



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** SCANNELL-NEWBURGH COMMERCE CENTER  
**PROJECT NO.:** 2021-21  
**PROJECT LOCATION:** SECTION 95, BLOCK 1, LOT 58  
**REVIEW DATE:** 10 DECEMBER 2021  
**MEETING DATE:** 16 DECEMBER 2021  
**PROJECT REPRESENTATIVE:** LANGAN ENGINEERING

1. The project was before the Zoning Board of appeals for relief from the zoning requirement that warehouses are not to be permitted within 500-feet of NYS Route 17K. A copy of the variance approval should be submitted for the Planning Board's use.
2. Existing structures are proposed to be removed from the site. A demolition permit is required from the Town's Code Enforcement Office prior to any demolition. Notes stating this should be provided on the plans.
3. The submitted Long Form EAF identifies habitat for threatened or endangered species of Indiana Bat and Upland Sandpiper. Communication with the NYSDEC and US Fish & Wildlife Service will be required during the SEQRA review process.
4. The narrative report in support of the EAF identifies that the project is consistent with Town Zoning. The project required a variance from the Town's Zoning Board. This required variance should be included in the discussion of the submitted environmental documentation.
5. A City of Newburgh flow acceptance letter will be required for the project.
6. NYSDOT approval for the access drive and utilities will be required.
7. County Planning review of the project will be required.
8. A Stormwater Pollution Prevention Plan has been submitted and is under review by this office.
9. The project narrative and EAF continue to identify the project as a flex space structure. This term, while a real estate term, does not appear in the Town's Zoning under permitted uses. Actual use of the structure should be identified.
10. A parking area reservation has been identified in the Zoning Bulk Table for parking and any parking reservation equivalent site plan. It is unclear what would trigger additional parking to be constructed. Methodology for requiring adequate parking on the site should be determined.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhpa@mhepc.com

11. The project is located in the Washington Lake watershed via the City of Newburgh diversion devices on NYS Route 300. The SWPPP has identified the Town of Newburgh's policy requiring treatment of 110% of the calculated water quality volume as an additional water quality measure from the project site.
12. The Planning Board may wish to declare itself Lead Agency for SEQRA review of the project. Notice of Intent was circulated on 26 October 2021.
13. Town of Newburgh standard water and sewer notes must be added to the plan sheets.
14. Water line details identify thrust blocks utilized. Any reference to thrust blocks should be removed. Restrained joint pipe connections are required for all watermains in the Town of Newburgh.
15. The Stormwater Facilities Maintenance Agreement will be required to be executed for long-term operation and maintenance of the drainage collection conveyance and treatment system on the site.
16. Comments from the jurisdictional emergency services should be received regarding access and hydrant locations. It is noted the facility is only provided with a single access point from NYS Route 17K.

Respectfully submitted,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal

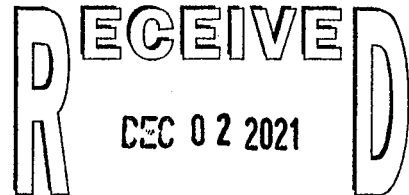
PJH/dns

WHITEMAN  
OSTERMAN  
& HANNA LLP

Attorneys at Law  
www.woh.com

David R. Everett  
Partner  
518.487.7743 phone  
[deverett@woh.com](mailto:deverett@woh.com)

November 30, 2021



MHE Engineering, D.P.C.

**HAND DELIVERY**

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, New York 12550

***RE: Newburgh Commerce Center  
Site Plan Review Application/Architectural Review Board Application/  
Clearing & Grading Permit Application  
Expanded EAF and SEQRA Narrative  
Planning Board Project No.: 2020-21***

Dear Chairman Ewasutyn:

This firm represents Scanned Properties, LLC ("Scanned"), a contract vendee for real property located at 124 Route 17K in the Town of Newburgh (Tax ID: 95-1-58) (the "Property"). Scannell is proposing to develop a new 132,000 square foot commercial/industrial center on the Property to be known as the Newburgh Commerce Center (the "Project"). The Project will require site plan review approval from the Town of Newburgh Planning Board (the "Planning Board").

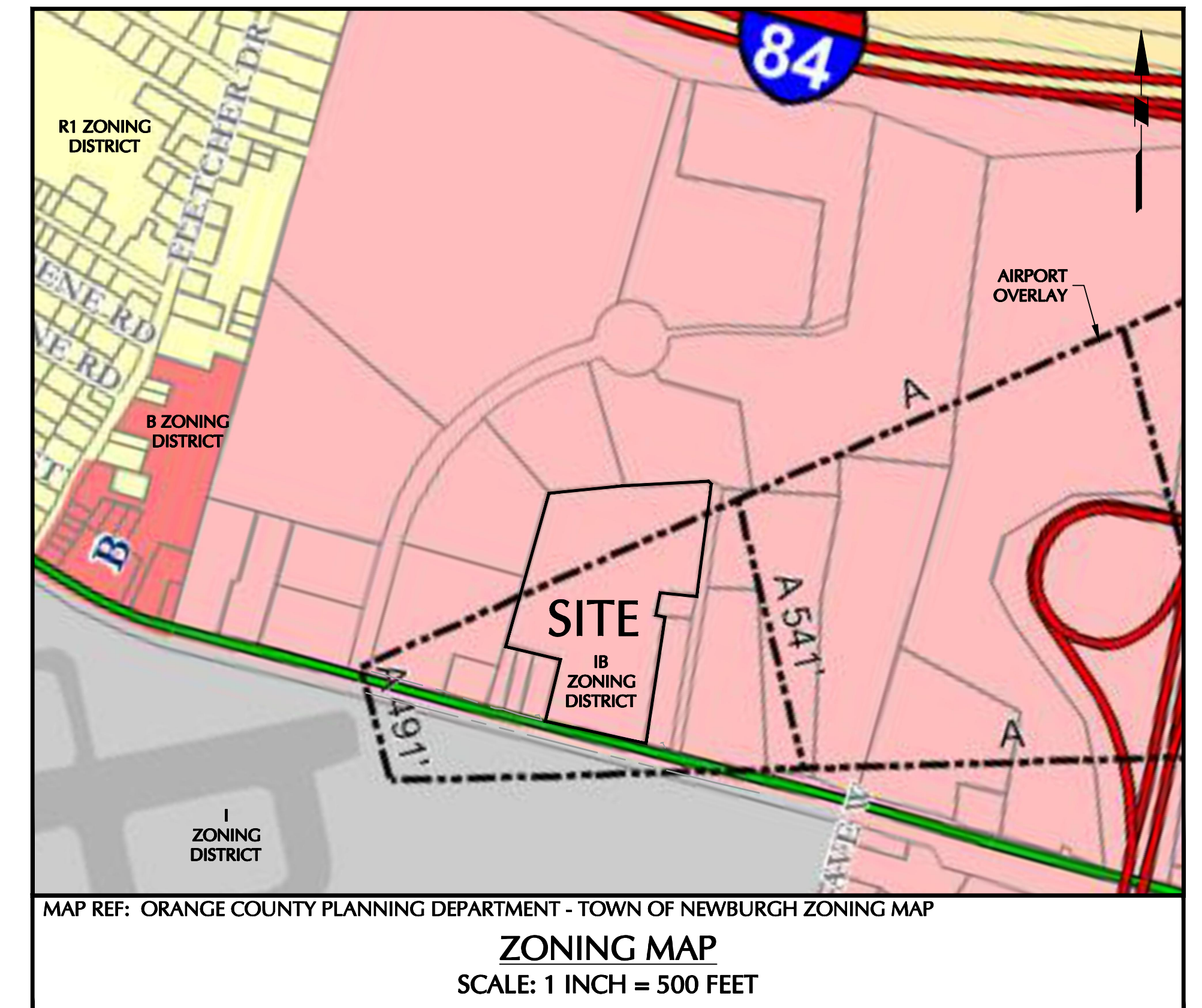
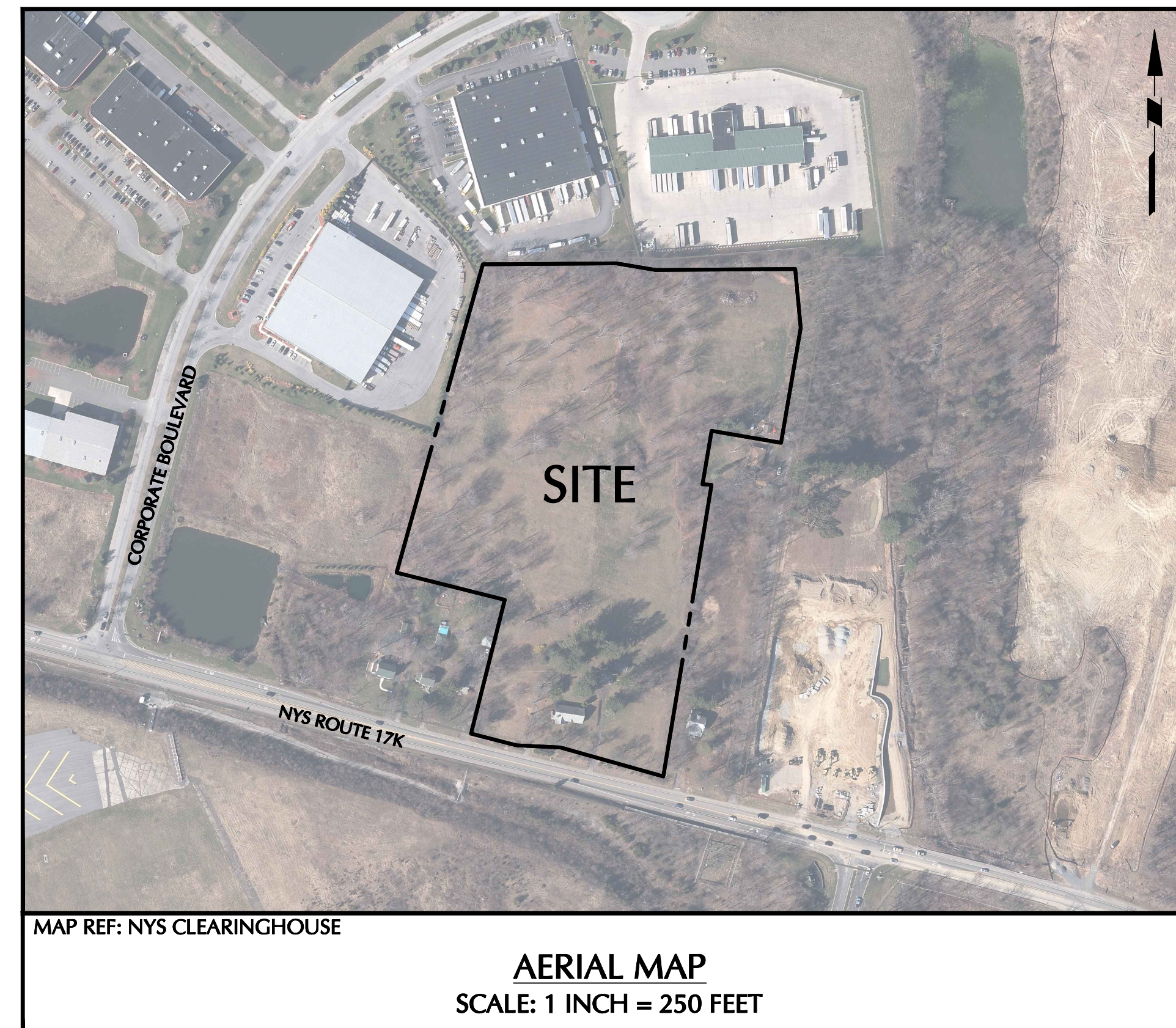
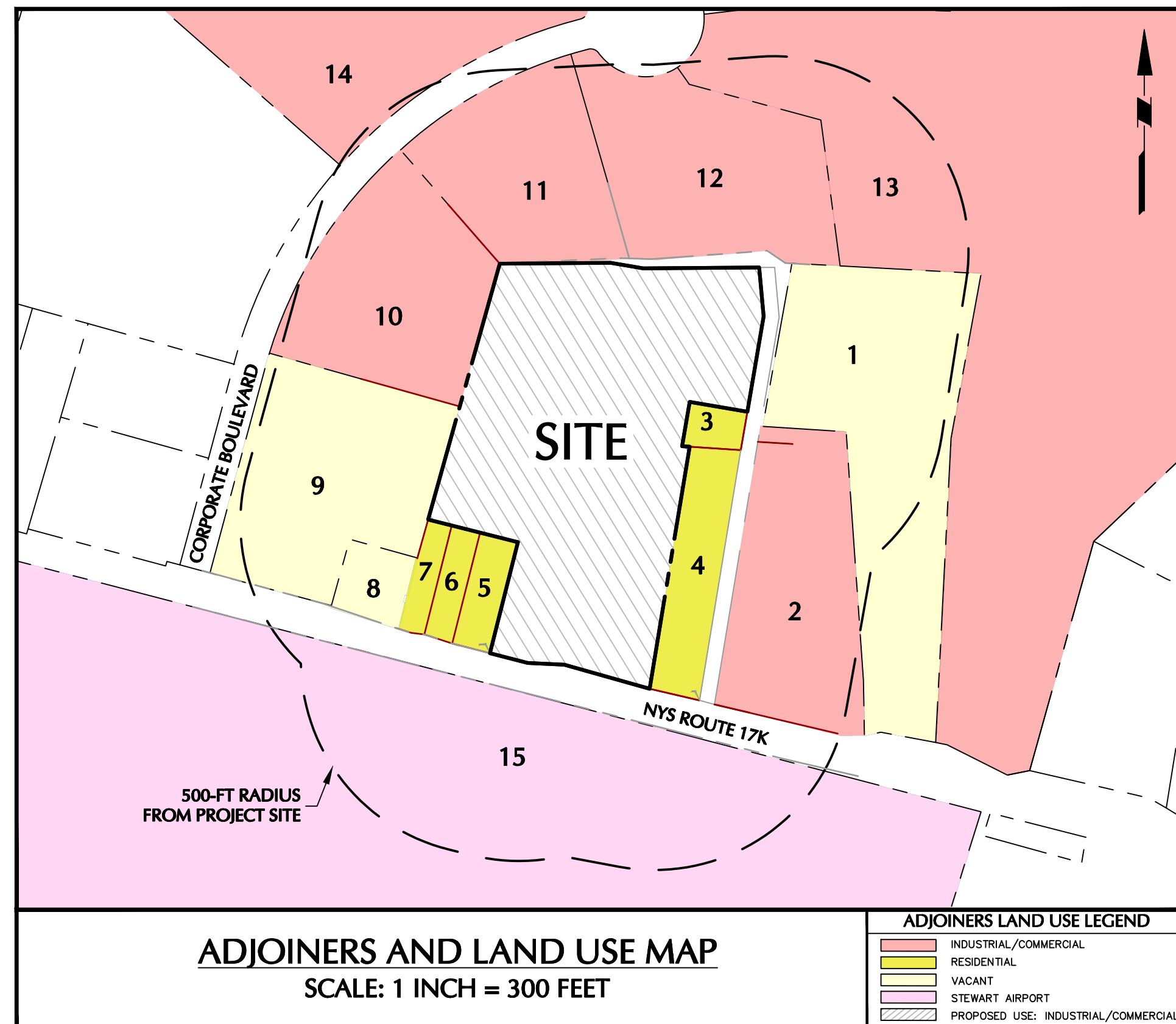
Scannell was previously before the Planning Board in September 2021 for sketch plan review of the Project and was referred by the Board to the Town's Zoning Board of Appeals ("ZBA") for an area variance to allow "warehouse, storage and transportation facilities, including truck and bus terminals" within 500 feet of NYS Route 17K. On November 23, 2021, the ZBA unanimously approved Scannell's requested area variance and the Project now is believed to fully comply with all of the dimensional requirements of the Town of Newburgh Zoning Law.

Accordingly, for the Planning Board's consideration Scannell has prepared and respectfully submits a complete site plan review application with supporting SEQRA documentation. The attached submission includes a binder with narratives and studies and attached site plans and preliminary floor plans/elevations entitled "Newburgh Commerce Center, Site Plan Application, SEQRA Expanded Environmental Assessment Form ("EAF") Narrative." This submission represents a comprehensive application package to the Planning Board which incorporates comments received from the Board based on Scannell's August 2021 sketch plan submission. For Planning Board information, we also enclose copies of completed applications



# SITE PLAN APPROVAL DOCUMENTS FOR NEWBURGH COMMERCE CENTER

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK  
SECTION 95, BLOCK 1, LOT 58  
PLANNING BOARD PROJECT No: 2021-21



ADJACENT PROPERTY OWNERS				
1. 95-1-54.2 PDH Realty, LLC P.O. Box 859 Goshen, NY 10924	4. 95-1-57 Cosimo J. Colandrea P.O. Box 3257 Newburgh, NY 12550	7. 95-1-61 Brandon Ozman 130 W Main Street Walden, NY 12586	10. 95-1-75 JDP Associates, LLC 160 Middlesex Turnpike Bedford, MA 01730	13. 95-1-1.1 Northeast Business Center 3 Manhattanville Road Purchase, NY 10577
2. 95-1-53 PDH Realty, LLC P.O. Box 859 Goshen, NY 10924	5. 95-1-59 TJP Realty, LLC 70 Taylors Way Newburgh, NY 12550	8. 95-1-64 Pitsinos Property Inc. 113 Dogwood Lane Newburgh, NY 12550	11. 95-1-1.32 Business Center Northeast 3 Manhattanville Road Purchase, NY 10577	14. 95-1-79.2 Matrix Newburgh I, LLC CN 4000 Forsgate Drive Cranbury, NJ 08512
3. 95-1-56 Van Schrier 120 Route 17K Newburgh, NY 12550	6. 95-1-60 Michael W. Kane 128 Route 17K Newburgh, NY 12550	9. 95-1-76 Palm Hospitality, LLC 48 Sherwood Heights Wappingers Falls, NY 12590	12. 95-1-69.12 A Duie Pyle P.O. Box 564 650 Westtown Road West Chester, PA 19381	15. 89-1-79 NYS Department of Transportation Albany, NY 12201

PROJECT CONTACTS	
<b>APPLICANT:</b>	SCANNELL PROPERTIES, LLC 8801 RIVER CROSSING BOULEVARD, SUITE 300 INDIANAPOLIS, IN 46240
<b>OWNER:</b>	RED OAK SOS, LLC 1400 E 66TH AVENUE DENVER, CO 80229

DRAWING LIST		
DRAWING NO.	SHEET NO.	DRAWING TITLE
CS001	1 OF 9	COVER SHEET
CD101	2 OF 9	EXISTING CONDITIONS AND SITE REMOVALS PLAN
CS101	3 OF 9	SITE PLAN
CG201	4 OF 9	GRADING AND DRAINAGE PLAN
CU101	5 OF 9	UTILITY PLAN
CE101	6 OF 9	EROSION AND SEDIMENT CONTROL PLAN
CS501	7 OF 9	DETAILS (1 OF 2)
CS502	8 OF 9	DETAILS (2 OF 2)
LP101	9 OF 9	CONCEPT PLANTING PLAN

Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	2
09/09/21	ZBA SUBMISSION	1

REVISIONS

11/30/2021  
DATE SIGNED  
SIGNATURE: MICHAEL SCHIG, JR., PE  
PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, NY 10601  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**NEWBURGH  
COMMERCE CENTER**  
SECTION No. 95, BLOCK No. 1, LOT No. 58  
TOWN OF NEWBURGH  
ORANGE COUNTY  
NEW YORK

Drawing Title  
**COVER SHEET**

Project No.  
**190071901**

Date  
**AUGUST 19, 2021**

Drawn By  
**JN**

Checked By  
**CZ**

Drawing No.  
**CS001**

Sheet 1 of 9

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



### REFERENCE NOTES

- EXISTING SITE FEATURES, TOPOGRAPHIC, AND UTILITY INFORMATION SHOWN HEREON ARE FROM THE ALTA/NSPS LAND TITLE SURVEY "LANDS OWNED BY RED OAK SOS LLC" TAX PARCEL 95-1-58, PREPARED BY MJ ENGINEERING AND LAND SURVEYING, P.C., DATED OCTOBER 7, 2021.
- THE HORIZONTAL DATUM REFERENCED TO NORTH AMERICAN DATUM OF 1983, NEW YORK STATE PLANE EAST ZONE 3101.
- THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

### SITE REMOVALS NOTES

- THE SITE DEMOLITION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, COORDINATION EFFORTS, PERMITTING COSTS, SERVICES, FILING FEES, TESTING COSTS, SECURITY, INSURANCE, AND ALL OTHER ASSOCIATED OR RELATED ITEMS REQUIRED TO COMPLETE THE SCOPE OF WORK DESCRIBED IN THIS SECTION.
  - INSTALL AND MAINTAIN ROADWAY CONSTRUCTION SIGNAGE AND ASSOCIATED TRAFFIC MEASURES.
  - INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE ADJACENT ROADWAYS DUE TO DEMOLITION RELATED DEBRIS, DUST, AND SEDIMENT AS NECESSARY OR AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER.
  - IMPLEMENT ALL SAFETY MEASURES AND ANY OTHER MEASURES DEEMED NECESSARY OR REQUIRED BY GOVERNING AUTHORITIES TO PROTECT FROM HARM OR DAMAGE ADJACENT AND ON-SITE PERSONS, PROPERTY, BUILDINGS, HOMES, BUSINESSES, FACILITIES, AND UTILITIES.
  - DISCONNECT AND CAP/TERMINATE ALL UTILITY SERVICES (E.G. WATER, SEWER, GAS, ELECTRIC, TELEPHONE, ETC.) IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND UTILITY SERVICE COMPANY REQUIREMENTS, WHERE NECESSARY, THE WORK SHALL INCLUDE THE RESTORATION OF PAVEMENT AND CURBING IMPACTED WITHIN THE PUBLIC RIGHT-OF-WAY BY UTILITY REMOVAL AND DEMOLITION WORK.
  - REMOVE AND DISPOSE OF OFF-SITE ALL EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO ALL ASPHALT, CONCRETE SIDEWALKS, WALLS, STAIRWAYS, RAMPS, RAILINGS, BUSHES, TREES, CURBING, FENCES, POLES, ETC. WITHIN SITE AREAS.
  - UPON COMPLETION OF DEMOLITION, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE SITE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL PLAN, SHEET CE101. TEMPORARY STABILIZATION MAY BE SUBJECT TO ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED BY THE TOWN ENGINEER AT NO ADDITIONAL COST TO THE OWNER OR TOWN.
  - AN ABOVE GROUND STORAGE TANK USED FOR HEATING AND COOLING IS LOCATED IN THE BASEMENT OF THE RESIDENCE FRONTING ROUTE 17K. THE FILL PORT ASSOCIATED WITH THE AST IS LOCATED ON THE EXTERIOR SOUTHWEST PORTION OF THE BUILDING. THE AST SHALL BE REMOVED IN ACCORDANCE WITH APPLICABLE STANDARDS.
  - THE RESIDENCE FRONTING ROUTE 17 IS ON A PRIVATE SEPTIC SYSTEM AND PRIVATE WATER WELL. THE SEPTIC SYSTEM AND WELL SHALL BE REMOVED IN ACCORDANCE WITH APPLICABLE STANDARDS.

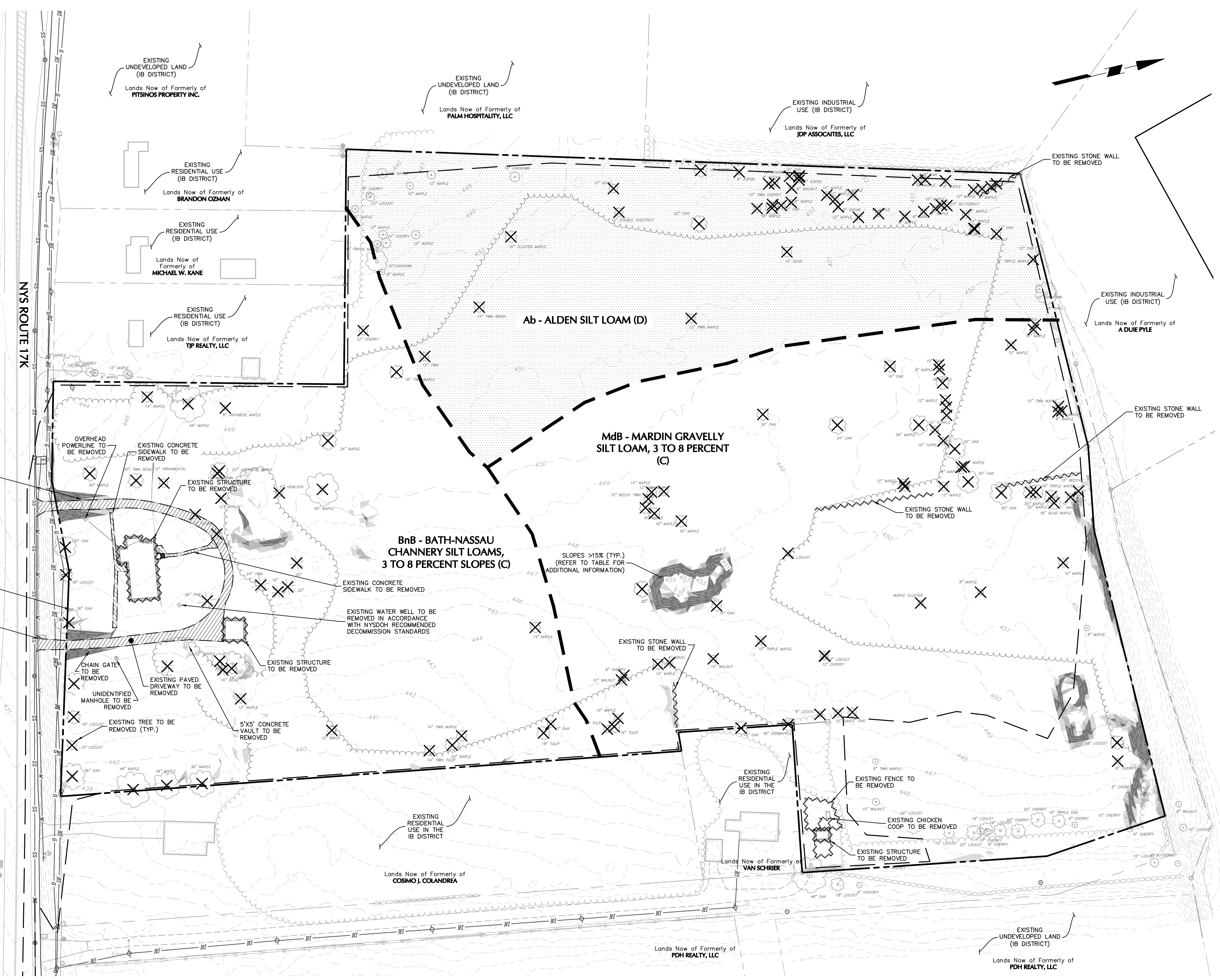
### LEGEND

	PROPERTY LINE
	SITE FEATURE TO BE REMOVED
	TREE TO BE REMOVED
	EXISTING PAVEMENT/CONCRETE TO BE REMOVED

### SLOPES TABLE

NUMBER	MIN. SLOPE	MAX. SLOPE	AREA (SF)	COLOR
1	15.0%	20.0%	4,962	
2	20.0%	25.0%	1,938	
3	25.0%	Vertical	2,160	

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	2
09/09/21	ZBA SUBMISSION	1
REVISIONS		

