

Full Size Site Plans

are available for viewing at the

Zoning Board of Appeals

Office located at

308 Gardnertown Road

Newburgh, NY

845-566-4901

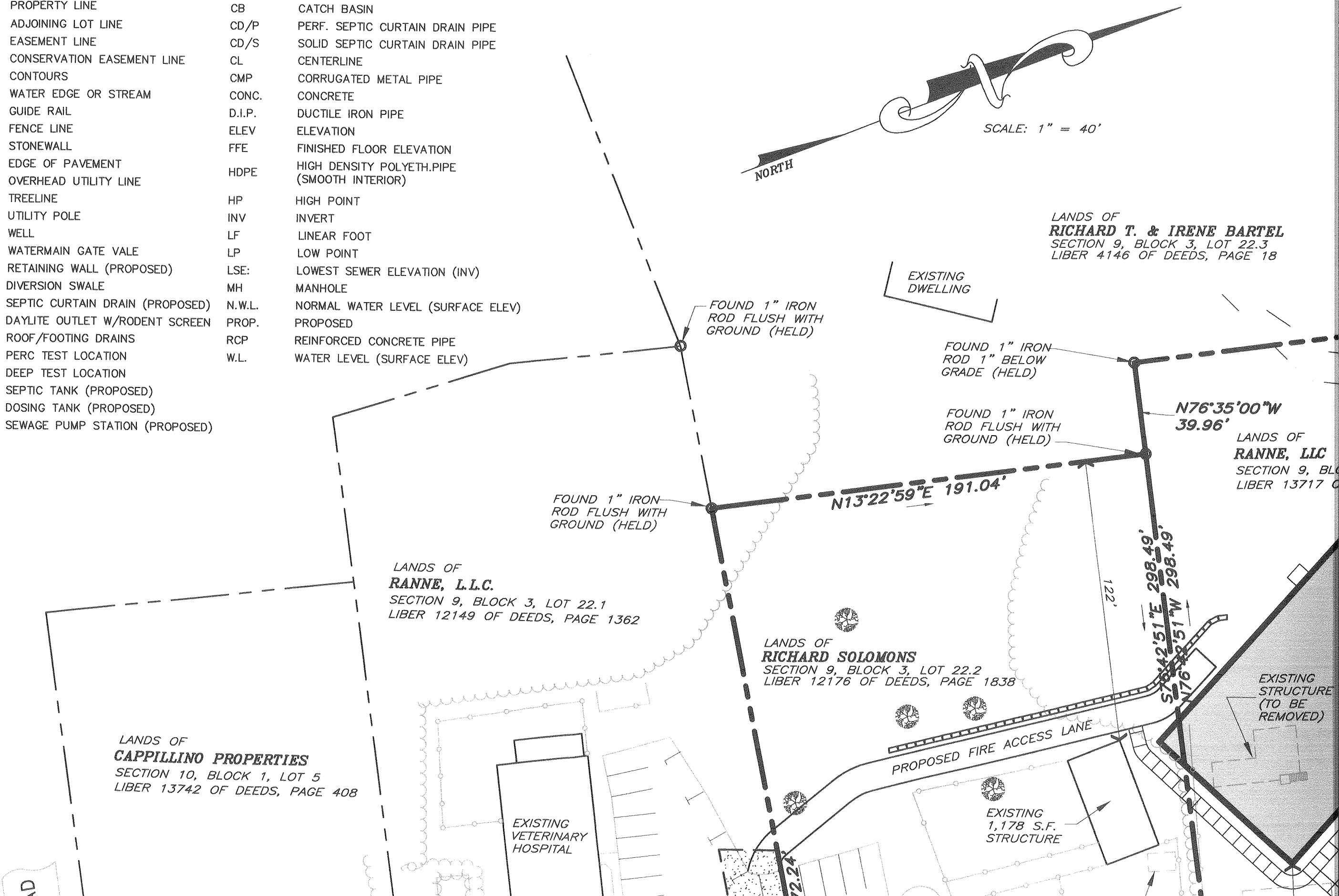
LEGEND

SYMBOLS

	PROPERTY LINE
	ADJOINING LOT LINE
	EASEMENT LINE
	CONSERVATION EASEMENT LINE
	CONTOURS
	WATER EDGE OR STREAM
	GUIDE RAIL
	FENCE LINE
	STONEWALL
	EDGE OF PAVEMENT
	OVERHEAD UTILITY LINE
	TREELINE
	UTILITY POLE
	WELL
	WATERMAIN GATE VALE
	RETAINING WALL (PROPOSED)
	DIVERSION SWALE
	SEPTIC CURTAIN DRAIN (PROPOSED)
	DAYLITE OUTLET W/RODENT SCREEN
	ROOF/FOOTING DRAINS
	PERC TEST LOCATION
	DEEP TEST LOCATION
	SEPTIC TANK (PROPOSED)
	DOSING TANK (PROPOSED)
	SEWAGE PUMP STATION (PROPOSED)

ABBREVIATIONS

CB	CATCH BASIN
CD/P	PERF. SEPTIC CURTAIN DRAIN PIPE
CD/S	SOLID SEPTIC CURTAIN DRAIN PIPE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
D.I.P.	DUCTILE IRON PIPE
ELEV	ELEVATION
FFE	FINISHED FLOOR ELEVATION
HDPE	HIGH DENSITY POLYETH.PIPE (SMOOTH INTERIOR)
HP	HIGH POINT
INV	INVERT
LF	LINEAR FOOT
LP	LOW POINT
LSE:	LOWEST SEWER ELEVATION (INV)
MH	MANHOLE
N.W.L.	NORMAL WATER LEVEL (SURFACE ELEV)
PROP.	PROPOSED
RCP	REINFORCED CONCRETE PIPE
W.L.	WATER LEVEL (SURFACE ELEV)



LIST OF DRAWINGS

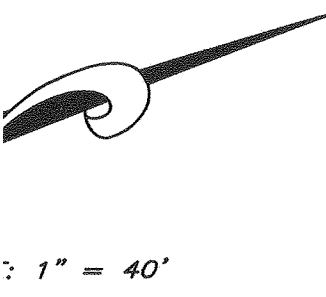
ZBA	DWG	TITLE
ZBA1	SP1	ZONING DATA AND BOUNDARY PLAN
	SP2	EXISTING CONDITIONS & DEMOLITION PLAN
ZBA2	SP3	SITE PLAN
	SP4	LIGHTING & LANDSCAPE PLAN
	SP5	SITE DETAILS 1
	SP6	SITE DETAILS 2
	SP7	SEPTIC DETAILS 1
	SP8	SEPTIC DETAILS 2
	ES1	SWPPP NOTES
	ES2	EROSION CONTROL DETAILS
	ES3	EROSION AND SEDIMENT CONTROL PLAN
	ES4	STORM WATER MANAGEMENT FACILITY PLAN



LOCATION MAP
SCALE: 1" = 2000'

PARCEL / OWNER DATA

APPLICANT	RIC 5349 NEWBURGH, NY
RECORD OWNERSRIC 5349 NEWBURGH, NY
TAX MAP REFERENCE	SECTION 9, BLOCK 3, LOT 23 SECTION 9, BLOCK 3, LOT 24
PARCEL ADDRESS	5349 & NEWBURGH, NY



1" = 40'

LANDS OF
RICHARD T. & IRENE BARTEL
SECTION 9, BLOCK 3, LOT 22.3
LIBER 4146 OF DEEDS, PAGE 18

IRON
LOW
(D)

IRON
WITH
(IELD)

N76°35'00"W
39.96'

LANDS OF
RANNE, LLC
SECTION 9, BLOCK 3, LOT 23
LIBER 13717 OF DEEDS, PAGE 1584

FOUND 1" IRON
ROD 5" ABOVE
GRADE (HELD)

LANDS OF
**ANTHONY C. MORIELLO
EDITH CAMILLO**
SECTION 9, BLOCK 3, LOT 29.23
LIBER 1653 OF DEEDS, PAGE 75

**PROPOSED 11,584 S.F.
PET HOTEL AND DAY
CARE FACILITY**

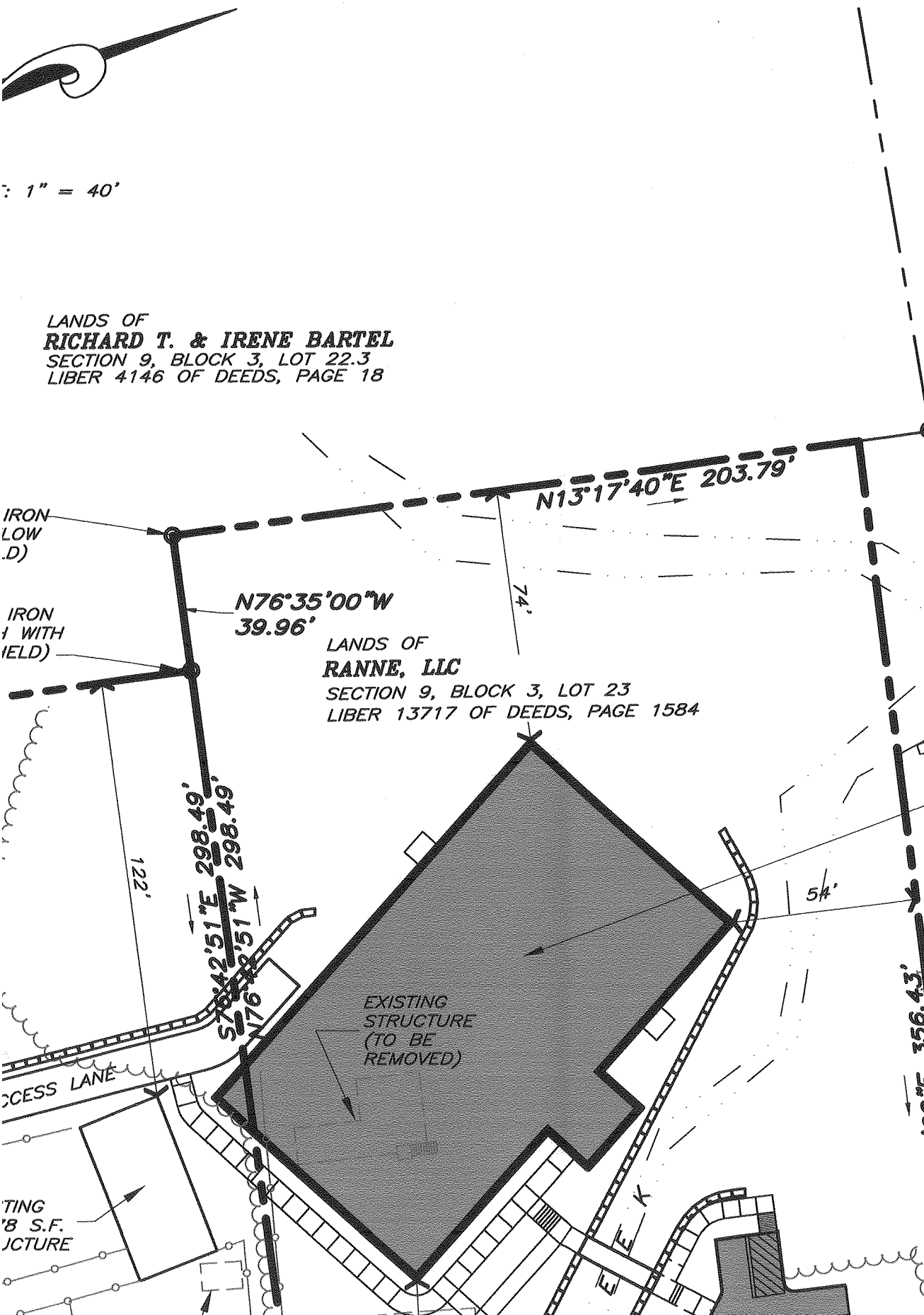
EXISTING
STRUCTURE
(TO BE
REMOVED)

