



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** RIVIAN AUTOMOTIVE  
**PROJECT NO.:** 2021-35  
**PROJECT LOCATION:** SECTION 96, BLOCK 1, LOT 6.2  
**REVIEW DATE:** 30 DECEMBER 2021  
**MEETING DATE:** 6 JANUARY 2021  
**PROJECT REPRESENTATIVE:** GPD ENGINEERING & ARCHITECTURE

1. The Planning Board may wish to request additional detail on the site to identify the structures and their current uses. In addition, the Town roads should be depicted in the vicinity of the project along with site access drives.
2. The parking analysis should be submitted identifying that sufficient non-electric vehicle charging areas are available based on the use of the site as a shopping center. Currently the site contains designated Tesla charging stations. This application proposes 6 parking spaces designated for electric vehicle charging.
3. Color renderings of the facility should be provided for the Board's review.
4. Planning Board should discuss whether project must be submitted to Orange County Planning Department being within 500 feet of a State Highway.
5. The applicant is requested to identify if the type of CMU block utilized for the lower retaining wall. Will split faced or other architectural covered block be utilized to match existing Site Plan.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal

PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

**TOWN OF NEWBURGH PLANNING BOARD**

**APPLICATION PACKAGE**

**for**

**SUBDIVISIONS,**

**SITE PLANS,**

**LOT LINE CHANGES**

**And**

**SPECIAL EXCEPTION USE PERMITS**

**Procedures and Requirements**

**July 2013**

**TOWN OF NEWBURGH PLANNING BOARD  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550  
(845) 564-7804  
fax: (845) 564-7802  
[planningboard@hvc.rr.com](mailto:planningboard@hvc.rr.com)**

**JULY 2013**

**TO WHOM IT MAY CONCERN:**

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman  
Town of Newburgh Planning Board

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO: \_\_\_\_\_**  
**(Application fee returnable with this application)**

**1. Title of Subdivision/Site Plan (Project name):**

Rivian - Newburgh, NY

**2. Owner of Lands to be reviewed:**

**Name** N&N Union, LLC. - Attn: Nick Citera

**Address** 1217 NY 300, Newburgh, NY 12550

**Phone** 914-474-8567

**3. Applicant Information (If different than owner):**

**Name** Rivian Automotive: Ankur Doshi

**Address** 13250 Haggerty Road, Plymouth, MI 48170

**Representative** Ankur Doshi

**Phone** 717-903-5334

**Fax** \_\_\_\_\_

**Email** adoshi@rivian.com

**4. Subdivision/Site Plan prepared by:**

**Name** GPD Engineering and Architecture Professional Corporation

**Address** 520 South Main Street, Suite 2531

Akron, OH 44311

**Phone/Fax** 330-572-2100

**5. Location of lands to be reviewed:**

1219-1221 Route 300, Newburgh, NY 12550

**6. Zone** IB

**Fire District** Winona Lake

**Acreege** 10.4

**School District** 331100

**7. Tax Map: Section** 96 **Block** 1 **Lot** 6.2

**8. Project Description and Purpose of Review:**

Number of existing lots 1 Number of proposed lots 1

Lot line change N/A

Site plan review Installation of EV charging station in existing parking lot.

Clearing and grading Minor grading and installation of retaining wall for equipment.


Other No net change to parking count. Total project area of: 400 square feet.

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) Utility easements on the property. Project will not impact.

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature  Title Project Manager, Charging, Facilities

Date: 11/29/2021

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

Rivian - Newburgh, NY

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

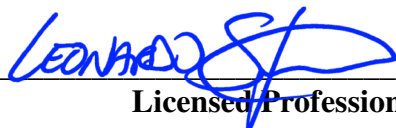
1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  X  Surveyor,s Certification
12.  X  Surveyor's seal and signature
13.  X  Name of adjoining owners
14.  X  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  X  Flood plain boundaries
16.  N/A  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  N/A  Metes and bounds of all lots
18.  X  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  X  Show existing or proposed easements (note restrictions)
20.  X  Right-of-way width and Rights of Access and Utility Placement
21.  N/A  Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  X  Lot area (in sq. ft. for each lot less than 2 acres)
23.  X  Number of lots including residual lot
24.  X  Show any existing waterways
25.  N/A  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  X  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  X  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  N/A  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  X  Show topographical data with 2 or 5 ft. contours on initial submission



30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. X Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
- 
37. X Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 
- 
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:   
Licensed Professional

Date: 11/30/21

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): 11/30/2021

## **STATEMENT TO APPLICANTS**

### **RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW**

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

**Name of applicant:** GPD Group on behalf of Rivian

**Name of owner on premises:** N&N Union, LLC

**Address of owner:** 1217 NY 300, Newburgh, NY 12550

**Telephone number of owner:** 914-474-8567

**Telephone number of applicant:** 330-572-3575

**State whether applicant is owner, lessee, agent, architect, engineer or contractor:**  
Authorized Agent for owner

**Location of land on which proposed work will be done:** \_\_\_\_\_  
1219-1221 Route 300, Newburgh, NY 12550

**Section:** 96      **Block:** 1      **Lot:** 6.2      **Sub. Div.:** \_\_\_\_\_

**Zoning District of Property:** IB      **Size of Lot:** 10.4 acres

**Area of lot to be cleared or graded:** 700 square feet

**Proposed completion of date:** \_\_\_\_\_

**Name of contractor/agent, if different than owner:** TBD - Out to Bid

**Address:** \_\_\_\_\_

**Telephone number:** \_\_\_\_\_

**Date of Planning Board Approval:** \_\_\_\_\_ (if required)

**I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.**

**Signature of owner:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Signature of applicant (if different than owner):**  \_\_\_\_\_

**TOWN ACTION:**

**Examined:** \_\_\_\_\_ **20** \_\_\_\_\_

**Approved:** \_\_\_\_\_ **20** \_\_\_\_\_

**Disapproved:** \_\_\_\_\_ **20** \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Ankur Doshi

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**APPLICANT'S NAME (printed)**



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**APPLICANTS SIGNATURE**

11/29/2021

---

**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

**(OWNER) N&N Union, LLC, Nick Citera as Member, DEPOSES AND SAYS THAT HE HAS OFFICES AT 1089 Little Britain Road, Newburgh, NY 12553**

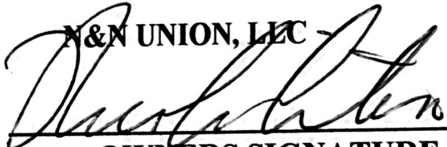
**IN THE COUNTY OF ORANGE**

**AND STATE OF NEW YORK**

**AND THAT N&N UNION, LLC IS THE OWNER IN FEE OF 1221 to 1223  
Route 300, Newburgh, NY (S-B-L-96-1-6.2)**

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND a member of Rivian IS AUTHORIZED TO  
REPRESENT THEM AT MEETINGS OF SAID BOARD.**

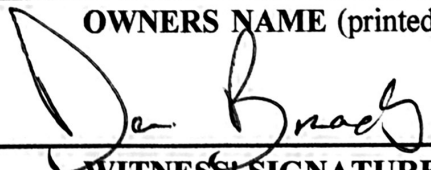
**DATED: December 7, 2021**

**N&N UNION, LLC**  
  
**OWNERS SIGNATURE**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**NAMES OF ADDITIONAL  
REPRESENTATIVES**

**Nick Citera as Member**  
**OWNERS NAME (printed)**

  
**WITNESS' SIGNATURE**

**DAMIEN BRADY**  
**WITNESS' NAME (printed)**

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

11/29/2021

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**DATED**

Ankur Doshi

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**APPLICANT'S NAME** (printed)



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**APPLICANT'S SIGNATURE**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

    X     **NONE**

                     **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

                     **TOWN BOARD**  
    X     **PLANNING BOARD**  
                     **ZONING BOARD OF APPEALS**  
                     **ZONING ENFORCEMENT OFFICER**  
                     **BUILDING INSPECTOR**  
                     **OTHER**

11/29/2021  
**DATED**

  
\_\_\_\_\_  
**INDIVIDUAL APPLICANT**

\_\_\_\_\_  
**CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)



## AGRICULTURAL NOTE

**(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)**

Property adjacent to lots ( 1 ) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

( 1 ) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

**AGRICULTURAL DATA STATEMENT**

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

**Name and address of the applicant:** Rivian Automotive: Ankur Doshi  
13250 Haggerty Road, Plymouth, MI 48170

**Description of the proposed project:** Installation of commercial electric vehicle charging station in existing parking lot.

**Location of the proposed project:** 1219-1221 Route 300, Newburgh, NY 12550

**Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:** N/A

**A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.**



**APPLICANT'S SIGNATURE**

11/29/2021

**DATE**

## **ARCHITECTURAL REVIEW**

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** 11/30/2021

**NAME OF PROJECT:** Rivian - Newburgh, NY

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

**Type (steel, wood, block, split block, etc.)**

N/A

**COLOR OF THE EXTERIOR OF BUILDING:**

Not a building

**ACCENT TRIM:**

**Location:** N/A

**Color:** N/A

**Type (material):** N/A

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

N/A

**ROOF:**

**Type (gabled, flat, etc.):** N/A

**Material (shingles, metal, tar & sand, etc.):** N/A

**Color:** N/A

**WINDOWS/SHUTTERS:**

**Color (also trim if different):** N/A

**Type:** N/A

**DOORS:**

**Color:** N/A

**Type (if different than standard door entrée):** N/A

**SIGN:**

**Color:** N/A

**Material:** N/A

**Square footage of signage of site:** N/A

Ankur Doshi, Project Manager, Charging, Facilities (applicant)

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

  
\_\_\_\_\_

**Signature**

## LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

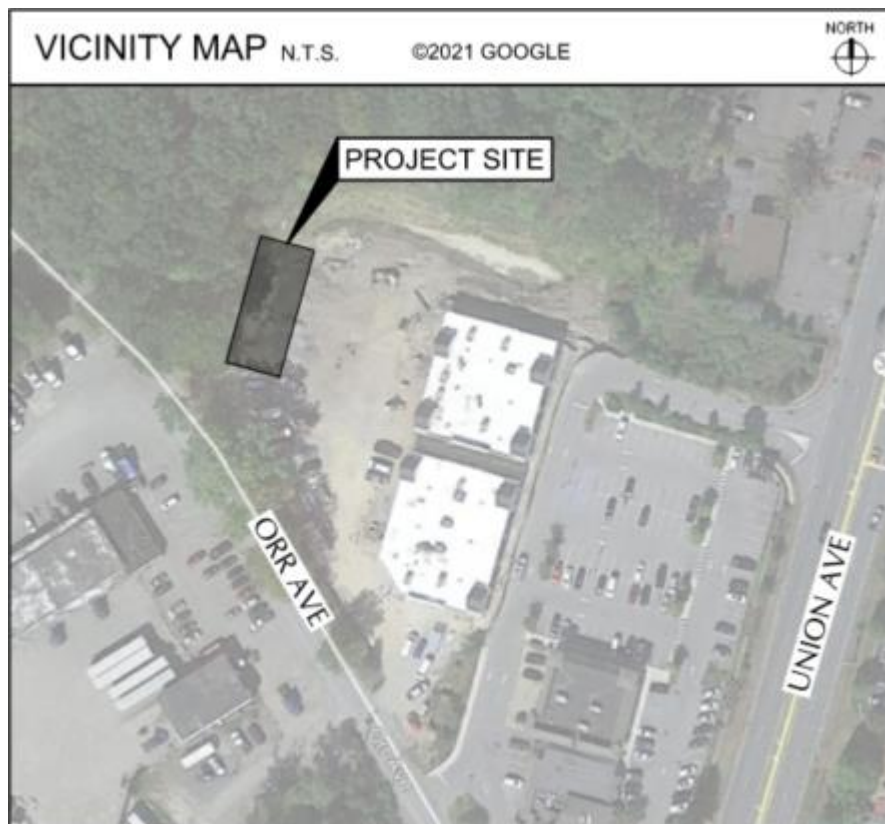
**John P. Ewasutyn**  
**Town of Newburgh Planning Board Chairman**  
**Town of Newburgh Planning Board**  
**21 Hudson Valley Professional Plaza**  
**Newburgh, NY 12550**

## Rivian EV Charging Station Justification Letter

Dear Mr. Ewasutyn and Town of Newburgh Planning Board,

Rivian Automotive (Rivian) is writing to request a site plan review by the Planning Board for the proposed installation of a commercial electric vehicle charging station in the existing parking lot at 1219-1221 Route 300 in the Town of Newburgh. The property is zoned IB: Interchange Business. The proposed use is in conformance with all required standards and criteria of the local code. This project will not have an adverse impact on the surrounding area as detailed in the below narrative.

### Project Location



## At A Glance: Newburgh, NY Rivian EV Installation

<b>Location</b>	1219-1221 Route 300, Newburgh, NY 12550
<b>Parcel Number</b>	33460009600000010062000000
<b>Parcel Size</b>	10.4 Acres
<b>Zone</b>	IB: Interchange Business
<b>Land Owner</b>	N&N Union, LLC. – Nick Citera
<b>Utility Service Territory</b>	Central Hudson Gas & Electric
<b># of Dedicated Charging Stalls</b>	6

### Existing Conditions

#### Location and Access

Located within the Shoppes at Union Square commercial center on the corner of NY 300 and Orr Avenue, the proposed project site is near major transportation routes. The project will serve the Rivian community travelling through the Town of Newburgh as well as those travelling along Interstates 87 and 84. The site is located within the IB zone and can be reached via the existing entrances located on the NY 300 and Orr Ave.

#### Property Owner

The property owner of the site is N&N Union, LLC.

#### Zoning

All parcels in the shopping center are zoned IB: Interchange Business by the Town of Newburgh. This use is consistent with the zone's permitted uses as outlined in the Town of Newburgh Code.

Rivian will comply with all local, state, and federal requirements in the permitting required for this project.

#### Current Land Use and Adjacent Areas

The site is an existing parking lot serving a small commercial shopping center. The surrounding area is home to other commercially zoned properties with undeveloped land located behind the subject property. Due to its proximity to shopping opportunities and major road networks, the proposed site is an optimal location for Rivian drivers to stop to charge their vehicles.

### Rivian Adventure Network

The Rivian Adventure Network is a planned nationwide network of Rivian DCFC charging stations meant to support Rivian drivers. The goal of the network is to allow Rivian drivers to travel long distances by providing fast, efficient, and comfortable charging for the R1T and R1S models in locations where they can stop, shop, or relax along their journey. As electric vehicles become more popular, and the Rivian brand continues to expand, the need for a robust charging infrastructure will continue to increase.



## Project Overview

This is an ideal location for a Rivian charging station due to its proximity to Interstate 87, the Town of Newburgh, and various shopping opportunities within the shopping center. The site will run 24 hours a day, 7 days a week.

In searching for charging locations, Rivian wants to offer connectivity to major road networks as well as comfortable locations that offer amenities for the Rivian community. The fundamental goal is to support long distance travel while also offering access to local amenities.

### Location

Within the existing shopping center, Rivian has chosen stalls located in the northwest corner of the parking lot which are to be considered less-prime parking stalls as they are located further from the building. This location ensures that the existing clientele base does not experience any adverse impacts from the installation and disincentivizes non-electric vehicles from parking in the Rivian EV stalls. Rivian has worked with the landowner to find the best installation location for the business while also offering a premium charging experience for EV owners.

### Interconnection

The project is in the territory of Central Hudson Gas & Electric. The electricity required for this project will be supplied from a newly installed transformer located on site as shown in the site design.

To accommodate 6 charging posts, Rivian will be installing 2 power cabinets. Electrical details for the charging units will be available in the electrical drawings included in the project plans. The installation will also include the installation of 1 switchgear.

### Justification

The Rivian charging installation will add to the overall stable and desirable environment on site and the proposed installation maintains consistency with the stated objectives of the Town of Newburgh Code. The intended use of this site is for Rivian electric vehicles to charge quickly while also providing users with ample amenities to enjoy while charging.

This project is being coordinated with Central Hudson Gas & Electric and will include the installation of a new utility transformer on site. The only public utilities needed to support this project are electrical through Central Hudson Gas & Electric.