11/30/2021  
 DATE SIGNED  
 CHARLES SCHIG, JR., PE  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

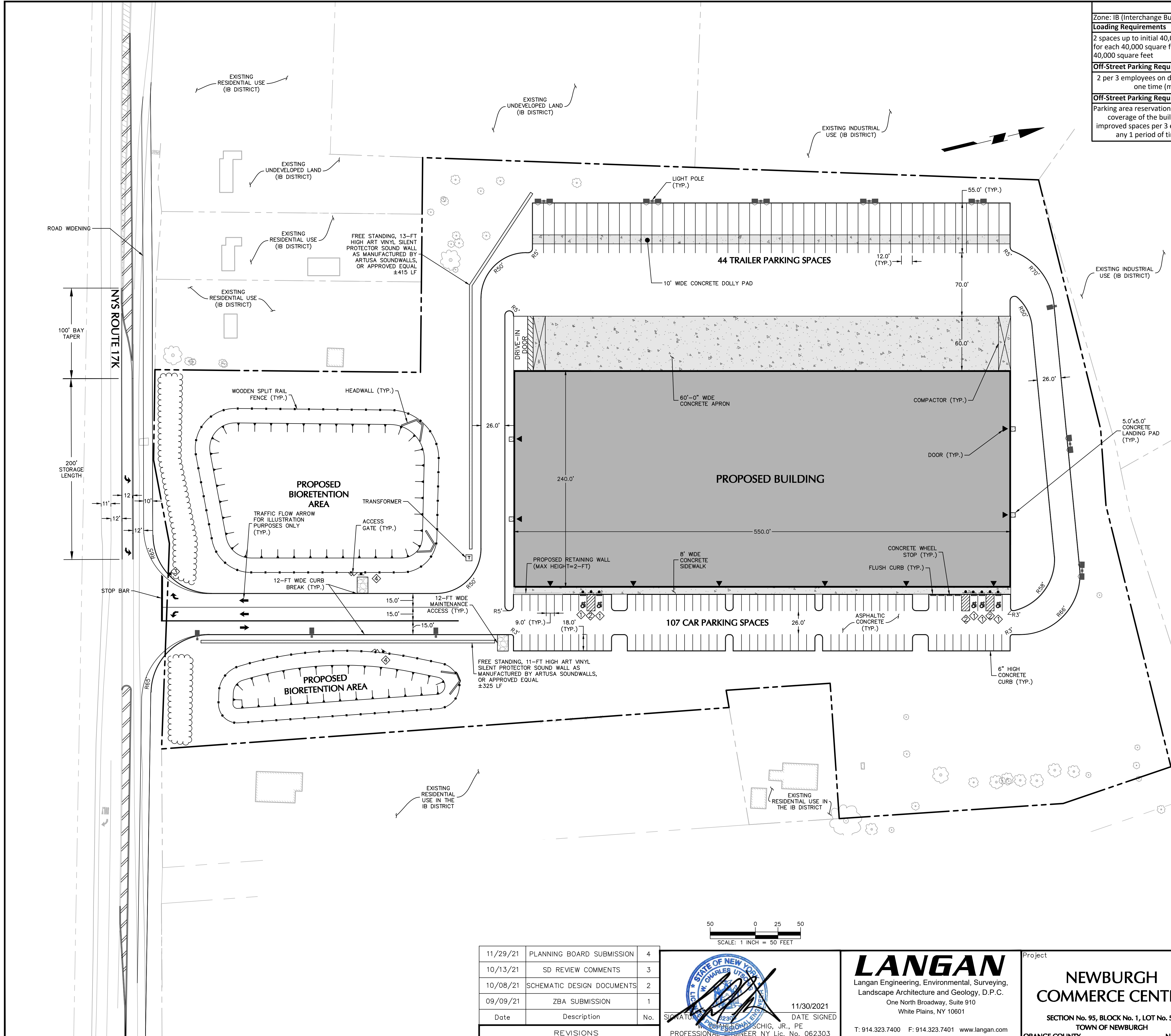
**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 One North Broadway, Suite 910  
 White Plains, NY 10601  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**NEWBURGH  
 COMMERCE CENTER**  
 SECTION No. 95, BLOCK No. 1, LOT No. 58  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 NEW YORK

Drawing Title  
**EXISTING  
 CONDITIONS AND  
 SITE REMOVALS  
 PLAN**

Project No.	190071901	Drawing No.	CD101
Date	AUGUST 19, 2021		
Drawn By	JN	Sheet 2 of 9	
Checked By	CZ		





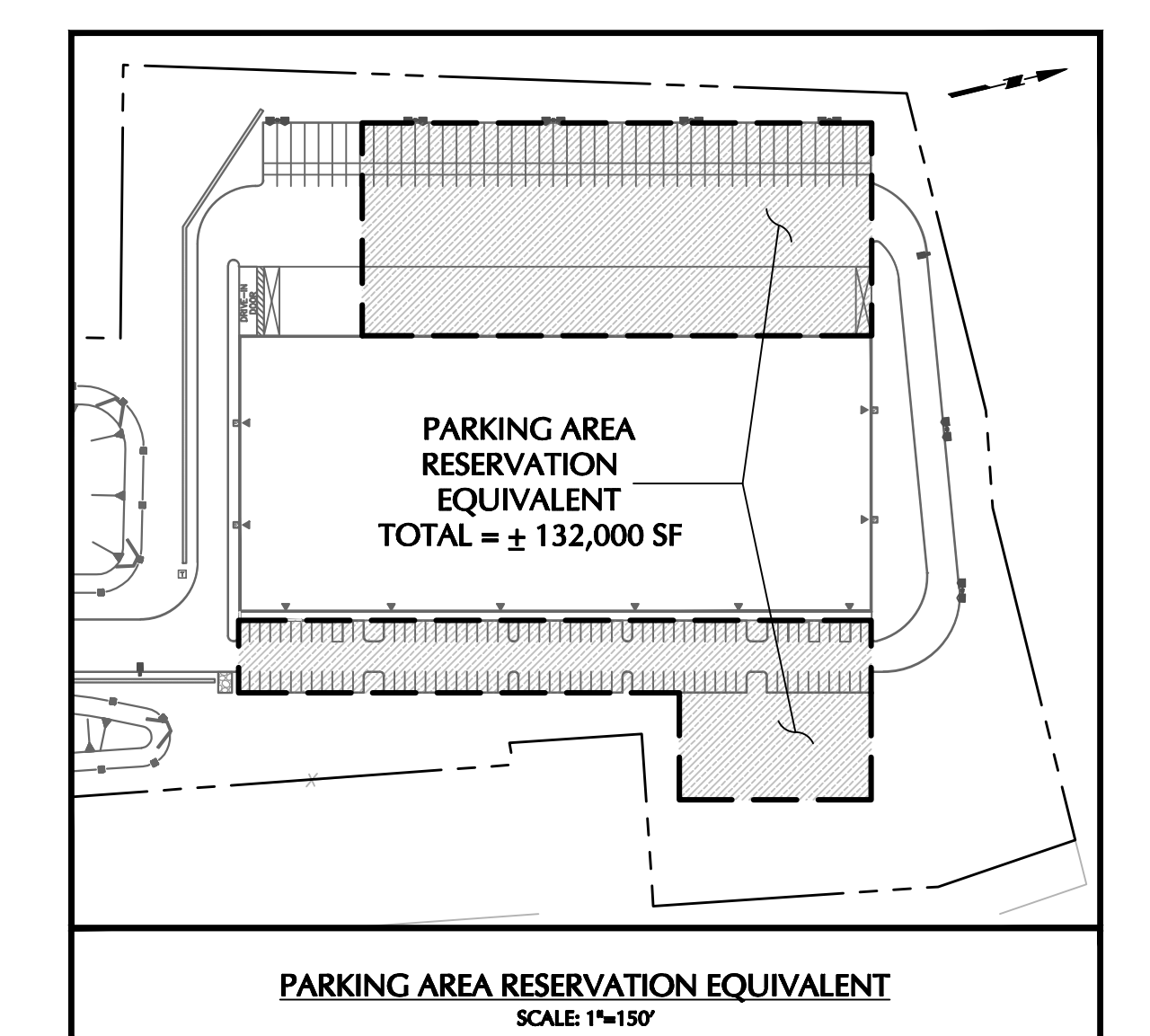
LOADING & OFF-STREET PARKING REQUIREMENTS SECTION (185-13)		
Zone: IB (Interchange Business)		
<b>Loading Requirements</b>	<b>Required</b>	<b>Proposed</b>
2 spaces up to initial 40,000 SF and 1 additional space for each 40,000 square feet in addition to the first 40,000 square feet	Initial 40,000 SF Building = 2 spaces 92,000 SF Remaining Building / 40,000 SF = 2.3 spaces 2 spaces + 3 spaces = 5 loading spaces required	>5 spaces provided
<b>Off-Street Parking Requirements (Warehouse)</b>	88 employees per shift / 3 employees = 29.3 spaces 29.3 spaces * 2 spaces = 59 spaces required	107 spaces provided
<b>Off-Street Parking Requirements (Manufacturing or industrial establishment, research institute or laboratory)</b>	128 employees per shift / 3 employees = 42.7 spaces 42.7 spaces * 2 spaces = 86 spaces required 130,000 SF of parking area reservation equivalent required	107 spaces provided 132,000 SF of parking area reservation equivalent provided (see insert)

ZONING TABLE: TOWN OF NEWBURGH, NY				
INTERCHANGE BUSINESS (IB) ZONING DISTRICT				
SECTION No. 95, BLOCK No. 1, LOT No. 58				
CODE REF.	BULK REGULATION	REQUIRED	PROPOSED	COMPLIANCE
Schedule 8	PRINCIPAL USE	Use subject to site plan review by Planning Board	Various <sup>(1)</sup>	YES
Schedule 8	MIN. LOT AREA	40,000 SF	±602,542 SF (13.8 AC)	YES
Schedule 8	MIN. LOT WIDTH	150 FT	416 FT	YES
Schedule 8	MIN. LOT DEPTH	150 FT	1,053 FT	YES
Sect. 185-18	MIN. FRONT YARD (STATE ROAD)	60 FT	381.0 FT	YES
Schedule 8	MIN. SETBACK FROM ROUTE 17K <sup>(1)</sup>	500 FT	381.0 FT	VARIANCE GRANTED <sup>(2)</sup>
Schedule 8	MIN. REAR YARD	60 FT	80.8 FT	YES
Schedule 8	MIN. SIDE YARD (ONE SIDE)	30 FT	106.1 FT	YES
Schedule 8	MIN. SIDE YARD (BOTH SIDES)	80 FT	317.9 FT	YES
Schedule 8	MAX. LOT BUILDING COVERAGE	40%	21.9%	YES
Schedule 8	MAX. BUILDING HEIGHT	40 FT	< 40 FT	YES
Schedule 8	MAX. LOT SURFACE COVERAGE	80%	52.4%	YES
LANDSCAPE REQUIREMENTS				
Sect. 185-18	FRONT YARD LANDSCAPE BUFFER ALONG ROUTE 17K	35 FT	35 FT	YES
Sect. 185-13	PARKING AREA LANDSCAPING	5% OF PARKING AREA	5.1%	YES

**Note:**  
 (1) The proposed use includes research laboratories; manufacturing, altering, fabricating, or processing products or materials; warehouse, storage, and transportation facilities, including truck and bus terminals; and offices for business, research, and professional use and banks.  
 (2) Per Schedule 8, Column D, Line Item 9, "Warehouse, storage and transportation facilities, including truck and bus terminals, not within 500 feet of Route 17K" is a use subject to site plan review by the Planning Board. A variance has been granted to construct a portion of this use within 500 feet of Route 17K.

SIGN SCHEDULE						
SIGN NO.	SIGN FACE	NYS NUMBER	NATIONAL NUMBER	SIZE	BACKGROUND COLOR	LEGEND COLOR
1	RESERVED PARKING	R4-6	R7-8 (NO ARROWS)	24"x24" (12"x18" WITH VAN ACCESSIBLE)	WHITE	BLUE GREEN
2	NO PARKING ANY TIME	P1-1 (NO ARROWS)	P7-1 (NO ARROWS)	12"x18"	WHITE	RED
3	STOP	R1-1	R1-1	30"x30"	RED	WHITE

NOTES: REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS ON CUSTOM SIGNS.  
 REFER TO STORMWATER MANAGEMENT PRACTICE SIGN DETAIL ON SHEET CS501 FOR SIGN



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	4
10/13/21	SD REVIEW COMMENTS	3
10/08/21	SCHEMATIC DESIGN DOCUMENTS	2
09/09/21	ZBA SUBMISSION	1

11/30/2021  
 DATE SIGNED  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 One North Broadway, Suite 910  
 White Plains, NY 10601  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**NEWBURGH COMMERCE CENTER**  
 SECTION No. 95, BLOCK No. 1, LOT No. 58  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 NEW YORK

Drawing Title  
**SITE PLAN**

Project No.  
**190071901**  
 Date  
**AUGUST 19, 2021**  
 Drawn By  
**JN**  
 Checked By  
**JK**  
 Drawing No.  
**CS101**  
 Sheet 3 of 9

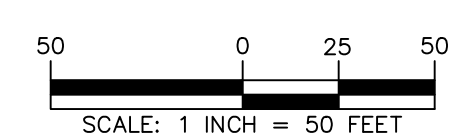
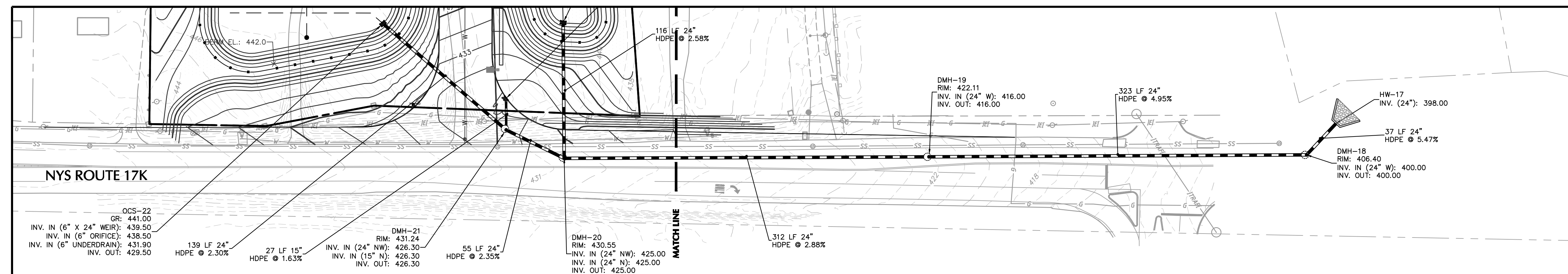
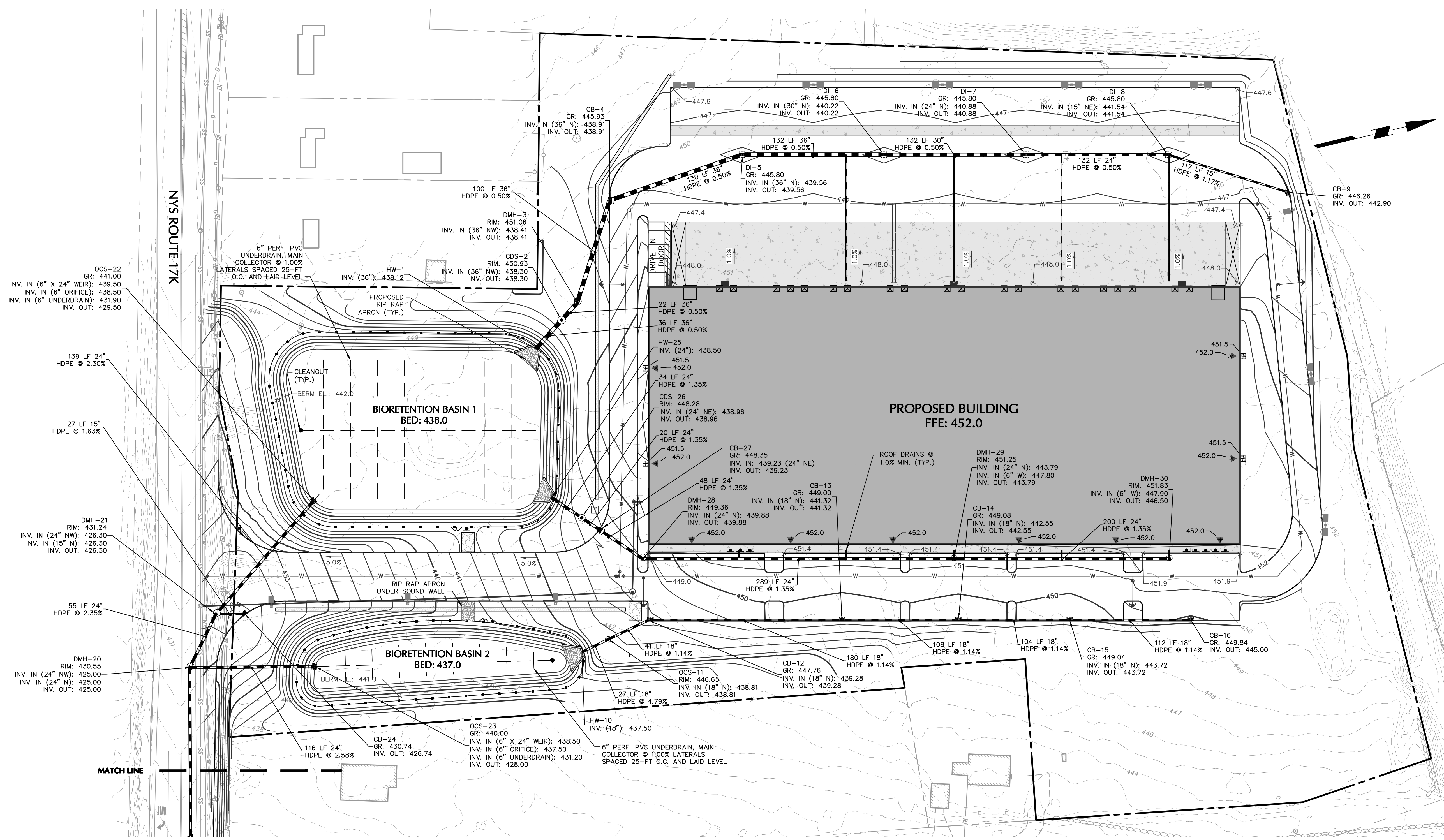


### DRAINAGE NOTES

- ALL DRAINAGE STRUCTURES AND STORM PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO BEGINNING CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
- THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEERING/DEPARTMENT OF PUBLIC WORKS A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ALL CONNECTIONS TO TOWN FACILITIES SHALL BE COORDINATED WITH AND WITNESSED BY TOWN DPW PERSONNEL.
- ABBREVIATIONS:  
 HDPE = HIGH DENSITY POLYETHYLENE  
 INV = INVERT  
 LF = LINEAR FEET
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS AND SIZES OF ALL ROOF LEADERS AND COORDINATE WITH PROPOSED STORMWATER SYSTEM PRIOR TO INSTALLATION.
- ALL ROOF DRAINS FROM BUILDING SHALL BE BROUGHT TO FIVE (5) FEET OUTSIDE THE BUILDING LIMITS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
- ALL PROPOSED STORM DRAINAGE PIPING SHALL BE TEMPORARILY PROTECTED WITH REQUIRED MINIMUM COVER DURING CONSTRUCTION.
- ALL DAMAGED EXISTING DRAINAGE STRUCTURES ON-SITE OR OFF-SITE, CAUSED BY THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AS DIRECTED BY THE OWNER'S ENGINEER, AT NO COST TO THE OWNER OR TOWN.

### LEGEND

- 449 MAJOR CONTOUR
- 449 MINOR CONTOUR
- 439 SPOT GRADE
- PROPERTY LINE
- DRAIN INLET
- STORM PIPE
- MANHOLE
- CLEANOUT



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	1
REVISIONS		

SIGNATURE: CHARLES SCHIG, JR., PE  
 DATE SIGNED: 11/30/2021  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 One North Broadway, Suite 910  
 White Plains, NY 10601  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**NEWBURGH  
 COMMERCE CENTER**  
 SECTION No. 95, BLOCK No. 1, LOT No. 58  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

Drawing Title  
**GRADING AND  
 DRAINAGE PLAN**

Project No.	190071901	Drawing No.	CG201
Date	NOVEMBER 29, 2021	Sheet	
Drawn By	JN	Checked By	CZ

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.

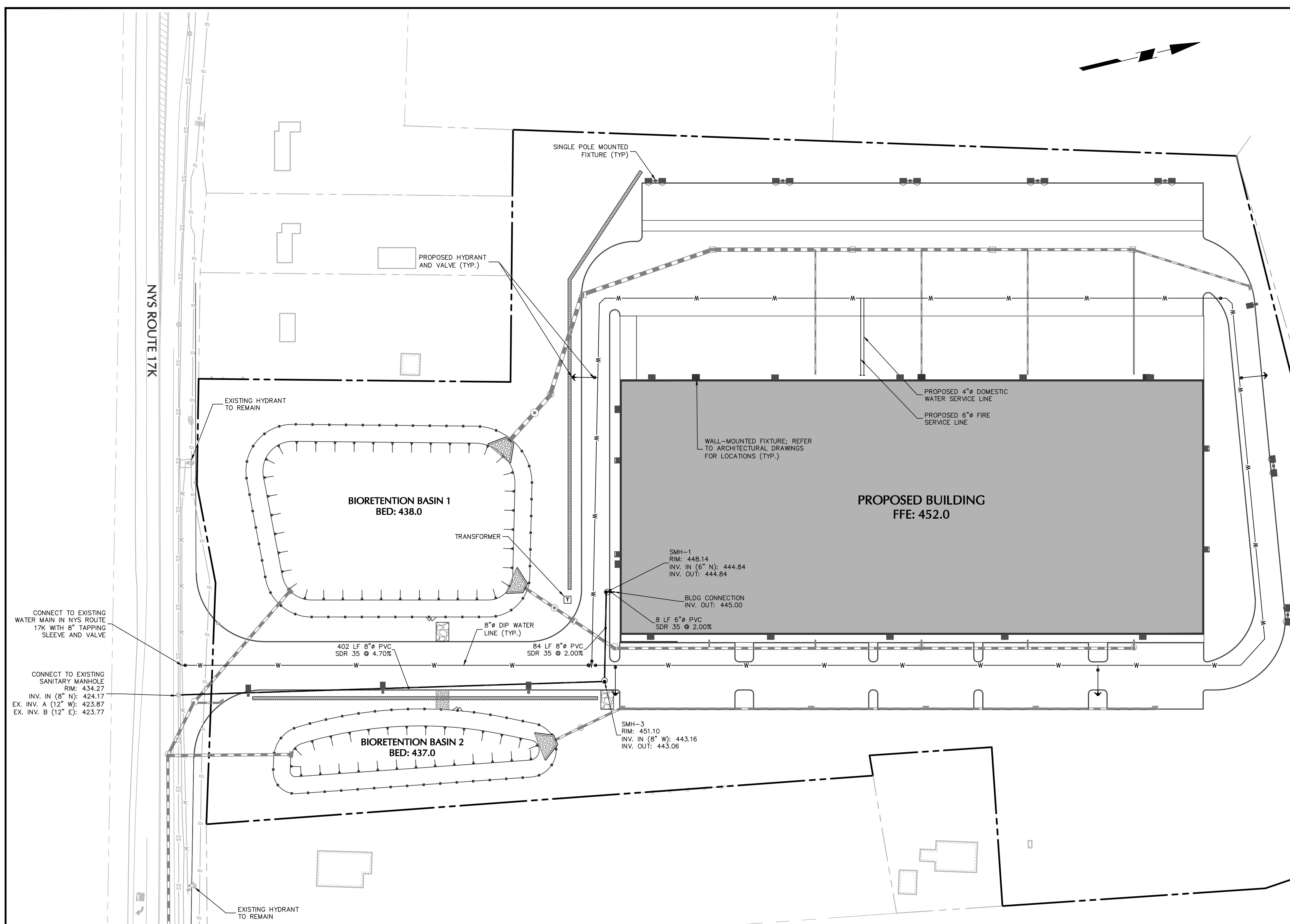
PROJECT NO. 190071901  
 Langan



LANGAN PROJECT NO. 190071901

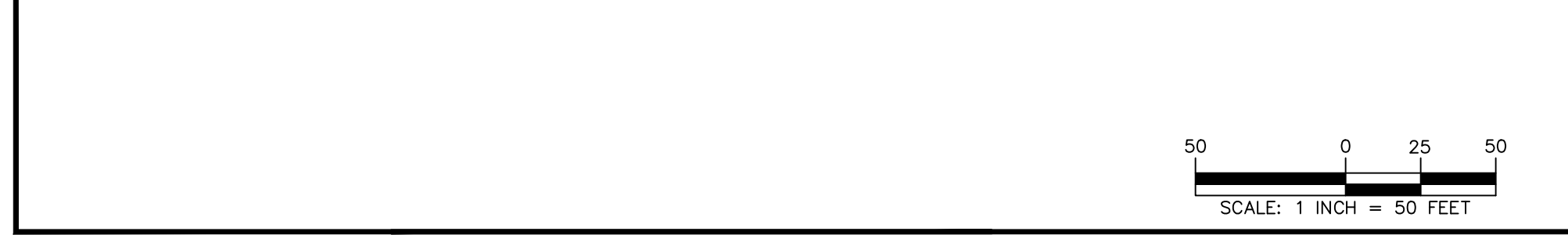
- | TELEPHONE NOTES   | SEWER NOTES  |
|---|--|
| <ol style="list-style-type: none"> <li>ALL UNDERGROUND TELEPHONE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE TELEPHONE COMPANY.</li> <li>TELEPHONE CONDUIT SHALL BE SCH. 40 PVC OR AS REQUIRED BY THE TELEPHONE COMPANY.</li> <li>MINIMUM TELEPHONE CONDUIT BURIAL DEPTH SHALL BE TWO FEET, OR GREATER IF REQUIRED BY THE TELEPHONE COMPANY.</li> <li>BUILDING CONTRACTOR SHALL ROUTE TELEPHONE SERVICE INSIDE OF THE BUILDING TO ONE COMMON POINT FOR CONNECTION TO THE SITE TELEPHONE CONDUIT.</li> </ol> | <ol style="list-style-type: none"> <li>ALL CONSTRUCTION TO COMPLY WITH CURRENT TOWN OF NEWBURGH SPECIFICATIONS AND ORDINANCES.</li> <li>CONTRACTOR SHALL SECURE ALL PERMITS AT HIS OWN EXPENSE.</li> <li>MATERIALS FOR SANITARY SEWER:               <ol style="list-style-type: none"> <li>POLYVINYL CHLORIDE (P.V.C) SANITARY SEWER PIPE WITH INTEGRAL BELL AND SPIGOT JOINTS. PIPE SHALL CONFORM TO ASTM D3034, SPECIFICATION LATEST REVISION. GRAVITY SEWER SHALL BE PVC SDR-35.</li> <li>EQUAL APPROVED BY TOWN ENGINEER.</li> </ol> </li> <li>HORIZONTAL SEPARATION: SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE FROM EDGE TO EDGE. PRACTICAL TO MAINTAIN A TEN FOOT SEPARATION, THE APPROPRIATE REVIEWING AGENCY MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" ABOVE THE TOP OF THE SEWER.</li> <li>CROSSINGS-SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE, OR BELOW THE SEWER. THE CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM WATERMAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.</li> <li>ALL TRENCHING IN THE ROW SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER.</li> <li>NOTWITHSTANDING SATISFACTORY TEST RESULTS, IF EXCESSIVE INFILTRATION IS DISCOVERED WITHIN TWO YEARS OF ACCEPTANCE OF THE SEWER SYSTEM, THE CONTRACTOR WILL BE REQUIRED TO CORRECT THE SITUATION. THE CONTRACTOR SHALL, UPON WRITTEN NOTICE FROM THE ENGINEER, TAKE THE NECESSARY STEPS TO CORRECT THE LEAK AT NO ADDITIONAL COST TO THE OWNER. SUCH WORK SHALL BE ACCOMPLISHED WITHIN TWO WEEKS OF THE DATE OF NOTIFICATION.</li> <li>GRAVITY SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS AND ASTM F-1417, LATEST VERSION.</li> <li>SEWER MANHOLES SHALL BE TESTED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS AND ASTM C-1244, LATEST VERSION.</li> </ol> |
| ELECTRICAL SERVICE NOTES  | GAS NOTES  |
| <ol style="list-style-type: none"> <li>ALL ABOVEGROUND AND UNDERGROUND ELECTRICAL SERVICE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE ELECTRIC COMPANY.</li> <li>ELECTRICAL CONDUIT SHALL BE SCH. 80 PVC OR AS REQUIRED BY THE ELECTRIC COMPANY.</li> <li>MINIMUM ELECTRICAL CONDUIT BURIAL DEPTH SHALL BE THREE FEET, OR GREATER IF REQUIRED BY THE ELECTRIC COMPANY.</li> </ol>   | <ol style="list-style-type: none"> <li>ALL UNDERGROUND GAS SERVICE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE GAS COMPANY, CENTRAL HUDSON.</li> <li>GAS PIPING (SIZE AND MATERIAL) SHALL BE AS REQUIRED BY THE GAS COMPANY.</li> <li>MINIMUM GAS PIPING BURIAL DEPTH SHALL BE THREE FEET, OR GREATER IF REQUIRED BY THE GAS COMPANY.</li> </ol>   |

