: _____

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? (no change from existing) Yes No

If Yes: _____

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes: _____

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing 26 Proposed 14 Net increase/decrease 12

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

(no change from existing; additional HVAC demand will be met with natural gas)

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>8 AM - 8 PM</u> • Saturday: <u>8 AM - 8 PM</u> • Sunday: <u>10 AM - 8 PM</u> • Holidays: <u>10 AM - 8 PM</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>5:30 AM - 9:30 PM</u> • Saturday: <u>5:30 AM - 9:30 PM</u> • Sunday: <u>5:30 AM - 9:30 PM</u> • Holidays: <u>5:30 AM - 9:30 PM</u>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
Proposed action may exceed ambient levels during construction due to the use of typical construction equipment. Noise will return to ambient levels when construction is complete.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Wall sconces are proposed on each wall of the building, 6.5' high, direction - down, aim - up, approximately 78 ft from nearest occupied structure.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ TBD tons per _____ (unit of time)
 • Operation : _____ 0.4 tons per _____ week (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____
 • Operation: _____ will recycle as required by corporate policy and local law

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____ Licensed private carter

 • Operation: _____ Licensed private carter

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe:
 food establishments (fast food/fast casual/restaurant), retail space

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.15	0.14	-0.1
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: landscaping/lawn _____	0.3	0.4	+0.1

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 1.7 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: MdC: Mardin gravelly silt loam _____ 100 %
_____ %
_____ %

d. What is the average depth to the water table on the project site? Average: _____ 1.4 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ 100 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Freshwater Pond (USFWS) Approximate Size 0.76 ac (off-site)
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ Typical urban species (bird, squirrel, _____ raccoon, mice, etc.) _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres </p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ Indiana Bat (endangered) _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

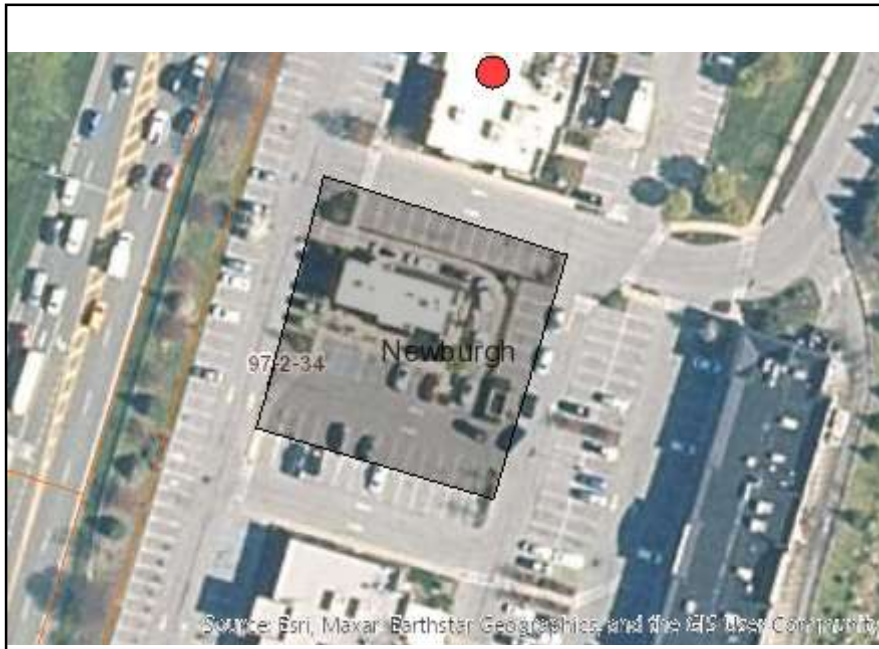
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Bonnie Von Ohlsen Date 1/10/2024

Signature  Title Planning Consultant for Applicant



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

NEWBURGH EXPANSION

1282 UNION AVE.

NEWBURGH, NY 12550

EIFS - DRYVIT - START - 06 1022
PAINTED SHERMAN WILLIAMS - SW7069 IRON ORE



EXST. BRICK.
ANY NEW BRICK TO MATCH EXST.
SPEC./COLOR



WOOD SIDING/CANOPY UNDERSIDE.
WEKA SPEC.
BY RESAWN TIMBER CO.



CANOPY EDGE/STOREFRONT MULLIONS
MATTE BLACK
POWDERCOATED METAL
BY GC



Plotted By: Boswell, Luke - Sheet Set: KHA - Layout: C-0.0 - January 10, 2024 - 12:15:09pm - K:\NYC-CIVIL\112213253- Starbucks-Newburgh-2\05_CAD\Plan_Sheets\C-0.0_COVER_SHEET.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

CONSTRUCTION DRAWINGS

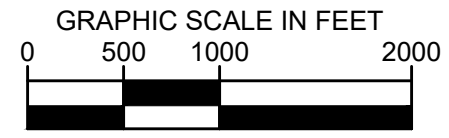
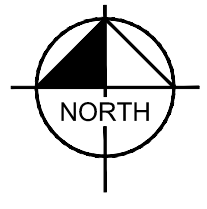
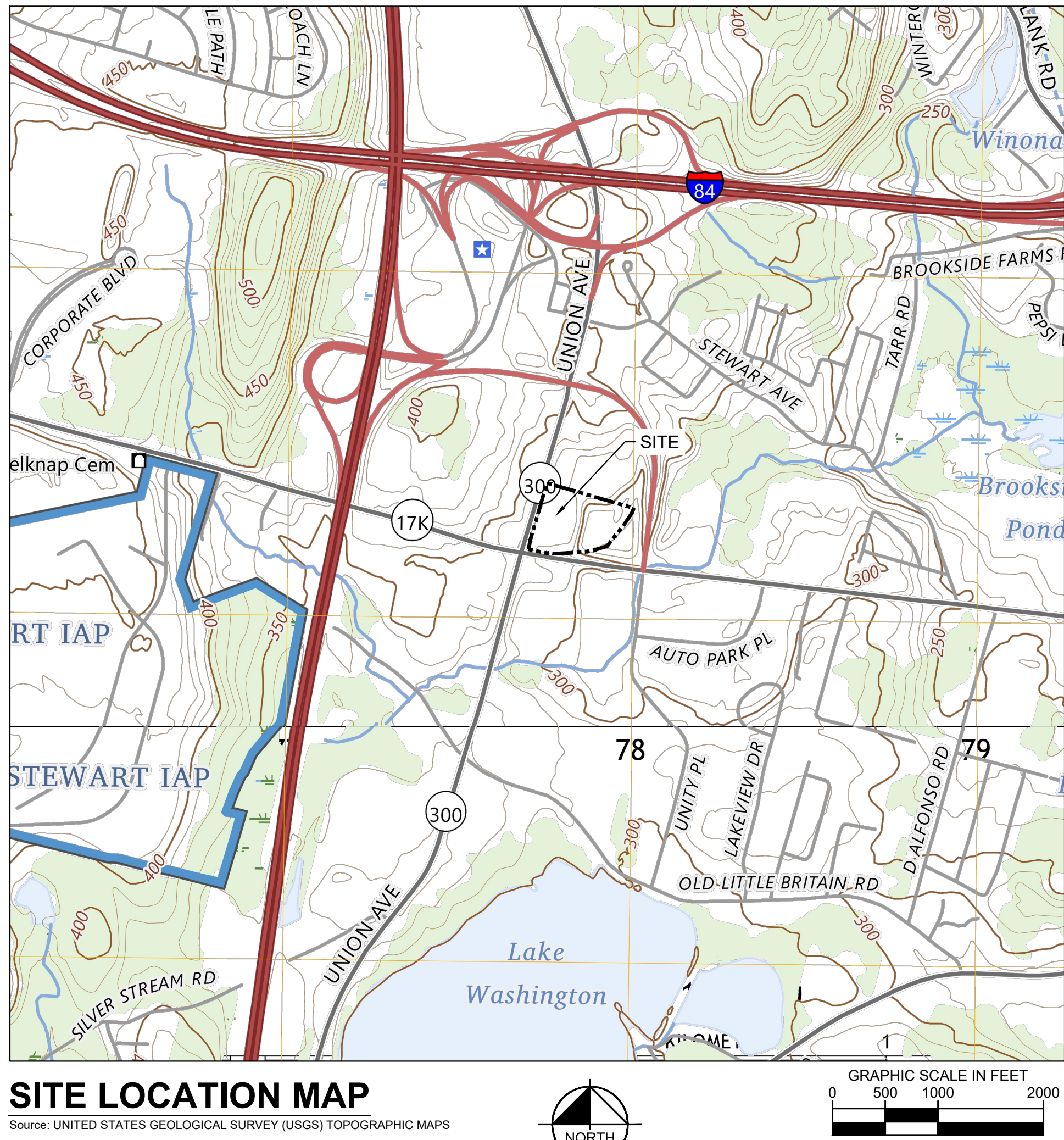
FOR

STARBUCKS NEWBURGH DRIVE-THRU MENU RELOCATION

1282 UNION AVE NEWBURGH, NY AUGUST 2023

PROJECT TEAM
CIVIL ENGINEER KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. 60 EAST 42ND STREET, SUITE 1730 NEW YORK, NY 10165 TEL: (332) 213-1083 CONTACT: DAVID LOFRISCO, P.E.
SURVEYOR CONTROL POINT ASSOCIATES INC, P.C. 11 MAIN STREET HIGHLAND, NY 12528 TEL: (845) 691-7339 CONTACT: CHRIS GREY, L.S.
PROJECT NARRATIVE
THE SCOPE OF WORK FOR THIS PROJECT PROPOSES THE RETROFIT OF AN EXISTING DRIVE-THRU COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS INCLUDING GRADING, LANDSCAPING, STRIPING, DIRECTIONAL SIGNAGE, AND THE INSTALLATION OF A DRIVE-THRU PRE-MENU BOARD, 5-PANEL MENU BOARD AND DIGITAL ORDER-POINT WITH OVERHEAD CANOPY.
PROPERTY INFORMATION
APPLICANT  STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH, SEATTLE, WA 98134 CONTACT: DAVID SHIPE TEL: (845) 554-2828 EMAIL: DSHIPE@STARBUCKS.COM
OWNER INFORMATION NEWBURGH RETAIL DEVELOPERS, LLC 1224 MILL STREET, BUILDING D, SUITE 103 EAST BERLIN, CT, 06023 CONTACT: KELLY VOSS TEL: 860-561-0121
PARCEL NUMBER TM #97-2-34

SHEET LIST	
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-0.1	GENERAL NOTES
C-1.0	SITE PLAN
C-2.0	SITE DETAILS
C-3.0	GRADING PLAN
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS



PRELIMINARY - NOT FOR CONSTRUCTION



STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

COVER SHEET
 1282 UNION AVE
 NEWBURGH, NY

KHA PROJECT	112213253
DATE	01/10/24
SCALE AS SHOWN	L/TB
DESIGNED BY	GH
DRAWN BY	DFL
CHECKED BY	



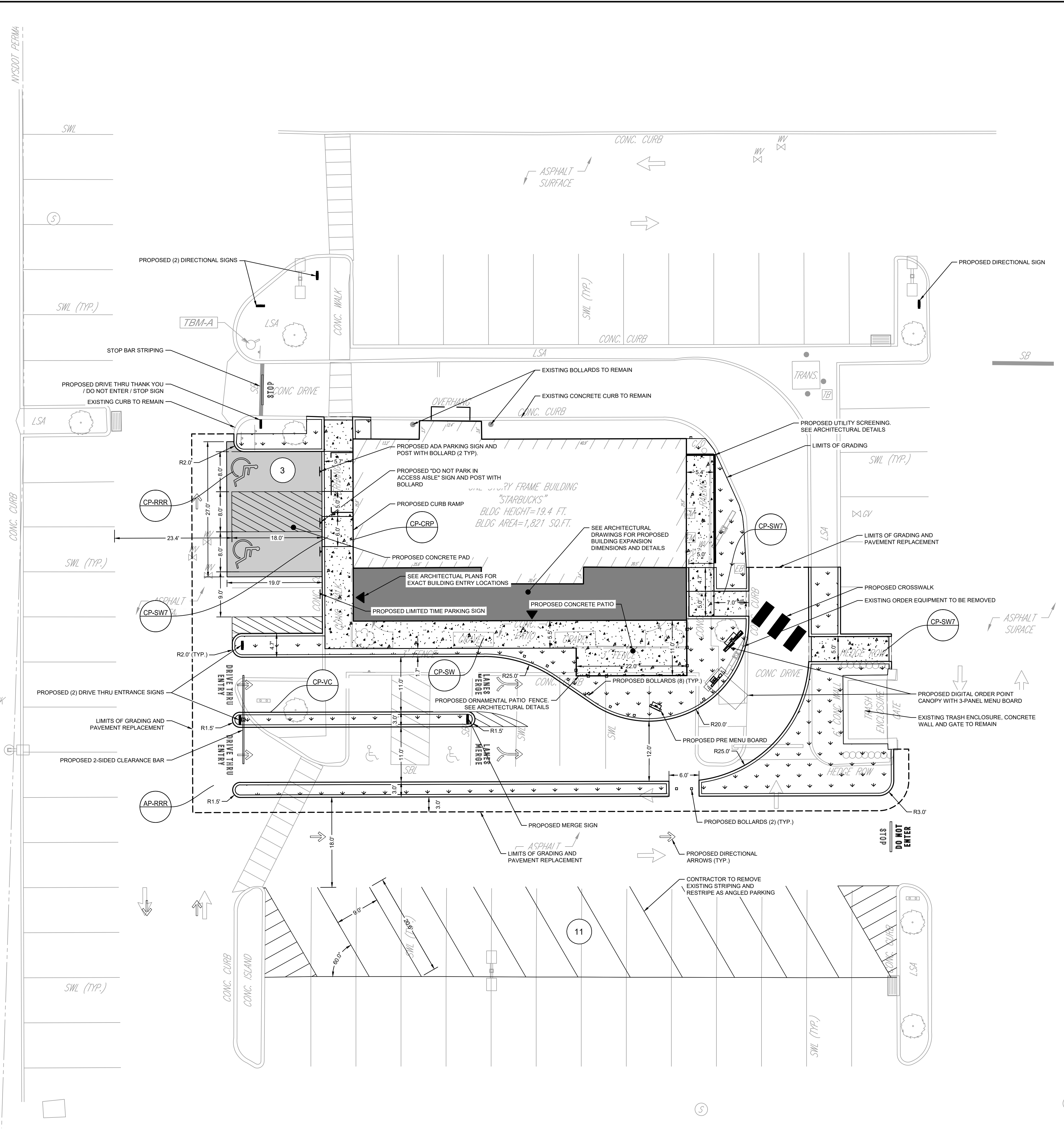
© 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 60 E. 42ND ST., SUITE 1730, NEW YORK, NY, 10166
 WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

SHEET NUMBER
C-0.0

Plotted By: Boswell, Luke - Sheet Set: KHA - Layout: C-1.0 - January 10, 2024 - 12:15:25pm - K:\NYC-CIVIL\112213253- Starbucks- Newburgh- 2-05-CAD\Plan Sheets\C-3.0-SITE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

