

Redner Residence

741 Route 32
Walkkill, New York

Number	Date	Revision
1	January 20, 2021	Building Permit Application

Location Plan

NTS

Plot Plan

NTS

General Notes

- It is the responsibility of the Contractor to coordinate the work of all trades, (including those trades that may be under separate contract), scheduling, and overall cleanup.
- The Construction Documents are supplied to illustrate the design and general type of construction desired and are intended to imply the finest quality of construction, materials and workmanship throughout.
- The Contractor, upon acceptance of the Construction Documents, assumes full responsibility for the construction, materials, and workmanship of the work described therein; and shall execute the work of the contract to comply with the spirit as well as the letter in which it was written. In order to discover and resolve any lack of definition or conflicts which might create construction problems, the Contractor shall thoroughly examine the Construction Documents and the existing conditions of the job site and submit a written report to the Architect within 15 days after receipt of the documents. Beginning of work indicates acceptance of the documents.
- The Contractor shall maintain a current and complete set of construction documents during all phases for use by all trades, and will remove superseded documents from the job site.
- The Contractor is responsible to provide, as required to do the work, all temporary utilities, temporary enclosures to protect the work, tree and plant protection, barricades, security, and special protection such as dust control and noise control.
- Upon completion, all work shall be cleaned by the Contractor and will include removal of all spots, stains, and paint drippings, etc.
- No extras will be permitted unless submitted in writing by the Contractor and approved in writing by the Owner and the Architect.
- The General Contractor shall be responsible for complying with all building codes, ordinances and regulation governing the work of this project.
- The General Contractor and all Sub-contractors hereby indemnify and agree to defend and hold the Owner and Architect harmless from and against any and all suits, claims, actions, loss, cost or expense arising out of the contract work.
- All Contractors shall be held responsible to have verified all dimensions and existing conditions before proceeding with the work. Any errors, omissions, discrepancies, or questionable items in the contract documents shall be immediately brought to the attention of the Architect either before or during construction.
- In no instance shall working dimensions be scaled from drawings. Figures on drawings govern, and larger scale drawings govern smaller scale drawings. In case of discrepancies between drawings and Specifications, the Specifications shall govern.
- The A.I.A. General Conditions, latest edition (Document A201) shall be binding on this contract as if it were reproduced here in full.
- The General Contractor shall provide sanitary facilities for workers use. No access will be permitted to the existing residence by the General Contractor, his Sub-Contractors and their forces beyond that which is required by the work of this contract. Access to the premises required by the work will be coordinated with the Owner and given with the Owner's permission.
- The General Contractor shall be responsible for protecting, patching, and repairing all existing areas and work adjacent to his work or damaged as a result of his work at his own expense and at no additional cost to the Owner.
- All material shall be new and delivered to the site in its original packaging.
- The Architect shall have access to the job site at all times, and to the factory or shop of any of the Sub-contractors. Any inferior material or workmanship shall be removed upon demand and work shall be reconstructed as approved by the Architect at the Contractor's sole expense.

General Notes

- The Contractor shall perform all demolition and removal and related work described in the Contract Documents, and reasonably inferred as necessary to complete the work.
- The General Contractor shall maintain existing utilities in operation during the performance of his work.
- The Contractor shall provide centrally located benchmarks for use by all trades.
- Drawing dimension are to finished walls, joint centerlines, or structural centerlines unless specifically noted otherwise.
- The General Contractor shall be responsible for obtaining soil bearing testing performed by a licensed engineer; and shall report the findings to the Architect prior to foundation work.

Abbreviations

AFF	ABOVE FINISHED FLOOR
B.O.	BOTTOM OF
CAB	CABINET
CT	CERAMIC TILE
CLC/CLOS	CLOSET
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
DIM	DIMENSION
DWG	DRAWING
ELE/ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXTG	EXISTING
FIN	FINISHED
FLR	FLOOR
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
INSUL	INSULATION
INT	INTERIOR
LAV	LAVATORY
MC	MEDICINE CABINET
MIN	MINIMUM
MTD	MOUNTED
MTL	METAL
NIC	NOT IN CONTRACT
OC	ON CENTER
PL/LAM	PLASTIC LAMINATE
PTD	PAINTED
R/RAD	RADIATOR
R&S	ROD & SHELF
REQ'D	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
TYP	TYPICAL
VIF	VERIFY IN FIELD
WD	WOOD

Materials / Symbols

	Existing Masonry Wall
	New Partition
	Concrete
	Concrete Masonry Unit
	Welded Wire Mesh
	Plywood
	Finish Wood
	Batt Insulation
	Rigid Insulation
	Section
	Detail
	Interior Elevation
	Door Number
	Window Number
	Centerline

Project Data

Project Address: 741 Route 32
Walkkill, New York

Owner: Jim & JoAnn Redner
741 Route 32
Walkkill, NY

Architect: Aryeh Siegel, Architect
84 Mason Circle,
Beacon, New York 12508

Compliance: 2020 Residential Code of NYS

Zone: R1 (Single Family)

Tax Map No.: 4-2-39.1

NOTES:
1. THE WORK OF THIS PROJECT IS FILED UNDER THE 2020 RESIDENTIAL CODE OF NY STATE.

Drawing List

Cover Sheet
Demolition Plan
First Floor Plan & RCP
Framing Plan & Roof Plan
Elevations
Elevations
Building Sections

D-101
A-101
A-102
A-201
A-202
A-301

ARYEH SIEGEL
ARCHITECT

84 Mason Circle
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845 838 2490
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Cover Sheet

Date: December 4, 2020

Scale: Drawing Number:

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER [READY FOR REUSE]. INCLUDE FASTENERS OR BRACKETS NEEDED FOR REATTACHMENT ELSEWHERE.
- B. PREDEMOLITION PHOTOGRAPHS: SHOW EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS. SUBMIT BEFORE WORK BEGINS.
- C. OWNER WILL OCCUPY PORTIONS OF BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNER'S OPERATIONS WILL NOT BE DISRUPTED.
- D. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. REGULATORY REQUIREMENTS: COMPLY WITH EPA REGULATIONS AND WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