EXISTING
SHED

LANDS OF
VINCENT YONNONE
SECTION 9, BLOCK 3, LOT 24
LIBER 4904 OF DEEDS, PAGE 237

ACCESS LANE

TING
'8 S.F.
CTURE



LIST OF DRAWINGS

ZBA	DWG	TITLE
ZBA1	SP1	ZONING DATA AND BOUNDARY PLAN
	SP2	EXISTING CONDITIONS & DEMOLITION PLAN
ZBA2	SP3	SITE PLAN
	SP4	LIGHTING & LANDSCAPE PLAN
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	SP8	SEPTIC DETAILS 2
	ES1	SWPPP NOTES
	ES2	EROSION CONTROL DETAILS
	ES3	EROSION AND SEDIMENT CONTROL PLAN
	ES4	STORM WATER MANAGEMENT FACILITY PLAN

203.79'

FOUND 1" IRON ROD 5" ABOVE GRADE (HELD)

LANDS OF
ANTHONY C. MORIELLO
EDITH CAMILLO
SECTION 9, BLOCK 3, LOT 29.23
LIBER 1653 OF DEEDS, PAGE 75

PROPOSED 11,584 S.F.
PET HOTEL AND DAY
CARE FACILITY

54'

EXISTING SHED

S76°08'09"E 356.43'

LANDS OF
VINCENT YONNONE
SECTION 9, BLOCK 3, LOT 24
LIBER 4904 OF DEEDS, PAGE 237



LOCATION MAP

SCALE: 1" = 2000'

PARCEL / OWNER DATA

APPLICANT. RICHARD SOLOMONS
5349 U.S. ROUTE 9W
NEWBURGH, NY 12550

RECORD OWNERS RICHARD SOLOMONS
5349 U.S. ROUTE 9W
NEWBURGH, NY 12550
(9-3-22.2)

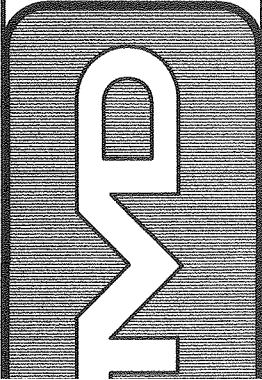
RANNE, LLC
5349 U.S. ROUTE 9W
NEWBURGH, NY 12550
(9-3-23)

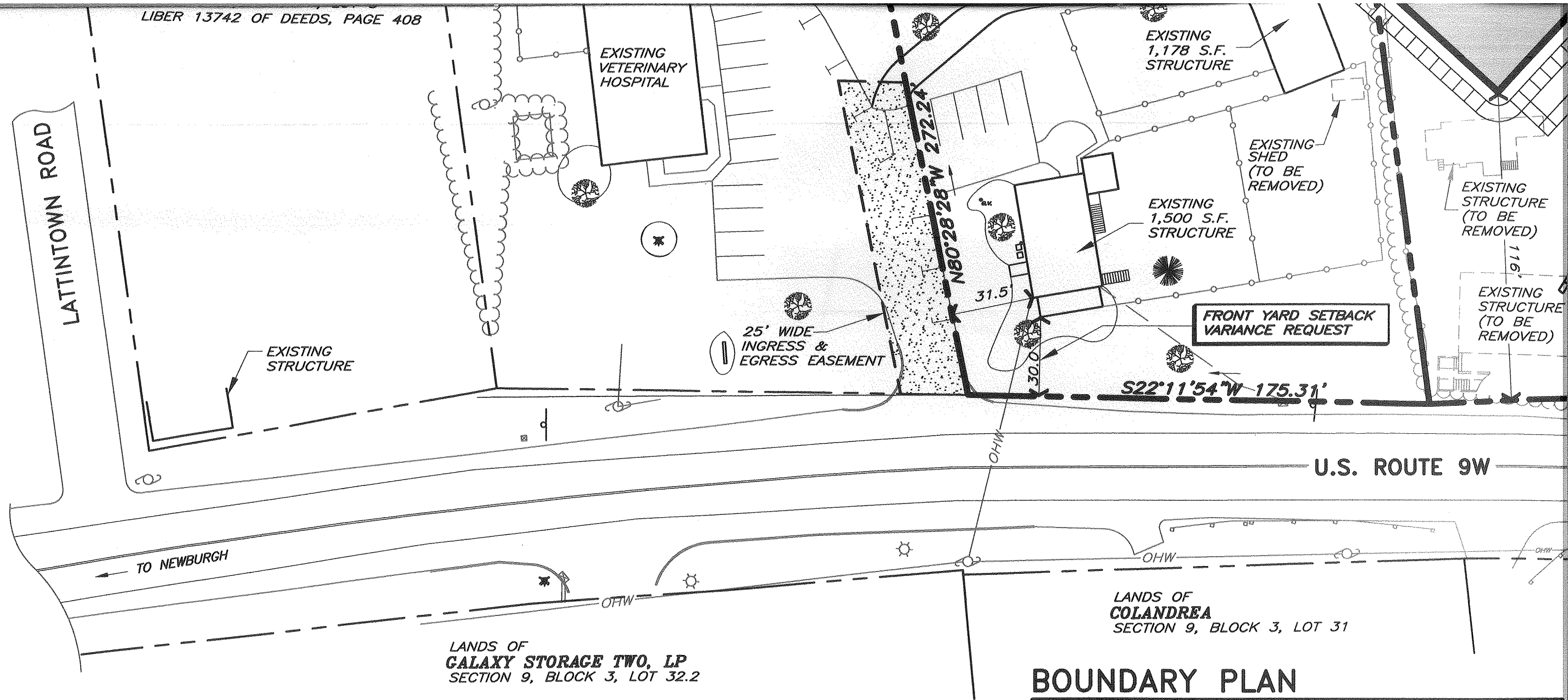
TAX MAP REFERENCE. SECTION 9, BLOCK 3, LOT 22.2
SECTION 9, BLOCK 3, LOT 23

PARCEL ADDRESS 5349 & 5359 ROUTE 9W
NEWBURGH NEW YORK 12550

NO.	DATE	DESCRIPTION	BY

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229
TMDEPUY@TMDEPUY.COM





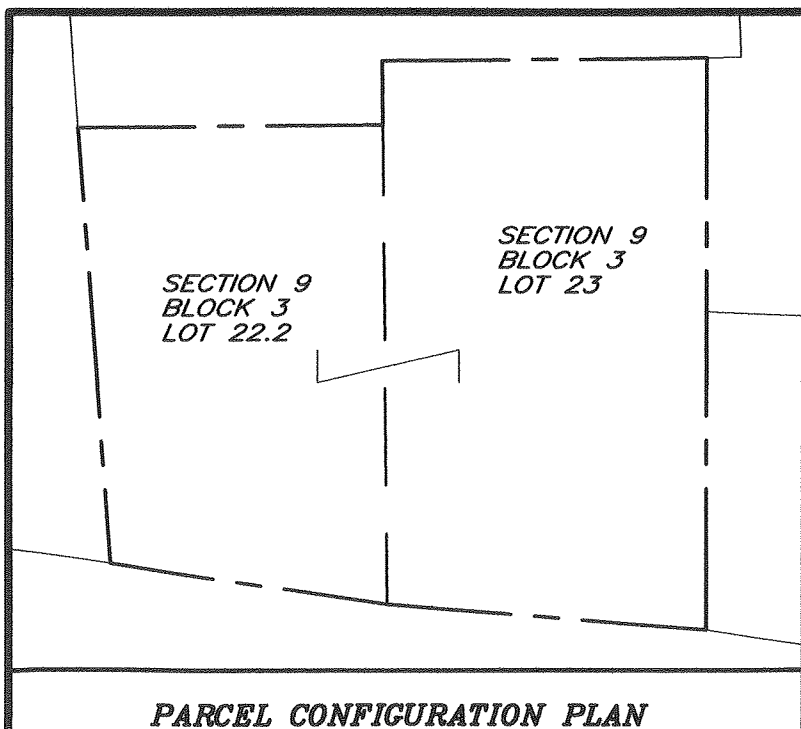
BOUNDARY PLAN

SCALE: 1" = 40'

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"Only copies from the original tracing of this survey map marked with the Land Surveyor's seal in red with original signature shall be considered valid, true copies."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware-Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."



