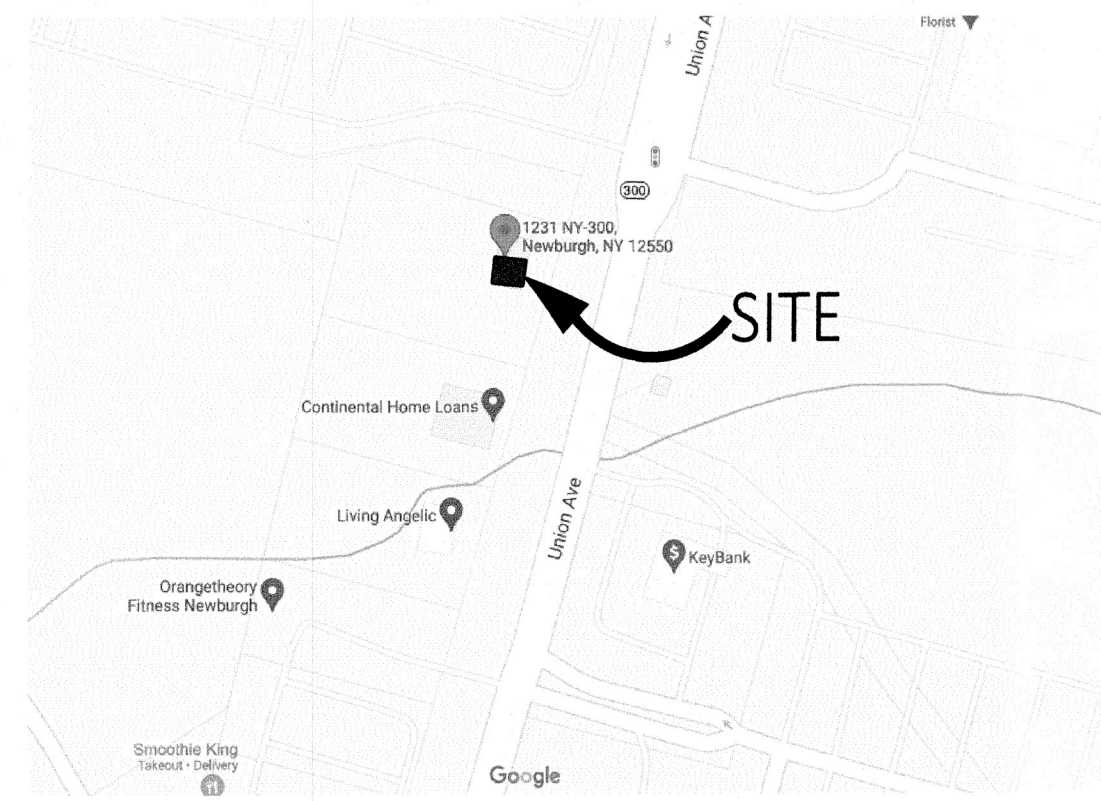
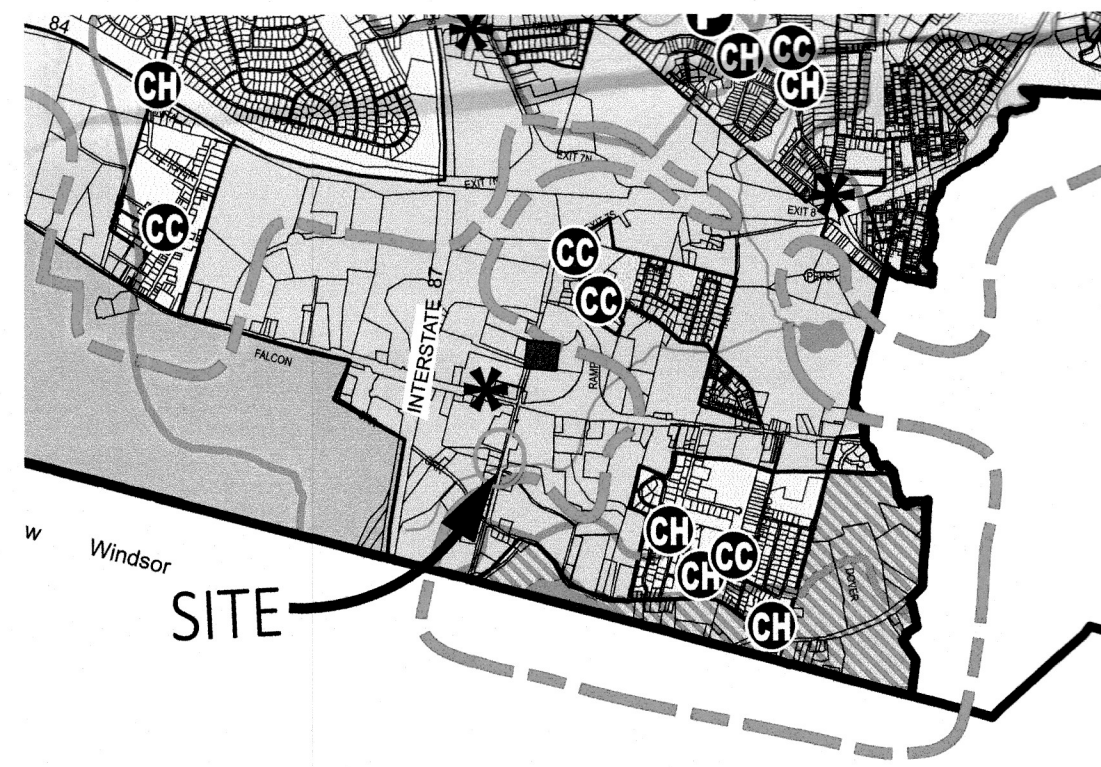


JIFFY LUBE - 154 NEWBURGH
MULTICARE SERVICES

1231 STATE ROUTE 300
NEWBURGH, NY 12550
ORANGE COUNTY



LOCATION MAP
SCALE: NTS



ZONING MAP
SCALE: NTS

PROJECT DESCRIPTION	
CONSTRUCTION OF A RETAIL AUTOMOTIVE OIL CHANGE FACILITY AND ASSOCIATED SITE IMPROVEMENTS.	
SITE NOTES	
1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY CONTROL POINT ASSOCIATES INC. PC DATED: 04.15.2021.	
PARCEL INFORMATION:	
PARCEL NUMBER:	LOT 3, BLOCK 1
OWNER:	CALALUCA
ACRES:	DEVELOPMENT: 0.70 ACRES

BUILDING CODE REVIEW	
ACCESSIBILITY CODE	2010 ADA STANDARDS ANSI/ICC A117.1 - 2009
BUILDING CODE	2020 BUILDING CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) BUILDING CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE OF NEW YORK STATE (ADOPTS NFPA 70 WITHOUT AMENDMENTS) ELECTRICAL CODE
ENERGY CODE	2020 ENERGY CODE OF NEW YORK STATE (IECC 2018 WITH AMENDMENTS) ENERGY CONSERVATION
MECHANICAL CODE	2020 MECHANICAL CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) MECHANICAL CODE
PLUMBING CODE	2020 PLUMBING CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) PLUMBING CODE
FIRE CODE	2020 FIRE CODE OF NEW YORK STATE FIRE CODE
ZONING ORDINANCE REVIEW	
ZONING ORDINANCE	ZONING ORDINANCE OF TOWN OF NEWBURGH
ZONING MAP	ZONING MAP OF 2001
SITE ZONING	IB INTERCHANGE BUSINESS
PERMITTED USE	YES

BULK REGULATIONS			
ITEM	REQUIRED	PROPOSED	TOWN CODE
LOT REQUIREMENTS:			
MIN. LOT AREA	40,000 SF	30,502 SF (0.70 AC)	
MIN. LOT DEPTH	150'	198'	
MIN. LOT WIDTH	150'	151.6'	
MAX. LOT COVERAGE	85%	59%	
BUILDING REQUIREMENTS:			
MAX. BUILDING HEIGHT	35'	21'	
SETBACK REQUIREMENTS:			
FRONT BUILDING SETBACK	60'	50.3'	
SIDE BUILDING SETBACK (N)	50'	10.3'	
SIDE BUILDING SETBACK (S)	50'	49.0'	
REAR BUILDING SETBACK	60'	104.5'	
PARKING SETBACK	20'	20'	
PARKING REQUIREMENTS:			
MIN. STANDARD SPACE SIZE	9' X 18'	9' X 18'	
PARKING CALCULATION:			
TOTAL SPACES	10	13	
ADA SPACES	1	1	ANSI/ICC A117.1
MIN. LOADING ZONE SIZE	N/A	N/A	

SIGNS: ZONING IB - INTERCHANGE BUSINESS				
PYLON SIGN: ALLOWED; YES				
	MAXIMUM:	PROVIDED:	CODE:	VARIANCE
AREA:	60 S.F.	37 S.F.	185.14.N.2	NO
HEIGHT:	35.0'	25.0'		
SETBACK:	FRONT: WITHIN 15.0' OF FRONT PROPERTY LINE	15.0'		
NUMBER OF SIGNS	1	1		NO
ELECTRONIC MESSAGE DISPLAY: ALLOWED WITH SPECIAL USE APPROVAL				
AREA:	LESS THAN 1/2 AREA OF SIGN = 11 S.F.	9 S.F.	185.14.P.2	NO
BUILDING SIGNS: ALLOWED: YES - SECTION 185.14.N				
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE
FRONT ELEVATION	SIGN - A	PER TOTAL	28 S.F. 7 S.F.	NO
	SIGN - B	PER TOTAL	38.0'	NO
SIDE ELEVATION (NORTH)	SIGN - C	PER TOTAL	30 S.F.	NO
SIDE ELEVATION (SOUTH)	SIGN - F	PER TOTAL	9 S.F.	NO
REAR ELEVATION	SIGN - B	PER TOTAL	38 S.F.	NO
TOTAL ALLOWED ON BUILDING:		92 S.F.	150 S.F.	YES
DIRECTIONAL SIGNS	SIGN - H	4 S.F. DIRECTIONAL SIGN AREA	5.32 S.F.	YES

VARIANCE REQUEST	
1.	LOT AREA VARIANCE - THE EXISTING SITE IS 30,502 SQUARE FEET AND THE MINIMUM ALLOWABLE LOT SIZE IS 40,000 SQUARE FEET (S.F.).
2.	FRONT YARD VARIANCE - THE PROPOSED STRUCTURE IS 50.3 FEET FROM THE NYS-300 RIGHT OF WAY AND THE MINIMUM FRONT SETBACK FROM NYS-300 IS 60 FEET.
3.	SIDE YARD VARIANCE - THE MINIMUM SIDE YARD SETBACK IS 50 FEET. THE PROPOSED STRUCTURE IS 10.3 FEET FROM THE NORTH PROPERTY LINE.
4.	SIDE YARD VARIANCE - THE MINIMUM SIDE YARD SETBACK IS 50 FEET. THE PROPOSED STRUCTURE IS 49.0 FEET FROM THE SOUTH PROPERTY LINE.
5.	SIGNAGE VARIANCE: 4 S.F. IS THE MAXIMUM ALLOWABLE SIGN SIZE FOR DIRECTIONAL SIGNS IN THE IB ZONE. SIX OF THE DIRECTIONAL SIGNS ARE 5.32 S.F.
6.	SIGNAGE VARIANCE: THE TOTAL SIGNAGE AREA OF ALL BUILDING SIGNAGE IS 150 S.F. THE CODE ALLOWS 92 S.F. BASED ON THE FRONT WALL BUILDING LENGTH.

PROJECT DIRECTORY			
	DESCRIPTION	ADDRESS	CONTACT
SITE	DEVELOPER	JIFFY LUBE INTERNATIONAL - SHELL LUBRICANTS BUILDING F, RM F 376 D 150 N. DAIRY ASHFORD RD HOUSTON, TX 77079	CLAIRE GILROY 832.337.9809
	PROJECT MANAGER	SEVAN MULTI-SITE SOLUTIONS 3025 HIGHLAND PARKWAY DOWNERS GROVE, IL 60048	FRANK MALAWSKI 773.370.9239
	SURVEYOR	CONTROL POINT ASSOCIATES INC. PC 26 AVIATION ROAD ALBANY, NY 12205	JODY LOUNSBURY PLS 518.217.5010
DESIGN CONTACT	CIVIL ENGINEER	SEVAN ENGINEERING, PC 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIMOTHY KRATZ, PE 219.841.6535
	ARCHITECT	CASCO - P5 12 SUNNEN DRIVE, SUITE 100 ST. LOUIS, MO 63143	JIM SCHMITT 314.821.1100x252
UTILITY	TELEPHONE	NAME ADDRESS	CONTACT XXX.XXX.XXXX
	CABLE	NAME ADDRESS	CONTACT XXX.XXX.XXXX
	ELECTRIC	ANGELA 284 SOUTH AVE. POUUGHKEEPSIE, NY 12601	CONTACT 845.452.2700
	GAS	ANGELA 284 SOUTH AVE. POUUGHKEEPSIE, NY 12601	CONTACT 845.452.2700
	WATER	MARY BUTLER 311 ROUTE 32 NEWBURGH, NY 12550	CONTACT 845.564.7813
	SANITARY SEWER	MARY BUTLER 311 ROUTE 32 NEWBURGH, NY 12550	CONTACT 845.564.7813
	STORM SEWER	TOWN OF NEWBURGH, NY 21 HUDSON VALLEY PROFESSIONAL PLAZA, NEWBURGH, NY 12550	CONTACT 845.564.7801
GOVERNMENT	PLANNING DEPARTMENT (TOWNSHIP)	JOHN EWASUTYN 21 HUDSON VALLEY PROFESSIONAL PLAZA NEWBURGH, NY 12550	CONTACT 845.564.7804
	ENGINEER	JAMES W OSBORNE, P.E. 308 GARDNERTOWN ROAD NEWBURGH, NY 12550	CONTACT 845.564.7814
	BUILDING DEPARTMENT	GERALD CANFIELD 21 HUDSON VALLEY PROFESSIONAL PLAZA NEWBURGH, NY 12550	CONTACT 845.564.7801

SHEET INDEX											
NO.	DATE	DESCRIPTION	0	1	2	3	4	5	6	7	8
GENERAL											
G0.01		COVER SHEET	●	●							
G0.02		GENERAL NOTES									
SURVEY											
1 OF 1		ALTA/NPS LAND TITLE SURVEY	●	●							
CIVIL											
C1.02		COMPOSITE SITE PLAN									
C1.10		DEMOLITION SITE PLAN									
C1.11		SOIL EROSION AND SEDIMENTATION CONTROL PLAN									
C1.20		DIMENSION CONTROL SITE PLAN									
C1.30		GRADING PLAN	●	●							
C1.31		STORM WATER MANAGEMENT PLAN	●	●							
C1.32		STORM WATER PROFILES & DETAILS									
C1.40		UTILITY PLAN	●	●							
C5.00		EROSION CONTROL DETAILS									
C5.01		SITE DETAILS									
C5.02		UTILITY DETAILS									
C5.03		ADDITIONAL DETAILS AS NEED FOR SITE SPECIFIC ELEMENTS									
L1.20		LANDSCAPE PLAN, NOTES AND SCHEDULE		●							
SITE LIGHTING											
PM-1		SITE PHOTOMETRICS									
SIGNAGE											
AG1.01		SITE PLAN SIGNS	●	●							
AG2.01		SIGN ELEVATIONS	●	●							
AG5.01		SIGN DETAILS	●	●							



Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.367.4445 Telephone

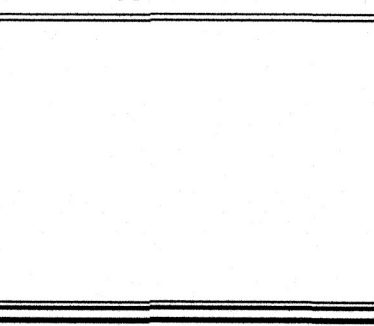
Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
info@sevan.com www.sevan.com