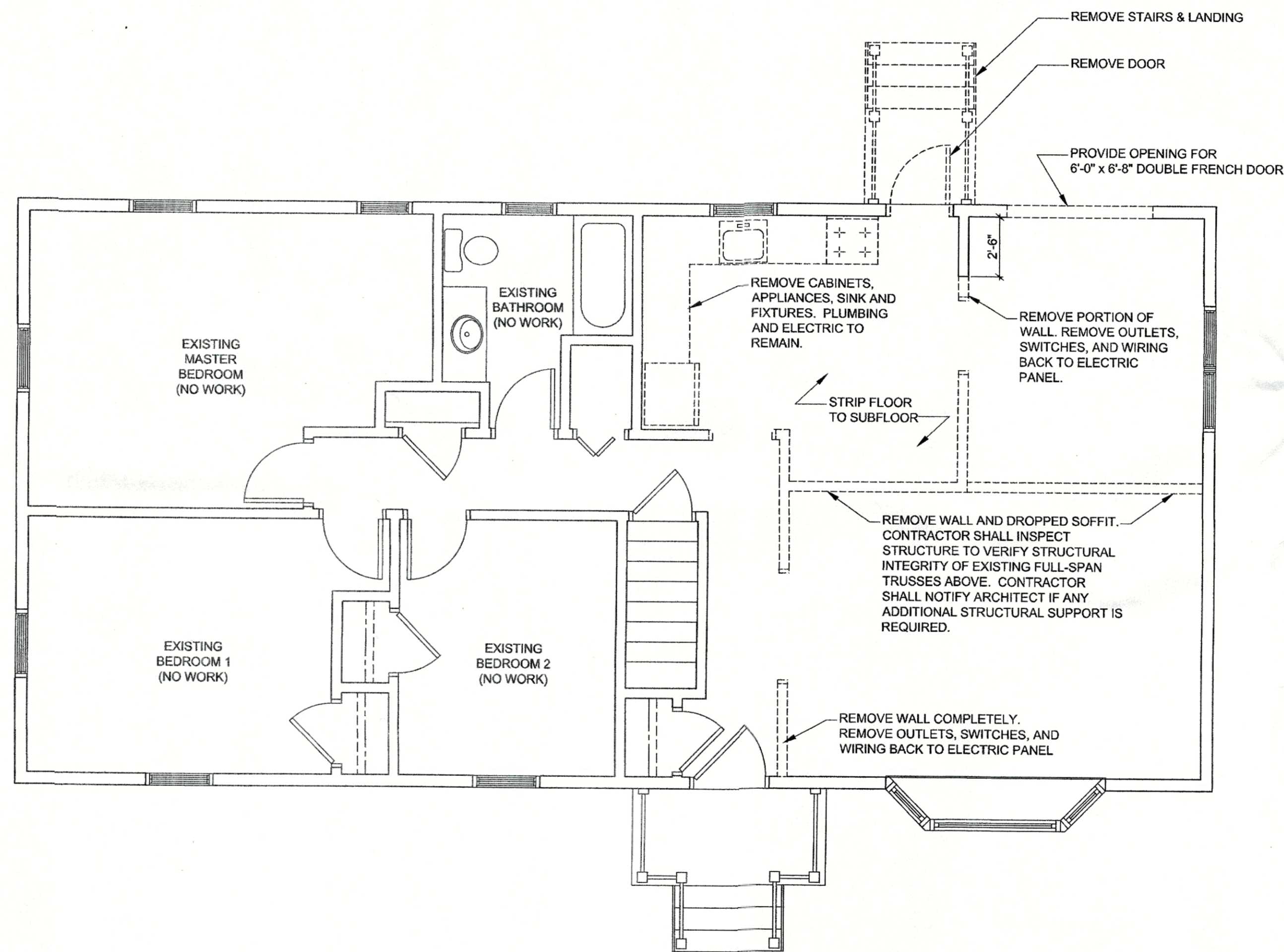
PART 3 - EXECUTION

3.1 DEMOLITION

- A. MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. BEFORE PROCEEDING WITH DEMOLITION, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF THE BUILDING.
- B. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- C. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- D. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- E. PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
- F. REQUIREMENTS FOR BUILDING REUSE:
 - 1. MAINTAIN EXISTING BUILDING STRUCTURE (INCLUDING STRUCTURAL FLOOR AND ROOF DECKING) AND ENVELOPE (EXTERIOR SKIN AND FRAMING, EXCLUDING WINDOW ASSEMBLIES AND NONSTRUCTURAL ROOFING MATERIAL) NOT INDICATED TO BE DEMOLISHED; DO NOT DEMOLISH SUCH EXISTING CONSTRUCTION BEYOND INDICATED LIMITS.
 - 2. MAINTAIN EXISTING INTERIOR NONSTRUCTURAL ELEMENTS (INTERIOR WALLS, DOORS, FLOOR COVERINGS, AND CEILING SYSTEMS) NOT INDICATED TO BE DEMOLISHED; DO NOT DEMOLISH SUCH EXISTING CONSTRUCTION BEYOND INDICATED LIMITS.
- I. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
- J. REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL. DO NOT BURN DEMOLISHED MATERIALS.
- K. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

DEMOLITION NOTES:

1. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
2. MAINTAIN SERVICES/SYSTEMS TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. BEFORE PROCEEDING WITH DEMOLITION, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF THE BUILDING.
3. THE CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE, FREE OF ANY FOREIGN MATTER.
4. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF PLUMBING AND UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
5. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
7. PRIOR TO REMOVAL THE CONTRACTOR IS TO IDENTIFY ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE ARCHITECT AND ENGINEER.
8. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL FIRE STAIRS DURING AND AFTER DEMOLITION.
9. CONTRACTOR SHALL CAREFULLY INSPECT ALL EXISTING CONDITIONS TO DETERMINE THE LOCATIONS AND CONDITIONS OF STRUCTURAL MEMBERS, BEARING LINES, ETC. IF CONDITIONS ARE ENCOUNTERED REQUIRING STRUCTURAL ENGINEERING, INFORM THE ARCHITECT AND OWNER IMMEDIATELY, AND THE OWNER WILL RETAIN THE SERVICES OF A N.Y.S. LICENSED STRUCTURAL ENGINEER TO PROVIDE SPECIFICATIONS.
10. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN OR CONSTRUCTION BEING DEMOLISHED. IT IS THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO MAINTAIN SAFETY AND STRUCTURAL STABILITY.
11. CONTRACTOR SHALL CAREFULLY EXAMINE WALLS SHOWN TO REMAIN TO DETERMINE IF THEY ARE BEARING WALLS CAPABLE OF SUPPORTING THE EXISTING STRUCTURE. IF ADDITIONAL BEARING IS REQUIRED, PROVIDE TEMPORARY FRAMING WITH TOP AND BOTTOM PLATES IN A CONTINUOUS LINE FROM THE BOTTOM TO THE TOP OF THE BUILDING.
12. PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
13. PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN. ERECT AND MAINTAIN DUSTPROOF PARTITIONS. COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.
14. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
15. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
16. CONTRACTOR SHALL PROVIDE DUST PROTECTION AT POINTS OF DEMOLITION, AND EXISTING AREAS TO REMAIN.
17. THE CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS DAILY.
18. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL INSURE THAT ALL AREAS BE LEFT BROOM CLEAN.
19. PRIOR TO THE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS, APPROVALS, ETC. FROM ALL RESPECTIVE DEPARTMENTS, AGENCIES, COMMISSIONS, ETC. HAVING JURISDICTION AND SHALL SUBMIT ONE (1) COPY OF SUCH TO BOTH THE OWNER, THE ARCHITECT AND THE CONSTRUCTION MANAGER EACH.
20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING CODE AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS, AND COMMISSIONS HAVING JURISDICTION.
21. THE CONTRACTOR SHALL EMPLOY MEANS AND METHODS, THAT MINIMIZE VIBRATION NOISE, DUST, POLLUTANTS AND OTHER DISTURBANCES TO OPERATIONS OF EXISTING ADJACENT TENANCIES.
22. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OPERATIONS. NO WORK IS TO TAKE PLACE WHICH ALTERS THE BUILDING STRUCTURE OR STRUCTURAL FIRE PROOFING SYSTEMS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE CONSTRUCTION MANAGER PRIOR TO THE START OF THE WORK. COMMENCEMENT OF THE WORK SHALL IMPLY ACCEPTANCE OF ALL EXISTING CONDITION.
23. THE CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR SPACES AND ASSEMBLIES ADJACENT TO THE AREA OF OPERATION UNDER THIS CONTRACT. ANY DAMAGE OR DISTURBANCE RESULTING FROM WORK DONE UNDER THIS CONTRACT SHALL BE PROMPTLY RESTORED, REPLACE, OR REPAIRED AT NO EXTRA COST OF THE OWNER.
24. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
25. SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALL, RELOCATION OF DUCT SHAFTS OR PIPE CHASES OR REMOVAL OF PARTITIONS OR FIXTURES.



