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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: SHOPPES AT UNION SQUARE**  
**PROJECT NO.: 18- 10**  
**PROJECT LOCATION: SECTION 96, BLOCK 1, LOT 6.2**  
**REVIEW DATE: 30 MAY 2018**  
**MEETING DATE: 7 JUNE 2018**  
**PROJECT REPRESENTATIVE: LANGAN ENGINEERING**

1. Plans submitted on most recent sheets identifying the new layout contained Phase I in the Title Block. For consistency, reference to Phase II should be utilized for this amended site plan modification, which seeks to change the former Staples use into smaller retail uses.
2. The Applicant's representative are requested to perform a SEQRA consistency evaluation for use by the Planning Board. Former impacts evaluated should be compared to proposed intensity of use including traffic count, parking, water, sewer, impervious surfaces, stormwater management etc. Revised traffic reports, stormwater management reports/updates, sanitary sewer hydraulic loading should be provided for the site. Planning Board will utilize this information in making a determination as to the review of the project under SEQRA.
3. Status of any previous approvals and permits should be addressed. Provide copies.
4. Stream classification for the stream crossing site should be confirmed with NYSDEC.
5. Future details of the proposed outdoor seating area should be provided.
6. Will provisions to access the Phase III parcel be constructed during the Phase II construction.
7. Long Form EAF submitted should be filled out utilizing the DEC's interactive website which will populate certain fields which the DEC has information in their data bases.
8. We would recommend that plans submitted continue to depict proposed improvements for Phase III for the revised SEQRA review and amended site plan to preserve those uses on

Phase III which currently are in the concept phase.

9. Architectural review of the buildings will be undertaken in the future, however it appears that the buildings will be required to have two front facades as parking accesses the east and west side of the proposed structures.
10. Evaluate an accessible link between the south side of Building D and the Vitamin Shop sidewalk.
11. Plans should address loading dock and deliveries to the retail facilities.
12. Parking areas are required to have 5% landscaped areas. Applicant's representative are requested to evaluate this portion of the code.
13. Further review will be undertaken upon receipt of detailed plans and reports.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

PJH/kbw

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: The Shoppes at Union Square		
Project Location (describe, and attach a general location map): Northwest of the intersection of NYS Route 300 and Orr Avenue Town of Newburgh, Orange County, NY		
Brief Description of Proposed Action (include purpose or need): The Applicant is proposing to Modify Phase 2 of the previously Approved Development Project. Phase 2 of the project included the construction of a single 18,102 sq. ft. Staples structure and associated parking and infrastructure.  The current plan proposes to construct two retail buildings which are approximately 19,130 square feet in the same location as the proposed previously approved Staples building.  This EAF is intended to address the modifications to the plan and will compare changes to the SEQRA Negative Declaration that was issued for the original project.		
Name of Applicant/Sponsor: N&N Union LLC		Telephone:  E-Mail:
Address: 1089 Little Britian Road		
City/PO: New Windsor	State: NY	Zip Code:
Project Contact (if not same as sponsor; give name and title/role): Kelly Libolt/ KARC Planning Consultants		Telephone: 845-243-2500  E-Mail: kelly@karcpc.com
Address: PO Box 924		
City/PO: Poughkeepsie	State: NY	Zip Code: 12602
Property Owner (if not same as sponsor): Same as Applicant/Sponsor		Telephone:  E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amended Site Plan Approval	
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	GML - 239 M County Review, possible Department of Health for water service	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SWPPP	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? YesNo

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? YesNo

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? YesNo

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
IB - Interchange District

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh

b. What police or other public protection forces serve the project site?  
Town of Newburgh

c. Which fire protection and emergency medical services serve the project site?  
Orange Lake

d. What parks serve the project site?  
NA

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial Property

b. a. Total acreage of the site of the proposed action? 11.39 acres  
b. Total acreage to be physically disturbed? 3.28 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 11.39 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

- Total number of structures 2
- Dimensions (in feet) of largest proposed structure: 1 story height; 90 width; and 114 length
- Approximate extent of building space to be heated or cooled: 20,000 (+/-) square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

- Purpose of the impoundment: \_\_\_\_\_
- If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_
- If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_
- Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

- What is the purpose of the excavation or dredging? Foundations
- How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
  - Volume (specify tons or cubic yards): 0 - all material used on site
  - Over what duration of time? 3-4 months
- Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. All materials will be used on site.
- Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_
- What is the total area to be dredged or excavated? \_\_\_\_\_ acres
- What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
- What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet
- Will the excavation require blasting?  Yes  No
- Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

- Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ TBD based on uses gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh Water
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: Town of Newburgh Water

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: TBD based on uses gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary Sewage

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh WWTP
- Name of district: Town of Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

\_\_\_\_\_

\_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

\_\_\_\_\_

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 3.28 acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- Describe types of new point sources. Surface runoff from new impervious surfaces (roads/parking/buildings)
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site stormwater management structures

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

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f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ TBD based on uses</li> <li>• Saturday: _____ Within Town Guidelines</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ TBD based on uses</li> <li>• Saturday: _____ Within Town Guidelines</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n.. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Parking lot lighting and building lighting for safety  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ TBD tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ TBD tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: All materials which can be recycled will be stored and recycled accordingly  
 \_\_\_\_\_  
 • Operation: All materials which can be recycled will be stored and recycled accordingly  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Licensed Hauler  
 \_\_\_\_\_  
 • Operation: Licensed Hauler  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban    Industrial    Commercial    Residential (suburban)    Rural (non-farm)  
 Forest    Agriculture    Aquatic    Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces		3.28	
• Forested	3.28		
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ > 5.0 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Erie \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ > 5.0 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 100 % of site  
 Poorly Drained: \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 84 % of site  
 10-15%: 7 % of site  
 15% or greater: 9 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Unnamed Stream Classification Class A
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Unnamed Federal Wetlands Approximate Size 0.75
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:

i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <p>_____ TBD with Field Inspection by Ecological Solutions _____</p> <p>_____ TBD with Field Inspection by Ecological Solutions _____</p> <p>_____ TBD with Field Inspection by Ecological Solutions _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p style="text-align: center; margin-top: 20px;">TBD with field Inspection by Ecological Solutions</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

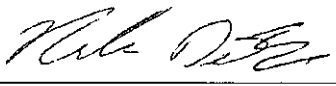
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name N&N Union LLC      Date May 22, 2018

Signature       Title Managing Member



### ZONING TABLE

Zone-1B (Interchange Business District)  
Section 95, Block 1, Lots 36 and 37.2  
Section 96, Block 1, Lots 6, 7, 8, 9 and 11.1 AND 6.2

Item	Required / Permitted	Proposed - LOT 95-1-11.1 (Cosimo's)	Proposed - LOT 96-1-6.2 (Staples)	Proposed - Overall
Permitted Principal Uses	Shopping Center	LOT 95-1-11.1	LOT 96-1-6.2	Shopping Center
Lot Requirements				
Minimum Lot Area (A)	5 acres	-	-	11.39 Ac.
Minimum Lot Width	150 ft	251 ft	300 ft	C
Minimum Lot Depth	150 ft	202 ft	1,085 ft	C
Yards Requirements				
Minimum Front Yard Setback (300)	60 ft	55.7 ft *	209.2 ft	C
Minimum Front Yard Setback (Or Ave)	60 ft	36.5 ft *	64-6-61.2 FT	C
Minimum Side Yard Setback (Lower)	50 ft	-	5.0 ft	V
Minimum Side Yard Setback (Lot 35)	50 ft	-	40.3 ft	V
Minimum Side Yard Setback (Cosimo's)	50 ft	0.0 ft	-	V
Minimum Rear Yard Setback	60.2 ft	60.2 ft	143.1 ft	C
Building				
Maximum Building Height	40 ft	40 ft	40 ft	C
Maximum Lot Coverage	30%	28.5%	48.0% 19.9%	C
Landscaping				
Maximum Lot Surface Coverage	90%	88.8%	88.0% 63.6%	C
Maximum Interior Landscaping	5%	-	7.2%	C
Minimum Parking Shade Trees	57	-	66	C
Signs				
Maximum Number Identification Signs	4	-	-	C
Maximum Identification Sign Area	3 sq ft	-	-	C
Maximum Freestanding Sign Height	40 ft	-	-	C
Maximum Number Freestanding Signs	1 per lot	1	1	C
Sign Setback	15 ft	-	-	C
Maximum Total Sign Area (A)	90 sq ft	-	-	C

