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STATE OF NEW YORK : COUNTY OF ORANGE
TOWN OF NEWBURGH PLANNING BOARD

In the Matter of

SERIOTA SITE PLAN
Project No. 2015-28

NYS Route 17K
Section 94; Block 1; Lot 61
IB Zone

SITE PLAN

1496 Route 300
Newburgh, New York 12550
November 19, 2015
8:13 p.m.

BOARD MEMBERS: JOHN EWASUTYN, Chairman
FRANK GALLI
CLIFFORD BROWNE
KENNETH MENNERICH
DAVID DOMINICK
JOHN WARD

ALSO PRESENT: MICHAEL DONNELLY, ESQ.
PATRICK HINES
GERALD CANFIELD

APPLICANT'S REPRESENTATIVE: ROSS WINGLOVITZ

MICHELLE L. CONERO
Court Reporter
10 Westview Drive
Wallkill, New York 12589
(845)895-3018

1
2 MR. BROWNE: Our next item of
3 business is Seriota Site Plan, project number
4 2015-28. This is a site plan being presented
5 by Engineering & Surveying Properties, Ross
6 Winglovitz.

7 MR. WINGLOVITZ: Good evening. Ross
8 Winglovitz with Engineering Properties on behalf
9 of Greg Seriota with his site plan application
10 for reuse of the existing warehouse building on
11 the corner of Cohecton Avenue and 17K for a
12 service station for his fleet vehicles.

13 We were here before you last month. We
14 made a resubmission with a number of replies to
15 Pat's comments, including the landscape plan.
16 We're here to address any comments you may have,
17 and, if you feel it's appropriate, any SEQRA
18 action that may be taken.

19 CHAIRMAN EWASUTYN: Pat Hines, do you
20 want to go through your review sheet, please?

21 MR. HINES: Ross, just to clarify, it
22 states that you're going to be combining lot 57 I
23 want to say. 57? It looks like lot 57 is also
24 on the other side of the road.

25 MR. WINGLOVITZ: Yup. That is part of

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the application. It does not extend across the road, you're asking?

MR. HINES: Correct. You're not going to combine the whole of 57 with this parcel; right?

MR. WINGLOVITZ: It's only this small sliver here.

MR. HINES: We need to clarify on the map that there's going to be a lot consolidation.

MR. WINGLOVITZ: Okay. I'm not sure what's unclear, though.

MR. HINES: Because it states that lot 57 is going to be combined.

MR. WINGLOVITZ: Right.

MR. HINES: But lot 57 also exists on what's the other side of Willow Street.

MR. WINGLOVITZ: Existing on the other side?

MR. GALLI: It's on the map.

MR. WINGLOVITZ: Okay.

MR. HINES: Do you see what I mean? It exists over here, too. Lot 57 seems to have some strange geometry.

MR. WINGLOVITZ: That's 51 across the

1 street. 94:1:57 in the back.

2 MR. CANFIELD: This one says 57.

3 MR. WINGLOVITZ: I think that's just a
4 wrong label.

5 MR. HINES: Okay. That's driving the
6 confusion.

7 MR. WINGLOVITZ: A drafting carryover
8 is what it looks like.

9 MR. HINES: If that's 51, it just needs
10 to get cleaned up.

11 Just a note that they're going to
12 request a sprinkler waiver for the structure. If
13 they don't get that waiver, additional utilities
14 will be required.

15 MR. WINGLOVITZ: We have shown -- just
16 for everybody's purpose, we have shown a fire
17 sprinkler connection because we didn't want the
18 plan to be incomplete in case we didn't get the
19 waiver. The applicant, as part of his building
20 permit process, plans on requesting a waiver. If
21 he doesn't get the waiver we do show the fire
22 sprinkler connection on the plans, so it's
23 complete as far as that.

24 MR. HINES: Just a note that the
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vehicles.

MR. WINGLOVITZ: He's going to be filling the tank once a day.

MR. HINES: That's added traffic for the Board as you're reviewing this. It is going to be used as a fuel depot for the fleet.

Note 9 should be revised. It says four vehicles are going to be on the site for repairs. The Town's requirements are only three vehicles can be on the site.

MR. WINGLOVITZ: These are standard notes. We'll need to correct number 9 to be consistent with the standard conditions.

MR. HINES: If the Board feels this plan is ready, County referral is required.

There's a missing contour line between the swale and the landscape buffer. There's a 490 contour missing. I don't know why. The swale is at 489 or something. Clean that up.

The applicants are not proposing curbing on the site throughout the entire paved parking area. Consistent with the two previous projects, the Board normally requires curbing. If that's going to be a waiver, that should be

1 specifically requested of the Board.

2
3 MR. WINGLOVITZ: We would request a
4 waiver from curbing. Our proposal is basically
5 just to pave the existing gravel area. We don't
6 want to create any new drainage patterns or
7 change anything other than to pave the existing
8 gravel areas. There is a gravel area off the
9 site that we're going to topsoil and seed, so
10 that will provide an edge on the east side of the
11 project.

12 Pat had a comment about fencing. He
13 wanted us to provide fencing around the entire
14 facility. I didn't think that was something the
15 Board wanted to see because of aesthetics. The
16 split rail, maybe that's a good medium.

17 MR. HINES: The concern that I have in
18 looking at this, the site is flat and there's
19 nothing to control -- if there's ten vehicles on
20 the site that day, there's nothing to control --
21 without the benefit of curbing, you could start
22 double stacking vehicles. I'm looking, at least,
23 for the Board's review to keep them in that paved
24 area. I think --

25 CHAIRMAN EWASUTYN: Let's poll the

1
2 Board Members and see if they want curbing or
3 not.