1 1st Floor Demo Plan
1/4" = 1'-0"

Redner Residence

741 Route 32
Walkkill, New York

1	January 20, 2021	Building Permit Application
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Demo Plan

Date: December 4, 2020

Scale: 1/4" = 1'-0" Drawing Number: D-100

DOOR AND FRAME SCHEDULE

MARK	WIDTH	HEIGHT	MATERIAL	FRAME	HARDWARE	FIRERATING	MANUFACTURER	MODEL	NOTES
01	3'-0"	6'-8"	WD	WD	-	-	ANDERSON	FWH3168	PROVIDE WEATHER-STRIPPING
02	PR 6'-0"	6'-8"	WD	WD	-	-	ANDERSON	FWH6068	AND WEATHER PROOF SADDLE

ELECTRIC SCHEDULE	
⌚	SINGLE POLE SWITCH
⌚₃	3-WAY SWITCH
⌚₆	DIMMER SWITCH
⌚	DUPLEX OUTLET
⌚	GROUND FAULT INTERRUPTER CIRCUIT
⌚	EXHAUST FAN - 75 CFM
⌚	EXHAUST FAN/LIGHT COMBO - 75 CFM
⌚	CABLE OUTLET

LIGHTING SCHEDULE	
⌚	SUSPENDED PENDENT (HANGING LIGHT FIXTURE)
⌚	SURFACE MOUNTED CEILING LIGHT FIXTURE
⌚	RECESSED CEILING LIGHT FIXTURE
⌚	WATER-RESISTANT RECESSED LIGHT FIXTURE
⌚	WALL MOUNTED LIGHT FIXTURE
⌚	EXTERIOR WALL MOUNTED LIGHT FIXTURE
⌚	CONTINUOUS TRACK LIGHTING

FIRE PROTECTION / EMERGENCY EQUIPMENT SCHEDULE	
⌚	SMOKE DETECTOR - HARD WIRED WITH BATTERY BACK-UP
⌚	CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK-UP
⌚	EMERGENCY WALL PACK LIGHT
⌚	EMERGENCY EXIT SIGN
⌚	CODE COMPLIANT PORTABLE FIRE EXTINGUISHER

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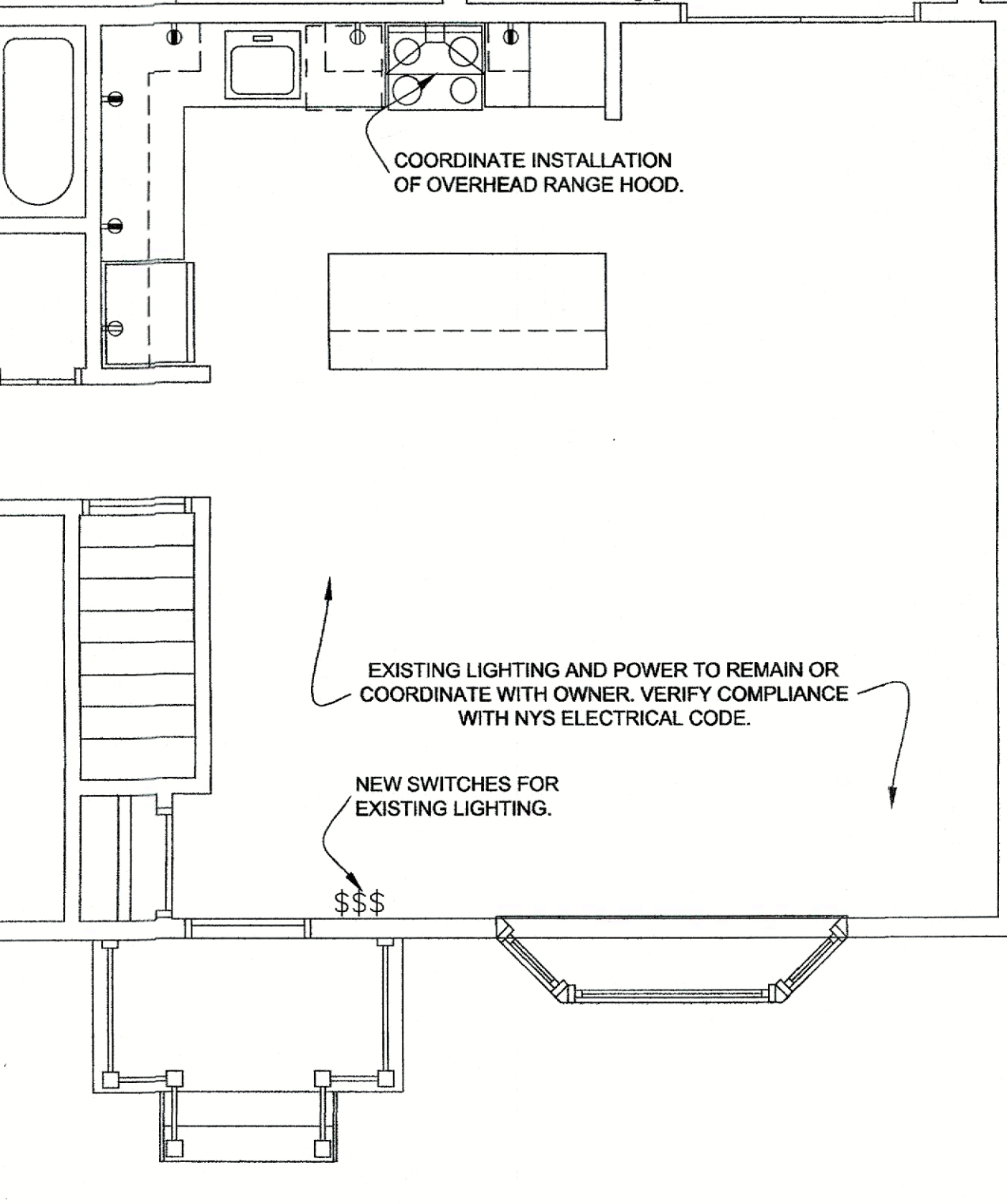
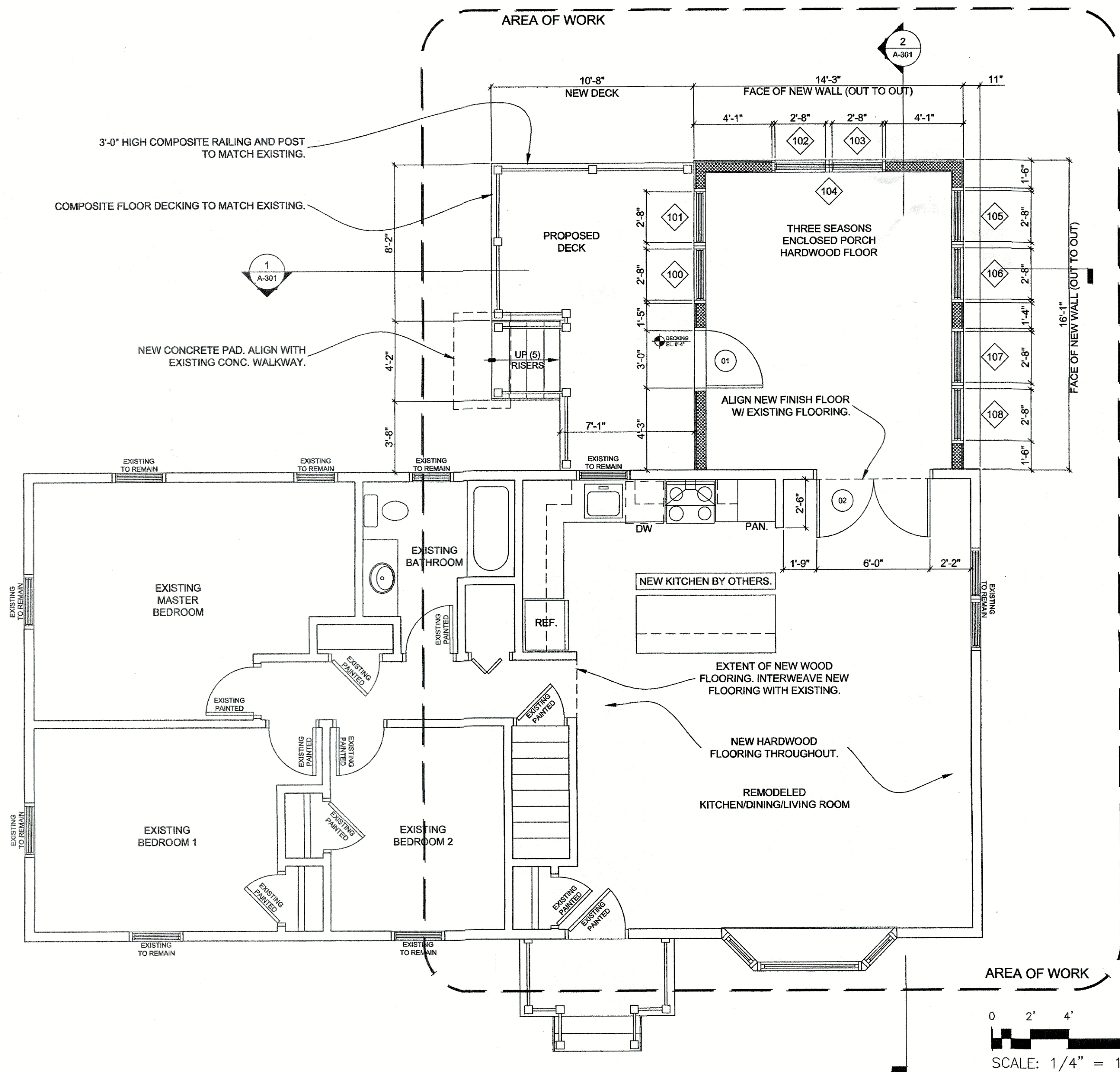
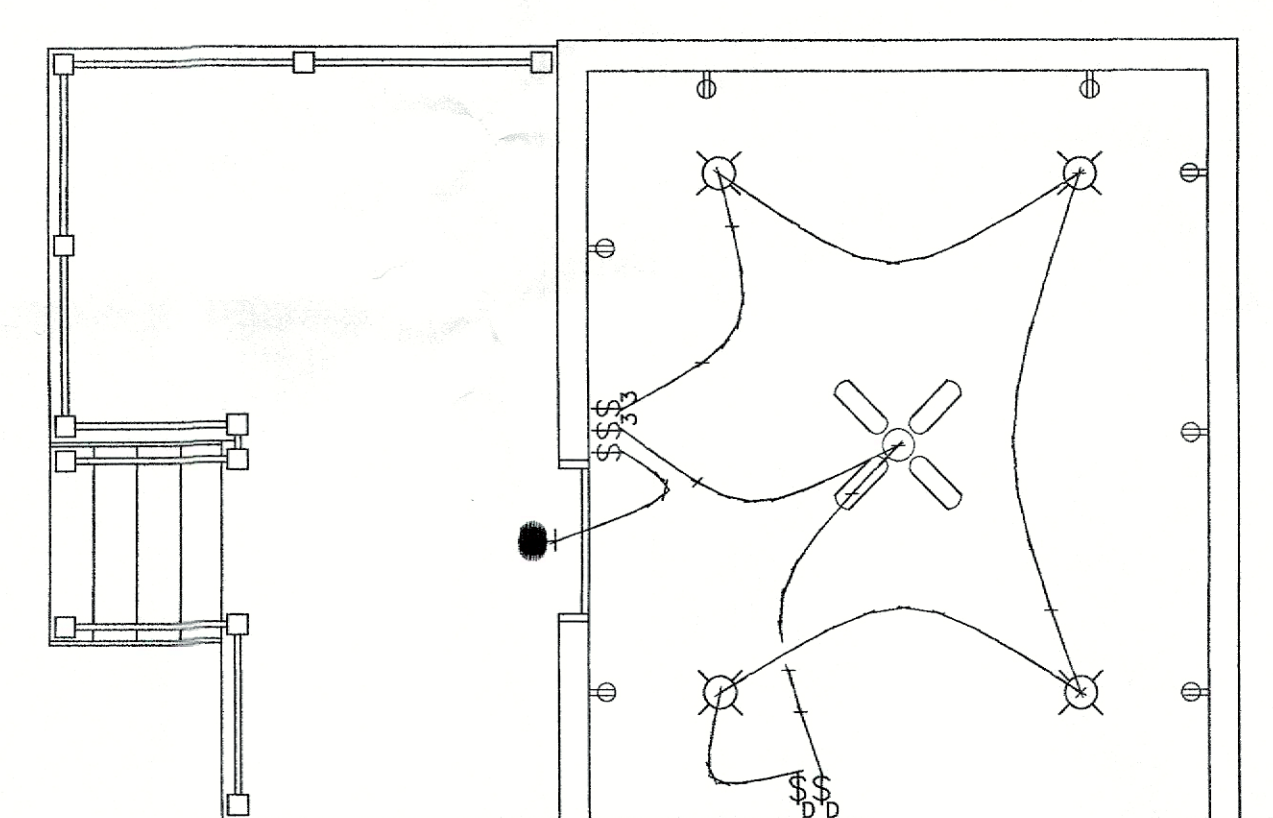
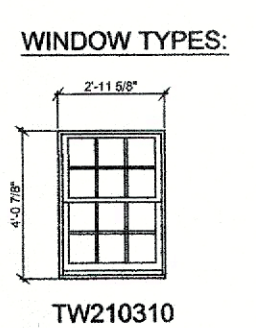
1st Floor Plan Reflected Ceiling Plan