- | WATER NOTES   |
|---|
| <ol style="list-style-type: none"> <li>ALL CONSTRUCTION TO COMPLY WITH CURRENT TOWN OF NEWBURGH SPECIFICATIONS AND ORDINANCES.</li> <li>CONTRACTOR SHALL SECURE ALL PERMITS AT HIS OWN EXPENSE.</li> <li>MATERIAL FOR WATERMAINS:           <ol style="list-style-type: none"> <li>CEMENT LINED DUCTILE IRON PIPE MINIMUM THICKNESS CLASS 52 WITH 150 PSI WORKING PRESSURE AND SHALL CONFORM TO AWWA SPECIFICATION C 151 LATEST REVISION FOR HYDRANT ASSEMBLIES. THE PIPE SHALL BE ENCASED WITH A MINIMUM 8 MIL. POLYETHYLENE WRAP, AS PER AWWA C 105 SPECIFICATION. TYPE MECHANICAL JOINT TEES AND NIPPLES. HYDRANTS SHALL BE PLACED A MAXIMUM OF 500' APART. HYDRANTS SHALL BE "BAGGED" UNTIL READY FOR USE. HYDRANTS SHALL OPEN COUNTERCLOCKWISE [LEFT] AND CLOSE CLOCKWISE RIGHT.</li> </ol> </li> <li>ALL FIELD INSTALLED BOLTS SHALL BE CAPPED WITH SACRIFICIAL ZINC ANODES.</li> <li>CONTRACTOR WILL BE RESPONSIBLE TO FURNISH AND INSTALL TEST POINTS AT THE APPROXIMATE LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE TOWN ENGINEER. THE TEST POINTS SHALL CONSIST OF A 1" OR 2" CORPORATION STOP, AND THE NECESSARY 1" OR 2" COPPER PIPE TO ADEQUATELY CONDUCT THE REQUIRED TESTS. AFTER TESTING HAS BEEN COMPLETED AND APPROVED, THE CONTRACTOR SHALL REMOVE THE CORPORATION STOPS AND INSTALL STANDARD AWWA FACTORY THREADED BRASS PLUGS. SAMPLE POINTS SHALL BE LOCATED AT THE BEGINNING AND END OF EACH LINE WITH A MAXIMUM SPACING OF 1000 FEET.</li> <li>THE WATER MAIN SHALL BE TESTED, DISINFECTED, AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION, AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO PUTTING THE WATER MAIN IN SERVICE. SATISFACTORY TESTING RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT AND ORANGE COUNTY HEALTH DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER A MINIMUM OF 24 HOURS PRIOR TO SAMPLING.</li> <li>PRESSURE AND LEAKAGE TEST SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.</li> <li>DISINFECTION SHALL BE COMPLETED IN ACCORDANCE WITH AWWA C651, LATEST REVISION. THE TABLET METHOD IS NOT ALLOWED.</li> <li>INSTALLATION SHALL COMPLY WITH THE 2018 "TEN STATES STANDARDS." HORIZONTAL SEPARATION-WATERMAIN SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER MAIN. THE DISTANCE SHALL BE FROM EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A TEN FOOT SEPARATION, THE APPROPRIATE REVIEWING AGENCY MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE WATERMAIN CLOSER TO A SEWER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" ABOVE THE TOP OF THE SEWER.</li> <li>WATERMAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE, OR BELOW THE SEWER. THE CROSSINGS SHALL BE ARRANGED SO THAT THE WATERMAIN JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM SEWER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.</li> </ol> |



LEGEND	
	SANITARY LATERAL
	WATER SERVICE LINE
	HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	2
10/08/21	SCHEMATIC DESIGN DOCUMENTS	1

11/30/2021  
 DATE SIGNED  
 ROBERT SCHIG, JR., PE  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 One North Broadway, Suite 910  
 White Plains, NY 10601  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**NEWBURGH  
 COMMERCE CENTER**  
 BLOCK No. 1, LOT No.58  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

Drawing Title  
**UTILITY PLAN**

Project No.	190071901	Drawing No.	CU101
Date	OCTOBER 8, 2021		
Drawn By	JN		
Checked By	JK	Sheet 5 of 9	

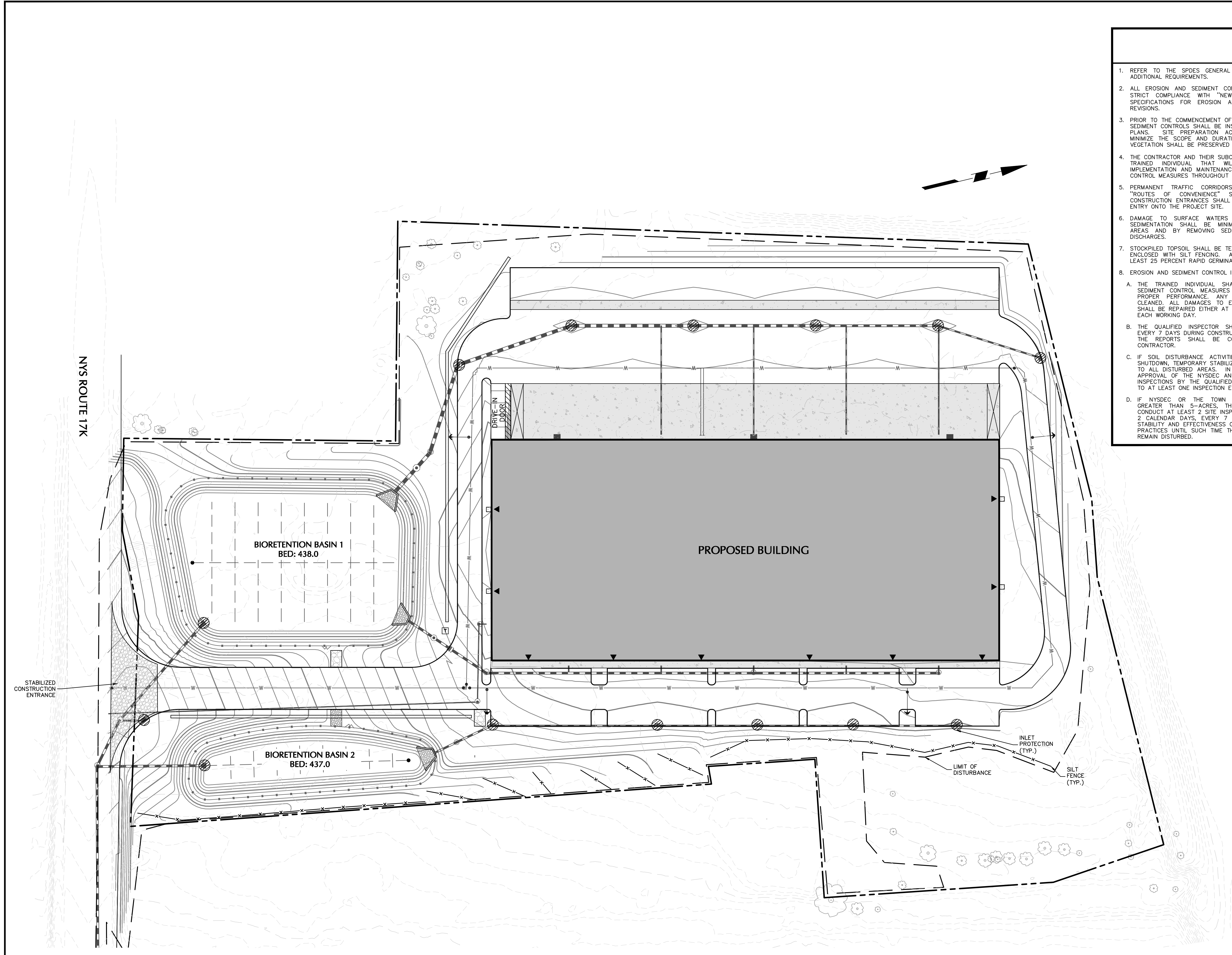


### EROSION & SEDIMENT CONTROL NOTES

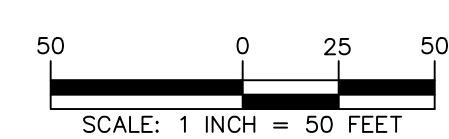
1. REFER TO THE SPDES GENERAL PERMIT COMPLIANCE NOTES FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", LATEST REVISIONS.
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION. EXISTING VEGETATION SHALL BE PRESERVED AS MUCH AS IS PRACTICAL.
4. THE CONTRACTOR AND THEIR SUBCONTRACTOR(S) SHALL IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
6. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
7. STOCKPILED TOPSOIL SHALL BE TEMPORARILY SEEDED, MULCHED, AND ENCLOSED WITH SILT FENCING. ALL GRASS SEED WILL CONTAIN AT LEAST 25 PERCENT RAPID GERMINATING PERENNIAL RYE GRASS.
8. EROSION AND SEDIMENT CONTROL INSPECTIONS:
  - A. THE TRAINED INDIVIDUAL SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP SHALL BE CLEANED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS SHALL BE REPAIRED EITHER AT THE BEGINNING OR AT THE END OF EACH WORKING DAY.
  - B. THE QUALIFIED INSPECTOR SHALL CONDUCT SITE INSPECTIONS EVERY 7 DAYS DURING CONSTRUCTION. ANY DEFICIENCIES NOTED IN THE REPORTS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
  - C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. IN THIS CASE AND SUBJECT TO THE APPROVAL OF THE NYSDEC AND THE TOWN, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED PROFESSIONAL MAY BE REDUCED TO AT LEAST ONE INSPECTION EVERY 30 CALENDAR DAYS.
  - D. IF NYSDEC OR THE TOWN AUTHORIZES SOIL DISTURBANCES GREATER THAN 5-ACRES, THE QUALIFIED PROFESSIONAL WILL CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY AT LEAST 2 CALENDAR DAYS, EVERY 7 CALENDAR DAYS TO ENSURE THE STABILITY AND EFFECTIVENESS OF ALL PROTECTIVE MEASURES AND PRACTICES UNTIL SUCH TIME THAT LESS THAN 5-ACRES OF SOIL REMAIN DISTURBED.
9. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
10. EARTHWORK ACTIVITIES SHALL BE CONSISTENT WITH THE PLANS. THE EARTHWORK OPERATION AREAS SHALL BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS, WHICH ARE NOT CURRENTLY UNDER CONSTRUCTION, LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 48 HOURS.
11. ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED BY A SURROUNDING SILT FENCE BARRIER.
12. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED LANDSCAPE SOILS.
13. IF CONSTRUCTION TAKES PLACE IN "WET SOILS", CURTAIN DRAINS OR SUBSURFACE DRAINAGE SHALL BE INSTALLED TO DEWATER THE SOILS. DEWATERING DISCHARGES WILL NOT BE DIRECTED INTO WETLANDS, WATER COURSES, WATER-BODIES, OR STORM SEWER SYSTEMS.
14. TEMPORARY DRAINAGE SWALES WITH A MINIMUM GRADE OF ONE PERCENT SHALL BE INSTALLED TO DIRECT RUNOFF AWAY FROM EXCAVATED AREAS. SWALES SHALL BE INSTALLED WITH STAKED AND SECURED HAY BALE BERMS TO PREVENT DOWNSTREAM SILTATION. LOCATION OF THE DRAINAGE SWALES AND HAY BALES WILL BE AT THE DIRECTION OF THE DESIGN ENGINEER. SILT FENCE SHALL BE PROPERLY INSTALLED DOWN GRADE OF ALL DISTURBED AREAS. SILT FENCE SHALL BE INSTALLED ALONG CONTOURS TO FILTER SEDIMENT FROM RUNOFF. INSPECTION BY CONTRACTOR SHOULD BE FREQUENT AND REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED. SILT FENCE SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
15. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION, UPGRADE SURFACES HAVE BEEN PROPERLY STABILIZED, AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERABLE. ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FILLED IN, TOPSOILED, SEEDED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80 PERCENT COVERAGE IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES. ENSURE THAT FINAL STABILIZATION OF ALL TRIBUTARY AREAS IS ACHIEVED PRIOR TO THE CONSTRUCTION OF THE BIORETENTION BASINS.

#### LEGEND

	PROPERTY LINE
x x x x	SILT FENCE
- - - -	TREE PROTECTION
●	INLET PROTECTION
▨	STABILIZED CONSTRUCTION ENTRANCE
---	LIMIT OF DISTURBANCE



NYS ROUTE 17K



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	1
REVISIONS		

CHARLES URSCH  
PROFESSIONAL ENGINEER  
NYS Lic. No. 062303

11/30/2021  
DATE SIGNED

LANGAN

Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

NEWBURGH  
COMMERCE CENTER

SECTION No. 95, BLOCK No. 1, LOT No. 58  
TOWN OF NEWBURGH  
ORANGE COUNTY  
NEW YORK

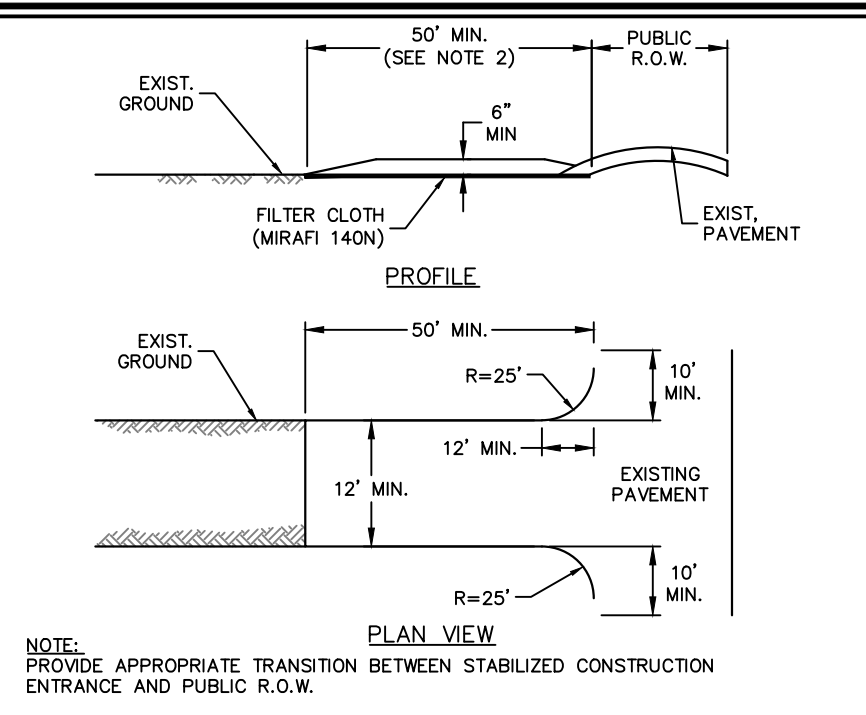
Drawing Title

EROSION AND  
SEDIMENT  
CONTROL PLAN

Project No.	190071901	Drawing No.	CE101
Date	NOVEMBER 29, 2021		
Drawn By	JN		
Checked By	CZ		
		Sheet	6 of 9

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



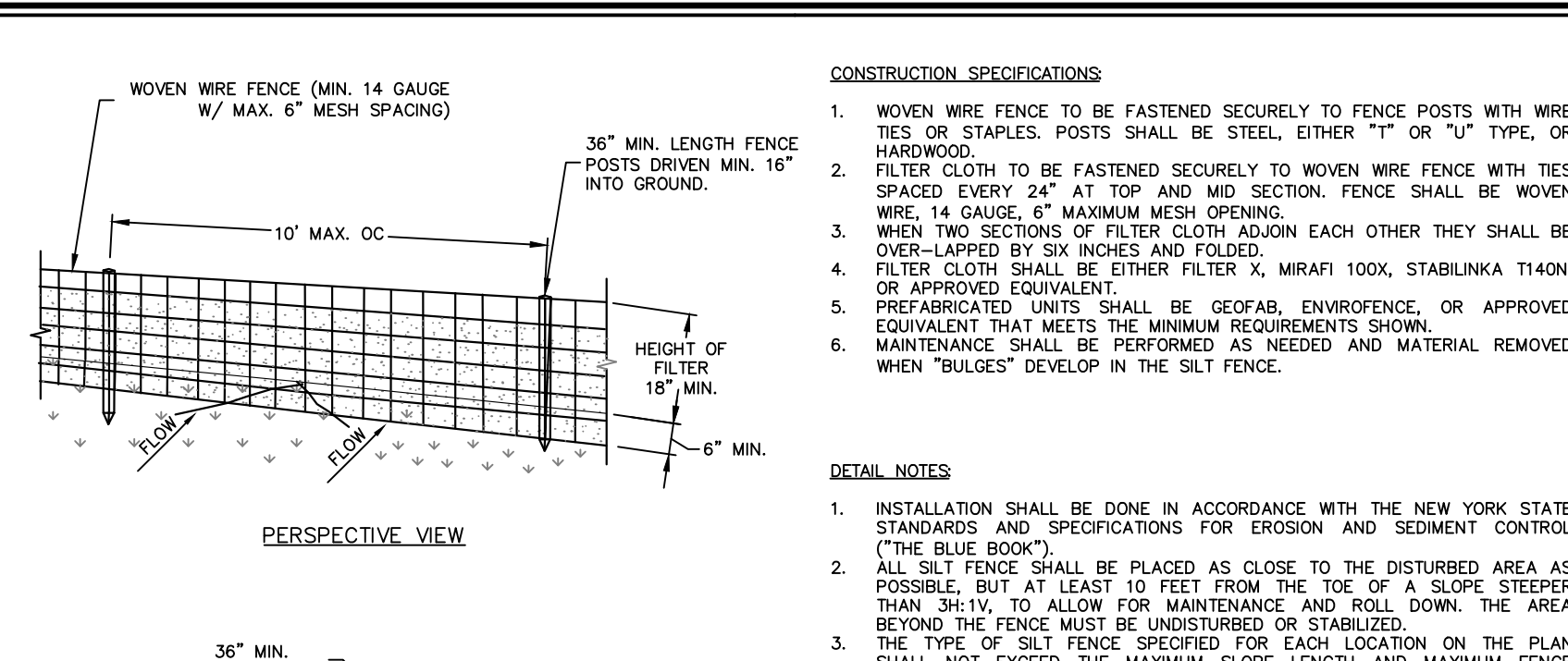


NOTE: PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE #3 STONE (NYS DOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT).
- LENGTH - NOT LESS THAN 50'-FEET (EXCEPT ON SINGLE FAMILY LOT, 30'-FEET MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL. A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTR. ENTRANCE**  
SCALE: NTS



CONSTRUCTION SPECIFICATIONS

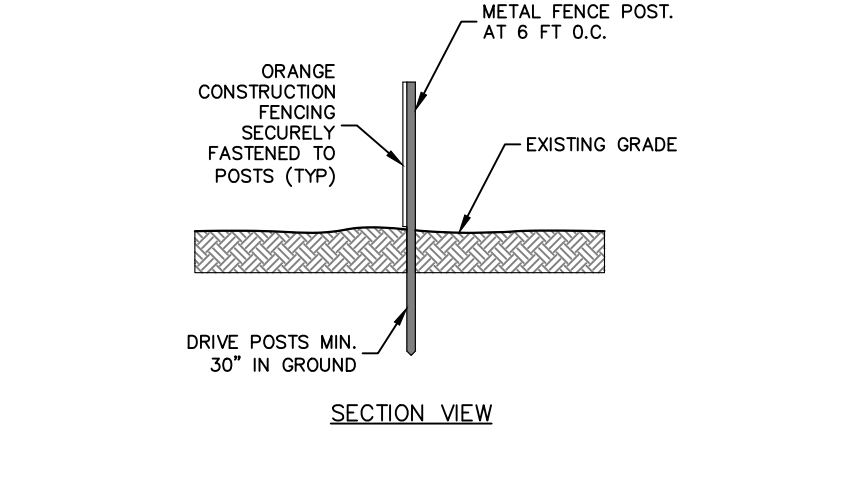
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "T" OR "U" TYPE, OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE 14 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR TYPHOON EQUIVALENT THAT MEETS THE MINIMUM REQUIREMENTS SHOWN. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

DETAIL NOTES

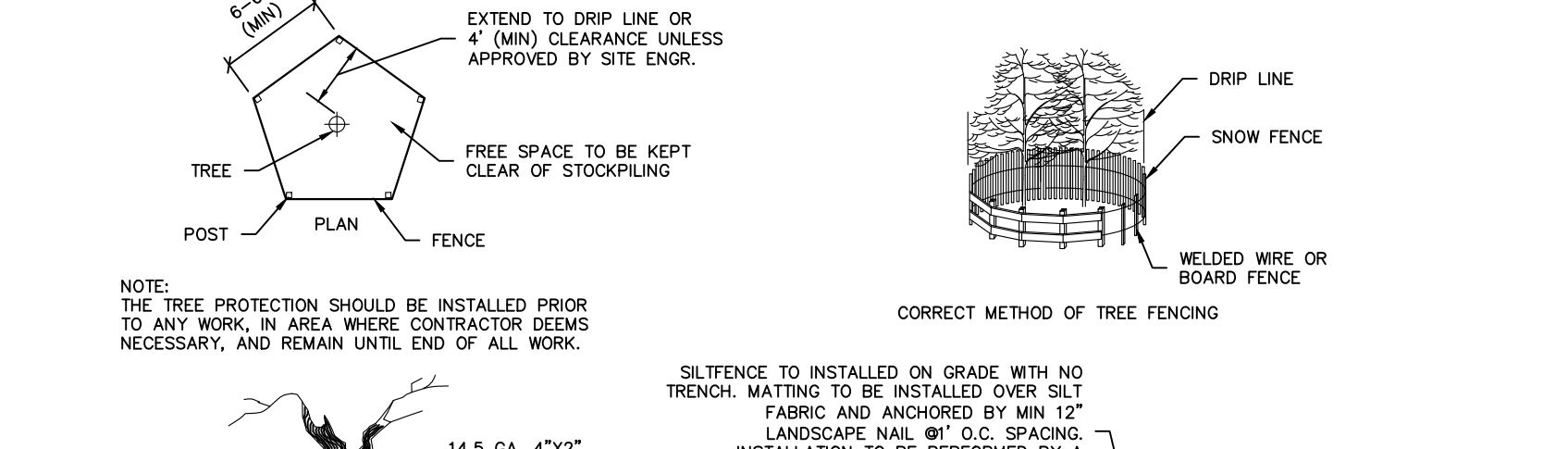
- INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL ("THE BLUE BOOK").
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3:1, TO ALLOW FOR MAINTENANCE AND ROLL DOWN THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.
- THE TYPE OF SILT FENCE SPECIFIED FOR EACH LOCATION ON THE PLAN SHALL NOT EXCEED THE MAXIMUM SLOPE LENGTH AND MAXIMUM FENCE LENGTH REQUIREMENTS SHOWN IN THE TABLE BELOW. IF A TYPE SILT FENCE IS NOT SPECIFIED ON THE PLANS, THE CRITERIA FOR STANDARD SILT FENCE CAN BE APPLIED.
- FENCE SHALL BE REMOVED AS SOON AS THE DISTURBED AREA HAS ACHIEVED FINAL STABILIZATION.