21 PE
 PERMANENT EASEMENT
 GRANTED TO THE PEOPLE
 OF THE STATE OF NEW YORK

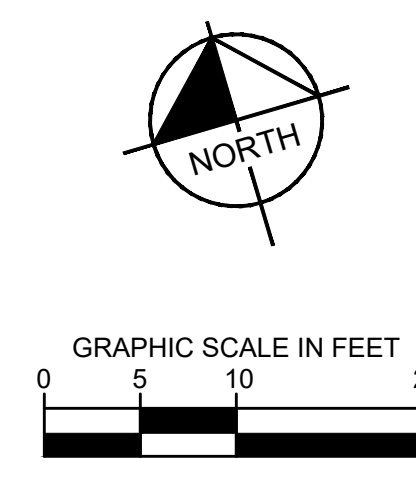


LEGEND	
	EXISTING BUILDING
	PROPOSED BUILDING ADDITION
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ORNAMENTAL FENCE
	PROPOSED UTILITY SCREENING - SEE ARCHITECTURAL DETAILS
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE FLUSH CURB
	LIMITS OF PROPOSED GRADING
	PROPERTY LINE
	PROPOSED PLANTING. SEE LANDSCAPE PLAN AND DETAILS ON SHEETS L-1.0 AND L-1.1
	PROPOSED DETECTABLE WARNING
	DETAIL 'BUBBLE' CALLOUT - SEE SITE DETAILS SHEET C-2.0
	APPROXIMATE LOCATION OF PROPOSED BUILDING ENTRY

- GENERAL NOTES**
- INSTALL SILTSACK OR APPROVED EQUAL INLET FILTER AT STORM SEWER INLET (TYP.) FOR ALL INLETS WITHIN OR DOWNSTREAM OF IMPROVEMENT AREAS. SEE DETAIL.
 - CONTRACTOR TO LOCATE ALL PRIVATE AND PUBLIC UTILITIES ON SITE WITHIN WORK AREAS. CONTRACTOR TO TAKE EXTRA CAUTION TO AVOID DAMAGE TO ELECTRICAL, TELEPHONE, IRRIGATION, AND OTHER CONDUITS TYPICALLY FOUND IN THE UPPER FEW FEET OF GROUND. CONTRACTOR SHALL REPLACE ANY DAMAGED OR DESTROYED UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

- SITE NOTES:**
- BACKGROUND INFORMATION SHOWN PER SURVEY TITLED "PARTIAL TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. DATED 07/18/2023
 - ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
 - LANDSCAPING SYMBOLS ARE SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE PLAN ON SHEET L-1.0 FOR FULL PLANTING SCHEDULE

ZONING INFORMATION			
ZONING DISTRICT: INTERCHANGE BUSINESS (IB)			
EXISTING USE: DRIVE THROUGH RESTAURANT AND PARKING LOT			
PROPOSED USE: NO CHANGE			
DESCRIPTION / REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 SF	443,429 SF (10.18 AC)	NO CHANGE
MIN. LOT WIDTH	150 FT		NO CHANGE
MIN. LOT DEPTH	150 FT		NO CHANGE
MIN. FRONT YARD SETBACK	50 FT		NO CHANGE
MIN. SIDE YARD SETBACK	30 FT		NO CHANGE
BOTH SIDES SETBACK	80 FT		NO CHANGE
MIN. REAR YARD SETBACK	60 FT		NO CHANGE
PARKING SUMMARY			
NET PARKING REDUCTION WITHIN LOD	EXISTING PERPENDICULAR PARKING WITHIN LOD	PROPOSED PERPENDICULAR PARKING WITHIN LOD	PROPOSED ANGLED PARKING WITHIN LOD
12 STALLS	26 STALLS	3 STALLS	11 STALLS



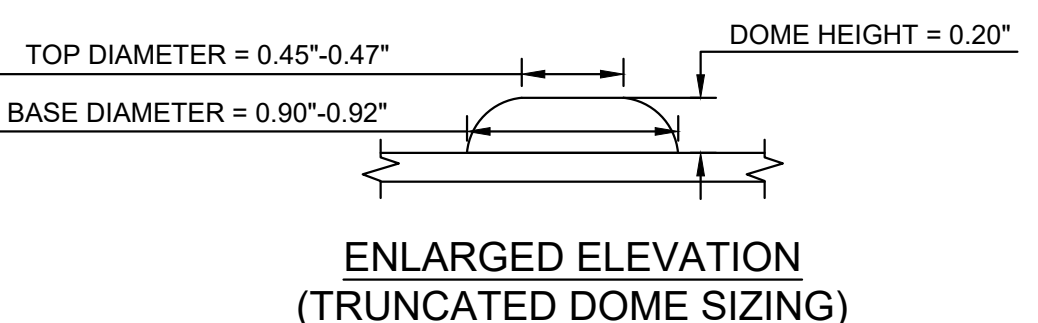
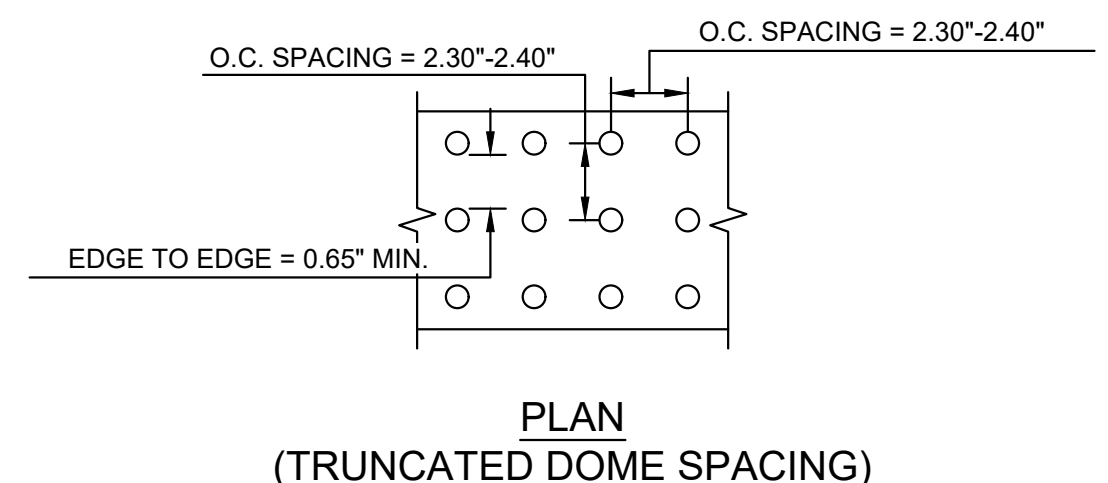
PRELIMINARY - NOT FOR CONSTRUCTION
SITE PLAN
1282 UNION AVE
NEWBURGH, NY
STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575
 SHEET NUMBER
C-1.0

KHA PROJECT 112213253
 DATE 01/10/24
 SCALE AS SHOWN
 DESIGNED BY LTB
 DRAWN BY GH
 CHECKED BY DFL

Kimley-Horn
 New York
 © 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 60 E. 42ND ST., SUITE 1602
 NEW YORK, NY 10018
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

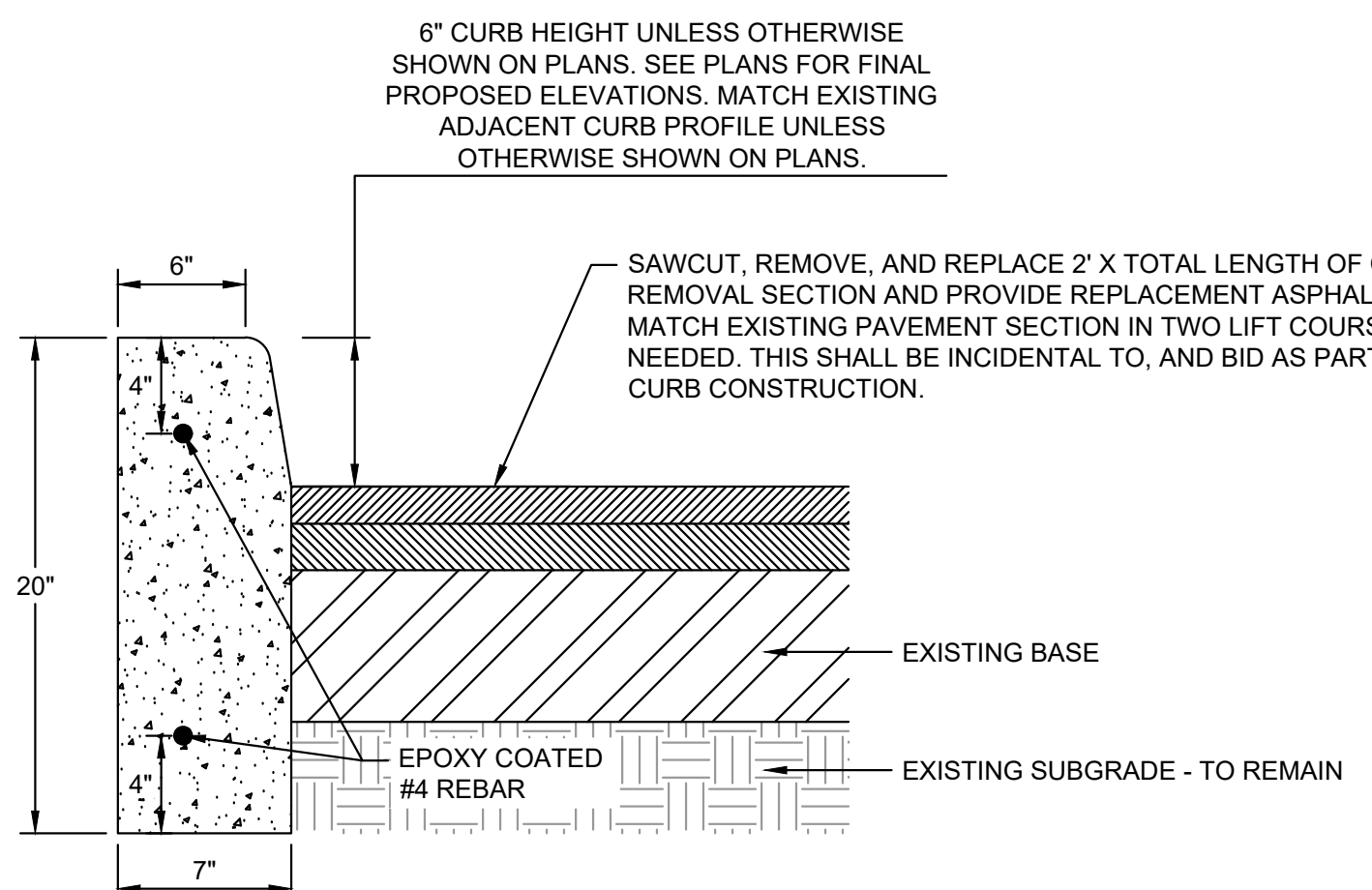
Plotted By: Boswell, Luke Sheet Set: KHA Layout: C-2.1 January 10, 2024 12:19:37pm K:\NYC-Civil\112213253-Storebuds-Newburgh_2\05-CAD\Plan Sheets\C-2.0 SITE DETAILS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- NOTES:**
1. DETECTABLE WARNINGS TO BE RETROFITTED TO EXISTING RAMP SURFACE SHALL BE SURFACE APPLIED AND BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, INCLUDING ANCHORING. DETECTABLE WARNINGS TO BE INSTALLED WITH A NEW POURED RAMP SHALL BE CONSTRUCTED USING A CAST-IN-PLACE PREFABRICATED UNIT OR PANEL AND BE INSTALLED AND ANCHORED PER MANUFACTURER'S INSTRUCTIONS. THE PRODUCT MUST COMPLY WITH ALL CURRENT ADA REQUIREMENTS.
 2. DETECTABLE WARNING SURFACE SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH OF THE CURB RAMP. THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE ROADWAY SHALL BE BETWEEN 6" MINIMUM AND 8" MAXIMUM FROM THE FACE OF CURB OR EDGE OF THE PAVEMENT ON CURB RAMPS AND FLUSH WITH THE EDGE OF PAVEMENT ON ZERO INCH CURB FACE. DETECTABLE WARNING SURFACES SHALL BE PLACED DIRECTLY ADJACENT TO ONE ANOTHER AND SHALL NOT BE INSTALLED ACROSS JOINTS.
 3. THE DETECTABLE WARNING SURFACE SHALL BE "FEDERAL YELLOW" IN COLOR, UNLESS OTHERWISE REQUIRED BY THE DESIGN CONSULTANT OR LOCAL GOVERNING AGENCY.

DETAIL
MISCELLANEOUS IMPROVEMENTS - INSTALL ADA COMPLIANT DETECTABLE WARNINGS

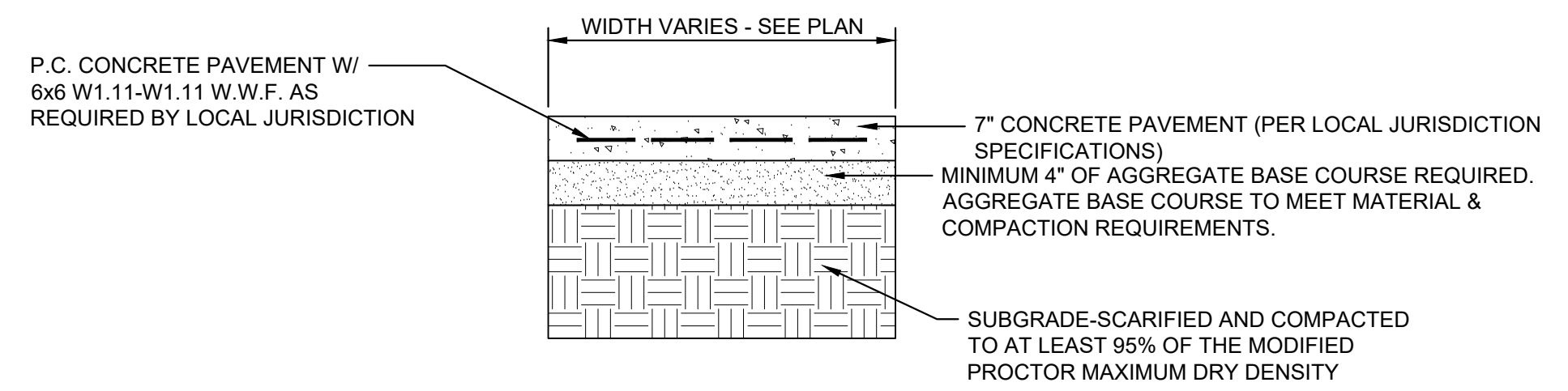
MI-DW



- NOTES:**
1. DETAIL SHOWN FOR REFERENCE ONLY. FIELD CONSTRUCTION SHALL MATCH EXISTING CURB TYPE, INCLUDING DIMENSIONS AND REINFORCEMENT, AS WELL AS ELEVATION, UNLESS OTHERWISE SPECIFICALLY SHOWN ON PLANS.
 2. VERTICAL SAWCUT SHALL BE MADE AT ALL LIMITS OF REMOVAL TO CREATE A CLEAN EDGE.
 3. GRADING, ADDITIONAL AGGREGATE/CONCRETE REQUIRED TO MATCH EXISTING CROSS SECTION GRADES, AND SEEDING OF ADJACENT LANDSCAPE AREA SHALL BE INCIDENTAL TO, AND BID AS PART OF, CURB CONSTRUCTION.