Date: December 4, 2020

Scale: 1/4" = 1'-0" Drawing Number: A-101

WINDOW SCHEDULE

MARK	SIZE		TYPE	MATERIAL	MANUFACTURER	MODEL	NOTES
	WIDTH	HEIGHT					
100	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
101	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
102	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
103	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
104	6'-0"	1'-10"	ARCHED	VINYL CLAD	ANDERSEN	AFFW601	---
105	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
106	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
107	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---
108	3'-0"	4'-0"	DOUBLE HUNG	VINYL CLAD	ANDERSEN	TW210310	---



0 2' 4' 8'
SCALE: 1/4" = 1'-0"

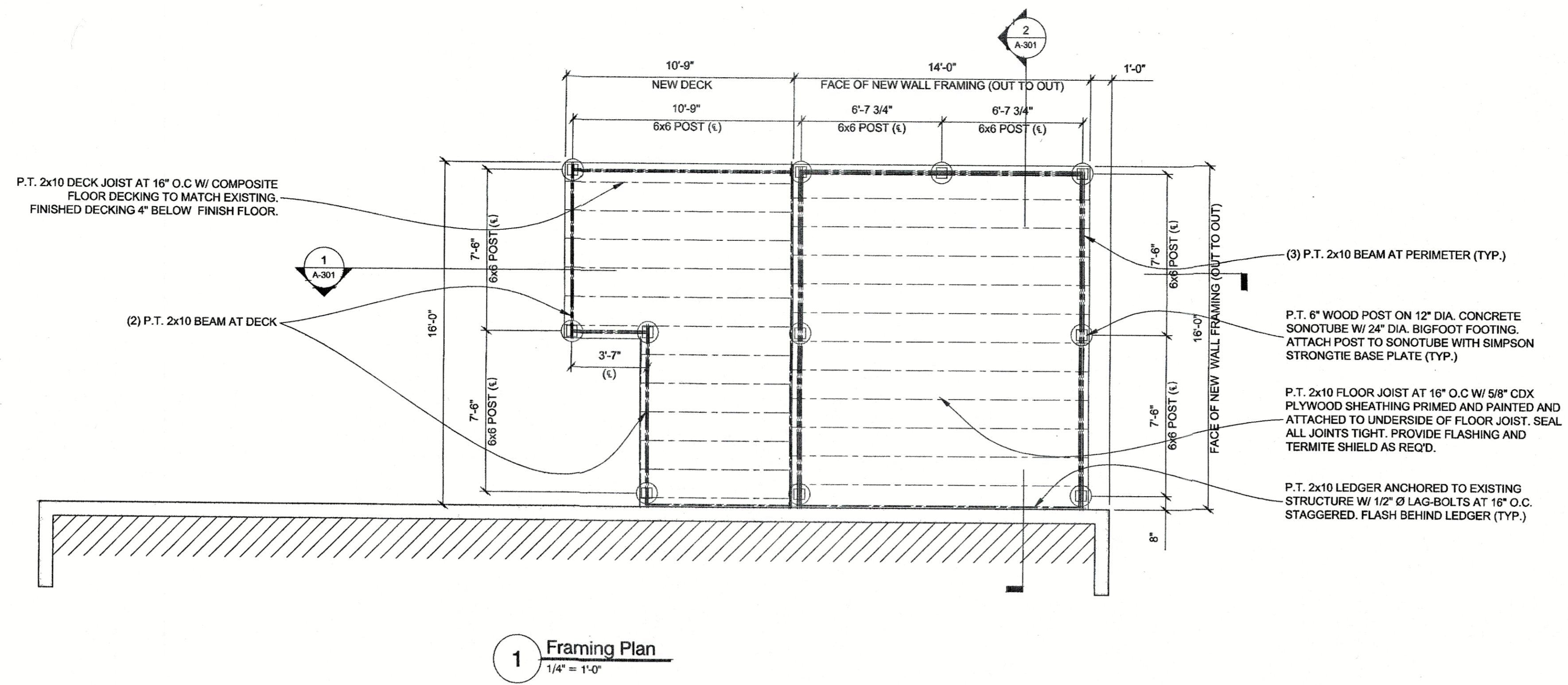
0 2' 4' 8'
SCALE: 1/4" = 1'-0"