\* - EXISTING CONDITIONS  
\*\* - SEE SIGNAGE SCHEDULE BELOW  
C - COMPLIES  
V - VARIANCE

### PARKING REQUIREMENTS (1)

Section 95, Block 1, Lots 36 and 37.2  
Section 96, Block 1, Lots 6, 7, 8, 9 & 11.1

TENANTS SHOWN	SIZE (S.F.)	NUMBER OF SEATS	NUMBER EMPLOYEES	NUMBER OF PARKING SPACES REQUIRED	NUMBER OF PARKING SPACES PROPOSED
EXISTING					
Existing Restaurant	5,203	110	N/A	-	-
Existing Retail	2,400	106	N/A	-	-
<b>Total</b>	<b>7,603</b>				
PROPOSED					
Supermarket	71,000	N/A	N/A	-	-
Staples	18,102	N/A	N/A	-	-
Proposed Retail 'C'	4,820	N/A	N/A	-	-
<b>Total</b>	<b>93,922</b>			<b>452</b>	<b>453</b>

### LOADING SPACE REQUIREMENTS (2)

TENANTS SHOWN	SIZE (S.F.)	NUMBER OF LOADING SPACES REQUIRED	NUMBER OF LOADING SPACES PROPOSED
EXISTING			
Proposed Retail 'C' & Existing Restaurant/Retail	12,423	1	1
PROPOSED			
Supermarket	71,000	3	8
Staples	18,102	1	1
<b>TOTALS</b>		<b>5</b>	<b>10</b>

- Notes:**
- (1) Shopping Center (> 25,000 square feet): 1 space per 225 square feet of gross leasable floor area.
  - (2) Loading space requirement based on floor area:  
Under 25,000 square feet = 1 space  
25,000 to 39,999 square feet = 2 spaces  
> 40,000 square feet = 1 additional space for each 40,000 square feet in addition to first 40,000 square feet
  - (3) Project site encompasses ±11.39 acres including the following parcels:  
Section 95, Block 1, Lots 36 and 37.2 (1.00 acres)  
Section 96, Block 1, Lots 6, 7, 8, 9 & 11.1 (10.39 acres)
  - (4) The total area of all such signs on a lot shall not exceed 1/2 of the total length of street frontage of the lot in linear feet. See chart below for calculations.
  - (5) A permit from the Town of Newburgh Code Compliance Office is required for removal of any existing structures.

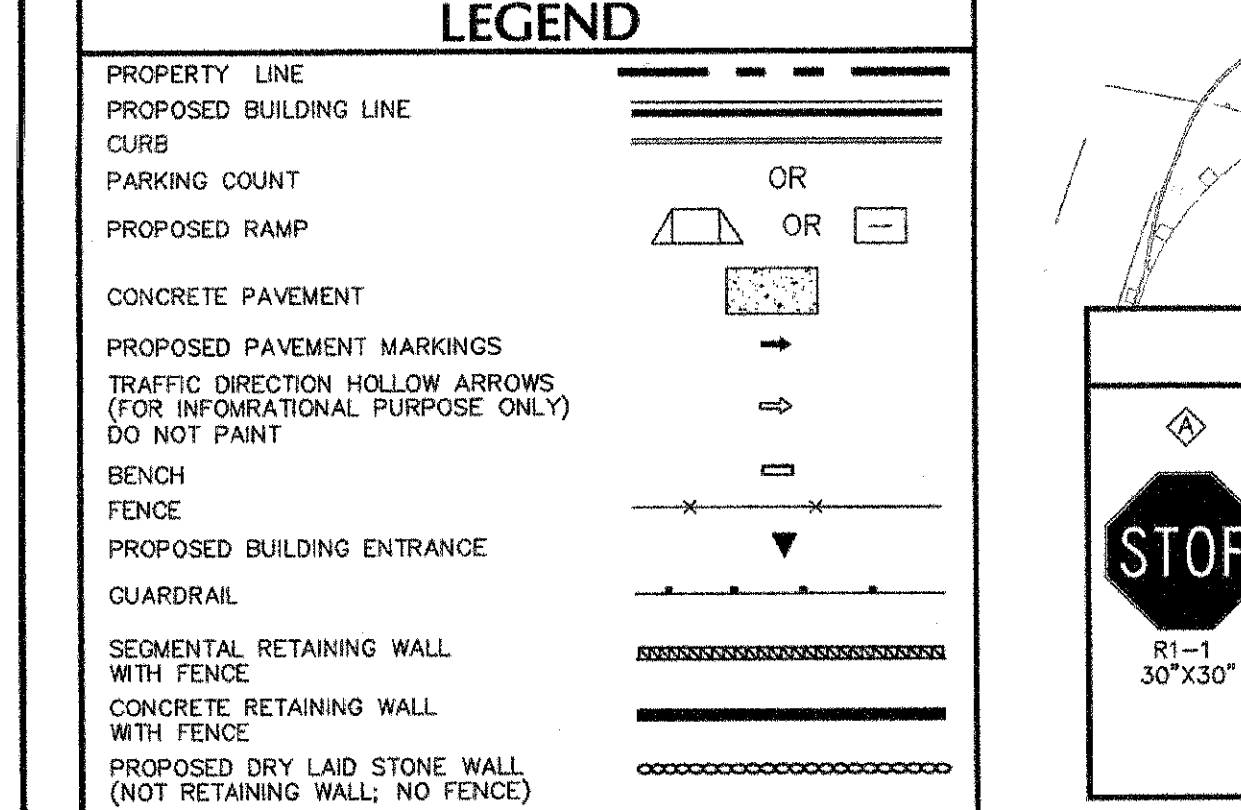
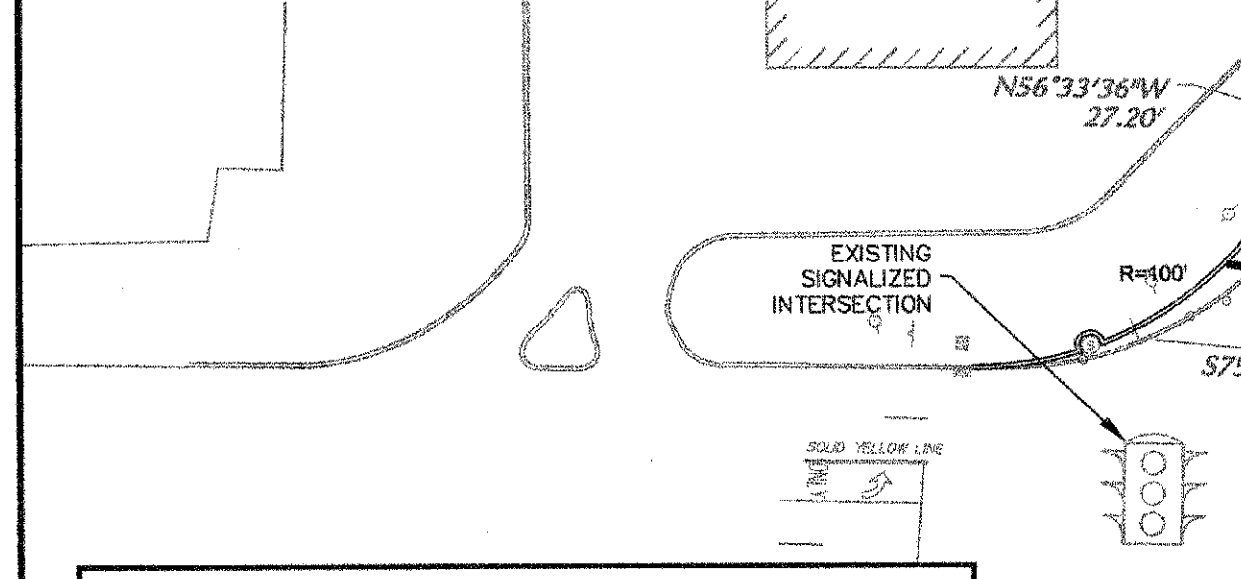
### Signage Schedule