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARITY

REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**
(ORANGE COUNTY)

SHEET TITLE

COVER SHEET

SHEET MANAGEMENT

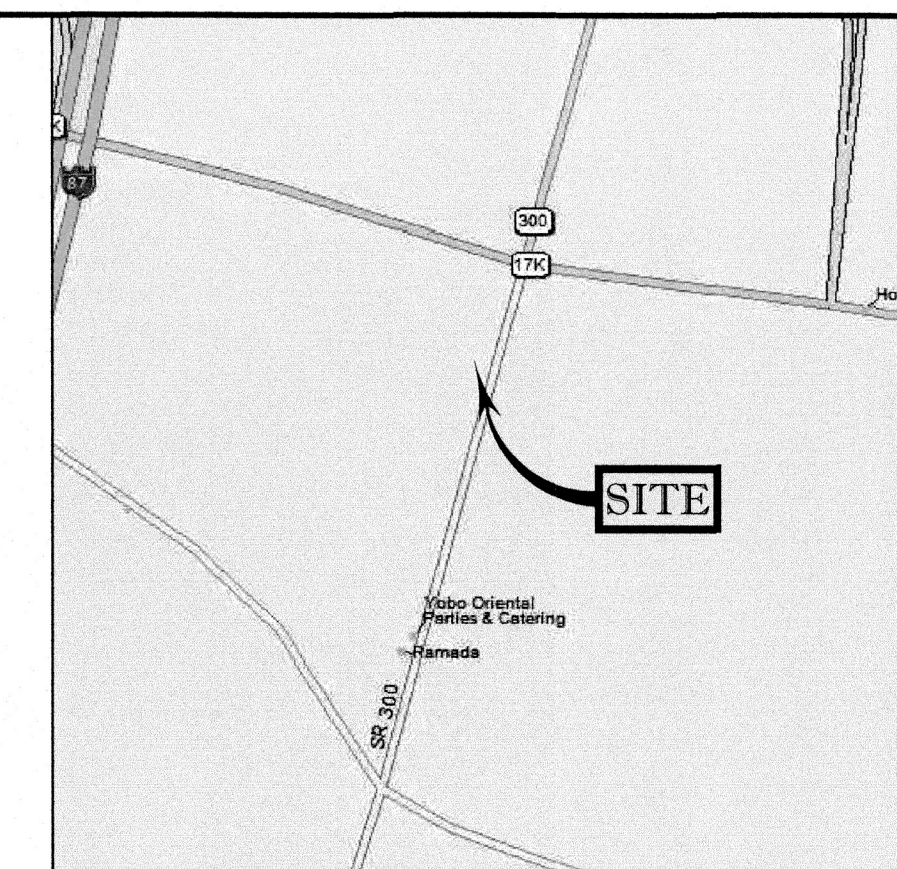
PROJECT NO.: 154-NEWBURGH
DATE: -
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PISKO

SHEET NUMBER

G0.01

FILE NAME: Y:\Share\Clients\Jiffy_Lube\Projects\154_Newburgh\NY\Con Docs\G0.01.dwg LAST SAVED BY: Vanderheike, Michael SAVED DATE: 9/8/2021 12:05 PM PLOTTED: 9/9/2021 12:08 PM





VICINITY MAP
© 2008 DeLorme, Street Atlas USA

SCHEDULE A DESCRIPTION:
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE LYING AND BEING IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE, AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE WESTERLY LINE OF UNION AVENUE SAID POINT BEING LOCATED 967.04 FEET SOUTHERLY AS MEASURED ALONG THE WESTERLY LINE OF UNION AVENUE FROM THE INTERSECTION OF SAID WESTERLY LINE OF UNION AVENUE WITH THE SOUTHERLY LINE OF COCHECTON TURNPIKE, WHICH IS ALSO KNOWN AS ROUTE 17K;
THENCE FROM SAID POINT OF BEGINNING AND ALONG THE WESTERLY LINE OF UNION AVENUE SOUTH 27° 20' WEST 82.35 FEET TO A POINT AND SOUTH 22° 06' WEST 68.40 FEET TO A POINT;
THENCE NORTH 60° 40' 50" WEST 205.83 FEET TO A POINT;
THENCE NORTH 27° 20' EAST 180.18 FEET TO A POINT;
THENCE SOUTH 58° 52' EAST 200.00 FEET TO THE POINT OF BEGINNING.

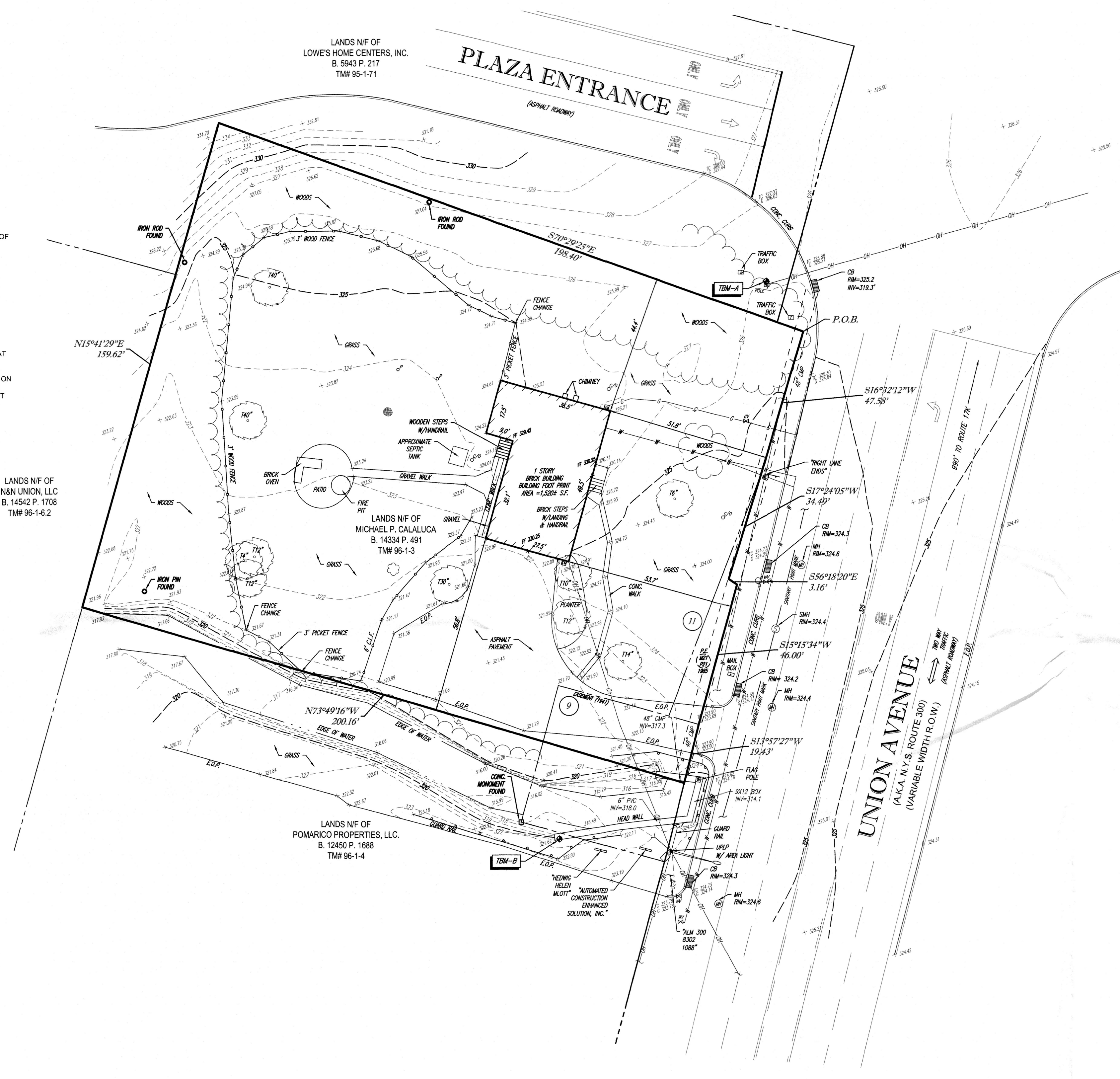
SURVEYOR'S DESCRIPTION:
ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE WESTERLY HIGHWAY BOUNDARY OF UNION AVENUE (N.Y.S. ROUTE 300) AT ITS PROLONGATION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF LOWE'S HOME CENTERS, INC., AS DESCRIBED IN BOOK 5943 OF DEEDS AT PAGE 217, ON THE NORTH, AND LANDS OF MICHAEL P. CALALUCA, AS DESCRIBED IN BOOK 14334 OF DEEDS AT PAGE 491, ON THE SOUTH, THENCE ALONG SAID HIGHWAY BOUNDARY THE FOLLOWING FIVE (5) COURSES AND DISTANCES:
1. SOUTH 16° 32' 12" WEST, A DISTANCE OF 47.58 FEET TO A POINT, THENCE;
2. SOUTH 17° 24' 05" WEST, A DISTANCE OF 34.49 FEET TO A POINT, THENCE;
3. SOUTH 86° 18' 20" EAST, A DISTANCE OF 3.16 FEET TO A POINT, THENCE;
4. SOUTH 15° 18' 34" WEST, A DISTANCE OF 46.00 FEET TO A POINT, THENCE;
5. SOUTH 13° 57' 27" WEST, A DISTANCE OF 19.43 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF POMARICO PROPERTIES, LLC, AS DESCRIBED IN BOOK 12450 OF DEEDS AT PAGE 1888, ON THE SOUTH, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE NORTH, THENCE NORTH 73° 49' 15" WEST, A DISTANCE OF 200.16 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF N&N UNION, LLC, AS DESCRIBED IN BOOK 14542 OF DEEDS AT PAGE 1708, ON THE WEST, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE EAST, THENCE ALONG SAID PROPERTY DIVISION LINE BETWEEN SAID LANDS OF N&N UNION, LLC, AND SAID LANDS OF LOWE'S HOME CENTERS, INC., ON THE WEST AND NORTH, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE EAST AND SOUTH, THE FOLLOWING TWO (2) COURSES AND DISTANCES:
1. NORTH 15° 41' 29" EAST, A DISTANCE OF 159.62 FEET TO A POINT, THENCE;
2. SOUTH 70° 29' 25" EAST, A DISTANCE OF 198.40 FEET TO THE POINT OR PLACE OF BEGINNING.

LANDS N/F OF
N&N UNION, LLC
B. 14542 P. 1708
TM# 96-1-6.2

LANDS N/F OF
LOWE'S HOME CENTERS, INC.
B. 5943 P. 217
TM# 95-1-71

LANDS N/F OF
POMARICO PROPERTIES, LLC.
B. 12450 P. 1888
TM# 96-1-4

LANDS N/F OF
MICHAEL P. CALALUCA
B. 14334 P. 491
TM# 96-1-3



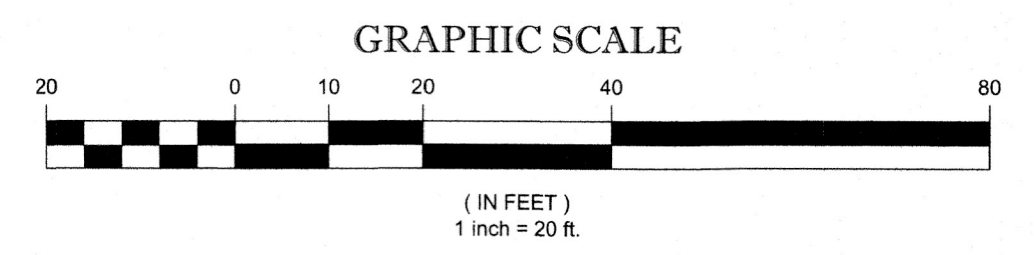
- NOTES:**
- PROPERTY KNOWN AS LOT 3, BLOCK 1 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, SECTION 96.
 - AREA = 30,502± SQ. FT. OR 0.700± ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1054388-H01, WITH AN EFFECTIVE DATE OF MARCH 08, 2021, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
 - TELEPHONE EASEMENT CONTAINED IN INSTRUMENT RECORDED ON 03/05/1906 IN (AS) LIBER 481 CP 311. ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.
 - UTILITY EASEMENT CONTAINED IN INSTRUMENT RECORDED ON 01/18/1929 IN (AS) LIBER 693 CP 329. ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT. WITH REGARD THERETO:
 - RELEASE AND MODIFICATION OF RESTRICTIVE COVENANTS AND EASEMENT CONTAINED IN INSTRUMENT RECORDED 03/08/1972 IN LIBER 1900 CP 638. THE SURVEYOR HAS INFORMATION INDICATING IT MAY HAVE BEEN RELEASED.
 - GAS EASEMENT CONTAINED IN INSTRUMENT RECORDED ON 07/23/1931 IN (AS) LIBER 720 CP 208. IT IS NOT ON THE SURVEYED PROPERTY.
 - TEMPORARY EASEMENT FOR THE PURPOSE OF FILLING, EXCAVATING AND DOING ALL WORK NECESSARY TO CLEAN THE STREAM CHANNEL CONTAINED IN INSTRUMENT RECORDED 10/28/1941 IN LIBER 872 CP 589. EXPIRATION NOT DEFINED. LOCATION IS SHOWN.
 - NOTICE OF APPROPRIATION DATED 04/28/1954 AND RECORDED 05/10/1954 IN LIBER 1304 CP 565. IT IS NOT ON THE SURVEYED PROPERTY.
 - NOTICE OF APPROPRIATION DATED 06/05/1985 AND RECORDED 06/05/1985 IN LIBER 2367 CP 288. LOCATION IS SHOWN WITH REGARD THERETO:
 - NOTICE OF FILING CERTIFICATE OF TERMINATION OF TEMPORARY EASEMENTS RECORDED 03/09/1988 IN LIBER 2904 CP 64. THE SURVEYOR HAS INFORMATION INDICATING IT MAY HAVE BEEN RELEASED.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
 - TEMPORARY BENCH MARKS SET:
 - TBM-A: X-CUT SET IN NORTHERN BOLT OF TRAFFIC SIGNAL POLE. ELEVATION=326.85'
 - TBM-B: NEW YORK STATE DEPARTMENT OF TRANSPORTATION BENCHMARK DISC. ELEVATION=321.68'
 - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
 - THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 - THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

- REFERENCES:**
- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, SHEET #96.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, TOWN OF NEWBURGH, ORANGE COUNTY, PANEL 139 OF 630", MAP NUMBER 36071C0139E, EFFECTIVE DATE: AUGUST 03, 2009.
 - MAP ENTITLED "LOT LINE CHANGE MAP LOWE'S/UNION AVENUE, LLC DEVELOPMENT, CORNER OF NYS ROUTE 300 AND NYS ROUTE 17K, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK", PREPARED BY BL COMPANIES, DATED OCTOBER 29, 2001 AND LAST REVISED APRIL 22, 2002.
 - MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF SECTION 95, BLOCK 1, LOTS 36 AND 37.2 AND SECTION 96, BLOCK 1, LOTS 6, 7, 8 AND 9", PREPARED BY LANGAN ENGINEERING, DATED 4-20-07, DRAWING NO. 07.01.
 - NEW YORK STATE DEPARTMENT OF PUBLIC WORKS ACQUISITION MAP 21 PARCEL 21 FOR UNION AVENUE ROUTE 17K-ROUTE 207, TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK, DATED MAY 06, 1985.
 - CONVEYANCE TO THE COUNTY OF ORANGE DATED OCTOBER 25, 1941, AS DESCRIBED IN BOOK 872 OF DEEDS AT PAGE 589, FOR HIGHWAY PURPOSES AND STREAM CHANNEL MAINTENANCE.