2 Reflected Ceiling Plan
1/4" = 1'-0"

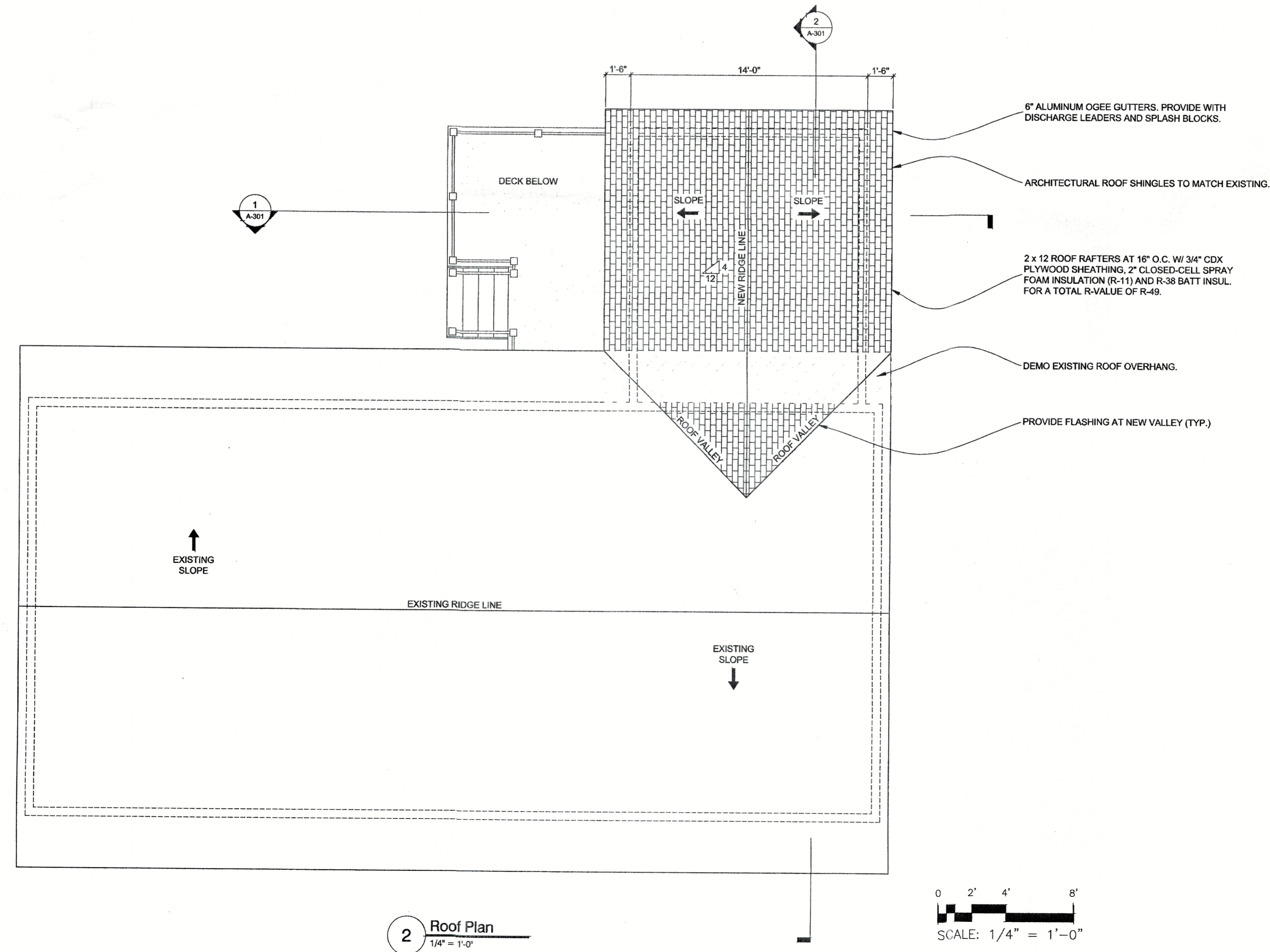
1 1st Floor Plan
1/4" = 1'-0"

Redner Residence

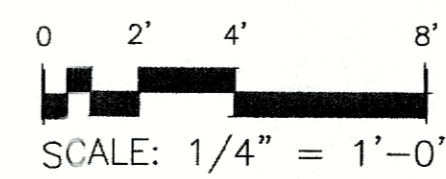
741 Route 32
Wallkill, New York



1 Framing Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



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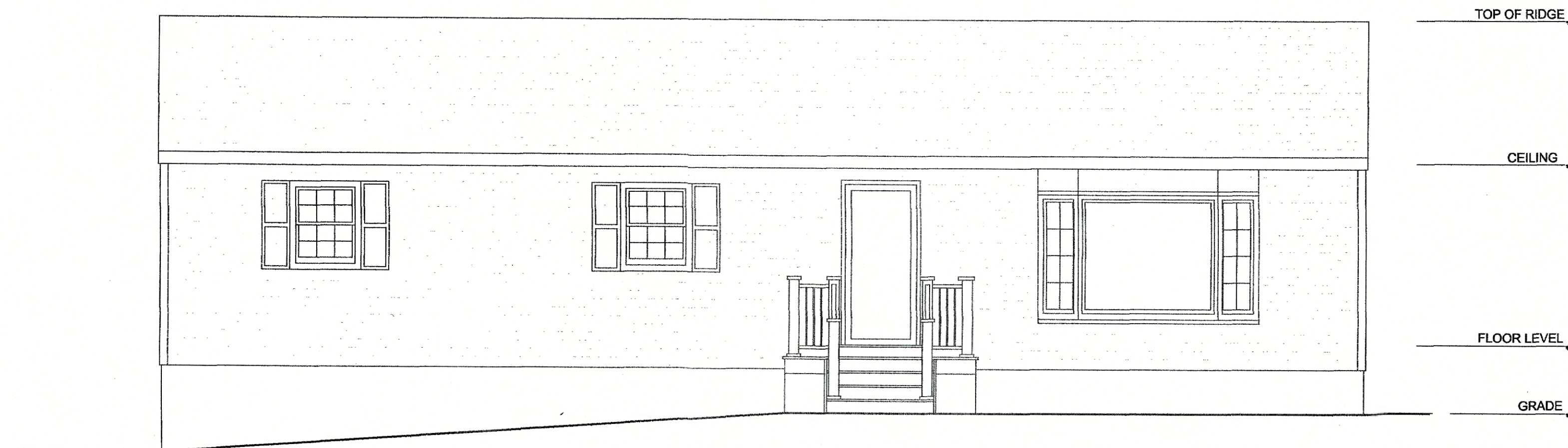
Framing Plan
Roof Plan