SLOPE	STEEPNESS	STANDARD	REINFORCED	SUPER
<2%	<50:1	300/1500	N/A	N/A
2-10%	50:1 TO 10:1	125/1000	250/2000	300/2500
10-20%	10:1 TO 5:1	100/750	150/1000	200/1000
20-33%	5:1 TO 3:1	60/500	80/750	100/1000
33-50%	3:1 TO 2:1	40/250	70/350	100/500
>50%	>2:1	20/125	30/175	50/250

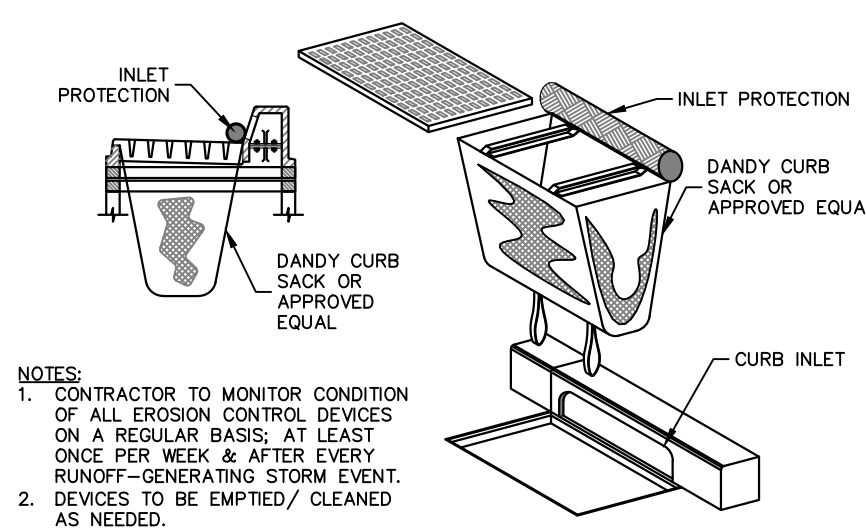
**SILT FENCE**  
SCALE: NTS



**ORANGE CONSTRUCTION FENCE**  
SCALE: NTS



**TREE VEGETATION PROTECTION BARRIER**  
SCALE: NTS



**INLET PROTECTION - DANDY SACK**  
SCALE: NTS

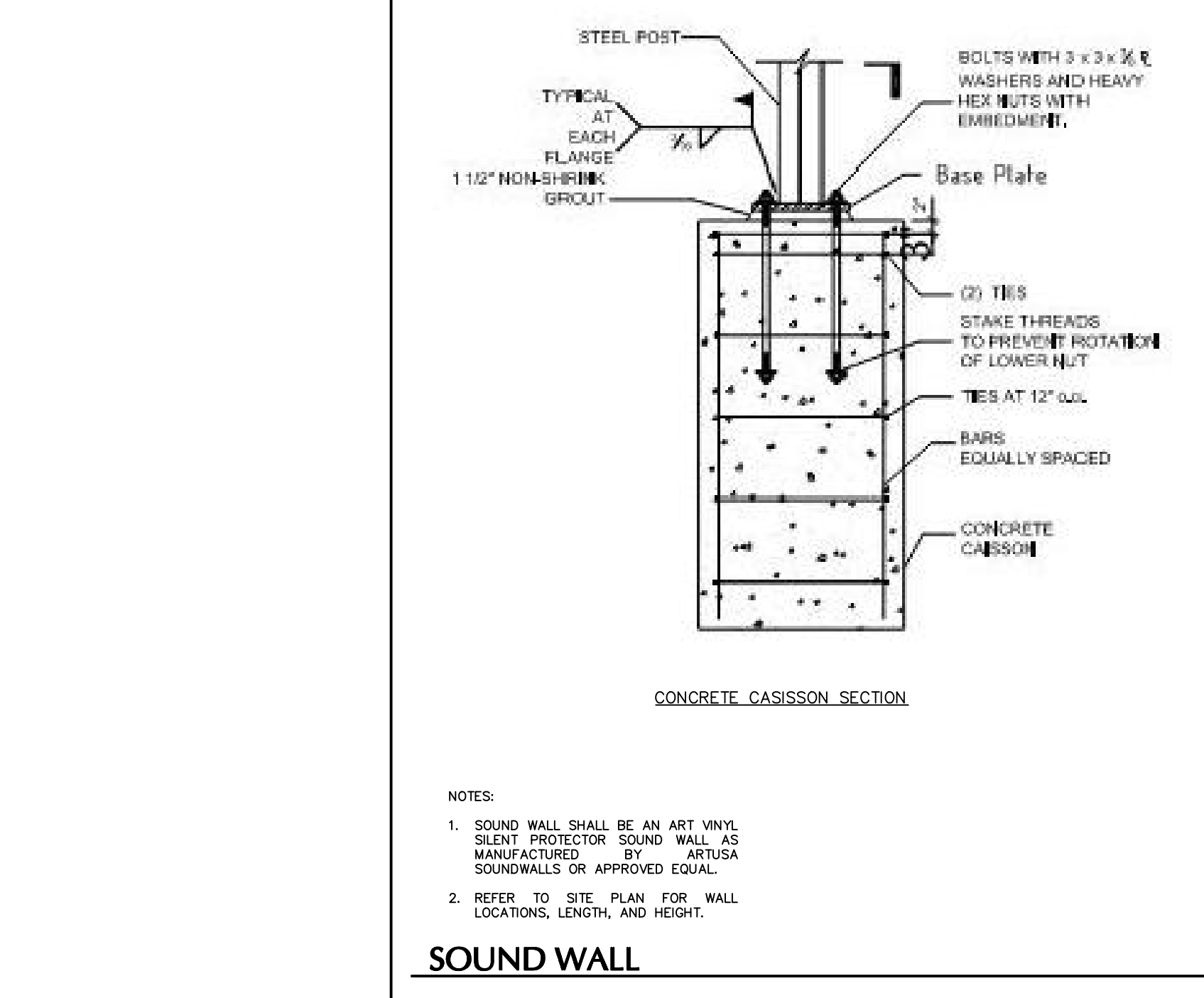
CONSTRUCTION SPECIFICATIONS

- TREE PROTECTION AREA WILL BE DETERMINED AS PART OF THE PLAN REVIEW PROCESS. EXACT LOCATION, DEPTH AND METHODS OF ROOT PRUNING TO BE DETERMINED IN FIELD BY PROJECT FORESTER.
- TRENCH SHOULD BE BACKFILLED IMMEDIATELY OR INCORPORATED WITH SILT FENCE INSTALLATION.
- ROOTS SHOULD BE SEVERED BY TRENCHER, VIBRATORY PLOW OR APPROVED EQUIVALENT. ROOTS OVER 1.5" DIAMETER SHOULD BE CLEANLY CUT BY HAND. ROOT PRUNING ADJACENT TO SPECIMEN TREES MAY REQUIRE SOIL REMOVAL BY SUPERSONIC AIR TOOL TO MINIMIZE TREE AND ROOT IMPACTS.

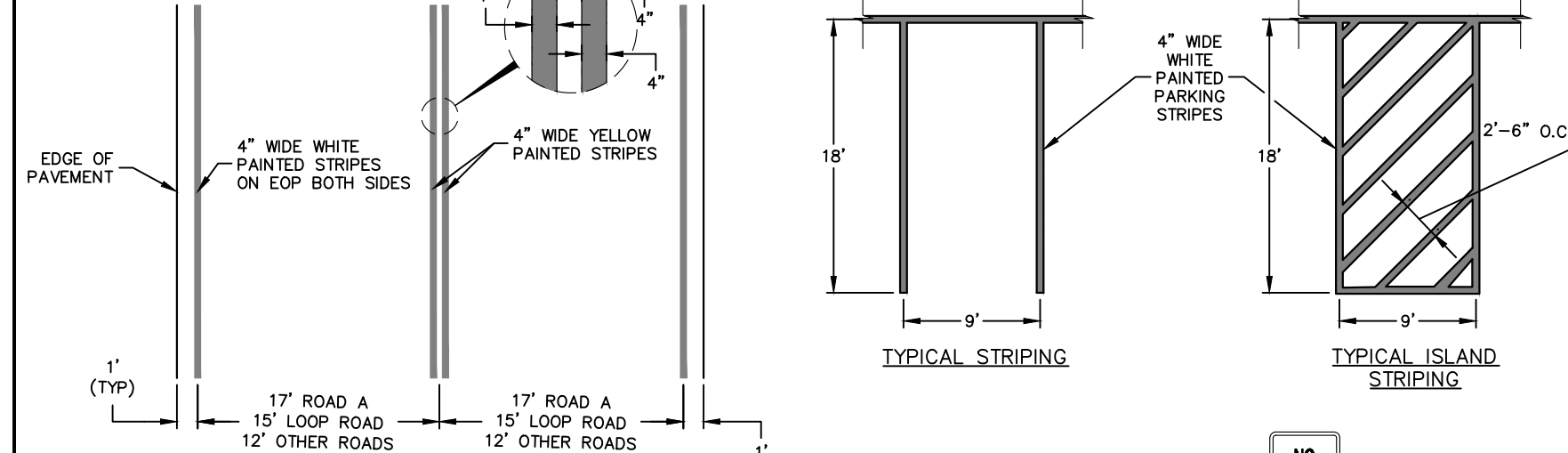
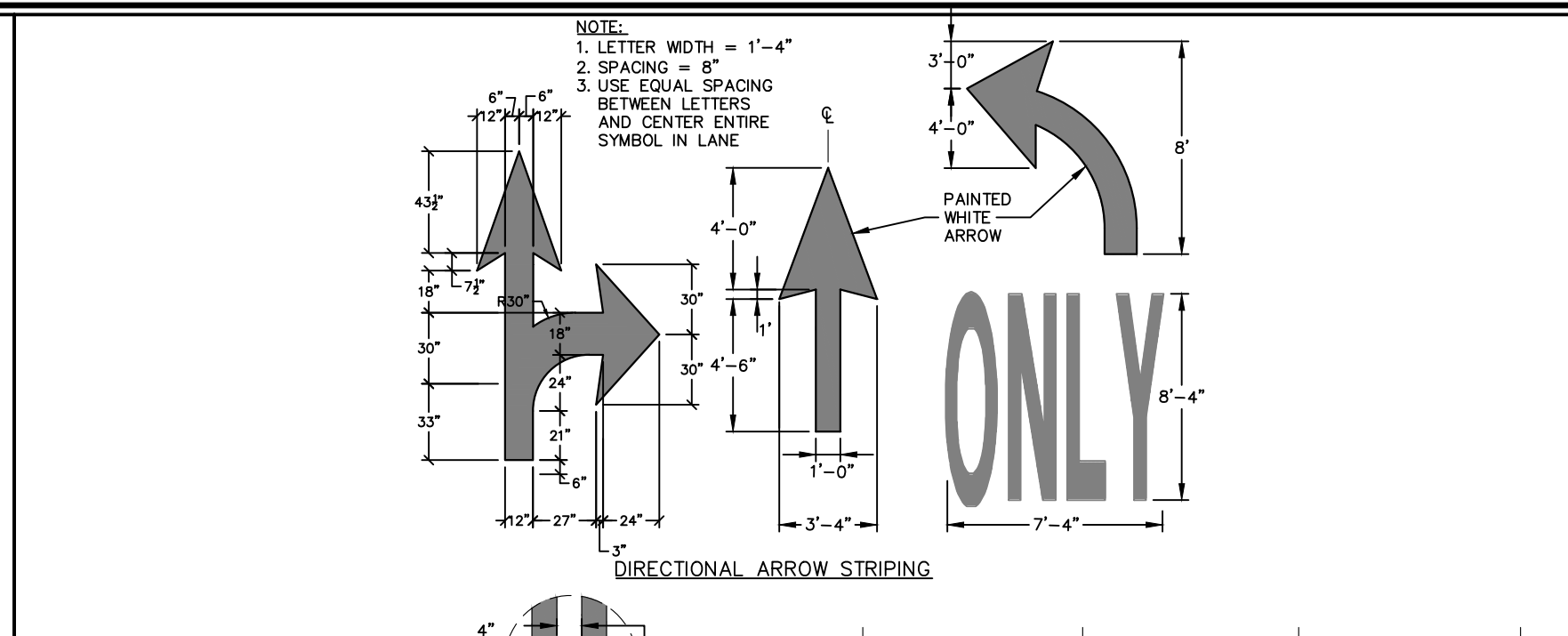
**TREE VEGETATION PROTECTION BARRIER**  
SCALE: NTS



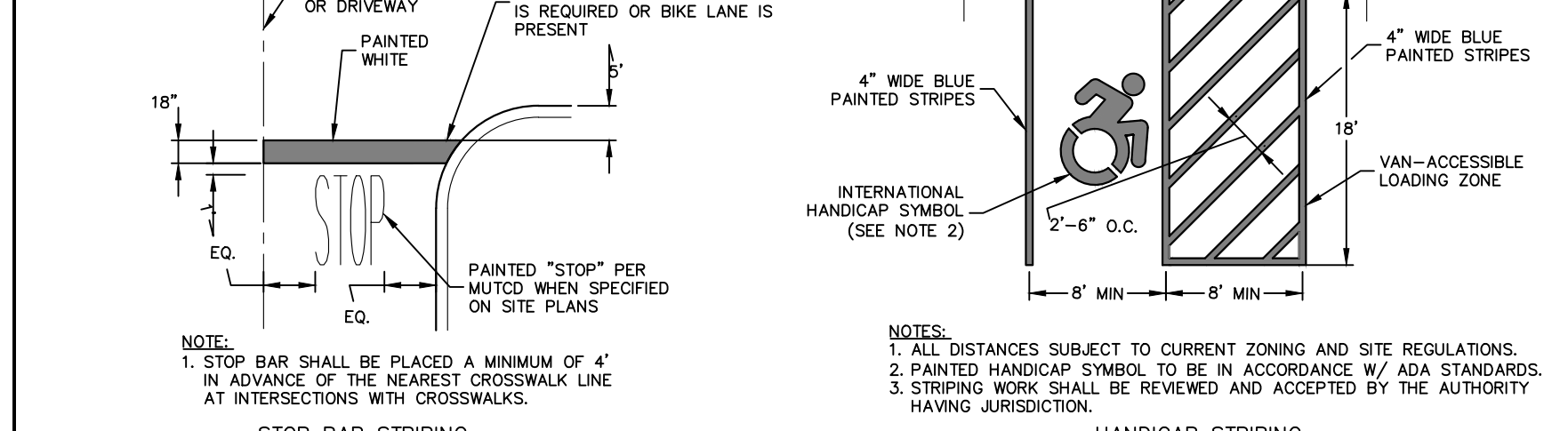
**SOUND WALL**  
SCALE: NTS



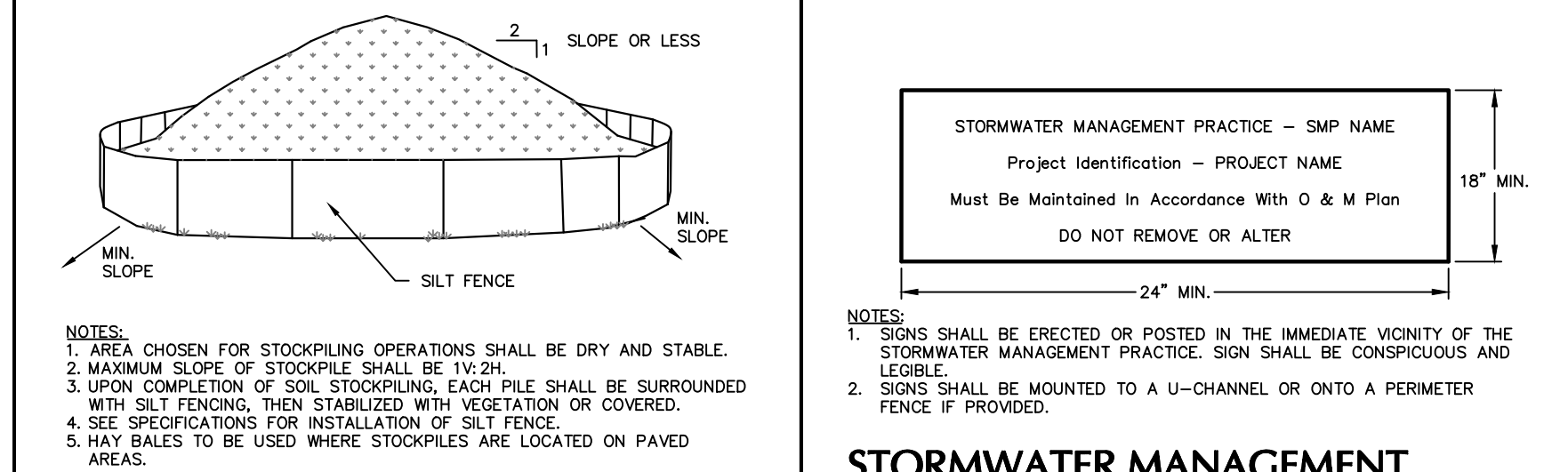
**SOUND WALL**  
SCALE: NTS



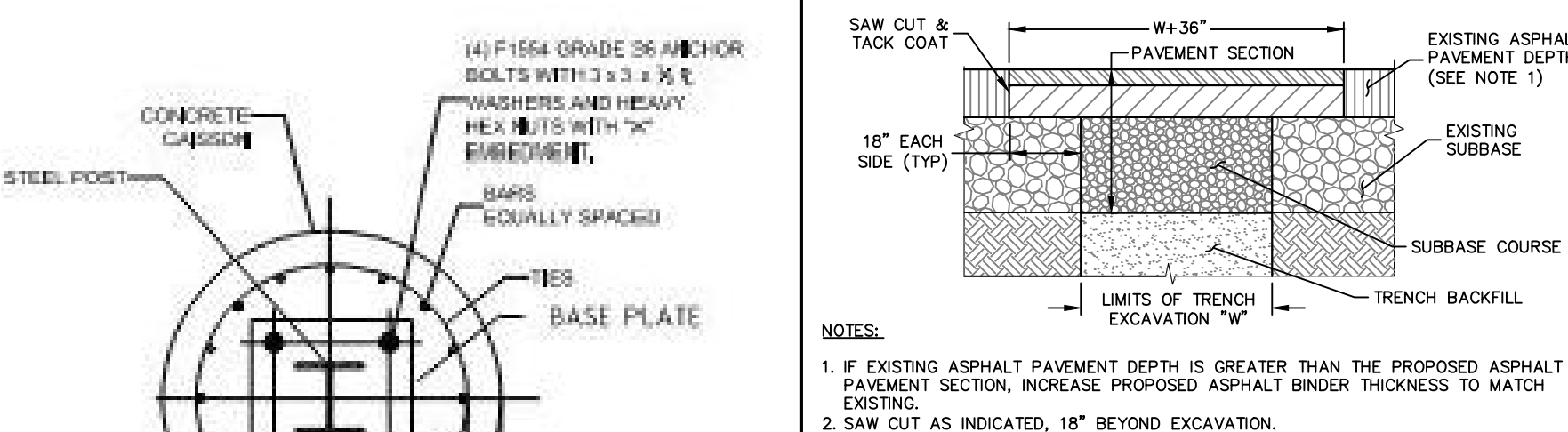
**ROAD STRIPING**  
SCALE: NTS



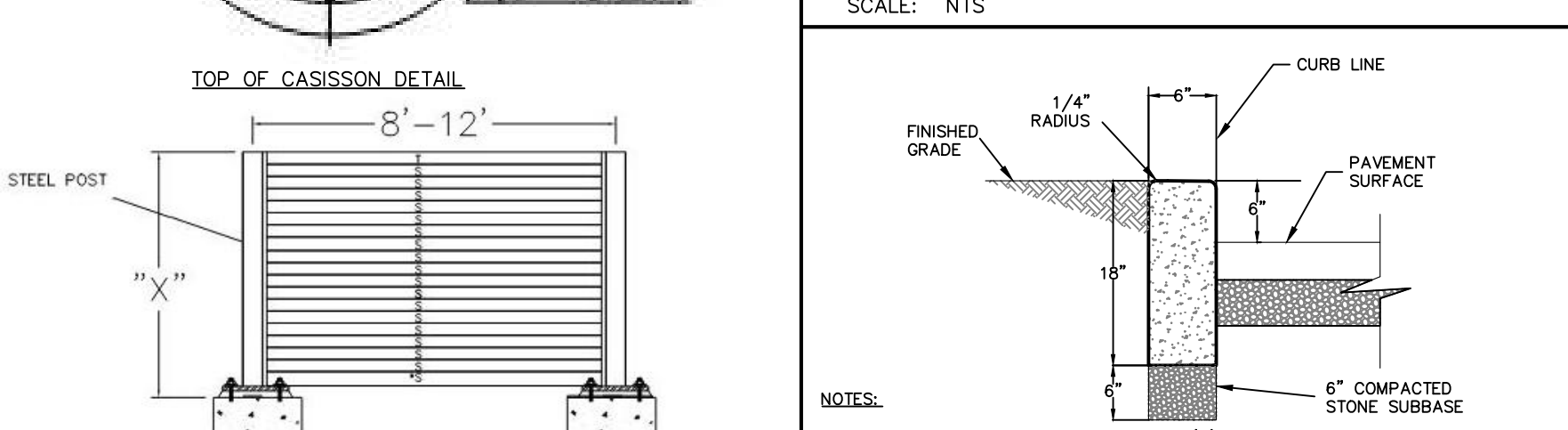
**HANDICAP STRIPING**  
SCALE: NTS



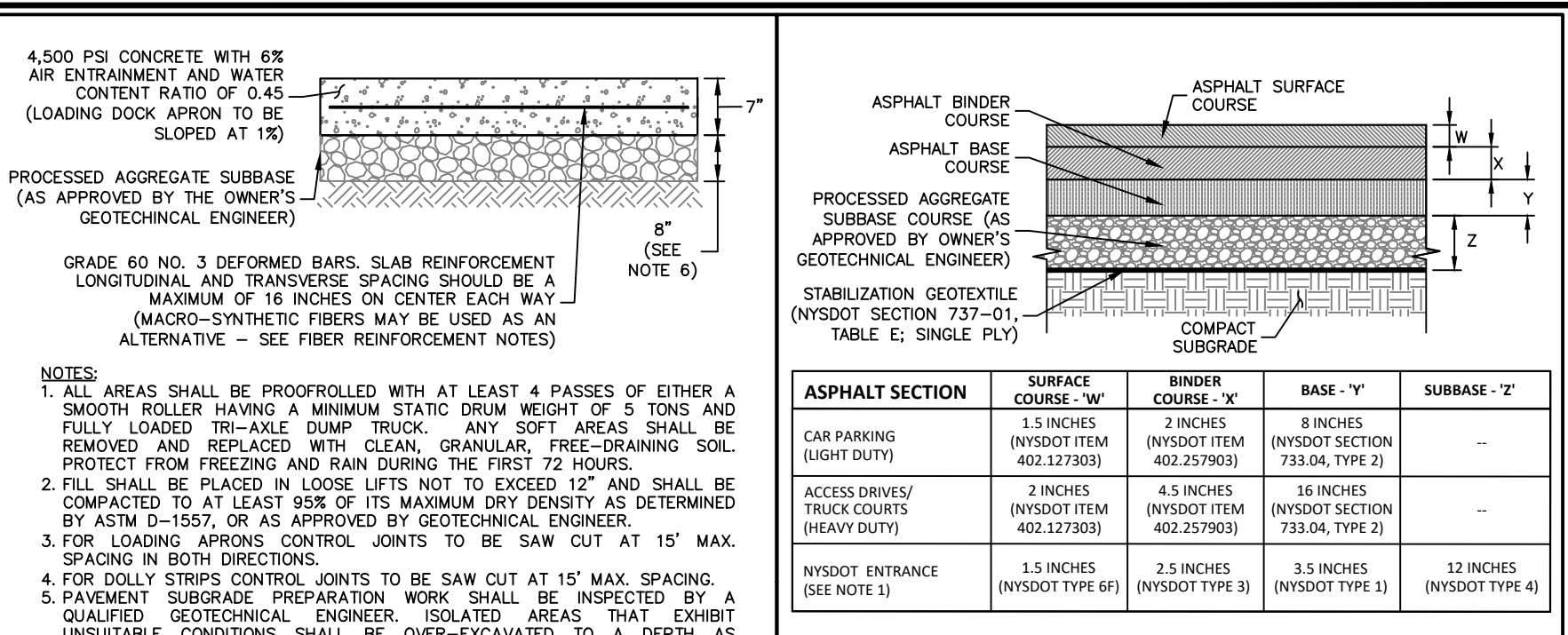
**STORMWATER MANAGEMENT PRACTICE SIGN**  
SCALE: NTS



**TRENCH RESTORATION IN PAVEMENT**  
SCALE: NTS

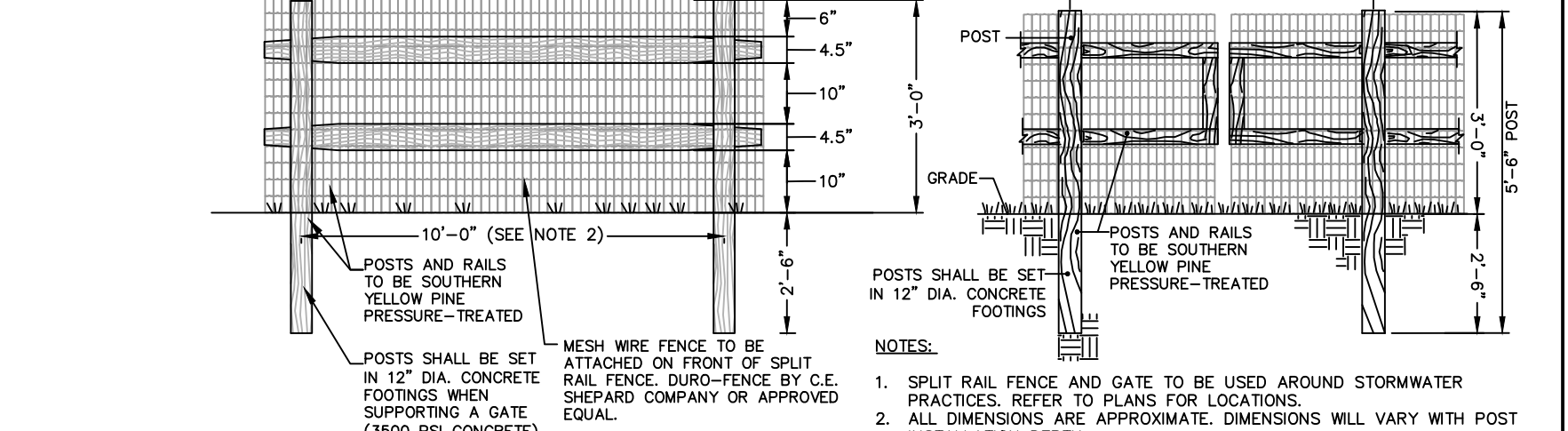


**6-INCH CONCRETE CURB**  
SCALE: NTS

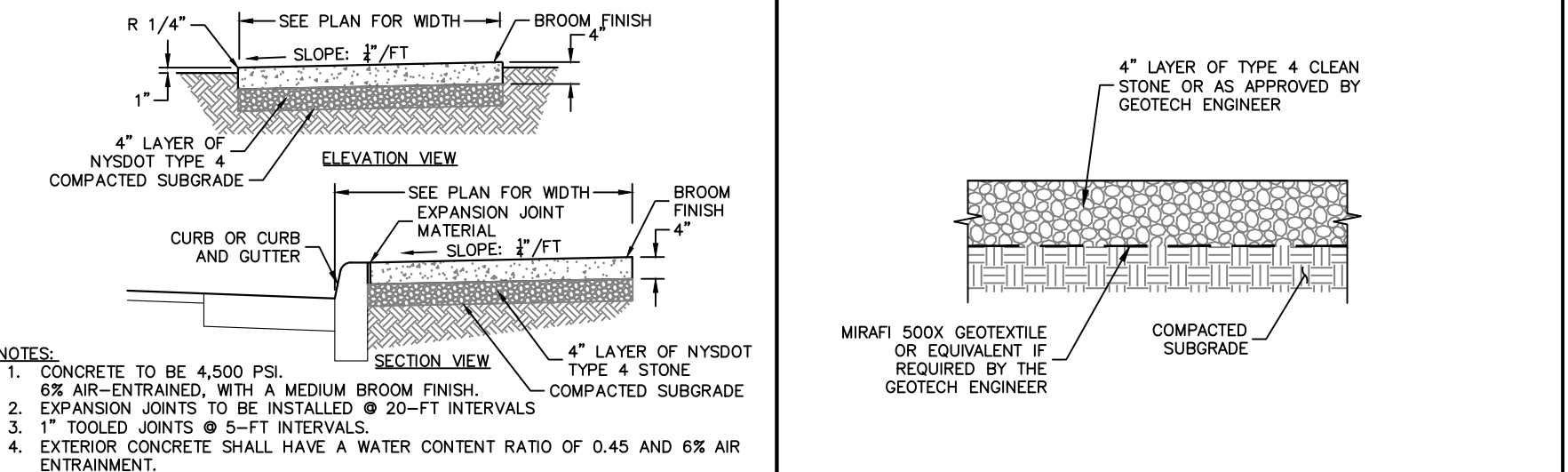


ASPHALT SECTION	SURFACE COURSE - "X"	BINDER COURSE - "Y"	BASE - "Z"	SUBBASE - "I"
CAR PARKING (LIGHT DUTY)	1.5 INCHES (NYS DOT ITEM 402.23700)	2 INCHES (NYS DOT ITEM 402.23700)	8 INCHES (NYS DOT SECTION 733.04 TYPE 2)	-
ACCESS DRIVE/ TRUCK COURTS (HEAVY DUTY)	2 INCHES (NYS DOT ITEM 402.23700)	4.5 INCHES (NYS DOT ITEM 402.23700)	16 INCHES (NYS DOT SECTION 733.04 TYPE 2)	-
NYS DOT ENTRANCE (SEE NOTE 3)	1.5 INCHES (NYS DOT TYPE 4)	2.5 INCHES (NYS DOT TYPE 3)	3.5 INCHES (NYS DOT TYPE 3)	12 INCHES (NYS DOT TYPE 4)