4 John Ward?

5 MR. WARD: If there's a modification,
6 even if it was a post rail fence along the
7 blacktop so cars or anything can't go there. As
8 I look, I know what you're saying with the
9 fencing around. We don't want that. The curbing
10 was the idea of them going over to go into the
11 field. If there's some modification of something
12 that's decorative, that would be fine. It keeps
13 them from going out there.

14 MR. WINGLOVITZ: I don't think -- he
15 actually wanted it around the whole facility and
16 I said I don't think that's a good idea. I think
17 that's a good compromise.

18 CHAIRMAN EWASUTYN: I'm not quite sure
19 I understand what we're talking about. Are we
20 talking about fencing or are we talking about
21 curbing on the site?

22 MR. DONNELLY: I think John is saying
23 he would go with waiving curbs if there was a
24 fence to control vehicle movement.

25 CHAIRMAN EWASUTYN: Is the purpose of

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the curbing to control -- I'm lost.

MR. HINES: The site is so flat, it's not to control the drainage but it's more to control the vehicles. It's a relatively large site. We know there's a forty vehicle fleet.

CHAIRMAN EWASUTYN: The fence won't get in the way with snowplowing?

MR. HINES: I'm sure they can modify it.

MR. WINGLOVITZ: We can probably set it five feet in front of the pavement so that there will would be room for snow removal.

MR. HINES: You could leave it six feet off. A split rail, you can remove a couple of rails during the winter. It's just a suggestion.

CHAIRMAN EWASUTYN: I'm just trying to follow it. That's all.

Dave, you're suggesting a fence?

MR. DOMINICK: I'm going with curbing. I think you're going to run into a big obstacle in the wintertime with snow. You're going to push it against the fence and the fence is going to tip and look like hell come spring and all year long. It's probably not going to get

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replaced in an expedient manner. I think curbing.

CHAIRMAN EWASUTYN: Ken Mennerich?

MR. MENNERICH: I also agree with Dave, the curbing would be best. That's what we required in other facilities similar to this.

CHAIRMAN EWASUTYN: Cliff Browne?

MR. BROWNE: I think the curbing, yes.

CHAIRMAN EWASUTYN: Frank Galli?

MR. GALLI: Curbing.

CHAIRMAN EWASUTYN: Curbing. It's a majority vote.

MR. WINGLOVITZ: Is there flexibility of what type of curbing we provide?

CHAIRMAN EWASUTYN: Standard curbing.

MR. WINGLOVITZ: Concrete curbing?

CHAIRMAN EWASUTYN: Concrete curbing, twenty inches deep.

MR. HINES: The size of the landscaping plants is left off the landscaping plan. We need the size of those.

Also, typical to other vehicle maintenance storage areas in Town, they generate used tires, cardboard, other waste, we're

1
2 suggesting that a dumpster should be provided on
3 the site. It could be located back by the
4 petroleum tank area there. With the requirements
5 for recycling cardboard and waste tires, I just
6 don't want to see them piled up.

7 MR. WINGLOVITZ: Any suggestions on
8 where you'd like to see it? I'd like to put it
9 over here in this corner.

10 MR. HINES: I can't see that far.

11 CHAIRMAN EWASUTYN: I think that's up
12 to the user of the property, what would be the
13 most convenient place.

14 MR. WINGLOVITZ: Okay. We'll screen
15 it. We'll provide a fence around it.

16 CHAIRMAN EWASUTYN: Jerry Canfield?

17 MR. CANFIELD: One comment on the
18 petroleum tank. Provide a containment area.
19 It's only 1,000 gallon tank but it still requires
20 a containment area, spill containment. That can
21 be done like a double walled tank or whatever.

22 CHAIRMAN EWASUTYN: Ross, I'm not
23 really certain but it's just a minor issue.
24 That's a metal roof on that building?

25 MR. WINGLOVITZ: A metal roof, yes. I

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believe it is.

CHAIRMAN EWASUTYN: The only thing I say is look at where you have the plants along the front of the building, look at the snow load on the roof, when it slides off, whether it will be falling on the plants and if you should move the plants a few feet out.

So the motion before us now is to circulate to the Orange County Planning Department.

MR. DONNELLY: Certainly we can do that.

You had mentioned SEQRA. I think this is under 4,000 square feet, a Type 2, so there's no further SEQRA compliance.

We do need to send it to County Planning.

CHAIRMAN EWASUTYN: I'll move for a motion to circulate to the Orange County Planning Department.

MR. MENNERICH: So moved.

MR. DOMINICK: Second.

CHAIRMAN EWASUTYN: I have a motion by Ken Mennerich and a second by Dave Dominick.

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I'll ask for a roll call vote starting with Frank Galli.

MR. GALLI: Aye.

MR. BROWNE: Aye.

MR. MENNERICH: Aye.

MR. DOMINICK: Aye.

MR. WARD: Aye.

CHAIRMAN EWASUTYN: Aye.

You'll get plans to Pat Hines.

MR. WINGLOVITZ: Yes. Then we'll have one more meeting before we set a public hearing, assuming everything is okay at the next one?

CHAIRMAN EWASUTYN: I'll poll the Board Members now to see if they want to have a public hearing.

MR. GALLI: How many residences are around there?

MR. WINGLOVITZ: None. This is wooded. It's wooded on this side and then you have the Auto Auction, you've got a distribution/trucking facility here, a real estate office there, there's a business here.

MR. GALLI: No. I'm good.

MR. BROWNE: No.

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MR. MENNERICH: No.

MR. DOMINICK: No.

MR. WARD: No.

CHAIRMAN EWASUTYN: Let the record show
that we waived the public hearing.

MR. WINGLOVITZ: Thank you very much.
We'll be back.

(Time noted: 8:24 p.m.)