Date: December 4, 2020

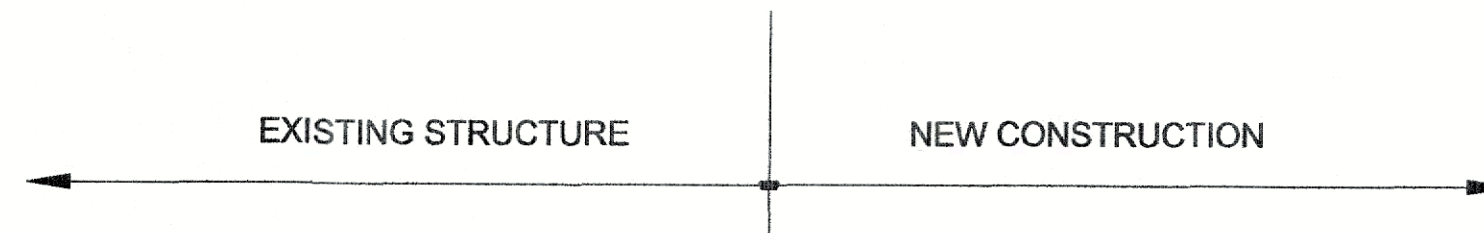
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Redner Residence

741 Route 32
Walkkill, New York



1 Front Elevation (No Work)
1/4" = 1'-0"



2 Right Side Elevation
1/4" = 1'-0"

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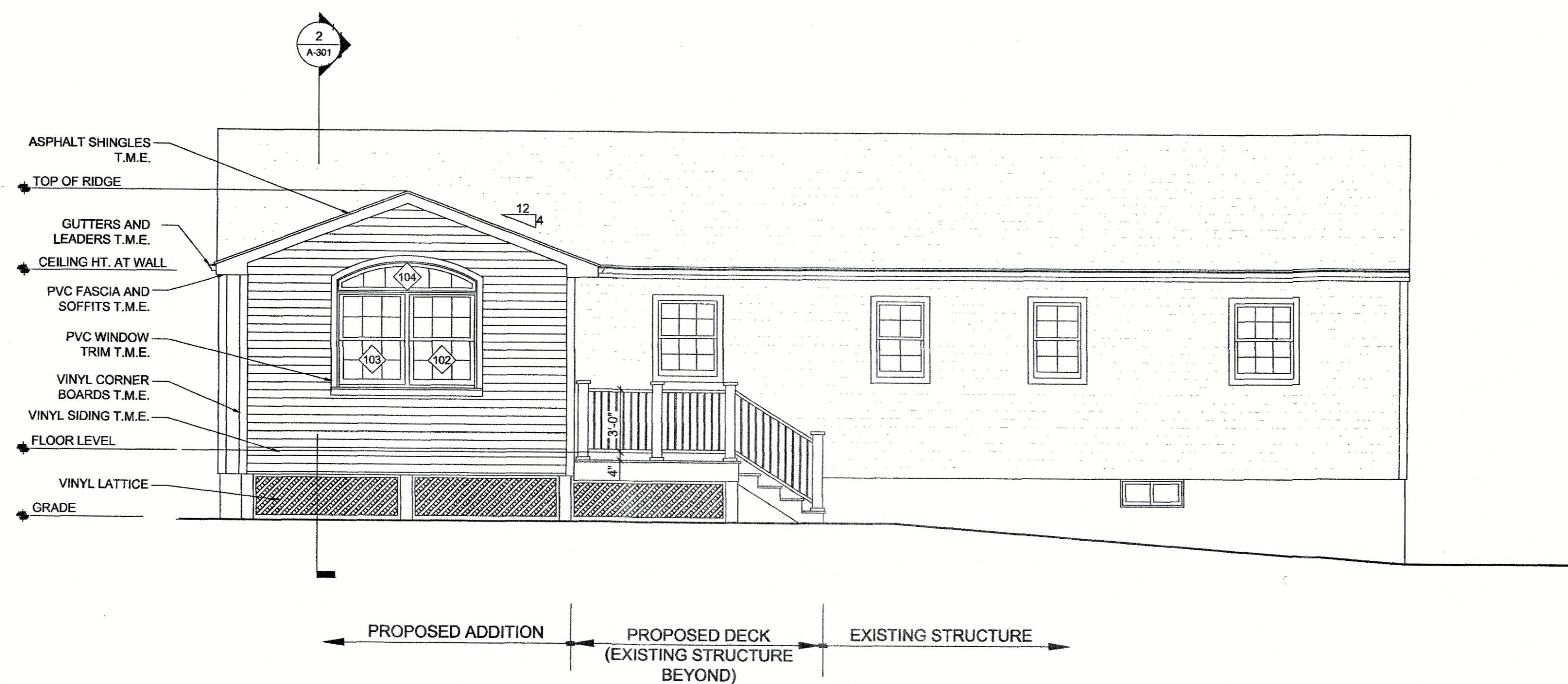
Building Elevations

Date: December 4, 2020

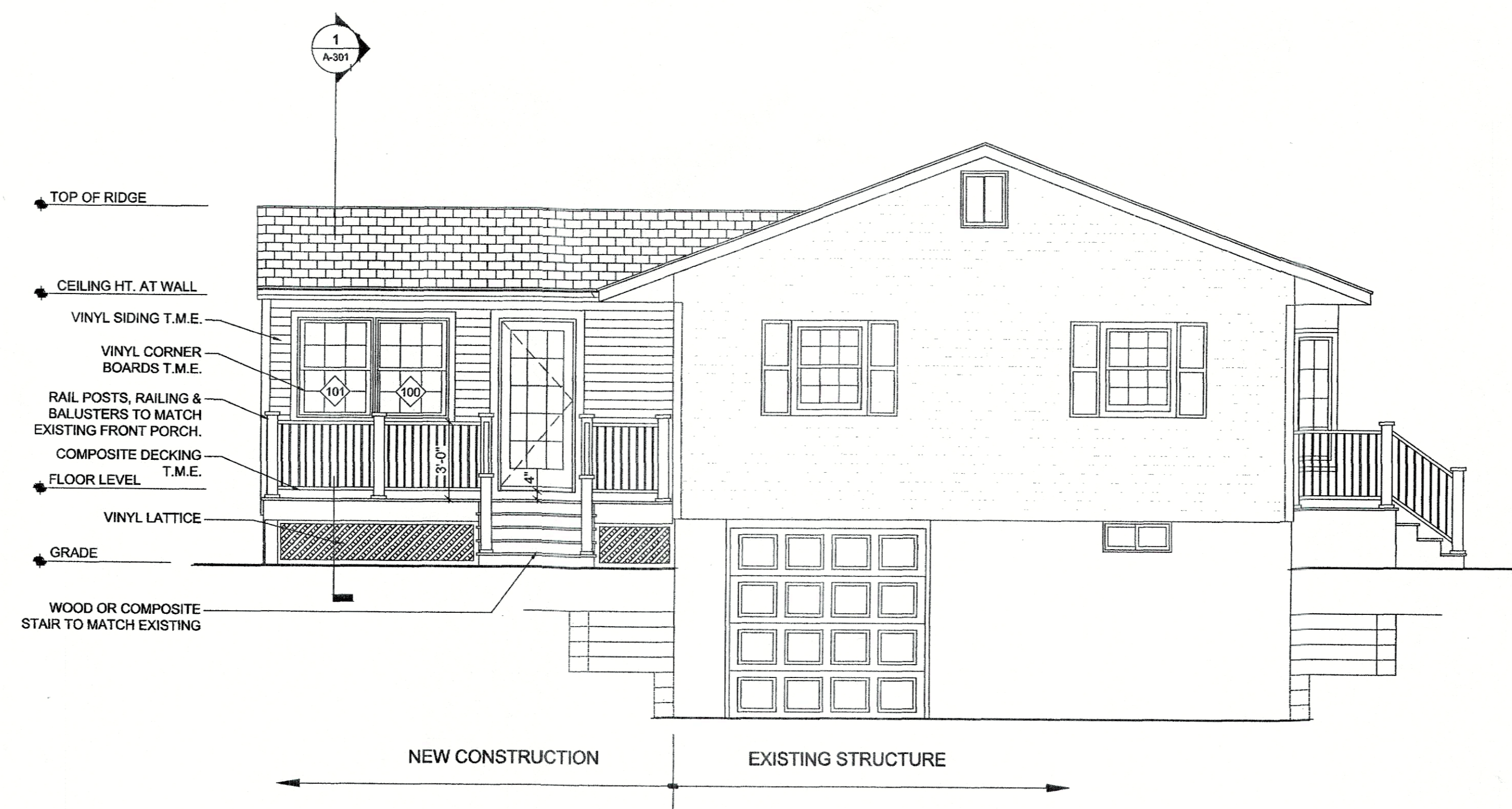
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Redner Residence