ALTA/NSPS LAND TITLE SURVEY

THIS SURVEY IS CERTIFIED TO:
JIFFY LUBE INTERNATIONAL, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 8, 9, 10, 11, 11(a)(1), 13, 14, 15, 16, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 04, 2021.



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

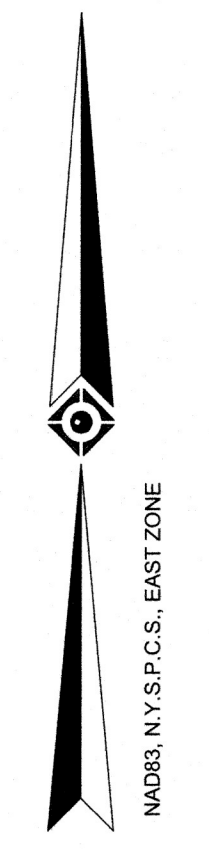
JODY J. LOUNSBURY
NEW YORK PROFESSIONAL LAND SURVEYOR #50715

FIELD DATE	04-02-2021	ALTA/NSPS LAND TITLE SURVEY							
FIELD BOOK NO.	21-02	JIFFY LUBE							
FIELD BOOK PG.	06	1231 N.Y.S. ROUTE 300 TM# 96-1-3 TOWN OF NEWBURGH, ORANGE COUNTY STATE OF NEW YORK							
FIELD CREW	D/L/R/B	CONTROL POINT ASSOCIATES INC. PC							
DRAWN	B.E.C.	26 AVIATION ROAD ALBANY, NY 12205 518.217.5010 • 518.668.9595 FAX WWW.CPASURVEY.COM							
REVIEWED	C.E.L.	DATE	04-15-2021	SCALE	1" = 20'	FILE NO.	09-210072	DWG. NO.	1 OF 1

CONTROL POINT ASSOCIATES, INC. PC - ALL RIGHTS RESERVED. THE EMBOSSED OR INK SEAL OF THE SURVEYOR IS REQUIRED FOR THIS SURVEY. THE EMBOSSED OR INK SEAL OF THE SURVEYOR IS REQUIRED FOR THIS SURVEY.



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



- LEGEND**
- 1/24 --- EXISTING CONTOUR
 - x 123.45 EXISTING SPOT ELEVATION
 - x TC 123.45 EXIST. TOP OF CURB ELEVATION
 - x G 123.95 EXIST. GUTTER ELEVATION
 - x TM 123.45 EXIST. TOP OF WALL ELEVATION
 - x BW 123.95 EXIST. BOTTOM OF WALL ELEVATION
 - x FF 123.45 EXIST. FINISHED FLOOR ELEVATION
 - OH --- OVERHEAD WIRES
 - G --- APPROX. LOC. UNDERGROUND GAS LINE
 - E --- APPROX. LOC. UNDERGROUND ELEC. LINE
 - S --- APPROX. LOC. UNDERGROUND SAN. LINE
 - W --- APPROX. LOC. UNDERGROUND WATER LINE
 - HYDRANT
 - WATER VALVE
 - CV GAS VALVE
 - GM GAS METER
 - EM ELECTRIC METER
 - SMH SANITARY/SEWER MANHOLE
 - MH UNKNOWN MANHOLE
 - C/O CLEAN OUT
 - P POST
 - UP UTILITY POLE
 - UPLP UTILITY POLE/LIGHT POLE
 - GUY WIRE
 - TRAFFIC SIGNAL
 - SIGN
 - MAIL BOX
 - METAL GUIDE RAIL
 - AREA LIGHT
 - CATCH BASIN OR INLET
 - TREE STUMP & SIZE
 - DECIDUOUS TREE & TRUNK SIZE
 - SHRUBS
 - A.G. ABOVE GROUND
 - U.G. UNDER GROUND
 - C.L.F. CHAIN LINK FENCE
 - E.O.P. EDGE OF PAVEMENT
 - L.S.A. LANDSCAPED AREA
 - HT. HEIGHT
 - BLDG. BUILDING
 - B.F.P.A. BUILDING FOOTPRINT AREA
 - MON MONUMENT

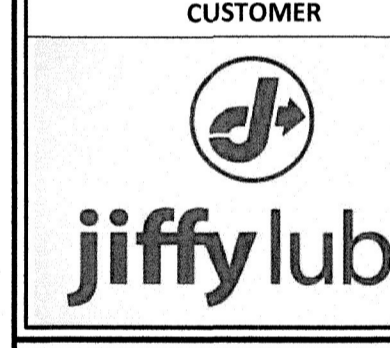
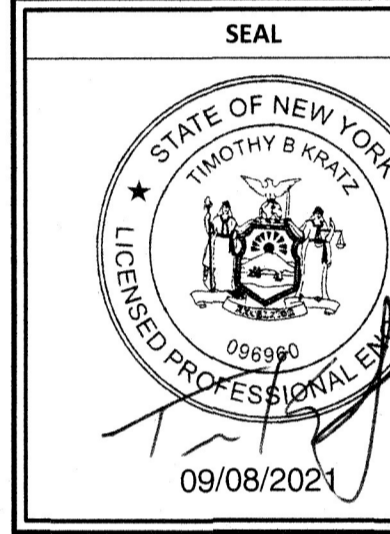
- PROPOSED SITE IMPROVEMENTS**
- TRASH ENCLOSURE, CONCRETE PAD AND PROTECTIVE BOLLARDS.
 - BITUMINOUS ASPHALT PAVEMENT.
 - CONCRETE PAVEMENT.
 - CONCRETE CURB
 - POURED CONCRETE STRUCTURE COLLAR. COORDINATE ELEVATION WITH TOP OF STRUCTURE.
 - CONCRETE SIDEWALK (WIDTH VARIES SEE PLAN).
 - VAN ACCESSIBLE PARKING SPACE WITH PAINTED ACCESSIBILITY SPACE SYMBOLS AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE.
 - ACCESSIBLE RESERVED PARKING SIGN AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE.
 - PROTECTIVE BOLLARD.
 - PYLON SIGN.
 - 4" PAINTED PARKING STRIPE, WHITE.
 - PAINTED DIRECTIONAL DRIVE ARROWS. COLOR TO MATCH PARKING STRIPING.
 - PAINTED STOP BAR. COLOR TO MATCH PARKING STRIPE.
 - STOP SIGN.
 - INTEGRAL COLOR CONCRETE APRON AND PAINTED BAY ARROWS.
 - RIGHT TURN ONLY ON EXIT SIDE OF DRIVE AISLE PER DOT STANDARDS

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - NOTIFY OWNER OF ANY DISCREPANCIES.
 - SEE SURVEY FOR EXISTING CONDITIONS.
 - ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
 - PARKING SPACES AND BUILDING ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE 516°32'18"W

REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICE**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**

(ORANGE COUNTY)

SHEET TITLE

**DIMENSION CONTROL
SITE PLAN**

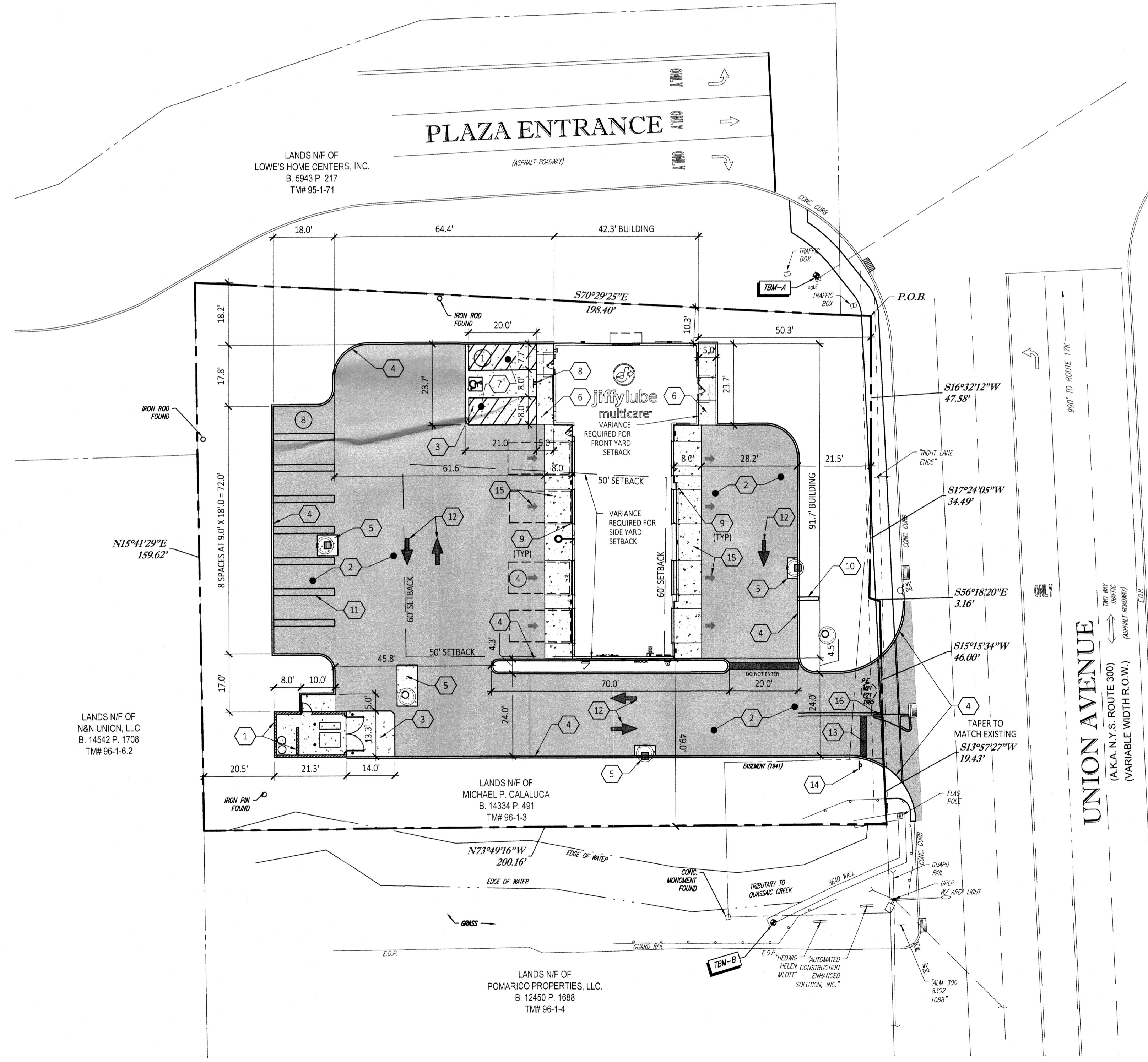
SHEET MANAGEMENT

PROJECT NO.:	154-NEW
DATE:	
CRITERIA:	V2020
PROJECT MANAGER:	M

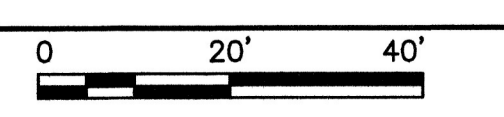
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SHEET NUMBER

C1.20



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**

(ORANGE COUNTY)

SHEET TITLE

GRADING PLAN

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: -
CRITERIA: V2020.10-1X4
PROJECT MANAGER: M. PISKO

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SHEET NUMBER

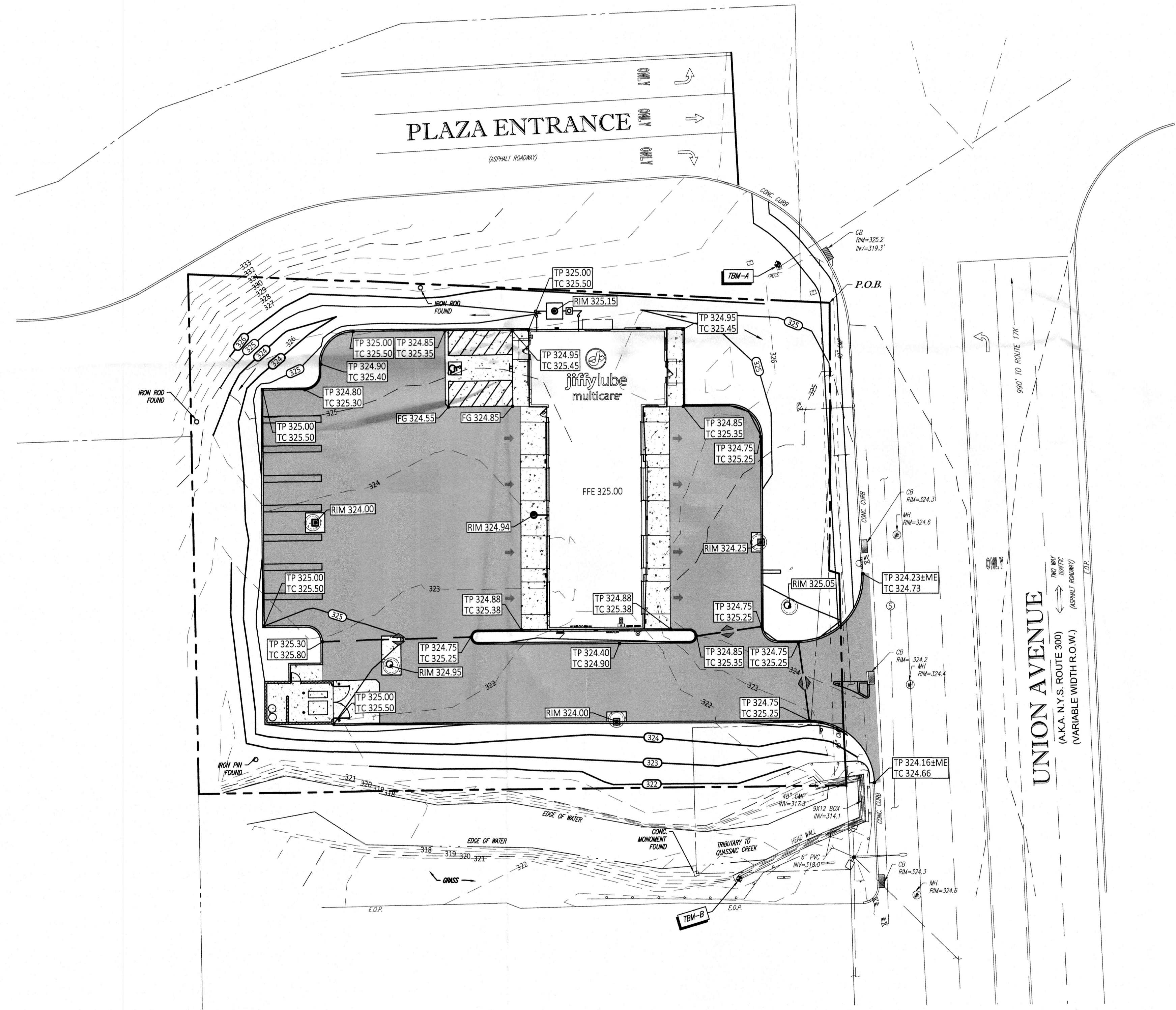
C1.30

GRADING NOTES:

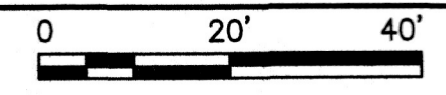
1. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
2. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
3. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
4. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
5. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
6. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
7. UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
8. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.