**Existing:**

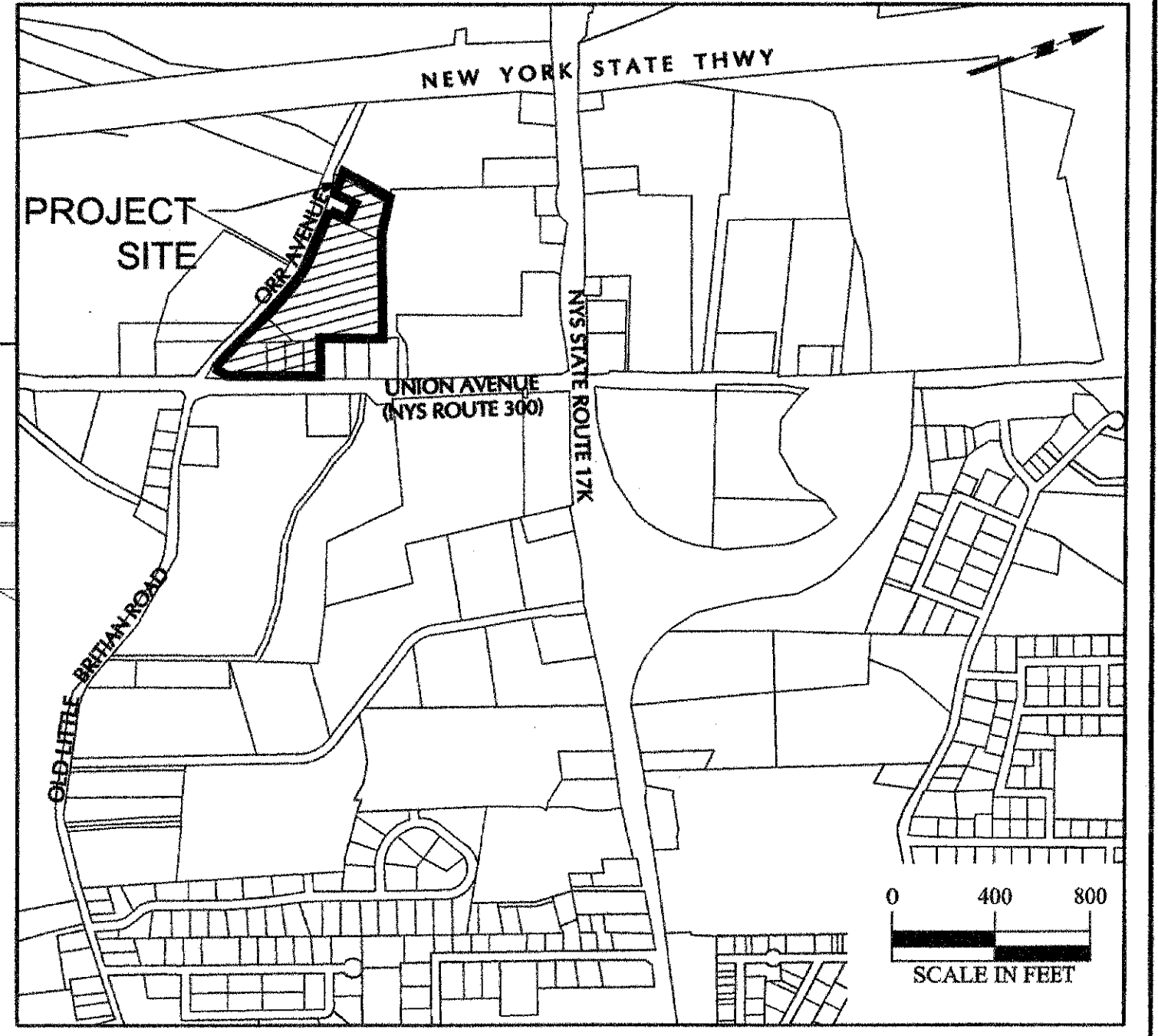
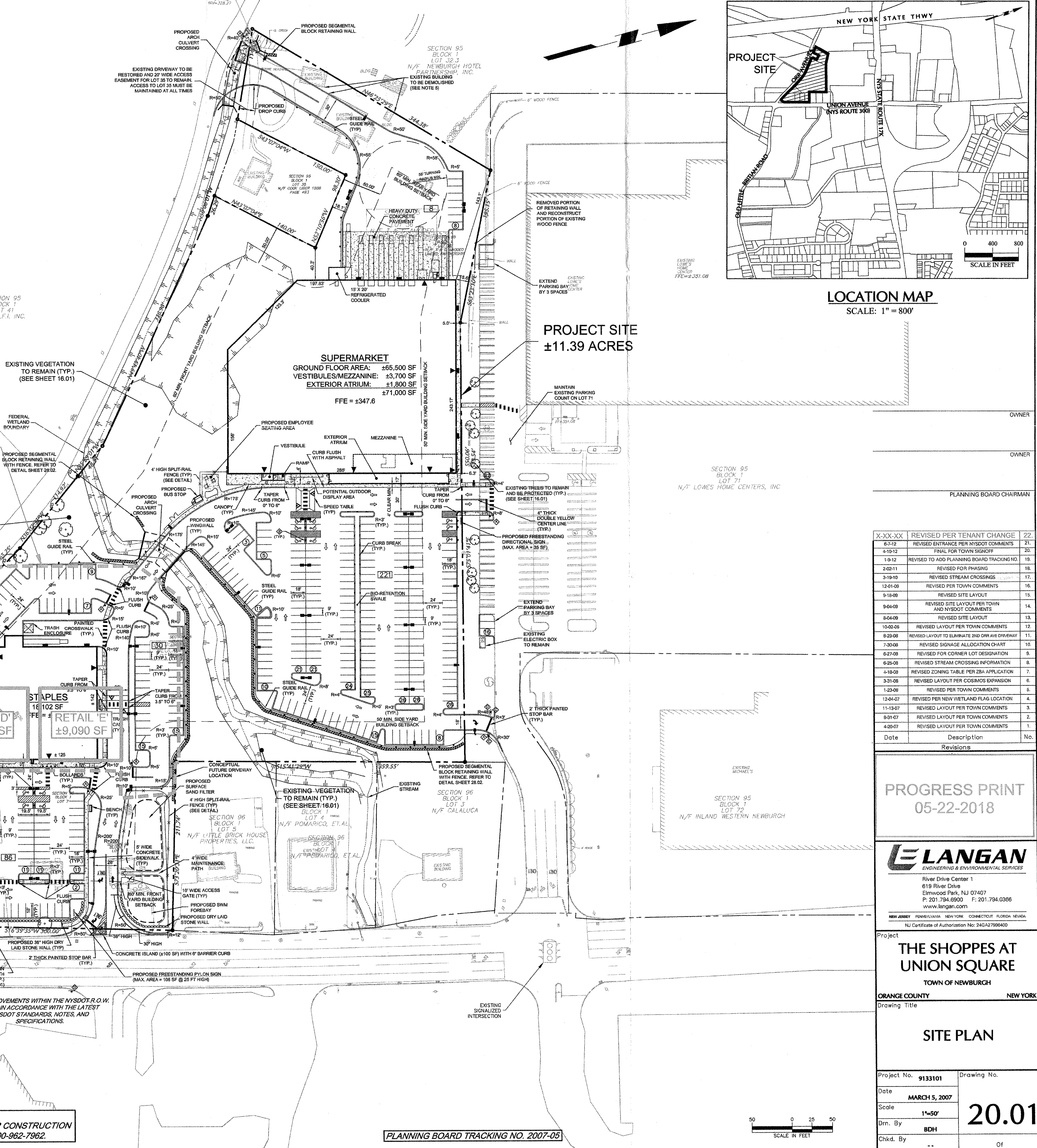
Cosimo's Building Signage	28 S.F.	Total S.F.
Cosimo's Pylon Sign	86 S.F.	
Sprint Building Signage	24 S.F.	
Sprint Pylon	30 S.F.	