This installation is located in the northwest corner of the existing parking area and will not have adverse impacts on surrounding properties. The surrounding properties designations are included below:

1. N of subject site: Parcel # 33460009500000010710000000; Zoning Designation: IB
2. S of subject site: Parcel # 33460009600000010050000000; Zoning Designation: IB
3. E of subject site: Parcel # 33460009500000010350000000; Zoning Designation: IB
4. W of subject site: Parcel # 33460009500000010400000000; Zoning Designation: IB

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

*i.* Total number of structures \_\_\_\_\_

*ii.* Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

*iii.* Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

*i.* Purpose of the impoundment: \_\_\_\_\_

*ii.* If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

*iii.* If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

*iv.* Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

*v.* Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

*vi.* Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

*i.* What is the purpose of the excavation or dredging? \_\_\_\_\_

*ii.* How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

*iii.* Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

*iv.* Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

*v.* What is the total area to be dredged or excavated? \_\_\_\_\_ acres

*vi.* What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

*vii.* What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

*viii.* Will the excavation require blasting?  Yes  No

*ix.* Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

*i.* Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
--	---



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database      Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database      Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site      <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

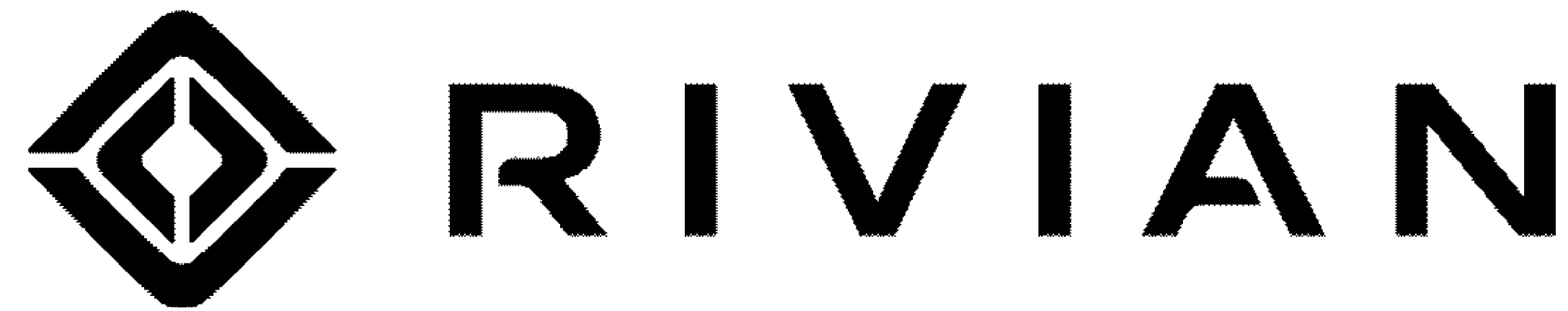
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature  \_\_\_\_\_ Title \_\_\_\_\_

# DCFC ADVENTURE NETWORK



PROJECT INFORMATION	
SITE ADDRESS	1219-1221 ROUTE 300 NEWBURGH, NY 12550 41.501014°, -74.072339°
UTILITY NAME	CENTRAL HUDSON GAS & ELECTRIC
UTILITY ADDRESS	2001 ROUTE 9W LAKE KATHRINE, NY 12449
UTILITY CONTACT INFORMATION	NATHAN K. JACKSON (845) 563-4538 NJACKSON@CENHUD.COM
RIVIAN DEPLOYMENT MANAGER CONTACT INFORMATION	ANKUR DOSHI ADOSHI@RIVIAN.COM (717) 903-5334
RIVIAN REAL ESTATE MANAGER CONTACT INFORMATION	TJ LINDSAY TLINDSAY@RIVIAN.COM (203) 644-8400
CIVIL ENGINEER OF RECORD (EOR)	LEONARD SFERRA
ELECTRICAL EOR	STEVE SCHAUB
EOR ADDRESS	520 S MAIN STREET AKRON, OHIO 44311
EOR CONTACT INFORMATION	(330) 572-2100
APN #	33460009600000010062000000
COUNTY	ORANGE
PROPERTY OWNER	N&N UNION, LLC.
PROPERTY OWNER CONTACT	NICK CITERA
AHJ CONTACT INFORMATION	TOWN OF NEWBURGH



SHEET INDEX			
SHEET	CIVIL SHEET NAME	REV	DATE
C-001	COVER SHEET	0	11/22/21
	ENGINEERING DESIGN SURVEY (BY OTHERS)		05/25/21
-	PRELIMINARY RIVIAN EQUIPMENT SPEC SHEET		08/02/21
C-002	CIVIL CONSTRUCTION NOTES	0	11/22/21
C-003	CIVIL CONSTRUCTION NOTES	0	11/22/21
C-100	OVERALL SITE PLAN	0	11/22/21
C-101	EXISTING CONDITIONS AND DEMOLITION PLAN	0	11/22/21
C-111	CIVIL SITE PLAN	0	11/22/21
C-112	DIMENSION SITE PLAN	0	11/22/21
C-113	GRADING PLAN	0	11/22/21
C-114	ELEVATION PLAN	0	11/22/21
C-115	CIVIL DETAILS	0	11/22/21
C-201	CIVIL DETAILS	0	11/22/21
C-202	CIVIL DETAILS	0	11/22/21
S-001	GENERAL STRUCTURAL NOTES	0	11/22/21
S-101	FOUNDATION PLAN AND DETAILS	0	11/22/21
SHEET	ELECTRICAL SHEET NAME	REV	DATE
E-001	ELECTRICAL GENERAL NOTES	0	11/22/21
E-002	ELECTRICAL GENERAL NOTES	0	11/22/21
E-101	ELECTRICAL SITE PLAN	0	11/22/21
E-201	SINGLE LINE DIAGRAM	0	11/22/21
E-202	PANEL SCHEDULE	0	11/22/21
E-301	ELECTRICAL DETAILS	0	11/22/21

**PLAN REPRODUCTION WARNING**  
THE PLANS HAVE BEEN PREPARED FOR PRINTING ON ANSI B (11"x17") SHEETS. PRINTING ON OTHER SIZE SHEETS MAY DISTORT SCALES. REFER TO GRAPHIC SCALES.



**PROJECT DESCRIPTION**

INSTALLATION OF (1) SWITCHGEAR, (2) POWER CABINETS, AND (6) CHARGE POSTS WITH ASSOCIATED UTILITY EQUIPMENT TO BE INSTALLED IN EXISTING PARKING LOT.

**NYSDOT SPECIFICATION**

THE STANDARD SPECIFICATIONS OF THE STATE OF NEW YORK STATE, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

**APPLICABLE CODES**

2020 BUILDING CODE OF NEW YORK STATE  
2017 NATIONAL ELECTRIC CODE (NEC)

**FLOOD HAZARD NOTE**

THE SITE IS LOCATED IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE MAP NUMBER 36071C139E, EFFECTIVE DATE - 08/03/2009X.

REV.	DATE	DESCRIPTION
A	07/08/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

WARNING - IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER THIS DOCUMENT UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

12/06/2021



DCFC ADVENTURE NETWORK  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

COVER SHEET

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

C-001

**SURVEYOR NOTES**

- This is a topographic map. This is not a boundary survey and is only intended to depict those topographic features or improvements shown. The property lines shown are approximate record lines only and are shown for graphical reference only.
- The underground utilities shown hereon are based on markings created by G.P.R.S. using ground penetrating radar on April 12, 2021, observed above ground features and/or existing drawings. The Surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The Surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The Surveyor has not physically located the underground utilities. All underground utilities should be field verified by the contractor prior to commencing any onsite work.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMitte published 5/25/2021 referencing Flood Insurance Rate Map, Map Number 36071C 0330E, effective date 08/03/2009, indicates this parcel of land is located in Zone(s) "X".
- Elevations are based on NAVD 88 datum.
- SITE BENCHMARK: TBM CUT SQUARE ON BASE OF LIGHT POLE. Elevation: 335.33 (NAVD 88).
- BASIS OF BEARINGS: GRID NORTH, STATE PLANE COORDINATE SYSTEM, NAD83, NEW YORK EAST ZONE
- Field work for this survey was completed on 05-25-2021.
- The owner names and tax parcel data shown hereon are based upon the public works records available at the original date of this survey. Current ownership and tax parcel data should be verified for accuracy.
- THE SURVEY AND RELATED EXCEPTIONS ONLY COVER THE SPECIFIC SITE FOR THE SURVEY. OTHER SITES AND RELATED EXCEPTIONS HAVE BEEN EXCLUDED FROM THIS SURVEY.
- Per the Zoning Information Report prepared by FA-CDS (888) 322 7371 - cds.solutions@firstam.com; Order No.: 21-05-0433, Dated: MAY 18, 2021; this site is zoned: B, BUSINESS

**REQUIREMENTS**  
 Minimum Front Setback: 60'  
 Minimum Side Setbacks: ONE SIDE 50' MINIMUM, BOTH SIDES: 100' MINIMUM  
 Minimum Rear Setback: 60'  
 Maximum Height: 40'  
 Minimum Lot Area: 5 ACRES  
 Minimum Lot Width: 300'  
 Minimum Lot Depth: 300'  
 Maximum Floor Area Ratio: NO REQUIREMENT NOTED  
 Maximum Coverage: 30%  
 Minimum Parking: SHOPPING CENTER IN EXCESS OF 25,000 SQUARE FEET OF GROSS LEASABLE FLOOR AREA 1 PER 225 SQUARE FEET OF GROSS LEASABLE FLOOR AREA

**SCHEDULE "B" ITEMS**

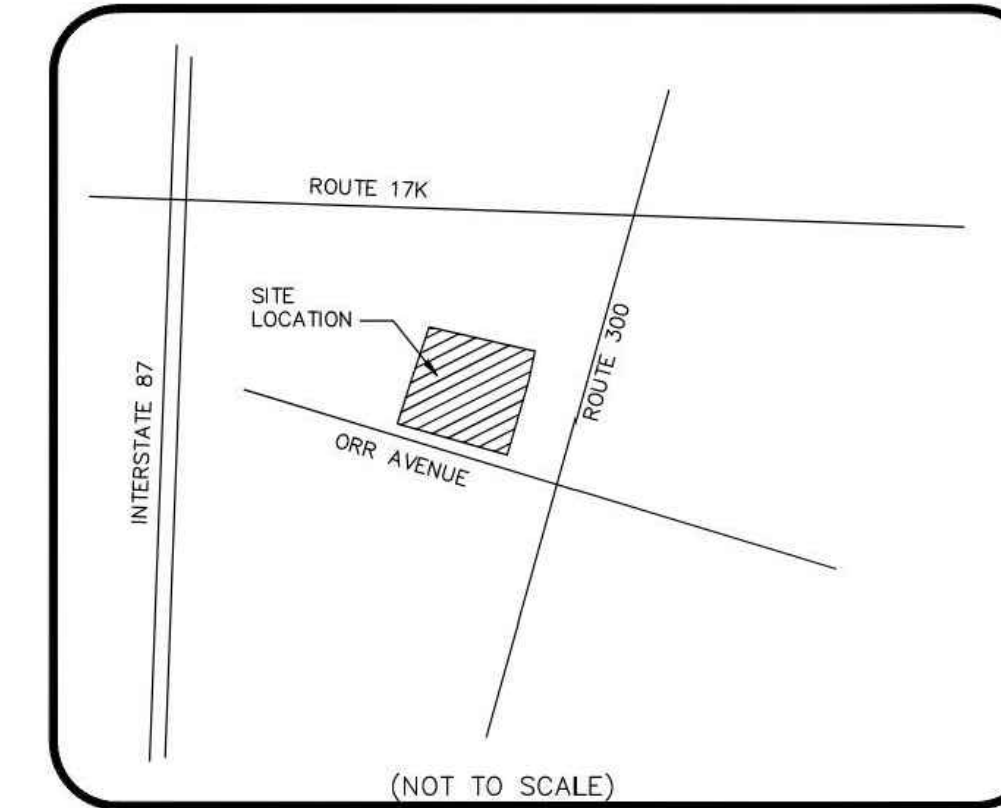
**NOTES CORRESPONDING TO SCHEDULE "B" SECTION TWO EXCEPTIONS:**

- MORTGAGE AND SECURITY AGREEMENT made by N&N Union LLC, a New York limited liability company to TD Bank NA, a national banking association in the amount of \$ 2,000,000.00 dated 6/12/2018, recorded 6/14/2018 in (as) **Book 14416 Page 314**.  
**NON-SURVEY RELATED ITEM**
- Assignment of Leases and Rents Assignment of Leases and Rents made from N&N Union LLC, a New York limited liability company, Assignor to TD Bank NA, a national banking association, Assignee, dated 6/12/2018 and recorded on 6/14/2018 in (as) **Book 14416 Page 564**.  
**NON-SURVEY RELATED ITEM**
- MORTGAGE AND SECURITY AGREEMENT made by N&N Union LLC, a New York limited liability company to TD Bank NA, a national banking association in the amount of \$ 1,300,000.00 dated 3/15/2019, recorded 3/18/2019 in (as) **Book 14540 Page 1571**.  
**NON-SURVEY RELATED ITEM**
- Assignment of Leases and Rents Assignment of Leases and Rents made from N&N Union LLC, a New York limited liability company, Assignor to TD Bank NA, a national banking association, Assignee, dated 3/15/2019 and recorded on 3/18/2019 in (as) **Book 14540 Page 1622**.  
**NON-SURVEY RELATED ITEM**
- BUILDING LOAN AND PERMANENT LOAN MORTGAGE AND SECURITY AGREEMENT made by N&N Union LLC, a New York limited liability company to TD Bank NA, a national banking association in the amount of \$ 3,900,000.00 dated 4/10/2019, recorded 4/18/2019 in (as) **Book 14555 Page 1494**.  
**NON-SURVEY RELATED ITEM**
- Assignment of Leases and Rents Assignment of Leases and Rents made from N&N Union LLC, a New York limited liability company, Assignor to TD Bank NA, a national banking association, Assignee, dated 4/10/2019 and recorded on 4/18/2019 in (as) **Book 14555 Page 1547**.  
**NON-SURVEY RELATED ITEM**
- SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT made by and between TD Bank NA, a national banking association and Spectrum Northeast LLC, a Delaware limited liability company dated 2/25/2020, recorded 7/22/2020 in (as) **Book 14775 Page 1165**.  
**NON-SURVEY RELATED ITEM**
- UTILITY EASEMENT made by and between \_\_\_ and \_\_\_ dated \_\_/\_\_/\_\_, recorded \_\_/\_\_/\_\_ in (as) **Book 481 Page 311**.  
**AFFECT NOT DETERMINED, EASEMENT DESCRIPTION INDETERMINATE**
- UTILITY EASEMENT made by and between \_\_\_ and \_\_\_ dated \_\_/\_\_/\_\_, recorded \_\_/\_\_/\_\_ in (as) **Book 693 Page 329**.  
**AFFECT NOT DETERMINED, EASEMENT DESCRIPTION INDETERMINATE**
- UTILITY EASEMENT made by and between \_\_\_ and \_\_\_ dated \_\_/\_\_/\_\_, recorded \_\_/\_\_/\_\_ in (as) **Book 1709 Page 39**.  
**AFFECT NOT DETERMINED, EASEMENT DESCRIPTION INDETERMINATE**

**TITLE DESCRIPTION**

Section 96 Block 1 Lot 6.2:  
 Quitclaim Deed made by Mark S. Tulis, as Bankruptcy Trustee of the Estate of Union Orr, LLC to Union Realty of Newburgh LLC dated 12/13/2017, recorded 12/14/2017 in (as) Book 14335 Page 685.  
 Bargain and Sale Deed made by Union Realty of Newburgh LLC to N&N Union LLC dated 6/4/2018, recorded 6/14/2018 in (as) Book 14416 Page 508.  
 Bargain and Sale Deed made by N&N Union LLC to N&N Union LLC dated 3/20/2019, recorded 3/21/2019 in (as) Book 14542 Page 1708