GRADING LEGEND:

- TG GUTTER GRADE
- TC TOP OF CURB
- BW FINISHED GRADE AT WALL
- FG FINISHED GRADE
- FL DITCH FLOW LINE
- TP TOP OF PAVEMENT
- RIM UNDERGROUND STRUCTURE RIM
- TW TOP OF WALK
- FFE FINISHED FLOOR ELEVATION
- ME MATCH EXISTING
- 2.0% PROPOSED SLOPE
- DIRECTION OF OVERLAND FLOW

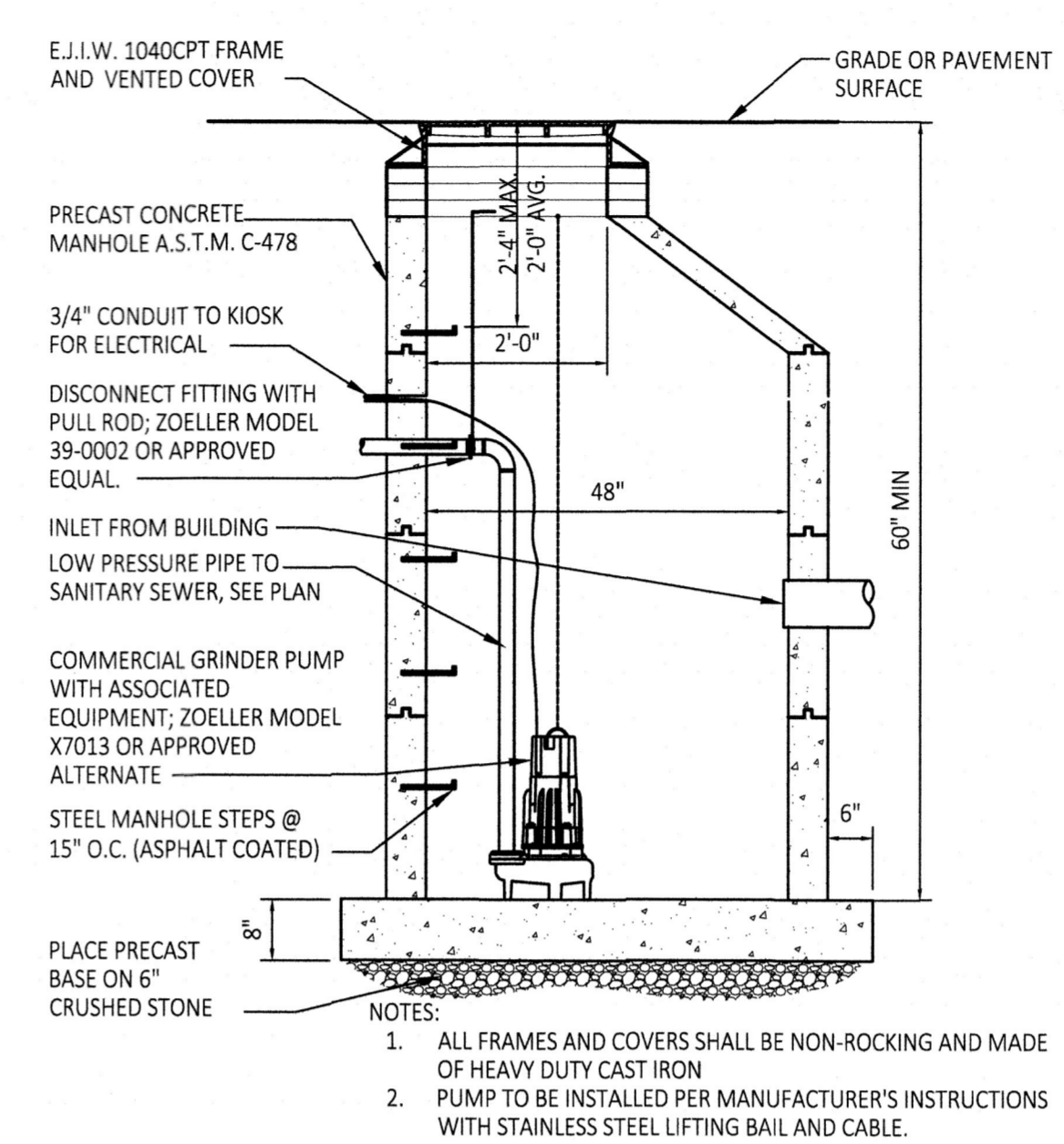
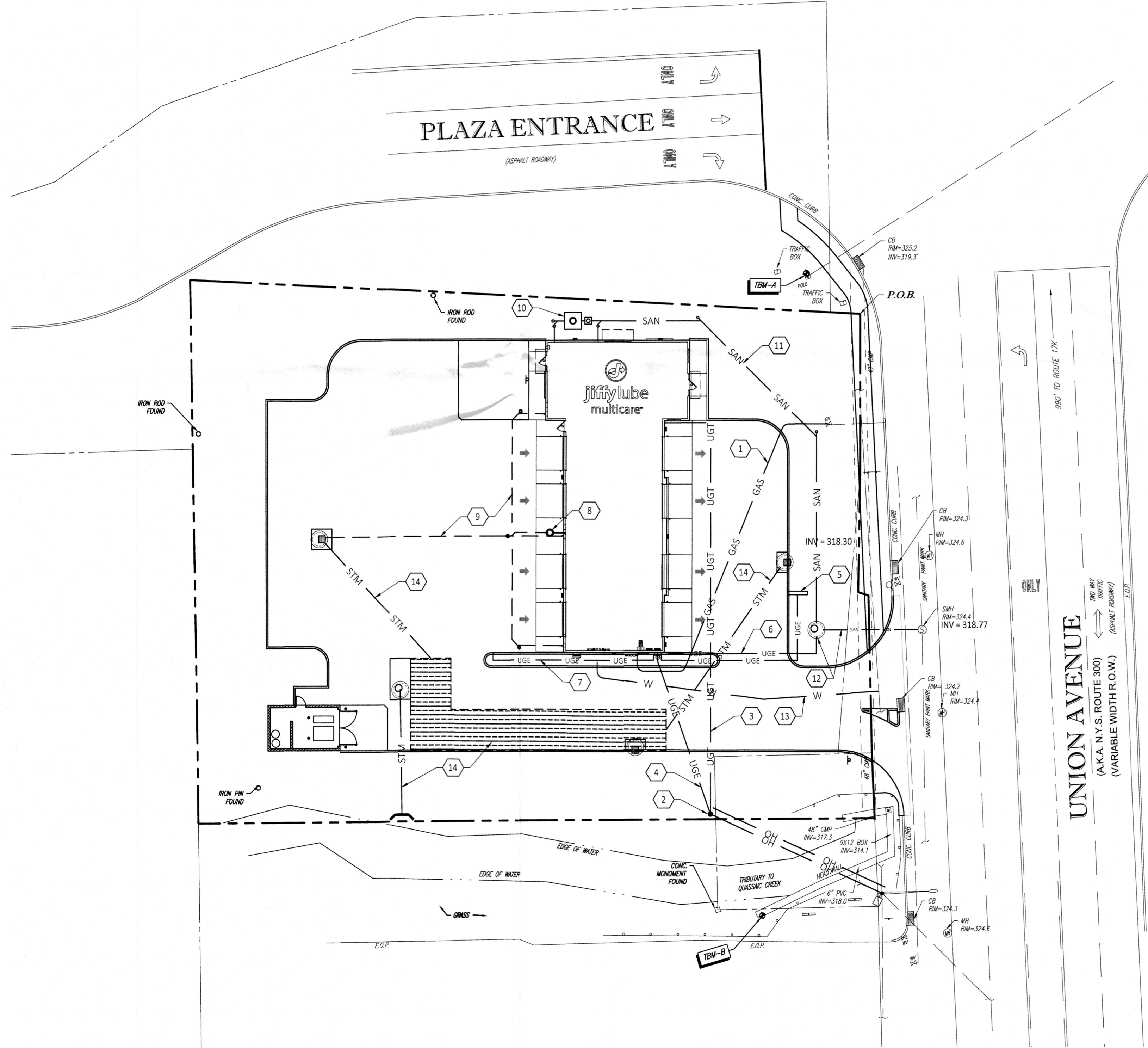


GRADING PLAN
SCALE: 1" = 20'-0"



FILE NAME: Y:\Shared\Clients\Jiffy_Lube\Projects\154 - Newburgh NY\Con Doc\1.C1.30.dwg, LAST SAVED BY: Vanderbake, Michael, SAVED DATE: 9/7/2021 5:28 PM PLOTTED: 9/8/2021 11:08 PM

FILE NAME: \\S:\Shared\Clients\Jiffy_Lube\Projects\154_Newburgh\NY\Con\Drawings\154_Newburgh\154_C1.40.dwg LAST SAVED BY: Vandenberg, Michael SAVED DATE: 9/7/2021 5:30 PM PLOTTED: 9/9/2021 12:08 PM



SANITARY MANHOLE

EXISTING:

---	124	EXISTING CONTOUR
---	125	EXISTING CONTOUR
x	123.45	EXISTING SPOT ELEVATION
x	TC 123.45	EXIST. TOP OF CURB ELEVATION
x	G 122.95	EXIST. GUTTER ELEVATION
x	TW 123.45	EXIST. TOP OF WALL ELEVATION
x	BW 122.95	EXIST. BOTTOM OF WALL ELEVATION
x	FF 123.45	EXIST. FINISHED FLOOR ELEVATION
—	OH	OVERHEAD WIRES
—	G	APPROX. LOC. UNDERGROUND GAS LINE
—	E	APPROX. LOC. UNDERGROUND ELEC. LINE
—	S	APPROX. LOC. UNDERGROUND SAN. LINE
—	W	APPROX. LOC. UNDERGROUND WATER LINE
⊕	HYDRANT	
⊕	WATER VALVE	
⊕	GV	GAS VALVE
⊕	GM	GAS METER
⊕	EM	ELECTRIC METER
⊕	SMH	SANITARY/SEWER MANHOLE
⊕	MH	UNKNOWN MANHOLE
⊕	C/O	CLEAN OUT
⊕	P	POST
⊕	UP	UTILITY POLE
⊕	UPLP	UTILITY POLE/LIGHT POLE
⊕	GUY WIRE	
⊕	TRAFFIC SIGNAL SIGN	
⊕	MAIL BOX	
⊕	METAL GUIDE RAIL	
⊕	AREA LIGHT	
⊕	CATCH BASIN OR INLET	

- PROPOSED UTILITY KEYED NOTES**
- NATURAL GAS SERVICE. 1-1/4" INCOMING PIPING. VERIFY EXISTING SERVICE LINE AND VALVE AND REUSE IF FACILITIES ARE APPROPRIATE. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND N.F.P.A. STANDARDS. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER TO VERIFY EXACT LOCATION OF SERVICE EXTENDED TO SITE. FINAL DESIGN AND INSTALLATION FEE TO BE DETERMINED BY UTILITY COMPANY ONCE A FORMAL WORK ORDER HAS BEEN SUBMITTED.
 - GENERAL CONTRACTOR TO PROVIDE AND INSTALL PRIVATE POWER POLE. TELECOM AND ELECTRIC COMPANIES TO EXTEND PRIMARY SERVICE FROM EXISTING POWER POLE AND PROVIDE POLE MOUNTED TRANSFORMER.
 - TELECOMMUNICATION SERVICE. G.C. TO PROVIDE AND INSTALL (2) 2" CONDUIT W/ PULL STRING. VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH SERVICE COMPANY BEFORE STARTING WORK. GENERAL CONTRACTOR TO COORDINATE WITH OTHER UTILITIES. UTILIZE SHARED TRENCHING IF PERMITTED AND COORDINATE ROUTING AND POINT OF CONNECTION WITH JIFFY LUBE CONSTRUCTION REPRESENTATIVE.
 - ELECTRIC SERVICE PROVIDE AND INSTALL (1) 4" SCHEDULE 40 PVC CONDUIT, (WITH TWO (2) PULL STRINGS) FOR ELECTRIC SUPPLY FROM THE TRANSFORMER TO BUILDING CONNECTION POINT. FIELD VERIFY AND COORDINATE EXACT CONDUIT ROUTING WITH THE JIFFY LUBE CONSTRUCTION REPRESENTATIVE PRIOR TO PROCEEDING. CONTRACTOR TO INSTALL SERVICE PER ALL STATE AND LOCAL CODES, POWER COMPANY, N.F.P.A., AND N.E.C. STANDARDS AND COORDINATE WITH THE POWER COMPANY TO VERIFY THE FINAL DESIGN AND INSTALLATION FEE ONCE A FORMAL WORK ORDER HAS BEEN SUBMITTED.
 - SITE SIGN. PROVIDE AND INSTALL (2) 1" PVC SCH 40 CONDUITS TO FINAL SIGN LOCATION. SEE ELECTRICAL PLANS.
 - SANITARY PUMP POWER. PROVIDE 1-1/2" P.V.C. CONDUIT TO ELECTRIC PANEL. SEE ARCHITECTURAL SHEETS FOR CIRCUITING.
 - PROVIDE AND INSTALL (1) 1" PVC SCH 40 CONDUITS FOR DRIVE SIGNAL CHIME BELT. DAYLIGHT THROUGH CURB AT GRADE. VERIFY LOCATION WITH OWNER'S CONSTRUCTION REPRESENTATIVE.
 - SUMP PIT CONNECTED TO ROOF DRAIN CONDUCTORS/STORM.
 - ROOF DRAIN CONDUCTORS.
 - OIL/WATER SEPARATOR AND MONITORING WELL. CONNECTED TO SANITARY SERVICE.
 - PROVIDE AND INSTALL 6" PVC SDR-35 SANITARY SERVICE AT MIN. 1% SLOPE WITH CLEAN-OUTS 5.0' OUTSIDE OF FOUNDATION AND AT EVERY HORIZONTAL AND VERTICAL BEND PER CLEAN-OUT DETAIL. COORDINATE LOCATION OF SANITARY SEWER LATERAL THROUGH FOUNDATION WITH STRUCTURAL DRAWINGS. MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION FROM WATER. MAKE CONNECTION TO EXISTING SANITARY MAIN PER SERVICE PROVIDER AND OR MUNICIPAL STANDARDS. SEE DETAILS ON SHEET S.02.
 - PROVIDE AND INSTALL SEWER PUMP STRUCTURE AND 2" SCH. 40 PVC LOW PRESSURE SANITARY PIPE (MIN. DEPTH 4.0'); TAP SANITARY SEWER MANHOLE. WATERTIGHT PRESSURE RATED GASKET. COORDINATE WITH THE CITY OF NEWBURGH PUBLIC UTILITIES.
 - 1 1/4" DOMESTIC WATER SERVICE. PIPING TO BE COPPER TYPE K OR OWNER APPROVED EQUIVALENT. MINIMUM BURIAL DEPTH TO BE 5.0' BELOW FINISHED GRADE. PROVIDE 18" CLEARANCE AT ALL UTILITY CROSSINGS. CONTRACTOR TO VERIFY REQUIREMENTS OF LOCAL CODES, UTILITY COMPANIES AND GOVERNING OFFICIALS. INCLUDE IN BASE BID ALL VALVES, PIPING, STRUCTURES, ETC. THAT WILL BE REQUIRED.
 - STORM WATER SYSTEM. CONVEYANCE, STORAGE AND WATER QUALITY SYSTEMS PER NYDOT REQUIREMENTS

UTILITY EASEMENT NOTE:
REFER TO THE BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY CONTROL POINT INDUSTRIAL SURVEYING FOR INFORMATION REGARDING EXISTING UTILITIES AND EASEMENTS.

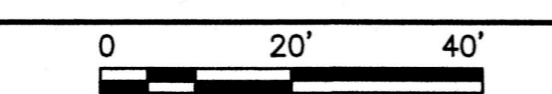
UTILITY NOTE:
IF BASEMENTS ARE INVOLVED, ALL WATER MAIN SERVICE LEADS SHALL BE PRETAPPED PRIOR TO BASEMENT EXCAVATION.