**Proposed:**

Location	Total S.F.
Vitamin Shoppe East Elevation	81 S.F.
Vitamin Shoppe North Elevation	26 S.F.
Staples East Elevation	240.1 S.F.
Staples North Elevation	240.1 S.F.
Staples South Elevation	129 S.F.
Staples West Elevation	31.5 S.F.
Supermarket East Elevation	159.3 S.F.
Supermarket North Elevation	50.25 S.F.
Supermarket South Elevation	50.25 S.F.
Tenant Signage (location on Proposed Retail C Building)	14 S.F.
Main Pylon Sign (53 square feet per side)	106 S.F.
Directional Signage (located near Supermarket entrance from Lowes's)	35 S.F.
Identification Signage (located at Orr Avenue Entrance to Cosimo's)	3 S.F.
<b>Frontage</b>	<b>1808 S.F.</b>
<b>Square Footage Allowed:</b>	<b>904 S.F.</b>
<b>Total Square Footage:</b>	<b>1333.5 S.F.</b>



- ### GENERAL NOTES
- TOPOGRAPHIC INFORMATION TAKEN FROM PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY", DRAWING NUMBER 7.01, DATED 7 FEBRUARY 2007, LAST REVISED 17 SEPTEMBER 2008, PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES.
  - FEDERALLY REGULATED WETLAND LOCATION AND LIMITS SHOWN AS PER JURISDICTIONAL DETERMINATION FROM ACOE, DATED OCTOBER 31, 2008 AS PREPARED BY CARPENTER ENVIRONMENTAL ASSOCIATES, INC.
  - A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL DOORS, STAIRS, RAMPS, CANOPIES, SEEDINGS, AND ARCHITECTURAL ELEMENTS AROUND THE BUILDING AND SHALL COORDINATE INSTALLATION OF THESE ELEMENTS WITH THE SITE LAYOUT PRIOR TO INSTALLATION.
  - THESE PLANS REPRESENT OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITEWORK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
  - THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. IF ANY SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL ENGINEERING INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION, THE REQUEST FOR INFORMATION SHALL BE IN A FORM ACCEPTABLE TO OWNER AND OWNER'S ENGINEER. THE CONTRACTOR SHALL BE SPECIFICALLY RESPONSIBLE FOR SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND RECEIVING REVIEWS AND/OR DIRECTION ON WRITTEN REQUESTS FOR INFORMATION. REQUESTS FOR INFORMATION SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED.
  - THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ALL AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION, ANY CONDITIONS THAT DIFFER FROM THE SURVEY SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
  - INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
  - THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES. SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
  - A PERMIT IS REQUIRED FROM THE TOWN OF NEWBURGH CODE COMPLIANCE OFFICE FOR REMOVAL OF ANY EXISTING STRUCTURES.
  - PRIOR TO ISSUANCE OF FIRST BUILDING PERMIT, THE DEMOLITION OF ALL BUILDINGS SHALL BE COMPLETED.



X-XX-XX	REVISED PER TENANT CHANGE	No.
6-7-12	REVISED ENTRANCE PER NYSOT COMMENTS	21.
4-10-12	FINAL FOR TOWN SIGNOFF	20.
1-8-12	REVISED TO ADD PLANNING BOARD TRACKING NO.	19.
2-22-11	REVISED FOR PHASING	18.
3-19-10	REVISED STREAM CROSSING	17.
12-11-09	REVISED PER TOWN COMMENTS	16.
9-19-09	REVISED SITE LAYOUT	15.
9-04-09	REVISED SITE LAYOUT PER TOWN AND NYSOT COMMENTS	14.
8-04-09	REVISED SITE LAYOUT	13.
10-29-08	REVISED LAYOUT PER TOWN COMMENTS	12.
8-29-08	REVISED LAYOUT TO ELIMINATE 2ND ORR AVE DRIVEWAY	11.
7-30-08	REVISED SIGNAGE ALLOCATION CHART	10.
6-27-08	REVISED FOR CORNER LOT DESIGNATION	9.
6-25-08	REVISED STREAM CROSSING INFORMATION	8.
4-18-08	REVISED ZONING TABLE PER ZBA APPLICATION	7.
3-31-08	REVISED LAYOUT PER COSIMOS EXPANSION	6.
1-23-08	REVISED PER TOWN COMMENTS	5.
12-04-07	REVISED PER NEW WETLAND FLAG LOCATION	4.
11-13-07	REVISED LAYOUT PER TOWN COMMENTS	3.
8-31-07	REVISED LAYOUT PER TOWN COMMENTS	2.
4-20-07	REVISED LAYOUT PER TOWN COMMENTS	1.

PROGRESS PRINT  
05-22-2018

## ELANGAN

ENGINEERING & ENVIRONMENTAL SERVICES

River Drive Center 1  
619 River Drive  
Elmwood Park, NJ 07407  
P: 201.794.6900 F: 201.794.0366  
www.elangan.com

NEW JERSEY PERMITS/NEW YORK CONNECTICUT FLORIDA NEWDA  
NJ Certificate of Authorization No. 24042799040

Project  
**THE SHOPPES AT UNION SQUARE**  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