DETAIL
CONCRETE PAVEMENT - REMOVE AND REPLACE VERTICAL CURB

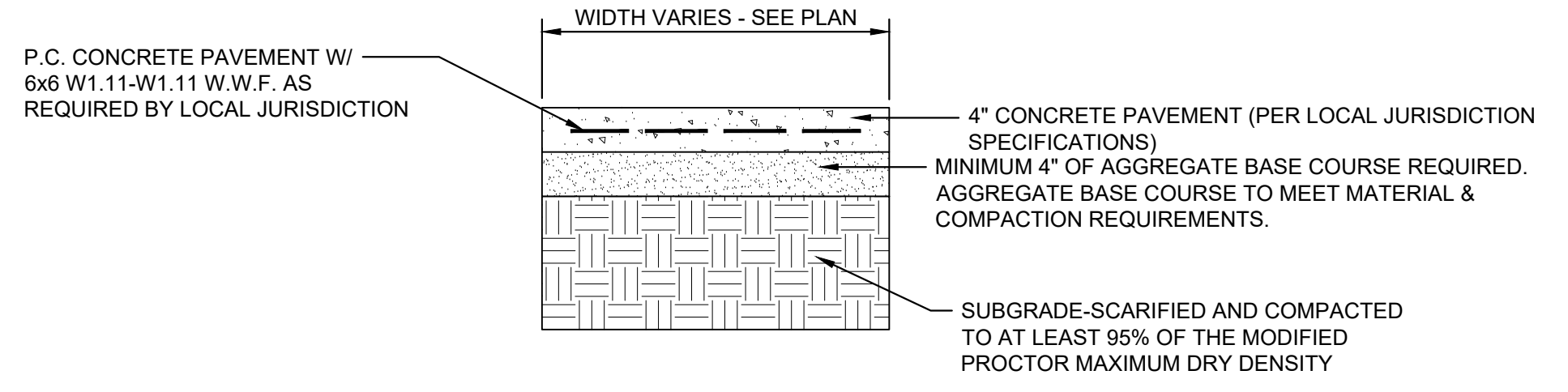
CP-VC



- NOTES:**
1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
 4. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
 5. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 6. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 7. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

DETAIL
CONCRETE PAVEMENT - INSTALL NEW 7" SIDEWALK (AT CURB RAMPS)

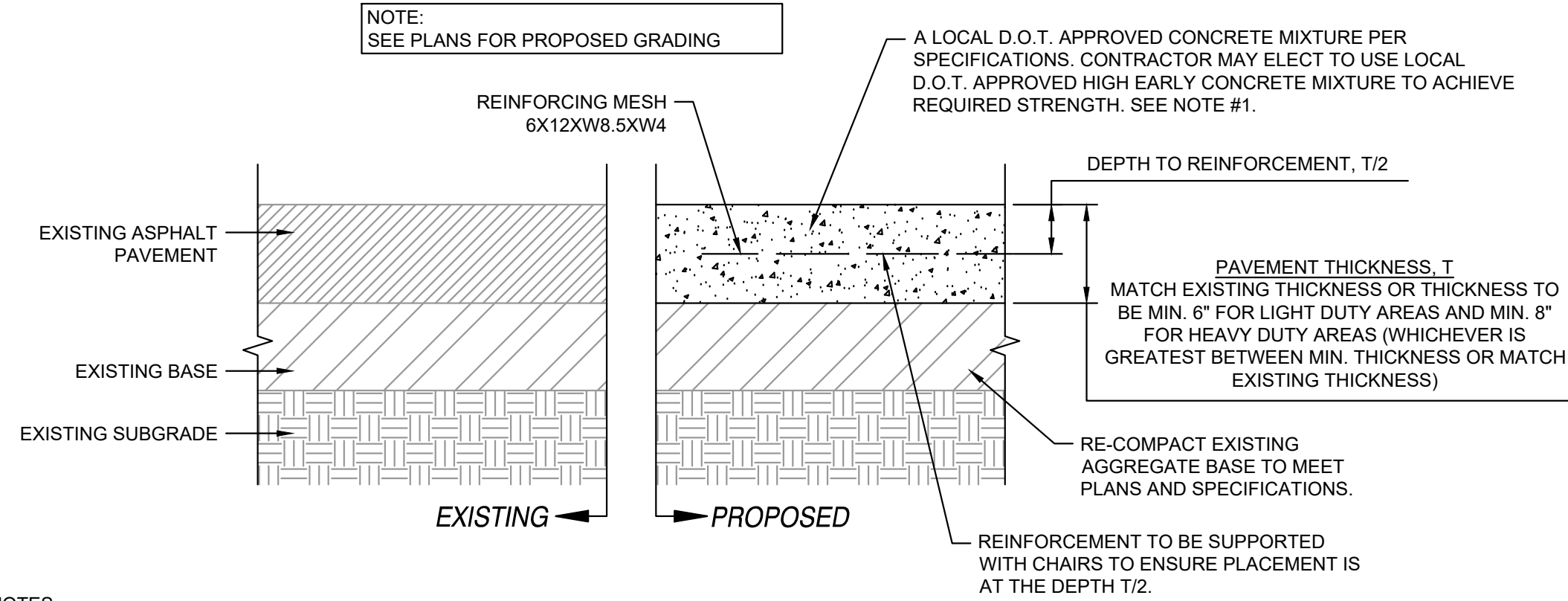
CP-SW7



- NOTES:**
1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
 4. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
 5. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 6. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 7. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

DETAIL
CONCRETE PAVEMENT - INSTALL NEW 4" SIDEWALK

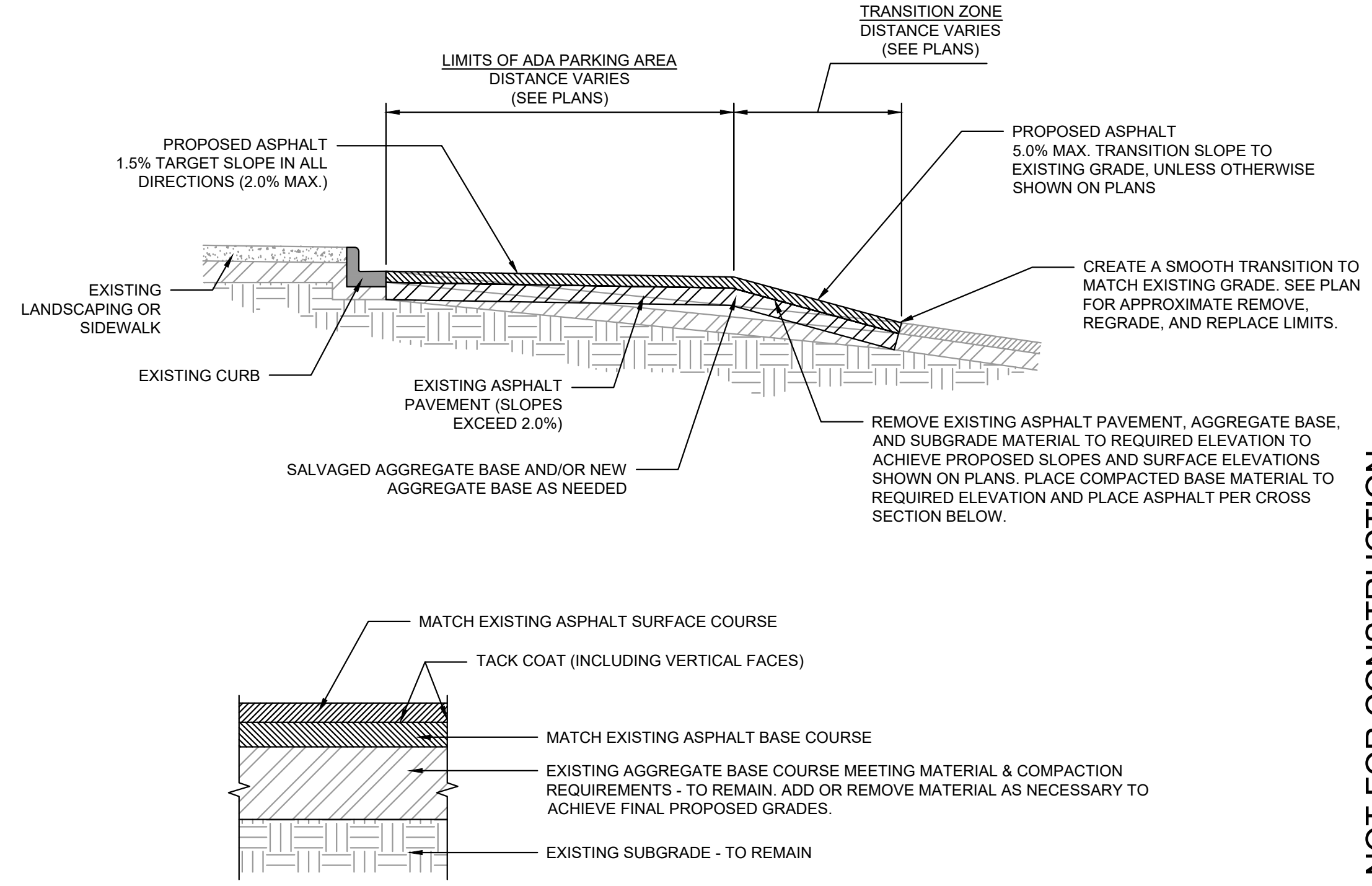
CP-SW



- NOTES:**
1. IT SHALL BE REQUIRED TO USE A HIGH EARLY STRENGTH CONCRETE MIXTURE FOR SECTIONS OF PAVEMENT TO BE REPLACED AT HIGH PRIORITY DRIVE LANES THAT CANNOT BE PHASED OR DETOURED WITHOUT DISRUPTION OF OPERATIONS, AND ONLY THOSE LOADING ZONE AREAS THAT CANNOT BE SHIFTED TO ANOTHER DOOR LOCATION. IN ALL CASES, THE CONTRACTOR SHALL COORDINATE ALL CONCRETE REPAIR WORK WITH THE OWNER OR ENGINEER.
 2. EXISTING AGGREGATE BASE SHALL BE RE-COMPACTED TO 95% AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557), MATERIALS TESTING AGENCY TO INSPECT PREPARED AGGREGATE BASE PRIOR TO PLACEMENT ON CONCRETE TO ENSURE COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS.
 3. REFER TO TYPICAL JOINTS FOR CONCRETE SLAB REPAIR DETAIL ON THIS SHEET FOR LOCATION AND TYPE OF JOINTS TO BE INSTALLED AROUND THE PERIMETER OF THE CONCRETE REPLACEMENT. DOWELS/REINFORCEMENT TO BE INSTALLED PER DETAILS ON THIS SHEET.
 4. REMOVE EXISTING ASPHALT PAVEMENT, AGGREGATE BASE, AND SUBGRADE MATERIAL TO REQUIRED ELEVATION TO MEET PROPOSED SLOPES. PLACE COMPACTED BASE MATERIAL TO REQUIRED ELEVATION AND PLACE CONCRETE PER CROSS-SECTIONAL DETAIL THIS SHEET.
 5. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY.
 6. CREATE A SMOOTH TRANSITION TO MATCH EXISTING GRADE. SEE PLAN FOR APPROXIMATE LIMITS.
 7. CONTRACTOR TO COORDINATE WITH OWNER ON TEST STRIP AS NEEDED TO MATCH EXISTING COLORED CONCRETE AS CLOSE AS POSSIBLE TO EXISTING.

DETAIL
CONCRETE PAVEMENT - REMOVE, REGRADE, AND REPLACE ASPHALT WITH CONCRETE

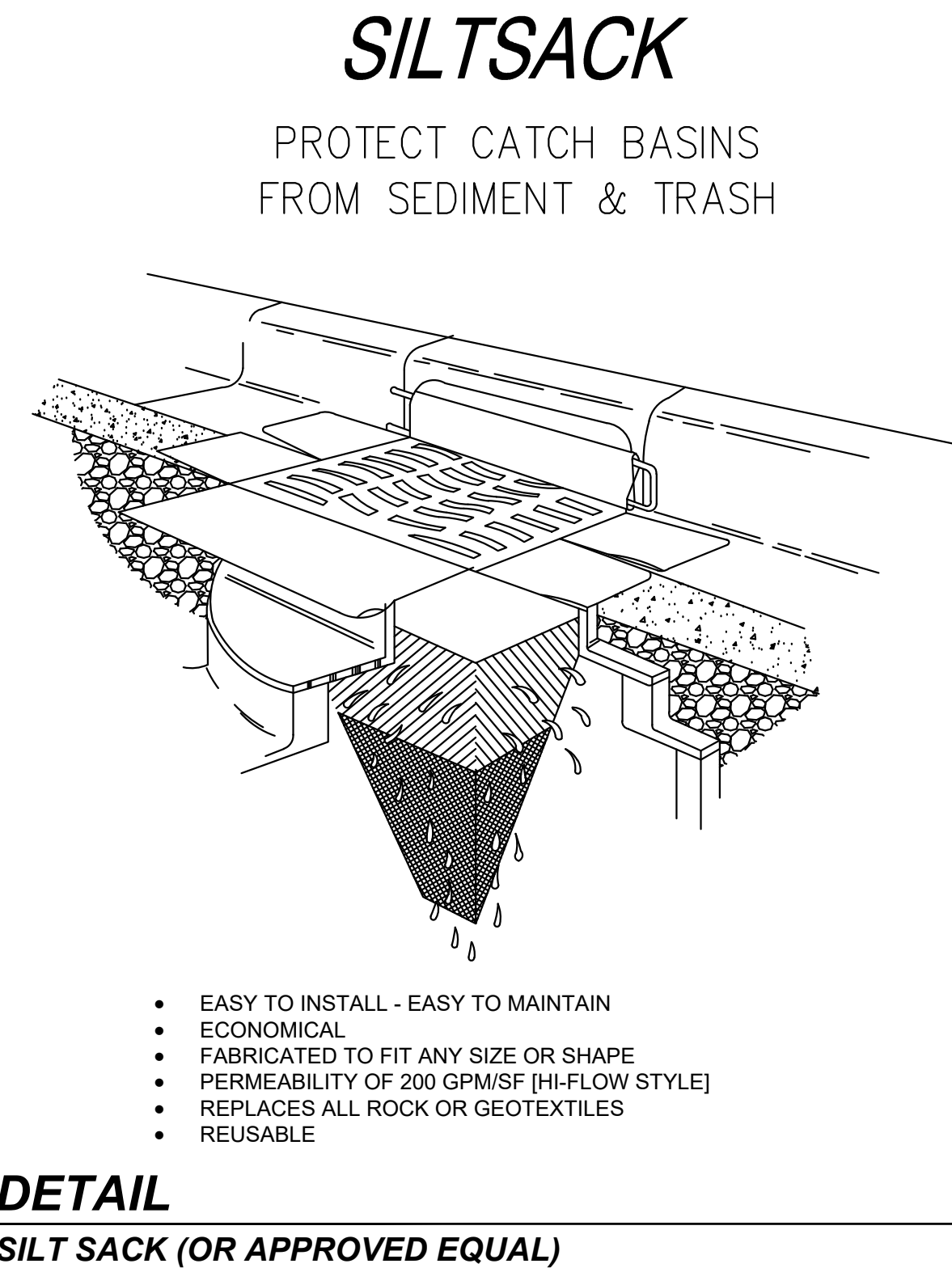
CP-RRR



- NOTES:**
1. SURFACE COURSE SHALL BE INSTALLED AT THE SAME TIME AS ADJACENT PAVEMENT REPAIR SURFACE COURSES.
 2. THE AGGREGATE BASE COURSE SHALL BE INSPECTED BY THE TESTING AGENCY, OWNER OR DESIGN CONSULTANT AFTER ASPHALT REMOVAL AND BASE PREPARATION, PRIOR TO ASPHALT REPLACEMENT.
 3. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY.

DETAIL
ASPHALT PAVEMENT - REMOVE, REGRADE, AND REPLACE

AP-RRR



- EASY TO INSTALL - EASY TO MAINTAIN
- ECONOMICAL
- FABRICATED TO FIT ANY SIZE OR SHAPE
- PERMEABILITY OF 200 GPM/SF [HI-FLOW STYLE]
- REPLACES ALL ROCK OR GEOTEXTILES
- REUSABLE

DETAIL
SILT SACK (OR APPROVED EQUAL)

- ADA PARKING AREA UP TO THE LIMITS SHOWN ON PLANS ARE TO BE PAVED IN CONCRETE. REFER TO CP-RRR DETAIL.
- TRANSITION ZONES SHALL BE REPAVED IN ASPHALT.
- DETAIL SHOWN FOR REFERENCE ON HOW THE AREA SHALL BE GRADED. SEE PLANS FOR FINAL PROPOSED ELEVATIONS.