PROPOSED:

---	STM	STORM SEWER
---	SAN	SANITARY SEWER
---	W	WATER MAIN/SERVICE
---	GAS	GAS MAIN/SERVICE
---	UGE	ELECTRIC SERVICE
---	UGT	TELEPHONE SERVICE
---	OH	OVERHEAD UTILITIES
---	STM	PROPOSED UTILITIES BY OTHERS
⊕	STM	STORM MANHOLE
⊕	CB	CATCH BASIN
⊕	YB	YARD BASIN
⊕	FES	FLARED END SECTION
⊕	SMH	SANITARY MANHOLE
⊕	SC	SANITARY CLEANOUT
⊕	TR	TRANSFORMER
⊕	LP	LIGHT POLE
⊕	WV	WATER VALVE
⊕	FD	FIRE HYDRANT
⊕	FV	FUEL VENT
⊕	AT	AIR TOWER

LEGEND

UTILITY PLAN
SCALE: 1" = 20'-0"



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REVISIONS	
NO.	DESCRIPTION
0	06.21.2021 SITE PLAN REVIEW
1	09.07.2021 ZONING BOARD OF APPEALS

CONSULTANT

CUSTOMER

jiffy lube

PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**

(ORANGE COUNTY)

SHEET TITLE

UTILITY PLAN

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: V2020.10-1X4
CRITERIA: M. PISKO
PROJECT MANAGER: M. PISKO

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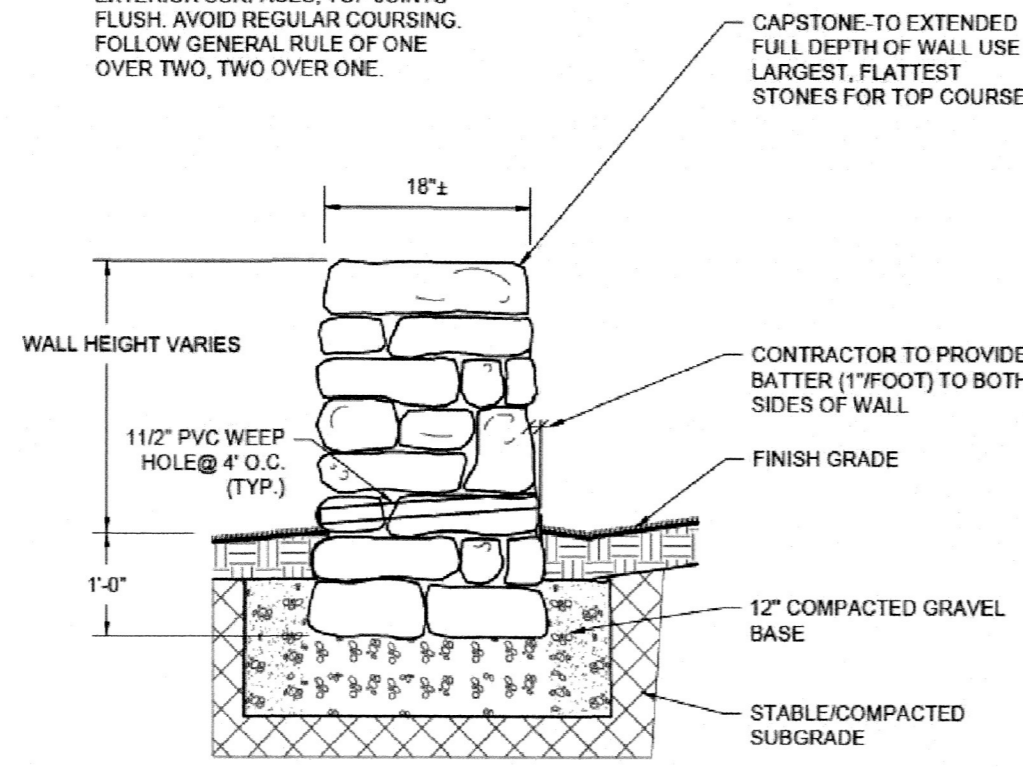
SHEET NUMBER

C1.40

PLANTING NOTES

- ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD PER PROVIDED DETAILS
- PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND TO THE QUALITY STANDARDS OF 'AMERICAN STANDARD FOR NURSERY STOCK'. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
 - A. SHADE TREES: 5 FEET
 - B. ORNAMENTAL AND EVERGREEN TREES: 10 FEET (CRAB, PINE, SPRUCE, ETC.)
 - C. SHRUBS: 4 FEET
- ALL SHRUB PLANTINGS WITHIN SITE TRIANGLE AREAS TO BE MAXIMUM HEIGHT OF 30", AND FIRST BRANCHING FOR PROPOSED TREES TO BE MINIMUM OF 7' ABOVE PROPOSED GRADES.
- PLANTINGS SHALL BE FERTILIZED UPON INSTALLATION WITH A SLOW RELEASE GRANULAR COMMERCIAL TREE/SHRUB FERTILIZER. RATE PER MANUFACTURER'S INSTRUCTIONS. FERTILIZER TO MIXED WITH BACKFILL PREVIOUSLY DESCRIBED. FERTILIZER TABLETS ARE NOT ACCEPTABLE. PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. UNACCEPTABLE PLANT MATERIAL THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOM OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.

NOTE: MORTAR SHALL BE USED TO BED ALL JOINTS. CLEAN ALL MORTAR FROM EXTERIOR SURFACES. TOP JOINTS FLUSH. AVOID REGULAR COURSING. FOLLOW GENERAL RULE OF ONE OVER TWO, TWO OVER ONE.



5 STACKED STONE WALL

SCALE: NO SCALE

LANDSCAPE CODE

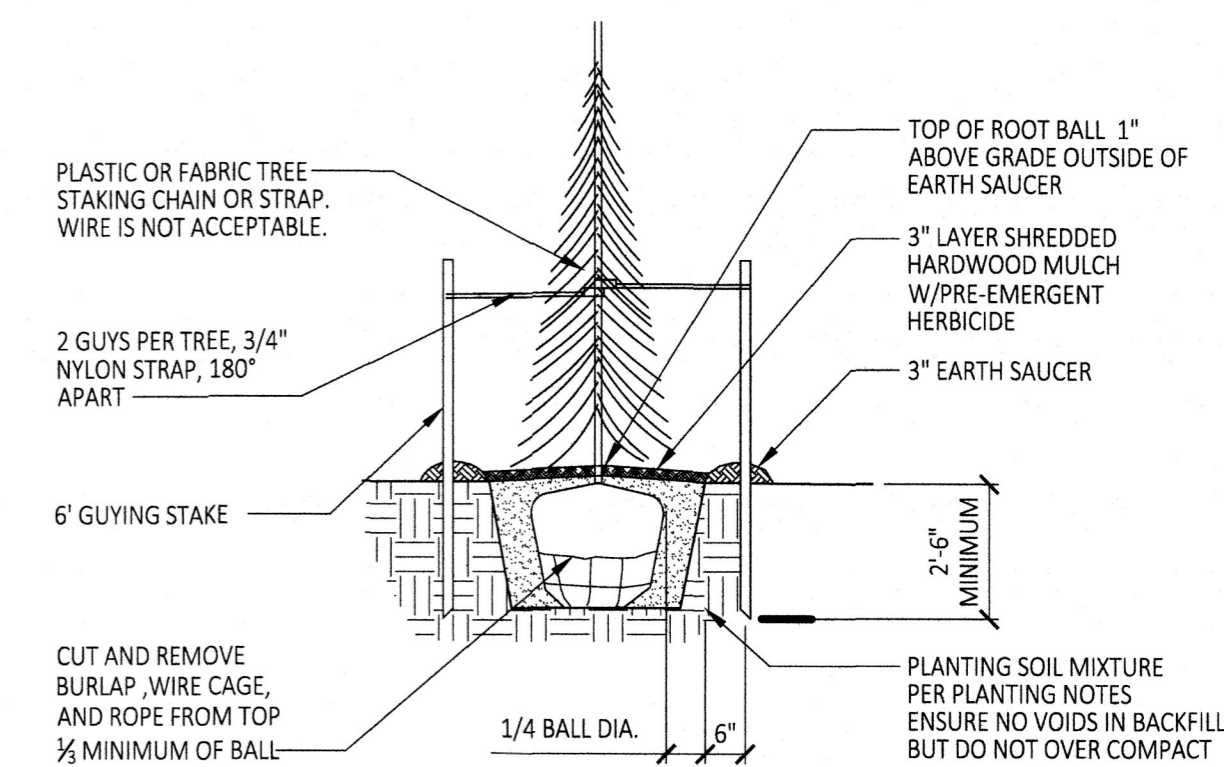
ALL OPEN PARKING AREAS SHALL BE SUITABLY LANDSCAPED. IN PARKING LOTS WITH MORE THAN 20 SPACES, AT LEAST 5% OF THE AREA OF THE PARKING LOT SHALL BE DEVOTED TO LANDSCAPING WITHIN THE INTERIOR OF THE PARKING LOT
PROPOSED DEVELOPMENT IS UNDER 20 PARKING SPACES

KEYED NOTES

- EXISTING WOODED AREA TO REMAIN. SEE TREE PROTECTION DETAIL.
- TREE PROTECTION FENCING
- STONE WALL 2.5' HIGH. SEE EXAMPLE ON THIS PLAN

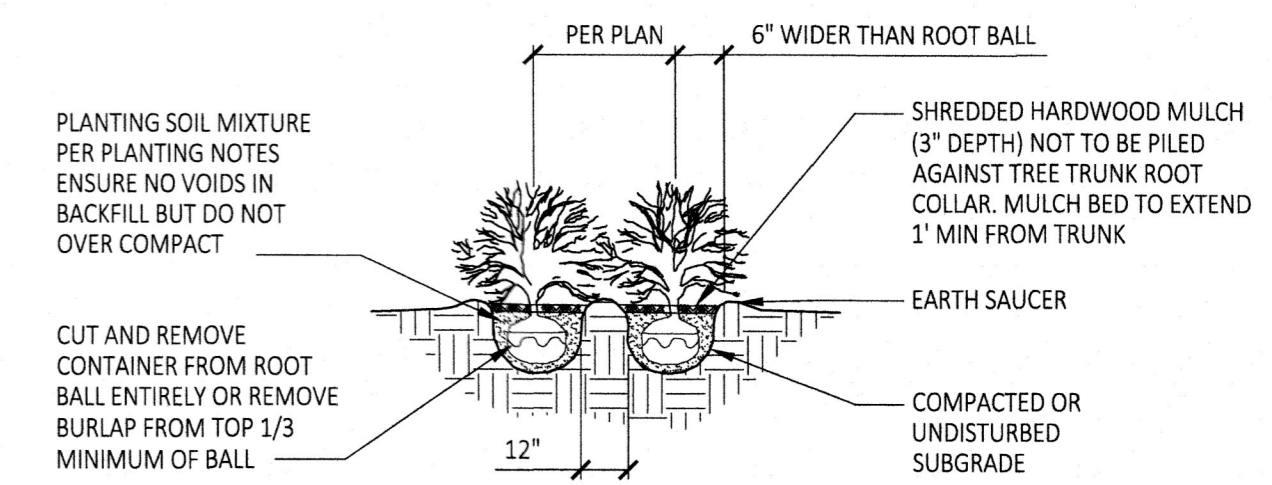
LANDSCAPE LEGEND

SYMBOL	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE CONDITION	NOTES
	18	SPIRAEA 'J. GOLDMOUND' GOLD MOUND SPIRAEA	#3 gal	FLOWERING SHRUB
	5	ILEX CRENATA COMPACTA COMPACT JAPANESE HOLLY	24" - 30" B & B	EVERGREEN SHRUB
	13	JUNIPERUS C. 'PFITZERIANA' COMPACT PFITZER JUNIPER	24" #5 gal	EVERGREEN SHRUB
	3	ARONIA A. 'BRILLANTISSIMA' RED CHOKEBERRY	36" B & B	DECIDUOUS SCREEN
	2	MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA	2" cal. B & B	ORNAMENTAL TREE
	2	GLEDTISIA TRIACANTHOS INERMIS SKYLINE HONEYLOCUST	2 1/2" - 3" cal. B & B	DECIDUOUS SHADE TREE
	3	TILIA CORDATA 'GREENSPIRE' GREEN SPIRE LIDEN	2 1/2" - 3" cal. B & B	DECIDUOUS SHADE TREE
		EXISTING TREE LINE	AS NOTED	TO BE PRESERVED. SEE TREE PROTECTION DETAIL.