**SITE PLAN**

Project No. **9133101** Drawing No. **20.01**

Date **MARCH 5, 2007**

Scale **1"=50'**

Drn. By **BDH**

Chkd. By **--**

**NOTE:**  
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT "CALL BEFORE YOU DIG" 1-800-962-7962.

PLANNING BOARD TRACKING NO. 2007-05

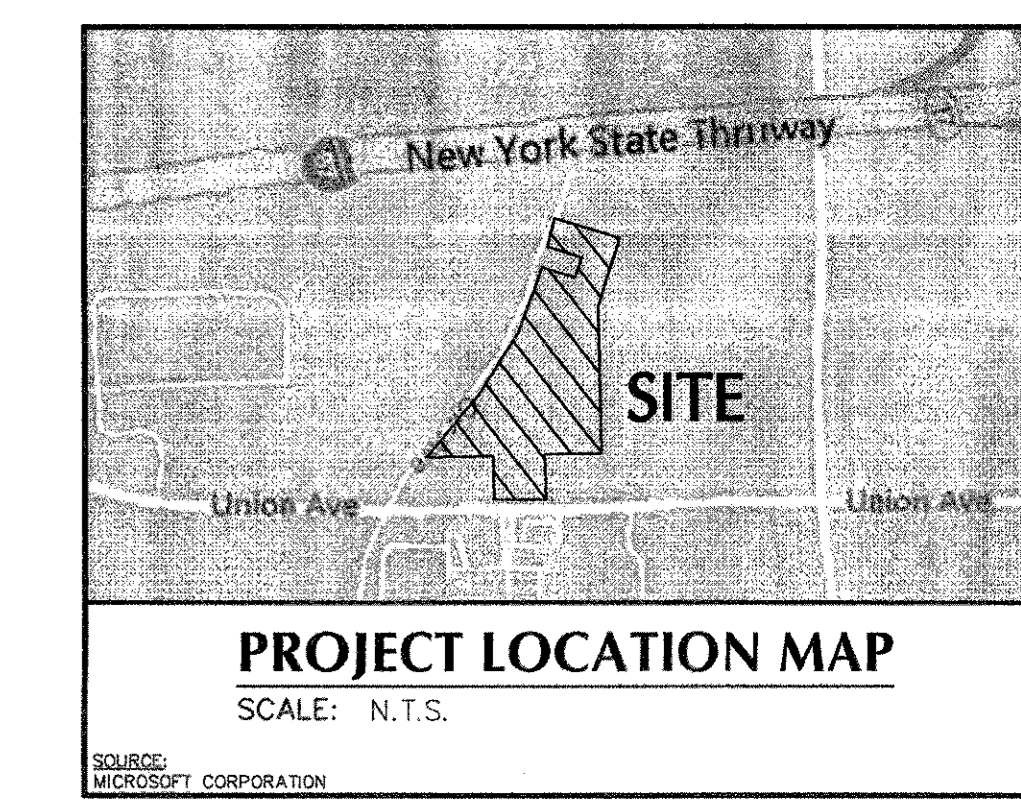


**LEGEND (NOT SHOWN TO SCALE)**

HYDRANT	BOLLARD	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	SANITARY LINE
AREA LIGHT	DOUBLE DOOR	COMBINED UTILITY LINE
SIGNAL POLE	OVERHEAD DOOR	UNKNOWN UTILITY LINE
POLE	GAS LINE	WATER LINE
GUY WIRE	METAL COVER	ELECTRIC LINE
ANCHOR POLE	ELECTRIC BOX	TELEPHONE LINE
MANHOLE (DRAINAGE)	SOL BORING	CABLE TV LINE
MANHOLE (SANITARY SEWER)	MONITORING WELL	STEAM LINE
MANHOLE (ELECTRIC)	TEST PIT	FORCE MAIN
MANHOLE (WATER)	BENCHMARK	FIBER OPTIC
MANHOLE (NATURAL GAS)	ROOF DRAIN	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
MANHOLE (TELEPHONE)	SPOT ELEVATION	OVERHEAD WIRE
CONCRETE CURB	CONCRETE CURB	GUIDE RAIL (TYPE AS NOTED)
DETECTABLE PAD	DETECTABLE PAD	CHAIN LINK FENCE
DROP CURB	DROP CURB	WOOD/STOCKADE FENCE
BROKEN WHITE STRIPE	BROKEN WHITE STRIPE	WIRE FENCE
SINGLE YELLOW STRIPE	SINGLE YELLOW STRIPE	IRON FENCE
DOUBLE YELLOW STRIPE	DOUBLE YELLOW STRIPE	TREE LINE
SINGLE WHITE STRIPE	SINGLE WHITE STRIPE	EASEMENT LINE
REINFORCED CONCRETE PIPE	REINFORCED CONCRETE PIPE	PROPERTY LINE
DUCTILE IRON PIPE	DUCTILE IRON PIPE	RIGHT-OF-WAY LINE
CORRUGATED METAL PIPE	CORRUGATED METAL PIPE	CONTOUR LINE
NO VISIBLE PIPE	NO VISIBLE PIPE	
EDGE OF PAVEMENT	EDGE OF PAVEMENT	
LANDSCAPED AREA	LANDSCAPED AREA	
SURVEYED BEARING & DISTANCE	SURVEYED BEARING & DISTANCE	
DEED BEARING & DISTANCE	DEED BEARING & DISTANCE	