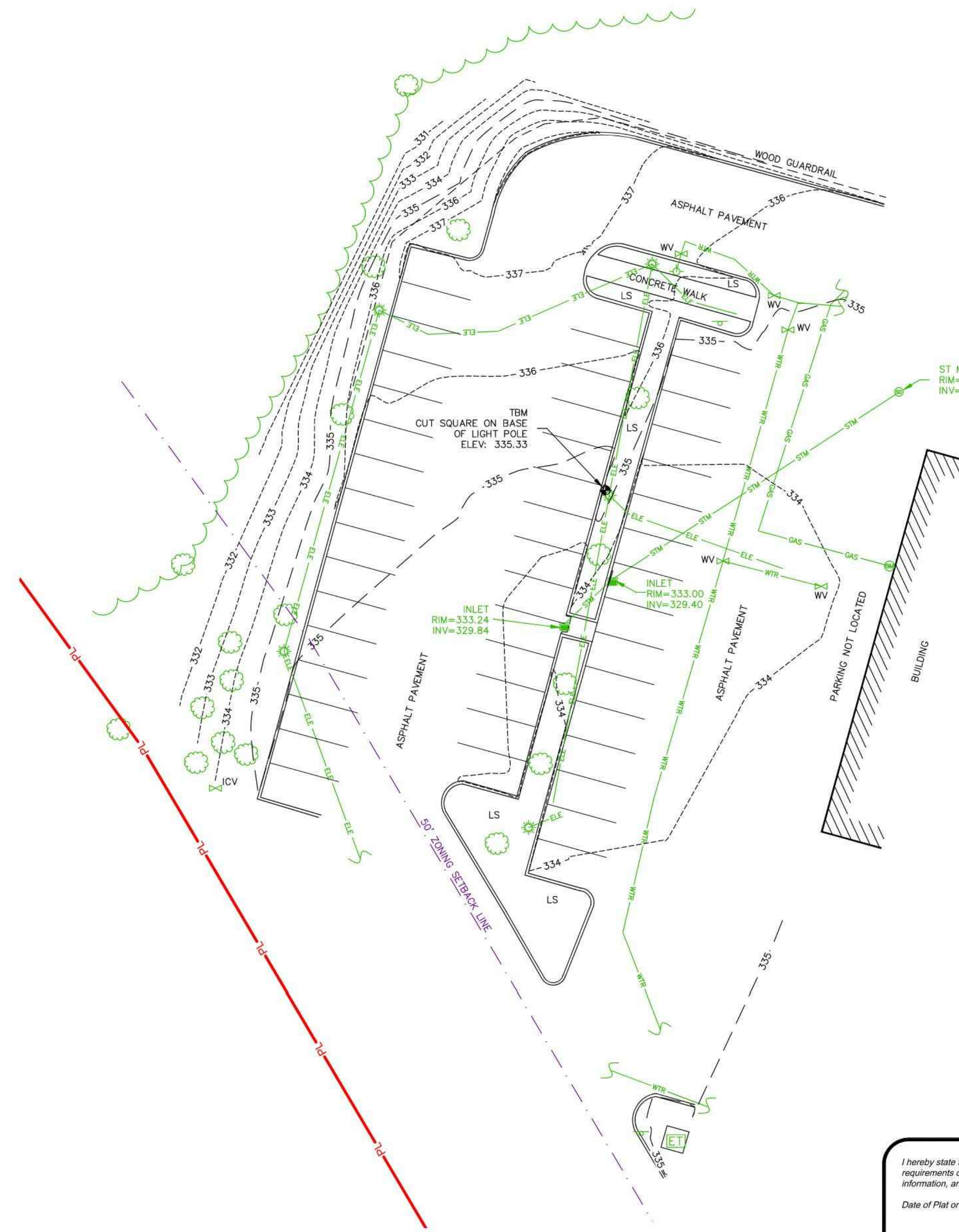
**VICINITY MAP**



**NORTH ARROW / SCALE**  
**FOR REFERENCE ONLY**  
**NOT TO SCALE**

**LEGEND**

- PL PROPERTY LINE
- ADJACENT LINE
- EASEMENT LINE
- BUILDING AT GROUND LEVEL
- ZONING SETBACK LINE
- WOOD GUARD RAIL
- EXISTING CONTOUR ELEVATION
- ELE ELEVATION
- GAS UNDERGROUND GAS
- STM UNDERGROUND STORM
- TEL UNDERGROUND TELEPHONE
- WTR UNDERGROUND WATER
- TEMPORARY BENCHMARK LOCATION
- LIGHT POLE
- ELECTRIC TRANSFORMER
- GAS METER
- INLET OPEN GRATE
- STORM DRAIN MANHOLE
- SIGN POST
- FIRE HYDRANT
- VALVE VAULT OR IRRIGATION CONTROL VALVE
- EXISTING TREE



**SURVEYOR CERTIFICATION**

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the standards of practice for surveying in the State of New York to the best of my knowledge, information, and belief.

Date of Plat or Map: June 21, 2021

*D.P. Lehr*

NEW YORK PROFESSIONAL  
 LAND SURVEYOR  
 DOUGLAS R. LEHR  
 LICENSE NO. 49223



**Topographic Survey**

This Work Coordinated By:  
**CDS**  
 COMMERCIAL  
 DUE DILIGENCE SERVICES  
 3550 W. Robinson Street, Third Floor  
 Norman, Oklahoma 73072  
 Main Office Phone No.: 405-253-2444  
 Toll Free: 888.457.7878

Drawn By: GPB	Date: --
Surveyor Ref. No: 21-05-0433	Revision: --
Approved By: DRL	Date: --
Field Date: 5-25-2021	Revision: --
Scale: 1" = 20'	Date: --
	Revision: --

Prepared For:

**PROJECT ADDRESS**  
 1219 ROUTE 300  
 NEWBURGH, NY 12550  
 Project Name:  
 RA ROUTE 300 - NEWBURGH  
 CDS Project Number:  
 21-05-0433



# Rivian DCFC Hardware System



## KEY FEATURES

Standard CCS connector
Chargers capable of 300kW and output voltages up to 1,000V
Energy-efficient design via custom-developed Silicon Carbide power electronics
Cloud-connected automated diagnostics
Mobile app provides property location and GPS navigation to charger, charger status, and notifications
Over-the-air firmware updates
ADA compliant
ETL certification pending

## TECHNICAL SPECIFICATIONS

### NOMINAL INPUT

Phases / Lines	3 Phase: L1, L2, L3, GND (no neutral)
Voltage	480Y/277 VAC 3-Wire, 3 Ø
Frequency	60 Hz
Full Load Amps	448A
Interrupt Rating	65kA
Power factor	0.99
Efficiency @ full power	≥ 94%

### DC OUTPUT

Voltage range	200-1,000VDC
Dispenser current	500A
Power (peak / continuous)	300 kW / 300 kW

### DIMENSIONS & WEIGHT

Dispenser	(H) 1,765 x (D) 595 x (W) 390 mm	120 kg
Power Cabinet	(H) 2,362 x (D) 1,219 x (W) 1,118 mm	1,178 kg

Ingress protection	IP 55, outdoor use
Operating temperature	-35 C° to 65 C°
Vehicle communication	DIN 70121, ISO 15118 (CCS / Combo-1)
Network connections	4G LTE, 100BASE-T ethernet



Adventure Charger



Power Cabinet



08.02.2021 PROPRIETARY AND CONFIDENTIAL | DO NOT DISTRIBUTE



REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

FOR REFERENCE ONLY

DCFC ADVENTURE NETWORK  
 1219-1221 ROUTE 300  
 NEWBURGH, NY 12550  
 PRELIMINARY RIVIAN EQUIPMENT  
 SPEC SHEET

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

Drawing Name: C:\2020\202026438 - Newburgh, NY\dwg\2020264.38 - Newburgh, NY - CD\100\_24x36.dwg  
December 6, 2021 1:54 PM - jjarana

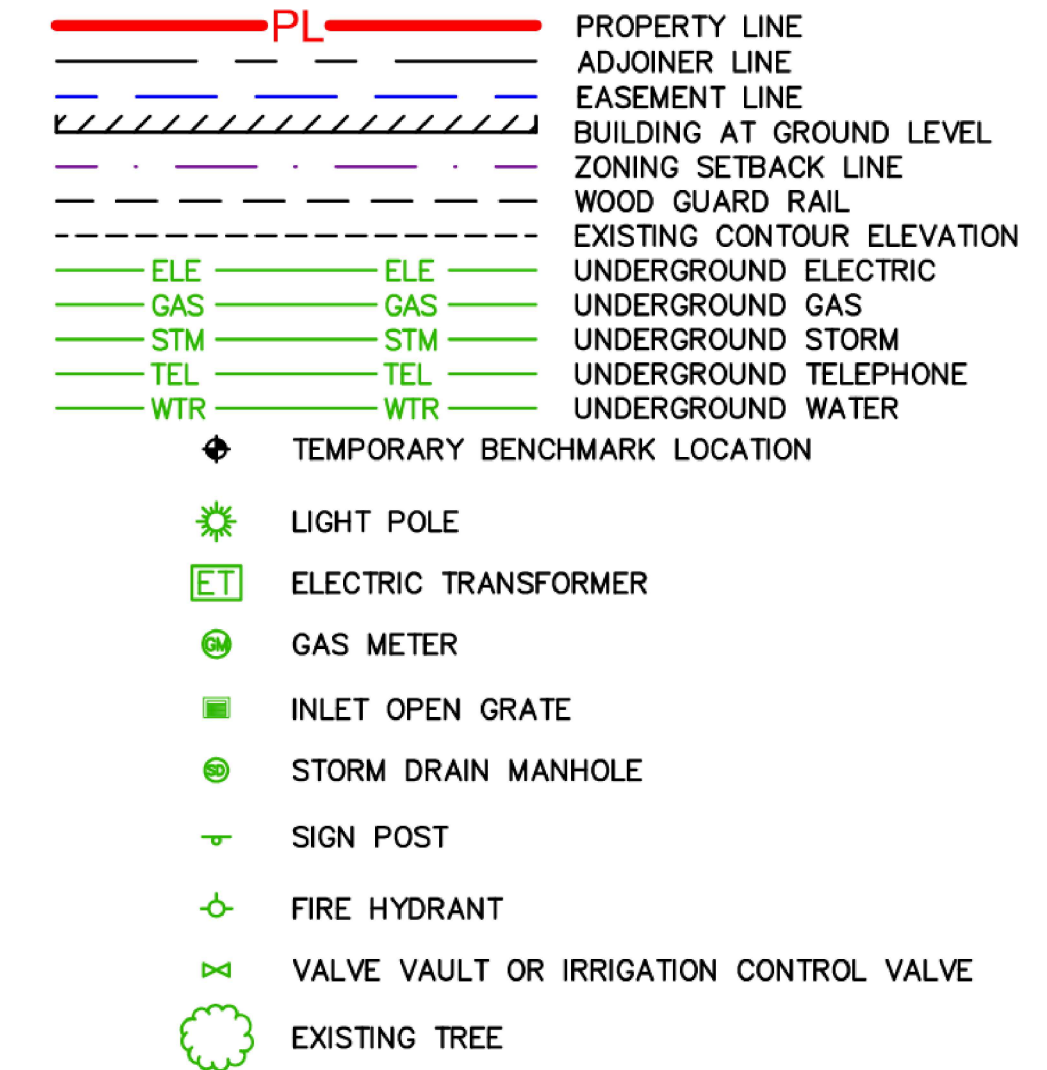
GENERAL CONSTRUCTION NOTES

- 1. FOR THE PURPOSE CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR: TBD CONTRACTOR: TBD OWNER: RIVIAN
2. THE TOPOGRAPHIC SURVEY BY CDS COMMERCIAL DUE DILIGENCE SERVICES, DATED 05/25/2021 SHALL BE REFERENCED WITH THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
3. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND CITY RECORDS. DUE TO THE LIMITATIONS IN TECHNOLOGY AND GROUND CONDITIONS, NOT ALL UNDERGROUND UTILITIES ARE ABLE TO BE LOCATED. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
4. ALL PROPERTY LINES, RIGHT OF WAYS, CENTERLINES, DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON A TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD DOCUMENTS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
6. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUES ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
7. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND FEDERAL, STATE AND LOCAL JURISDICTION CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATION ON THE DRAWINGS.
9. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
10. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
11. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
12. THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
13. CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
14. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
15. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
16. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
17. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
18. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
20. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
21. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.

- 22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
23. ONLY ITEMS SPECIFICALLY CALLED OUT TO BE REMOVED OR DEMOLISHED SHALL BE AFFECTED. ANY ITEMS INCLUDING, BUT NOT LIMITED TO, CURBS, PAVEMENT, UTILITY ITEMS, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE ANY AFFECTED ITEMS AT OWNERS DISCRETION.
24. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
25. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
26. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
27. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
28. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT, SIDEWALKS AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
29. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
30. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE OWNER AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
31. THE CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR AND OWNER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
32. THE CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION AT THE END OF EACH WORKDAY AND TURNOVER TO OWNER.
33. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED FOR SERVICE EQUIPMENT). HANDICAP ACCESS MAY BE REQUIRED FOR CHARGING POSTS. SEE PLAN.
34. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
35. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR AND OWNER IMMEDIATELY.
36. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS AND DISPOSE IN A LAWFUL MANNER.
37. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

TRAFFIC CONTROL NOTES

- 1. DURING THE CONSTRUCTION PERIOD; SIDEWALKS, SHOULDERS, TRAVEL LANE(S), OR STREETS MAY HAVE TO BE TEMPORARILY CLOSED OR RESTRICTED FOR THE UNLOADING / LOADING OF EQUIPMENT OR AS A RESULT OF CONSTRUCTION ACTIVITIES THEMSELVES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DIRECTLY WITH THE LOCAL GOVERNING AUTHORITIES ON ANY SUCH CLOSURES AND MUST OBTAIN WRITTEN PERMISSION FROM THE APPROPRIATE AUTHORITIES PRIOR TO IMPLEMENTING SUCH CLOSURES OR RESTRICTIONS. ANY CLOSURE OR RESTRICTION MUST COMPLY WITH THE STATE MANUAL OF UNIFORM CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AND REVISION), AND WITH ANY AND ALL ADDITIONAL APPLICABLE CITY, VILLAGE, OR COUNTY REQUIREMENTS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A FORMAL TRAFFIC CONTROL / MOT PLAN TO THE LOCAL GOVERNING AUTHORITIES IF REQUESTED. ALL REQUIRED CONSTRUCTION TRAFFIC MAINTENANCE DEVICES SHALL BE PROVIDED, ERECTED AND MAINTAINED, AND ULTIMATELY REMOVED BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL MAINTAIN SAFE AND SATISFACTORY ACCESS TO ALL ABUTTING PROPERTIES AND INTERSECTING STREET AT ALL TIMES DURING THE CONSTRUCTION OF THE IMPROVEMENTS ANTICIPATED. DRIVEWAYS MUST BE MAINTAINED AND ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH WORK DAY. PER THE STATE MUTCD AND OTHER APPLICABLE APPROPRIATE GOVERNING REQUIREMENTS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS SUCH AS BARRICADES, SATISFACTORY BARRIERS, CONES, SIGNAGE, BARRELS, MESSAGE BOARDS, LIGHTING, FLAGMEN, LAW ENFORCEMENT OFFICERS, ETC. TO AVOID DAMAGE AND / OR INJURY TO VEHICLES AND PERSONS TRAVERSING THE CONSTRUCTION AREA.



FOUNDATION SYSTEMS:

SPECIAL INSPECTIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND OVERSEEING OF ALL SPECIAL INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. SPECIAL INSPECTIONS MUST BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

FROST DESIGN NOTES:

CONCRETE FOUNDATIONS SHOULD BEAR DIRECTLY ON A PROPERLY COMPACTED FREE-DRAINING GRANULAR FILL CONSISTING OF NO. 57 STONE OR AN APPROVED EQUIVALENT.

GRANULAR FILL SHOULD EXTEND VERTICALLY TO THE MINIMUM RECOMMENDED REGIONAL FROST DEPTH AND LATERALLY 2/3D FROM THE FOUNDATION PERIMETER (EXCLUDING SIDE OF PERIMETER ADJACENT TO CURB). GRANULAR FILL SHOULD BE PLACED IN 8 INCH LOOSE LIFTS AND COMPACTED WITH A VIBRATORY COMPACTOR. THE COMPACTOR EQUIPMENT SHOULD BE OPERATED OVER THE FULL WIDTH OF THE FOUNDATION UNDERCUT AREA UNTIL VISIBLE DEFORMATION OF THE BACKFILL CEASES. LOCAL FROST DEPTH IS ASSUMED TO BE 36". CONTRACTOR SHALL VERIFY LOCAL FROST DEPTH WITH AHJ PRIOR TO CONSTRUCTION.