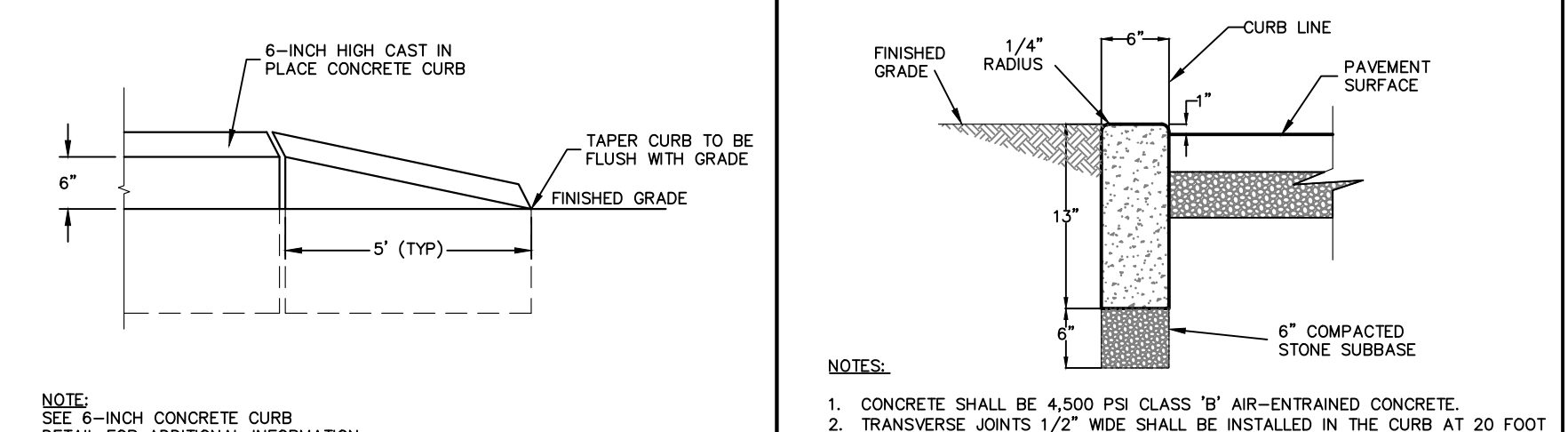
**SITE ASPHALT PAVEMENT SECTION**  
SCALE: NTS



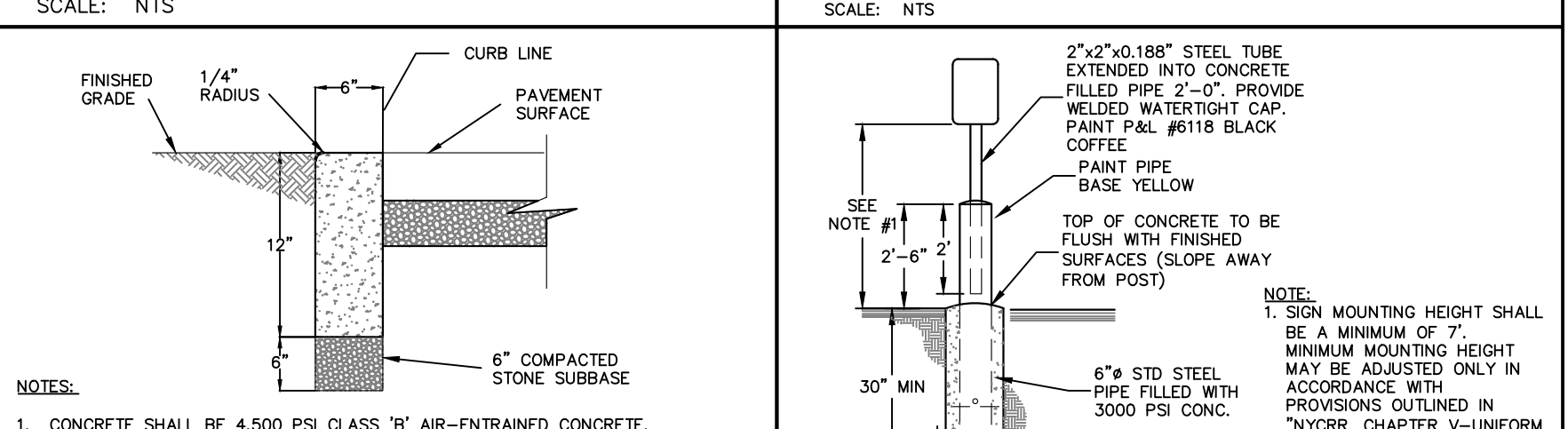
**LOADING DOCK APRON & DOLLY STRIP**  
SCALE: NTS



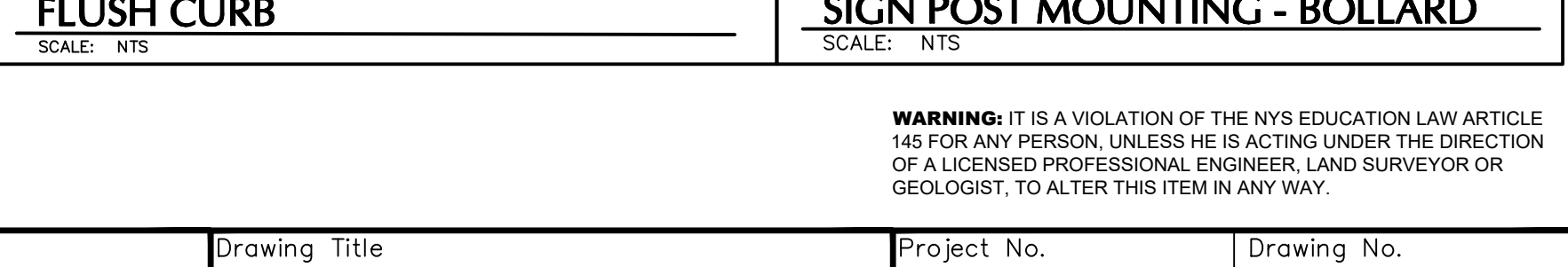
**SPLIT RAIL FENCE AND GATE**  
SCALE: NTS



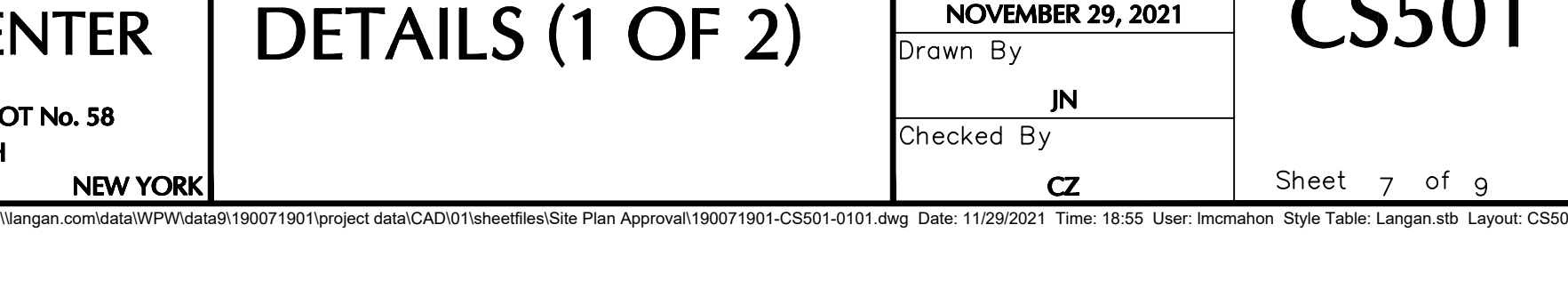
**CONCRETE SIDEWALK**  
SCALE: NTS



**CURB TERMINATION**  
SCALE: NTS



**DEPRESSED CURB**  
SCALE: NTS



**SIGN POST MOUNTING - BOLLARD**  
SCALE: NTS

Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	1
	REVISIONS	

11/30/2021  
DATE SIGNED  
SCHIG, JR., PE  
PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, NY 10601  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project: **NEWBURGH COMMERCE CENTER**  
Drawing Title: **DETAILS (1 OF 2)**  
Section No. 95, BLOCK No. 1, LOT No. 58  
TOWN OF NEWBURGH  
ORANGE COUNTY  
NEW YORK

Project No. **190071901**  
Date: **NOVEMBER 29, 2021**  
Drawing No. **CS501**  
Drawn By: **JN**  
Checked By: **CZ**  
Sheet 7 of 9





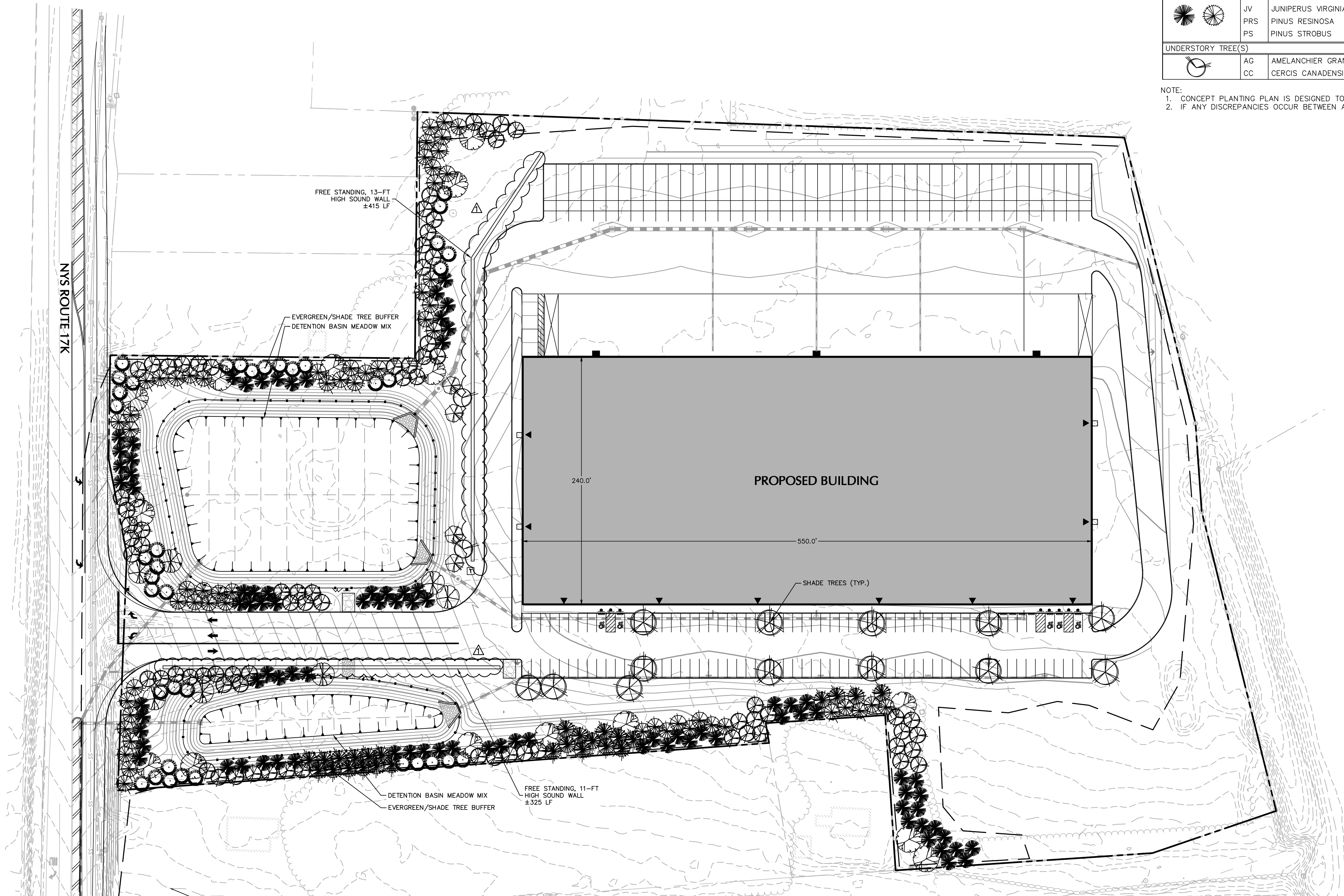




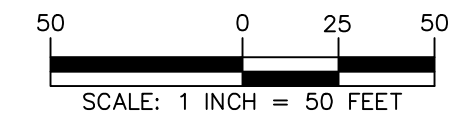
### PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
PARKING LOT AND BUFFER SHADE TREE(S)						
	AR	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL. (12-14')	B+B	-
	BND	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	-
	LST	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2-3" CAL. (12-14')	B+B	-
	LT	LIRIODENDRON TULIIFERA	TULIP POPLAR	2 1/2-3" CAL. (12-14')	B+B	-
	QA	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL. (12-14')	B+B	-
TCG	TILIA AMERICANA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL. (12-14')	B+B	-	
BUFFER EVERGREEN TREE(S)						
	ABC	ABIES CONCOLOR	WHITE FIR	8-10'	B+B	-
	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8-10'	B+B	-
	PRS	PINUS RESINOSA	RED PINE	8-10'	B+B	-
	PS	PINUS STROBUS	EASTERN WHITE PINE	8-10'	B+B	-
UNDERSTORY TREE(S)						
	AG	AMELANCHIER GRANDIFOLIA	SERVICEBERRY	10-12'	B+B	-
	CC	CERCIS CANADENSIS	EASTERN REDBUD	10-12'	B+B	-

NOTE:  
 1. CONCEPT PLANTING PLAN IS DESIGNED TO MEET ORDINANCE REQUIREMENTS FOR TOWN OF NEWBURGH.  
 2. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



Date	Description	No.
11/29/21	PLANNING BOARD SUBMISSION	3
11/29/21	ZBA SUBMISSION	2
10/08/21	SCHEMATIC DESIGN DOCUMENTS	1

SIGNATURE: MICHAEL SZILAGYI, RLA DATE SIGNED: 11/30/2021  
 NY REG. NO. 001901

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 One North Broadway, Suite 910  
 White Plains, NY 10601  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

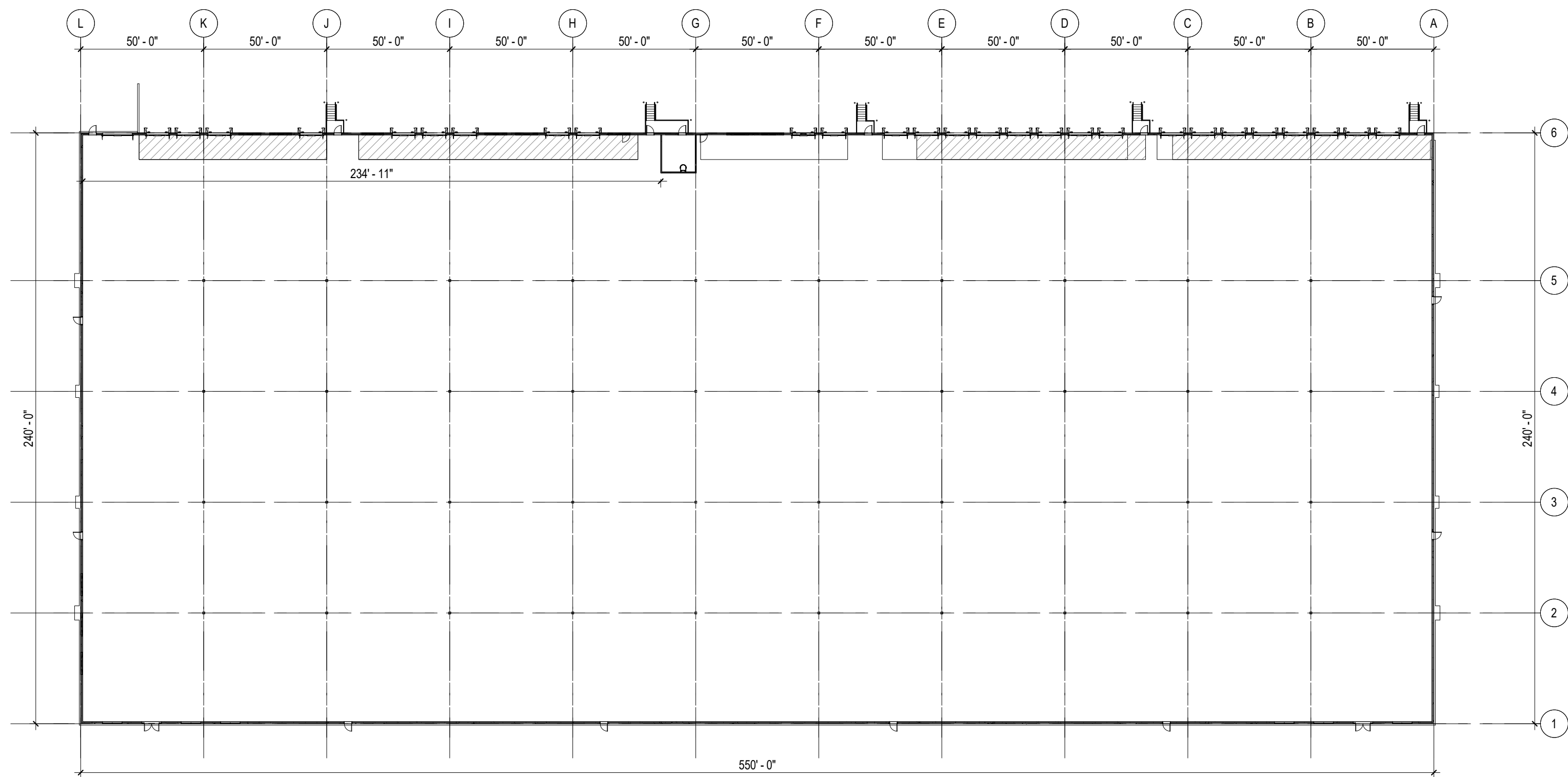
Project  
**NEWBURGH  
 COMMERCE CENTER**  
 SECTION No. 95, BLOCK No. 1, LOT No. 58  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 NEW YORK

Drawing Title  
**CONCEPT  
 PLANTING  
 PLAN**

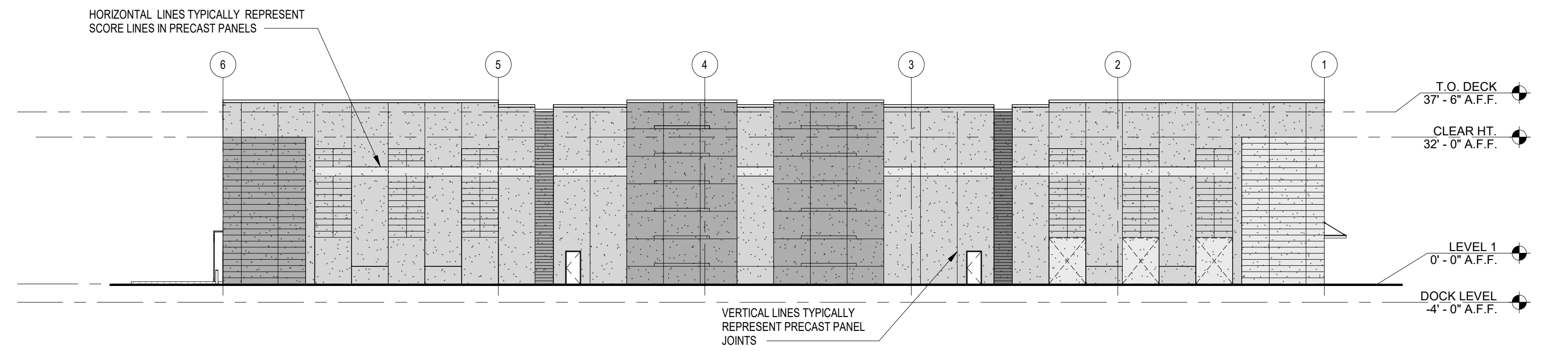
Project No.	190071901	Drawing No.	LP101
Date	SEPTEMBER 9, 2021		
Drawn By	MJ	Sheet 9 of 9	
Checked By	MH		