NO.	REVISIONS	DATE	BY

Kimley-Horn
 New York
 © 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 60 E. 42ND ST., SUITE 3600, NEW YORK, NY, 10166
 WWW.KIMLEY-HORN.COM

KHA PROJECT	112213253
DATE	01/10/24
SCALE	AS SHOWN
DESIGNED BY	LTB
DRAWN BY	GH
CHECKED BY	DFL

SITE DETAILS
1282 UNION AVE
NEWBURGH, NY

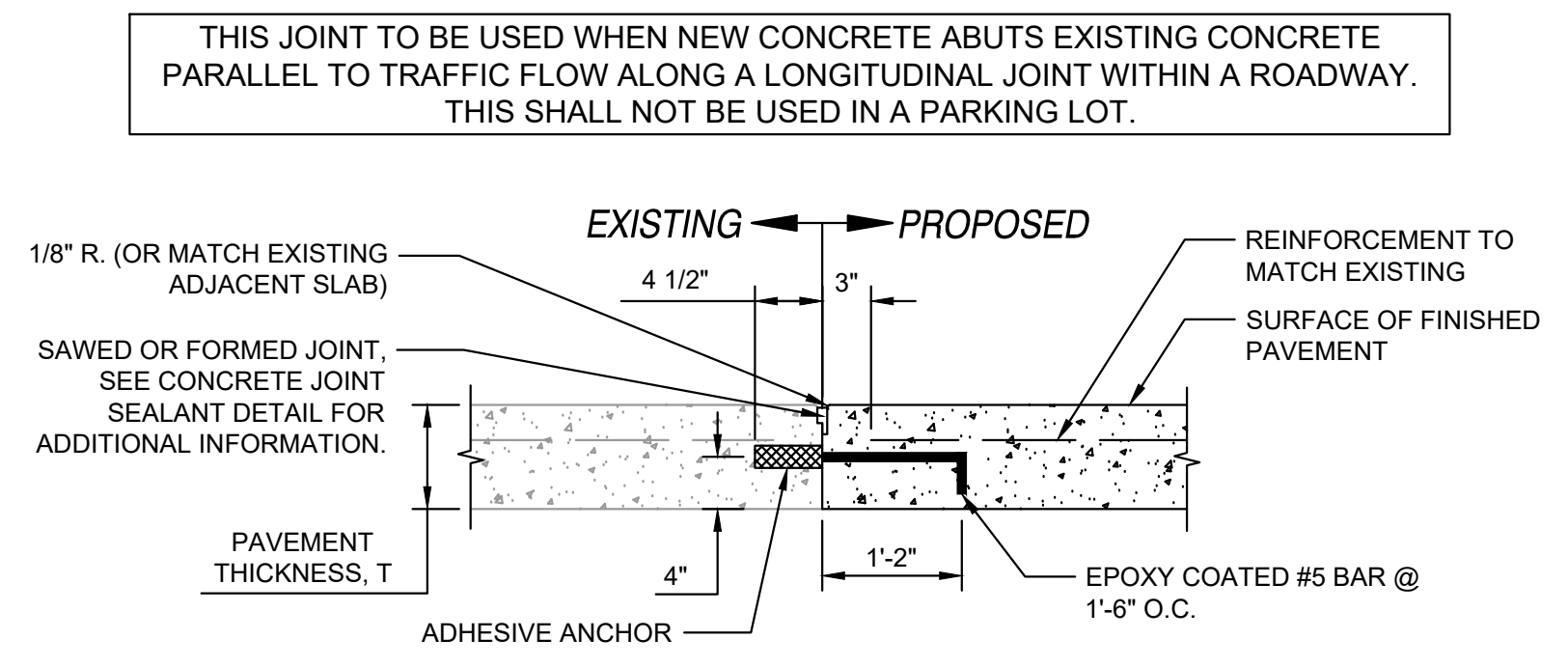
STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575



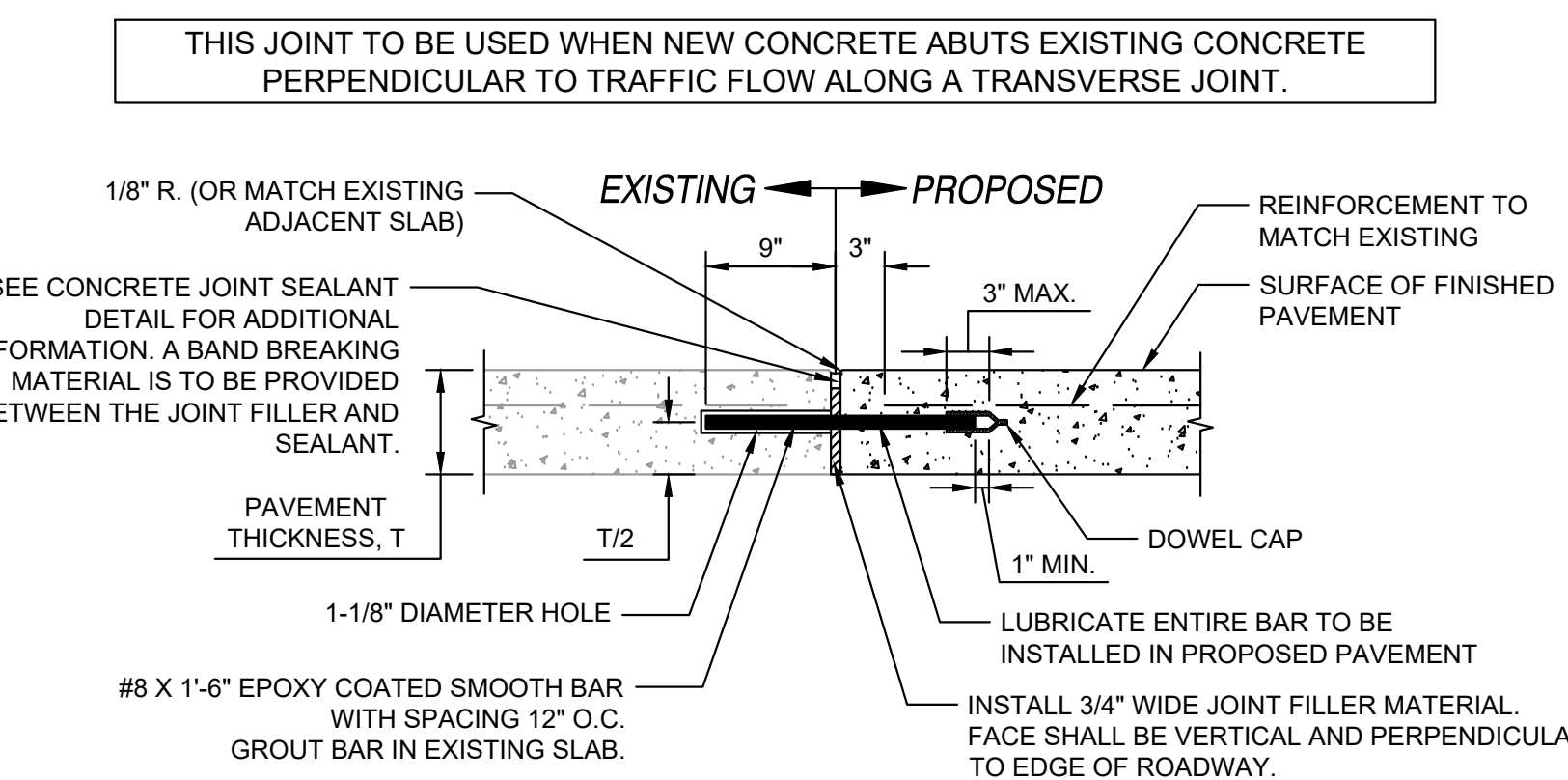
SHEET NUMBER
C-2.1

PRELIMINARY - NOT FOR CONSTRUCTION

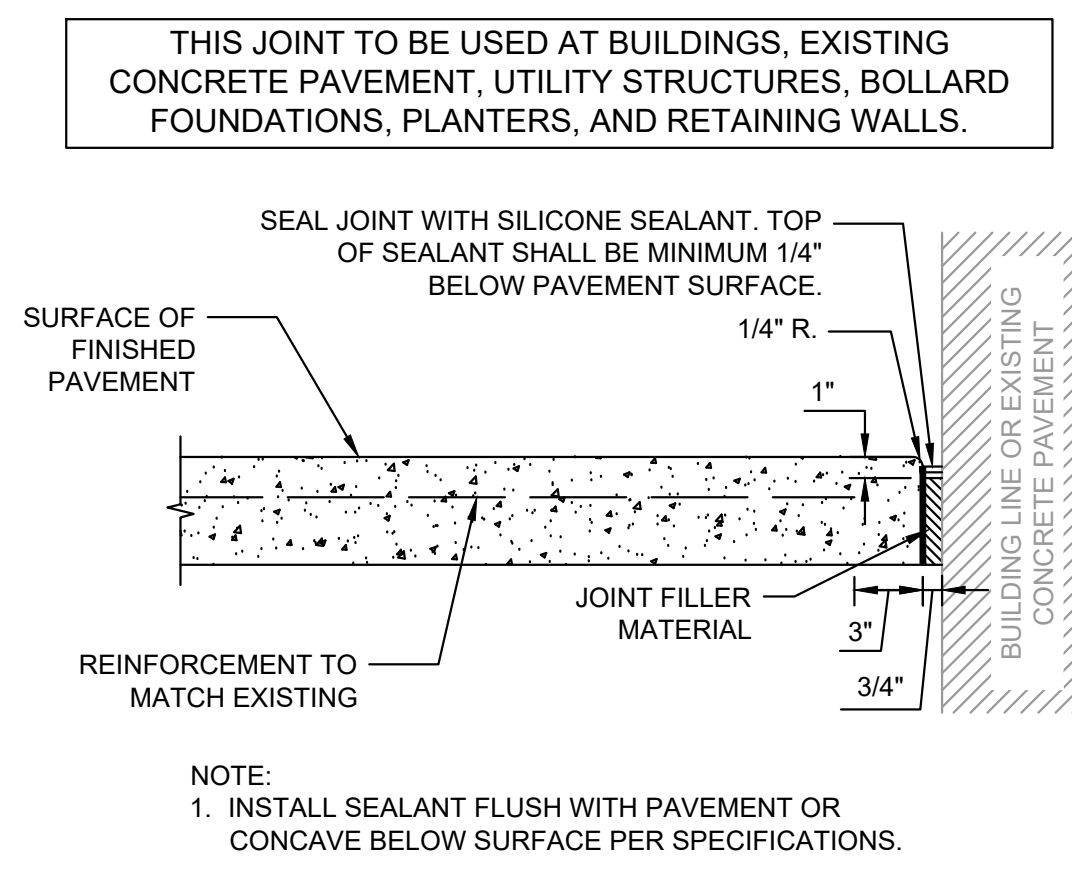
Plotted By: Boswell, Luke - Sheet Set: KHA - Layout: C-2.2 - January 10, 2024 - 12:19:39pm - K:\NVC-CIVIL\112213253- Starbucks-Newburgh-2\05-CAD\Plan Sheets\C-7.0-SITE-DETAILS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