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C E R T I F I C A T I O N

STATE OF NEW YORK)

: SS.:

COUNTY OF ULSTER)

I, MICHELLE CONERO, a Notary Public
for and within the State of New York, do hereby
certify:

That the proceedings hereinbefore
set forth is a true record.

I further certify that I am not
related to any of the parties to this action by
blood or by marriage and that I am in no way
interested in the outcome of this matter.

IN WITNESS WHEREOF, I have hereunto
set my hand this 9th day of December 2015.

MICHELLE CONERO



TOWN OF NEWBURGH
Crossroads of the Northeast

OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

PLANNING BOARD
JOHN P. EWASUTYN, CHAIRMAN
TELEPHONE 845-564-7804
FAX 845-564-7802

E-MAIL: planningboard@townofnewburgh.org

PLANNING BOARD AGENDA

NOVEMBER 19, 2015

****PLEASE NOTE: The Planning Board Meeting will start at 7:00 P.M. and all Applicants/Representatives are to be present at that time. The Meeting will be held in the Meeting Room of Town Hall, located at 1496 Route 300, Newburgh NY.****

1. **Matrix Business Park at Newburgh (2015-26)** SITE PLAN
Route 17K
Section 95, Block 1, Lot TBD
(portion of prior Lots 4.12, 54.1, 69.25 & 49.12)
Zone: IB
Rep: Langan Engineering, Environmental,
Surveying & Landscape Architecture
707 Westchester Ave, Suite 304
White Plains, NY 10604

2. **One Powelton Avenue (2015-19)** SITE PLAN
Section 80, Block 6, Lot 7
Zone: B
Rep: Highlands Architecture, PLLC
3212 Route 9
Cold Spring, NY 10516

3. **Route 300 Realty LLC (2015-30)** INITIAL APPEARANCE
128 Old South Plank Road AMENDED SITE PLAN
Section 64, Block 2, Lot 22
Zone: B
Rep: Vincent Doce Associates
242 South Plank Road
Newburgh, N.Y. 12550

WORK SESSION

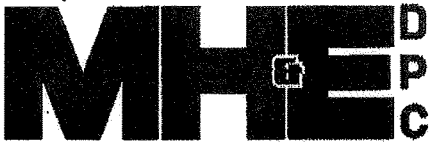
***Project Readiness Discussion scheduled for 5:30 p.m. in the Meeting Room of
Town Hall on Thursday, November 19, 2015.****

PLANNING BOARD BUSINESS
WORK SESSION

November 19, 2015
5:30 P.M.

Discussion:

1. **Driscoll Subdivision** (2009-12) Applicant is requesting a six month preliminary subdivision approval extension from September 29, 2015 to March 29, 2016.
2. **Polo Club** (2006-09) Applicant is requesting a six month preliminary site plan approval extension from September 29, 2015 to March 29, 2016.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

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33 Airport Center Drive
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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: SIEROTA SITE PLAN
PROJECT NO.: 15-28
PROJECT LOCATION: SECTION 94, BLOCK 1, LOT 61 & 57
REVIEW DATE: 13 NOVEMBER 2015
MEETING DATE: 19 NOVEMBER 2015
REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

1. The Applicant's representative was requested to clarify tax map 57 to be combined with tax map 61. Portions of tax map 57 appear to extend to the north side of Willow Street only a portion of lot 57 is proposed to be combined with lot 61. In addition filed map lines are identified on the parcel which should be addressed during the consolidation.
2. The Applicant's have identified they are going to request a waiver for the sprinkler system.
3. The Applicant's have identified they intend on paving the gravel areas of the site. The Planning Board should address the need for curbing on the site.
4. A landscape plan has been prepared for the Planning Boards review.
5. Petroleum
6. tank has been relocated to the vicinity of the proposed building away from the property line. The Applicant's have identified that their vehicles will be fueled at the facility approximately twice a week.
7. Note 9 should be revised that vehicles for repair is limited to 4. Currently it states the maximum vehicles of 4 onsite designated parking spots. In addition, Note 9 seems to conflict with the Note 7a which identifies 3 vehicles.
8. County Planning referral is required.
9. A 490 contour is required between the proposed berm on Route 17K and the swale depicted on

the plans.

10. If project is identified as being exempt from curbing we would recommend some means of controlling placement of vehicles on the site. Possibly a split rail fence, bollards or some other method to contain vehicles to the proposed paved surfaces.
11. Size of all proposed landscape plants must be identified.
12. Provisions for a dumpster must be included. Used tire storage, cardboard and other waste typically generated must be addressed.
13. The landscape buffer should include a stonewall typical to other developments along the highway corridor.

Respectfully submitted,

McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

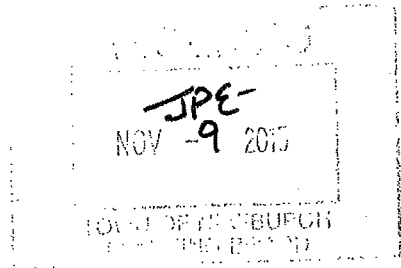


www.EngineeringPropertiesPC.com
71 Clinton Street
Montgomery, NY 12549
phone: (845) 457-7727
fax: (845) 457-1899

November 5, 2015

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550
ATTN: John Ewasutyn, Chairman

**RE: SIEROTA SITE PLAN
NYS ROUTE 17K & COCHECTON AVE
TAX LOT # 94-1-61&57 (Project #2015-28)**



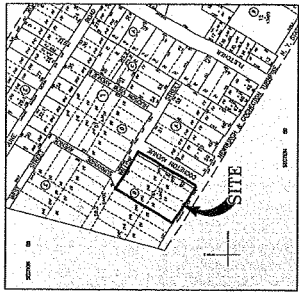
Dear Mr. Ewasutyn:

Please find attached 15 copies of the revised plan set for the above referenced project. The plans have been revised in accordance to the latest comments letter from McGoey, Hauser and Edsall, D.P.C dated October 9, 2015 and comments of the Board and its consultants at the meeting. Below is a comment by comment response:

M.H&E Comments

1. Lot 57 is also part of the purchase and is controlled by the same owners. Lot 57 has been added to the plan as part of the application and note #10 has been added stating that the lots shall be combined into a single lot with a single owner prior to signing of any approved maps.
2. All stormwater management facilities are shown on the map are existing. A landscaped berm with a drainage pattern shown to the northeast is proposed to maintain existing drainage patterns. Previous work was done to reduce the ponding and the berm should help in this regard. The proposed grades along the drainage pattern will continue to promote draining of this area.
3. A 35 foot landscaped buffer is provided on the plans, also please see the landscape plans provided by others for landscaping specifications on the site and within the 35-foot buffer.
4. Parking within a front yard setback is existing and is inevitable due the fact that the lot has frontage on 3 sides. The parking has been limited to be as far away from the main road (NYSDOT Route 17K) as practicable with an effective buffer proposed. At this time a waiver would be requested allowing the existing parking conditions to remain. The existing building mounted lighting will be utilized for this site. As the proposed lot layout is not changing the lighting layout is not proposed to be modified.
5. Please find the landscape plans by others in the attached plan sets.
6. The 1,000-gallon tank is proposed. Its location has been moved away from the property line.
7. The well to be abandoned is specified to be abandoned is accordance with all applicable AWWA standards.
8. Town of Newburgh Water System notes have been added to sheet C-2. Additionally, the water service connections detail has been revised to all specifications set forth by the Town of Newburgh Water Department.

Site Design and Development • Land Surveying • Environmental Planning and Permitting
Construction Support • Project Management • Client Advocating and Representation • Municipal Engineering



LOCATION MAP

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: 94-14-1-P
- NOISE ANALYSIS REPORT BY T. J. BROWN & ASSOCIATES, INC. DATED 11/14/15
- OWNER: WILLOW LLC, 12 WILLOW LANE, NEWBURGH, NY 10951
- APPLICANT: WILLOW LLC, 12 WILLOW LANE, NEWBURGH, NY 10951
- ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL SERVICE REPAIR ACTIVITIES, OTHER THAN AN EMERGENCY REPAIR, SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCIES. ALL REPAIRS SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- NO SERVICE SHALL BE INTERRUPTED DURING CONSTRUCTION. ANY NECESSARY INTERRUPTIONS SHALL BE NOTICED IN ADVANCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURGH ZONING ORDINANCES AND THE STATE ENGINEERING DESIGN LAW.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURGH ZONING ORDINANCES AND THE STATE ENGINEERING DESIGN LAW.
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- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURGH ZONING ORDINANCES AND THE STATE ENGINEERING DESIGN LAW.

PARKING REQUIREMENTS

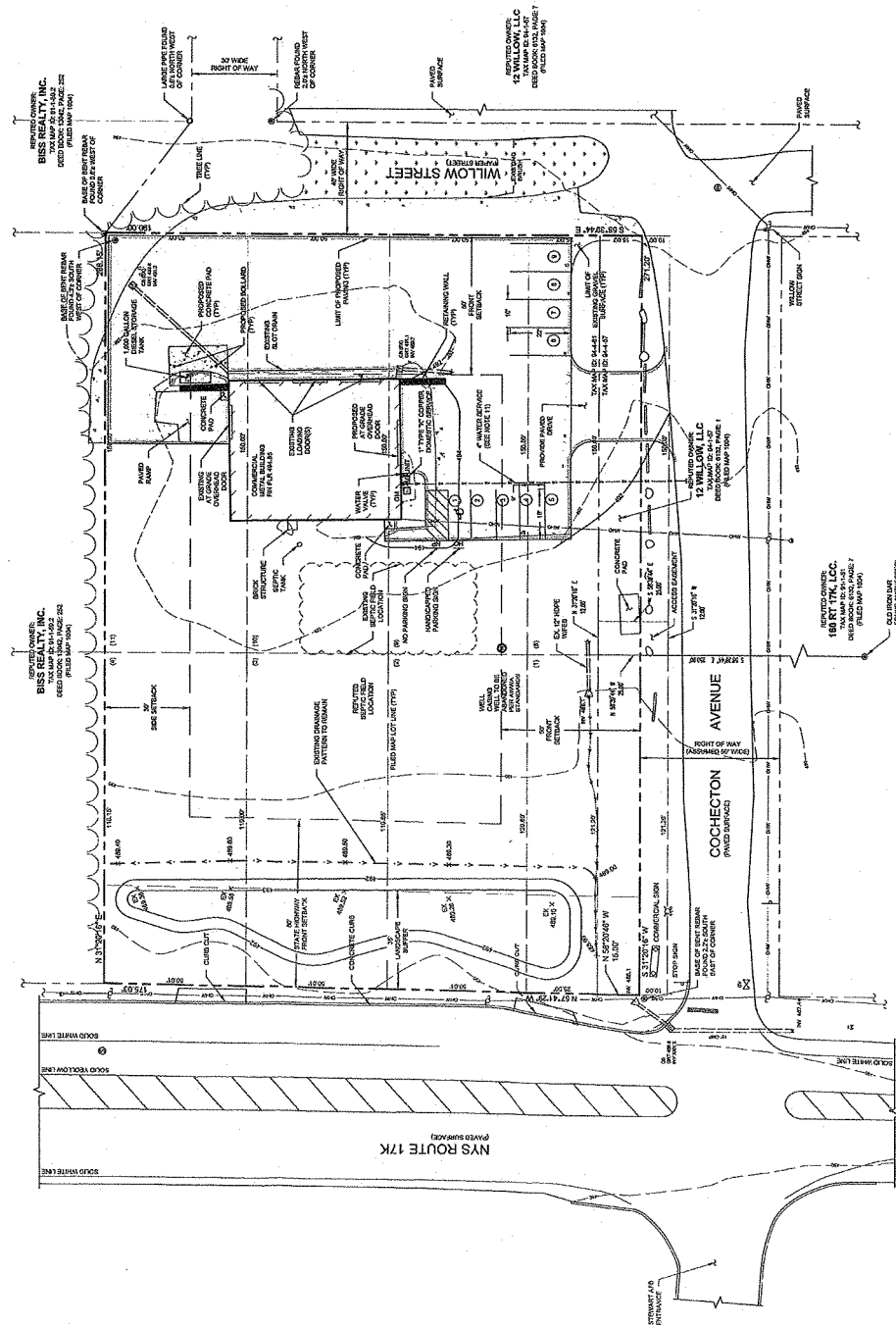
PROPOSED PARKING SPACES: 12 SPACES FOR SERVICE, 1 ADDITIONAL SPACES, 6 SPACES
 SUFFICIENT PARKING OR ALTERNATE METHOD OF TRAVEL SHALL BE PROVIDED FOR THE PERIOD OF THE USE OF THE LOT.