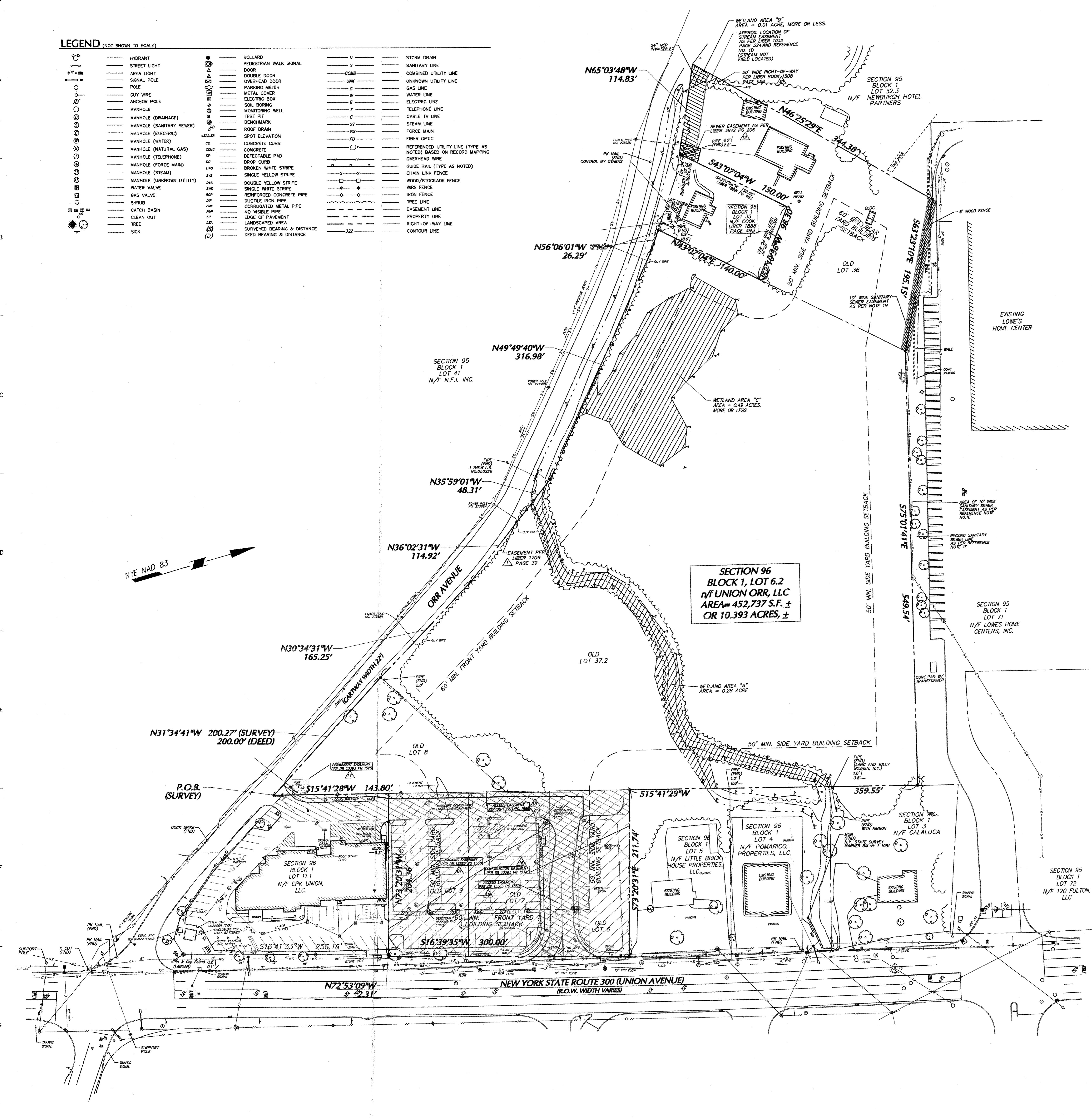
**GENERAL NOTES**

- THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
- PLAN TITLED "COSMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY" PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012
- PLAN TITLED "ROUTE 300 AND ORR AVENUE, BOUNDARY AND TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED FEBRUARY 7, 2007 AND LAST REVISED SEPTEMBER 17, 2009.
- CURRENT TAX MAPS OF TOWN OF NEWBURGH.
- MAP OF SURVEY FOR THE T AND G AMODEO LIMITED PARTNERSHIP, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED MAY 8, 2000, BY PETER R. HUSTIS, L.L.S., BEACON, NEW YORK.
- PLAN TITLED "SITE PLAN PROPOSED RETAIL DEVELOPMENT FOR THE LOWE'S COMPANIES, INC." PREPARED BY S.L. COMPANIES, FISHKILL, NEW YORK, SHEET NO. SP-1, DATED FEBRUARY 29, 2000 AND LAST REVISED NOVEMBER 21, 2001.
- TITLE COMMITMENT: BY HILL-DALE ABSTRACTORS, INC. TITLE NUMBER: HW 50012 AMENDED DATED: NOVEMBER 10, 2017 (EXCEPTIONS LISTED SEPARATELY)
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. FIELD WORK COMPLETED JUNE 2012 AND UPDATED IN NOVEMBER 2017.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS ENTITLED "ORANGE COUNTY, NEW YORK, PANELS 139 OF 160 AND 330 OF 630, MAP NUMBERS 36071C0139E AND 36071C0330E, EFFECTIVE DATES AUGUST 3, 2009" THE PROJECT AREA LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON. (PLAN REFERENCED IN NOTE 1A)
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF N.Y. STATE EDUCATION LAW ARTICLE 145.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
- WETLAND AREAS WERE DELINEATED BY CARPENTER ENVIRONMENTAL ASSOCIATES, INC. ON OCTOBER 10, 2006 AND FEBRUARY 12, 2007.



**EXCEPTIONS**

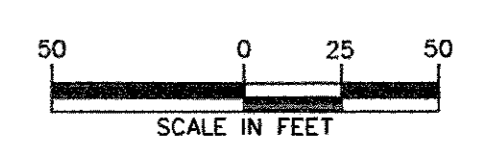
- GRANTS, EASEMENTS, RIGHTS OF WAY: LIBER 481 PAGE 311 (LOCATION UNKNOWN) LIBER 483 PAGE 329 (LOCATION UNKNOWN) LIBER 13056 PAGE 448 (PLOTTED) LIBER 1709 PAGE 39 (PLOTTED)
- SUBJECT TO UTILITY EASEMENT IN FAVOR OF THE TOWN OF NEWBURGH IN LIBER 3842 PAGE 205 (PLOTTED)
- SUBJECT TO STORMWATER CONTROL FACILITY MAINTENANCE AGREEMENT IN LIBER 13346 PAGE 328 (BLANKET IN NATURE)
- RECIPROCAL ACCESS AND PARKING EASEMENT AGREEMENT IN LIBER 13363 PAGE 1534 (PLOTTED)
- SUBJECT TO GRANT OF RIGHT OF WAY AND CONSTRUCTION EASEMENT IN LIBER 13363 PAGE 1534 (PLOTTED)
- SUBJECT TO GRANT OF RIGHT OF WAY AND PERMANENT EASEMENT IN LIBER 13363 PAGE 1535 (PLOTTED)
- SUBJECT TO 20' WIDE RIGHT OF WAY CROSSING PERMISES IN FAVOR OF 95-1-35 IN LIBER 1508 PAGE 558 (PLOTTED)



**TABLE OF VESTING DEEDS**

SECTION 96, BLOCK 1, LOT 6	BOOK 13288	PAGE 231
SECTION 96, BLOCK 1, LOT 7	BOOK 13288	PAGE 239
SECTION 96, BLOCK 1, LOT 8	BOOK 13288	PAGE 227
SECTION 96, BLOCK 1, LOT 9	BOOK 13288	PAGE 235
SECTION 96, BLOCK 1, LOT 36	BOOK 13288	PAGE 243
SECTION 96, BLOCK 1, LOT 37.2	BOOK 13288	PAGE 247

Date	Description	No.
REVISIONS		
THIS SURVEY IS CERTIFIED ONLY TO: NEW UNION, LLC TO BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS WESTCOAST LAND TITLE INSURANCE COMPANY		
I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NYSPLS Code of Professional Standards, and to the best of my professional judgment, information and belief, and in my professional opinion, honestly represents the conditions found on the date of the field survey of the subject property.		
SIGNATURE: JOSEPH E. ROMANO		12-1-17
PROFESSIONAL LAND SURVEYOR NY Lic# 050130-1		
<b>LANGAN</b>		
21 Penn Plaza, 350 West 51st Street, 8th Floor, New York, NY 10001 T: 212.478.5400 F: 212.478.5444 www.langan.com		
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc. Langan E.L. Inc. Langan International LLC Collectively known as Langan		
Project: <b>THE SHOPPES AT UNION SQUARE</b>		
SECTION 96, BLOCK 1, LOT 6.2 TOWN OF NEWBURGH ORANGE COUNTY NEW YORK		
Drawing Title: <b>BOUNDARY SURVEY</b>		
Project No. 9133101	Drawing No. VB101	
Date 12/1/2017	Scale 1" = 50'	
Drawn By KEK	Checked By DRA	
Submission Date 12/1/2017	Sheet 1 of 1	





- A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
- A PERMIT IS REQUIRED FROM THE TOWN OF NEWBURGH CODE COMPLIANCE OFFICE FOR REMOVAL OF ANY EXISTING STRUCTURES.
- A PERMIT IS REQUIRED FROM THE TOWN OF NEWBURGH CODE COMPLIANCE OFFICE FOR REMOVAL OF ANY EXISTING STRUCTURES.
- PRIOR TO ISSUANCE OF FIRST BUILDING PERMIT, THE DEMOLITION OF ALL BUILDINGS SHALL BE COMPLETED.