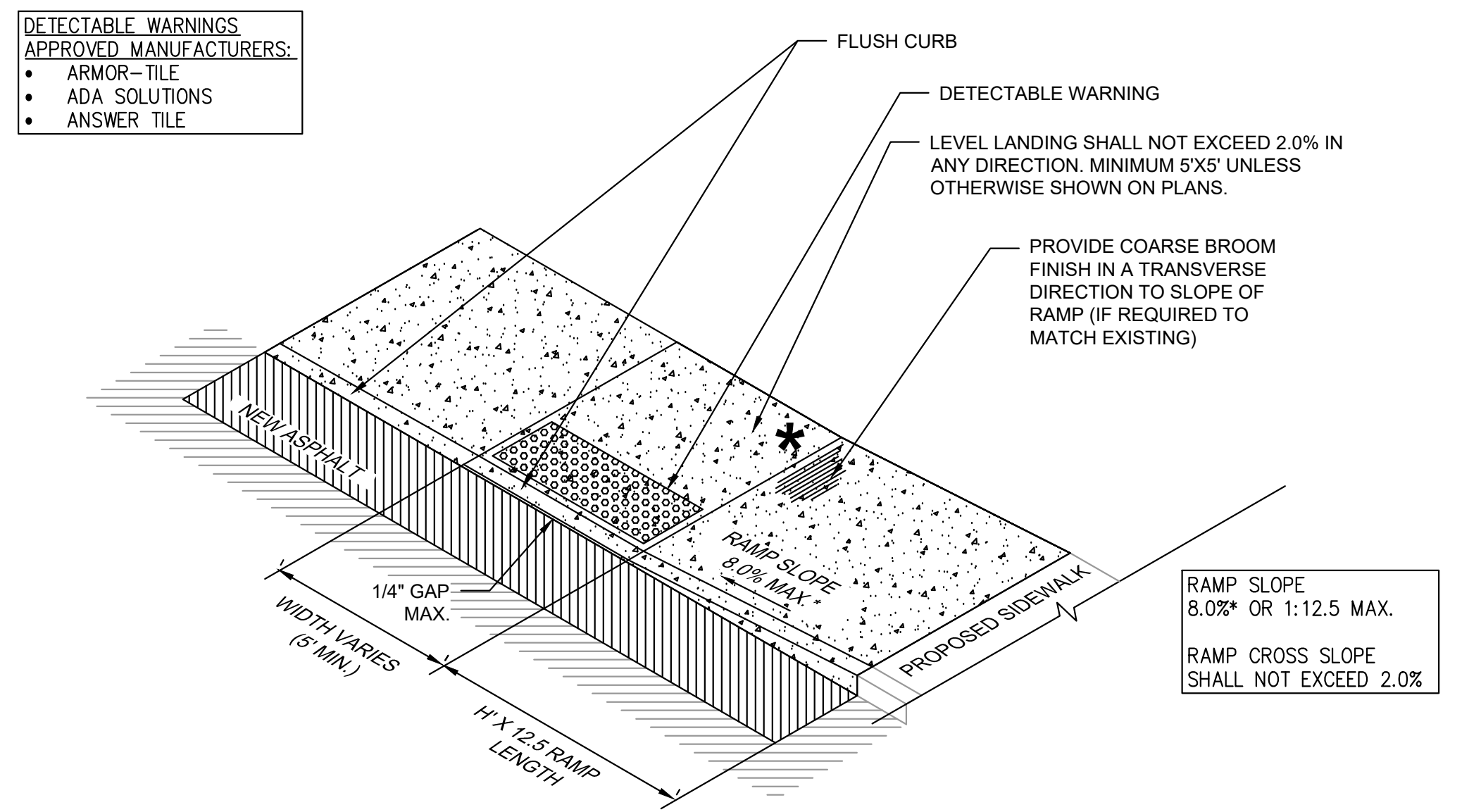
DETAIL
CJ - CONSTRUCTION JOINT



DETAIL
EJ - EXPANSION JOINT



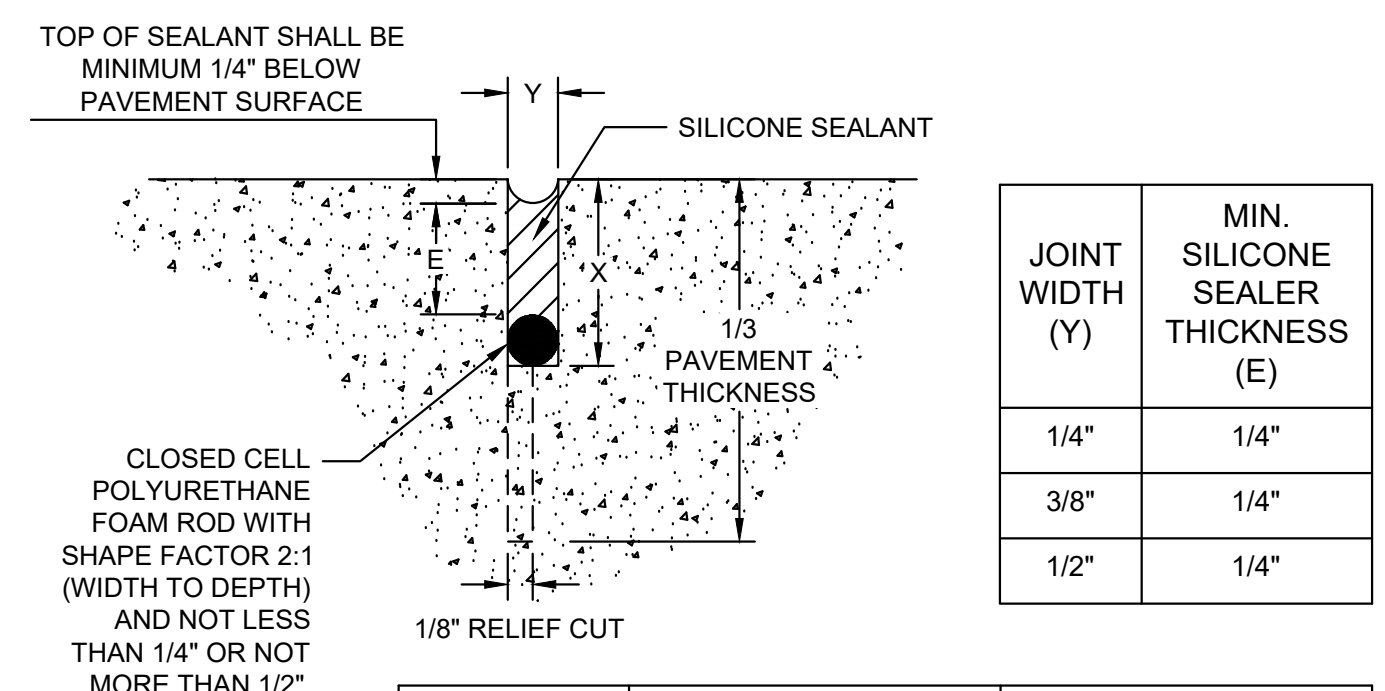
DETAIL
IJ - ISOLATION JOINT



CURB RAMP DETAILS ARE FOR REFERENCE ONLY - SEE PLANS FOR EXACT CURB RAMP LAYOUTS

DETAIL
CONCRETE IMPROVEMENTS - CURB RAMP CONSTRUCTION (PARALLEL)

CONTRACTION JOINTS (TYPE A SILICONE)

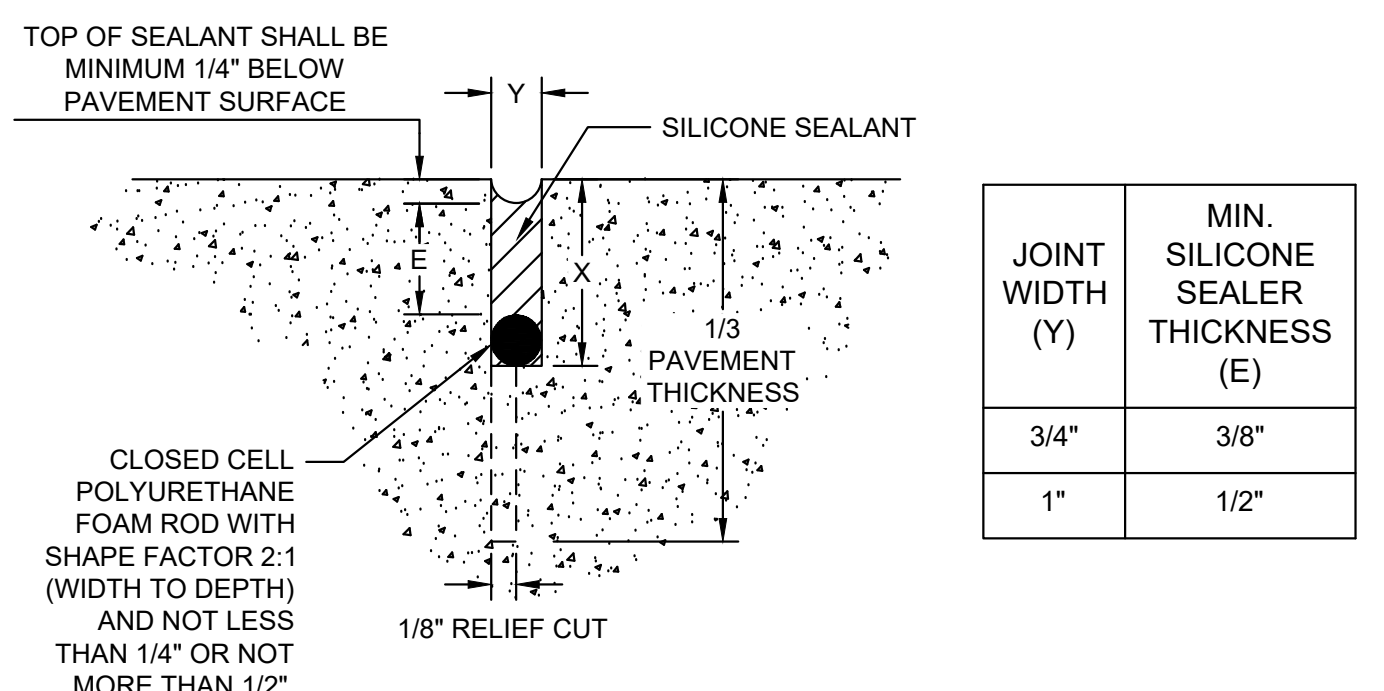


JOINT WIDTH (Y)	MIN. SILICONE SEALER THICKNESS (E)
1/4"	1/4"
3/8"	1/4"
1/2"	1/4"

DETAIL
CONCRETE JOINT SEALANT

DIMENSION	FOR PLAIN CONCRETE SLAB SEALANT TYPES		FOR REINFORCED CONCRETE SLAB SEALANT TYPES	
	A	B	A	B
X	1 1/4"	1 3/4" TO 2"	1 1/4"	1 3/4" OR 2"
Y	1/2"	3/4" OR 1"	3/8"	3/4" OR 1"

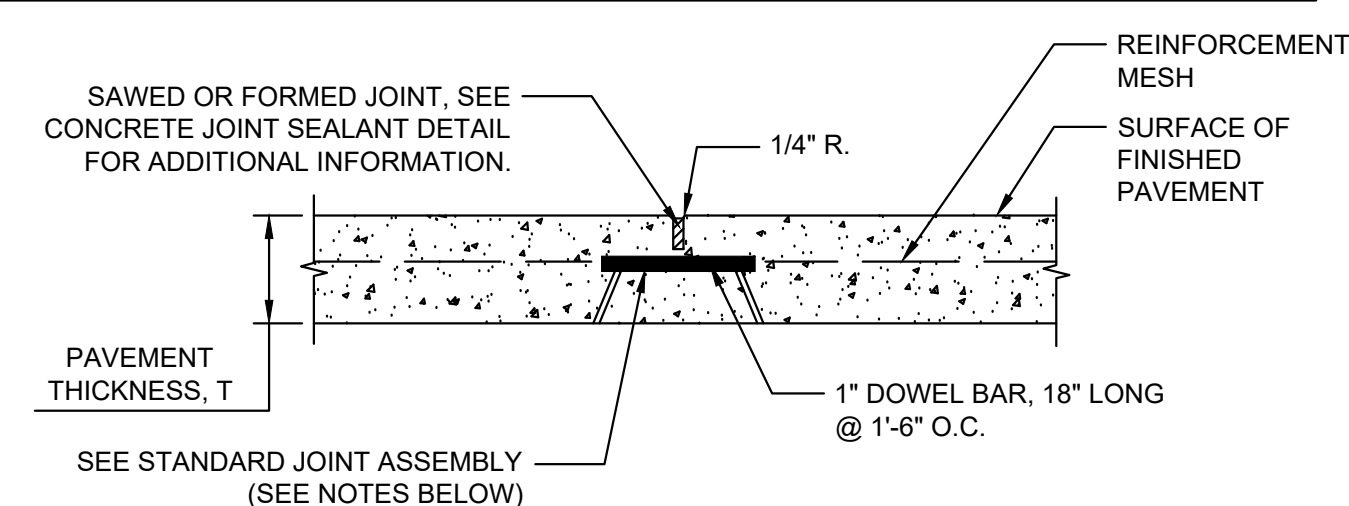
EXPANSION JOINTS (TYPE B SILICONE)



JOINT WIDTH (Y)	MIN. SILICONE SEALER THICKNESS (E)
3/4"	3/8"
1"	1/2"

- NOTES:
 1. THESE DETAILS SHALL BE USED FOR ALL NEWLY CONSTRUCTED OR SAWN JOINTS.
 2. SILICONE SEALANTS SHALL BE USED TO SEAL ALL JOINTS.
 3. TYPES OF JOINT MATERIAL ARE TO BE IN ACCORDANCE WITH THE SPECIFICATIONS.
 4. ALL CONTRACTION JOINTS TO BE SAWED IN CONFORMANCE WITH THE DETAILS, EXCEPT THAT WHERE GRAVEL AGGREGATE IS USED IN THE CONCRETE, THE JOINT MAY BE PREPARED BY FORMING 1/4" OR LESS OF THE WIDTH, FOR THE DEPTH SHOWN WITH WITH NON-METALLIC OR REMOVABLE MATERIAL, FOLLOWED BY SAWING TO COMPLETE THE JOINT TO THE REQUIRED WIDTH AND DEPTH.

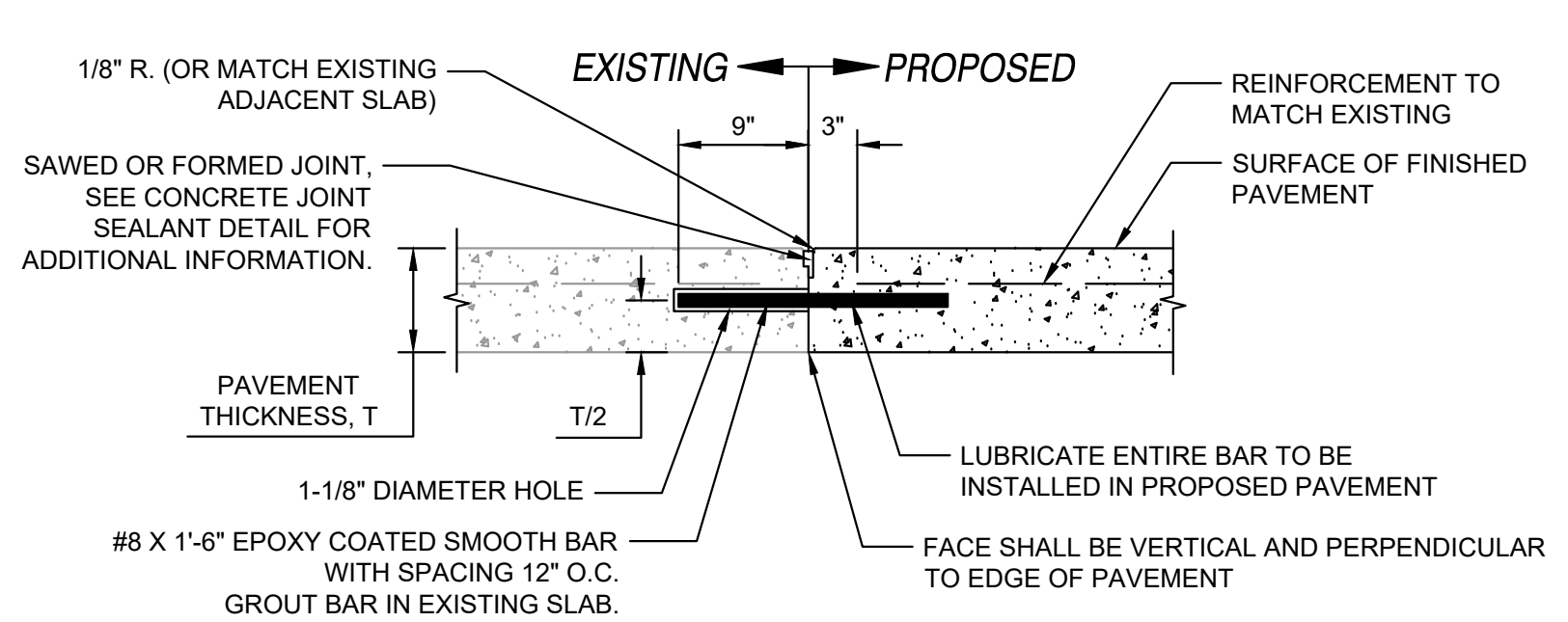
THIS JOINT TO BE USED AT THE MIDDLE OF SLABS DURING CONTINUOUS POURING TO PROVIDE A 1:1.5 WIDTH TO LENGTH RATIO OF JOINT SPACING IN NEW CONCRETE THAT IS PERPENDICULAR TO TRAFFIC FLOW ALONG A TRANSVERSE JOINT.



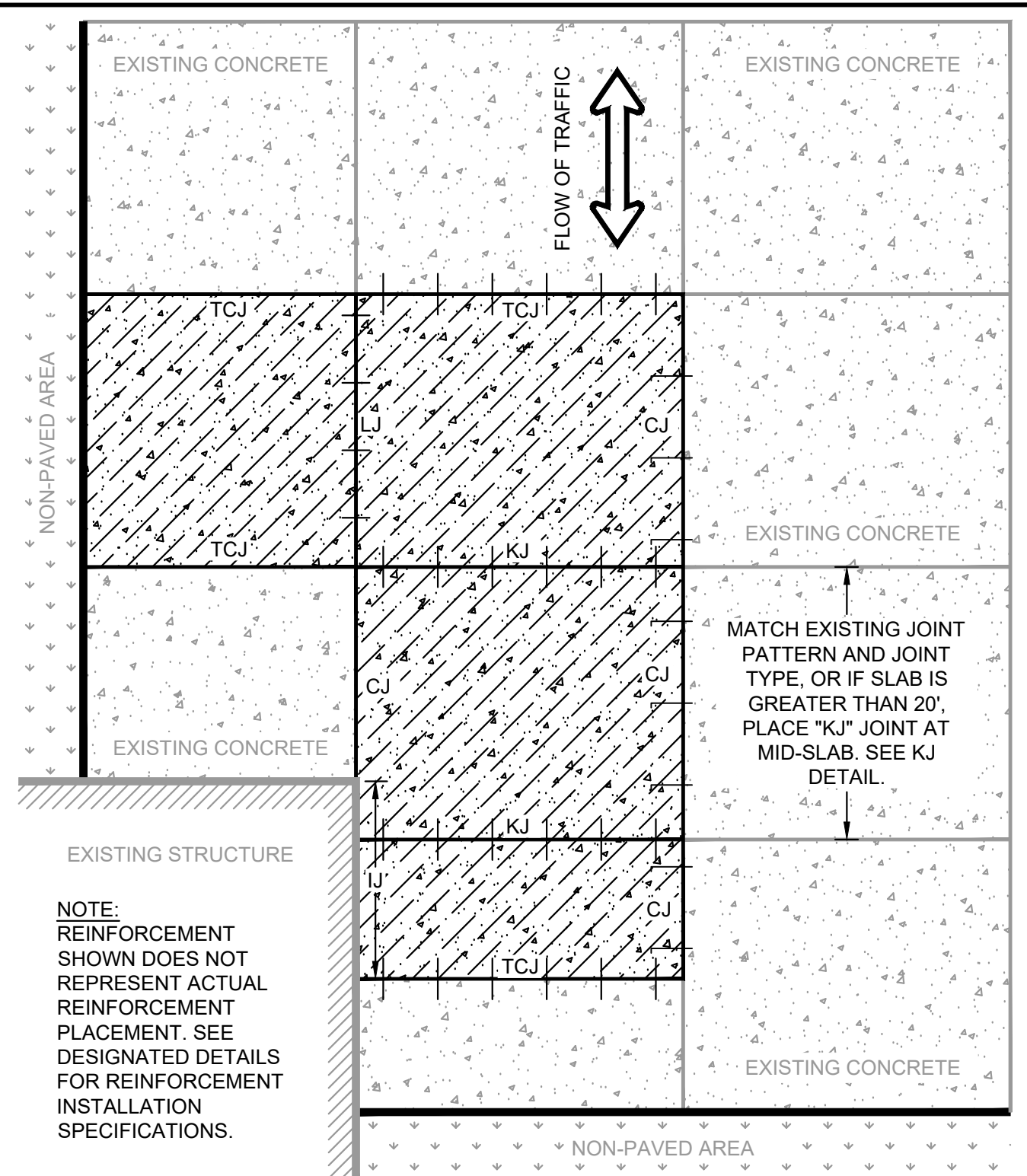
- NOTES:
 1. THIS JOINT TO BE SPACED AT A MAXIMUM OF 16'-0" OR A MINIMUM OF 10'-0".
 2. OMIT LOAD TRANSFER ASSEMBLY IF JOINT LOCATED IN NON-TRUCK TRAFFIC AREAS.
 3. REINFORCEMENT TO CONTINUE THROUGH THE JOINT.