TOTAL PARKING SPACES: 19 SPACES
 PROPOSED PARKING SPACES: 12 SPACES FOR SERVICE, 1 ADDITIONAL SPACES, 6 SPACES
 TOTAL PARKING SPACES: 19 SPACES

BULK REQUIREMENTS

TOWN OF NEWBURGH - ZONING DISTRICT INTERCHANGE BUSINESS (B)
 USE: MOTOR VEHICLE SERVICE STATION

MINIMUM REQUIREMENTS	PROPOSED
LOT AREA	48,777
LOT WIDTH	100 FEET
LOT DEPTH	394 FEET
FREIGHT YARD	61 FEET
HEIGHT (MAXIMUM)	18.1 FEET
SETBACK (FRONT)	N/A
SETBACK (SIDE)	6.25 FEET
MAXIMUM ALLOWABLE	48 FT
MINIMUM BUILDING HEIGHT	24'
LOT BUILDING COVERAGE	65%
MAXIMUM BUILDING HEIGHT	18.1'



No.	DATE DESCRIPTION
1.	12/23/2015 REVISED PER ENGINEER COMMENTS - SERVICES
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DRAWING STATUS

THIS SHEET IS PART OF SHEET NUMBER	N/A OF N/A
DATE OF APPROVAL	N/A OF N/A
DATE OF REVISION	N/A OF N/A
DATE OF MATHEMATICAL APPROVAL	N/A OF N/A
DATE OF MECHANICAL APPROVAL	N/A OF N/A
DATE OF ELECTRICAL APPROVAL	N/A OF N/A
DATE OF CIVIL APPROVAL	N/A OF N/A
DATE OF CONSTRUCTION APPROVAL	N/A OF N/A

THIS PLAN IS A PRELIMINARY DESIGN AND SHALL BE USED FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ENGINEERING PROPERTIES

11 CALVERT STREET
 HORTONVILLE, NY 10928
 TEL: (845) 481-1000
 FAX: (845) 481-1009

SITE PLAN

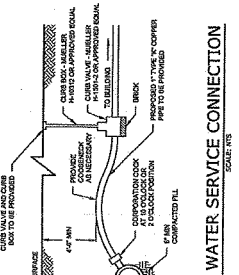
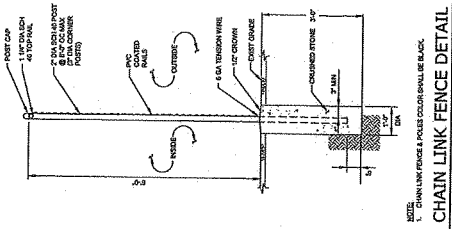
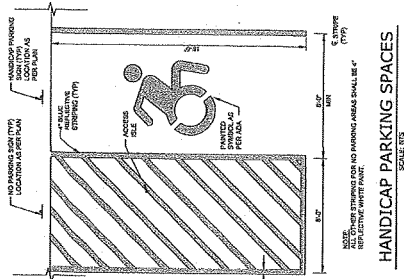
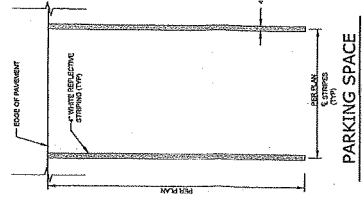
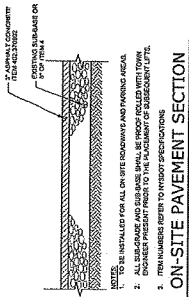
SIEROTA
 145 COCHECTON AVENUE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

DATE: 02/18/16 SCALE: 1" = 20'
 DRAWN BY: JLL
 CHECKED BY: JLL
 PROJECT NO.: 15-1105215

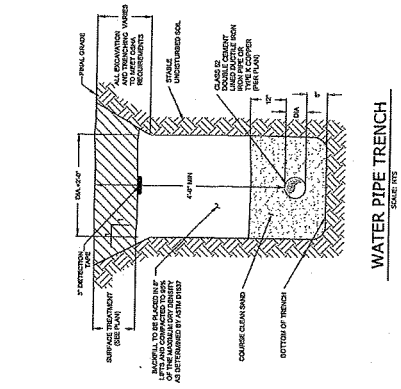
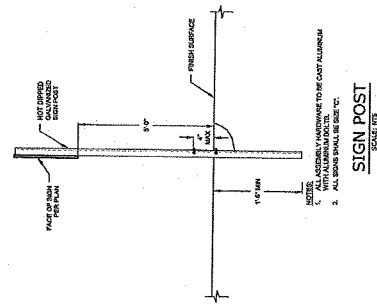
C-1