- ### CERTIFICATE OF OCCUPANCY NOTES
- THE FOLLOWING MUST BE DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY FOR ANY COMPLETED STRUCTURE:
- APPROVAL OF THE INSTALLED LANDSCAPE WORK FOR COMPLETED STRUCTURES BY THE TOWN PLANNING BOARD'S DESIGNATED LANDSCAPE ARCHITECT CERTIFYING CONSTRUCTION COMPLIANCE WITH APPROVED ARCHITECTURAL RENDERINGS. THIS SHALL INCLUDE ALL LANDSCAPING AT COMPLETED BUILDING ENTRANCES, ALONG ENTRANCE DRIVES AND ALL ASSOCIATED SCREEN PLANTING. IN ADDITION, ALL LANDSCAPING WITHIN ASSOCIATED PARKING AREAS AND ALONG ACCESS ROADS TO THE PARKING AREA OF EACH BUILDING REQUESTING A CERTIFICATE OF OCCUPANCY MUST ALSO BE SATISFACTORILY INSTALLED. IF WEATHER DOES NOT PERMIT COMPLETION OF LANDSCAPING BEFORE CERTIFICATES OF OCCUPANCIES ARE ISSUED, LANDSCAPING MUST BE INSTALLED DURING THE NEXT GROWING SEASON.
  - TEMPORARY STABILIZATION OF DISTURBED BUT UNDEVELOPED AREAS OF THE SITE WILL BE REQUIRED UNLESS THERE IS SNOW COVER OR CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 2 DAYS. MAXIMUM SLOPE FOR TURF AREAS NOT TO EXCEED 3' HORIZONTAL TO 1' VERTICAL. MAXIMUM SLOPE FOR RIP-RAP EMBANKMENTS NOT TO EXCEED 1' HORIZONTAL TO 1' VERTICAL.
  - TEMPORARY EROSION CONTROL STRUCTURES AND PRACTICES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SWPPP. TEMPORARY STABILIZATION MAY BE ACCOMPLISHED USING STONE FILL, WOOD CHIPS, MULCH, EROSION CONTROL BLANKETS OR HYDROSEEDING.
  - STORAGE OF AN ADEQUATE SUPPLY OF TEMPORARY EROSION CONTROL MEASURES, TO INCLUDE MULCH, WOOD CHIPS, CRUSHED ROCK, EROSION CONTROL BLANKETS, AND HYDROSEED SHALL BE MAINTAINED ON SITE TO STABILIZE ALL EXPOSED AREAS.
  - STOCKPILING OF ROCK OR EARTHEN MATERIAL ON THE SITE WILL BE PERMITTED BUT WILL BE LIMITED IN HEIGHT TO 25 FEET WITH A GENERALLY FLAT TOP.
  - STOCKPILING OF EARTHEN MATERIAL TO REMAIN LONGER THAN 90 DAYS DURING A PERIOD OF CONSTRUCTION INACTIVITY SHALL BE GRADED TO RESEMBLE A NATURALISTIC EARTH LANDFORM WITH GRADED SLOPES NO STEEPER THAN 3' HORIZONTAL TO 1' VERTICAL. FURTHER, SUCH GRADED SLOPES SHALL BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE APPROVED PROJECT SWPPP.
  - NO STOCKPILE SHALL REMAIN OF MATERIALS THAT WILL NOT BE USED IN FUTURE ON-SITE CONSTRUCTION ACTIVITIES.
  - IF NECESSARY TO STOCKPILE UNSIGHTLY MATERIALS, A LOCATION FOR THESE STOCKPILES SHOULD BE SELECTED THAT IS SCREENED BY TOPOGRAPHY, LOCATION, AND/OR VEGETATION.
  - THE APPLICANT SHALL BE RESPONSIBLE FOR DIRECTING AND MAINTAINING ALL STORMWATER RUNOFF FROM DISTURBED AREAS TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
  - APPROVAL BY THE LOCAL FIRE MARSHALL OF ALL LIFE SAFETY SUPPORT SYSTEMS (HYDRANTS, SPRINKLERS, ETC.).
  - CARBAGE REMOVAL SHALL BE PROVIDED FOR THE ENTIRE PROPERTY TO MAINTAIN A NEAT AND TIDY APPEARANCE TO THE SITE.
  - CURB RETURNS FOR AREAS OF THE DEVELOPMENT NOT YET UNDER CONSTRUCTION SHALL BE CONSTRUCTED WITH CONTINUOUS CURBING TO PROHIBIT ENTRY INTO SUCH AREAS UNTIL SUCH TIME AS CONSTRUCTION MAY COMMENCE.
  - ALL STORMWATER MANAGEMENT FACILITIES WITH EACH PHASE MUST BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY INCLUDING UNDERGROUND STORAGE AND WATER QUALITY CONTROL.
  - ALL LANDSCAPING AND STONE WALLS WITHIN EACH PHASE TO BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING IN THAT PHASE IS REQUESTED, UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL.
  - LANDSCAPING DAMAGED BY CONSTRUCTION OF SUBSEQUENT PHASES SHALL BE REPLACED BE COVERED BY THE SAME WARRANTY AS NEW LANDSCAPING.

BUILDING SUMMARY	
PHASE I	
TENANTS SHOWN	SIZE (S.F.)
EXISTING	
Existing Restaurant	5,203
Existing Retail	2,400
Total	7,603
PROPOSED	
Proposed Retail 'C'	4,820
Total	4,820
Overall Total	12,423