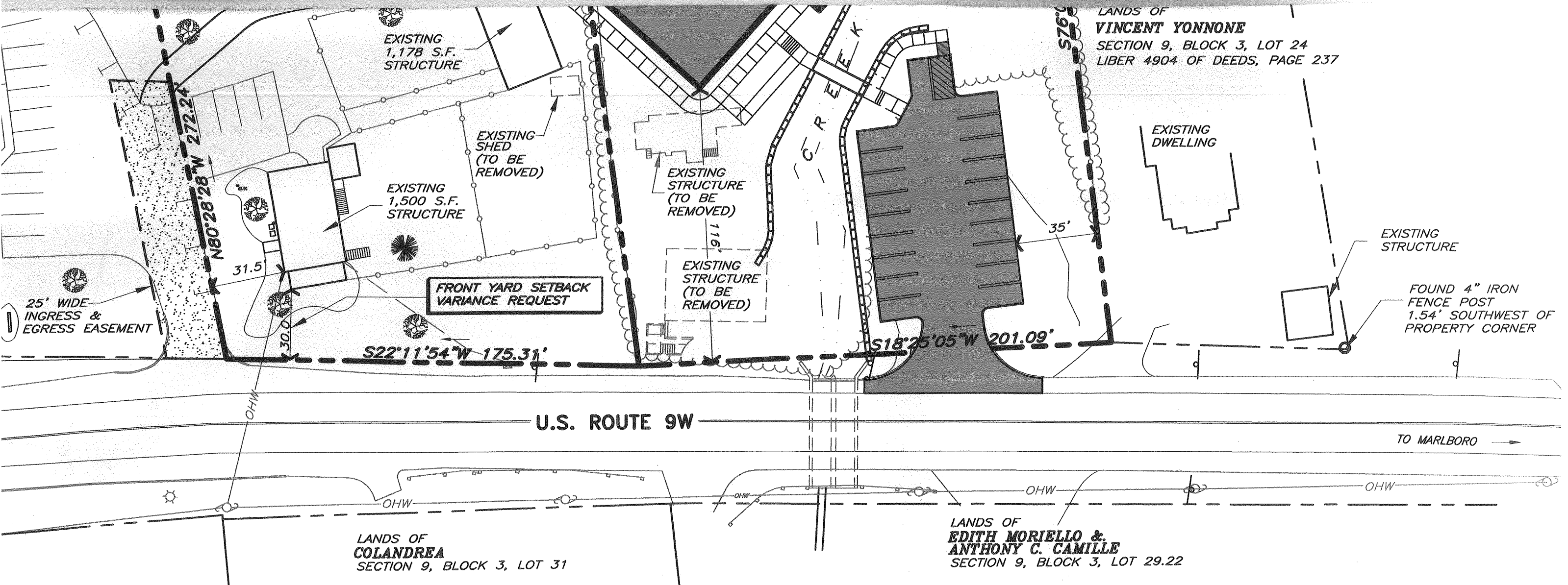
PARCEL CONFIGURATION PLAN

OWNERS ENDORSEMENT

I GRANT MY APPROVAL TO THE FILING OF THESE PLANS IN THE ORANGE COUNTY CLERK'S OFFICE

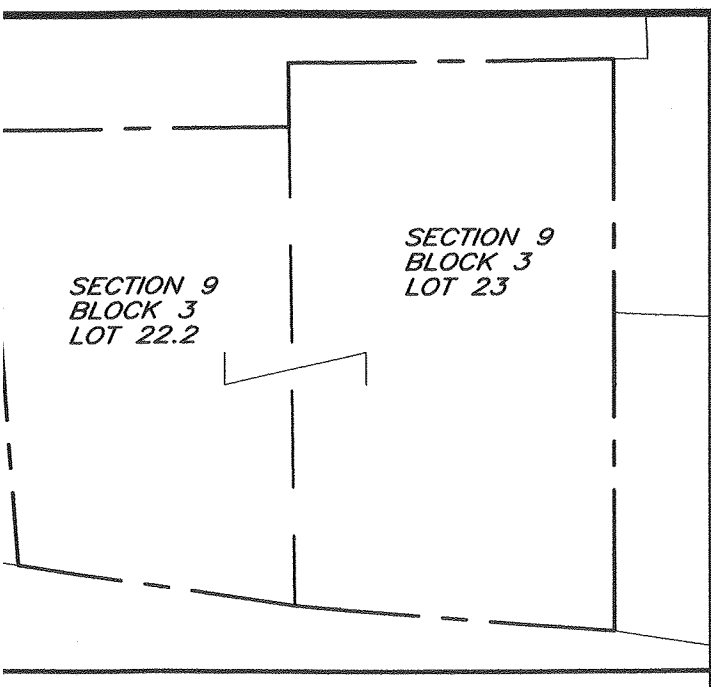
Owner _____

Owner _____



BOUNDARY PLAN

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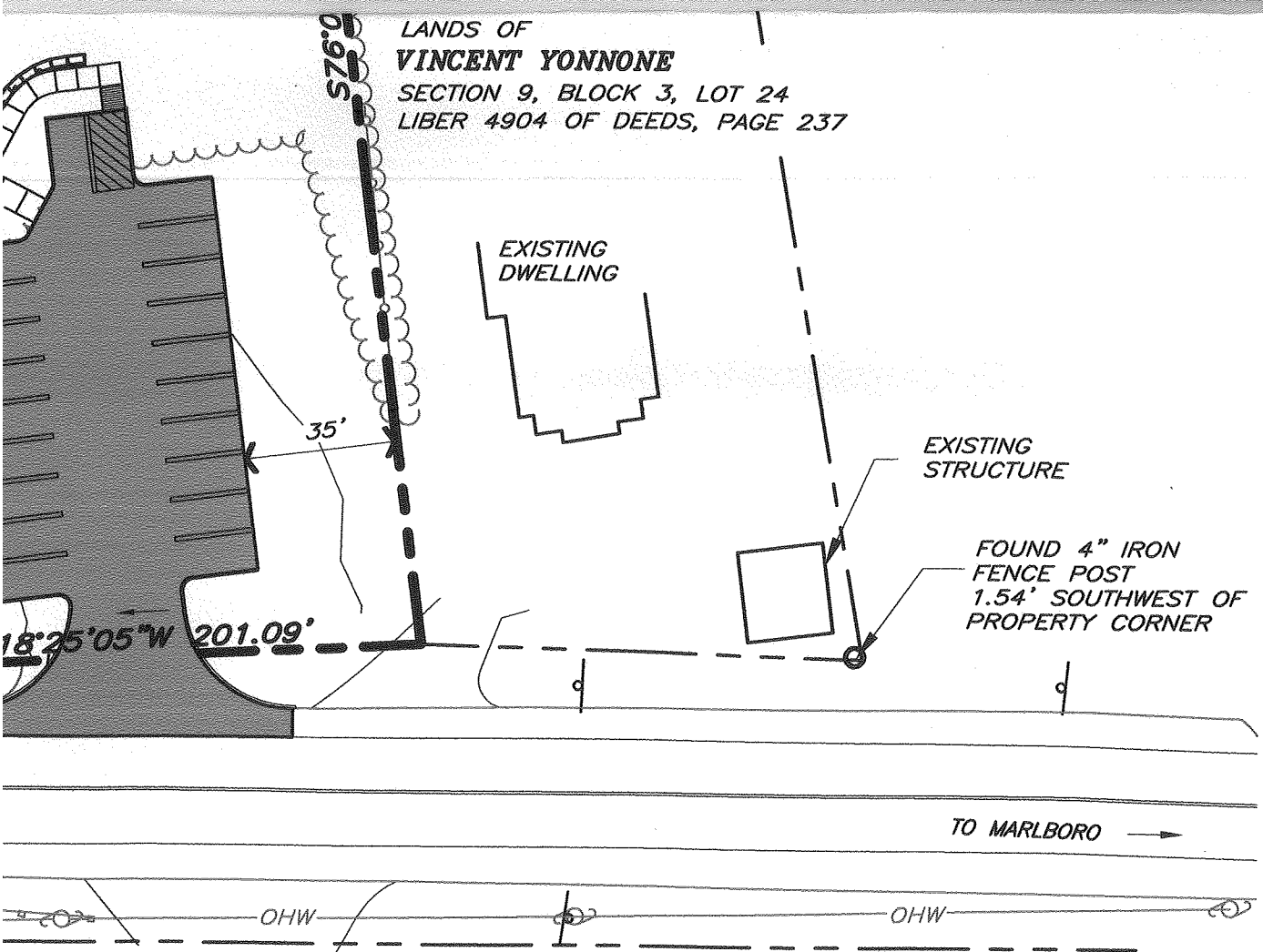
OWNERS ENDORSEMENT

I GRANT MY APPROVAL TO THE FILING OF THESE PLANS IN THE ORANGE COUNTY CLERK'S OFFICE

Owner _____ Date _____

Owner _____ Date _____

ZONING DATA TABLE		
TOWN OF NEWBURGH - (B) BUSINESS ZONE		
ITEM	REQUIREMENTS	PROPOSED
1. BUILDING USE	D-17 VET OFFICE/RELATED SERVICES	(SAME)
2. LOT AREA	40,000 S.F.	2.801 ACRES (122,012 S.F.)
3. LOT WIDTH	150'	376'
4. LOT DEPTH	150'	272'
5. BUILDING SETBACKS		
o FRONT YARD	40'	30' (EXIST)
o REAR YARD	40'	74' (PROPOSED)
o ONE SIDE YARD	30'	31.5' (EXIST)
o BOTH SIDE YARDS	60'	85.5'
6. BUILDING HEIGHT	35 FEET	LESS THAN 35'
7. OFF STREET PARKING (§185-13)		
	10,000 SF (E.A.) = 6.7 NEW BLD	
	1 SPACE/ 1,500 SF	
	1,584 SF (L&O) = 7.9 NEW BLD	
	1 SPACE/ 200 SF	
o ANIMAL HOSPITAL		4 EXISTING SPACES 20 SPACES



LANDS OF
VINCENT YONNONE
SECTION 9, BLOCK 3, LOT 24
LIBER 4904 OF DEEDS, PAGE 237

LANDS OF
**EDITH MORIELLO &
ANTHONY C. CAMILLE**
SECTION 9, BLOCK 3, LOT 29.22

5349 U.S. ROUTE 9W
NEWBURGH, NY 12550
(9-3-23)

TAX MAP REFERENCE SECTION 9, BLOCK 3, LOT 22.2
SECTION 9, BLOCK 3, LOT 23

PARCEL ADDRESS 5349 & 5359 ROUTE 9W
NEWBURGH, NEW YORK 12550

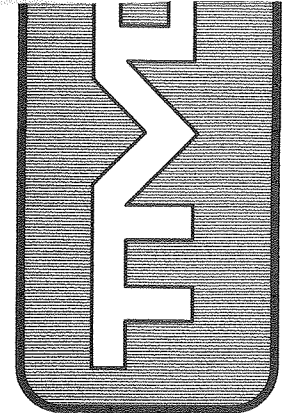
DEED REFERENCE LIBER 12,176, PAGE 1,838 (9-3-22.2)
LIBER 13,717, PAGE 1584 (9-3-23)

PARCEL AREA 1.189 ACRES (9-3-22.2)
1.612 ACRES (9-3-23)

EXISTING ZONINGB (BUSINESS)

SURVEY AND PARCEL NOTES

1. MAP REFERENCE: NYSDOT "SHEET NO. 5 & SHEET NO. 6, NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED JANUARY 15, 1910.
2. FIELD NOTE REFERENCE: NYSDOT FIELD NOTES FOR "NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
3. MAP REFERENCE: NYSDOT "NEWBURGH-CEDAR HILL CEMETERY S.H. 5007" SHEET NO. 15 OF 24, DATED JULY 9, 1928.
4. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
5. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
6. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
7. MAP REFERENCE: NYSDOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
8. MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
9. MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRINNIER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
10. CONDITIONAL WITH THIS SITE PLAN APPROVAL IS THE PROPOSED LAND CONSOLIDATION OF TWO (2) SEPARATE TAX PARCELS INTO ONE (1) SINGLE PARCEL. THE OWNER OF TAX PARCEL SECTION 9, BLOCK 3, LOT 22.2 (SOLOMONS) HAS PURCHASED TAX PARCEL SECTION 9, BLOCK 3, LOT 23 (RANNE, LLC).
11. DRINKING WATER TO THE PROPERTY IS SUPPLIED BY THE TOWN OF NEWBURGH MUNICIPAL WATER SYSTEM.
12. SANITARY SEWAGE DISPOSAL FOR THE PROPOSED BUILDING IS BY AN ON-SITE SYSTEM.