GEOTEXTILE (FILTER FABRIC) SHOULD BE PLACED BETWEEN THE GRANULAR BACKFILL AND COHESIVE SOILS TO PRECLUDE THE INFILTRATION OF FINES.

STRUCTURAL STEEL

GENERAL:

MATERIAL PROPERTIES: PLATE: ASTM A36 UNO PIPE: ASTM A53, TYPE E OR S, GRADE B TUBE: ASTM A1085 GRADE A (Fy = 50 KSI)

DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE 2016 AISC (360-16) SPECIFICATIONS.

ALL WELDING SHALL BE DONE USING E-70XX ELECTRODES IN ACCORDANCE WITH AWS D1.1 SPECIFICATIONS.

FIELD VERIFY ALL CONDITIONS AT AND CONNECTIONS TO THE EXISTING CONSTRUCTION BEFORE FABRICATION.

ALL EXPOSED STRUCTURAL STEEL, ANCHOR RODS AND BOLTS SHALL BE HOT DIP GALVANIZED PER ASTM A123.

UNLESS NOTED OTHERWISE ON THE DRAWING, ALL ANCHOR RODS SHALL CONFORM TO ASTM F1554 Gr 55 WITH HEAVY HEXAGONAL NUT.

SUBMIT FABRICATION AND ERECTION DRAWINGS SHOWING ALL DETAILS, CONNECTIONS, MATERIAL DESIGNATIONS, AND TOP STEEL ELEVATIONS FOR APPROVAL. THE SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL CONFORMANCE TO THE CONTRACT DRAWINGS. SUCH APPROVAL SHALL NOT RELIEVE THE FABRICATOR/CONTRACTOR OF THE RESPONSIBILITY FOR EITHER THE ACCURACY OF THE DETAILED DIMENSIONS IN THE SHOP AND ERECTION DRAWINGS OR THE GENERAL FIT-UP OF PARTS THAT ARE TO BE ASSEMBLED IN THE FIELD.



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Table with 3 columns: REV., DATE, DESCRIPTION. Contains revision history for 90% and 80% reviews and sign & seal.

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12/06/2021



DCFC ADVENTURE NETWORK 1219-1221 ROUTE 300 NEWBURGH, NY 12550

CIVIL CONSTRUCTION NOTES

Table with 2 columns: PROJECT MANAGER, DESIGNER. Values: IM, KSB.

JOB NO. 2020264.38

C-002

**GENERAL SITE WORK NOTES CONTINUED**

**PART 1 - GENERAL**

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

**1.1 REFERENCES:**

- A. (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
- B. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
- C. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).

**1.2 INSPECTION AND TESTING:**

- A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE CONTRACTOR.
- B. ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.

**1.3 SITE MAINTENANCE AND PROTECTION:**

- A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE AND PROTECTION FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.
- B. AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
- C. KEEP SITE FREE OF ALL PONDING WATER.
- D. PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.
- E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK. GRAFFITI ON TEMPORARY FENCING SHALL BE PAINTED OVER WITHIN ONE DAY OF DISCOVERY.
- F. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE CONSTRUCTION MANAGER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- G. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE CONSTRUCTION MANAGER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

**PART 2 - PRODUCTS**

**2.1 GRANULAR BACKFILL: SHALL MEET THE FOLLOWING GRADATION PER THE TABLE BELOW:**

SIEVE SIZE	TOTAL PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
1 INCH (25.0 MM)	75 TO 100
3/4 INCH (19.00 MM)	80 TO 100
3/8 INCH (9.5 MM)	35 TO 75
NO. 4 (4.75 MM)	30 TO 60
NO. 30 (0.600 MM)	7 TO 30
NO. 200 (0.75 MM)	3 TO 15

**2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SW-SM).**

**2.3 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTICS SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE CONSTRUCTION MANAGER. TYPICAL THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.**

**PART 3 - EXECUTION**

**3.1 GENERAL:**

- A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES PER APPLICABLE PLAN PREPARED BY CONTRACTOR. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ALL TIMES.
- B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
- C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE

OF THE SITE AREA TO BE CLEARED.

- D. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
- E. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS.
- F. EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.
- G. REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- H. PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.

- I. SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- J. DURING EXCAVATION, THE CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.
- K. THE BASE OF ALL FOUNDATION EXCAVATIONS SHOULD BE FREE OF WATER AND LOOSE SOIL PRIOR TO PLACING CONCRETE. CONCRETE SHOULD BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATING TO MINIMIZE BEARING SOIL DISTURBANCE. SHOULD THE SOILS AT BEARING LEVEL BECOME EXCESSIVELY DRY, SATURATED, DISTURBED OR OTHERWISE ALTERED, THE AFFECTED SOIL SHOULD BE REMOVED PRIOR TO PLACING CONCRETE.

**3.2 BACKFILL:**

- A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
- B. PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
- C. DO NOT PLACE FROZEN MATERIAL IN AS BACKFILL.
- D. BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.
- E. WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
- F. THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

**3.3 TRENCH EXCAVATION:**

- A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- B. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
- C. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, CONTACT ENGINEER IMMEDIATELY.

**3.4 TRENCH BACKFILL:**

- A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
- E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.

- G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

**3.5 FINISH GRADING:**

- A. PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.

- B. UTILIZE SATISFACTORY FILL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.

- C. REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.

- D. CONTRACTOR TO GRADE SITE TO DRAIN AND NOT POND WATER.

**3.6 ASPHALT PAVING:**

- A. CONTRACTOR RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING PER LOCAL DOT SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED.

**PAVEMENT MARKING NOTES**

- 1. ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE. ALL PAVEMENT MARKINGS WITHIN ADA AREAS SHALL BE PAINTED BLUE EXCEPT FOR COLORS DEFINED ON THE ADA PAVEMENT SYMBOL.
- 2. MARKING (STRIPING) PAINT FOR PARKING SPACES, TRAFFIC ARROWS, ADA PARKING AND SYMBOLS, ETC., PER LOCAL REQUIREMENTS AND AS FOLLOWS:
- 3. PAVEMENT MARKINGS PAINT SHALL BE WATER BASE FAST DRYING 100% ACRYLIC TYPE: WATER BASE TO MEET FEDERAL SPECIFICATION TTP-01952B. FOR COLD WEATHER APPLICATION PAINT PRODUCT SHALL BE IN ACCORDANCE WITH ASTM-D2369, D1394, D3723, D1475, D562 AND D711.
- 4. PROVIDE A NON-SLIP AGGREGATE ADDITIVE TO MARKING PAINT USED AT ADA ACCESS RAMPS.
- 5. APPLY 2 COATS WITHIN THE SAME DAY, UTILIZING STRAIGHT EDGES, YELLOW ON CONCRETE/WHITE ON ASPHALT EXCEPT WHEN MATCHING ADJACENT OR EXISTING COLOR WHEN THE PAVING IS AN EXPANSION OR SEGMENT OF A LARGER LOT.

**LANDSCAPE/IRRIGATION NOTES**

- 1. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED OR MULCHED SHALL BE GRADED TO MATCH EXISTING CONDITIONS AND SODDED AT A 3:1 MAXIMUM SLOPE.
- 2. SOD SHALL BE SELECTED PER ZONE AND MATCHED TO EXISTING SITE. SOD SHALL BE A FIRST GRADE CERTIFIED BLEND CONTAINING NO MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.  
  
ZONES 3, 4 & 5: APPROVED BLUE GRASS BLEND  
ZONE 6: APPROVED FESCUE BLEND  
ZONES 7 & 8: APPROVED BERMUDA BLEND  
ZONES 9 & 10: APPROVED ST AUGUSTINE FLORATAM BLEND
- 3. ALL DISTURBED AND PROPOSED LANDSCAPE AREAS SHALL RECEIVE 3" OF DOUBLE SHREDDED BARK TO MATCH EXISTING CONDITIONS.
- 4. PLANT GUARANTEE (IF APPLICABLE): CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

- 5. IRRIGATION RELOCATION: CONTRACTOR FIELD VERIFY IF EXISTING IRRIGATION IS PRESENT, DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION. IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THAN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA. IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUSES NEEDED FOR A COMPLETE IRRIGATION SYSTEM. IRRIGATED AREAS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR FIXTURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, DRIP TUBING, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.



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A	07/09/21	ISSUED FOR 50% REVIEW
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**DCFC ADVENTURE NETWORK**  
 1219-1221 ROUTE 300  
 NEWBURGH, NY 12550

**CIVIL CONSTRUCTION NOTES**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

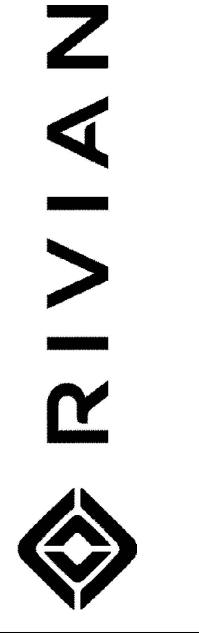
**C-003**



**GENERAL SHEET NOTES**

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.

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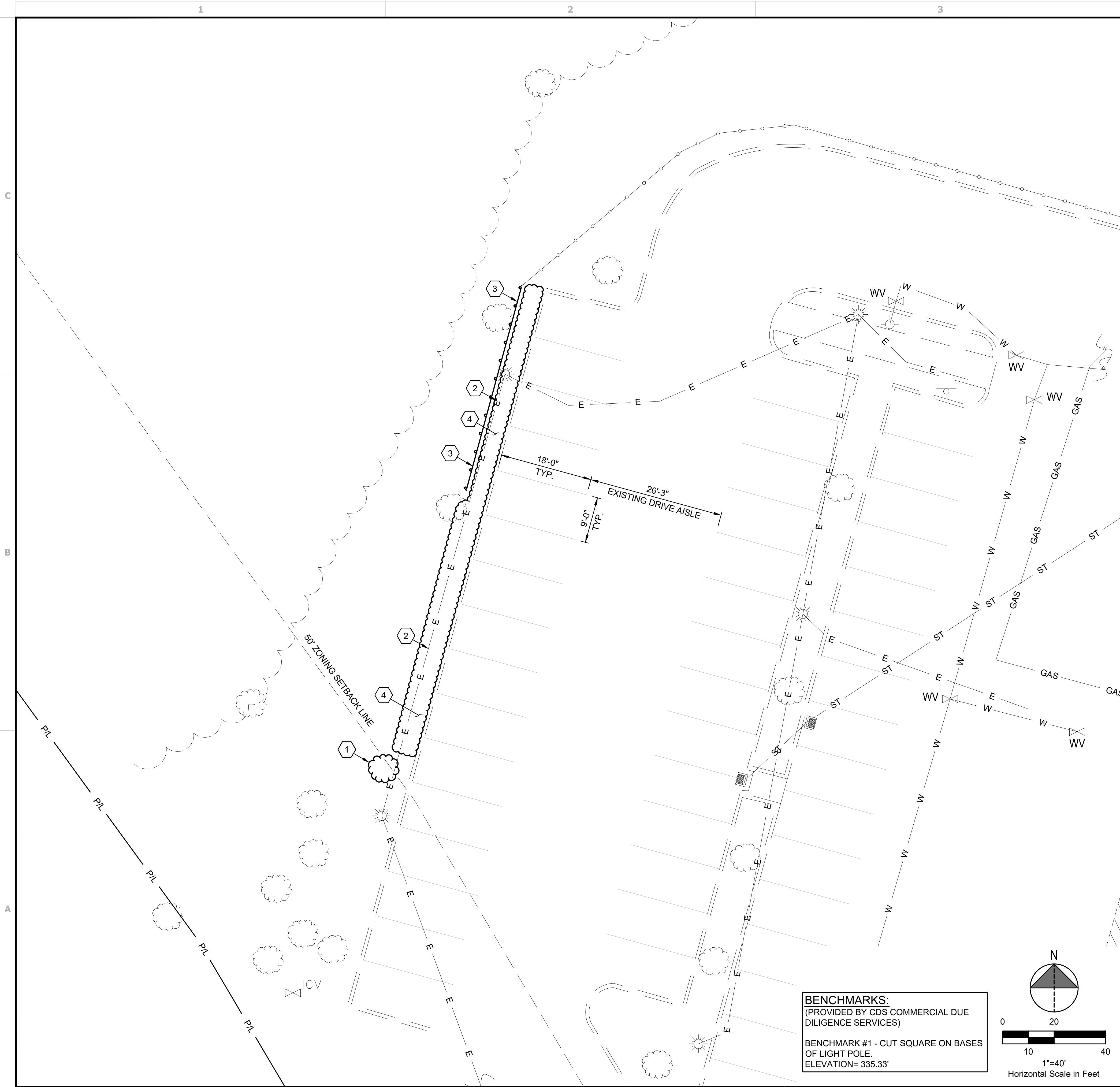
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 NEWBURGH, NY 12550  
**OVERALL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

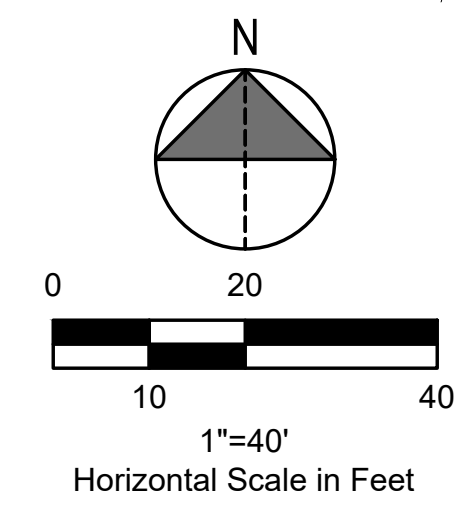
JOB NO.  
**2020264.38**

**C-100**

Drawing Name: O:\2020\2020264\38 - Newburgh, NY\dwg\2020264.38 - Newburgh, NY - CD\00\_24x36.dwg  
 December 6, 2021 1:54 PM - jparana



**BENCHMARKS:**  
 (PROVIDED BY CDS COMMERCIAL DUE DILIGENCE SERVICES)  
 BENCHMARK #1 - CUT SQUARE ON BASES OF LIGHT POLE.  
 ELEVATION= 335.33'



**GENERAL SHEET NOTES**

- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB (SEE DETAIL ON SHEET C-202) AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING. APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.

**PLAN KEYNOTES**

- EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
- EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED.
- EXISTING WOOD GUARDRAIL TO BE REMOVED.
- EXISTING LANDSCAPING TO BE REMOVED (SHRUB, PERENNIALS, GROUNDCOVER, ETC.). CONTRACTOR SHALL VERIFY EXACT SIZE AND TYPE IN FIELD.

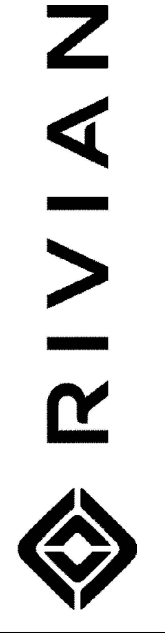
**LEGEND**

(SEE SHEET C-002 FOR GENERAL LEGEND)

- # DEMOLITION KEYNOTE

**DEMOLITION NOTE:**

ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.