LANEAM PROJECT NO. 190071901

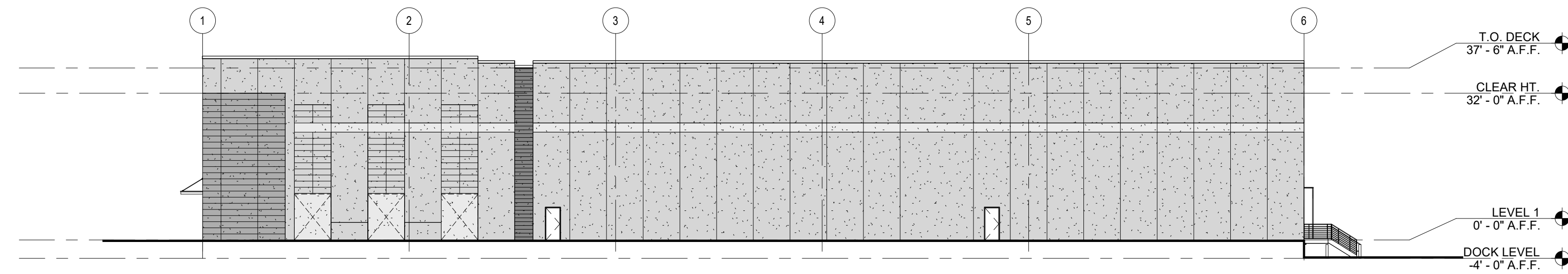




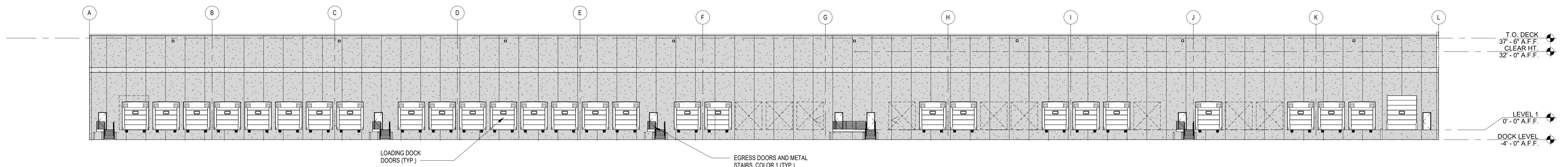
FLOOR PLAN  
1" = 40'-0" 1



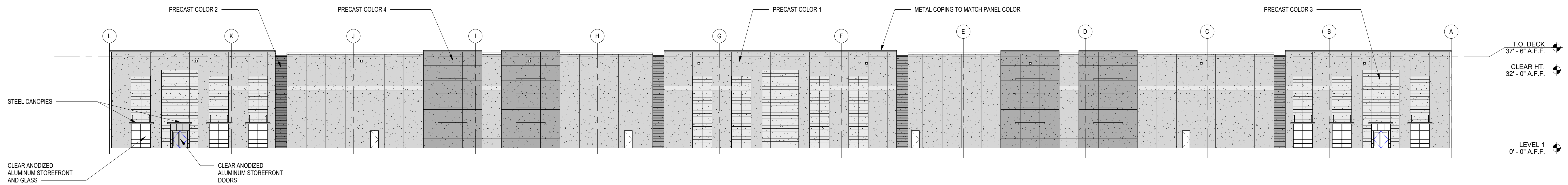
WEST  
1" = 20'-0" 2



EAST ELEVATION  
1" = 20'-0" 3



NORTH ELEVATION B  
1" = 20'-0" 4



SOUTH ELEVATION A  
1" = 20'-0" 5

Newburgh Commerce Center

124 Route 17K, Newburgh, NY 12550

A854

ELEVATIONS & FLOOR PLAN

PROJ. NO: SA21114

SCALE: As indicated

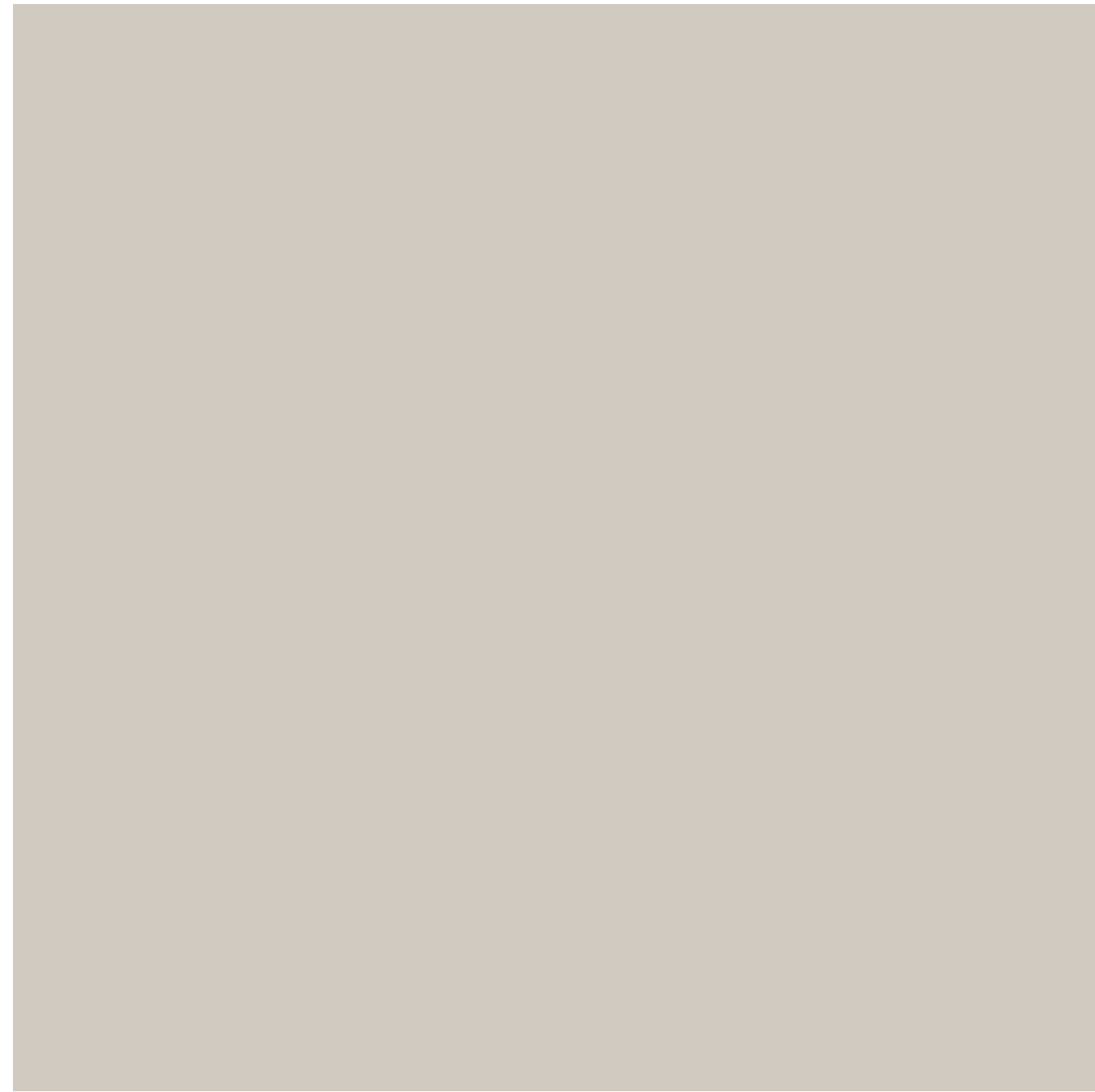
DATE: 11/23/21



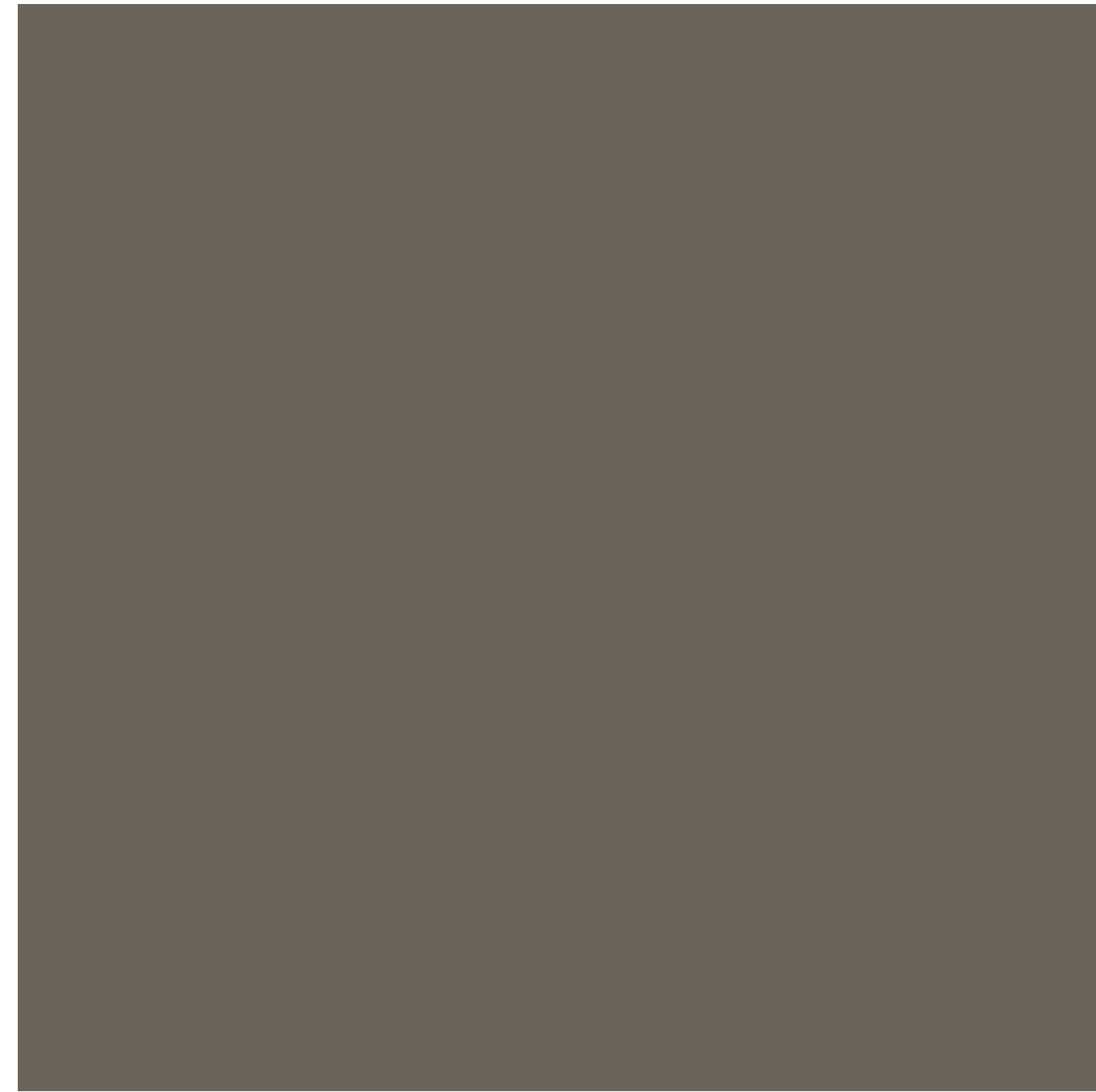
1000 Lancaster Street  
Suite 400  
Baltimore, MD 21202  
T: 617.848.9511  
F: 617.839.0457  
www.ci-designinc.com



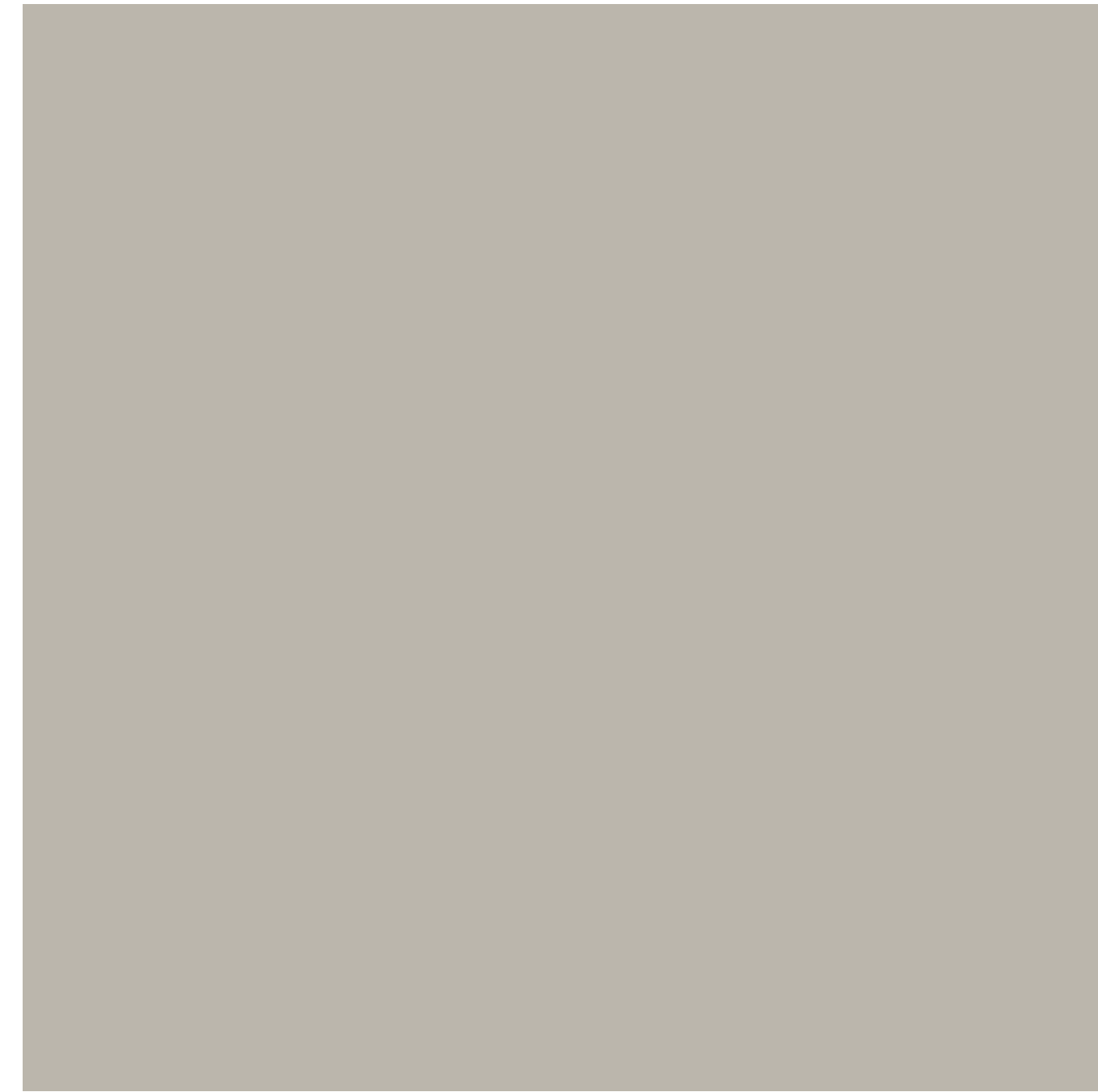




PRECAST COLOR 1  
AGREEABLE GRAY  
SW7029



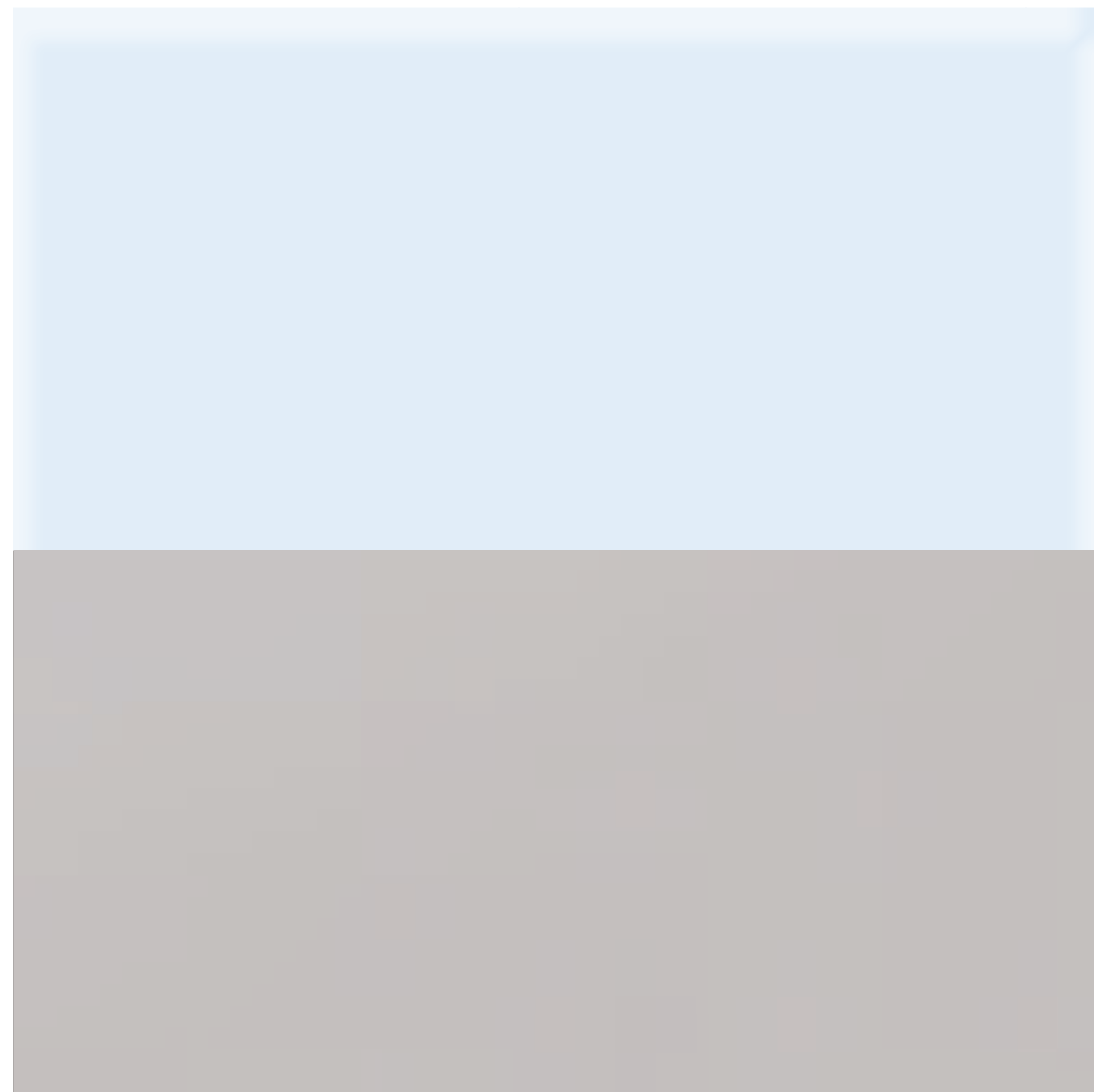
PRECAST COLOR 2  
PORPOISE  
SW7047



PRECAST COLOR 3  
MINDFUL GRAY  
SW7016



PRECAST COLOR 4  
GAUNTLET GRAY  
SW7019



ALUMINUM STOREFRONT  
CLEAR ANODIZED  
LOW-E GLASS



PREFABRICATED STEEL CANOPY  
CLEAR ANODIZED



METAL COPING  
COLOR TO MATCH CONCRETE PANELS

MATERIALS BOARD

PROJ. NO: SA21114  
SCALE: N.T.S.  
DATE: 11/29/21



1000 Lancaster Street  
Suite 430  
Baltimore, MD 21202  
T: 410.659.9511  
F: 410.659.0437  
www.ci-designinc.com



Newburgh Commerce Center  
124 Route 17K, Newburgh, NY 12550



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Newburgh Commerce Center (Planning Board No. 2020-21)		
Project Location (describe, and attach a general location map): The site is located +-800-ft east of the intersection of NYS Route 17K and Corporate Boulevard. (SBL: 95-1-58)		
Brief Description of Proposed Action (include purpose or need): The proposed action consists of a +/-132,000 -square foot flex space building that meet the requirements of the zoning code. The proposed action will also include associated loading and parking spaces, utilities, and stormwater management practices. Access to the project site will be provided from NYS Route 17K.		
Name of Applicant/Sponsor: Scannell Properties, LLC		Telephone: E-Mail: ZacharyZ@scannellproperties.com
Address: 8801 River Crossing Boulevard Suite 300		
City/PO: Indianapolis	State: IN	Zip Code: 46240
Project Contact (if not same as sponsor; give name and title/role): Michael Finan, Senior Associate/VP (Langan Engineering, Environmental, Surveying and Landscape Architecture, and Geology, D.P.C.)		Telephone: (914) 323-7410 E-Mail: mfinan@langan.com
Address: 1 North Broadway, Suite 910		
City/PO: White Plains	State: NY	Zip Code: 10601
Property Owner (if not same as sponsor): Red Oak SOS LLC		Telephone: E-Mail:
Address: 1400 E 66th Avenue		
City/PO: Denver	State: CO	Zip Code: 80229



**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Planning Board - Site Plan Approval; SEQR determination	Projected date: Fall 2021
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh, Zoning Board of Appeals	October 2021
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Engineer and Water Department	Projected date: Fall 2021
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Orange County (OC) Dept. of Planning - Site Plan Review. OC Dept of Health - water main conn.	Projected date: Fall 2021
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT - Highway Work Permit NYSDEC - SPDES; Wetland JD	Projected date: Fall 2021
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACE Wetland JD; FAA Notice of Construction/Hazard to Air Nav. Determination	Projected date: Fall 2021
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? YesNo

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? YesNo

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? YesNo

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) YesNo

If Yes, identify the plan(s):

Priority Growth Area as identified in the Orange County, New York Comprehensive Plan  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? YesNo

If Yes, identify the plan(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Interchange Business (IB) District; Stewart Airport Overlay District;

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?  
Orange Lake Fire District; Town of Newburgh Emergency Medical Services

d. What parks serve the project site?  
Algonquin Powder Mill Park (municipal 2mi north), Cronomer Hill County Park (county, 2mi north), New Windsor Historic Parklands (municipal 2mi south), Stewart State Forest (state 4mi west)

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial - flex space building

b. a. Total acreage of the site of the proposed action? ±13.8 acres  
b. Total acreage to be physically disturbed? ±11.2 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±13.8 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 16 months \* See note at bottom of page  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\* A 5-ac waiver will be requested for this project to construct in a single phase.



f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_ 1

ii. Dimensions (in feet) of largest proposed structure: < 40 feet height; \_\_\_\_\_ 240 width; and \_\_\_\_\_ 550 length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ ±132,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 10,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh consolidated water district
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ +/-10,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh - Renwick Street wastewater treatment plant
- Name of district: Town of Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or ±7.2 acres (impervious surface)  
 \_\_\_\_\_ Square feet or ±13.8 acres (parcel size)  
 ii. Describe types of new point sources. Conveyance pipes  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site stormwater runoff will be collected and treated in bioretention areas. Runoff will also be controlled through open detention basins and discharged at least than pre-development rates to a down stream drainage channel.  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
unnamed drainage channel.  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
Delivery vehicles  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
boilers  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 90 trips/day - tractor trailers

iii. Parking spaces: Existing 0 spaces Proposed 107 spaces Net increase/decrease 107 spaces

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:  
Access to the site will be provided from NYS Route 17K. Modifications to NYS Route 17k will be required to allow for access into the site.

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 340 kW average demand, 500 kW Peak.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Grid/local utility (Central Hudson Gas and Electric - Coldenham substation)

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>Will comply with local regulations</u></li> <li>• Saturday: <u>Will comply with local regulations</u></li> <li>• Sunday: <u>Will comply with local regulations</u></li> <li>• Holidays: <u>Will comply with local regulations</u></li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>24 hours</u></li> <li>• Saturday: <u>24 hours</u></li> <li>• Sunday: <u>24 hours</u></li> <li>• Holidays: <u>24 hours</u></li> </ul>
--	---



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
 Although noise produced by the proposed action will not exceed ambient levels as defined by NYSDEC, sound barriers are proposed at strategic locations to further mitigate potential noise impacts on adjacent residential uses.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Full cut-off site lighting will be installed to provide light along driveways, walkways and parking areas to ensure clear and safe circulation, while avoiding adverse impacts on surrounding areas. The lighting plan will include standard pole-mount and wall-mount fixtures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
 Potential use of pesticides for landscaping during operation.  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ 20 tons per \_\_\_\_\_ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Construction waste will be minimized through efficient materials use and solid waste will be disposed of in appropriate manner.  
 \_\_\_\_\_
- Operation: Solid waste and recycling will be collected on site and disposed by private waste management vendor for implementation in conformance with local code.  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Private waste management vendor.  
 \_\_\_\_\_
- Operation: Private waste management vendor for implementation in conformance with local code.  
 \_\_\_\_\_



s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Stewart International Airport, Army National Guard Base  
 ii. If mix of uses, generally describe:  
 The general mix of uses is characterized by uses associated with a transportation corridor including transportation, industrial and commercial uses, with scattered residential uses in an urban setting.

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	±0.22	±7.2	+6.98
• Forested	±6.27	±2.6	-3.67
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	±7.31	±4.0	-3.31
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____ _____			



c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 336088, 336089  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

336088 and 336089 are in reference to Stewart International Airport. A portion of the site was previously used as an Air National Guard Base (ANGB). Aqueous film-forming foam (AFFF), in which perfluorooctanesulfonic acid (PFOS) is a key ingredient, has been used over the years at the base to put out fires and in training exercises. PFOS has been detected in soil, groundwater, and surface water samples at the ANGB. Contaminants have migrated off-site and sampling has identified the presence of perfluorooctane sulfonic acid (PFOS) in Lake Washington, the primary source of the City of Newburgh water supply. Actions should be taken to reduce human exposures to PFOS in drinking water supplies. These actions include measures to address the contamination in the water supply (e.g., using alternate sources of water and pursuing treatment of surface water sources) and actions to address sources of drinking water contamination where levels exceed applicable standards, criteria, or guidance. Currently, an alternate source of drinking water is being used to reduce exposure. Additional investigation and sampling is being completed to evaluate where and how people may be exposed to site-related contaminants.



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >5 feet See section E.2.c. for depth to bedrock per the Soil Survey of Orange County, New York

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

	Depth to Bedrock	Depth to Water
c. Predominant soil type(s) present on project site:		
Ab Alden silt loam	21.5 %	>5 ft
BnB Bath-Nassau channery silt loam	31.9 %	4-5 ft
MdB Mardin gravelly silt loam	46.6 %	>5 ft

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 2 feet See section E.2.c. for depth to high water table per the Soil Survey of Orange County, New York

e. Drainage status of project site soils:

- Well Drained: 31.9 % of site
- Moderately Well Drained: 46.6 % of site
- Poorly Drained: 21.5 % of site

f. Approximate proportion of proposed action site with slopes:

- 0-10%: 97.1 % of site
- 10-15%: 1.4 % of site
- 15% or greater: 1.5 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
\_\_\_\_\_

h. Surface water features. \* See note at bottom of page

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
\_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



\* Section H is automatically filled out through the NYSDEC EAF Mapper Generator and does not necessarily mean there are wetlands on-site. A wetlands delineation has been performed and no wetlands are present.



m. Identify the predominant wildlife species that occupy or use the project site: white-tailed deer _____ grey squirrel _____ groundhog _____ eastern cottontail _____ chipmunk _____ wild turkey _____ various songbirds _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ Based on the NYSDEC mapper, the _____ Long-eared Bat, Indiana Bat, Upland Sandpiper maybe present. Note, there is no habitat on this site for the upland sandpiper	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ small whorled-pogna, but they is not habitat onsite.	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: i. Identify resource: <u>Stewart State Forest; Newburgh-Beacon Bridge/Hudson River</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State forest land; State Scenic Road</u> iii. Distance between project and resource: _____ <u>3-5</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**


Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

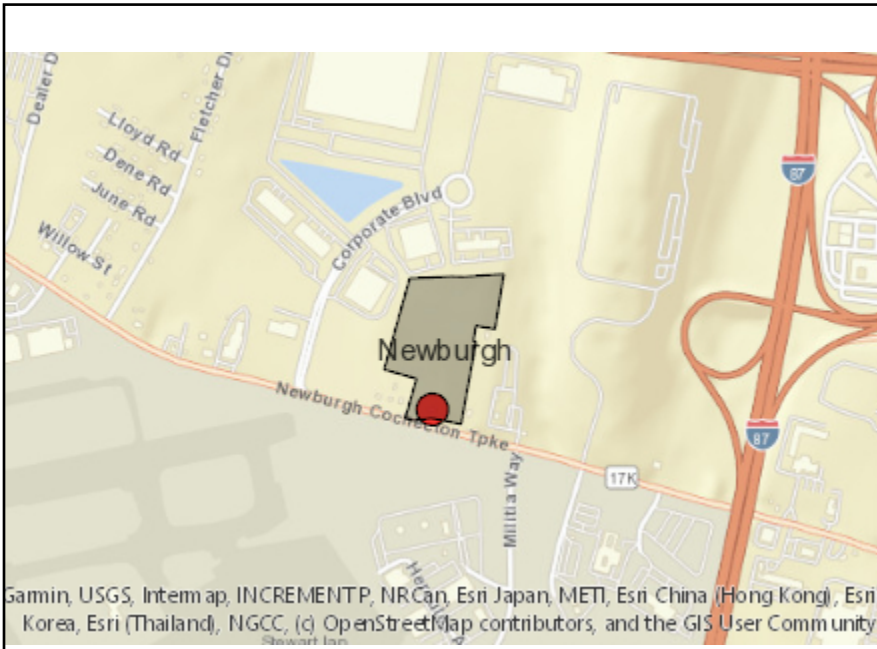
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name W. Charles Utschig Jr. of Langan Date November 29, 2021

Signature  Title Associate





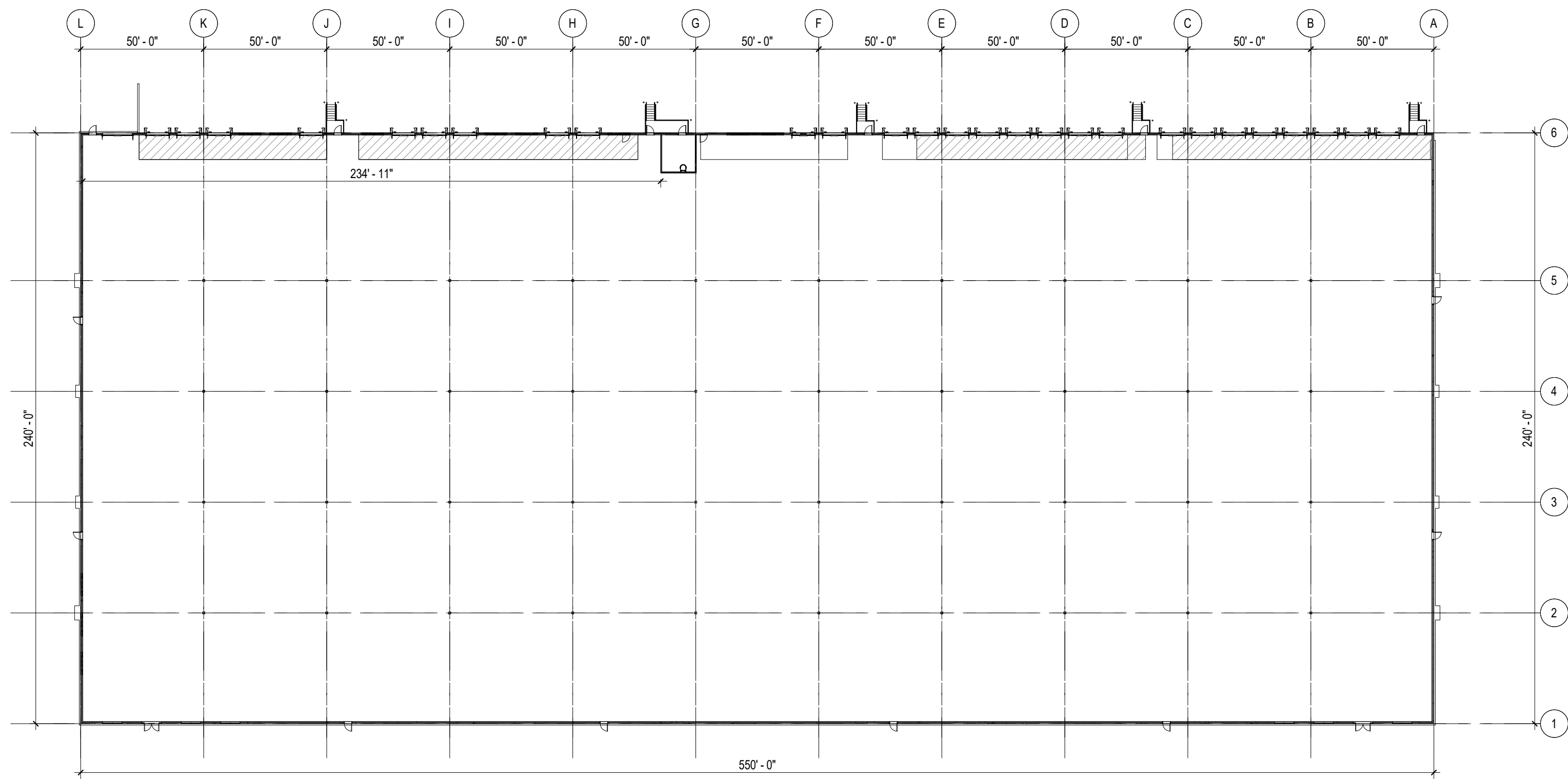
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