**PROPOSED PET HOTEL
AND DAY CARE FACILITY**

NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



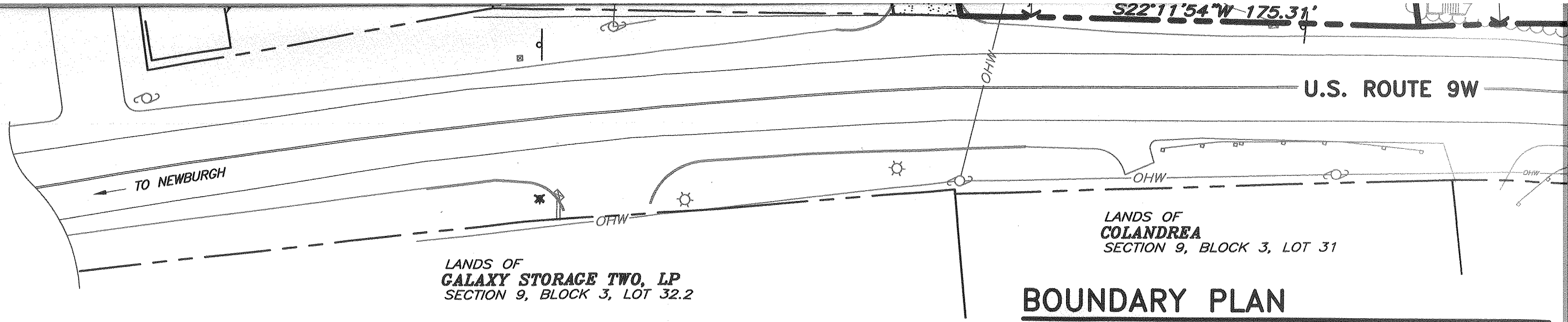
TITLE
**ZONING DATA
AND
BOUNDARY
DIAGRAM**

ZONING DATA TABLE

TOWN OF NEWBURGH - (B) BUSINESS ZONE

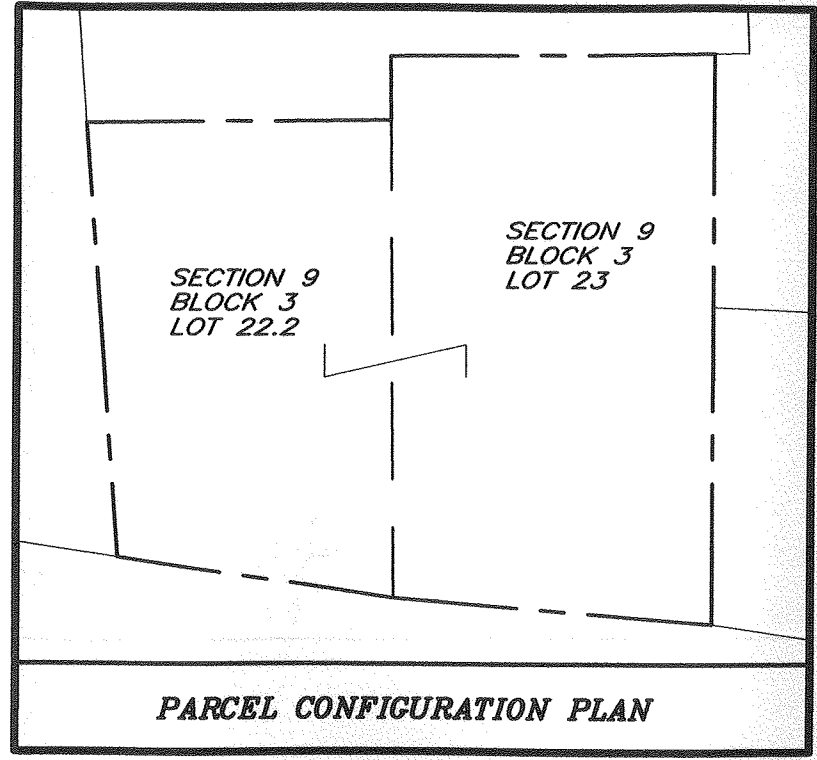
ITEM	REQUIREMENTS	PROPOSED
BUILDING USE	D-17 VET OFFICE/RELATED SERVICES	(SAME)
TOTAL AREA	40,000 S.F.	2.801 ACRES (122,012 S.F.)
TOTAL WIDTH	150'	376'
TOTAL DEPTH	150'	272'
BUILDING SETBACKS		
FRONT YARD	40'	30' (EXIST)
REAR YARD	40'	74' (PROPOSED)
ONE SIDE YARD	30'	31.5' (EXIST)
BOTH SIDE YARDS	60'	85.5'
BUILDING HEIGHT	35 FEET	LESS THAN 35'
OFF STREET PARKING (8185-13)	10,000 SF (E.A.) = 6.7 NEW BLD 1 SPACE/ 1,500 SF 1,584 SF (L&O) = 7.9 NEW BLD 1 SPACE/ 200 SF	4 EXISTING SPACES 20 SPACES





BOUNDARY PLAN

SCALE: 1" = 40'



OWNERS ENDORSEMENT

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Owner _____ Date _____

Owner _____ Date _____

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I hereby certify to RANNE, LLC and the Town of Newburgh that this survey map is the result of an actual field survey prepared by T.M. DePuy Engineering & Land Surveying, P.C. on June 26, 2012.

THOMAS M. DEPUY, L.S., NYS License #049783

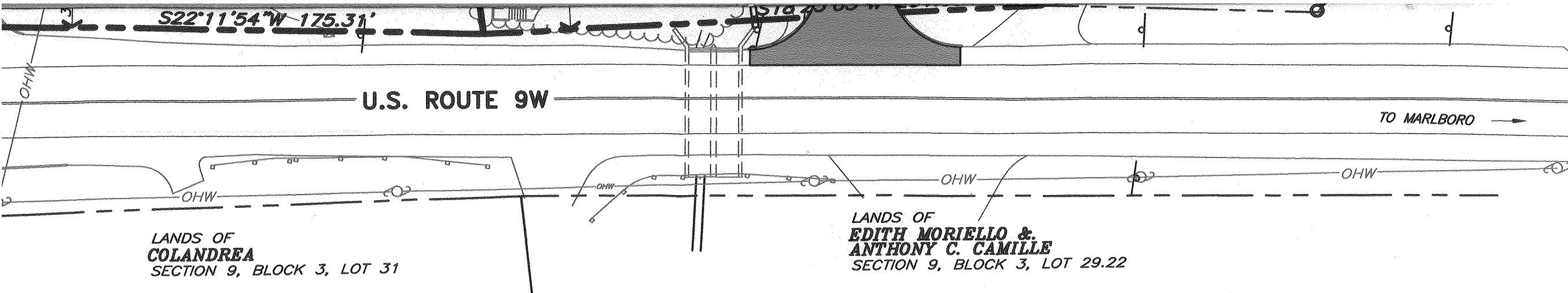
PARCEL CONSOLIDATION TABLE (SEE NOTE 10)

TAX PARCEL	FILED DEED	RECORD OWNER	PARCEL AREA
SECTION 9 BLOCK 3 LOT 22.2	LIBER 12176 PAGE 1838	RICHARD SOLOMONS	1.189 ACRES +/-
SECTION 9 BLOCK 3 LOT 23	LIBER 13717 PAGE 1584	RANNE, LLC	1.612 ACRES +/-
CONSOLIDATED PARCEL AREA			2.801 ACRES +/-

LENGTH FIVE
 WIDTH SIX
 AREA FORTY

AREA
 PERIMETER
 DISTANCE

SCALE 1" = 40'



BOUNDARY PLAN

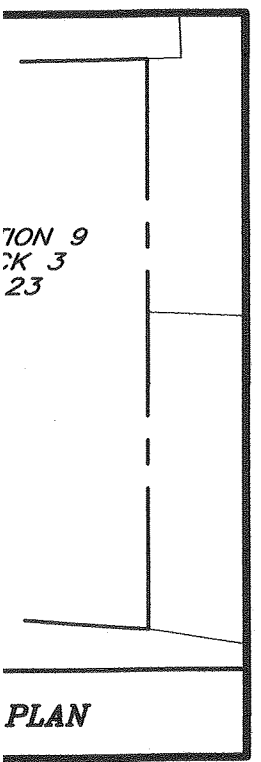
SCALE: 1" = 40'

OWNERS ENDORSEMENT

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Owner Date

Owner Date



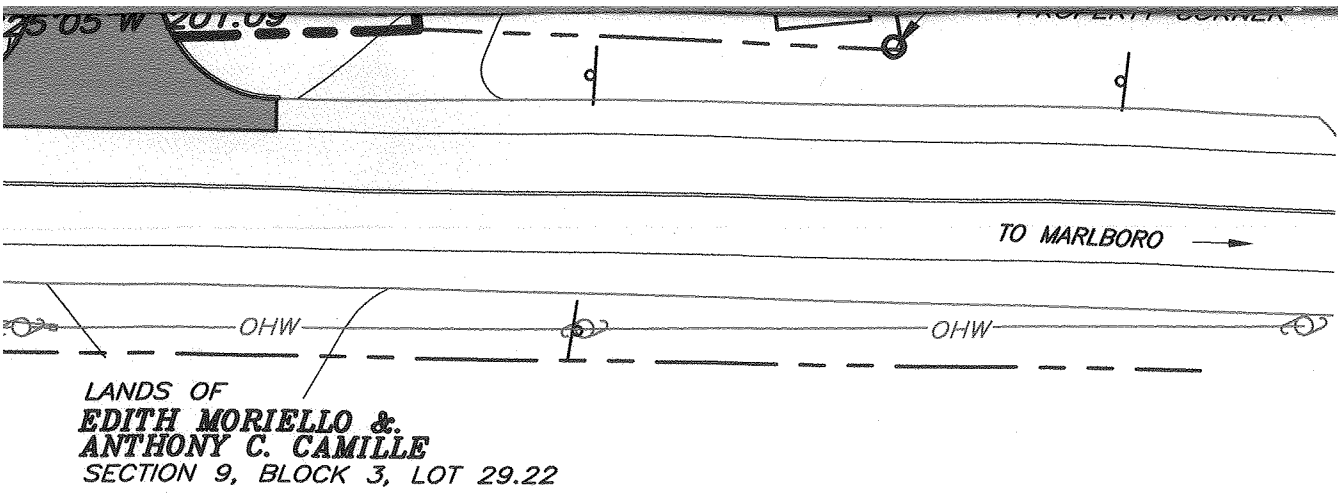
PARCEL CONSOLIDATION TABLE (SEE NOTE 10)

DEED	RECORD OWNER	PARCEL AREA
12176 PAGE 1838	RICHARD SOLOMONS	1.189 ACRES +/-
3717 PAGE 1584	RANNE, LLC	1.612 ACRES +/-
CONSOLIDATED PARCEL AREA		2.801 ACRES +/-

ZONING DATA TABLE		
TOWN OF NEWBURGH - (B) BUSINESS ZONE		
ITEM	REQUIREMENTS	PROPOSED
1. BUILDING USE	D-17 VET OFFICE/RELATED SERVICES	(SAME)
2. LOT AREA	40,000 S.F.	2,801 ACRES (122,012 S.F.)
3. LOT WIDTH	150'	376'
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6. BUILDING HEIGHT	35 FEET	LESS THAN 35'
7. OFF STREET PARKING (§185-13)		
	$\frac{10,000 \text{ SF (E.A.)}}{1 \text{ SPACE/ } 1,500 \text{ SF}} = 6.7$ NEW BLD	4 EXISTING SPACES 20 SPACES 24 TOTAL SPACES
	$\frac{1,584 \text{ SF (L\&O)}}{1 \text{ SPACE/ } 200 \text{ SF}} = 7.9$ NEW BLD	
o ANIMAL HOSPITAL REQUIREMENTS	$\frac{1,500 \text{ SF (L\&O)}}{1 \text{ SPACE/ } 200 \text{ SF}} = 7.5$ EX. BLD	
	$\frac{1,178 \text{ SF (E.A.)}}{1 \text{ SPACE/ } 1,500 \text{ SF}} = 0.8$ EX. BLD	
	TOTAL SPACES = 22.9 = 23	
8. LOT BUILDING COVERAGE	MAXIMUM 30%	$\frac{14,262 \text{ SF}}{122,017 \text{ SF}} \times 100 = 11.7\%$
9. LOT SURFACE COVERAGE	MAXIMUM 60%	4,110 SF (EXIST) $\frac{20,048 \text{ SF (PROPOSED)}}{24,158 \text{ SF TOTAL}} \times 100 = 19.8\%$

E.A. = EXERCISE AREA; L&O = LOBBY AND OFFICE AREA

- MAP REFERENCE: NYSDOT "SH... HILL CEMETERY, ORANGE CO., JANUARY 15, 1910.
- FIELD NOTE REFERENCE: NYS... CEMETERY, ORANGE CO., ROU...
- MAP REFERENCE: NYSDOT "NE... SHEET NO. 15 OF 24, DATED...
- MAP REFERENCE: NYSDOT "HI... 15A-B" DATED JULY 20, 192...
- MAP REFERENCE: NYSDOT "HI... 14 & EASEMENT" DATED JULY...
- MAP REFERENCE: NYSDOT "HI... 14.5" DATED DECEMBER 19, 1...
- MAP REFERENCE: NYSDOT "NE... 5007, MAP NO. 60, PARCEL... TOWN OF NEWBURGH" DATED...
- MAP REFERENCE: "MINOR SUBD... ZAMBITO, 637 ROUTE 9W, TO... YORK" DATED MARCH 19, 198... P.L.S. AND FILED IN THE ORA... 14, 1988 AS FILED MAP #90...
- MAP REFERENCE: "MAP OF P... NEW YORK STATE HIGHWAY RO... COUNTY, NEW YORK" DATED... AS PREPARED BY BRINNIER &... COUNTY CLERK'S OFFICE ON...
- CONDITIONAL WITH THIS SITE... CONSOLIDATION OF TWO (2) S... PARCEL. THE OWNER OF TAX... (SOLOMONS) HAS PURCHASED... (RANNE, LLC).
- DRINKING WATER TO THE PRO... NEWBURGH MUNICIPAL WATER...
- SANITARY SEWAGE DISPOSAL... ON-SITE SYSTEM.