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**DCFC ADVENTURE NETWORK**  
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 NEWBURGH, NY 12550  
**EXISTING CONDITIONS AND REMOVALS PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

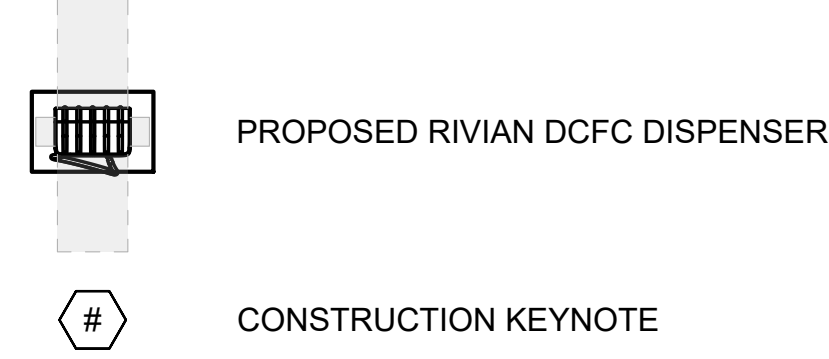
**C-101**

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DISPENSER CIRCUIT SCHEDULE		
POWER CABINET	DISPENSER	DEDICATED/ENABLED
PC-1	1	DEDICATED
	2	DEDICATED
	3	DEDICATED
PC-2	4	DEDICATED
	5	DEDICATED
	6	DEDICATED

PARKING STALL SCHEDULE	
EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	6
PROPOSED RIVIAN STALLS	6
PROPOSED STANDARD STALLS	0
NET STALL COUNT	+0

**LEGEND**  
 (SEE SHEET C-002 FOR GENERAL LEGEND)

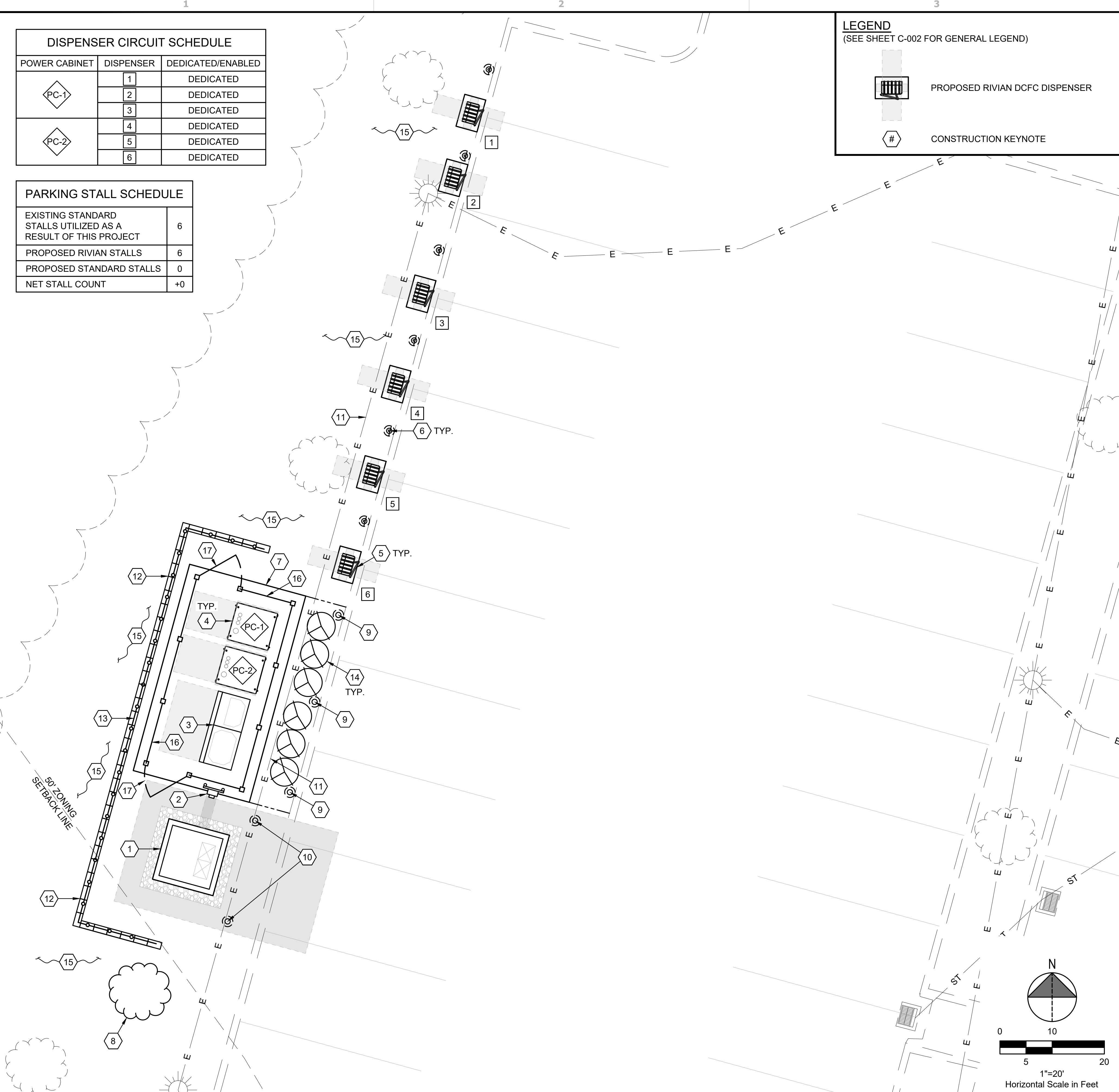


**GENERAL SHEET NOTES**

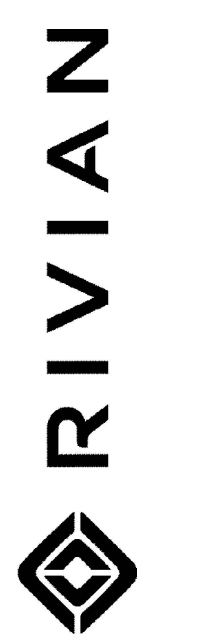
- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL ENSURE EXISTING CURBING AND PAVEMENT IS NOT TO BE DAMAGED ACCESSING WORK AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE CURBING AND PAVEMENT IF DAMAGED.
- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB (SEE DETAIL(S) ON SHEET C-202) AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.

**PLAN KEYNOTES**

- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). PROPOSED CTS MOUNTED IN TRANSFORMER. CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
- PROPOSED ELECTRIC METER MOUNTED ON H-FRAME PER ELECTRIC COMPANY SPECIFICATIONS AND DETAILS ON ELECTRICAL SHEETS.
- PROPOSED SWITCHGEAR PER ELECTRICAL DRAWINGS. SEE DETAIL ON SHEET C-201.
- PROPOSED RIVIAN POWER CABINETS (TOTAL OF 2) MOUNTED ON CONCRETE PAD. SEE DETAIL ON SHEET C-201.
- PROPOSED RIVIAN DCFC DISPENSER (TOTAL OF 6) MOUNTED ON INDIVIDUAL FOUNDATIONS. SEE DETAIL ON SHEET C-201.
- PROPOSED NON-ILLUMINATED 2 IN 1 BOLLARDS EV CHARGING SIGN PER SIGN SUPPLIER SPECIFICATIONS (TOTAL OF 6). CONTRACTOR SHALL INSTALL FOUNDATION. SEE DETAIL ON SHEET C-201.
- PROPOSED P.C.C. EQUIPMENT PAD. SEE DETAIL ON SHEET C-201.
- PROPOSED LANDSCAPE: TREE. (1) TOTAL QUANTITY ACER RUBRUM, RED MAPLE. TO BE PLANTED AT 2" CAL. IN SIZE, B&B. SEE SHEET C-201 FOR PLANTING DETAIL AND C-003 FOR LANDSCAPE/IRRIGATION NOTES.
- PROPOSED DETERRENT BOLLARDS (TYPICAL OF 3). SEE DETAIL ON SHEET C-201.
- PROPOSED REMOVABLE BOLLARDS (TYPICAL OF 2). SEE DETAIL ON SHEET C-202.
- EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED.
- PROPOSED CMU RETAINING WALL. SEE DETAILS ON SHEETS S-001 & S-101.
- PROPOSED RETAINING WALL RAILING. SEE DETAIL ON SHEET S-101.
- PROPOSED LANDSCAPE: SHRUBS. (6) TOTAL QUANTITY VIBURNUM x CARLCEPHALUM 'CAYUGA', CAYUGA VIBURNUM. TO BE PLANTED AT 24" HT., NO. 5 CONT. MIN., SPACED PER PLAN. TO BE PLANTED WITHIN MULCHED LANDSCAPE AREA. SEE PLANTING/IRRIGATION NOTES ON SHEET C-003 AND PLANTING DETAIL ON SHEET C-201 & C-202.
- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER LANDSCAPE/IRRIGATION NOTES ON SHEET C-003.
- PROPOSED TREX 'SECLUSION HORIZONTAL' FENCING. SEE DETAILS ON SHEET C-115.
- PROPOSED TREX "SECLUSION HORIZONTAL" SINGLE GATE WITH KEYPAD AND PANIC HARDWARE. SEE DETAILS ON SHEET C-115.



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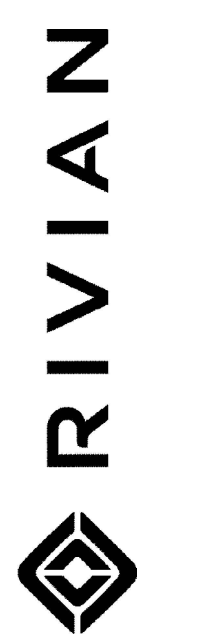
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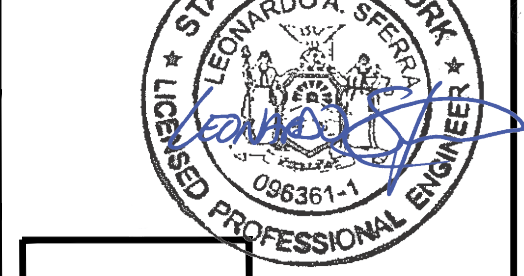
**DCFC ADVENTURE NETWORK**  
 1219-1221 ROUTE 300  
 NEWBURGH, NY 12550  
**CIVIL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB
JOB NO. <b>2020264.38</b>	
<b>C-111</b>	