SCALE: 1" = 20'

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	HEIGHT	DESCRIPTION
HP	[Symbol]	PHC	12" x 18"	GRID	5'-0"	WHITE BACKGROUND RED LETTERING
HC	[Symbol]	HSC	18" x 24"	GRID	5'-0"	BLUE BACKGROUND WHITE LETTERING



- WATER SERVICE CONNECTION NOTES:**
- CONNECTIONS TO BE MADE BY THE TOWN OF SIERROTA WATER DEPARTMENT TO THE TOWN OF SIERROTA WATER SYSTEM REQUIRING A PERMIT FROM THE TOWN ENGINEER OF THE TOWN OF SIERROTA.
 - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K BLACK IRON PIPE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF SIERROTA WATER DEPARTMENT SPECIFICATIONS.
 - ALL WATER SERVICE LINES GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE TYPE K BLACK IRON PIPE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF SIERROTA WATER DEPARTMENT SPECIFICATIONS.



CONCRETE PAVEMENT

SCALE: 1/8" = 1'-0"

WATER PIPE TRENCH

SCALE: 1/8" = 1'-0"

No. DATE DESCRIPTION

1. ISSUED FOR ENGINEER COMMENTS
2. ISSUED FOR ENGINEER COMMENTS
3. ISSUED FOR ENGINEER COMMENTS

DRAWING STATUS

DESCRIPTION	DATE	BY	STATUS
DESIGNED			N/A OF N/A
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR:			N/A OF N/A
CHECKED			N/A OF N/A
DATE			N/A OF N/A
APPROVED			N/A OF N/A
DATE			N/A OF N/A
DESIGNED			N/A OF N/A
DATE			N/A OF N/A
CHECKED			N/A OF N/A
DATE			N/A OF N/A
APPROVED			N/A OF N/A
DATE			N/A OF N/A

ORIGINAL SCALE IN INCHES

ENGINEERING & SURVEYING PROPERTIES

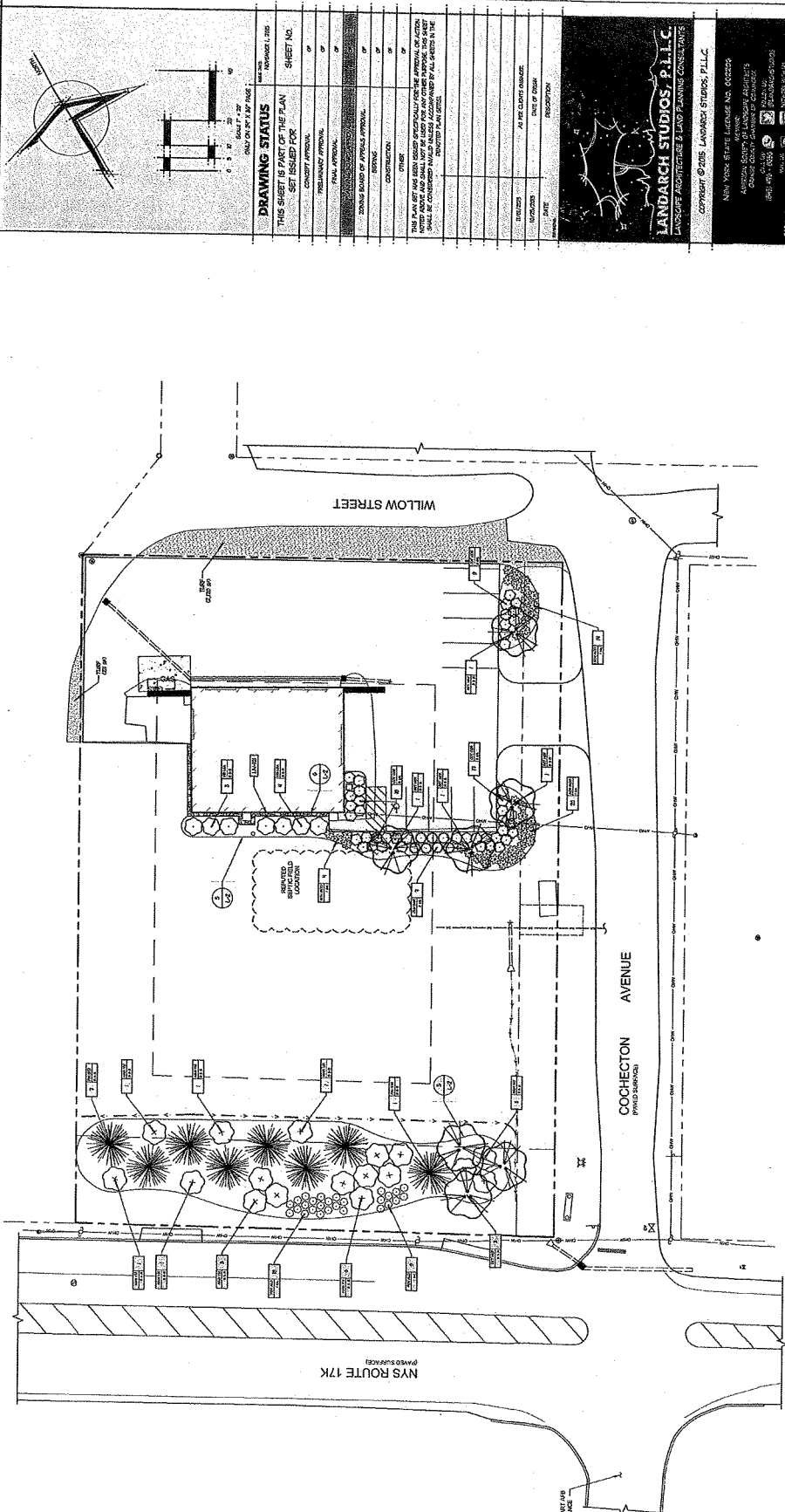
SIERROTA
176 ROUTE 17K
TOWN OF SIERROTA
ORANGE COUNTY, NEW YORK

SCALE: 1" = 20'