LANDS OF
**EDITH MORIELLO &
 ANTHONY C. CAMILLE**
 SECTION 9, BLOCK 3, LOT 29.22

ZONING DATA TABLE

TOWN OF NEWBURGH - (B) BUSINESS ZONE

ITEM	REQUIREMENTS	PROPOSED
LAND USE	D-17 VET OFFICE/RELATED SERVICES	(SAME)
AREA	40,000 S.F.	2.801 ACRES (122,012 S.F.)
WIDTH	150'	376'
DEPTH	150'	272'
FRONT SETBACKS		
FRONT YARD	40'	30' (EXIST)
REAR YARD	40'	74' (PROPOSED)
LEFT SIDE YARD	30'	31.5' (EXIST)
RIGHT SIDE YARDS	60'	85.5'
MAXIMUM BUILDING HEIGHT	35 FEET	LESS THAN 35'
REQUIRED PARKING (§185-13)	$\frac{10,000 \text{ SF (E.A.)}}{1 \text{ SPACE/ } 1,500 \text{ SF}} = 6.7 \text{ NEW BLD}$ $\frac{1,584 \text{ SF (L\&O)}}{1 \text{ SPACE/ } 200 \text{ SF}} = 7.9 \text{ NEW BLD}$	4 EXISTING SPACES 20 SPACES 24 TOTAL SPACES
MINIMAL HOSPITAL REQUIREMENTS	$\frac{1,500 \text{ SF (L\&O)}}{1 \text{ SPACE/ } 200 \text{ SF}} = 7.5 \text{ EX. BLD}$ $\frac{1,178 \text{ SF (E.A.)}}{1 \text{ SPACE/ } 1,500 \text{ SF}} = 0.8 \text{ EX. BLD}$	
	TOTAL SPACES = 22.9 = 23	
BUILDING COVERAGE	MAXIMUM 30%	$\frac{14,262 \text{ SF}}{122,017 \text{ SF}} \times 100 = 11.7\%$
SURFACE COVERAGE	MAXIMUM 60%	$\frac{4,110 \text{ SF (EXIST)}}{20,048 \text{ SF (PROPOSED)}} = 20.5\%$ $\frac{24,158 \text{ SF}}{122,017 \text{ SF}} \times 100 = 19.8\%$

NOTE: L&O = LOBBY AND OFFICE AREA

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- MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
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- SANITARY SEWAGE DISPOSAL FOR THE PROPOSED BUILDING IS BY AN ON-SITE SYSTEM.

Dig Safely. New York

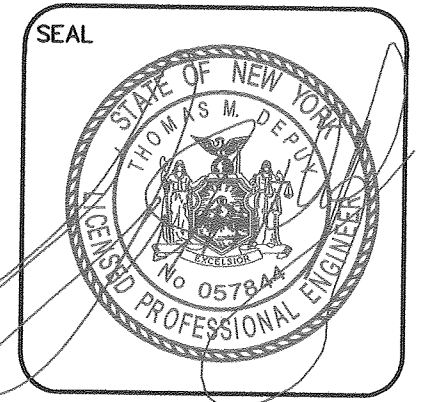
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

800-962-7962
www.digsafelynewyork.com

THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NY STATE EDUCATION LAW.











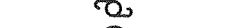


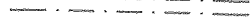


**PROPOSED PET HO
 AND DAY CARE FA**
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK



TITLE	ZONING DATA AND BOUNDARY PLAN
JOB	12003
DATE	NOVEMBER 30, 2015
SCALE	AS NOTED
ZONING DWG	ZBA-1
SITE PLAN DWG	SP1
SHEET	1 OF 8

LEGEND

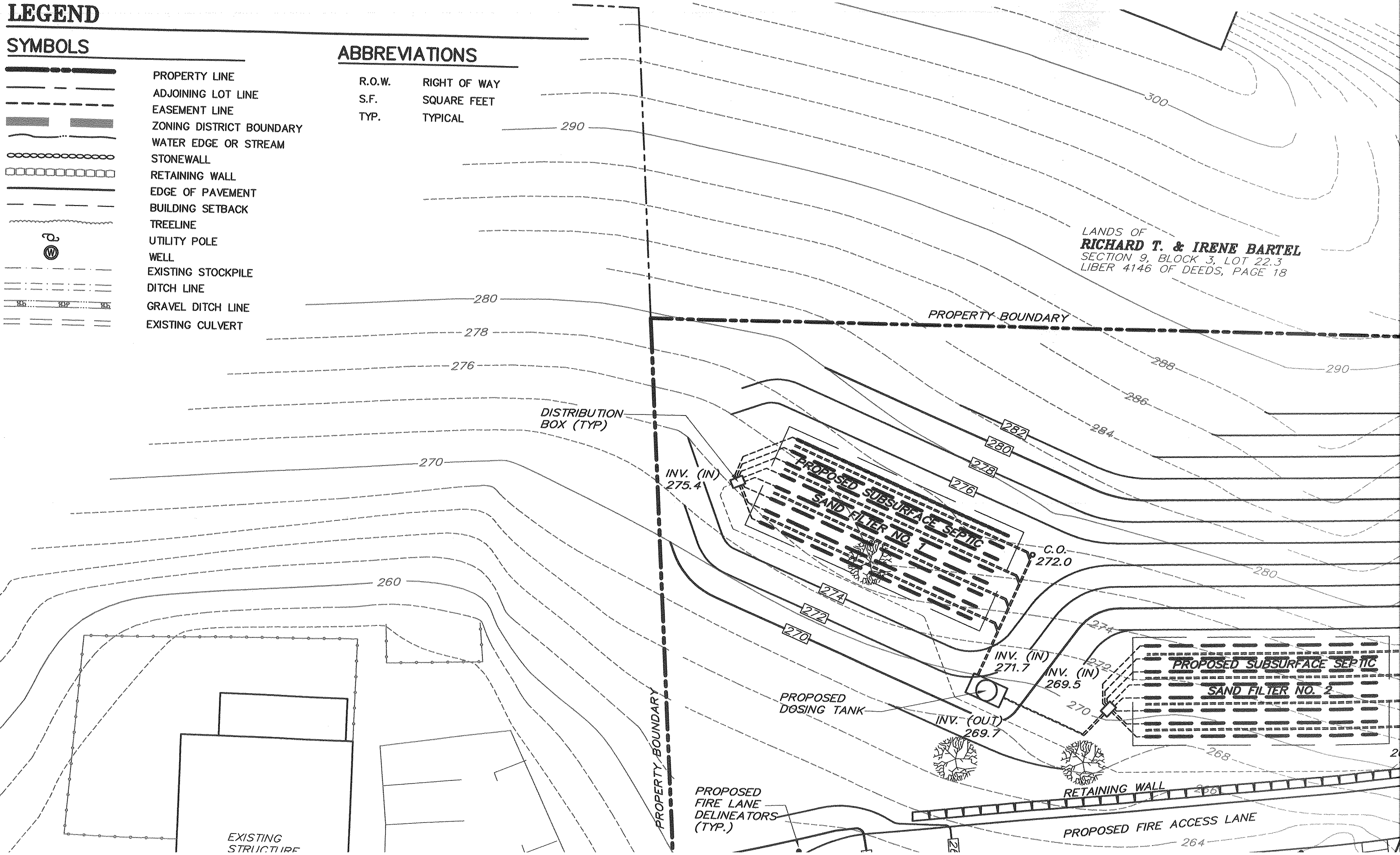
SYMBOLS

-  PROPERTY LINE
-  ADJOINING LOT LINE
-  EASEMENT LINE
-  ZONING DISTRICT BOUNDARY
-  WATER EDGE OR STREAM
-  STONEWALL
-  RETAINING WALL
-  EDGE OF PAVEMENT
-  BUILDING SETBACK
-  TREELINE
-  UTILITY POLE
-  WELL
-  EXISTING STOCKPILE
-  DITCH LINE
-  GRAVEL DITCH LINE
-  EXISTING CULVERT