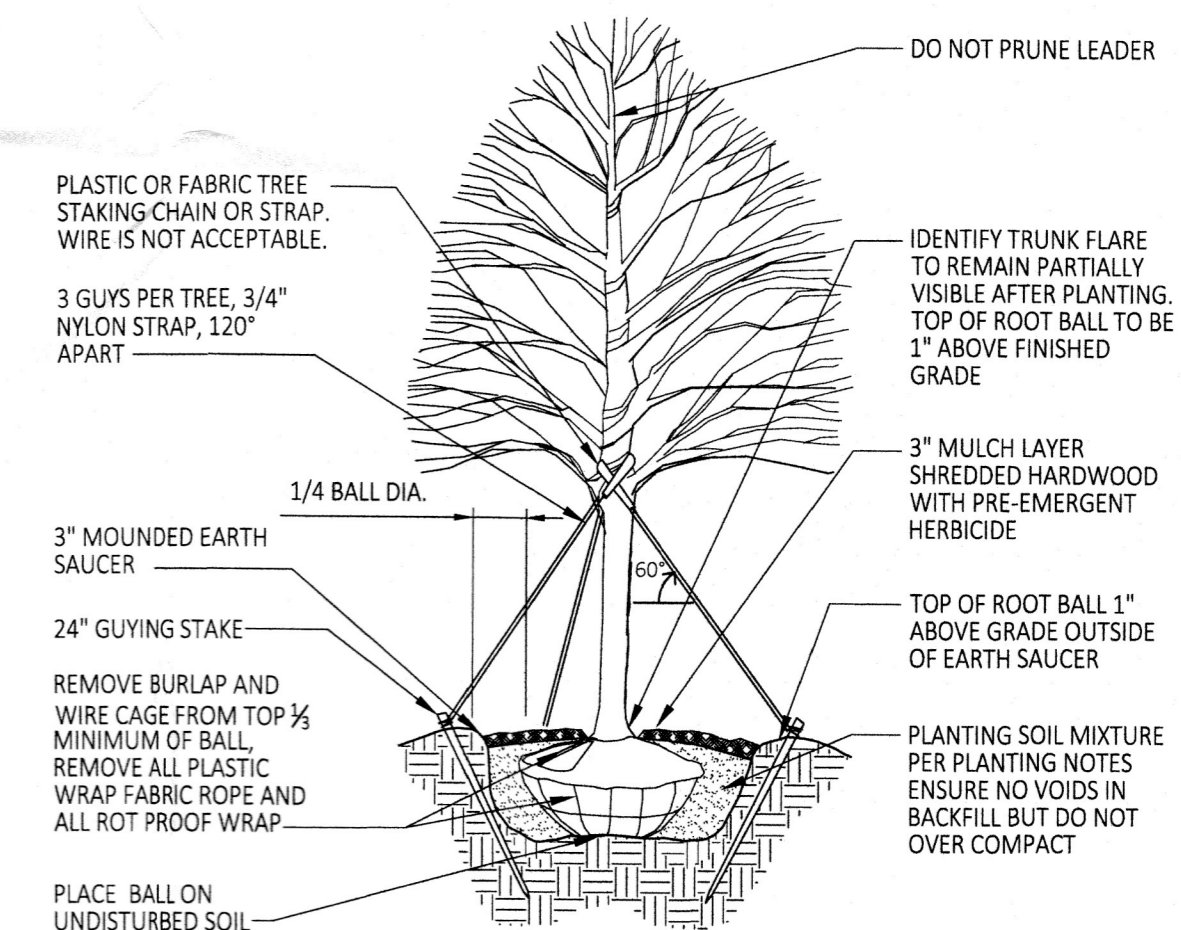
4 EVERGREEN TREE PLANTING

SCALE: NO SCALE



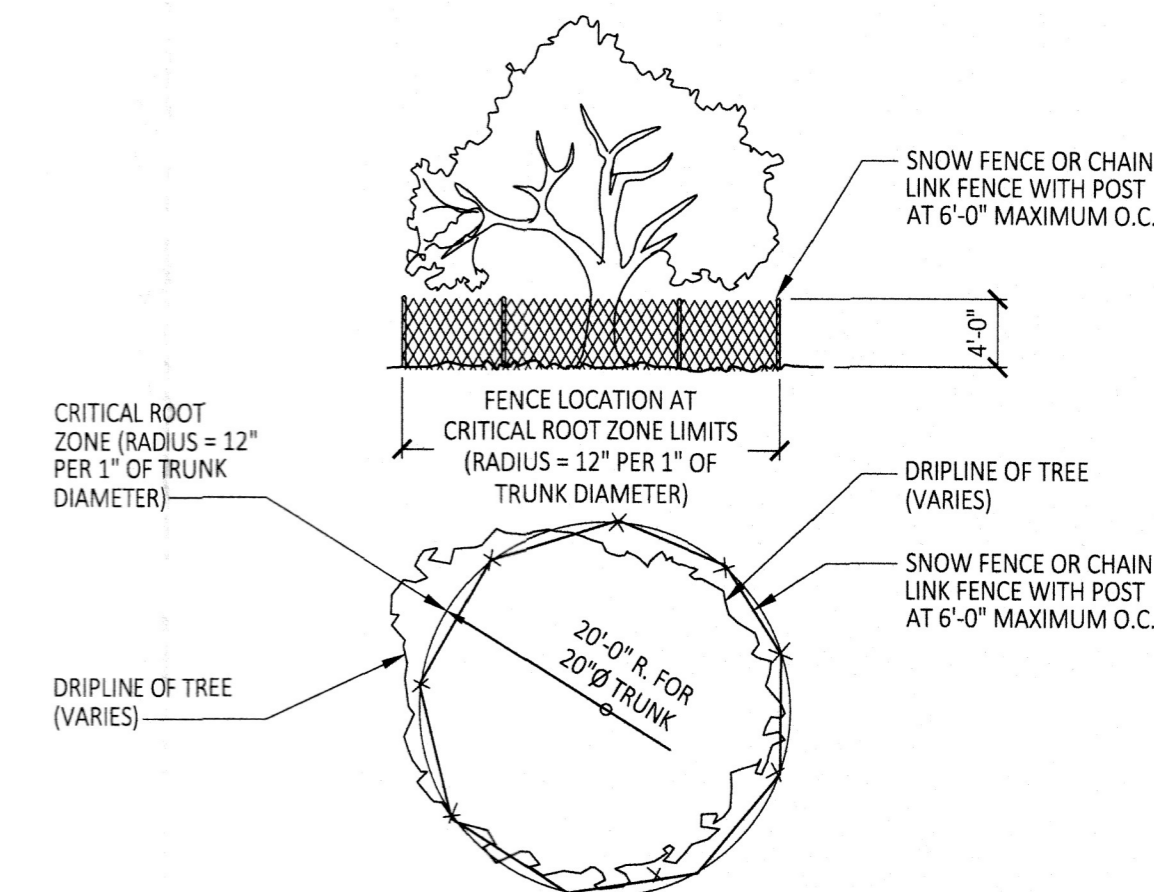
3 TYPICAL SHRUB PLANTING

SCALE: NO SCALE



2 DECIDUOUS TREE PLANTING

SCALE: NO SCALE



1 TREE PROTECTION FENCING

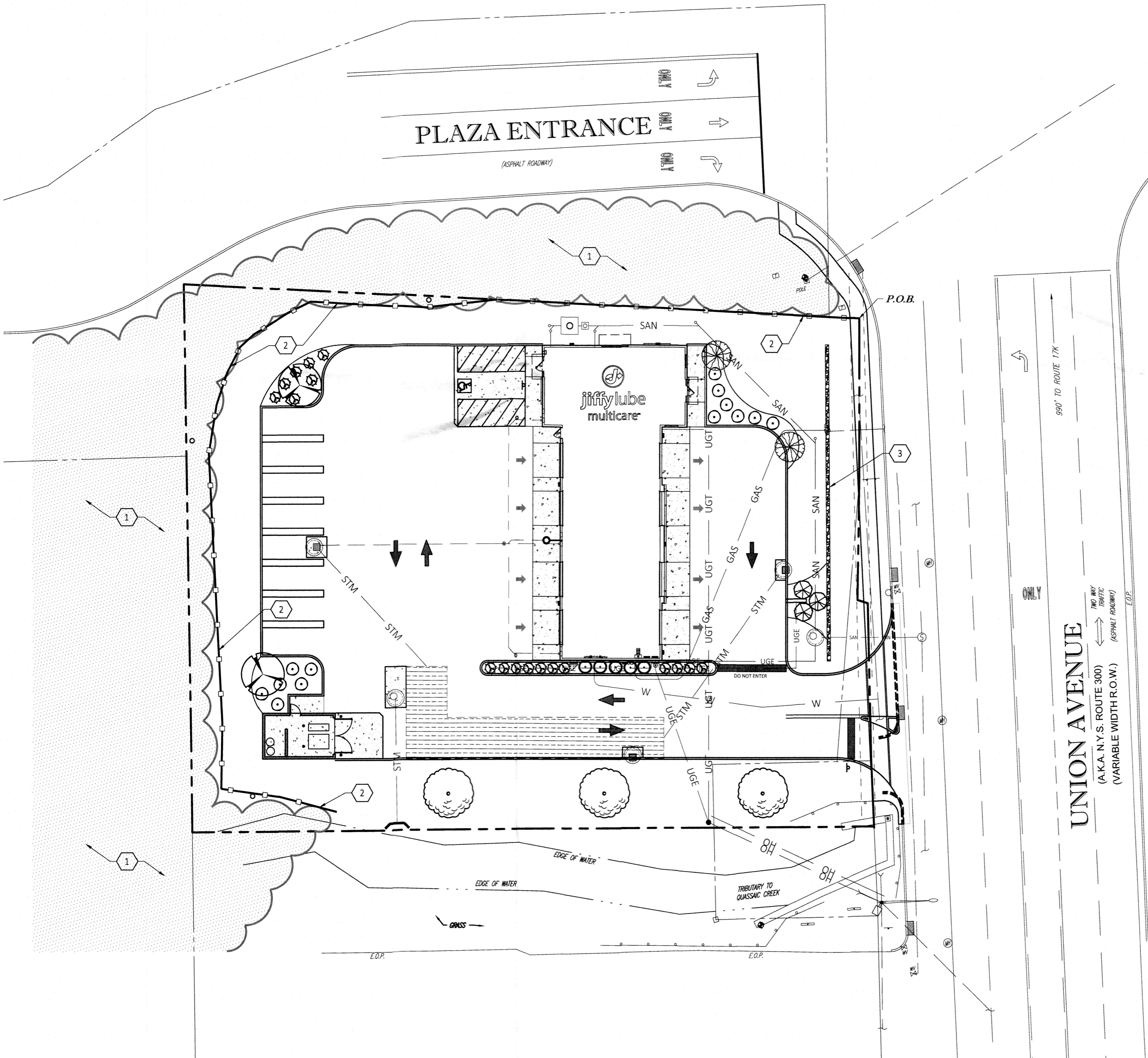
SCALE: NO SCALE

GENERAL NOTES

- AT THE TIME OF SITE PREPARATION, CONTRACTOR TEAM (GENERAL, GRADING & LANDSCAPE) TO REVIEW ALL EXISTING VEGETATION, AND TAG MATERIALS TO BE SAVED OR RELOCATED.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE. GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- LOCATE ALL UTILITIES PRIOR TO DIGGING, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES. DO NOT PLANT TREES, EVERGREENS, AND SHRUBS OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. ANY ITEM OR AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- ALL PLANTING BEDS TO RECEIVE 6" MIN. OF PREPARED BACKFILL MIX. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS TO BE BACKFILLED WITH WITH PREPARED BACKFILL MIX. PREPARED BACKFILL MIXTURES SHALL BE MIXED ON SITE, CONSISTING OF ONE PART TOPSOIL, ONE PART SOIL AMENDMENT, ONE PART SOIL FROM EXCAVATION.
- PLANT BEDS TO DRESSED WITH PRE-EMERGENT HERBICIDE AND MULCHED WITH 3" OF SHREDDED HARDWOOD WITH. SEE DETAIL THIS SHEET.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS. BEDS TO BE LAID OUT AND APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. LAWN TREES TO BE MULCHED WITH 4" DIAMETER BED WITH 3" MULCH RING
- SEED OR SOD ALL AREAS, WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SODDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED A FINISHED GRADE. SEE SOD/SEED NOTES.
- SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS WITH AN EQUITABLE ADJUSTMENT IN WHOLESALE PRICE.
- LANDSCAPING TO COMPLY WITH ALL APPLICABLE ZONING REGULATIONS OF THE CITY OF NEWBURGH.

SEEDING NOTES

- SITE PREPARATION:**
- SITE TO BE FINE GRADED BEFORE PERMANENT SEEDING OR SODDING.
 - SOIL SHALL BE LOOSENEED TO A DEPTH OF 4" INCHES BY DISCING, RAKING, ROTOTILLING OR OTHER ACCEPTABLE MEANS. AND RAKED SMOOTH AND FREE OF ROOTS AND STONES OVER 1" Ø.
 - ENSURE PROPER DRAINAGE AND CHANNEL FLOW PROTECTION
- SEED INSTALLATION**
- APPLY STARTER FERTILIZER AT TIME OF SEEDING AT RATE RECOMMENDED BY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL WATERING.
 - SEED WITH COMMERCIAL TURF BLEND FROM APPROVED DOT LIST OF MIXTURES
 - MAXIMUM SEEDING DEPTH SHOULD BE 1/4 INCH ON CLAY SOILS AND 1/2 INCH ON SANDY SOILS. WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION, STRAW MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING (NON HYDROSEEDING). AT A RATE OF 140 LBS. ± (2 BALES) PER 1000 SF. MULCH MAY BE APPLIED BY HAND OR WITH A BLOWER.
 - MULCH SHALL BE CLEAN, WELL SEASONED STRAW FREE OF SEEDS OR ROOTS OF NOXIOUS WEEDS
 - IF HYDROSEEDING IS USED AND THE SEED, FERTILIZER AND MULCH ARE MIXED, THEY WILL BE MIXED ON SITE AND SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION. MULCH FOR HYDROSEEDING SHALL BE WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000 LBS. / ACRE.
- MAINTENANCE:**
- WATER 1 INCH MIN. WITHIN THE FIRST HOUR OF SOD OR SEED INSTALLATION BEGIN IRRIGATION SYSTEM DURING THE FOLLOWING 3 DAYS KEEPING THE SODDED OR SEEDED AREA MOIST.
 - CONTINUED MAINTENANCE (MOWING, FERTILIZATION, WEEDING, ECT.) OF THE SODDED OR SEEDED AREA SHOULD BE PROVIDED BY A PROFESSIONAL LANDSCAPE MAINTENANCE CONTRACTOR.



LANDSCAPE PLAN

SCALE: 1" = 20'-0"

0 20' 40'

REVISIONS

NO.	DATE	DESCRIPTION
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**

(ORANGE COUNTY)

SHEET TITLE

**LANDSCAPE PLAN,
NOTES AND SCHEDULE**

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: V2020.10-134
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PISKO

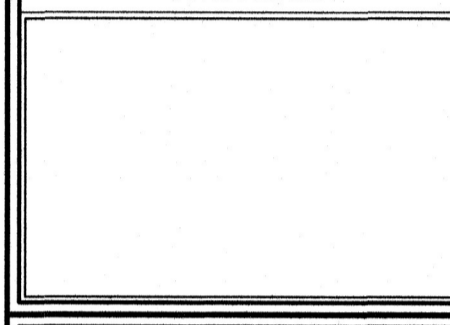
SHEET NUMBER

L1.20

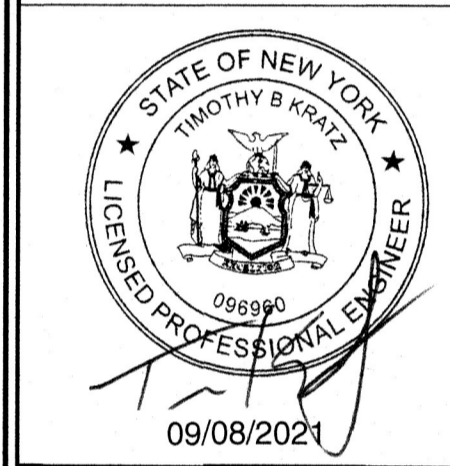
REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550**
(ORANGE COUNTY)

SHEET TITLE

SITE PLAN - SIGNS

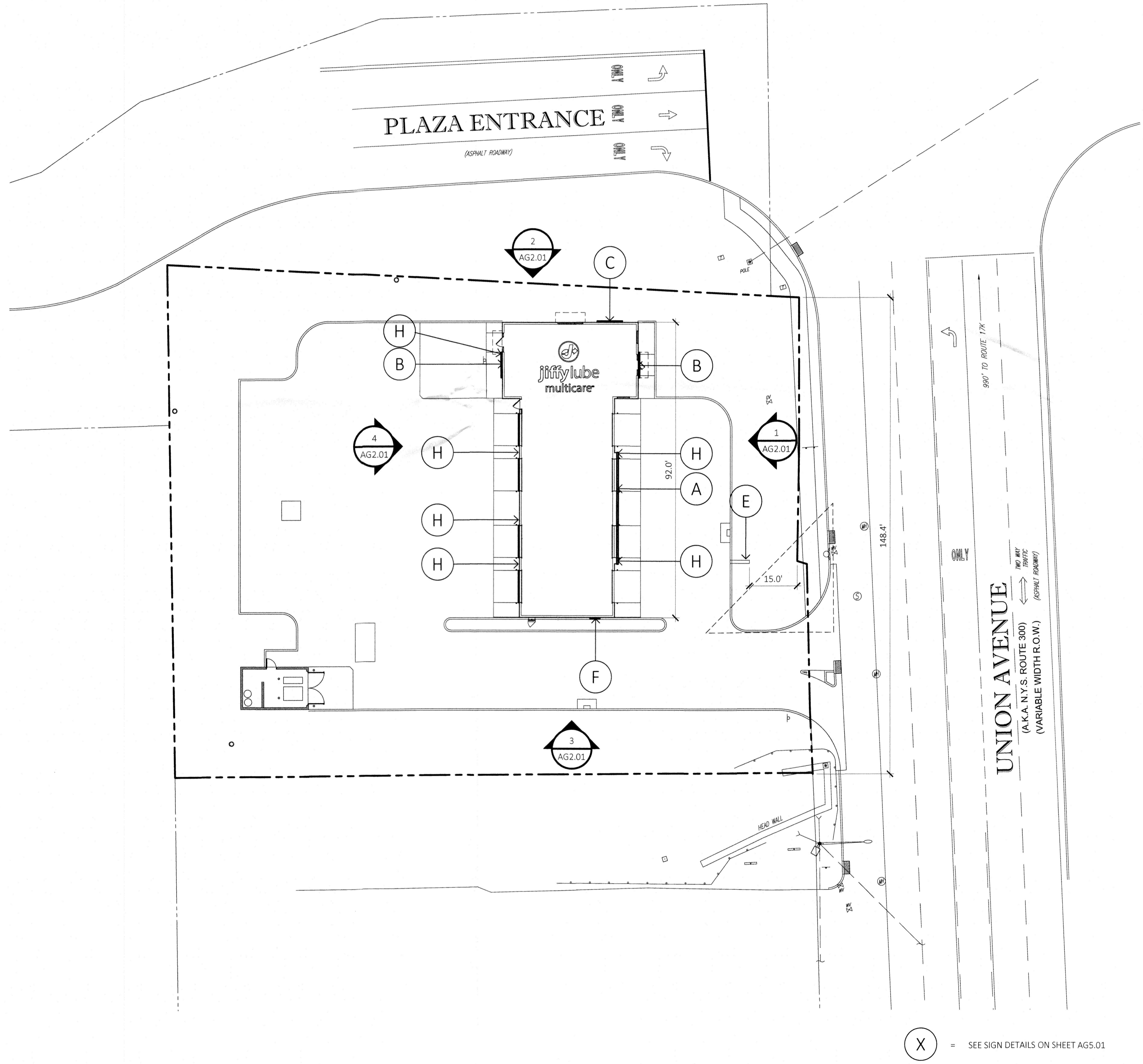
SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: -
CRITERIA: V2020.10-1X4
PROJECT MANAGER: M. PISKO