DETAIL
KJ - TRANSVERSE CONTRACTION JOINT

THIS JOINT TO BE USED WHEN NEW CONCRETE ABUTS EXISTING CONCRETE PERPENDICULAR TO TRAFFIC FLOW ALONG A TRANSVERSE JOINT WITHIN A PARKING LOT. THIS SHALL NOT BE USED IN A ROADWAY.



DETAIL
TCJ - TRANSVERSE CONTRACTION JOINT (DRILLED-IN METHOD)



DETAIL
TYPICAL JOINTS FOR CONCRETE SLAB REPAIR

PRELIMINARY - NOT FOR CONSTRUCTION
 STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575
 KHA PROJECT 112213253
 DATE 01/10/24
 SCALE AS SHOWN
 DESIGNED BY LTB
 DRAWN BY GH
 CHECKED BY DFL
 KIMLEY-HORN
 NEW YORK
 © 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 60 E. 42ND ST., SUITE 3600
 NEW YORK, NY 10018
 WWW.KIMLEY-HORN.COM
 REVISIONS
 No. DATE BY

SITE DETAILS
1282 UNION AVE
NEWBURGH, NY

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

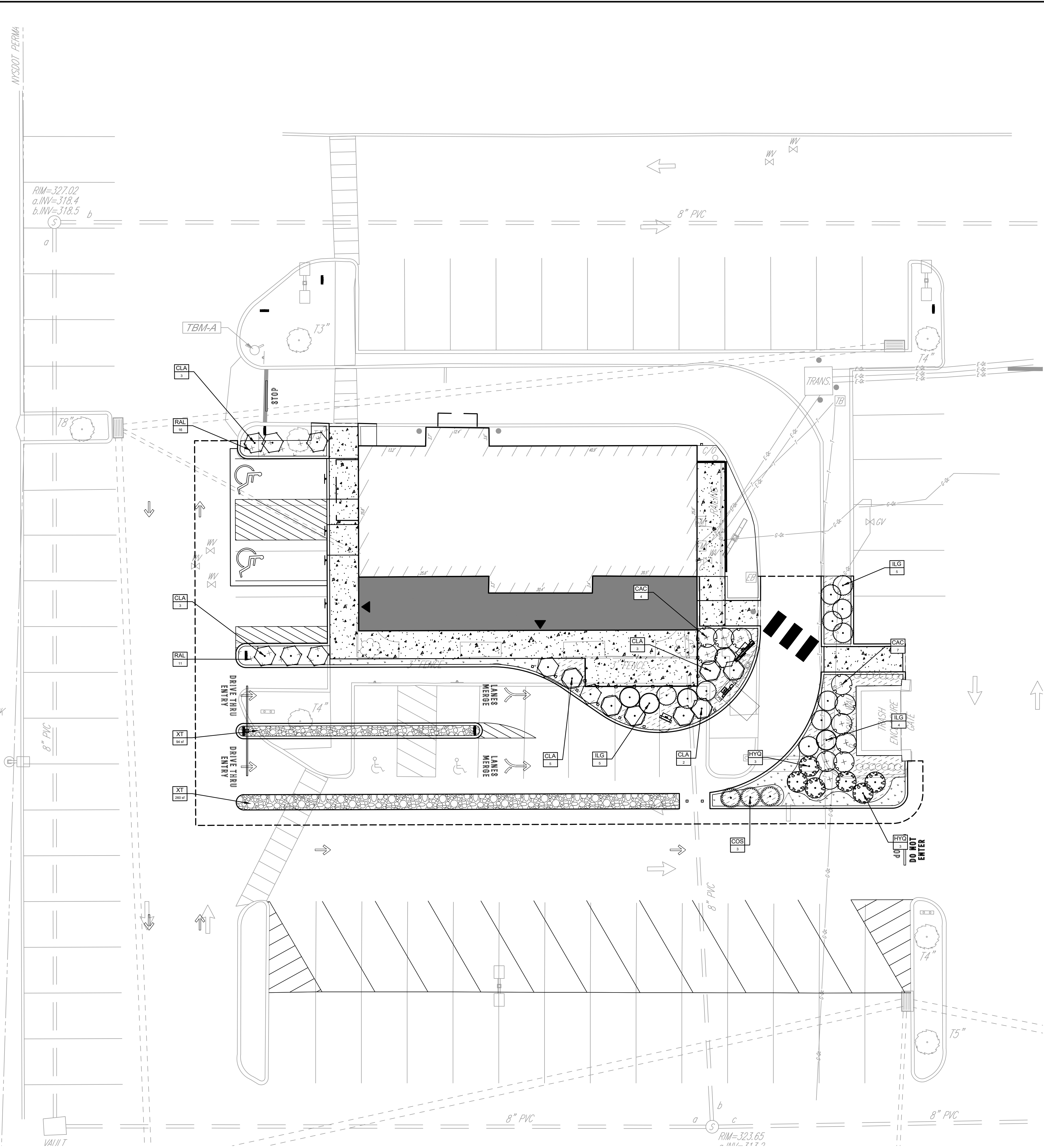


SHEET NUMBER
C-2.2



Plotted By: Boswell, Luke Sheet Set: KHA - Layout: L-1.0 January 10, 2024 12:16:16pm K:\NYC_CIVIL\112213253_Starbucks-Newburgh_2_05-CAD\Plan Sheets\L-1.0 LANDSCAPE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

21
 PE
 PERMANENT EASEMENT
 GRANTED TO THE PEOPLE
 OF THE STATE OF NEW YORK



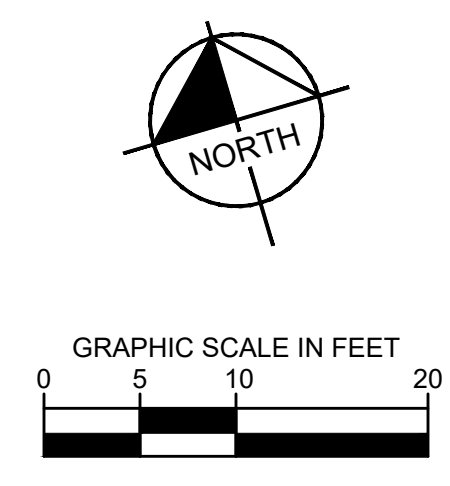
PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE AT PLANTING
	CAC	11	CALAMAGROSTIS X ACUTIFLORA FEATHER REED GRASS	24" - 36" HT.
	CLA	16	CLETHRA ALNIFOLIA SUMMERSWEET	24" - 36" HT.
	COS	3	CORNUS SERICEA RED TWIG DOGWOOD	24" - 36" HT.
	HYQ	6	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	24" - 36" HT.
	ILG	14	ILEX GLABRA INKBERRY HOLLY	24" - 36" HT.

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	XC	804 SF	WOOD CHIP MULCH	---
	XT	354 SF	RIVER STONE	---
	GSM	145 SF	GRASS SEED	SEED
	RAL	34	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	---

DISCLAIMER
 ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND STARBUCKS DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.
 CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND STARBUCKS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

- SITE NOTES:**
- BACKGROUND INFORMATION SHOWN PER SURVEY TITLED "PARTIAL TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. DATED 07/18/2023
 - ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)



PRELIMINARY - NOT FOR CONSTRUCTION

STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

LANDSCAPE PLAN
 1282 UNION AVE
 NEWBURGH, NY

KHA PROJECT
 112213253
 DATE
 01/10/24
 SCALE AS SHOWN
 DESIGNED BY LTB
 DRAWN BY GH
 CHECKED BY DFL

STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

Kimley-Horn
 New York
 © 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 90 NEW YORK, NY, 10166
 60 E. 42ND ST., SUITE 3602
 01.3602020
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

Plotted By: Boswell, Luke - Sheet Set: KHA - Layout: L-1.1 - January 10, 2024 - 12:16:16pm - K:\NYC_OVA\112213253 - Starbucks - Newburgh - 2_05-CAD-Plan_Sheets\1-10 LANDSCAPE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES

- Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- Planting beds and individual tree plantings shall be mulched continuously as specified.
- Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage. Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
- Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.
- All material including planting operation appurtenances shall be of domestic origin manufacture and sourced within 100 miles of the project site.
- Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

- A. General**
- Live healthy plants free of dead branches and parts
 - Free of disease, insect, injury and damage
 - Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
 - Free of girdling roots or rootbound/circling container conditions
 - Plants of consistent in growth habit and healthy character
 - Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
 - Point of origin growing location within 100 miles of project site
 - Graded, standards, caliper, sizes and stock consistent with *ANSI Z60.1, American Standard for Nursery Stock* most current edition
 - Species identified consistent with *Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada*, most current edition and *Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses*, most current edition
 - All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

- Deciduous Single Trunk
 - Full, straight and upright with consistent symmetrical natural branching pattern throughout
 - Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction
- Deciduous Multi-Trunk
 - Full and upright with straight consistent symmetrical natural branching pattern throughout
 - Canes evenly spaced and of similar growth habit
 - Free of suckers and extraneous branching
- Evergreen Single-Trunk
 - Full and upright with continuous symmetrical dense natural habit
 - Clear branching height twelve (12) inches above top of rootball
 - Free of suckers and extraneous branching
 - Do not shear or otherwise prune to shape plantings

C. Evergreen and Deciduous Shrubs

- Full, dense and naturally symmetrical.
- Consistent with container and/or balled and burlapped size
- Free of suckers and extraneous branching
- Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

- Full and dense in pots or flats

E. Perennials and Seasonal Color

- Full and dense in pots or flats

F. Turf Grass

- 1. Subgrade**
- Soil Mix-10% Compost, 90% topsoil by volume
 - Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than ¾ inch in any dimension
 - Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod

- Install not longer than twenty-four (24) hours from harvest
- Grass bed not less than two (2) inches in continuous thickness
- 100% continuous live sod coverage after first growing season and at end of warranty period.
- Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- Stagger installation rows and place aligned parallel to contours
- Fill joints solidly with planting bed preparation soil
- Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- Mix approved by the Landscape Architect
- Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- Provide seed mix not greater than 15% annual or perennial rye
- Coverage 85% continuous coverage live stand after first growing season and at end of warranty
- Replacement or overseeding mixes consistent with original application/installation
- Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A. Testing

- Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

- Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ¾ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%

C. Use of Existing Topsoil

- Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive

methods and procedures

D. Shredded Hardwood Mulch

- 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Compost Ph

- Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G. Compost Testing

- Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
- Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

H. Planting Mix

- 85% topsoil and 15% Compost

I. Fertilizer

- Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

J. Herbicide

- Product and Material Safety Data as approved by Owner

K. Water

- Potable only unless otherwise approved by Owner

L. Hardwood Stakes

- 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M. Tree Ties

- Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric

- Mirafi 140-N or approved equal

O. River Stone

- Locally sourced, river rounded, unafaced river stone/cobbles.
- Size shall not exceed 3 total inches in any dimension.
- Color and texture approved by Owner
- When placed in concrete or mortar setting bed, tamp to secure and brush clear joints. Concrete or mortar as approved by owner.

III. EXECUTION

P. Site Conditions

- Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
- Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
- Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
- Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
- Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

1. Deciduous and Evergreen Trees

- Do not install/plant the following trees between September 15 and March 15
 - Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinea)
 - Dogwood (Cornus Sp.)
 - Sweetgum (Liquidambar Sp.)
 - All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

2. Deciduous and Evergreen Shrubs

- Install/plant between March 15 and June 15 and/or September 15 and November 30

3. Perennials

- Install/plant between March 15 and June 15 and/or September 15 and November 30

4. Spring Flowering Bulbs

- Install/plant between September 15 and December 15

5. Seasonal Annuals

- Install/plant in season per approved schedule

6. Turf Grass

- Install/plant between March 15 and May 15 and/or September 15 and November 30
- Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

7. No Plant Installation

- Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

C. Positioning & Location of Plantings

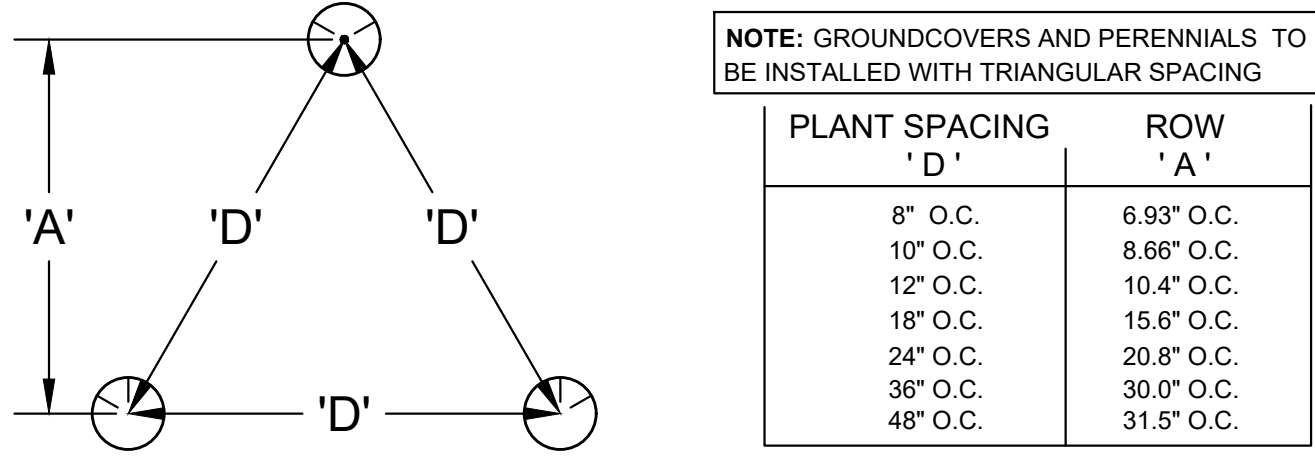
- Position plants to show the most-prominent and well-formed face to most-public view
- Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
- Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