ABBREVIATIONS

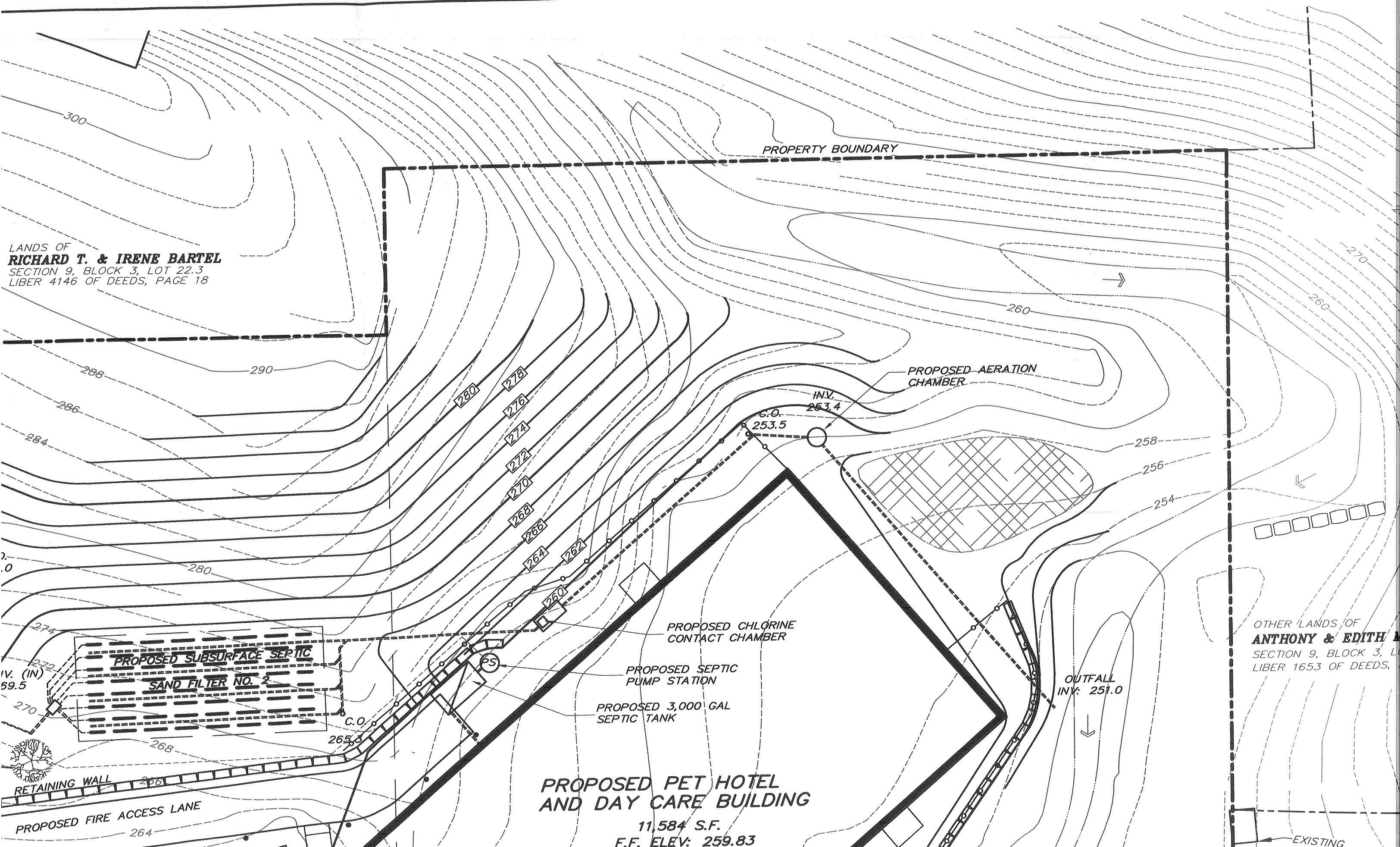
- R.O.W. RIGHT OF WAY
- S.F. SQUARE FEET
- TYP. TYPICAL

LANDS OF
RICHARD T. & IRENE BARTEL
 SECTION 9, BLOCK 3, LOT 22.3
 LIBER 4146 OF DEEDS, PAGE 18



LANDS OF
RICHARD T. & IRENE BARTEL
SECTION 9, BLOCK 3, LOT 22.3
LIBER 4146 OF DEEDS, PAGE 18

PROPERTY BOUNDARY



OTHER LANDS OF
ANTHONY & EDITH
SECTION 9, BLOCK 3, LOT 22.3
LIBER 1653 OF DEEDS, PAGE 18

**PROPOSED PET HOTEL
AND DAY CARE BUILDING**

11,584 S.F.
F.F. ELEV: 259.83

PROPOSED SUBSURFACE SEPTIC
SAND FILTER NO. 2
C.O. 265.0
IV. (IN) 59.5

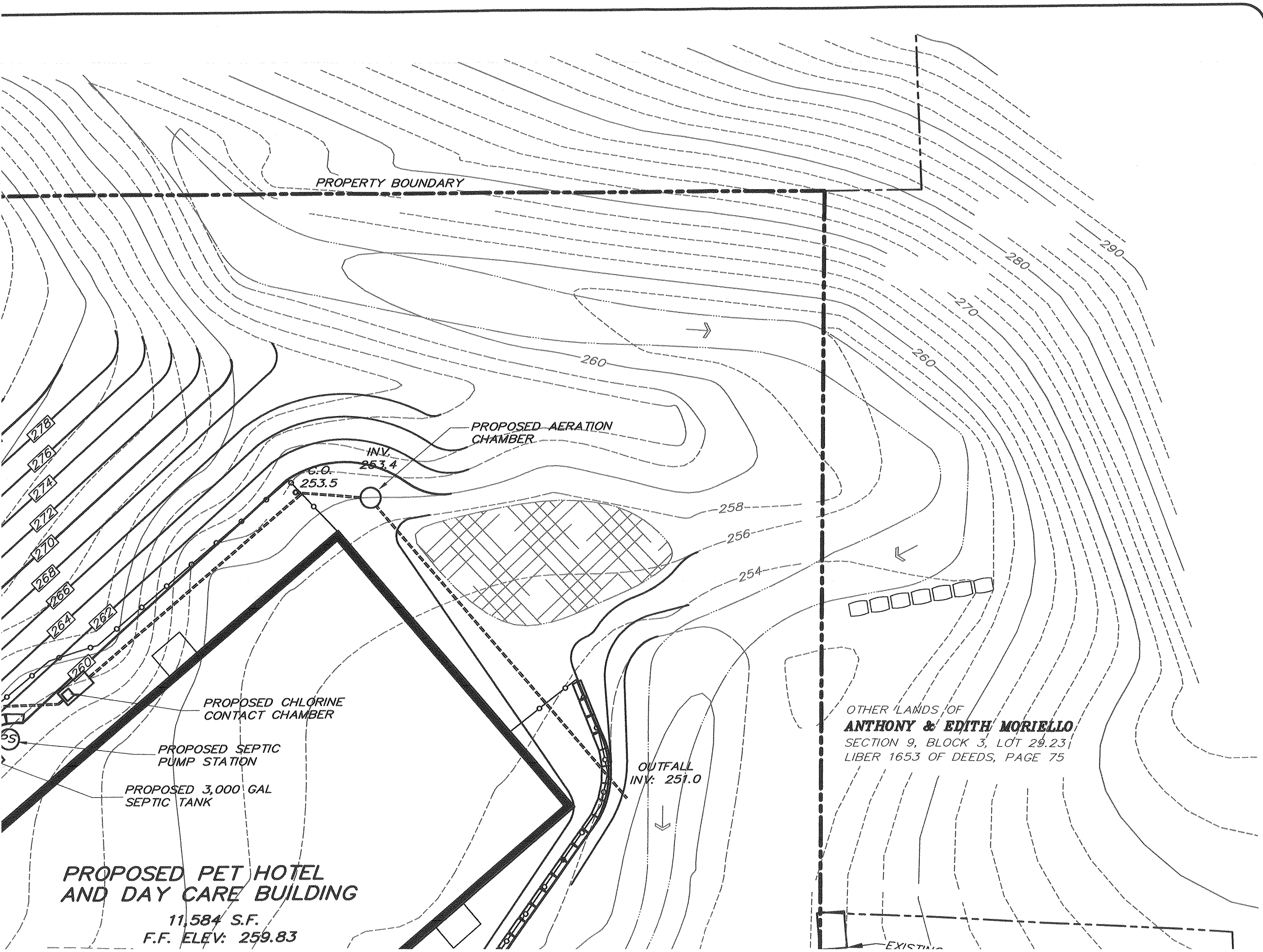
PROPOSED CHLORINE
CONTACT CHAMBER
PROPOSED SEPTIC
PUMP STATION
PROPOSED 3,000 GAL
SEPTIC TANK

PROPOSED AERATION
CHAMBER
C.O. 253.5
INV. 253.4

OUTFALL
INV: 251.0

RETAINING WALL
PROPOSED FIRE ACCESS LANE

EXISTING



**PROPOSED PET HOTEL
AND DAY CARE BUILDING**

11,584 S.F.
F.F. ELEV: 259.83

PROPERTY BOUNDARY

PROPOSED AERATION
CHAMBER

PROPOSED CHLORINE
CONTACT CHAMBER

PROPOSED SEPTIC
PUMP STATION

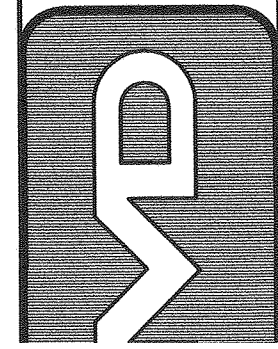
PROPOSED 3,000 GAL
SEPTIC TANK

OUTFALL
INV: 251.0

OTHER LANDS OF
ANTHONY & EDITH MORIELLO
SECTION 9, BLOCK 3, LOT 29.23
LIBER 1653 OF DEEDS, PAGE 75

REVISIONS	
NO.	DESCRIPTION

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229
TMDEPUY@TMDEPUY.COM



NO.	DATE	DESCRIPTION	BY

EXISTING STRUCTURE
F.F.E.:
VETERINARY HOSPITAL
TELECOMMUNICATION CENTER

LANDS OF
RANNE, L.L.C.
SECTION 9, BLOCK 3, LOT 22.1
LIBER 12149 OF DEEDS, PAGE 1362

PROPOSED SUBSURFACE SEPTIC SAND FILTER NO. 2

PROPOSED DOSING TANK

INV. (IN) 271.7

INV. (IN) 269.5

INV. (OUT) 269.7

PROPOSED FIRE LANE DELINEATORS (TYP.)

RETAINING WALL

PROPOSED FIRE ACCESS LANE

EXISTING STRUCTURE
1,178 S.F.

EXISTING SHED
(TO BE REMOVED)

EXISTING PET DAY CARE
1,500 S.F.

EXISTING A.C. UNITS

EXISTING PROPANE REGULATOR

EXISTING FIRE HYDRANT
(DECORATIVE)