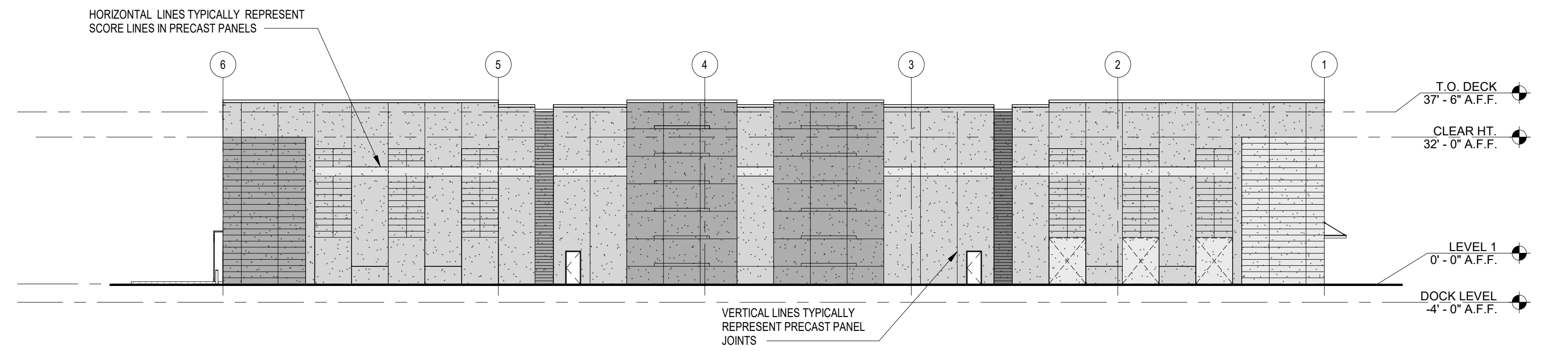
B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	336088, 336089
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat, Upland Sandpiper
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

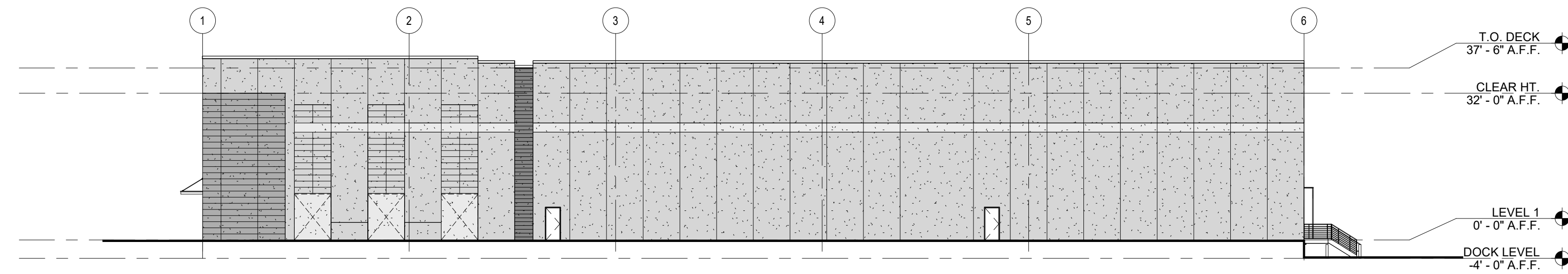




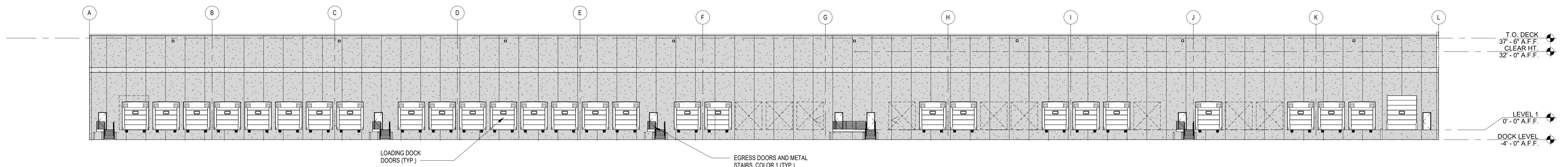
FLOOR PLAN  
1" = 40'-0" 1



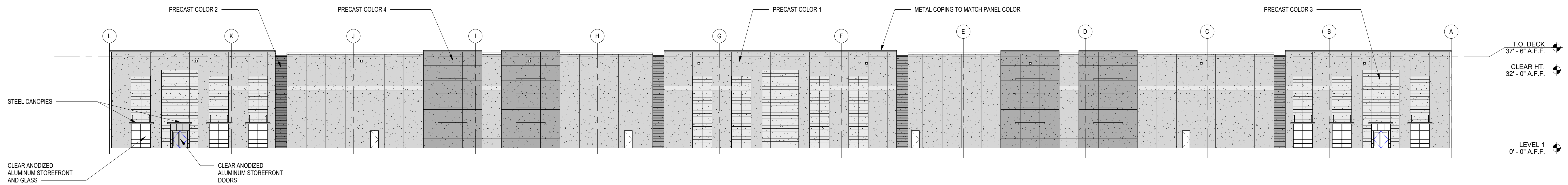
WEST  
1" = 20'-0" 2



EAST ELEVATION  
1" = 20'-0" 3



NORTH ELEVATION B  
1" = 20'-0" 4



SOUTH ELEVATION A  
1" = 20'-0" 5

Newburgh Commerce Center

124 Route 17K, Newburgh, NY 12550

A854

ELEVATIONS & FLOOR PLAN

PROJ. NO: SA21114

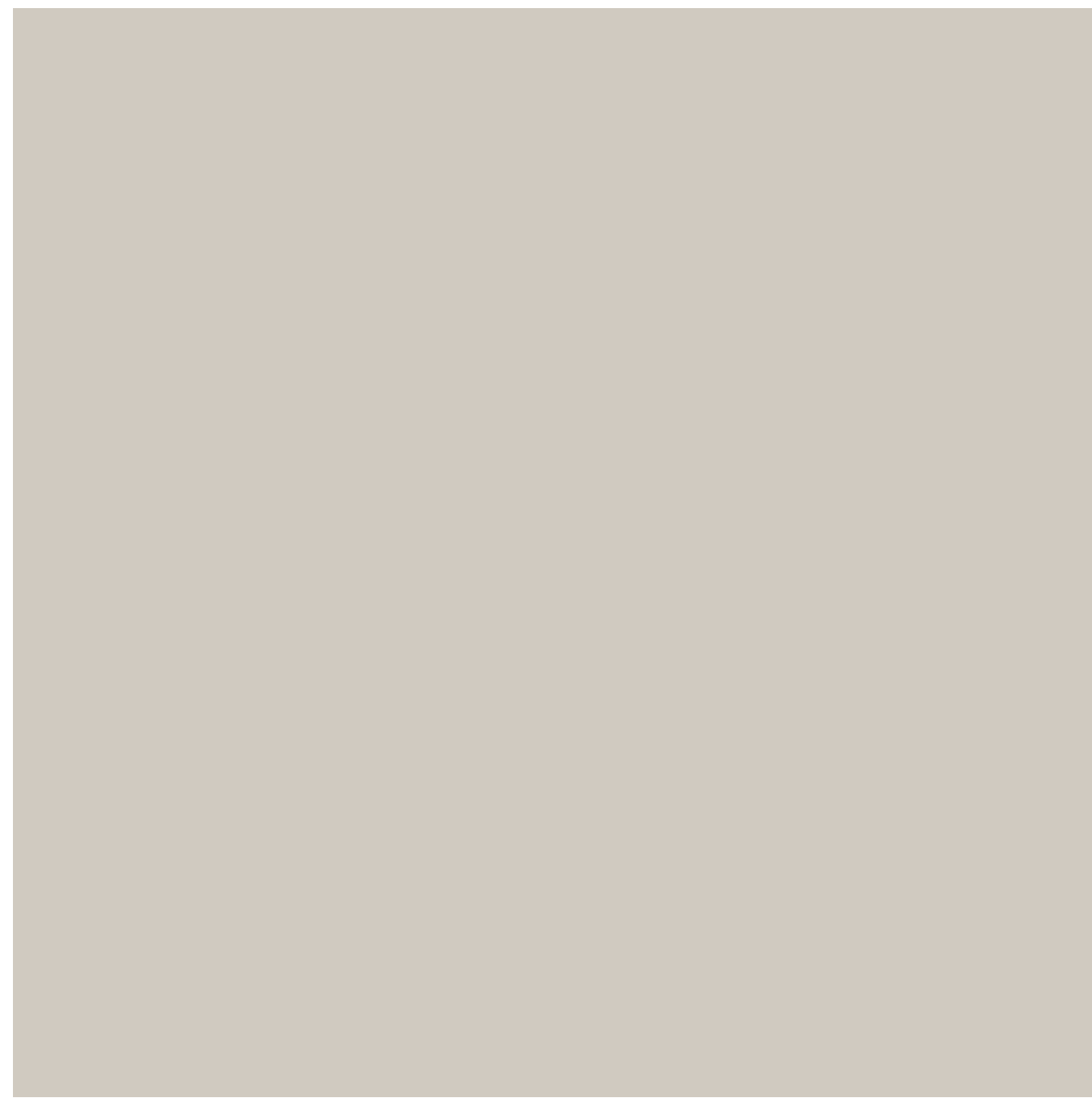
SCALE: As indicated

DATE: 11/23/21



1000 Lancaster Street  
Suite 400  
Baltimore, MD 21202  
T: 617.848.9511  
F: 617.839.0457  
www.ci-designinc.com





PRECAST COLOR 1  
AGREEABLE GRAY  
SW7029



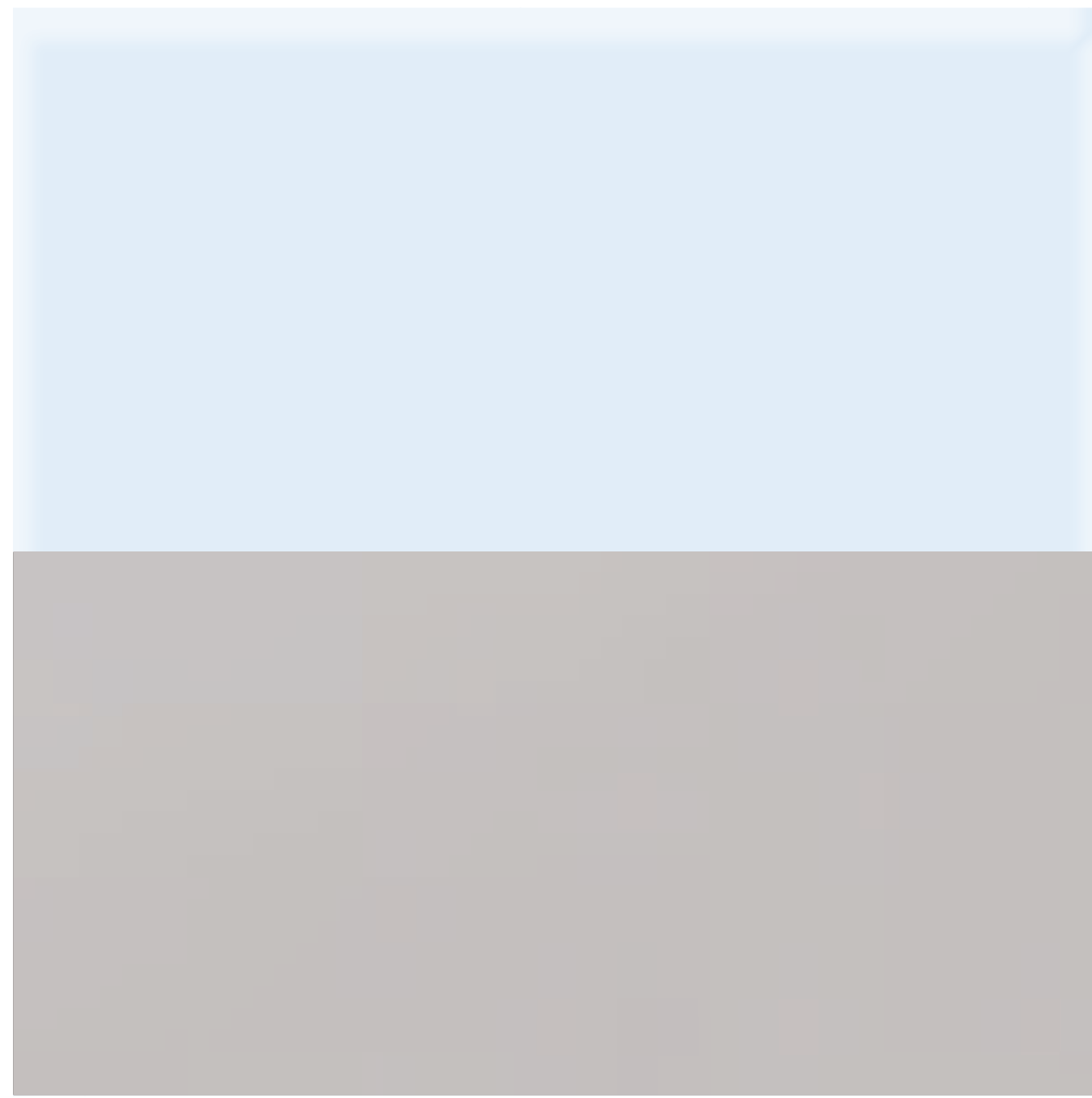
PRECAST COLOR 2  
PORPOISE  
SW7047



PRECAST COLOR 3  
MINDFUL GRAY  
SW7016



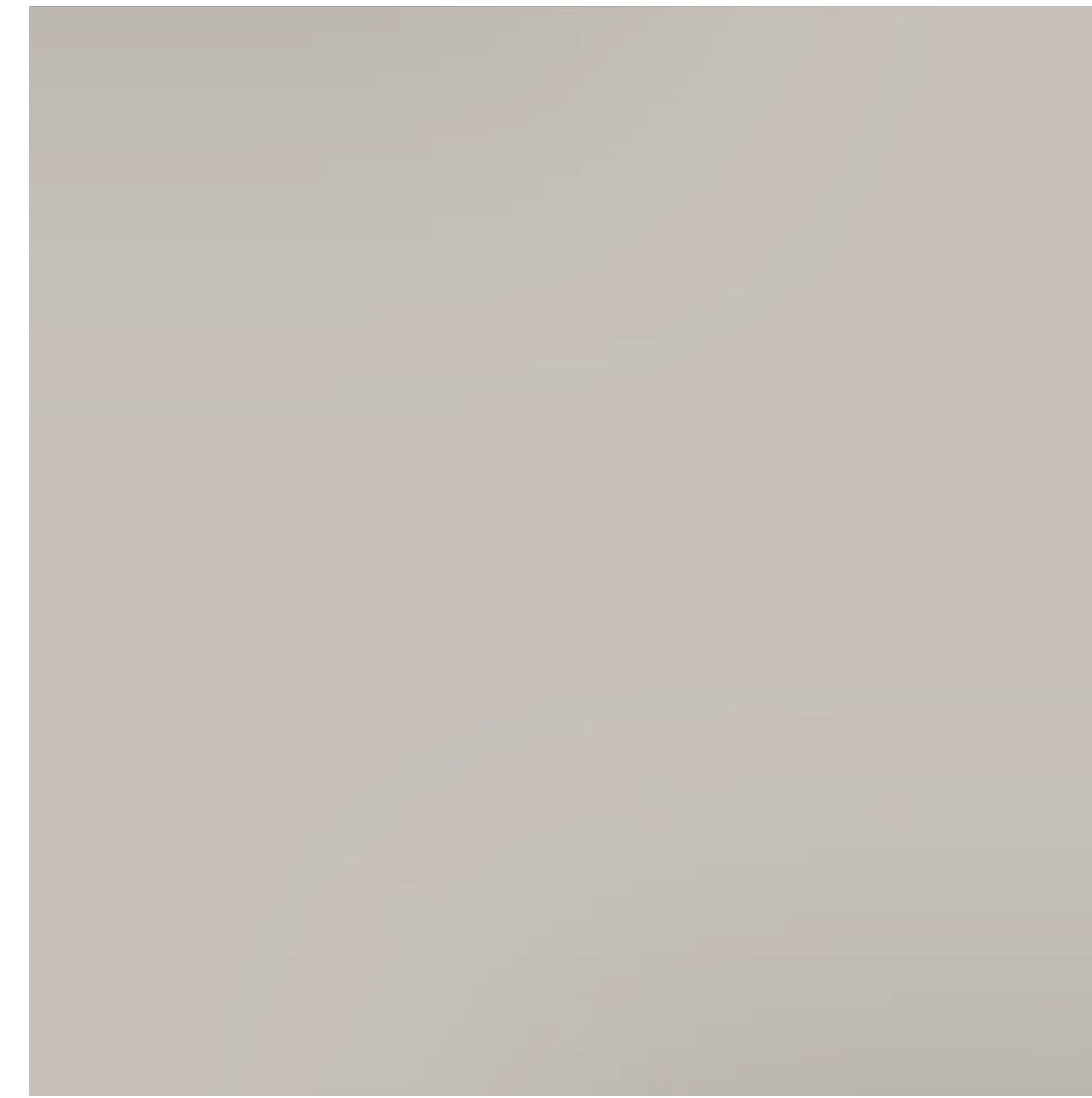
PRECAST COLOR 4  
GAUNTLET GRAY  
SW7019



ALUMINUM STOREFRONT  
CLEAR ANODIZED  
LOW-E GLASS



PREFABRICATED STEEL CANOPY  
CLEAR ANODIZED



METAL COPING  
COLOR TO MATCH CONCRETE PANELS

MATERIALS BOARD

PROJ. NO: SA21114  
SCALE: N.T.S.  
DATE: 11/29/21



1000 Lancaster Street  
Suite 430  
Baltimore, MD 21202  
T: 410.659.9511  
F: 410.659.0437  
www.ci-designinc.com

Newburgh Commerce Center  
124 Route 17K, Newburgh, NY 12550





**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Newburgh Commerce Center (Planning Board No. 2020-21)		
Project Location (describe, and attach a general location map): The site is located +-800-ft east of the intersection of NYS Route 17K and Corporate Boulevard. (SBL: 95-1-58)		
Brief Description of Proposed Action (include purpose or need): The proposed action consists of a +/-132,000 -square foot flex space building that meet the requirements of the zoning code. The proposed action will also include associated loading and parking spaces, utilities, and stormwater management practices. Access to the project site will be provided from NYS Route 17K.		
Name of Applicant/Sponsor: Scannell Properties, LLC		Telephone: E-Mail: ZacharyZ@scannellproperties.com
Address: 8801 River Crossing Boulevard Suite 300		
City/PO: Indianapolis	State: IN	Zip Code: 46240
Project Contact (if not same as sponsor; give name and title/role): Michael Finan, Senior Associate/VP (Langan Engineering, Environmental, Surveying and Landscape Architecture, and Geology, D.P.C.)		Telephone: (914) 323-7410 E-Mail: mfinan@langan.com
Address: 1 North Broadway, Suite 910		
City/PO: White Plains	State: NY	Zip Code: 10601
Property Owner (if not same as sponsor): Red Oak SOS LLC		Telephone: E-Mail:
Address: 1400 E 66th Avenue		
City/PO: Denver	State: CO	Zip Code: 80229

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Planning Board - Site Plan Approval; SEQR determination	Projected date: Fall 2021
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh, Zoning Board of Appeals	October 2021
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Engineer and Water Department	Projected date: Fall 2021
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Orange County (OC) Dept. of Planning - Site Plan Review. OC Dept of Health - water main conn.	Projected date: Fall 2021
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT - Highway Work Permit NYS DEC - SPDES; Wetland JD	Projected date: Fall 2021
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACE Wetland JD; FAA Notice of Construction/Hazard to Air Nav. Determination	Projected date: Fall 2021
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

Priority Growth Area as identified in the Orange County, New York Comprehensive Plan  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Interchange Business (IB) District; Stewart Airport Overlay District;

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?  
Orange Lake Fire District; Town of Newburgh Emergency Medical Services

d. What parks serve the project site?  
Algonquin Powder Mill Park (municipal 2mi north), Cronomer Hill County Park (county, 2mi north), New Windsor Historic Parklands (municipal 2mi south), Stewart State Forest (state 4mi west)

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial - flex space building

b. a. Total acreage of the site of the proposed action? ±13.8 acres  
b. Total acreage to be physically disturbed? ±11.2 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±13.8 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 16 months \* See note at bottom of page  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\* A 5-ac waiver will be requested for this project to construct in a single phase.

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_ 1

ii. Dimensions (in feet) of largest proposed structure: < 40 feet height; \_\_\_\_\_ 240 width; and \_\_\_\_\_ 550 length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ ±132,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 10,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: Town of Newburgh consolidated water district
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ +/-10,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh - Renwick Street wastewater treatment plant
- Name of district: Town of Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or ±7.2 acres (impervious surface)  
 \_\_\_\_\_ Square feet or ±13.8 acres (parcel size)  
 ii. Describe types of new point sources. Conveyance pipes  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site stormwater runoff will be collected and treated in bioretention areas. Runoff will also be controlled through open detention basins and discharged at least than pre-development rates to a down stream drainage channel.  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
unnamed drainage channel.  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
Delivery vehicles  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
boilers  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 90 trips/day - tractor trailers

iii. Parking spaces: Existing 0 spaces Proposed 107 spaces Net increase/decrease 107 spaces

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:  
Access to the site will be provided from NYS Route 17K. Modifications to NYS Route 17k will be required to allow for access into the site.

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 340 kW average demand, 500 kW Peak.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Grid/local utility (Central Hudson Gas and Electric - Coldenham substation)

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>Will comply with local regulations</u></li> <li>• Saturday: <u>Will comply with local regulations</u></li> <li>• Sunday: <u>Will comply with local regulations</u></li> <li>• Holidays: <u>Will comply with local regulations</u></li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>24 hours</u></li> <li>• Saturday: <u>24 hours</u></li> <li>• Sunday: <u>24 hours</u></li> <li>• Holidays: <u>24 hours</u></li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
 Although noise produced by the proposed action will not exceed ambient levels as defined by NYSDEC, sound barriers are proposed at strategic locations to further mitigate potential noise impacts on adjacent residential uses.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Full cut-off site lighting will be installed to provide light along driveways, walkways and parking areas to ensure clear and safe circulation, while avoiding adverse impacts on surrounding areas. The lighting plan will include standard pole-mount and wall-mount fixtures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
 Potential use of pesticides for landscaping during operation.  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ 20 tons per \_\_\_\_\_ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Construction waste will be minimized through efficient materials use and solid waste will be disposed of in appropriate manner.  
 \_\_\_\_\_
- Operation: Solid waste and recycling will be collected on site and disposed by private waste management vendor for implementation in conformance with local code.  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Private waste management vendor.  
 \_\_\_\_\_
- Operation: Private waste management vendor for implementation in conformance with local code.  
 \_\_\_\_\_



s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Stewart International Airport, Army National Guard Base  
 ii. If mix of uses, generally describe:  
 The general mix of uses is characterized by uses associated with a transportation corridor including transportation, industrial and commercial uses, with scattered residential uses in an urban setting.

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	±0.22	±7.2	+6.98
• Forested	±6.27	±2.6	-3.67
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	±7.31	±4.0	-3.31
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 336088, 336089  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

336088 and 336089 are in reference to Stewart International Airport. A portion of the site was previously used as an Air National Guard Base (ANGB). Aqueous film-forming foam (AFFF), in which perfluorooctanesulfonic acid (PFOS) is a key ingredient, has been used over the years at the base to put out fires and in training exercises. PFOS has been detected in soil, groundwater, and surface water samples at the ANGB. Contaminants have migrated off-site and sampling has identified the presence of perfluorooctane sulfonic acid (PFOS) in Lake Washington, the primary source of the City of Newburgh water supply. Actions should be taken to reduce human exposures to PFOS in drinking water supplies. These actions include measures to address the contamination in the water supply (e.g., using alternate sources of water and pursuing treatment of surface water sources) and actions to address sources of drinking water contamination where levels exceed applicable standards, criteria, or guidance. Currently, an alternate source of drinking water is being used to reduce exposure. Additional investigation and sampling is being completed to evaluate where and how people may be exposed to site-related contaminants.



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >5 feet See section E.2.c. for depth to bedrock per the Soil Survey of Orange County, New York

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ % **Depth to Bedrock** **Depth to Water**

c. Predominant soil type(s) present on project site:	Ab Alden silt loam	21.5 %	>5 ft	0 to 0.5 ft
	BnB Bath-Nassau channery silt loam	31.9 %	4-5 ft	2 to 4 ft
	MdB Mardin gravelly silt loam	46.6 %	>5 ft	1.5 to 2 ft

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 2 feet See section E.2.c. for depth to high water table per the Soil Survey of Orange County, New York

e. Drainage status of project site soils:  Well Drained: 31.9 % of site  
 Moderately Well Drained: 46.6 % of site  
 Poorly Drained 21.5 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 97.1 % of site  
 10-15%: 1.4 % of site  
 15% or greater: 1.5 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

**h. Surface water features. \* See note at bottom of page**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



\* Section H is automatically filled out through the NYSDEC EAF Mapper Generator and does not necessarily mean there are wetlands on-site. A wetlands delineation has been performed and no wetlands are present.

m. Identify the predominant wildlife species that occupy or use the project site: white-tailed deer _____ grey squirrel _____ groundhog _____ eastern cottontail _____ chipmunk _____ wild turkey _____ various songbirds _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ Based on the NYSDEC mapper, the _____ Long-eared Bat, Indiana Bat, Upland Sandpiper maybe present. Note, there is no habitat on this site for the upland sandpiper	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ small whorled-pogna, but they is not habitat onsite.	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Stewart State Forest; Newburgh-Beacon Bridge/Hudson River</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State forest land; State Scenic Road</u>	
<i>iii.</i> Distance between project and resource: _____ <u>3-5</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**


Attach any additional information which may be needed to clarify your project.