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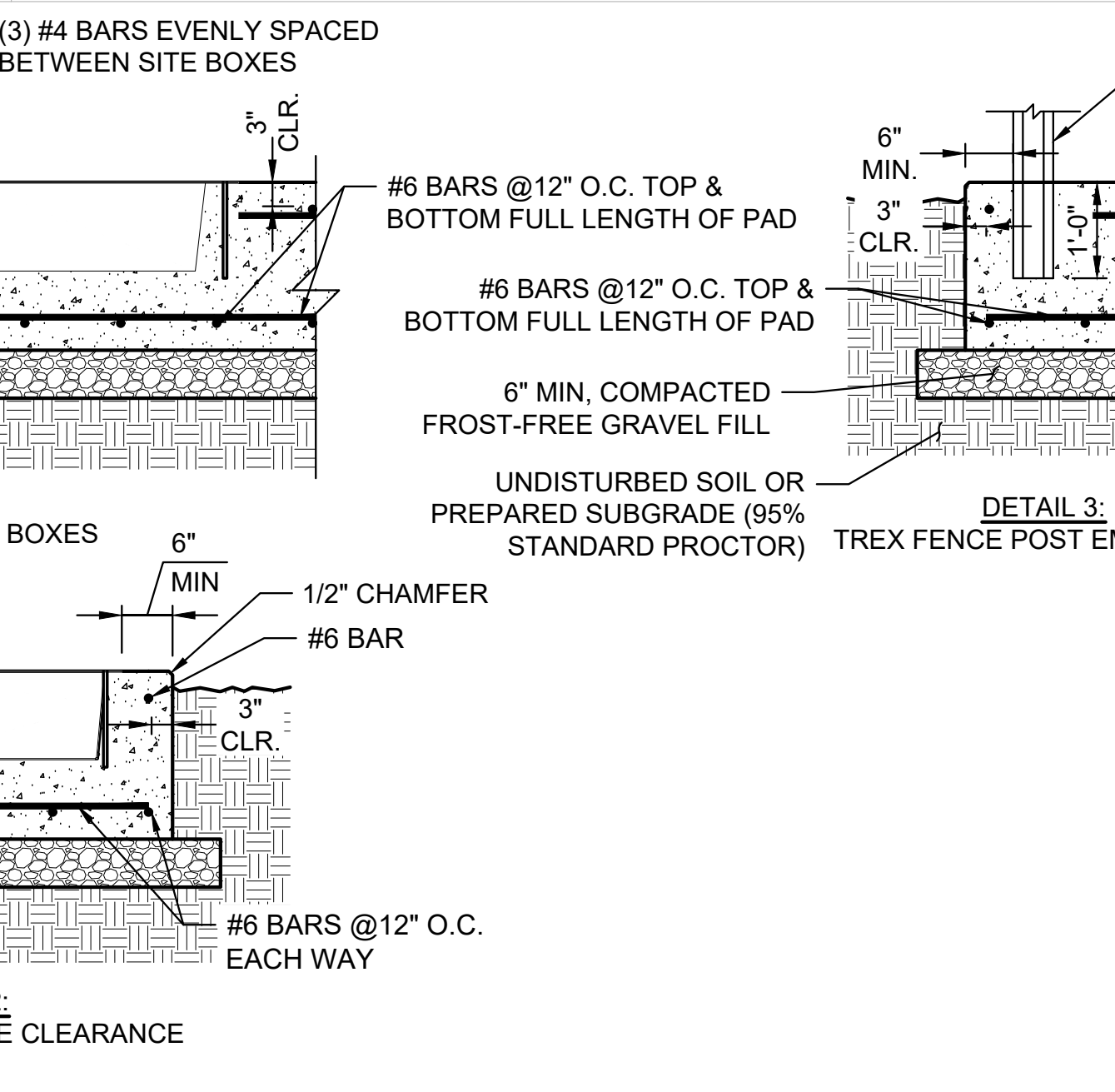
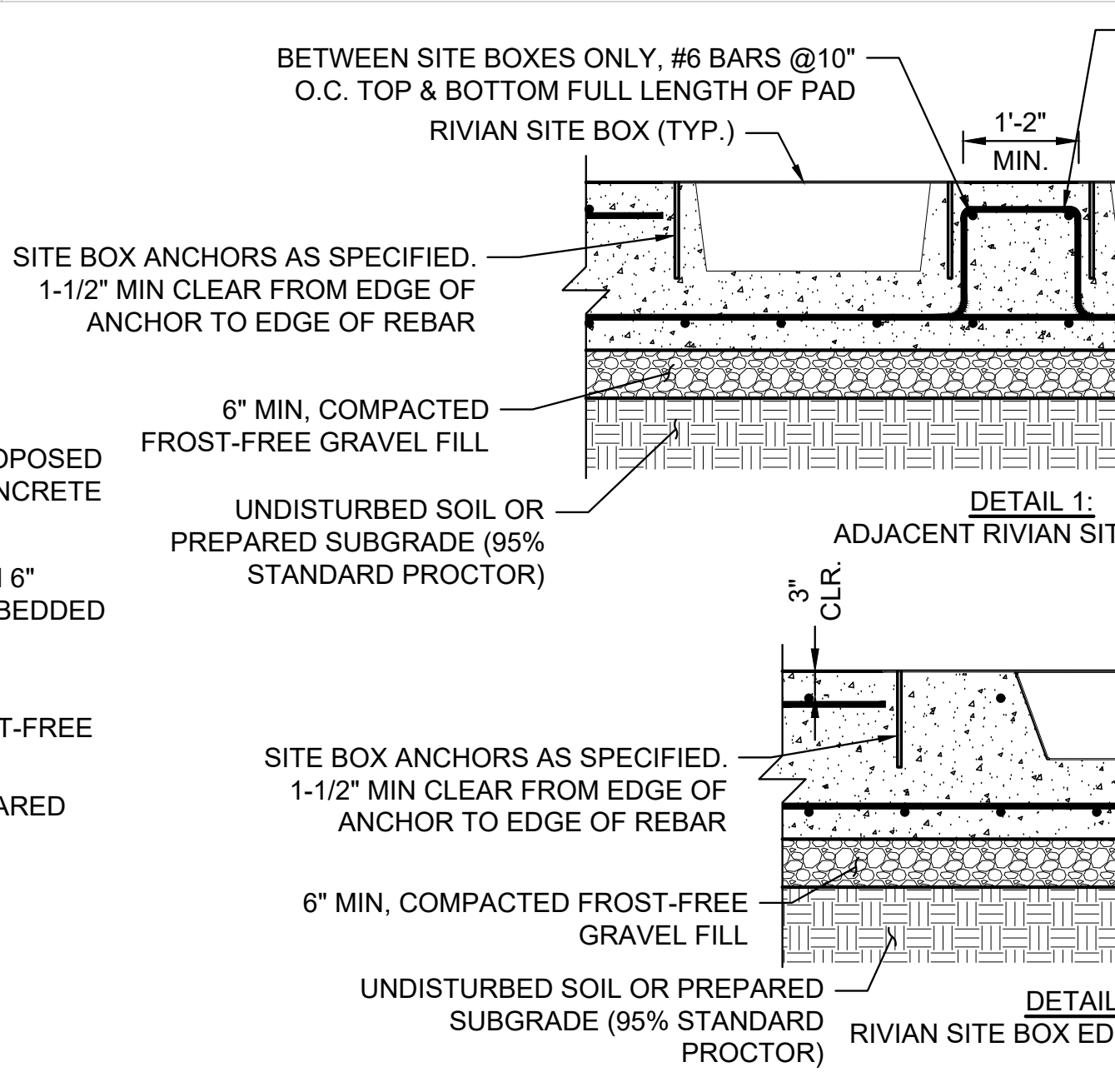
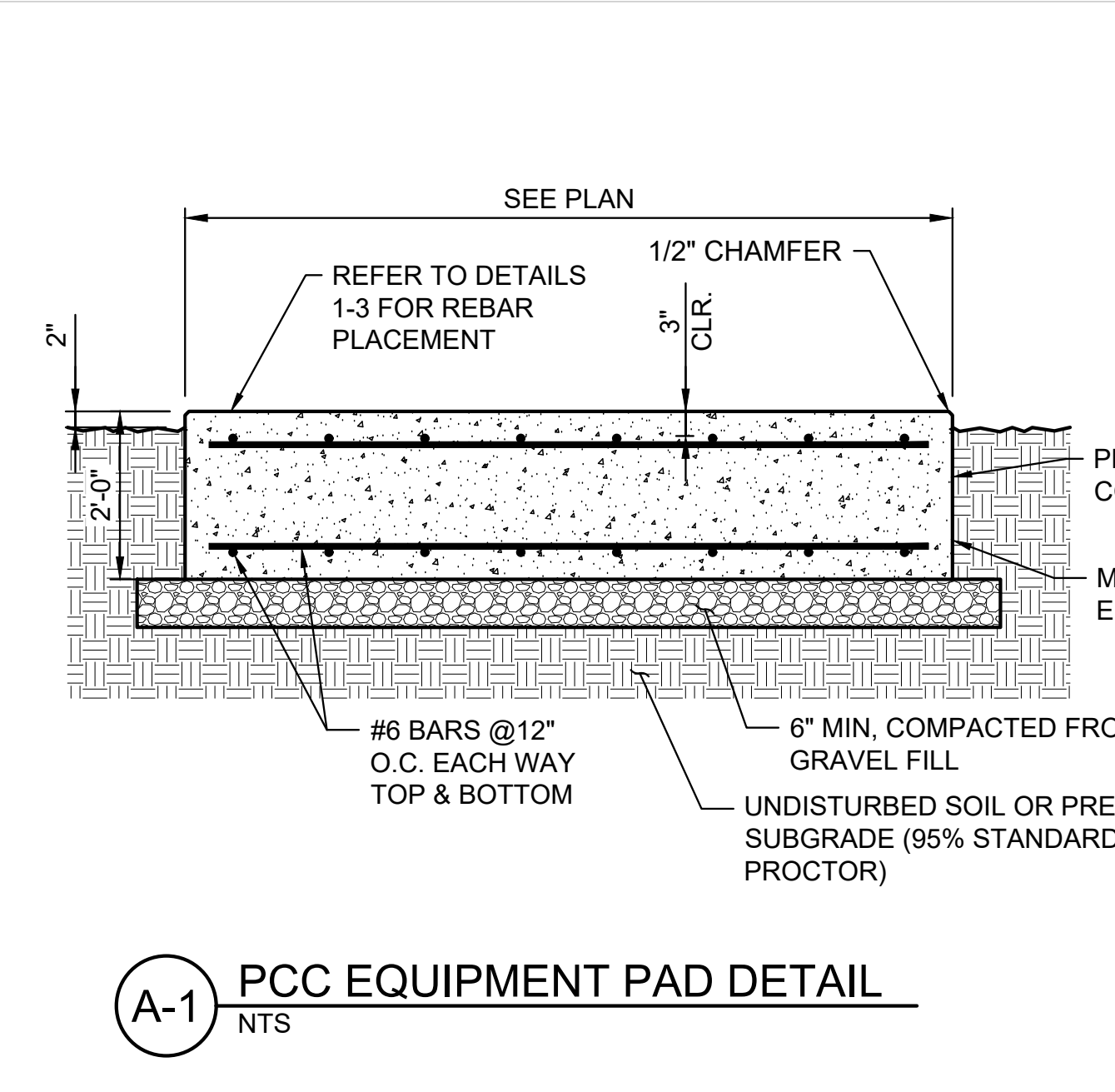
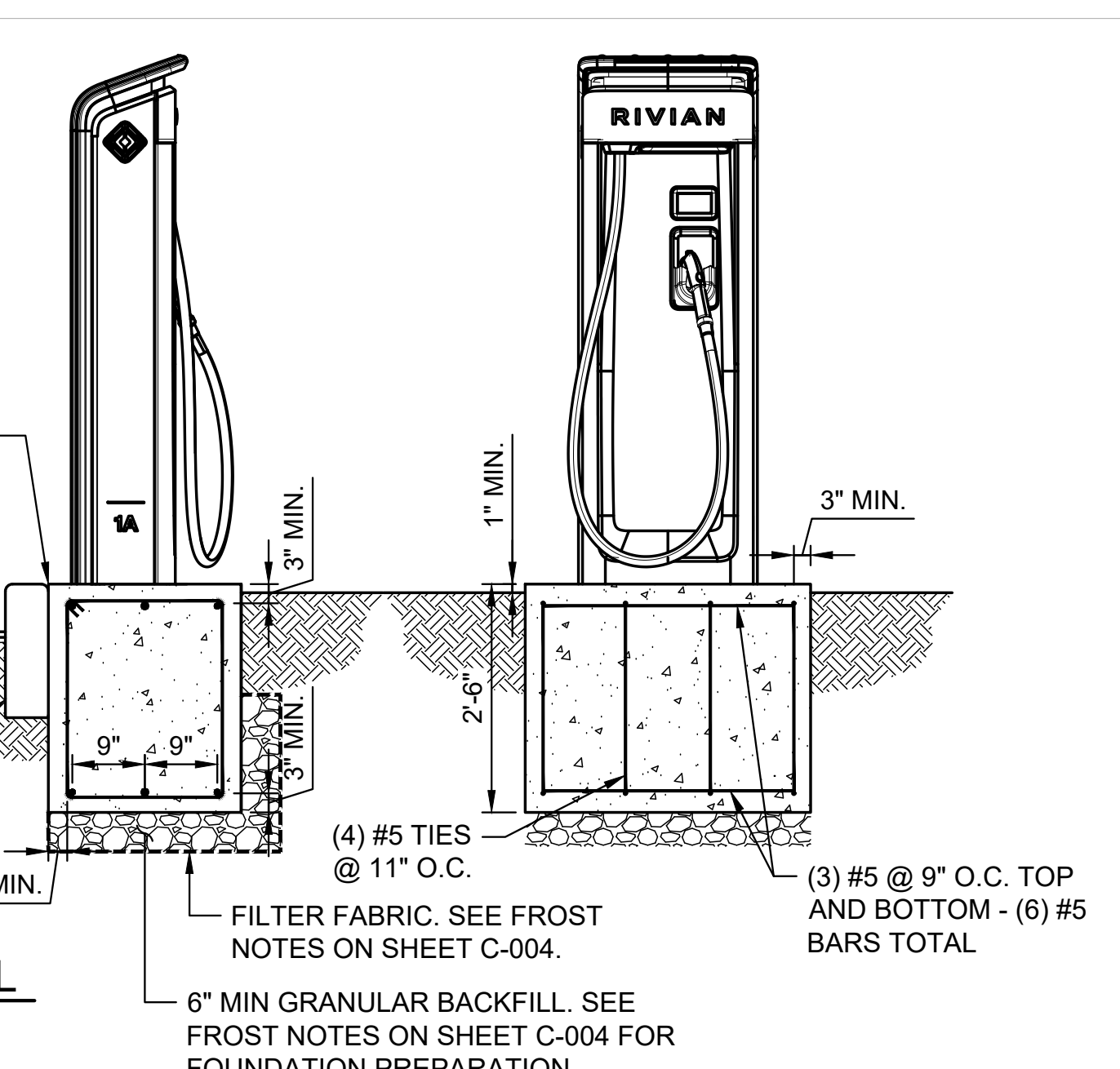
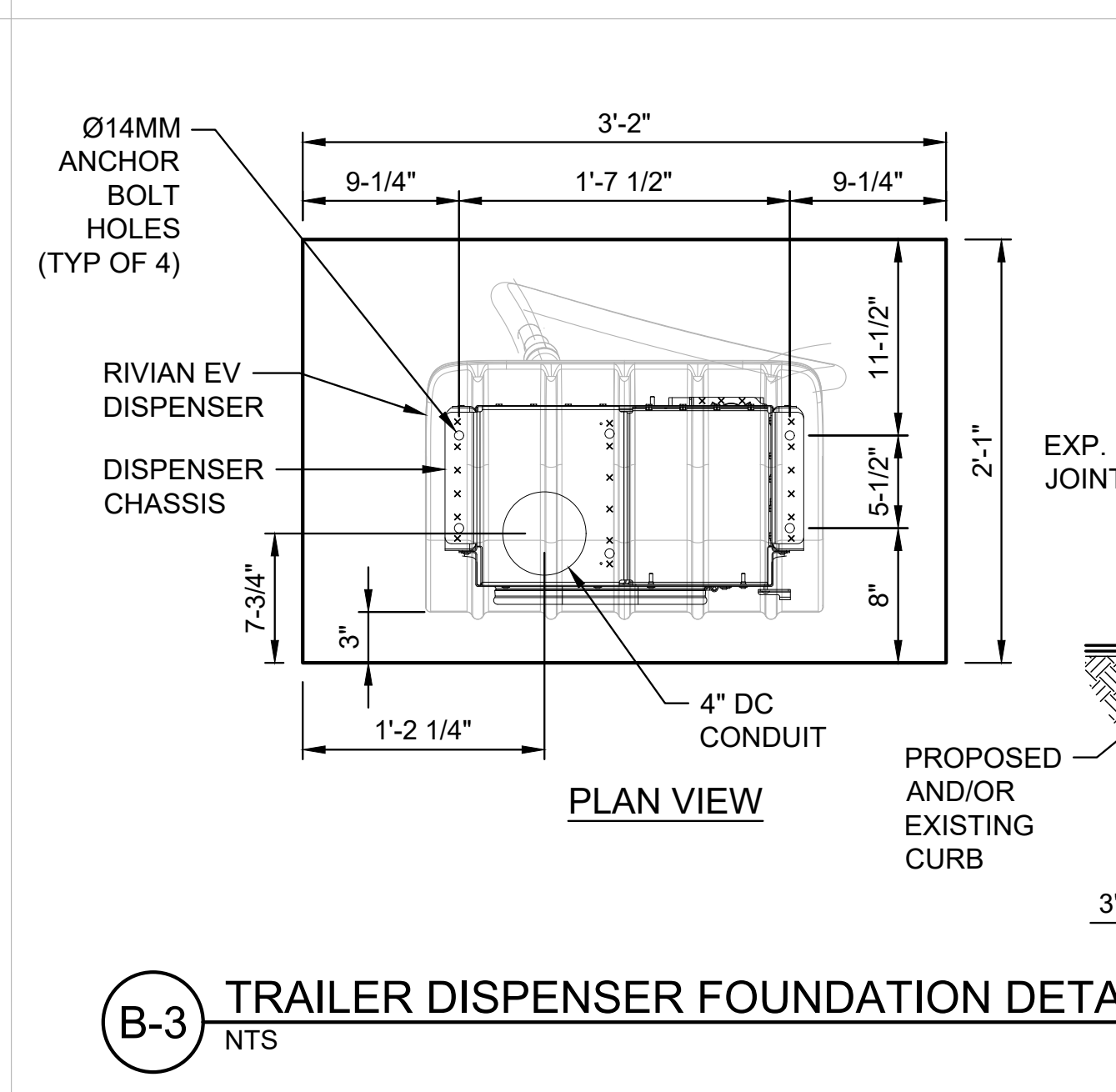
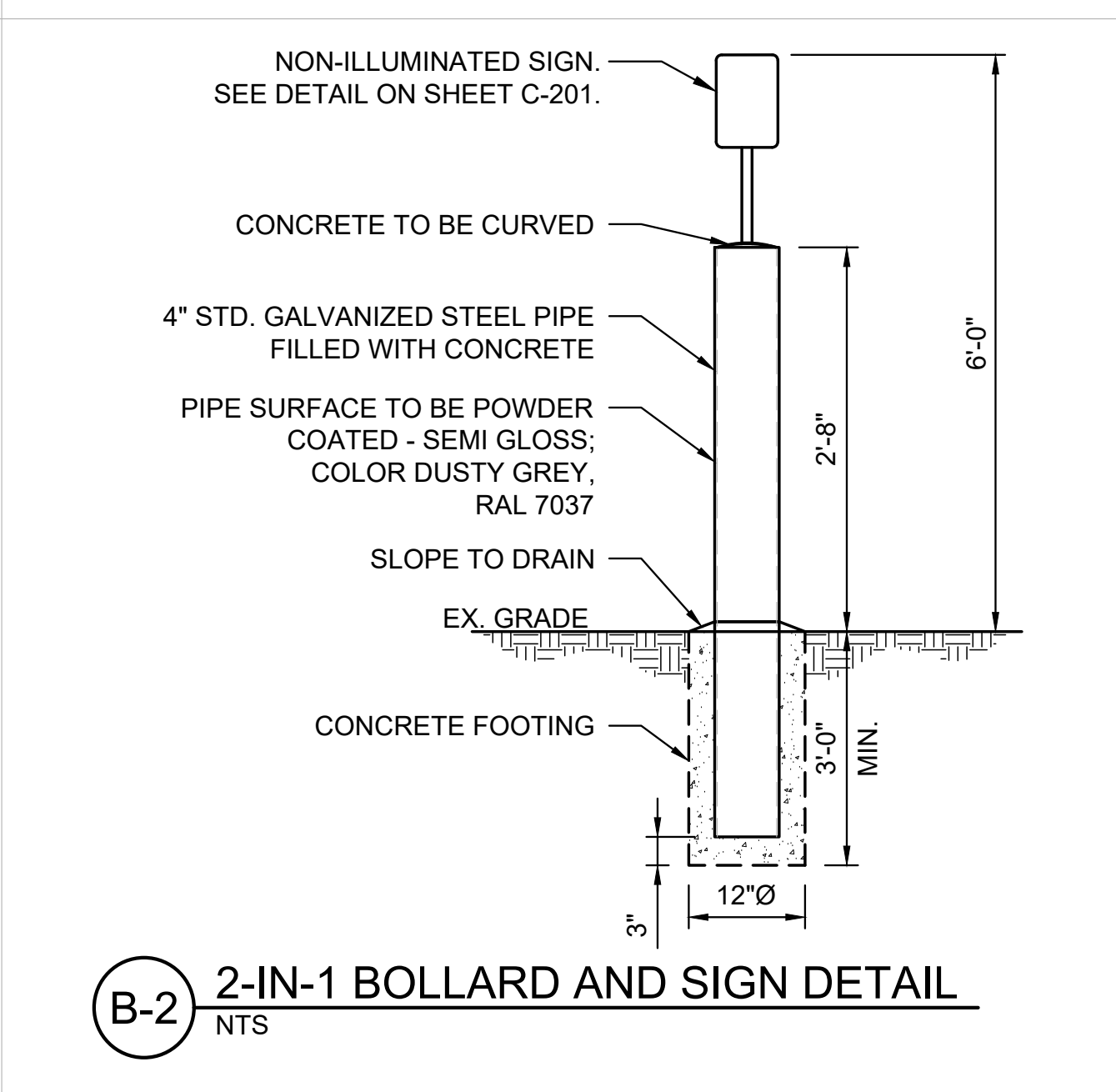