DATE: 07/28/15

PROJECT: 1-17051-15

C-2



GENERAL NOTES SCHEDULE:

- 1. GENERAL NOTES:
- 2. GENERAL NOTES:
- 3. GENERAL NOTES:
- 4. GENERAL NOTES:
- 5. GENERAL NOTES:
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- 7. GENERAL NOTES:
- 8. GENERAL NOTES:
- 9. GENERAL NOTES:
- 10. GENERAL NOTES:

LAYOUT NOTES SCHEDULE:

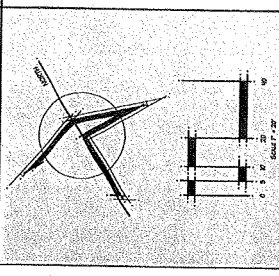
- 1. LAYOUT NOTES:
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- 8. LAYOUT NOTES:
- 9. LAYOUT NOTES:
- 10. LAYOUT NOTES:

SEED SCHEDULE

- 1. SEED SCHEDULE:
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- 8. SEED SCHEDULE:
- 9. SEED SCHEDULE:
- 10. SEED SCHEDULE:

PLANT SCHEDULE

SYMBOL	QUANTITY	PLANT NAME	SIZE	SPACING	TOTAL AREA
1	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
2	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
3	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
4	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
5	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
6	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
7	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
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10	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
11	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
12	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
13	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
14	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
15	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
16	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
17	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
18	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
19	1	PLANT NAME	SIZE	SPACING	TOTAL AREA
20	1	PLANT NAME	SIZE	SPACING	TOTAL AREA



DRAWING STATUS
 THIS SHEET IS PART OF THE PLAN
 SET ISSUED FOR
 CHECKED APPROVAL
 PROFESSIONAL APPROVAL
 SEAL AND SIGNATURE OF ARCHITECT
 CONTRACTOR
 DATE
 DESCRIPTION

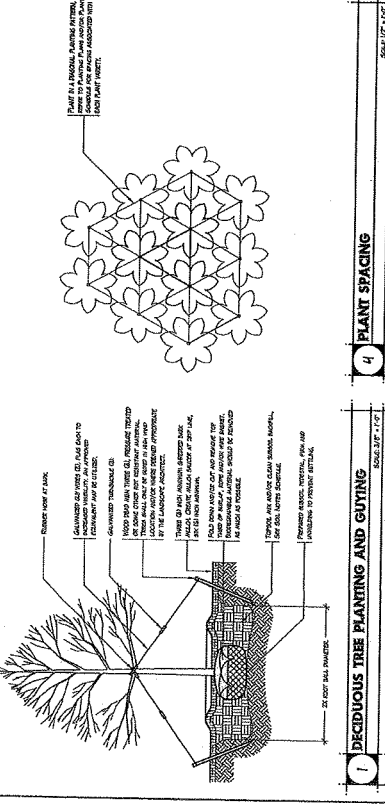
LANDARCH STUDIOS P.L.L.C.
 LANDSCAPE ARCHITECTS & LAND PLANNING CONSULTANTS
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 NEW YORK STATE LICENSE NO. 000293
 American Society of Landscape Architects
 340 W. WASHINGTON STREET
 5TH FLOOR
 NEW YORK, NY 10014

SIEROTA
162 ROUTE 17K
 6 HIGH LINESIDE TERRACES
 WALLKILL, NEW YORK 12589

PLANTING PLAN
 SHEET NO. L-1

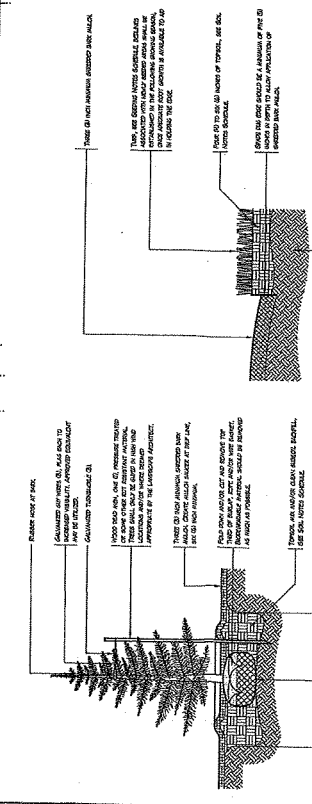
PLANTING NOTES SCHEDULE:

NO.	DESCRIPTION
PL-01	PLANT IN A DECIDUOUS PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-02	PLANT IN A SPADE DUG PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-03	PLANT IN A CONTAINER AND B&B SHRUB PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-04	PLANT IN A DECORATIVE STONE BUFFER WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.



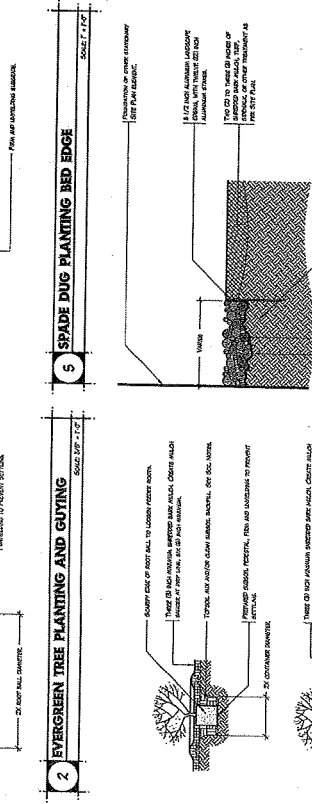
SEEDING NOTES SCHEDULE:

NO.	DESCRIPTION
SE-01	SEEDING IN A PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SE-02	SEEDING IN A SPADE DUG PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SE-03	SEEDING IN A CONTAINER AND B&B SHRUB PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SE-04	SEEDING IN A DECORATIVE STONE BUFFER WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.