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1 Rear Elevation
1/4" = 1'-0"



2 Left Side Elevation
1/4" = 1'-0"

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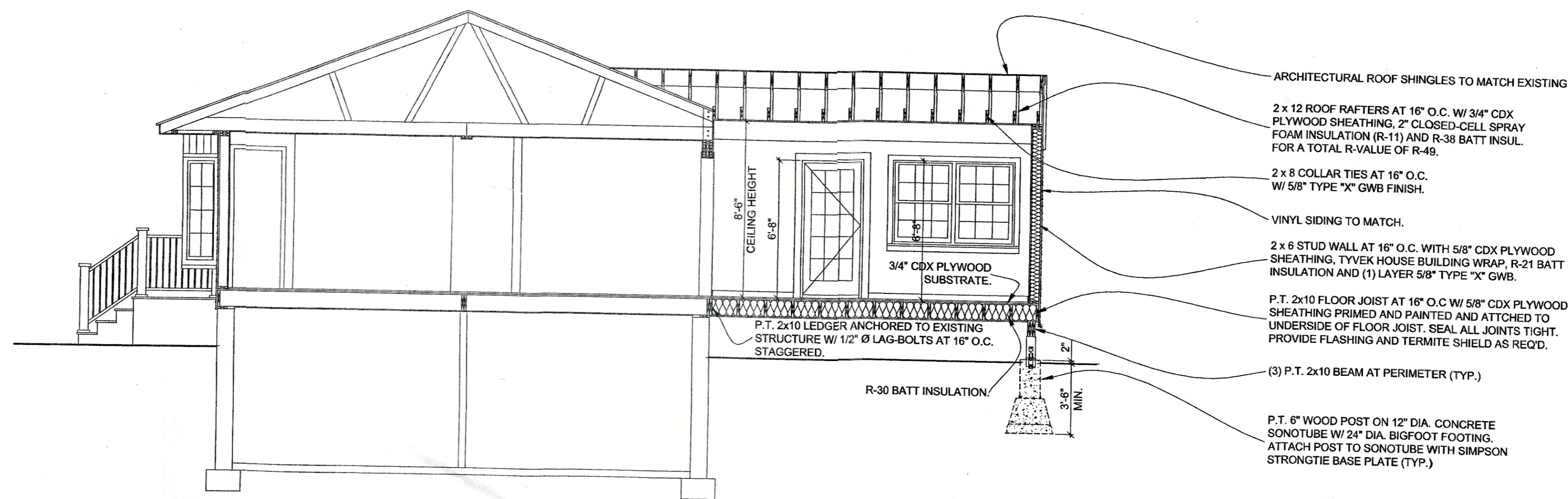


Building Elevations

Date: December 4, 2020

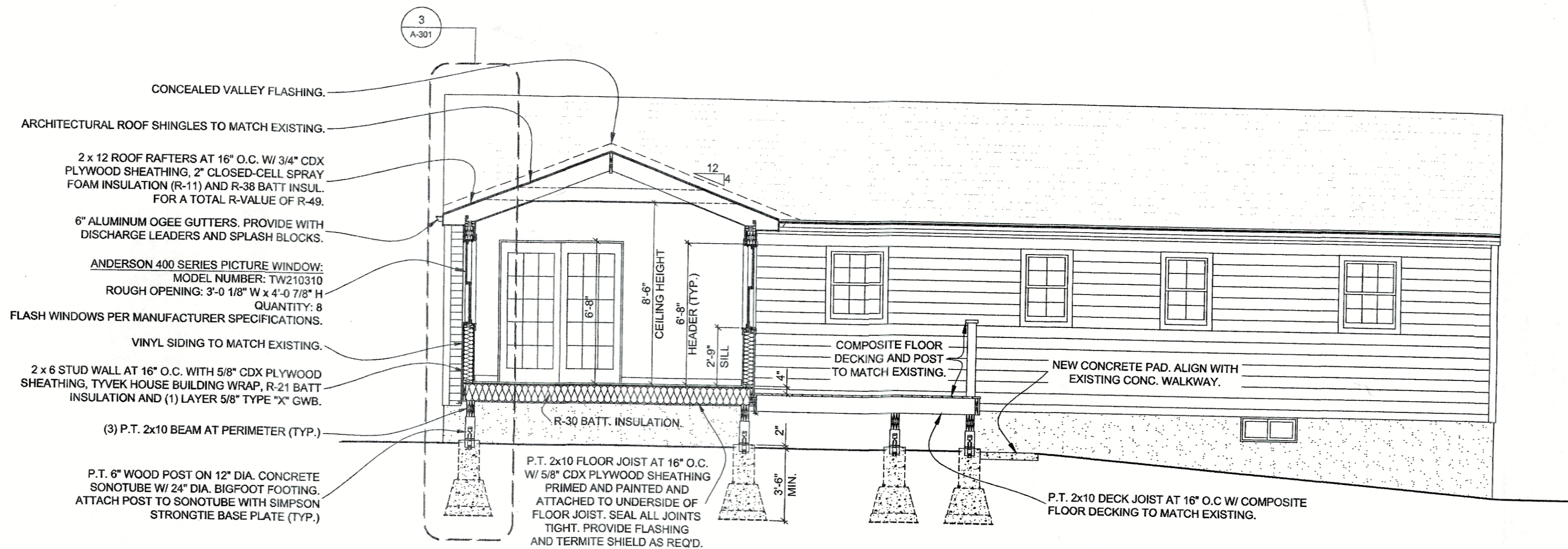
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Drawing Number: A-202