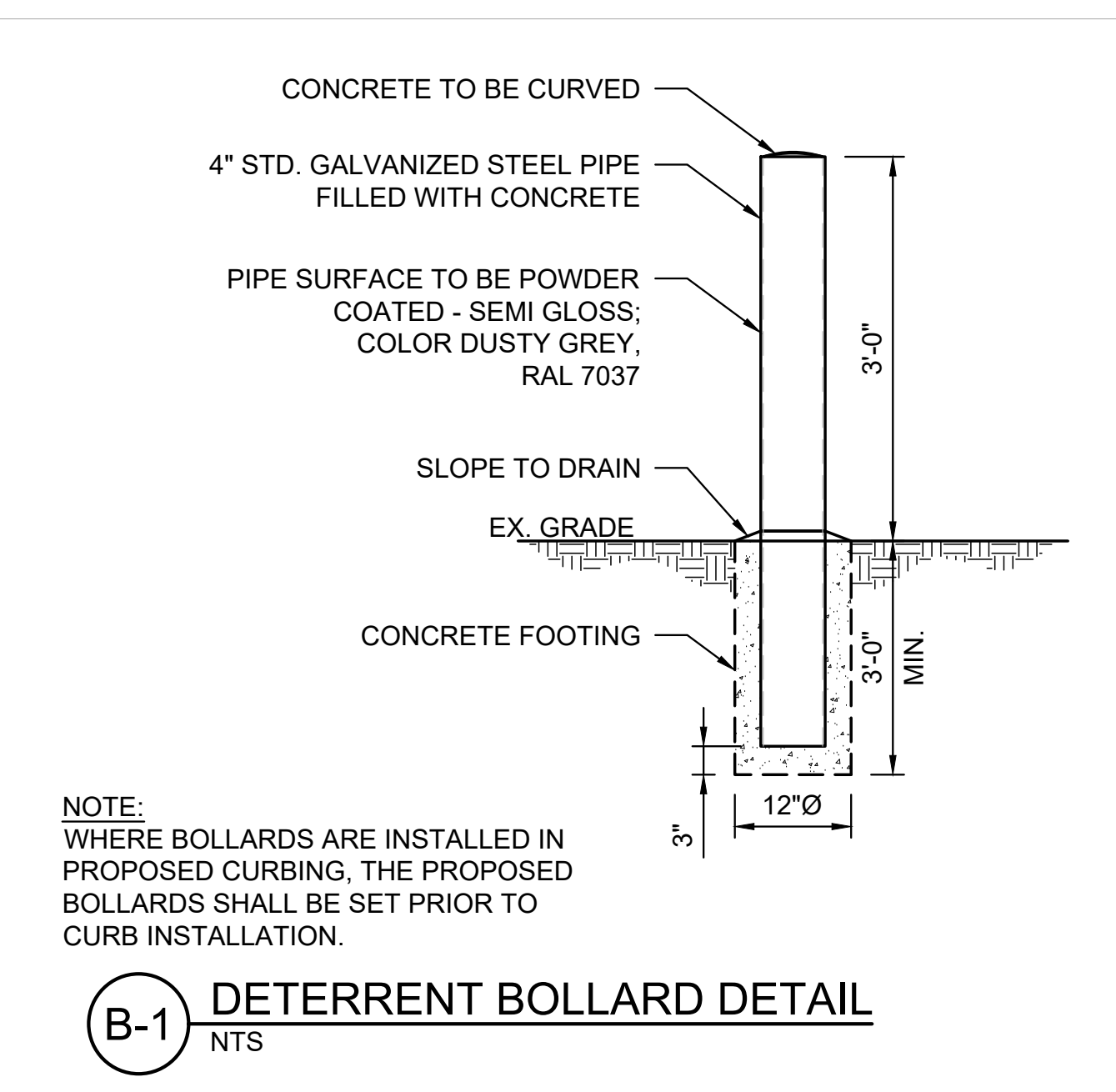
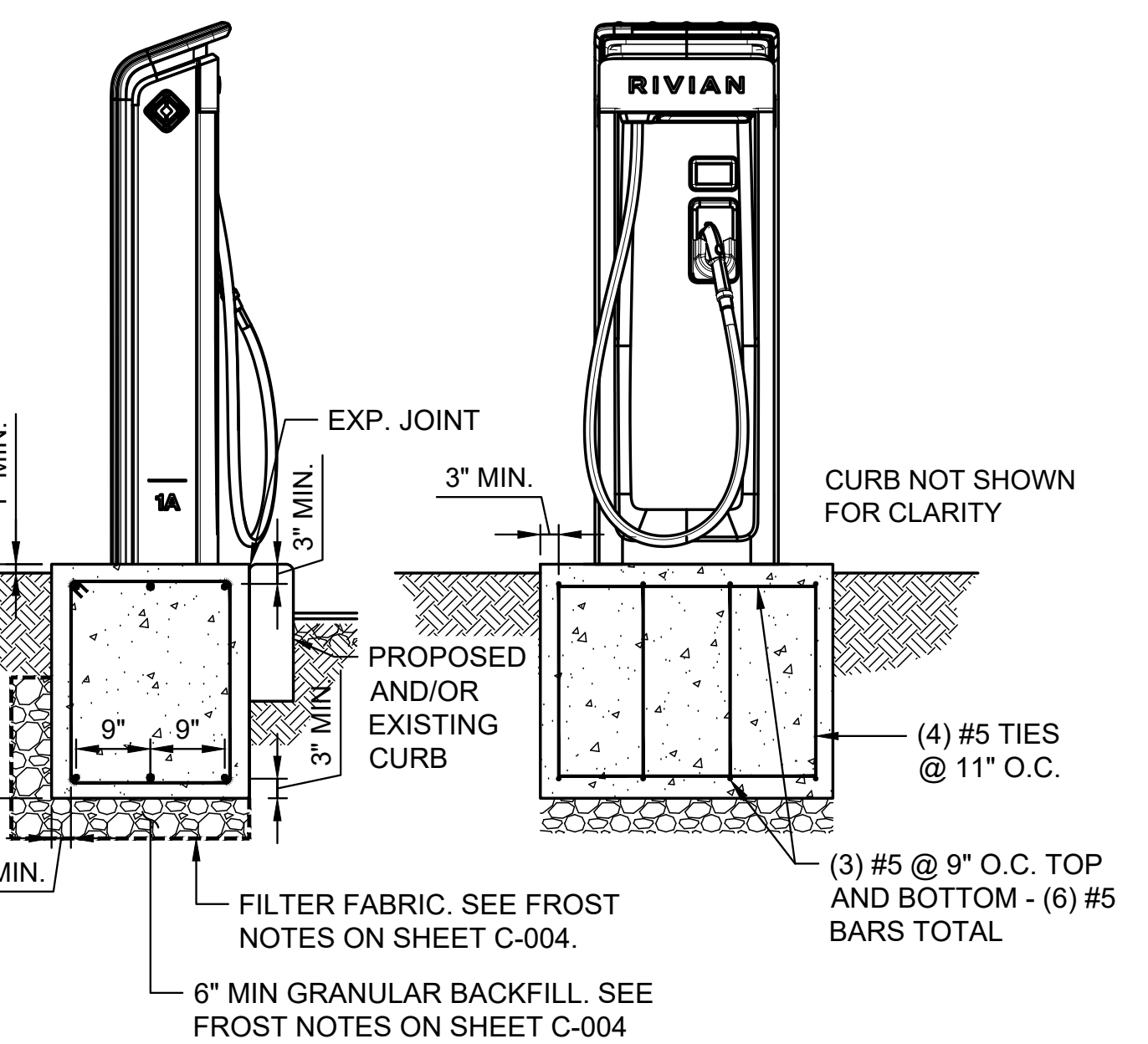
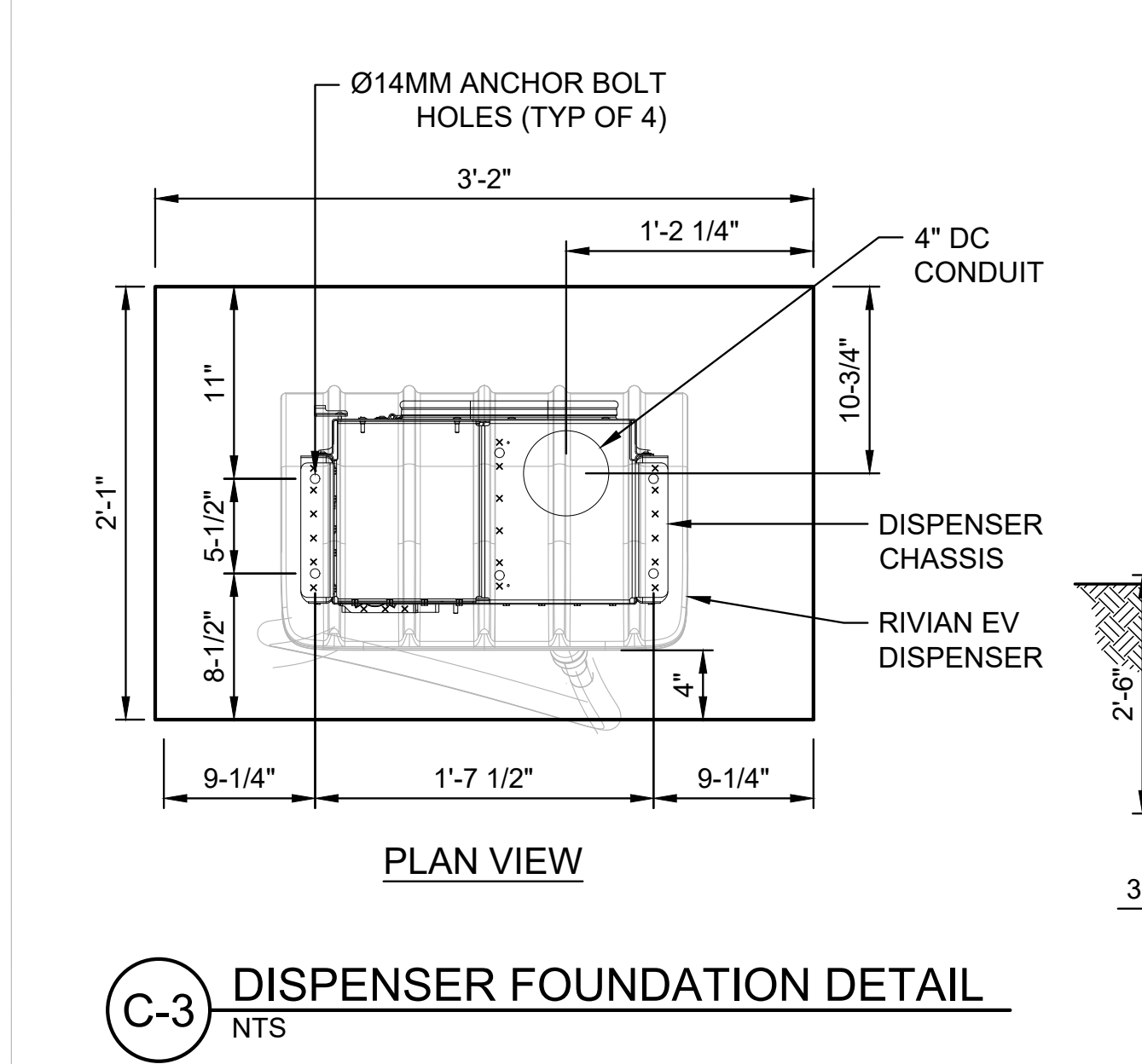
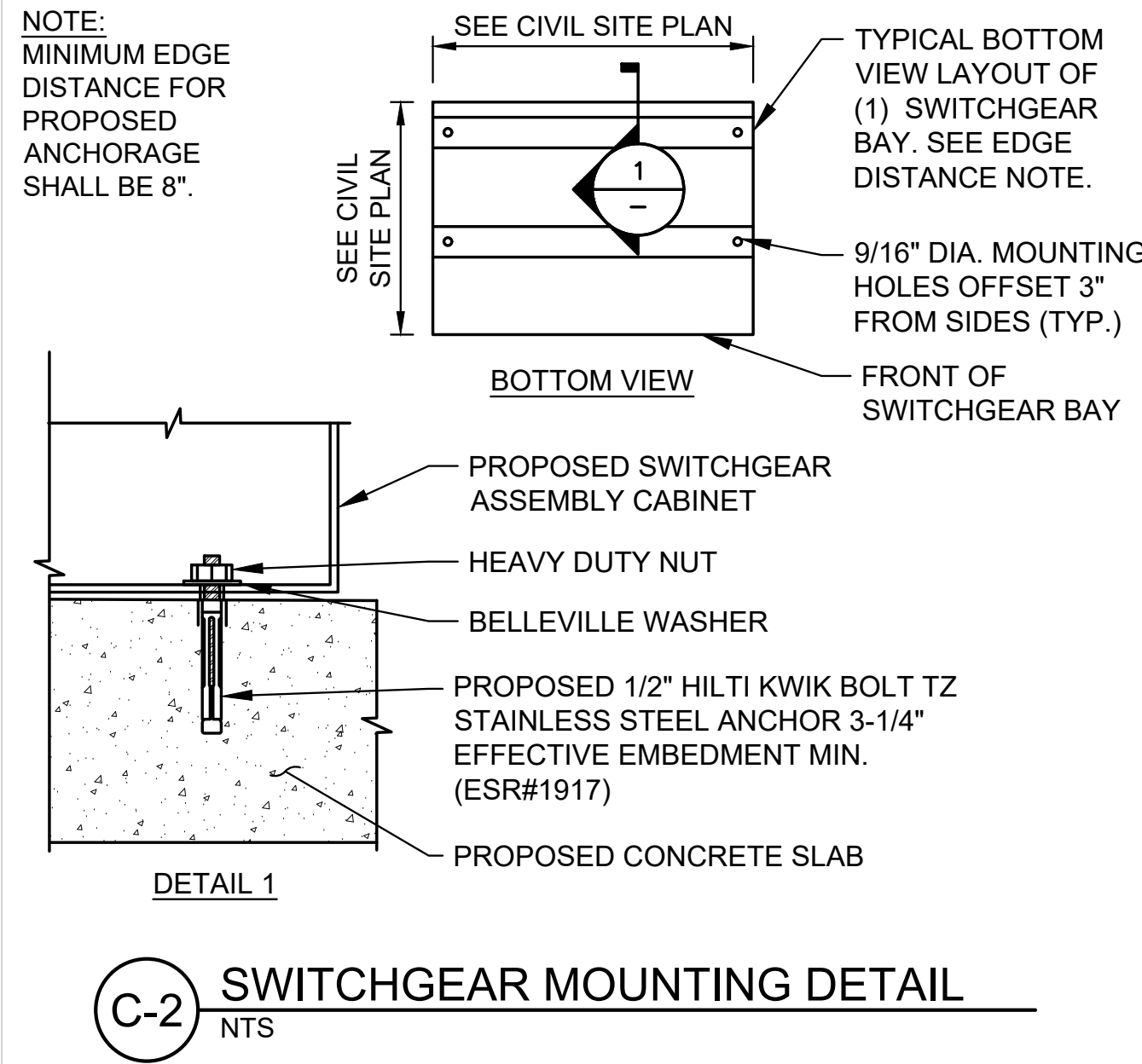
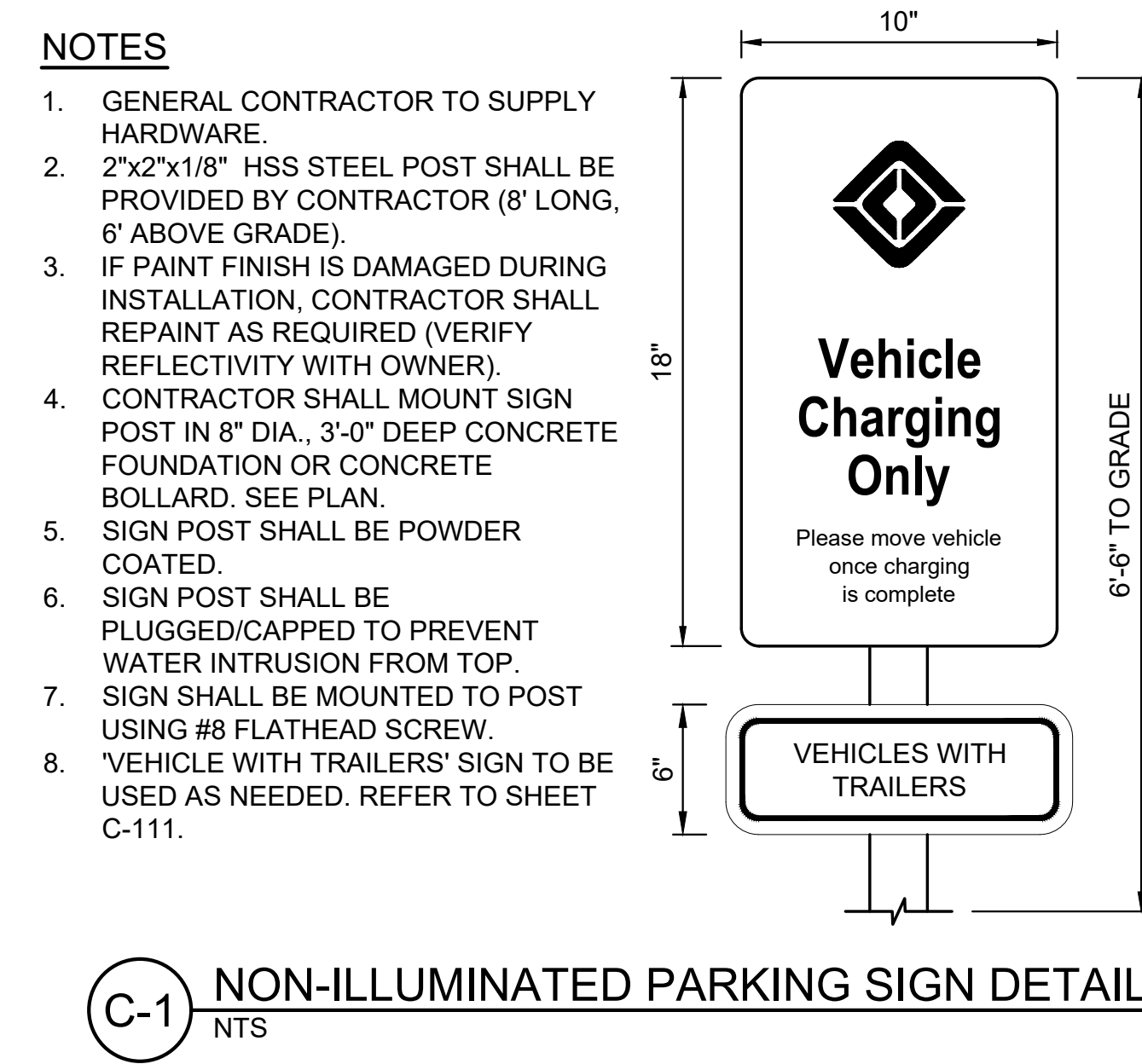
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NEWBURGH, NY 12550