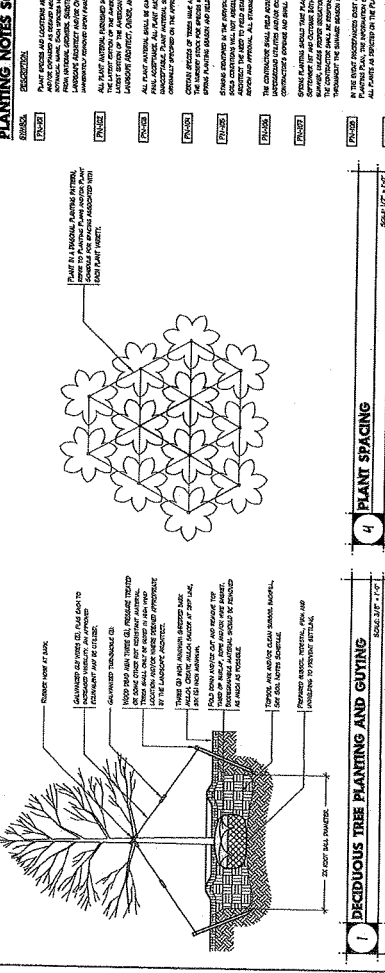
SOIL NOTES SCHEDULE:

NO.	DESCRIPTION
SN-01	SOIL IN A PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SN-02	SOIL IN A SPADE DUG PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SN-03	SOIL IN A CONTAINER AND B&B SHRUB PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SN-04	SOIL IN A DECORATIVE STONE BUFFER WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.



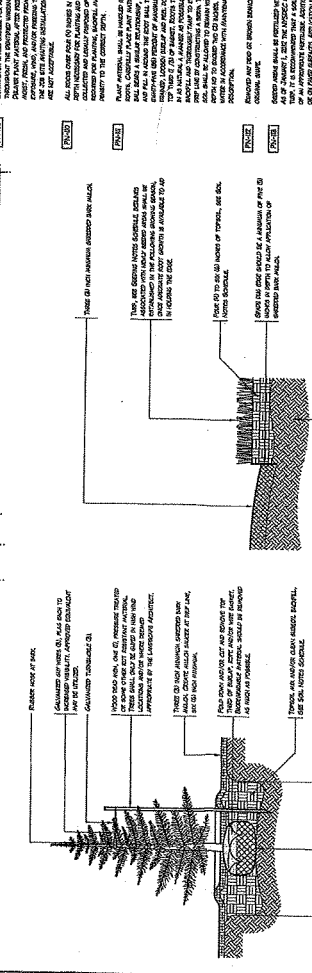
PLANTING NOTES SCHEDULE:

NO.	DESCRIPTION
PL-01	PLANT IN A DECIDUOUS PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-02	PLANT IN A SPADE DUG PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-03	PLANT IN A CONTAINER AND B&B SHRUB PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
PL-04	PLANT IN A DECORATIVE STONE BUFFER WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.



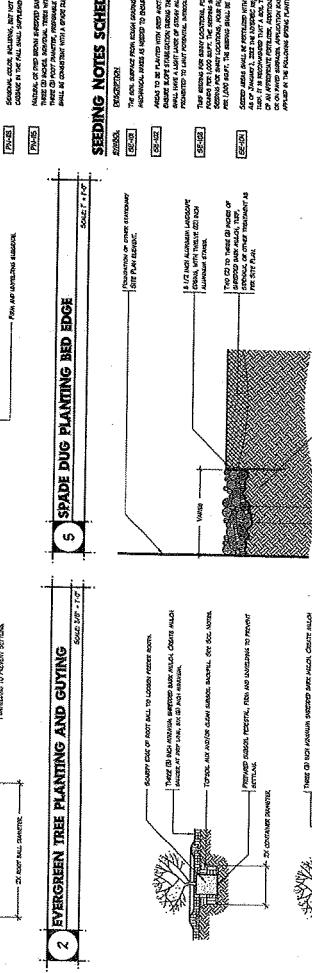
SEEDING NOTES SCHEDULE:

NO.	DESCRIPTION
SE-01	SEEDING IN A PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SE-02	SEEDING IN A SPADE DUG PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
SE-03	SEEDING IN A CONTAINER AND B&B SHRUB PLANTING BED WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.
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NO.	DESCRIPTION
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SN-04	SOIL IN A DECORATIVE STONE BUFFER WITH 18" PLANT SPACING. SEE PLANTING BED SCHEDULE FOR PLANTING BED DETAILS.



DRAWING STATUS	NO.
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	
CONCEPT APPROVAL	
PRELIMINARY APPROVAL	
FINAL APPROVAL	
ZONING BOARD OF APPEALS APPROVAL	
PERMITS	
CONSTRUCTION	
OTHER	

SHEET NO.	NO.
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LANDSCAPE ARCHITECTURE & LAND PLANNING CONSULTANTS
CORPORATE OFFICE: LANDARCH STUDIOS, P.L.L.C.
NEW YORK OFFICE: 100 WEST STREET, NEW YORK, NY 10038
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WWW.LANDARCHSTUDIOS.COM

SIEROTIA
162 ROUTE 17K
6 HIGH LONESOME TERRACE
WALLKILL, NEW YORK 12589
TEL: 845.261.1234
WWW.SIEROTIA.COM

PLANTING DETAILS
SHEET NO. 1-2