D. Implementation

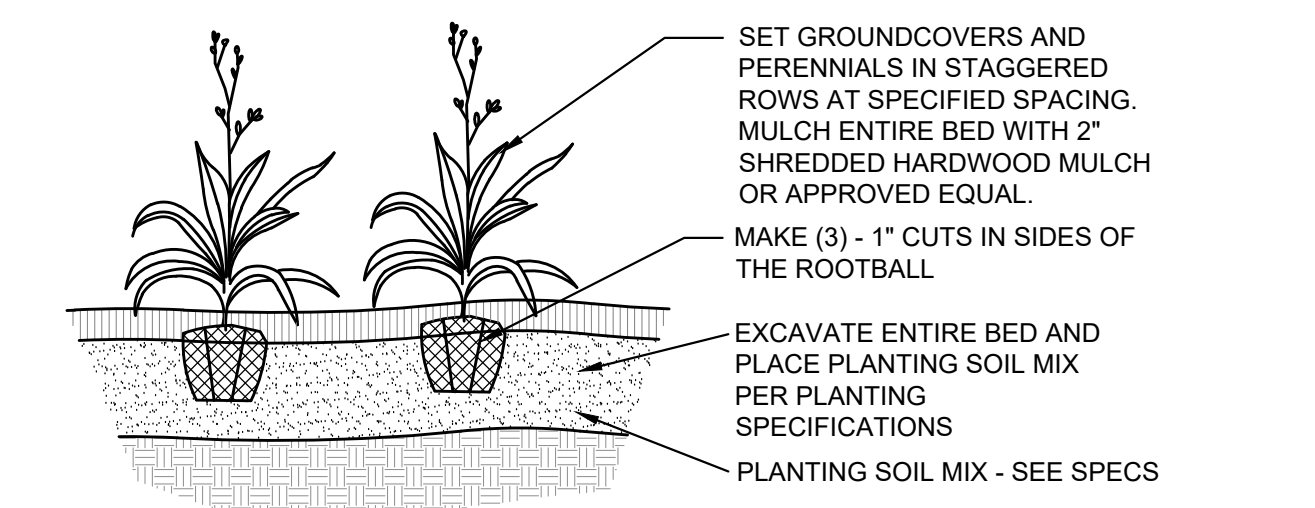
- Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
- Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
- Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
- Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
- Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up

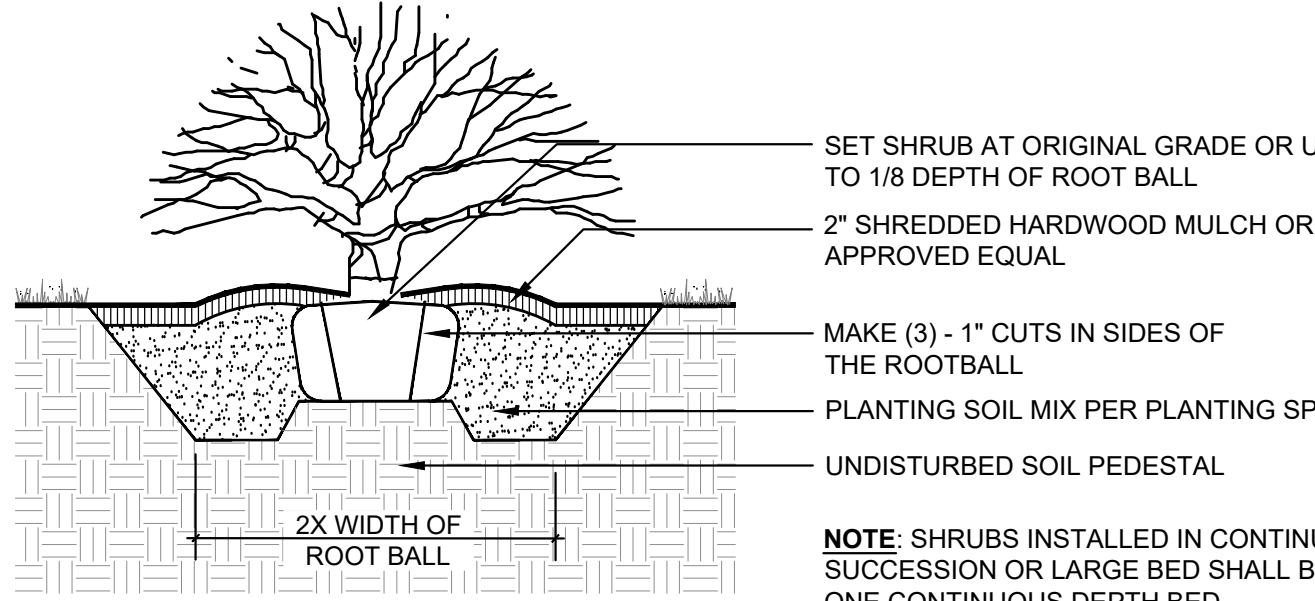
- Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.
- Repair any damage to existing conditions that occurred during execution of work.
- All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.