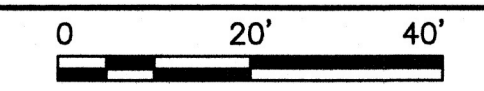
SHEET NUMBER

AG1.01

SIGNS: ZONING IB - INTERCHANGE BUSINESS				
PYLON SIGN: ALLOWED; YES				
	MAXIMUM:	PROVIDED:	CODE:	VARIANCE
AREA:	60 S.F.	37 S.F.	185.14.N.2	NO
HEIGHT:	35.0'	25.0'		
SETBACK:	FRONT: WITHIN 15.0' OF FRONT PROPERTY LINE	15.0'		
NUMBER OF SIGNS	1	1		NO
ELECTRONIC MESSAGE DISPLAY: ALLOWED WITH SPECIAL USE APPROVAL				
AREA:	LESS THAN 1/4 AREA OF SIGN = 11 S.F.	9 S.F.	185.14.P.2	NO
BUILDING SIGNS: ALLOWED: YES - SECTION 185.14.N				
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE
FRONT ELEVATION	SIGN - A	PER TOTAL	28 S.F. 7 S.F.	NO
	SIGN - B	PER TOTAL	38.0'	NO
SIDE ELEVATION (NORTH)	SIGN - C	PER TOTAL	30 S.F.	NO
SIDE ELEVATION (SOUTH)	SIGN - F	PER TOTAL	9 S.F.	NO
REAR ELEVATION	SIGN - B	PER TOTAL	38 S.F.	NO
TOTAL ALLOWED ON BUILDING:		92 S.F.	150 S.F.	YES
DIRECTIONAL SIGNS	SIGN - H	4 S.F. DIRECTIONAL SIGN AREA	5.32 S.F.	YES



SITE PLAN - SIGNS
SCALE: 1" = 20'-0"



FILE NAME: Y:\Shared\Clients\Jiffy Lube\Projects\154_Newburgh\NY\Com\Drawings\AG1.01.dwg LAST SAVED BY: Vandierbeke, Michael SAVED DATE: 9/8/2021 11:45 AM PLOTTED: 9/8/2021 12:09 PM

REVISIONS

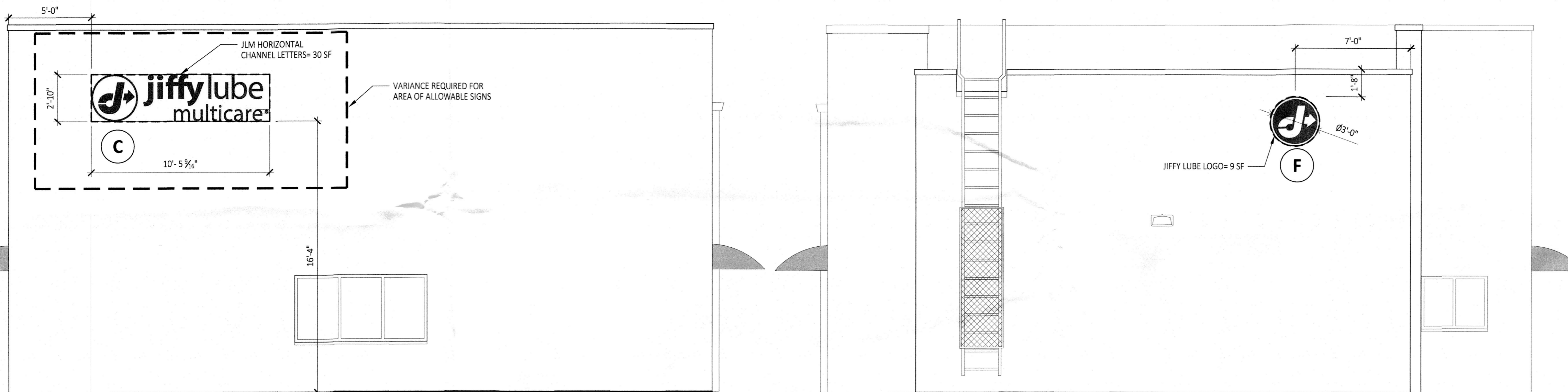
NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

BUILDING SIGNS: ALLOWED: YES - SECTION 185.14.N				
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE
FRONT ELEVATION	SIGN - A	PER TOTAL	28 S.F. 7 S.F.	NO
	SIGN - B	PER TOTAL	38.0'	NO
SIDE ELEVATION (NORTH)	SIGN - C	PER TOTAL	30 S.F.	NO
SIDE ELEVATION (SOUTH)	SIGN - F	PER TOTAL	9 S.F.	NO
REAR ELEVATION	SIGN - B	PER TOTAL	38 S.F.	NO
TOTAL ALLOWED ON BUILDING:			92 S.F. 150 S.F.	YES
DIRECTIONAL SIGNS	SIGN - H	4 S.F. DIRECTIONAL	5.32 S.F.	YES



4 REAR ELEVATION (WEST)

AG2.01 SCALE: 1/4" = 1'-0"

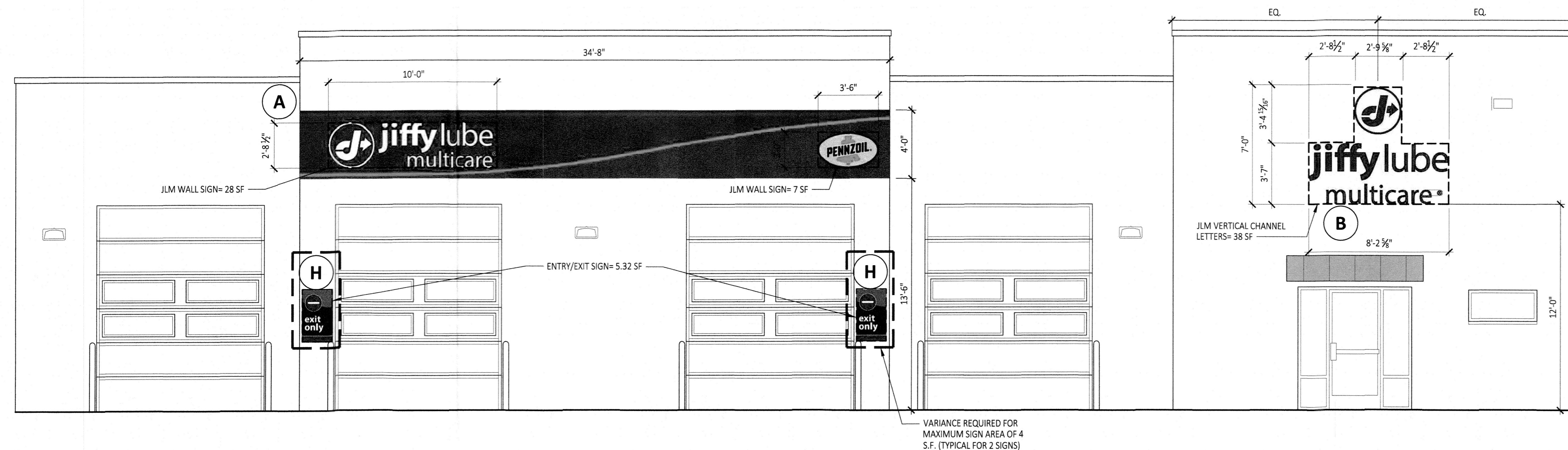


2 SIDE ELEVATION (NORTH)

AG2.01 SCALE: 1/4" = 1'-0"

3 SIDE ELEVATION (SOUTH)

AG2.01 SCALE: 1/4" = 1'-0"

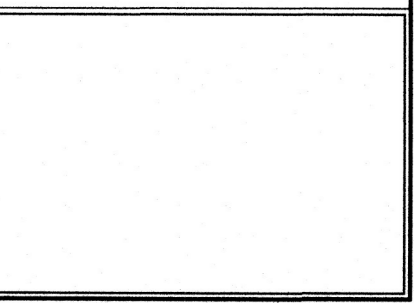


1 FRONT ELEVATION (EAST)

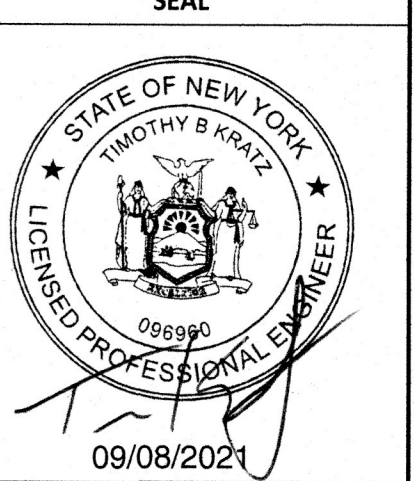
AG2.01 SCALE: 1/4" = 1'-0"

- 1. FIREWORKS RED SW 6867
- 2. COLONIAL REVIVAL SW 2827
- 3. PURE WHITE SW 7005
- 4. CARMINE RED SW 2905

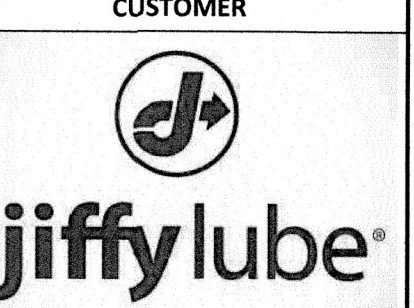
CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

1231 STATE ROUTE 300
NEWBURGH, NY 12550
(ORANGE COUNTY)

SHEET TITLE

SIGN ELEVATIONS

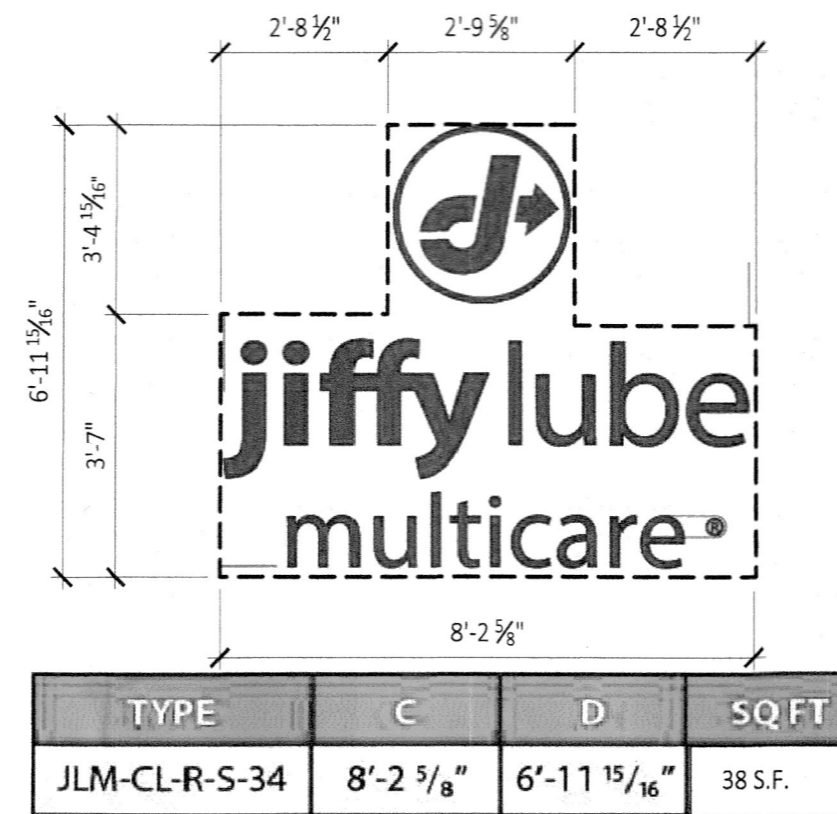
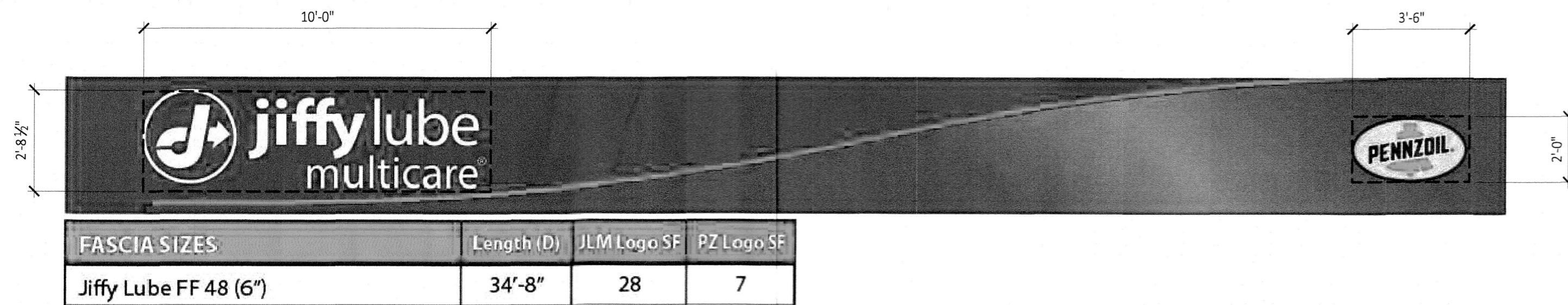
SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: V2020.10-1X4
CRITERIA: M. PISKO
PROJECT MANAGER: M. PISKO
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SHEET NUMBER