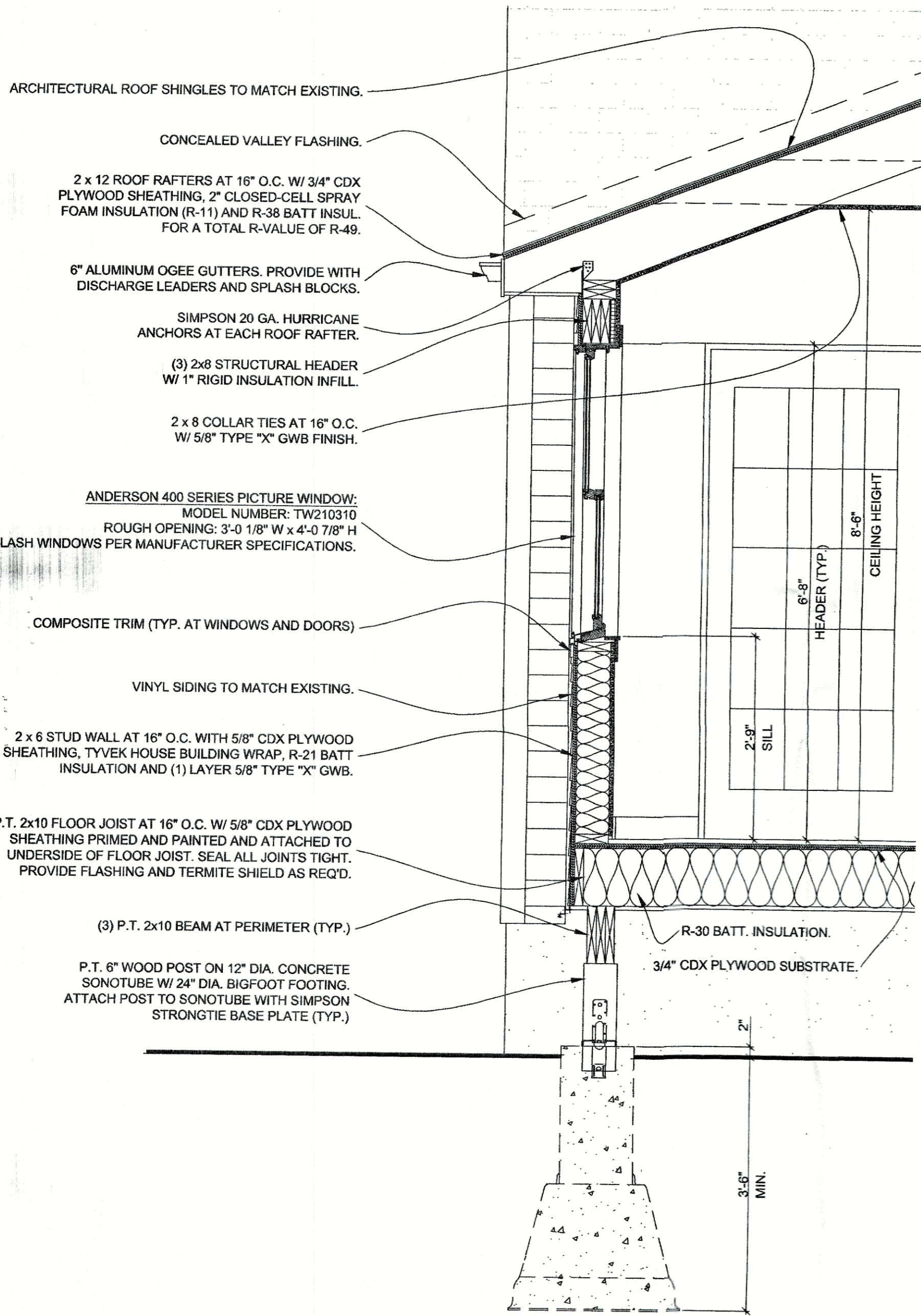
2 Building Section
1/4" = 1'-0"

- ARCHITECTURAL ROOF SHINGLES TO MATCH EXISTING.
- 2 x 12 ROOF RAFTERS AT 16" O.C. W/ 3/4" CDX PLYWOOD SHEATHING, 2" CLOSED-CELL SPRAY FOAM INSULATION (R-11) AND R-38 BATT INSUL. FOR A TOTAL R-VALUE OF R-49.
- 2 x 8 COLLAR TIES AT 16" O.C. W/ 5/8" TYPE "X" GWB FINISH.
- VINYL SIDING TO MATCH.
- 2 x 6 STUD WALL AT 16" O.C. WITH 5/8" CDX PLYWOOD SHEATHING, TYVEK HOUSE BUILDING WRAP, R-21 BATT INSULATION AND (1) LAYER 5/8" TYPE "X" GWB.
- P.T. 2x10 FLOOR JOIST AT 16" O.C. W/ 5/8" CDX PLYWOOD SHEATHING PRIMED AND PAINTED AND ATTACHED TO UNDERSIDE OF FLOOR JOIST. SEAL ALL JOINTS TIGHT. PROVIDE FLASHING AND TERMITE SHIELD AS REQ'D.
- (3) P.T. 2x10 BEAM AT PERIMETER (TYP.)
- P.T. 6" WOOD POST ON 12" DIA. CONCRETE SONOTUBE W/ 24" DIA. BIGFOOT FOOTING. ATTACH POST TO SONOTUBE WITH SIMPSON STRONGTIE BASE PLATE (TYP.)



1 Building Section
1/4" = 1'-0"

- ARCHITECTURAL ROOF SHINGLES TO MATCH EXISTING.
- 2 x 12 ROOF RAFTERS AT 16" O.C. W/ 3/4" CDX PLYWOOD SHEATHING, 2" CLOSED-CELL SPRAY FOAM INSULATION (R-11) AND R-38 BATT INSUL. FOR A TOTAL R-VALUE OF R-49.
- 6" ALUMINUM OGEE GUTTERS. PROVIDE WITH DISCHARGE LEADERS AND SPLASH BLOCKS.
- ANDERSON 400 SERIES PICTURE WINDOW: MODEL NUMBER: TW210310 ROUGH OPENING: 3'-0 1/8" W x 4'-0 7/8" H QUANTITY: 8 FLASH WINDOWS PER MANUFACTURER SPECIFICATIONS.
- VINYL SIDING TO MATCH EXISTING.
- 2 x 6 STUD WALL AT 16" O.C. WITH 5/8" CDX PLYWOOD SHEATHING, TYVEK HOUSE BUILDING WRAP, R-21 BATT INSULATION AND (1) LAYER 5/8" TYPE "X" GWB.
- (3) P.T. 2x10 BEAM AT PERIMETER (TYP.)
- P.T. 6" WOOD POST ON 12" DIA. CONCRETE SONOTUBE W/ 24" DIA. BIGFOOT FOOTING. ATTACH POST TO SONOTUBE WITH SIMPSON STRONGTIE BASE PLATE (TYP.)
- CONCEALED VALLEY FLASHING.
- COMPOSITE FLOOR DECKING AND POST TO MATCH EXISTING.
- NEW CONCRETE PAD, ALIGN WITH EXISTING CONC. WALKWAY.
- P.T. 2x10 DECK JOIST AT 16" O.C. W/ COMPOSITE FLOOR DECKING TO MATCH EXISTING.



3 Wall Section
3/4" = 1'-0"

- ARCHITECTURAL ROOF SHINGLES TO MATCH EXISTING.
- CONCEALED VALLEY FLASHING.
- 2 x 12 ROOF RAFTERS AT 16" O.C. W/ 3/4" CDX PLYWOOD SHEATHING, 2" CLOSED-CELL SPRAY FOAM INSULATION (R-11) AND R-38 BATT INSUL. FOR A TOTAL R-VALUE OF R-49.
- 6" ALUMINUM OGEE GUTTERS. PROVIDE WITH DISCHARGE LEADERS AND SPLASH BLOCKS.
- SIMPSON 20 GA. HURRICANE ANCHORS AT EACH ROOF RAFTER.
- (3) 2x8 STRUCTURAL HEADER W/ 1" RIGID INSULATION INFILL.
- 2 x 8 COLLAR TIES AT 16" O.C. W/ 5/8" TYPE "X" GWB FINISH.
- ANDERSON 400 SERIES PICTURE WINDOW: MODEL NUMBER: TW210310 ROUGH OPENING: 3'-0 1/8" W x 4'-0 7/8" H FLASH WINDOWS PER MANUFACTURER SPECIFICATIONS.
- COMPOSITE TRIM (TYP. AT WINDOWS AND DOORS)
- VINYL SIDING TO MATCH EXISTING.
- 2 x 6 STUD WALL AT 16" O.C. WITH 5/8" CDX PLYWOOD SHEATHING, TYVEK HOUSE BUILDING WRAP, R-21 BATT INSULATION AND (1) LAYER 5/8" TYPE "X" GWB.
- P.T. 2x10 FLOOR JOIST AT 16" O.C. W/ 5/8" CDX PLYWOOD SHEATHING PRIMED AND PAINTED AND ATTACHED TO UNDERSIDE OF FLOOR JOIST. SEAL ALL JOINTS TIGHT. PROVIDE FLASHING AND TERMITE SHIELD AS REQ'D.
- (3) P.T. 2x10 BEAM AT PERIMETER (TYP.)
- P.T. 6" WOOD POST ON 12" DIA. CONCRETE SONOTUBE W/ 24" DIA. BIGFOOT FOOTING. ATTACH POST TO SONOTUBE WITH SIMPSON STRONGTIE BASE PLATE (TYP.)

1	January 20, 2021	Building Permit Application
Number	Date	Revision

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Building Sections