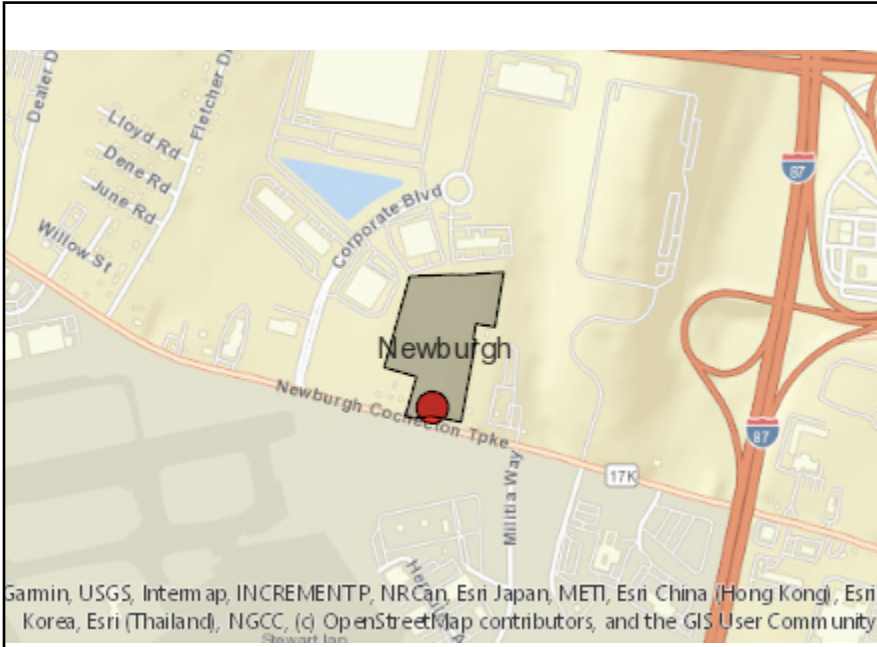
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name W. Charles Utschig Jr. of Langan      Date November 29, 2021

Signature       Title Associate



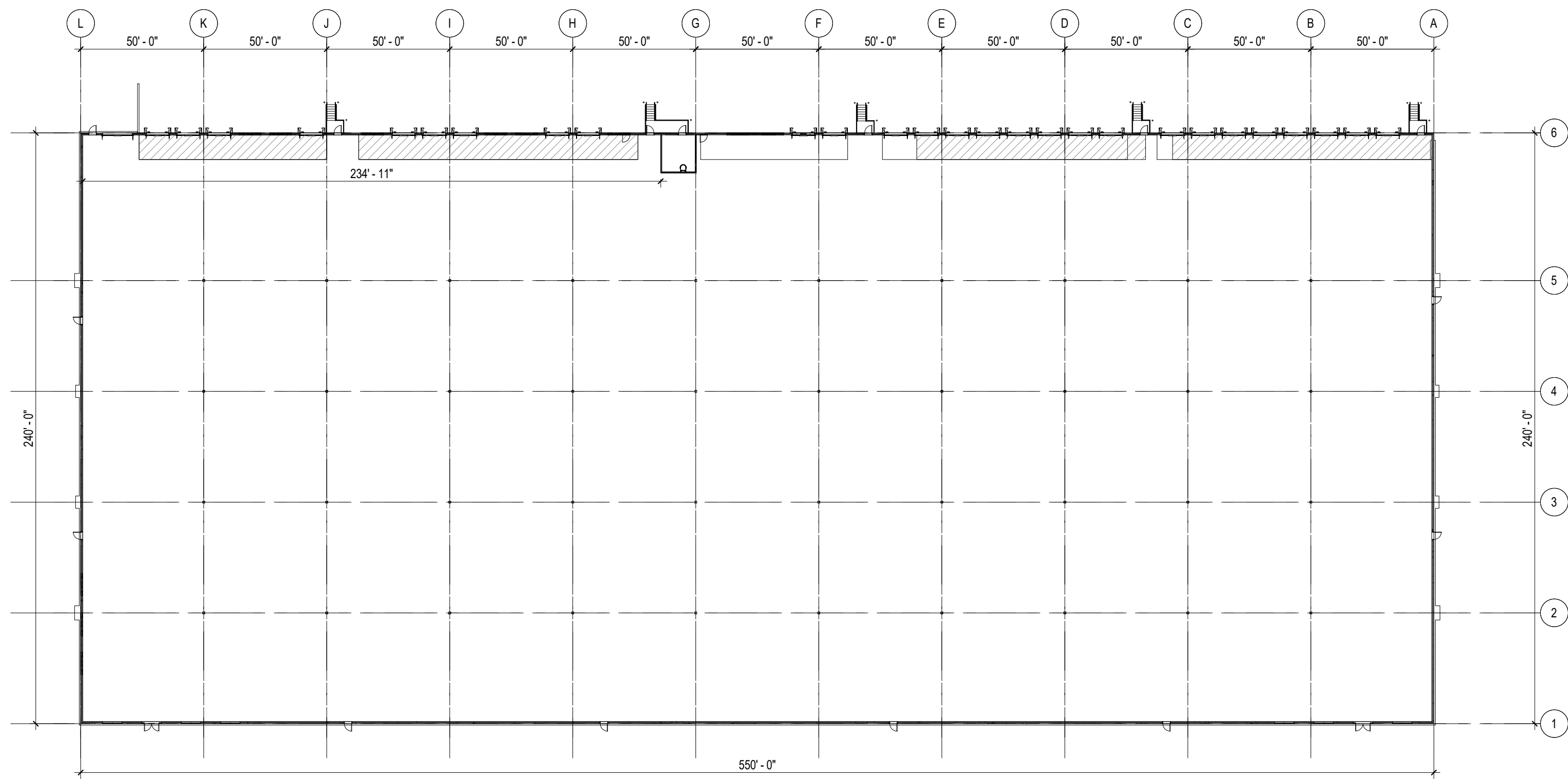
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	336088, 336089
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No

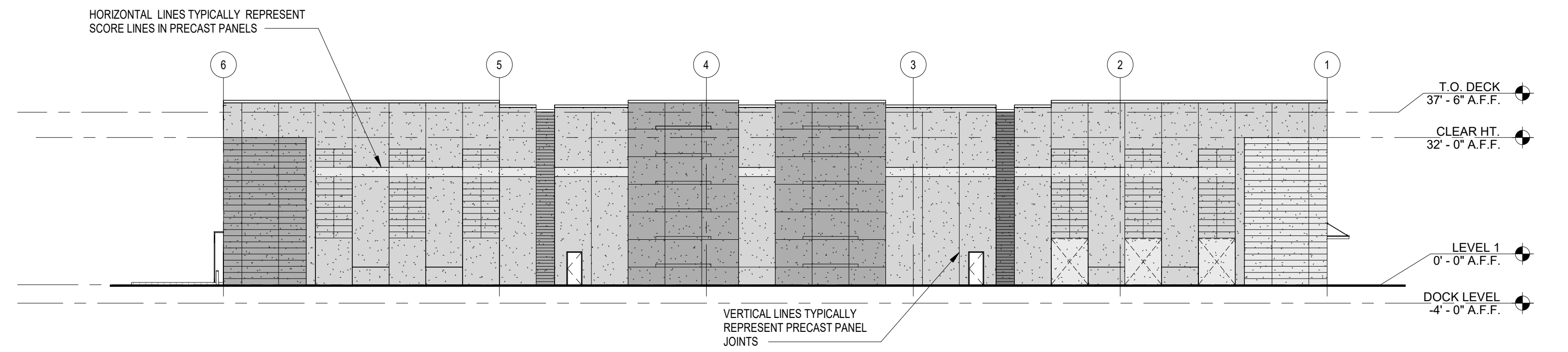
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat, Upland Sandpiper
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No





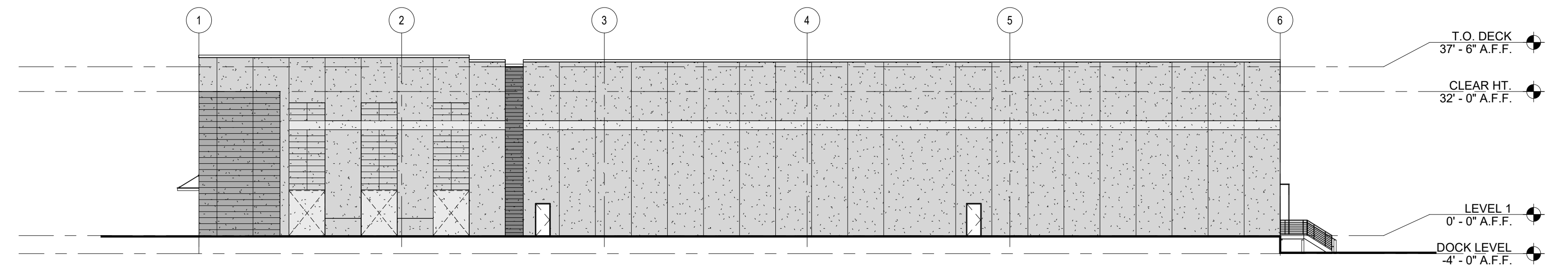
FLOOR PLAN  
1" = 40'-0"

1



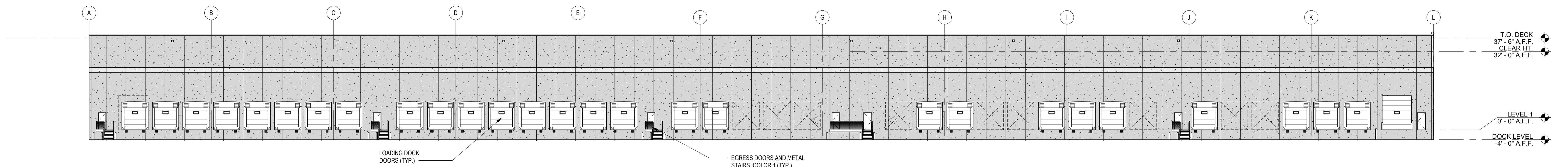
WEST  
1" = 20'-0"

2



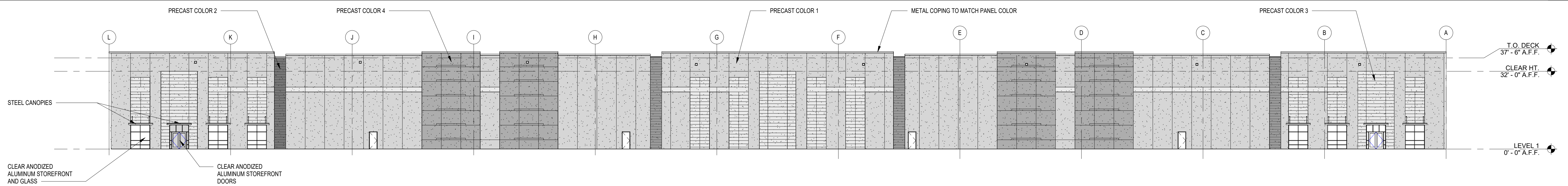
EAST ELEVATION  
1" = 20'-0"

3



NORTH ELEVATION B  
1" = 20'-0"

4



SOUTH ELEVATION A  
1" = 20'-0"

5

Newburgh Commerce Center

124 Route 17K, Newburgh, NY 12550

A854

ELEVATIONS & FLOOR PLAN

PROJ. NO: SA21114

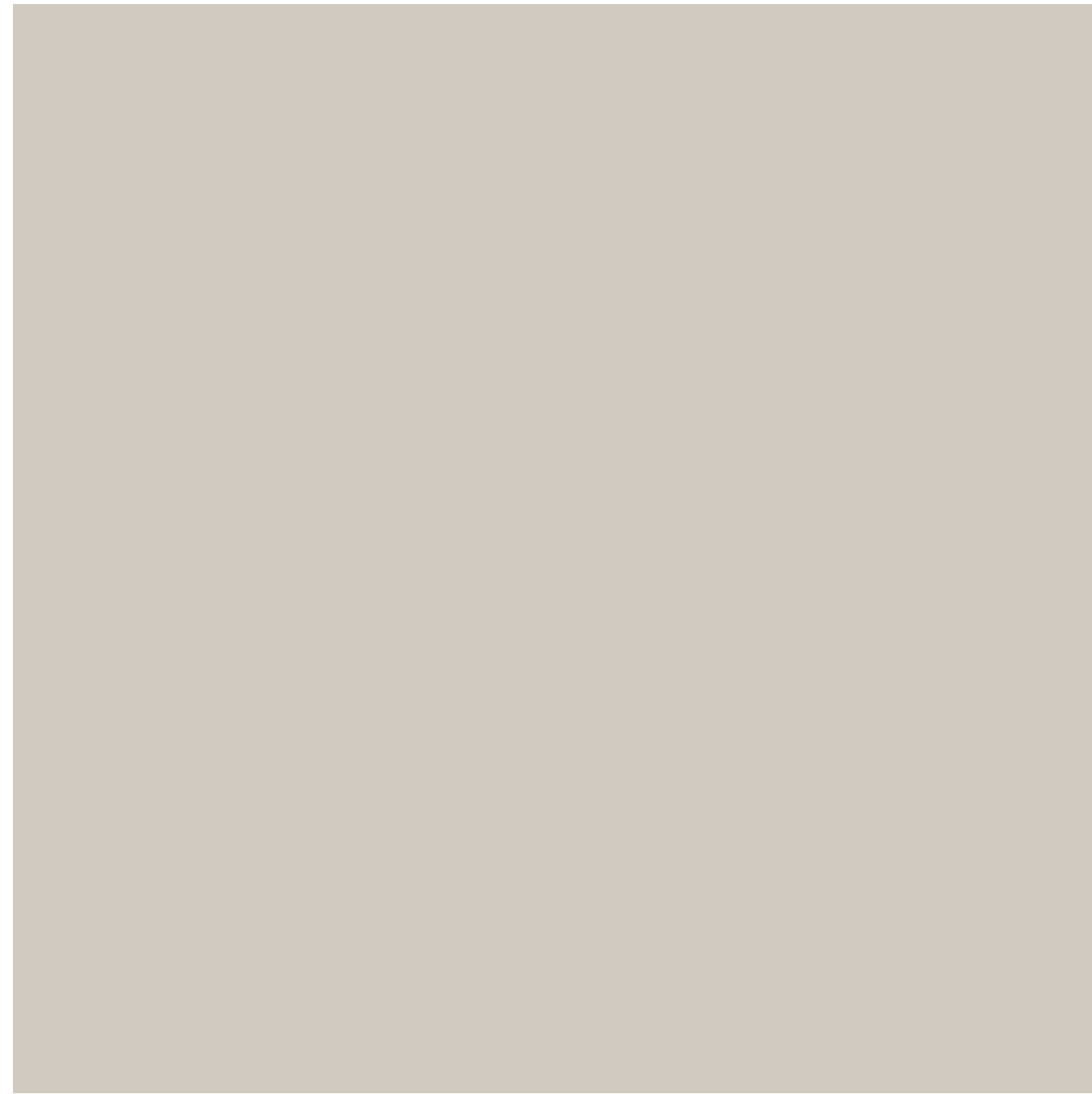
SCALE: As indicated

DATE: 11/23/21

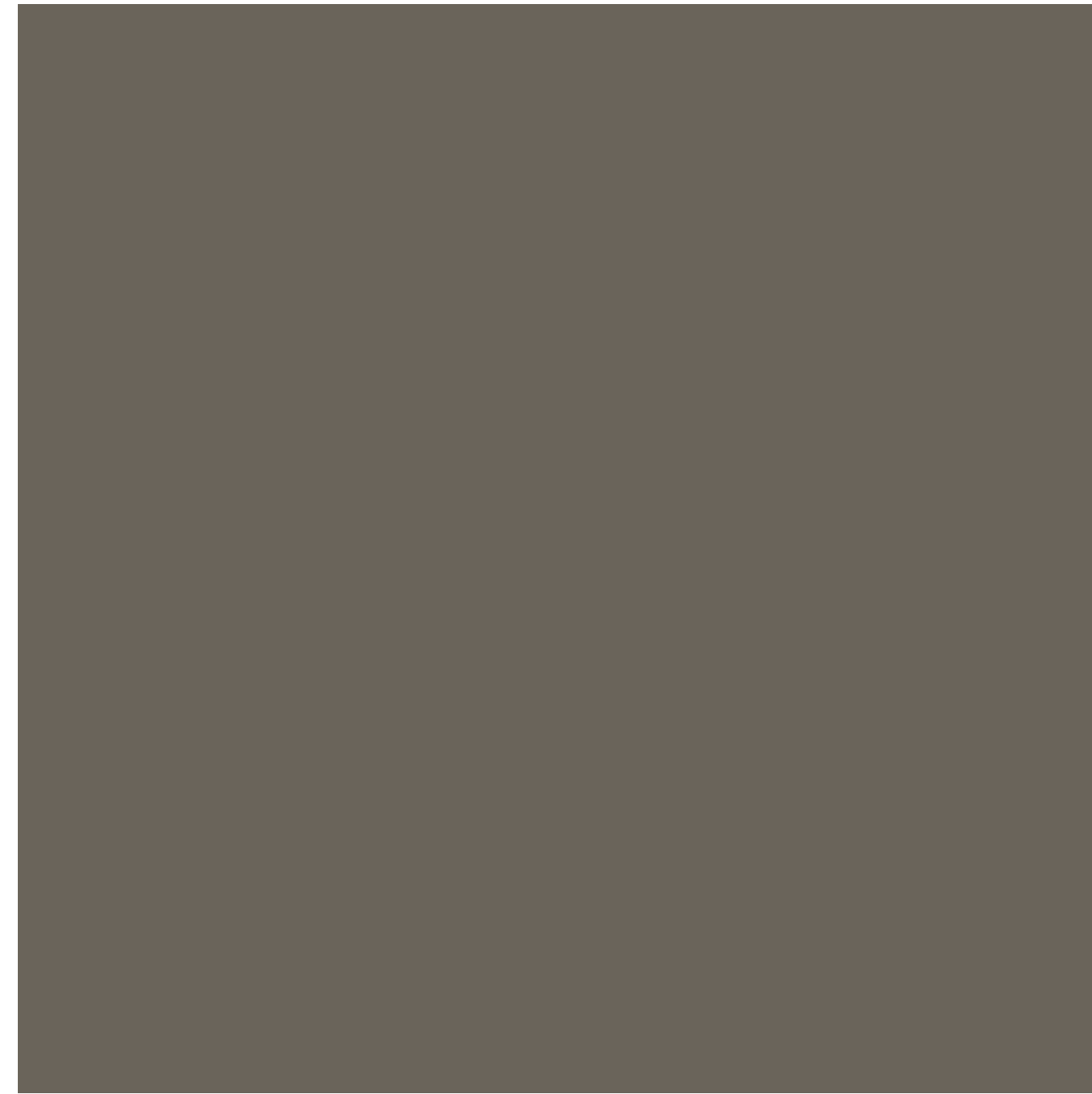


1000 Lancaster Street  
Suite 400  
Baltimore, MD 21202  
T: 617.848.9511  
F: 617.839.0457  
www.ci-designinc.com

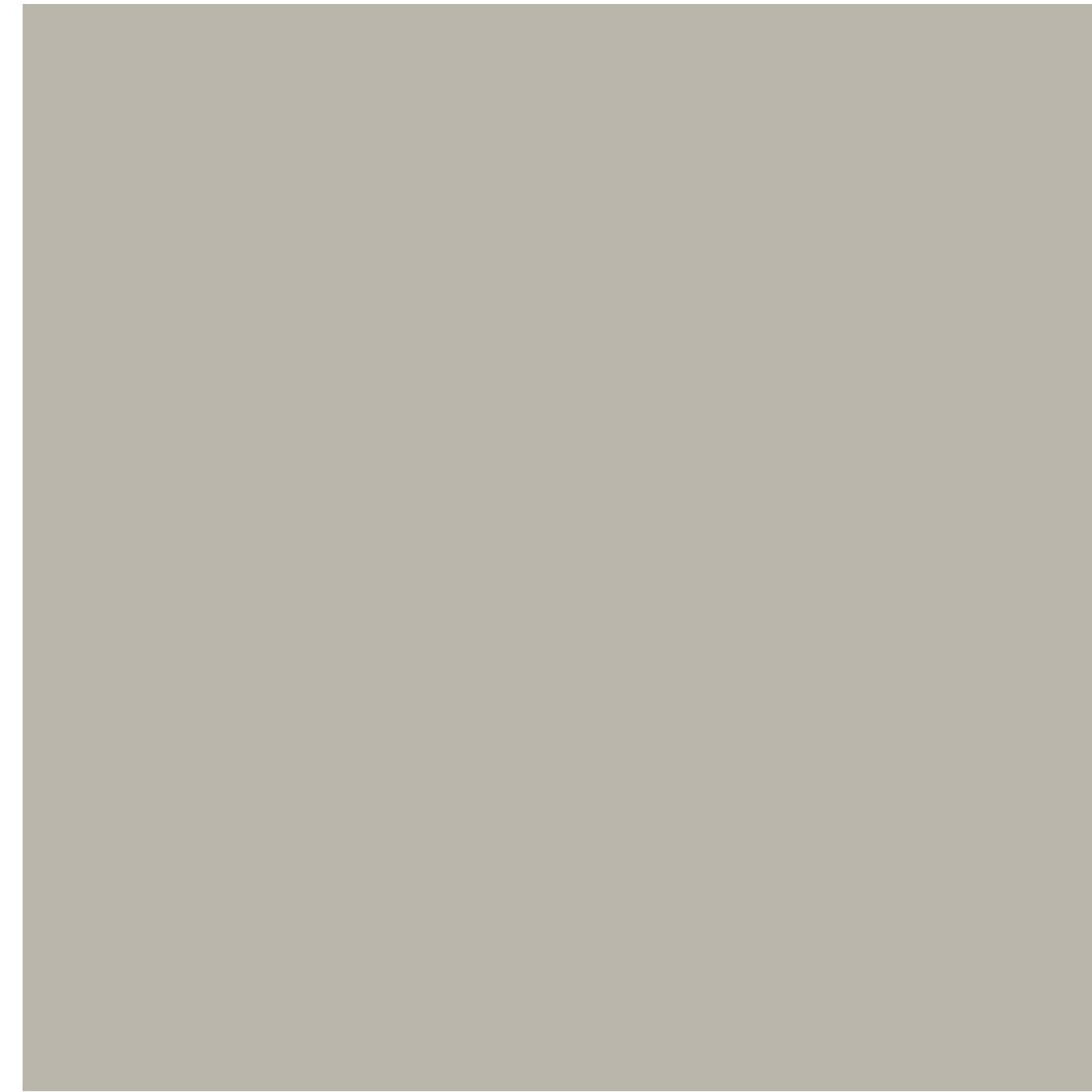




PRECAST COLOR 1  
AGREEABLE GRAY  
SW7029



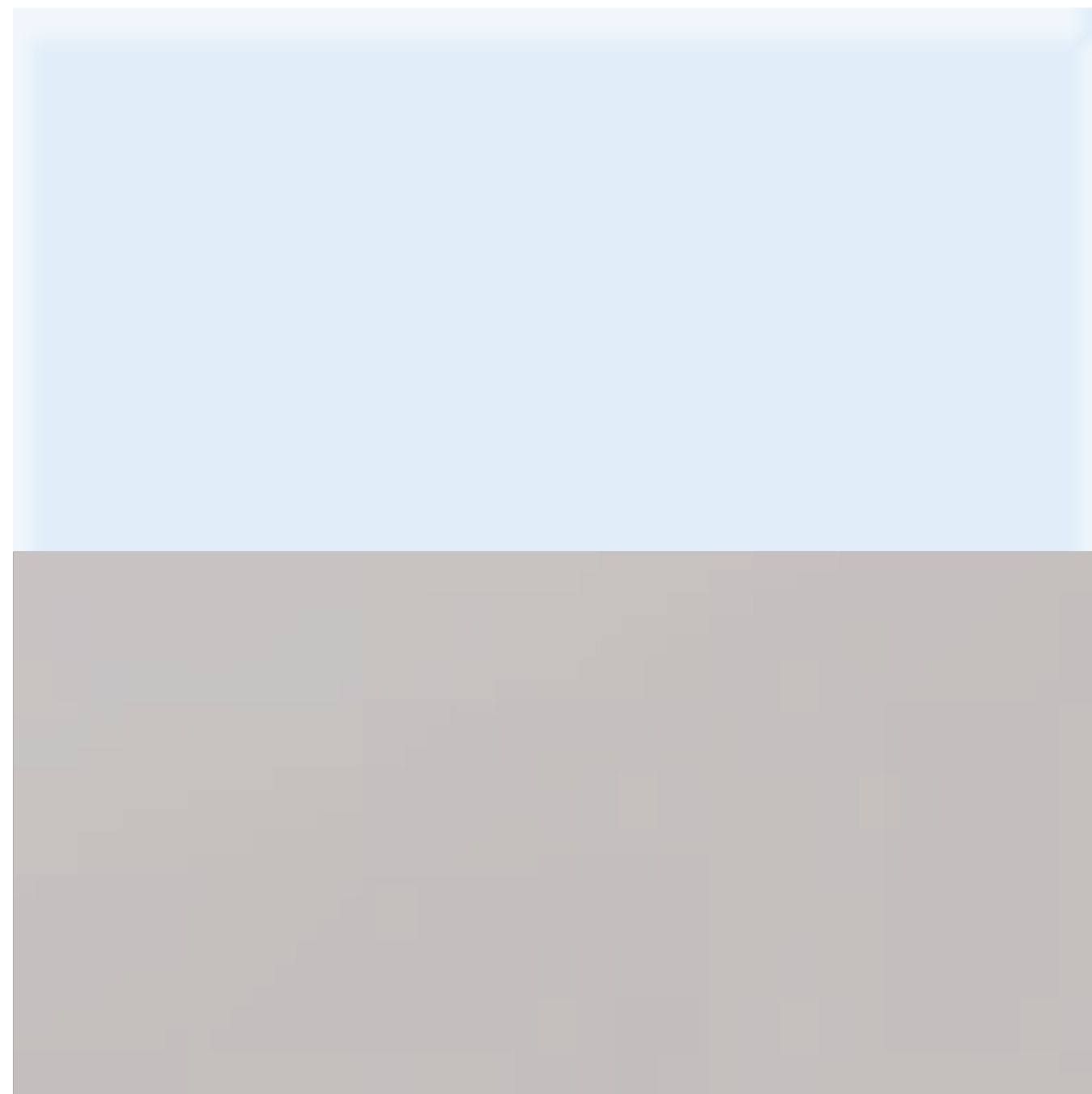
PRECAST COLOR 2  
PORPOISE  
SW7047



PRECAST COLOR 3  
MINDFUL GRAY  
SW7016



PRECAST COLOR 4  
GAUNTLET GRAY  
SW7019



ALUMINUM STOREFRONT  
CLEAR ANODIZED  
LOW-E GLASS



PREFABRICATED STEEL CANOPY  
CLEAR ANODIZED



METAL COPING  
COLOR TO MATCH CONCRETE PANELS

MATERIALS BOARD

PROJ. NO: SA21114  
SCALE: N.T.S.  
DATE: 11/29/21



1000 Lancaster Street  
Suite 430  
Baltimore, MD 21202  
T: 410.659.9511  
F: 410.659.0457  
www.ci-designinc.com

Newburgh Commerce Center  
124 Route 17K, Newburgh, NY 12550



November 30, 2021

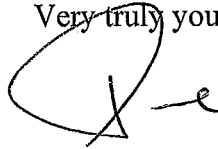
Page 2

incorporates comments received from the Board based on Scannell's August 2021 sketch plan submission. For Planning Board information, we also enclose copies of completed applications for the Architectural Review Board and for a Clearing and Grading Permit. The Clearing and Grading Permit application and fee will be sent separately to the Town's Code Enforcement Officer.

Pursuant to your instructions, we are hand-delivering to the Town of Newburgh Building Department fourteen binders with attached, folded maps of our full submission. Separately, we will provide a binder with attached, folded maps and an electronic copy of the submission to Patrick Hines. Electronic copies of the submission will also be provided to the Town's consultants. If you would like additional electronic or hard copies of the submission, please let me know.

If you have any questions on this submission, please feel free to contact me or Chuck Utschig at Langan Engineering. At your convenience, we are available to discuss this submission with you and the Board's consultants. We look forward to working with the Board and its consultants on completing this exciting project for the Town of Newburgh.

Very truly yours,

A handwritten signature in black ink, appearing to read 'D. Everett', with a large, stylized initial 'D'.

David R. Everett

Enclosures

c: Patrick Hines (Hand-delivery and email)  
Kenneth Wersted, P.E. (Email)  
Dominic Cordisco, Esq. (Email)  
Karen Arent (Email)  
Zachary Zweifler (FedEx and Email)  
Mark Wilson (Scannell) (FedEx and Email)  
Chuck Utschig, P.E. (Langan) (FedEx and Email)