AG2.01

JIFFY LUBE MULTICARE SIGN TYPES

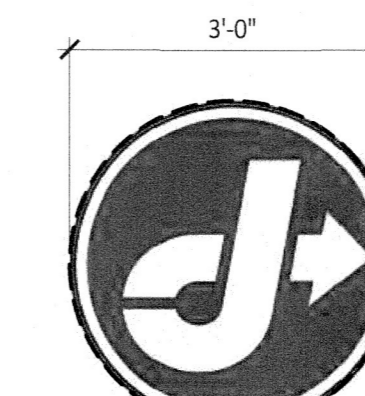
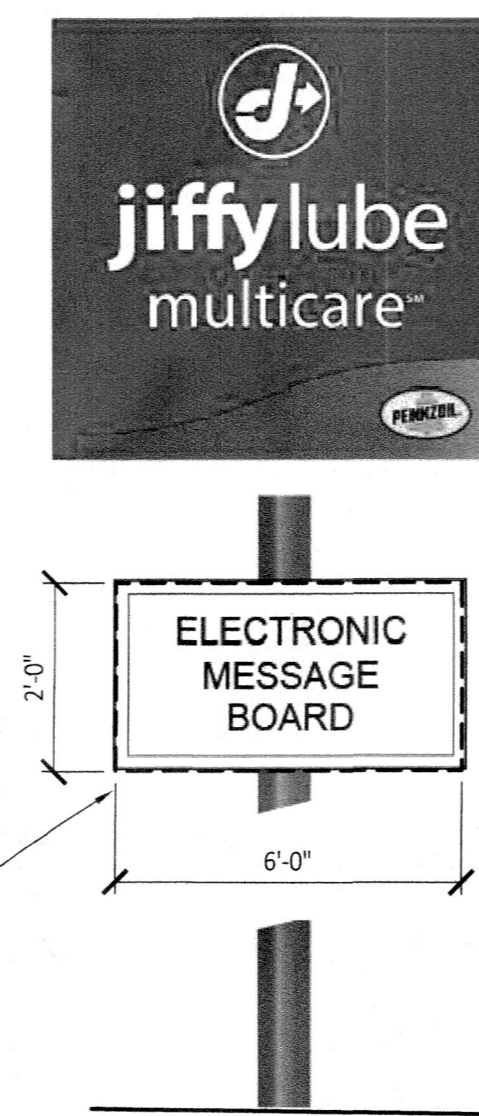
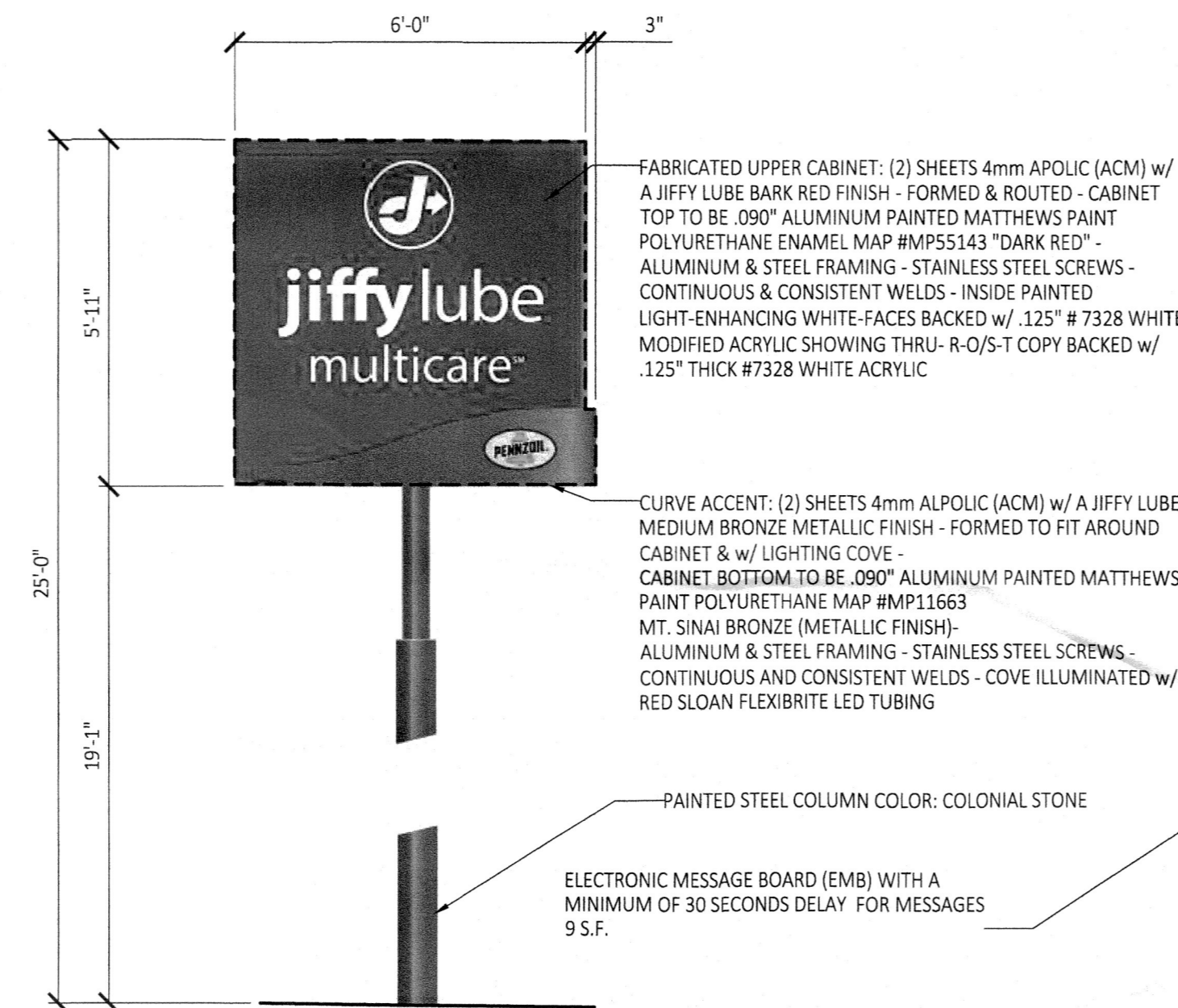
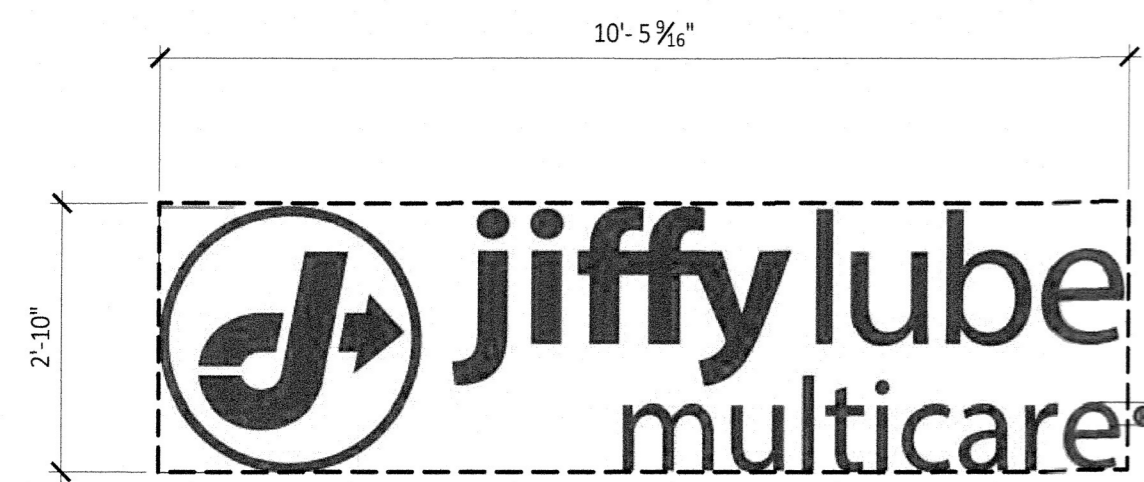


BUILDING SIGNS: ALLOWED: YES - SECTION 185.14.N

ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE
FRONT ELEVATION	SIGN - A	PER TOTAL	28 S.F. 7 S.F.	NO
	SIGN - B	PER TOTAL	38.0'	NO
SIDE ELEVATION (NORTH)	SIGN - C	PER TOTAL	30 S.F.	NO
SIDE ELEVATION (SOUTH)	SIGN - F	PER TOTAL	9 S.F.	NO
REAR ELEVATION	SIGN - B	PER TOTAL	38 S.F.	NO
TOTAL ALLOWED ON BUILDING:		92 S.F.	150 S.F.	YES
DIRECTIONAL SIGNS	SIGN - H	4 S.F. DIRECTIONAL	5.32 S.F.	YES

A FASCIA PANEL

B JIFFY LUBE MULTICARE - VERTICAL CHANNEL LETTERS



TYPE	DIA	SF
JLM-IL-W-36	3'-0"	9

C JIFFY LUBE MULTICARE - HORIZONTAL CHANNEL LETTERS

F JIFFY LUBE MULTICARE BUTTON SIGN

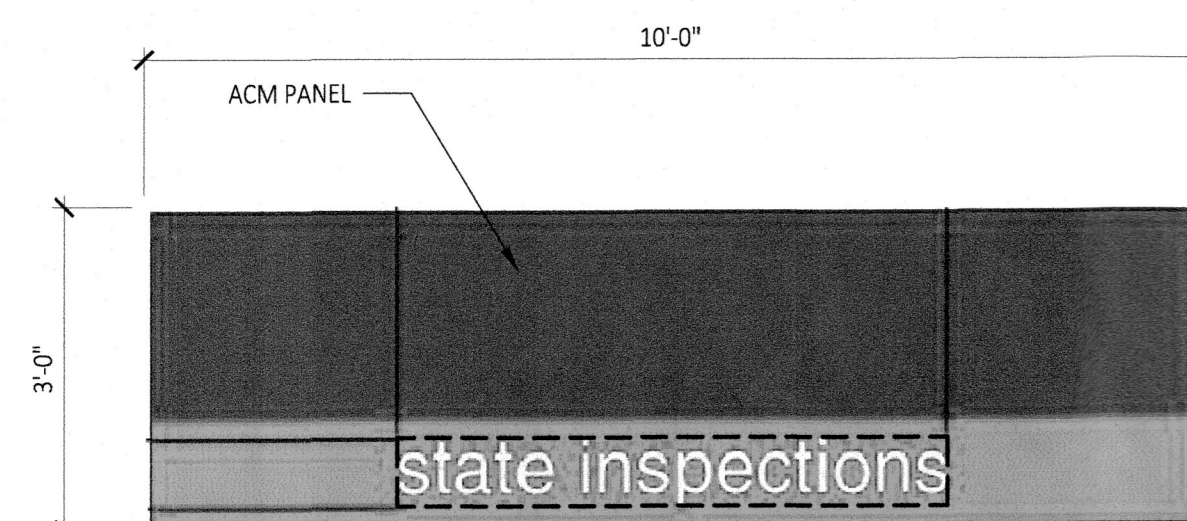
Jiffy Lube Multicare Pylon Sign

Jiffy Lube Multicare Pylon EMB

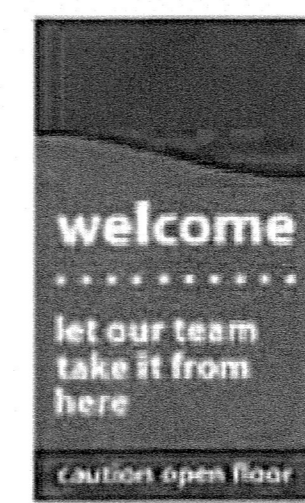
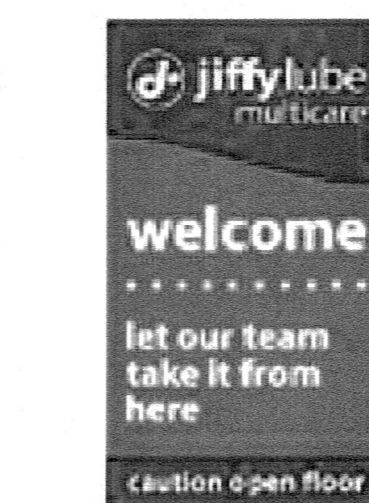
TYPE	C	D	SQ.FT
JLM-CL-R-22	5'-11"	6'-0"	37

D JIFFY LUBE MULTICARE PYLON SIGN

SAFETY/SERVICE SIGNS



STATE INSPECTIONS: N/A
OIL CHANGES: 2.05 S.F. (LETTERS)
BRAKES: 0.95 S.F. (LETTERS)
TIRES: 0.70 S.F. (LETTERS)



Entry/ Exit Signs
1'-9" x 3'-0 1/2"

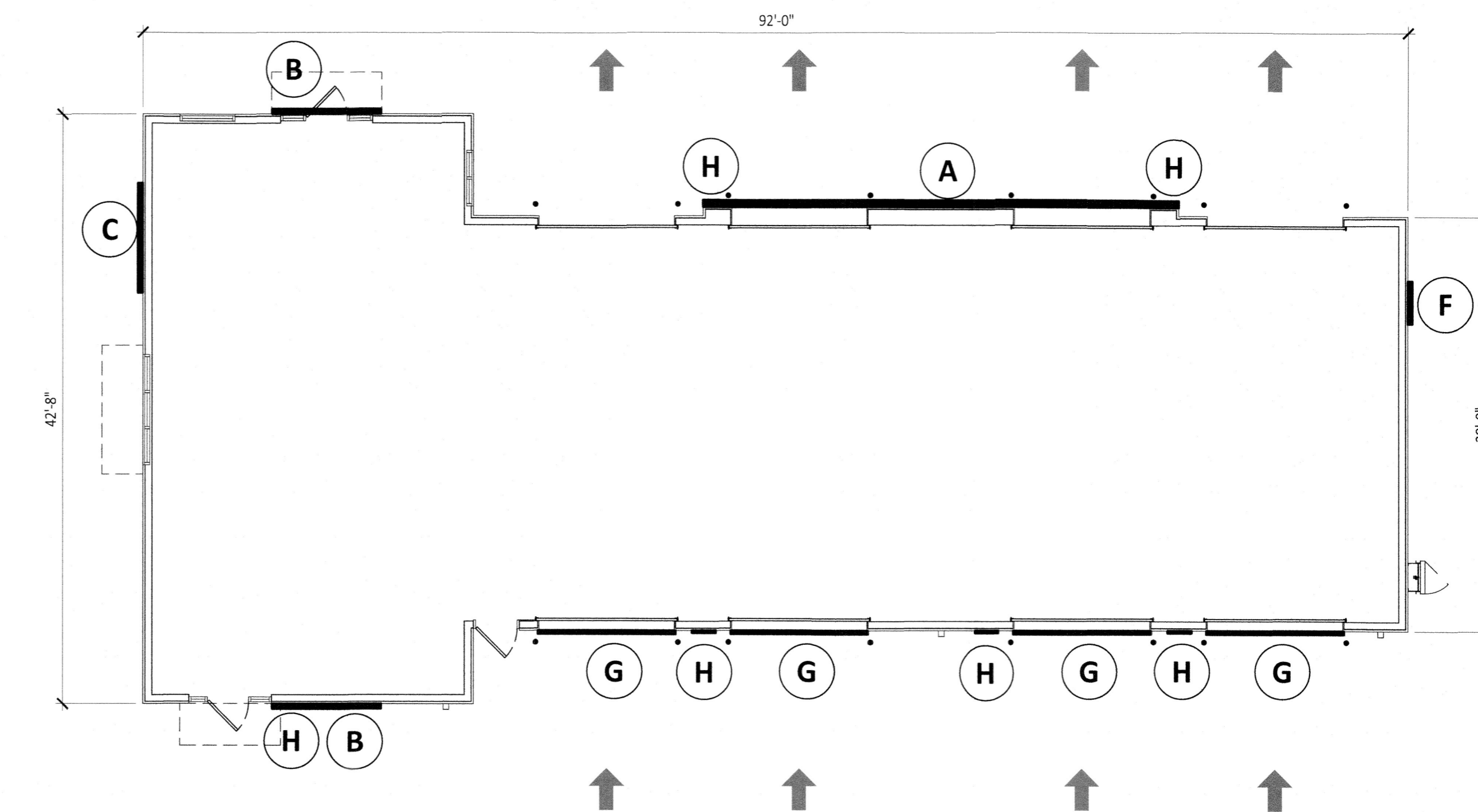
- 1. FIREWORKS RED SW 6867
- 2. COLONIAL REVIVAL SW 2827
- 3. PURE WHITE SW 7005
- 4. CARMINE RED SW 2905

G BAY PANELS WITH DIRECTIONAL TEXT

H ENTRY / EXIT SIGNS

SIGN COLORS

SIGN KEY PLAN
SCALE: 1/8" = 1'-0"



sevan ENGINEERING

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Downers Grove, IL 60515
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INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARITY

REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.2021	SITE PLAN REVIEW
1	09.07.2021	ZONING BOARD OF APPEALS

CONSULTANT

SEAL

STATE OF NEW YORK
TIMOTHY B. KRITZ
LICENSED PROFESSIONAL ENGINEER
06999
09/08/2021

CUSTOMER

jiffy lube

PROJECT DESCRIPTION

JIFFY LUBE MULTI-CARE SERVICES

PROJECT LOCATION

1231 STATE ROUTE 300
NEWBURGH, NY 12550
(ORANGE COUNTY)

SHEET TITLE

SIGN DETAILS

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: V2020.10-1X4
CRITERIA: V2020.10-1X4
PROJECT MANAGER: M. PISKO

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SHEET NUMBER

AG5.01

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