EXISTING CATCH BASIN
FRAME: 236.50
INV.: 233.00

EXISTING SIGN

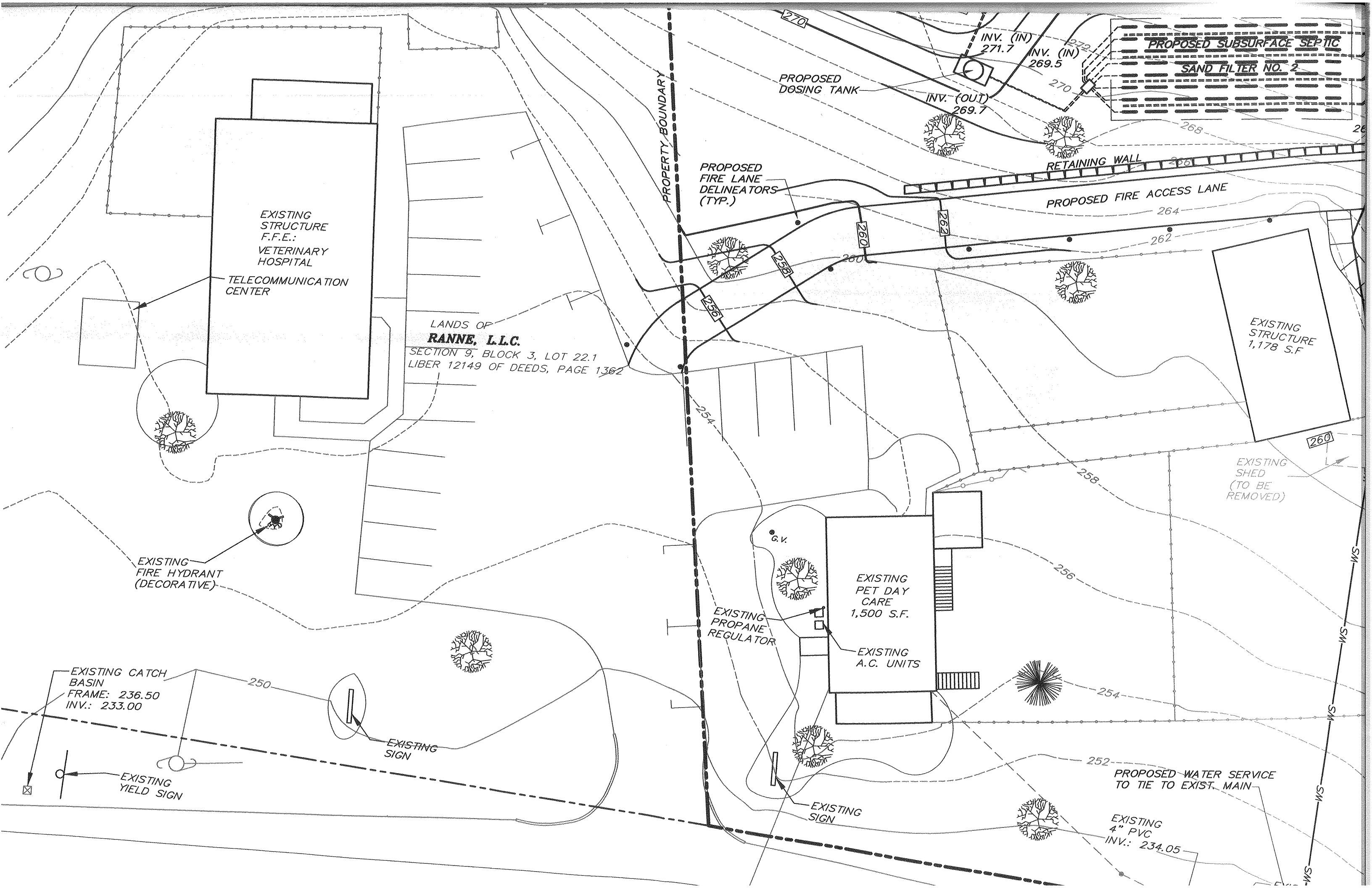
EXISTING YIELD SIGN

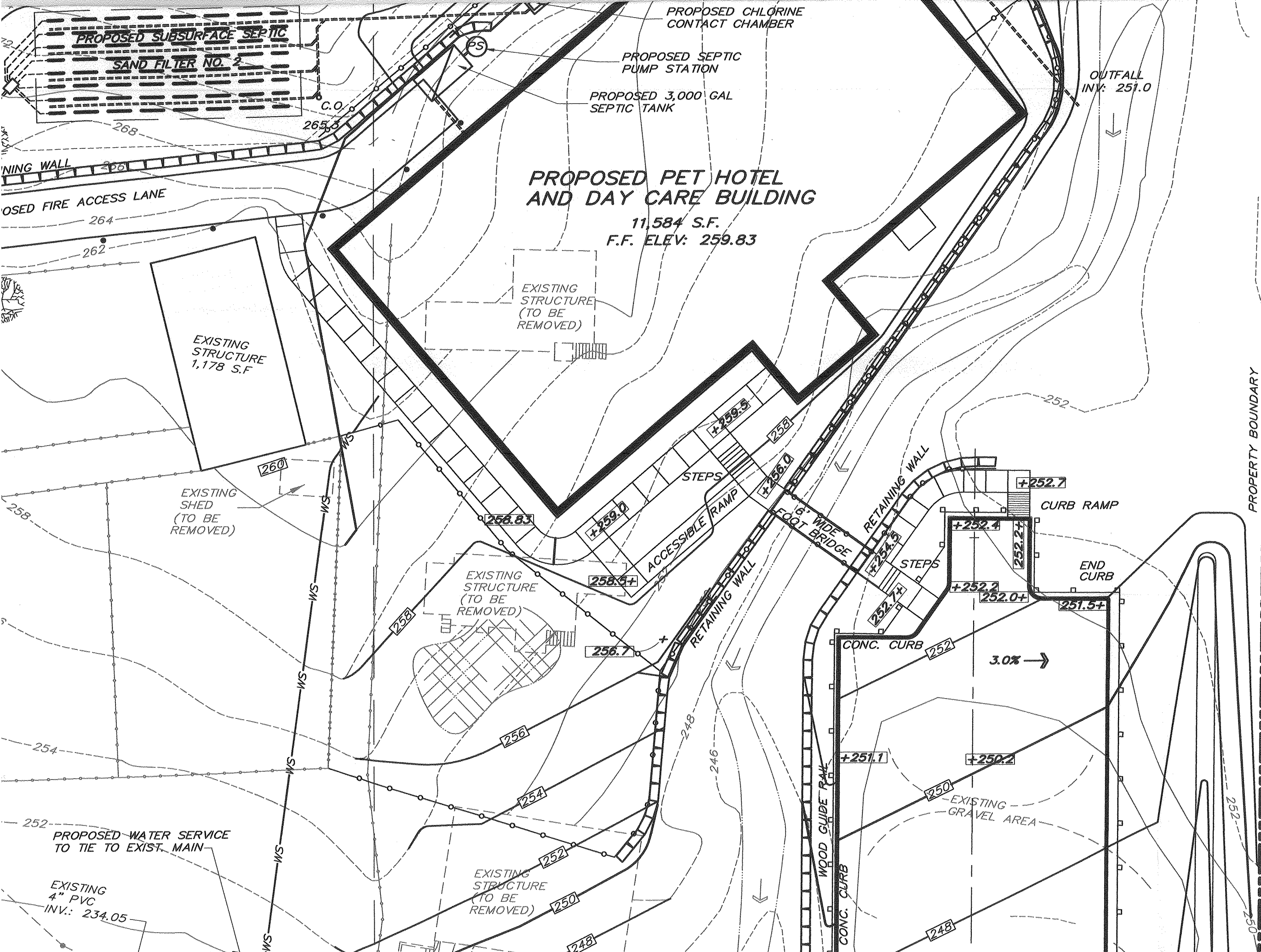
EXISTING SIGN

PROPOSED WATER SERVICE TO TIE TO EXIST. MAIN

EXISTING 4" PVC
INV.: 234.05

PROPERTY BOUNDARY





PROPOSED SUBSURFACE SEPTIC
SAND FILTER NO. 2

PROPOSED CHLORINE CONTACT CHAMBER

PROPOSED SEPTIC PUMP STATION

PROPOSED 3,000 GAL SEPTIC TANK

OUTFALL
INV: 251.0

**PROPOSED PET HOTEL
AND DAY CARE BUILDING**

11,584 S.F.
F.F. ELEV: 259.83

EXISTING
STRUCTURE
(TO BE
REMOVED)

EXISTING
STRUCTURE
1,178 S.F.

EXISTING
SHED
(TO BE
REMOVED)

EXISTING
STRUCTURE
(TO BE
REMOVED)

EXISTING
STRUCTURE
(TO BE
REMOVED)

PROPOSED WATER SERVICE
TO TIE TO EXIST. MAIN

EXISTING
4" PVC
INV.: 234.05

OTHER LANDS OF
ANTHONY & EDITH MORIEL
SECTION 9, BLOCK 3, LOT 29.2
LIBER 1653 OF DEEDS, PAGE 7

LANDS OF
VINCENT YONNONE
SECTION 9, BLOCK 3, LOT 24
LIBER 4904 OF DEEDS, PAGE 23

PROPERTY BOUNDARY

EXISTING
STRUCTURE

PROPOSED FIRE ACCESS LANE

STEPS

ACCESSIBLE RAMP

8' WIDE FOOT BRIDGE

RETAINING WALL

CURB RAMP

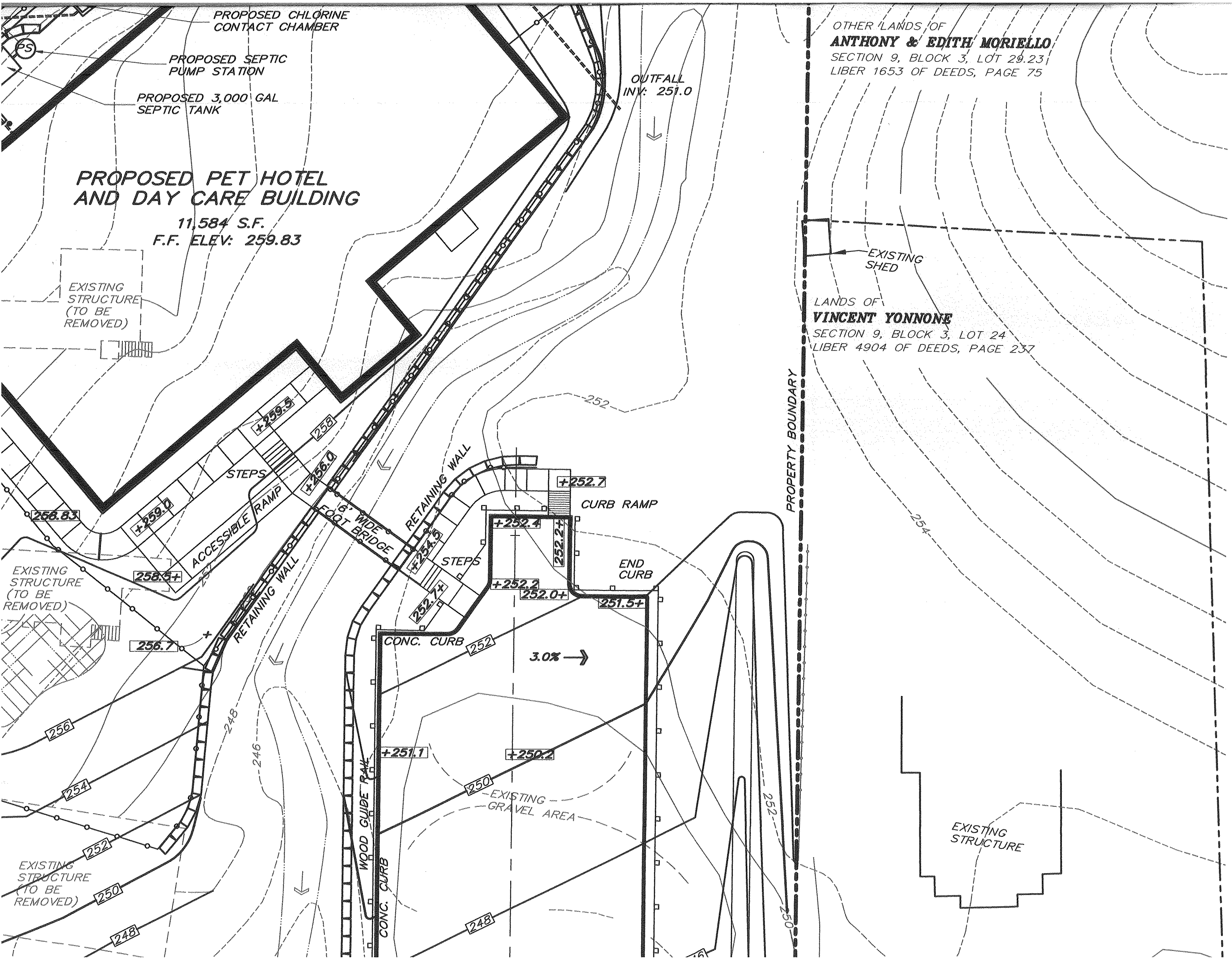
END CURB

CONC. CURB

3.0% →

WOOD GUIDE RAIL
CONC. CURB

EXISTING
GRAVEL AREA



PROPOSED CHLORINE CONTACT CHAMBER

PROPOSED SEPTIC PUMP STATION

PROPOSED 3,000 GAL SEPTIC TANK

OUTFALL INV: 251.0

PROPOSED PET HOTEL AND DAY CARE BUILDING

11,584 S.F.
F.F. ELEV: 259.83

EXISTING STRUCTURE (TO BE REMOVED)

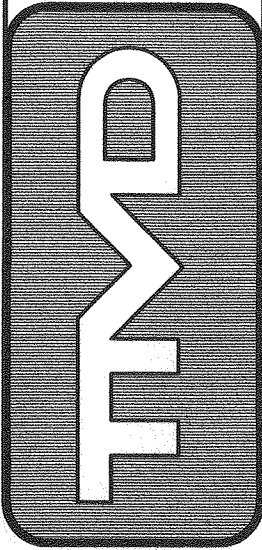
OTHER LANDS OF
ANTHONY & EDITH MORIELLO
SECTION 9, BLOCK 3, LOT 29.23
LIBER 1653 OF DEEDS, PAGE 75