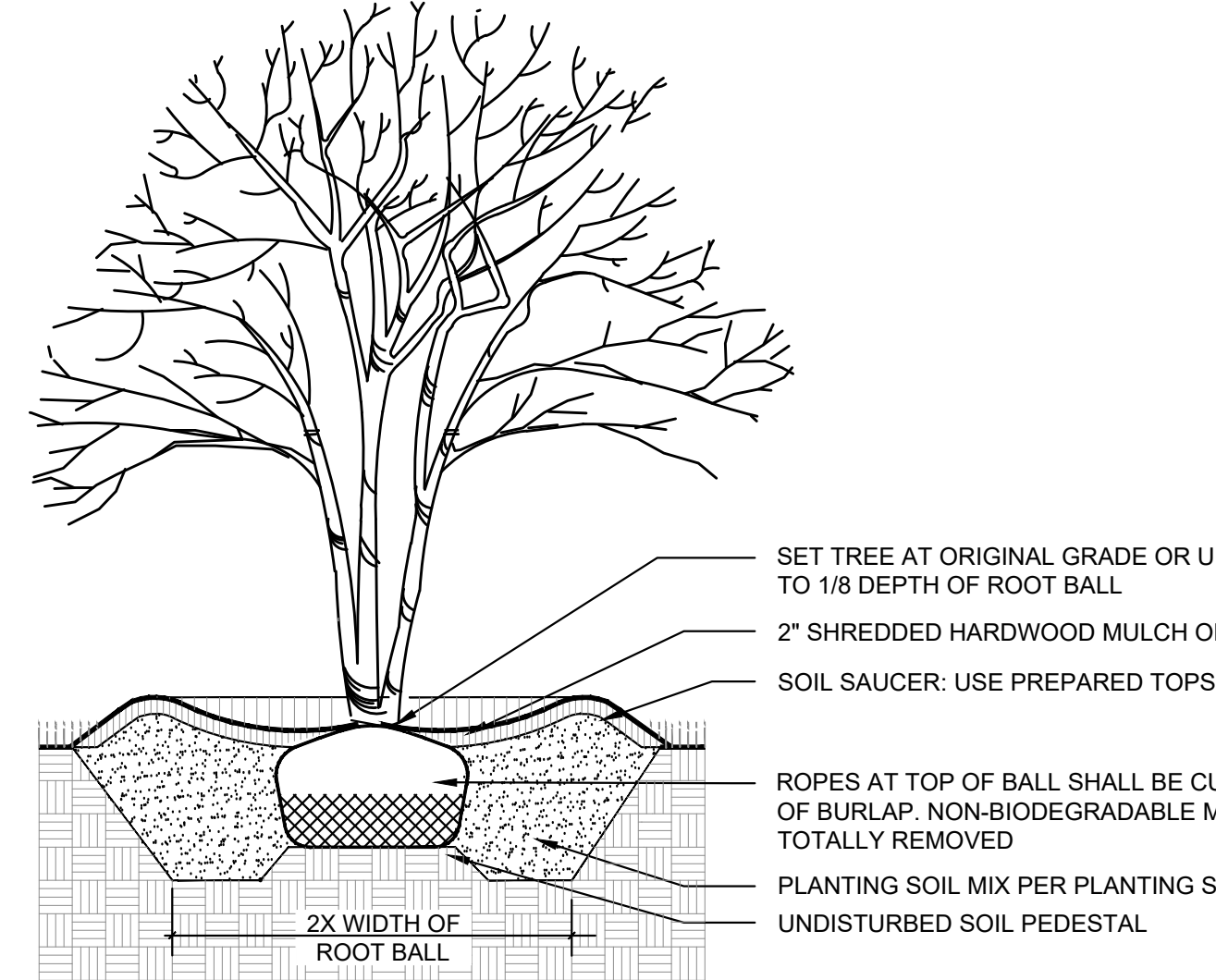
1 GROUNDCOVER SPACING
NOT TO SCALE



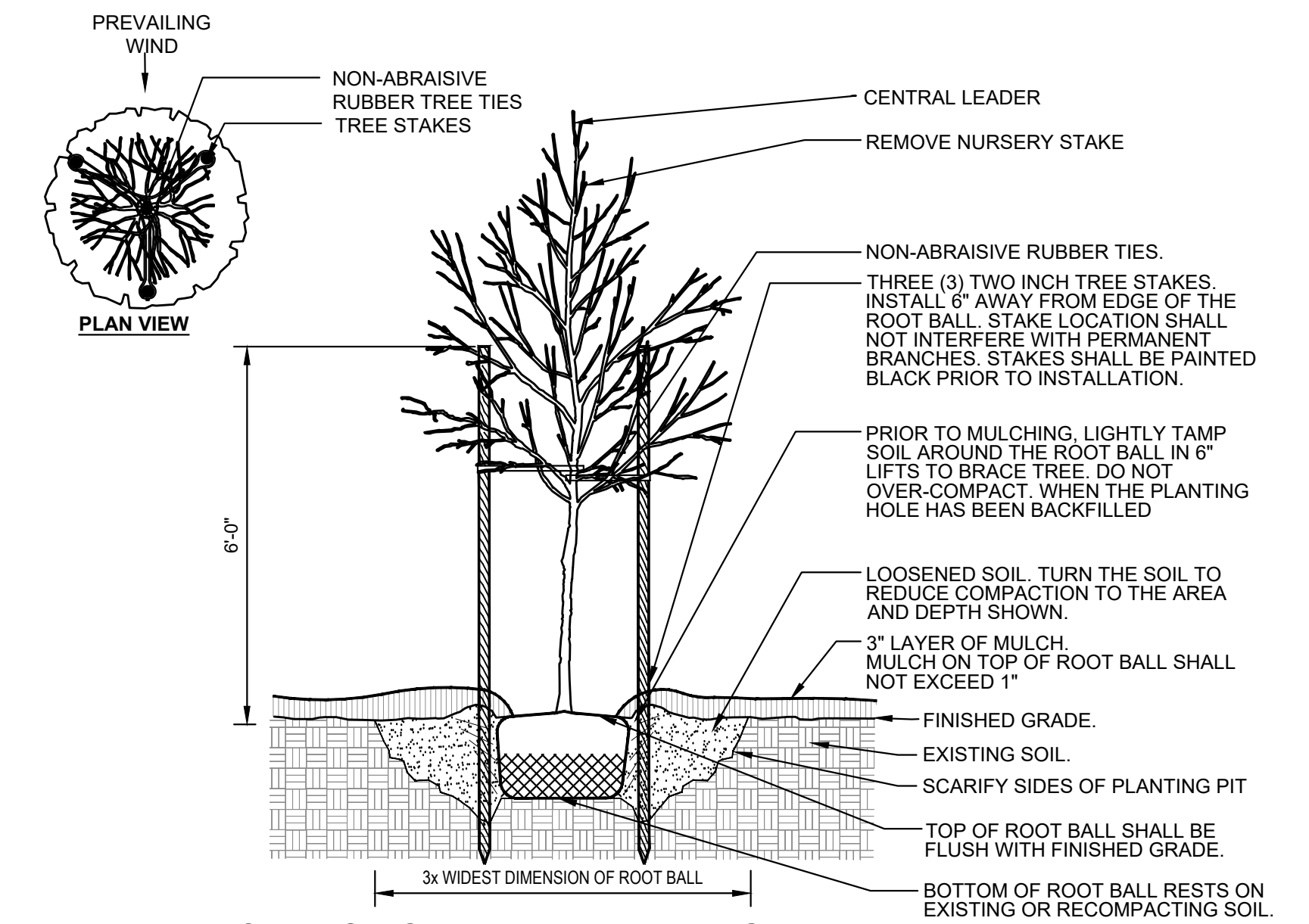
2 GROUNDCOVER PLANTING
NOT TO SCALE



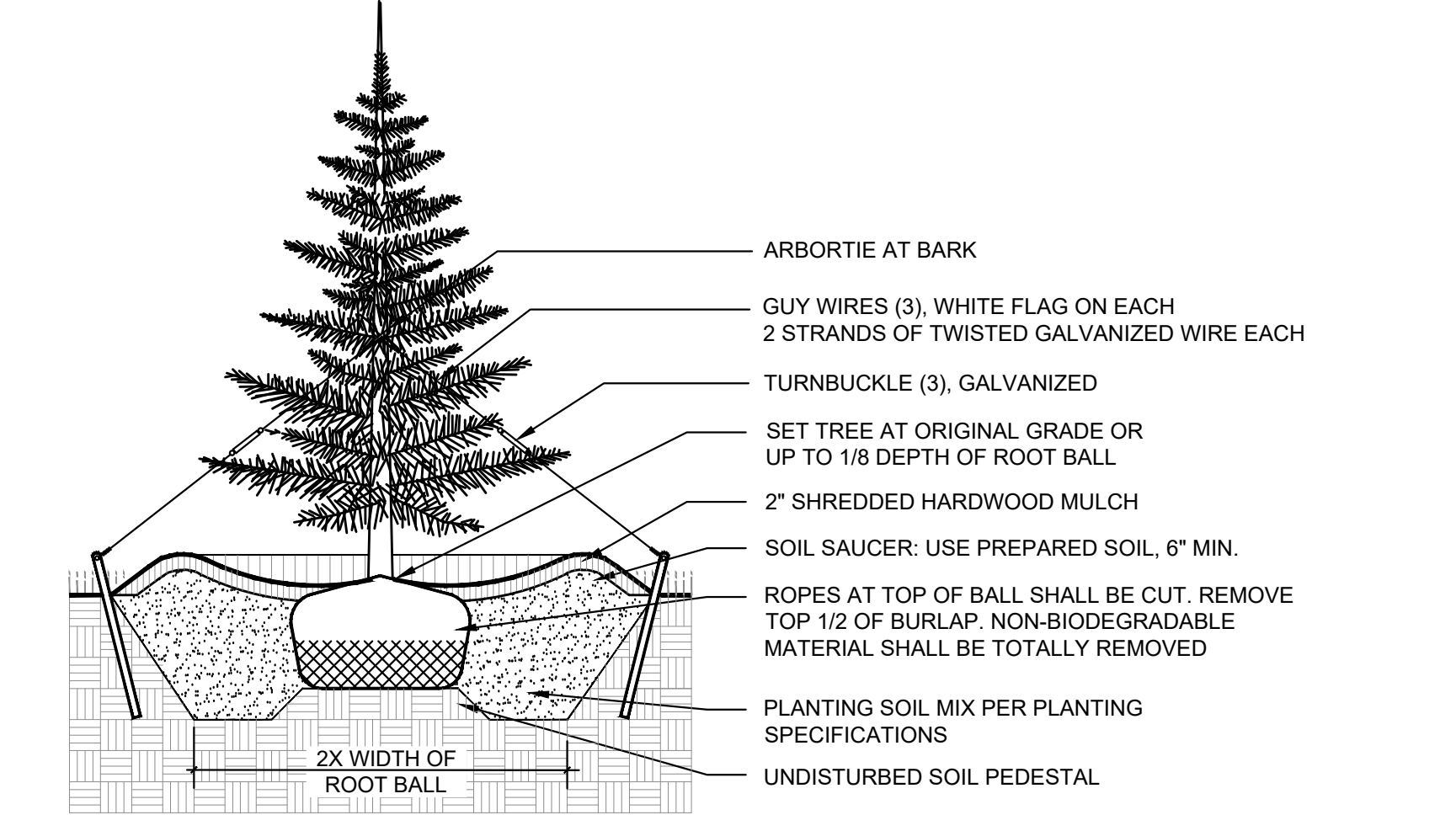
4 SHRUB PLANTING
NOT TO SCALE



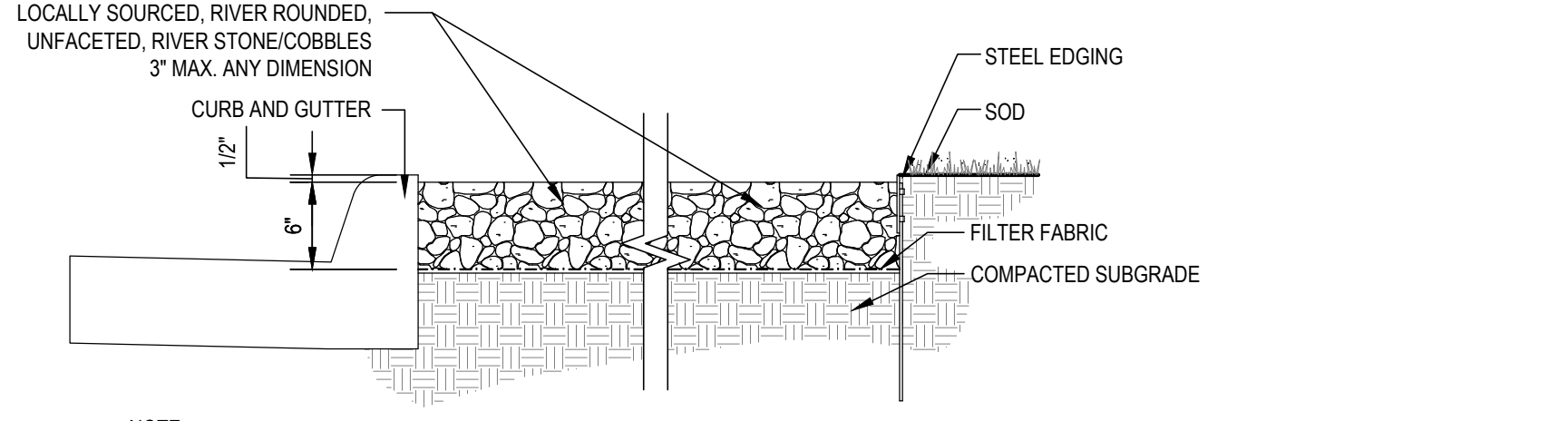
6 ORNAMENTAL TREE PLANTING
NOT TO SCALE



3 DECIDUOUS TREE PLANTING
NOT TO SCALE



5 EVERGREEN TREE PLANTING
NOT TO SCALE



7 RIVER STONE
1"=1'-0"

NO.	REVISIONS	DATE	BY

Kimley-Horn New York

© 2024 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
60 E. 42ND ST., SUITE 1600, NEW YORK, NY, 10166
WWW.KIMLEY-HORN.COM

KHA PROJECT	112213253
DATE	01/10/24
SCALE	AS SHOWN
DESIGNED BY	LTB
DRAWN BY	GH
CHECKED BY	DFL

LANDSCAPE DETAILS

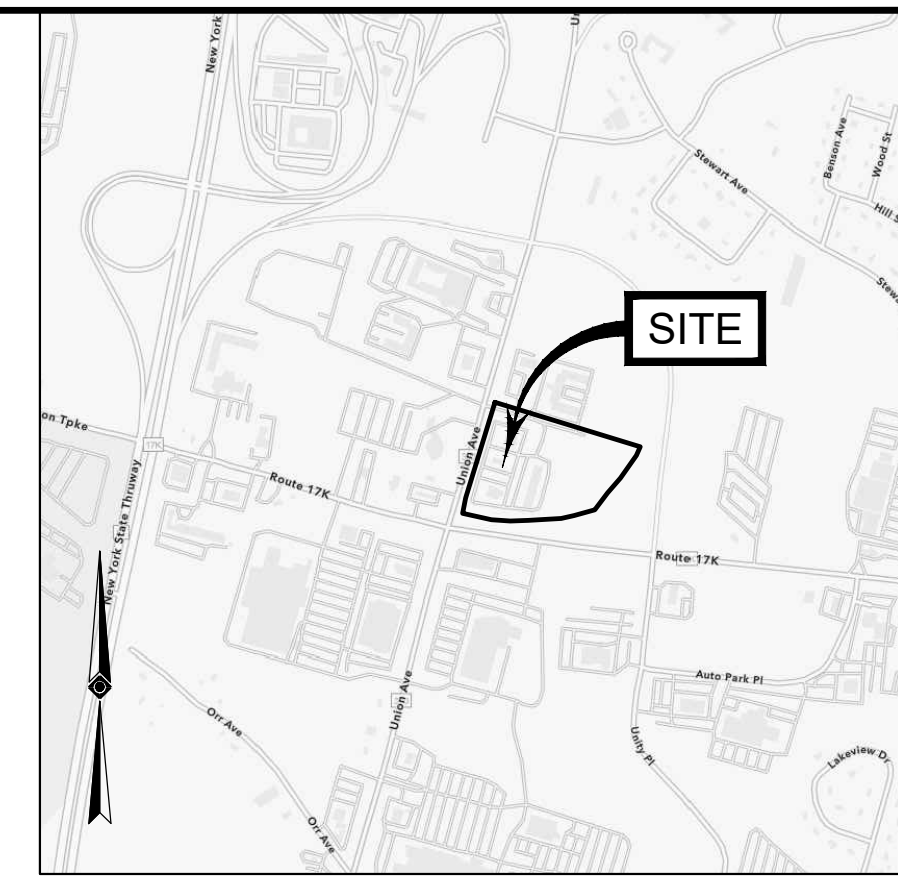
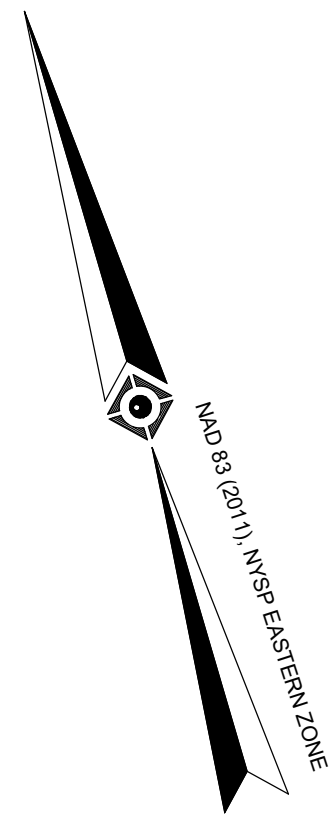
1282 UNION AVE
NEWBURGH, NY

STARBUCKS COFFEE COMPANY

2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

SHEET NUMBER
L-1.1

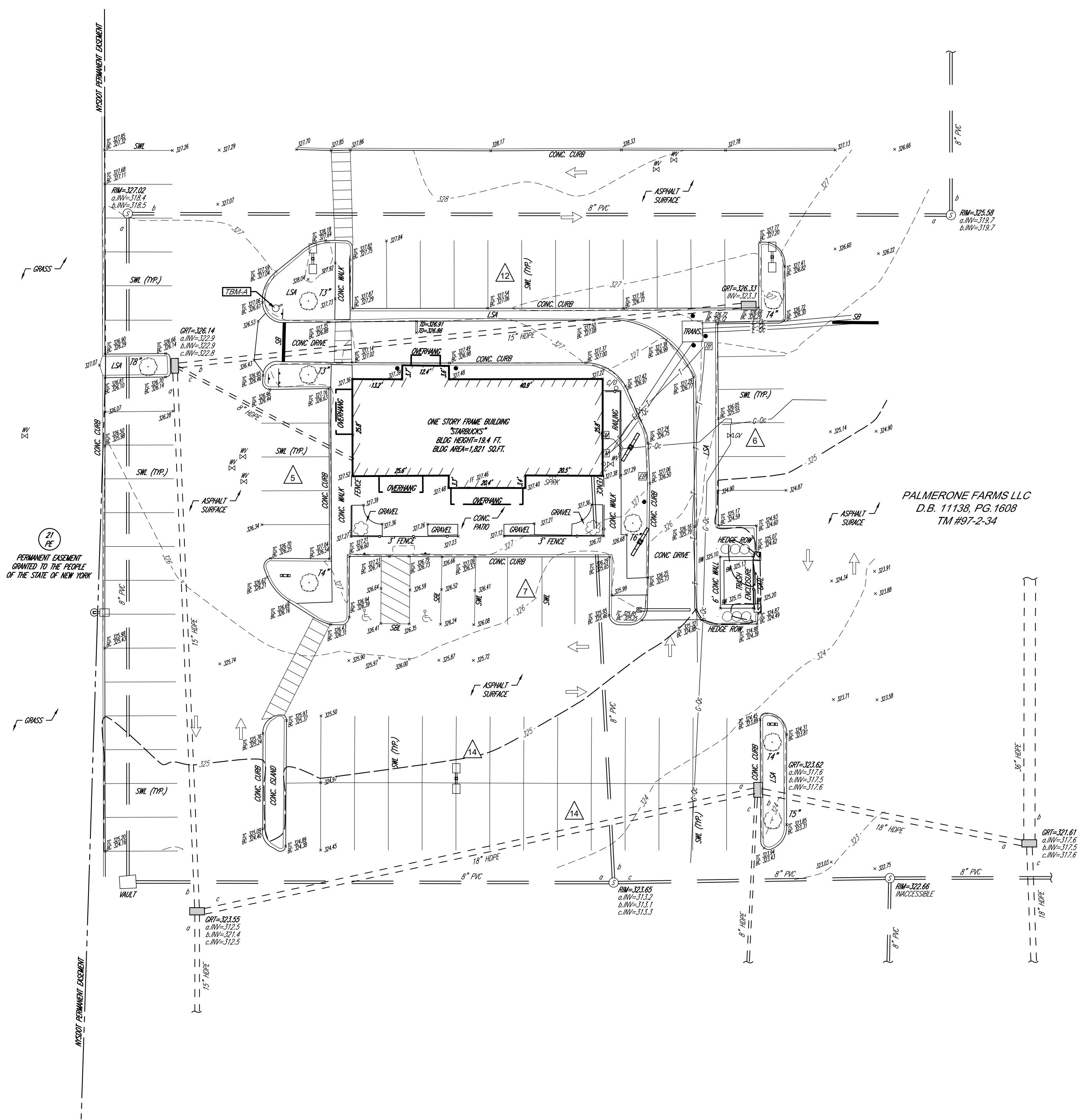
PRELIMINARY - NOT FOR CONSTRUCTION



VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)

NYS ROUTE 300
15' SIDEWALK
(ASPHALT WIDTH 10' 0")
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

TO ROUTE 17K



NOTES:

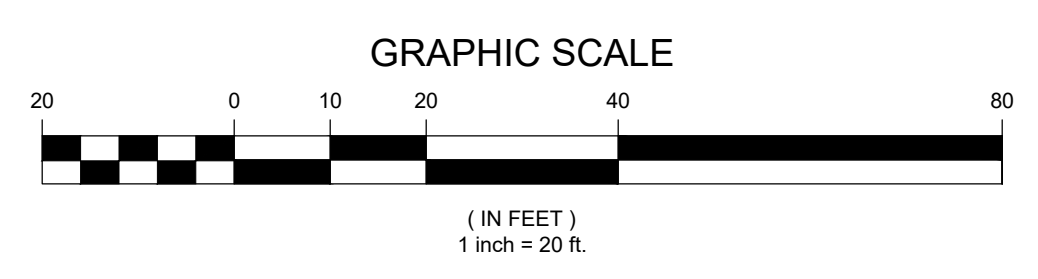
- PROPERTY KNOWN AS LOT 34, BLOCK 2, SECTION 97, TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK.
- SUBJECT PARCEL AREA = 443,429 ± SQUARE FEET OR 10.180 ± ACRES PER RECORD.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- EXISTING FIRM BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) PER MAP REF #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
TEMPORARY BENCH MARKS SET:
TBM-A: X CUT SET IN HYDRANT, ELEVATION= 392.32'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK, SECTION 97.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ORANGE COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 139 OF 630", MAP NUMBER 36071C0139E, EFFECTIVE DATE: AUGUST 3, 2009.
- NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY UNION AVENUE-ROUTE 17K CONNECTION S.H. NO. 9391 MAP NO. 18 PARCELS NO. 20 & 21, DATED JULY 19, 1985.
- MAP ENTITLED "AMENDED SUBDIVISION AND LOT LINE CHANGE FOR MARTIN MILANO & ESTATE OF MARY PALMERONE", PREPARED BY EDWARD T. ZABACK, L.L.S., FILED IN THE ORANGE COUNTY CLERKS OFFICE (OCCO) ON 8/12/1997 AS MAP #187-97.

LEGEND

---	EXISTING CONTOUR
125	EXISTING SPOT ELEVATION
* 123.45	EXIST. TOP OF CURB ELEVATION
* 80 122.95	EXIST. BOTTOM OF CURB ELEVATION
* 123.45	EXIST. FINISHED FLOOR ELEVATION
OH	OVERHEAD WIRES
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
G	APPROX. LOC. UNDERGROUND NATURAL GAS LINE
T	APPROX. LOC. UNDERGROUND TELEPHONE LINE
---	APPROX. LOC. UNDERGROUND SANITARY LINE
---	APPROX. LOC. UNDERGROUND DRAINAGE LINE
-C-	SUBSURFACE UTILITY QUALITY LEVEL C
H	HYDRANT
W	WATER VALVE
E	ELECTRIC BOX
M	ELECTRIC METER
G	GAS METER
T	TELEPHONE BOX
V	GAS VALVE
S	SPRINKLER
SM	SANITARY/SEWER MANHOLE
CB	CATCH BASINS
CP	CONDUIT PIPE
CO	CLEAN OUT
GW	GUY WIRE
UP	UTILITY POLE
PH	PAINTED HANDICAPPED
PA	PAINTED ARROWS
S	SIGN
B	BOLLARD
CB	CLEARANCE BAR
MB	MENU BOARD
AL	AREA LIGHT
DT	DECIDUOUS TREE & TRUNK SIZE
SR	SHRUBS
10	PARKING SPACE COUNT
BL	BUILDING
LSA	LANDSCAPED AREA
SB	STOP BAR
SW	SOLID WHITE LINE
SB	SOLID BLUE LINE
TP	TYPICAL
U	UNKNOWN TERMINUS



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

FIELD DATE	07-05-2023	PARTIAL TOPOGRAPHIC SURVEY			
FIELD BOOK NO.	23-5	1282 UNION AVENUE			
FIELD BOOK PG.	15	TM #97-2-34			
FIELD CREW	D.L.B.W.	TOWN OF NEWBURGH			
DRAWN:	L.G.K.	ORANGE COUNTY, STATE OF NEW YORK			
REVIEWED:	J.J.L.	CONTROL POINT ASSOCIATES INC PC			
APPROVED:	J.J.L.	35 AVIATION ROAD			
DATE	07-18-2023	ALBANY, NY 12205			
SCALE	1" = 20'	518.217.5010 - 908.668.9595 FAX			
FILE NO.	09-230222	WWW.CPASURVEY.COM			
DWG. NO.	1 OF 1	WARREN, NY 908.668.0000			
		ALBANY, NY 908.668.0000			
		MANHATTAN, NY 908.668.0000			
		ROCHESTER, NY 908.668.0000			
		SOUTH PLACEMAN, NY 908.668.0000			
		WESTCHESTER, NY 908.668.0000			
		YONKERS, NY 908.668.0000			

CONTROL POINT ASSOCIATES INC PC - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES INC. IS PROHIBITED.