PARKING SUMMARY	
REQUIRED: 56 SPACES*	
PROPOSED: 131 SPACES	

\* At 1 space per 225 of GLA for overall shopping center

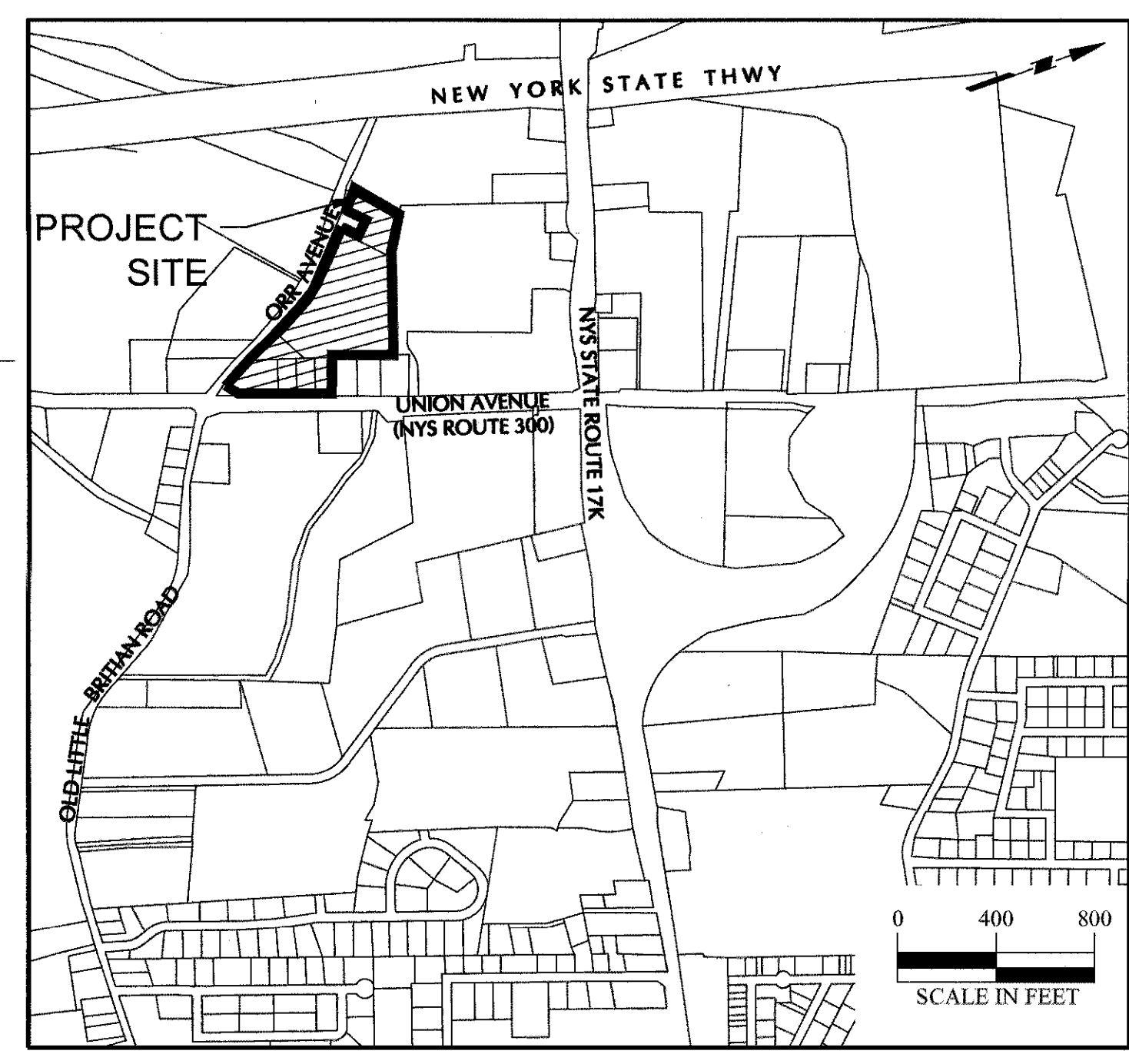
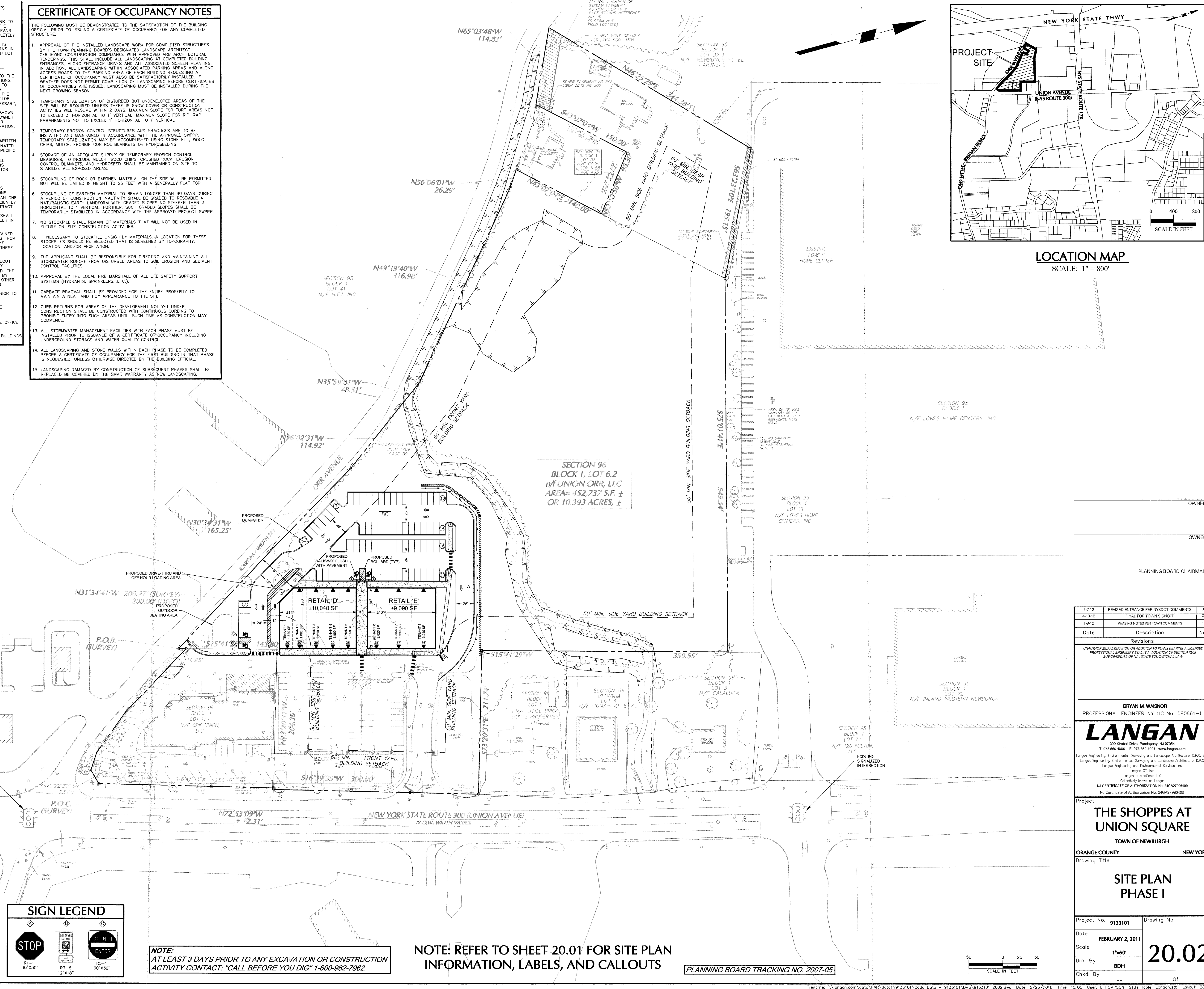
### LEGEND

PROPERTY LINE	---
PROPOSED BUILDING LINE	---
CURB	—○— OR —□—
PARKING COUNT	—○— OR —□—
PROPOSED RAMP	—▲— OR —▼—
CONCRETE PAVEMENT	—■—
PROPOSED PAVEMENT MARKINGS	—→—
TRAFFIC DIRECTION HOLLOW ARROWS (FOR INFORMATIONAL PURPOSE ONLY) DO NOT PAINT	—→—
BENCH	—x—
FENCE	—x—
PROPOSED BUILDING ENTRANCE	—▼—
GUARDRAIL	—▲—
SEGMENTAL RETAINING WALL WITH FENCE	—■—
CONCRETE RETAINING WALL WITH FENCE	—■—
PROPOSED DRY LAID STONE WALL (NOT RETAINING WALL; NO FENCE)	—■—

### SIGN LEGEND

R1-1 30"x30"	R7-B 12"x18"	RS-1 30"x30"



**LOCATION MAP**  
SCALE: 1" = 800'

**NOTE:**  
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION  
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962

**NOTE:** REFER TO SHEET 20.01 FOR SITE PLAN  
INFORMATION, LABELS, AND CALLOUTS

PLANNING BOARD TRACKING NO. 2007-05

OWNER	
OWNER	
PLANNING BOARD CHAIRMAN	

Date	Description	No.
6-7-12	REVISED ENTRANCE PER NYS DOT COMMENTS	3
4-10-12	FINAL FOR TOWN SIGNOFF	2
1-9-12	PHASING NOTES PER TOWN COMMENTS	1

UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUBCHAPTER 3 OF N.J. STATE EDUCATIONAL LAW.

**BRYAN M. WAINOR**  
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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Langan Engineering and Environmental Services, Inc.  
Langan International LLC  
Collectively known as: Langan  
NJ Certificate of Authorization No. 246A27986400  
NJ Certificate of Authorization No. 246A27986400

Project  
**THE SHOPPES AT UNION SQUARE**  
TOWN OF NEWBURGH

ORANGE COUNTY NEW YORK

Drawing Title  
**SITE PLAN PHASE I**

Project No.	9133101	Drawing No.	
Date	FEBRUARY 2, 2011		
Scale	1"=50'		
Drn. By	BDH		
Chkd. By	--		

**20.02**