EXISTING SHED

LANDS OF
VINCENT YONNONE
SECTION 9, BLOCK 3, LOT 24
LIBER 4904 OF DEEDS, PAGE 237

PROPERTY BOUNDARY

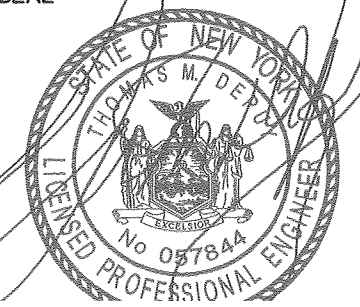
T.M.D.
ENGINEERING
2656 ROUTE 9W
PHONE: (845) 784-1000
TMDEPUY@TMD

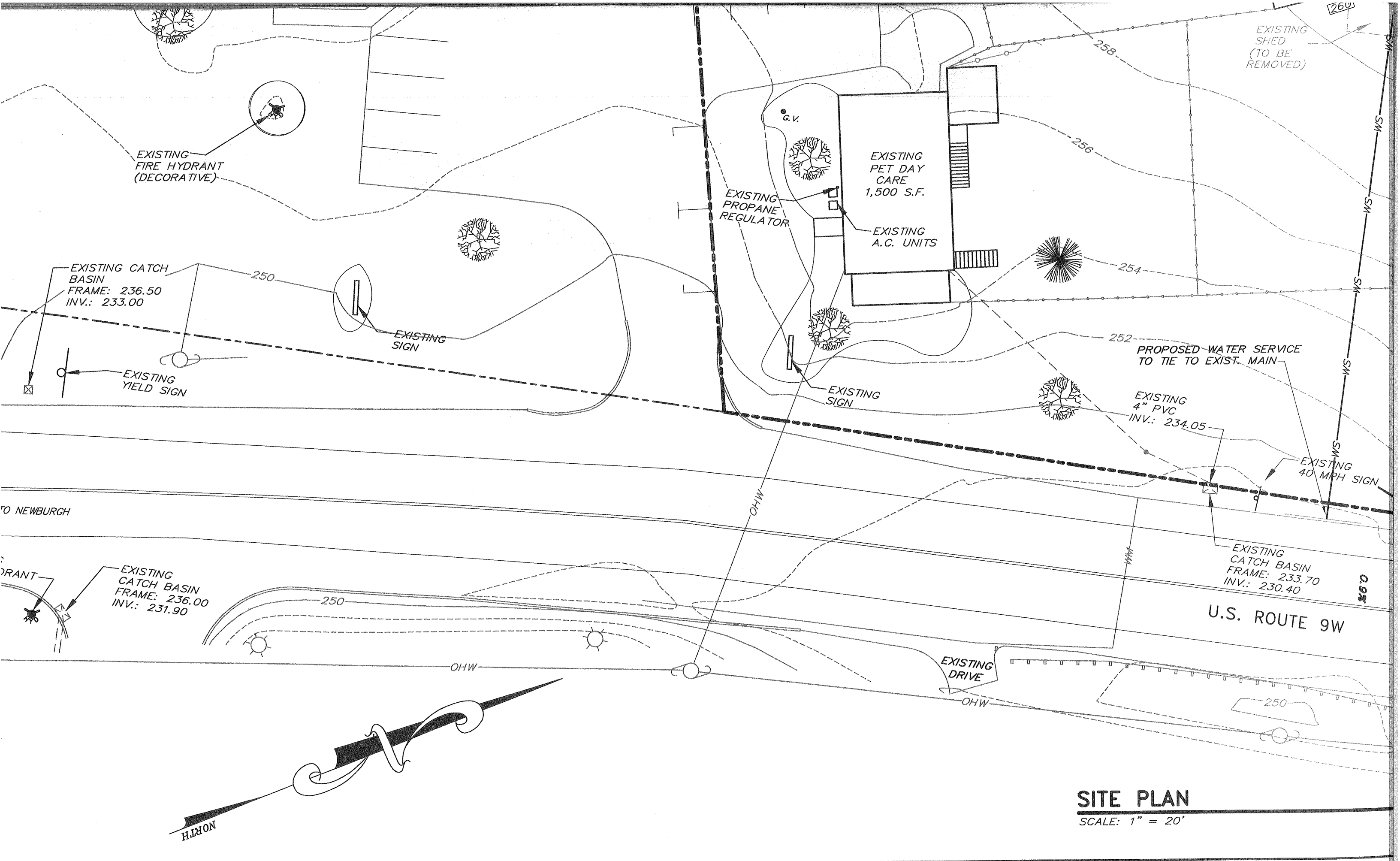


PROPOSED PET HOTEL AND DAY CARE FACILITY

NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

SEAL





EXISTING
FIRE HYDRANT
(DECORATIVE)

EXISTING CATCH
BASIN
FRAME: 236.50
INV.: 233.00

EXISTING
YIELD SIGN

EXISTING
SIGN

EXISTING
PROPANE
REGULATOR

EXISTING
PET DAY
CARE
1,500 S.F.

EXISTING
A.C. UNITS

EXISTING
SIGN

PROPOSED WATER SERVICE
TO TIE TO EXIST. MAIN

EXISTING
4" PVC
INV.: 234.05

EXISTING
40 MPH SIGN

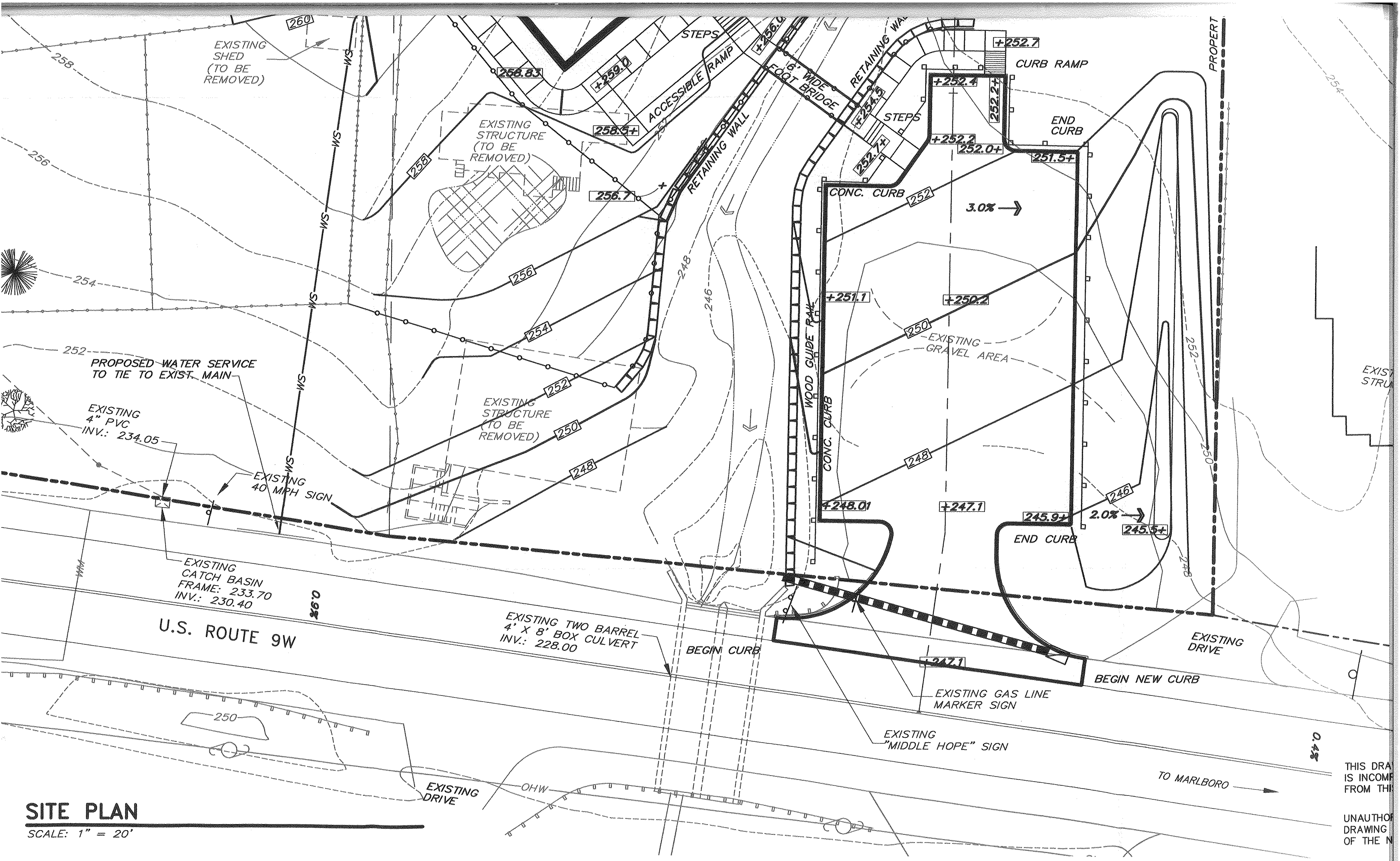
EXISTING
CATCH BASIN
FRAME: 233.70
INV.: 230.40

U.S. ROUTE 9W

EXISTING
DRIVE

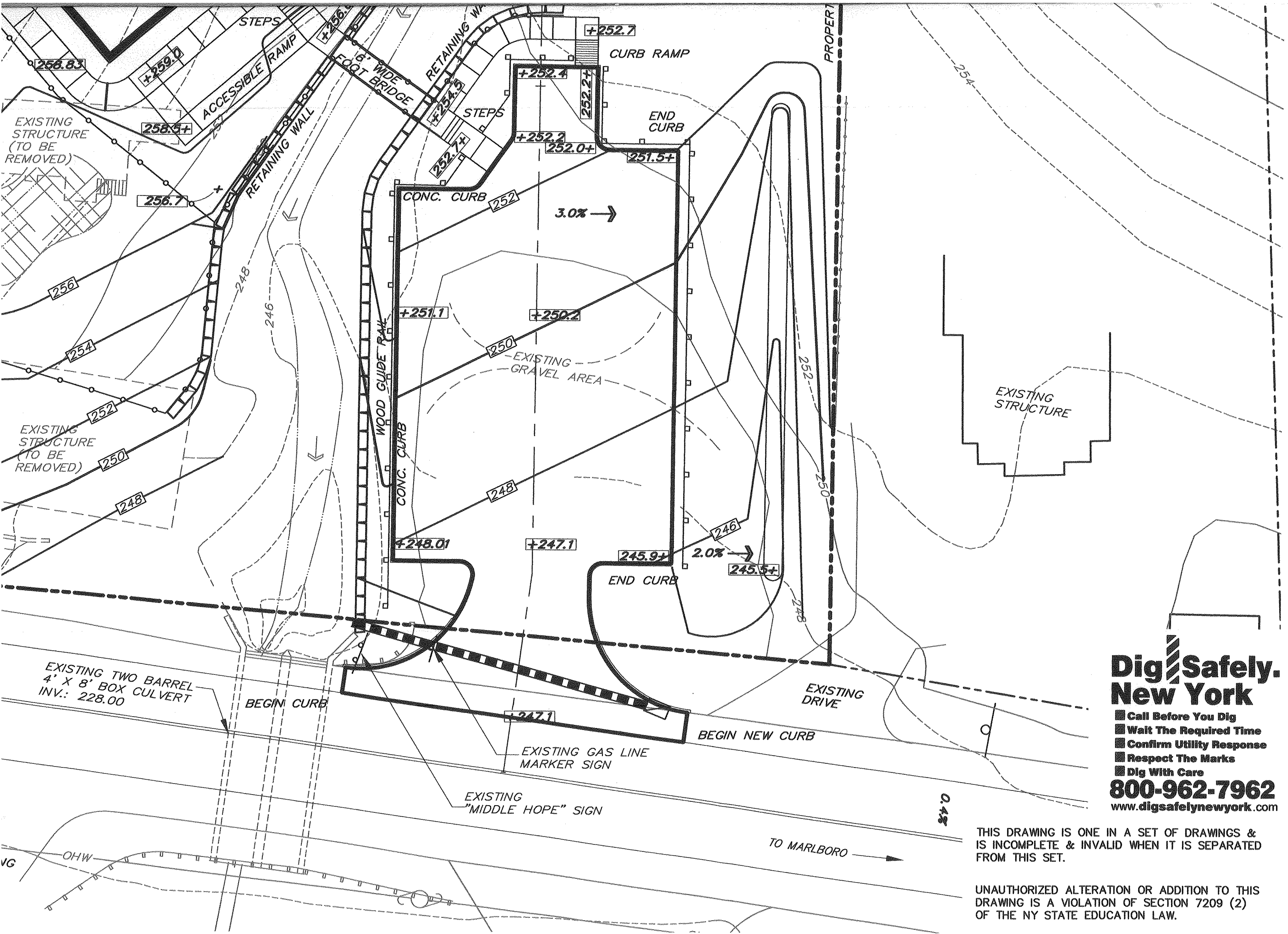
NORTH

SITE PLAN
SCALE: 1" = 20'

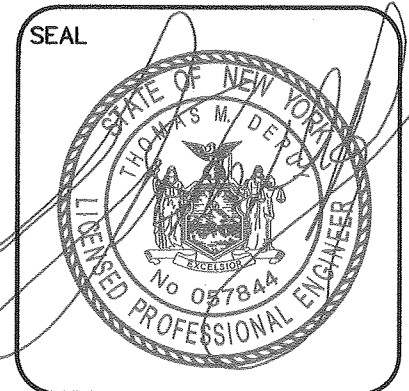


SITE PLAN
SCALE: 1" = 20'

THIS DRAWING IS INCOMPLETE FROM THE ORIGINAL UNAUTHORIZED DRAWING OF THE PROJECT



**PROPOSED PET HOTEL
AND DAY CARE FACILITY**
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK



TITLE	SITE PLAN
JOB	12003
DATE	NOVEMBER 30, 2015
SCALE	AS NOTED
ZONING DWG	ZBA-2
SITE PLAN DWG	SP3
SHEET	3 OF 8

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New York**

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