CIVIL DETAILS

PROJECT MANAGER	DESIGNER
IM	KSB

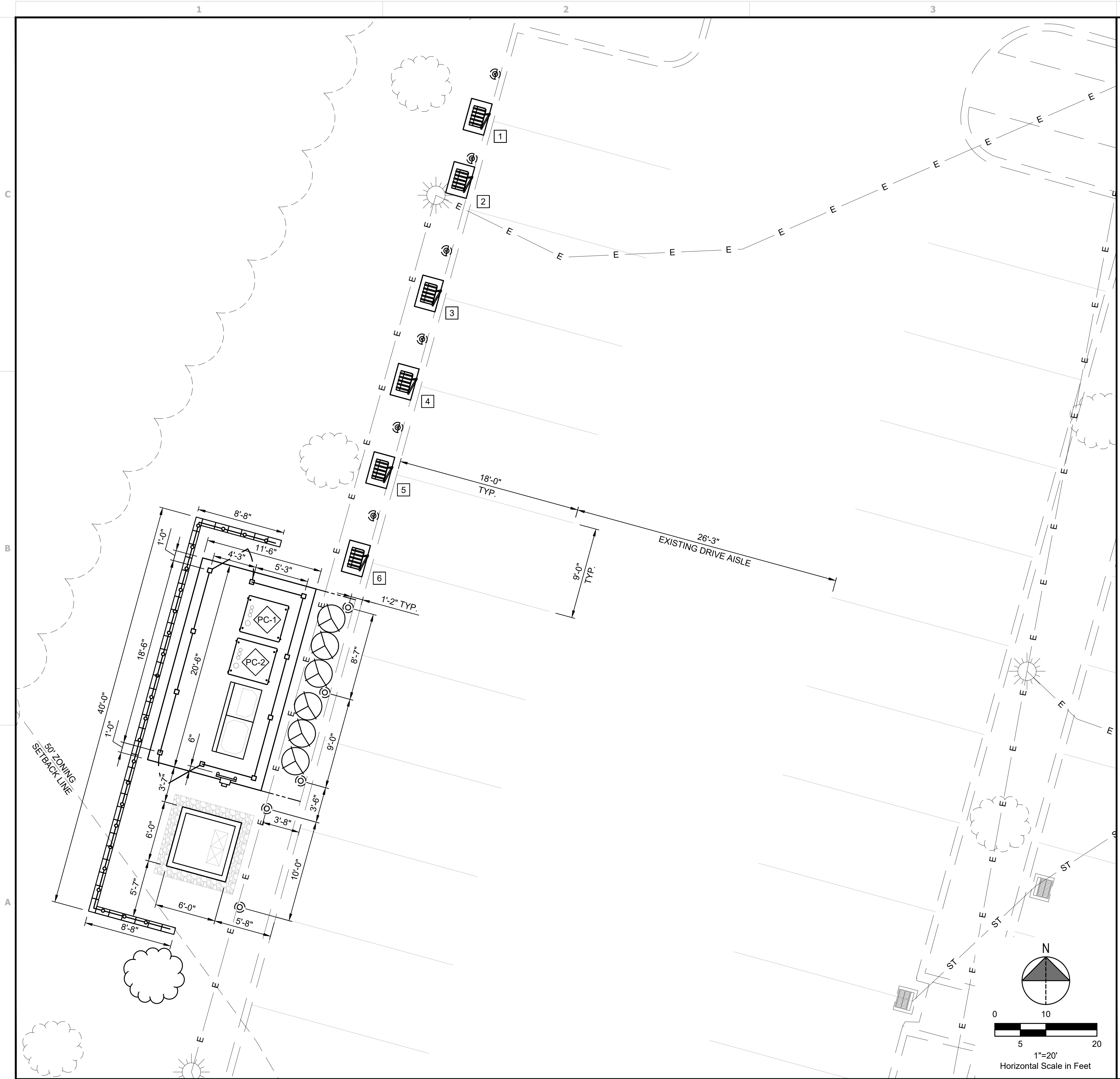
JOB NO.  
2020264.38

C-201



- P.C.C. PAD NOTES & CONCRETE SPECIFICATIONS:**
- FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. THE SUBGRADE SHALL BE ROLLED WITH A 1-TON, VIBRATORY, WALK-BEHIND ROLLER AT A SPEED OF LESS THAN 2 FPS, 6 PASSES MINIMUM, TO PROVIDE UNYIELDING SURFACE.
  - UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL.
  - CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH (f<sub>c</sub>)=2500 psi.
  - REINFORCING BAR TO BE ASTM A615 GRADE 60.
  - ALL REINFORCING TO HAVE MINIMUM CONCRETE COVER PER ACI SPECIFICATIONS.
  - ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO ACI 318-14 AND APPLICABLE STATE BUILDING CODE.
  - PAD SHALL BE A MINIMUM OF 1'-9" IN THICKNESS. THICKNESS OF PAD SHALL INCREASE AS THE PERIMETER SOIL SURFACE SLOPES TO MAINTAIN A MINIMUM OF 1'-7" OF SOIL COVER TO THE BOTTOM OF THE PAD.
  - 100% TIES FOR REBAR OVERLAP. NO COLD JOINTS SHALL BE PERMITTED

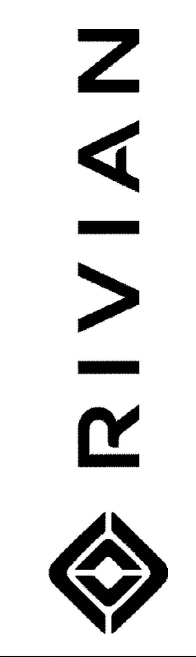
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 NEWBURGH, NY 12550

**DIMENSION SITE PLAN**

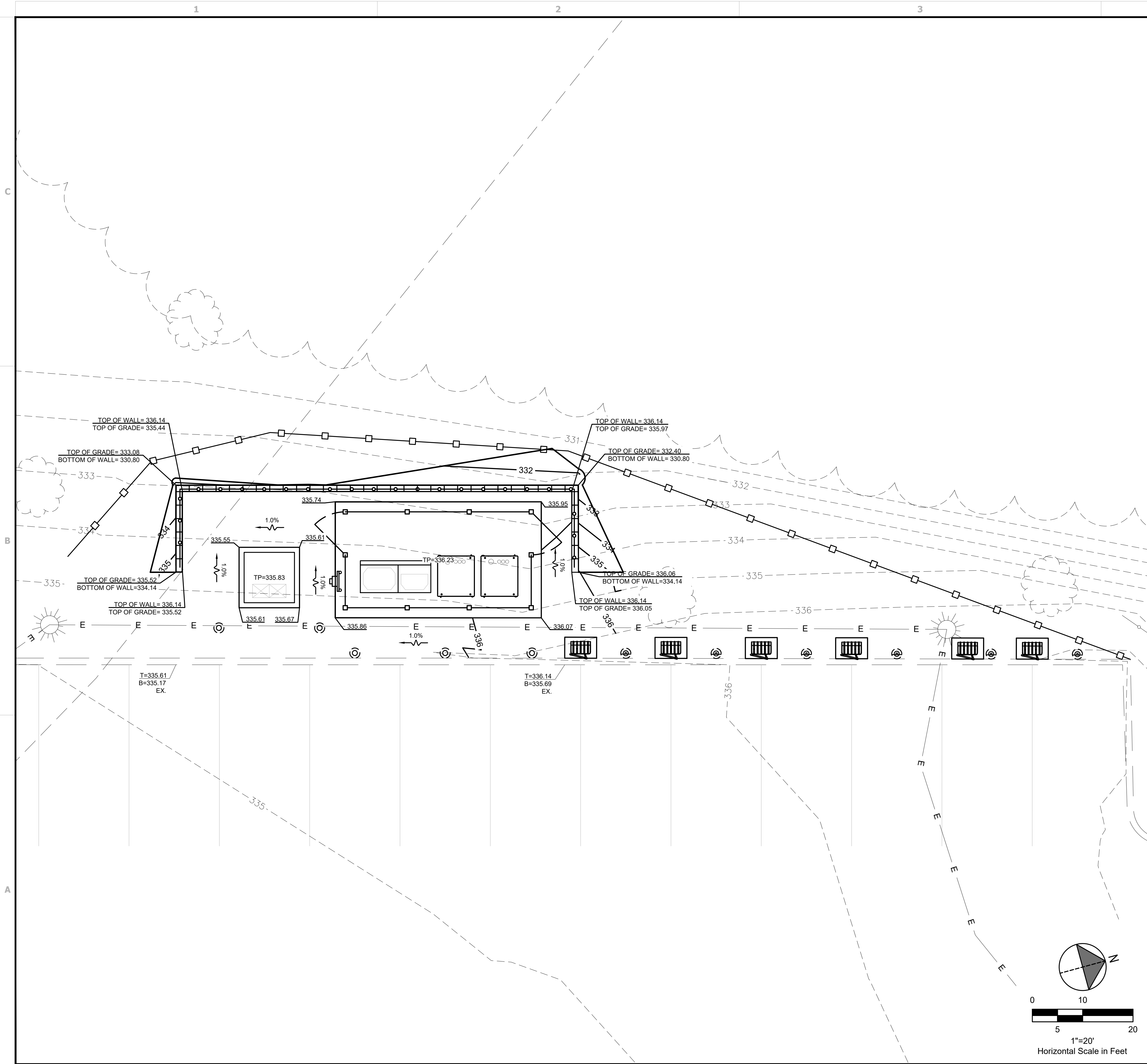
PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**C-112**



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GRADING LEGEND	
	EXISTING ELEVATION
	PROPOSED ELEVATION AT FINISHED GROUND ELEV.
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
	PROPOSED TOP OF PAD ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED DRAINAGE SLOPE AND DIRECTION
	PROPOSED SILTFENCE
BENCHMARK	
SEE CDS COMMERCIAL DUE DILIGENCE SERVICES SURVEY FOR ALL APPLICABLE BENCHMARKS.	

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RIVIAN

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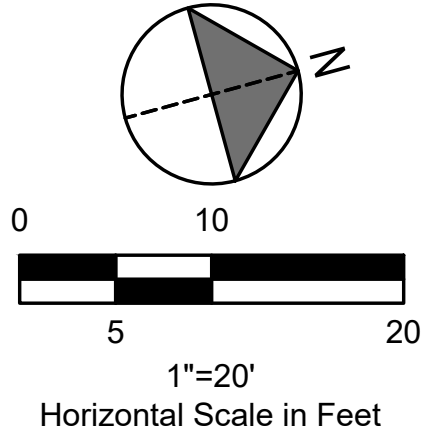
**DCFC ADVENTURE NETWORK**  
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 NEWBURGH, NY 12550

GRADING PLAN

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

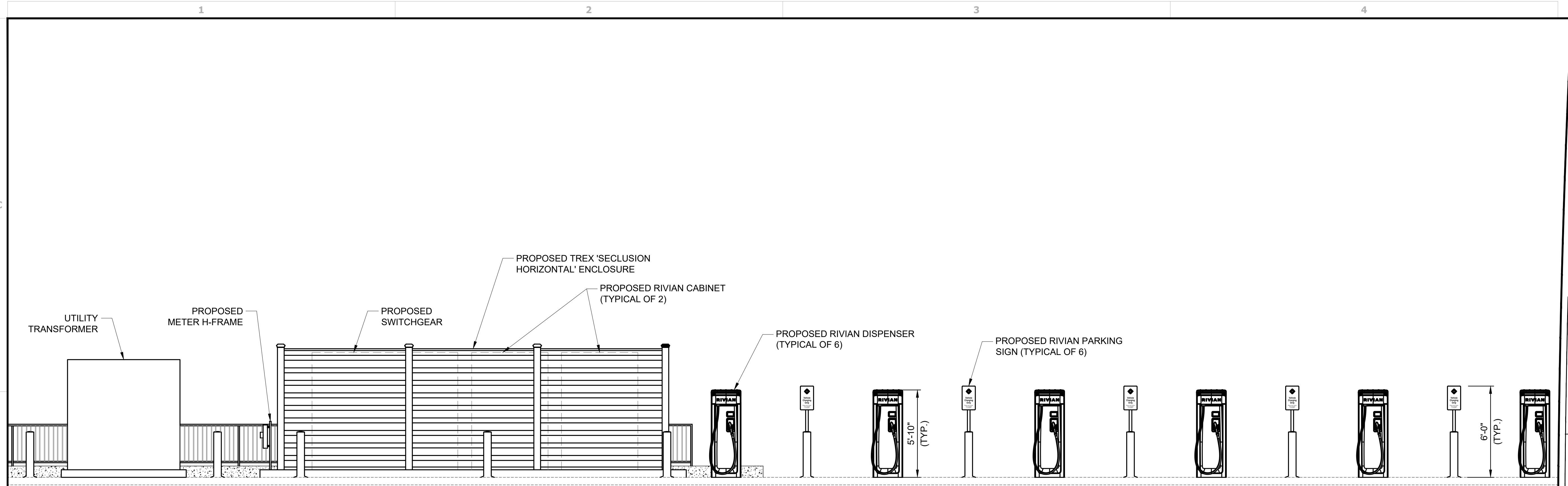
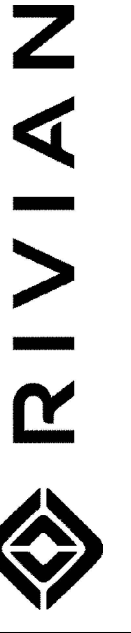
C-113





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**B-1** PROPOSED EQUIPMENT ELEVATION  
NTS

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ELEVATION PLAN

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

C-114

REV.	DATE	DESCRIPTION
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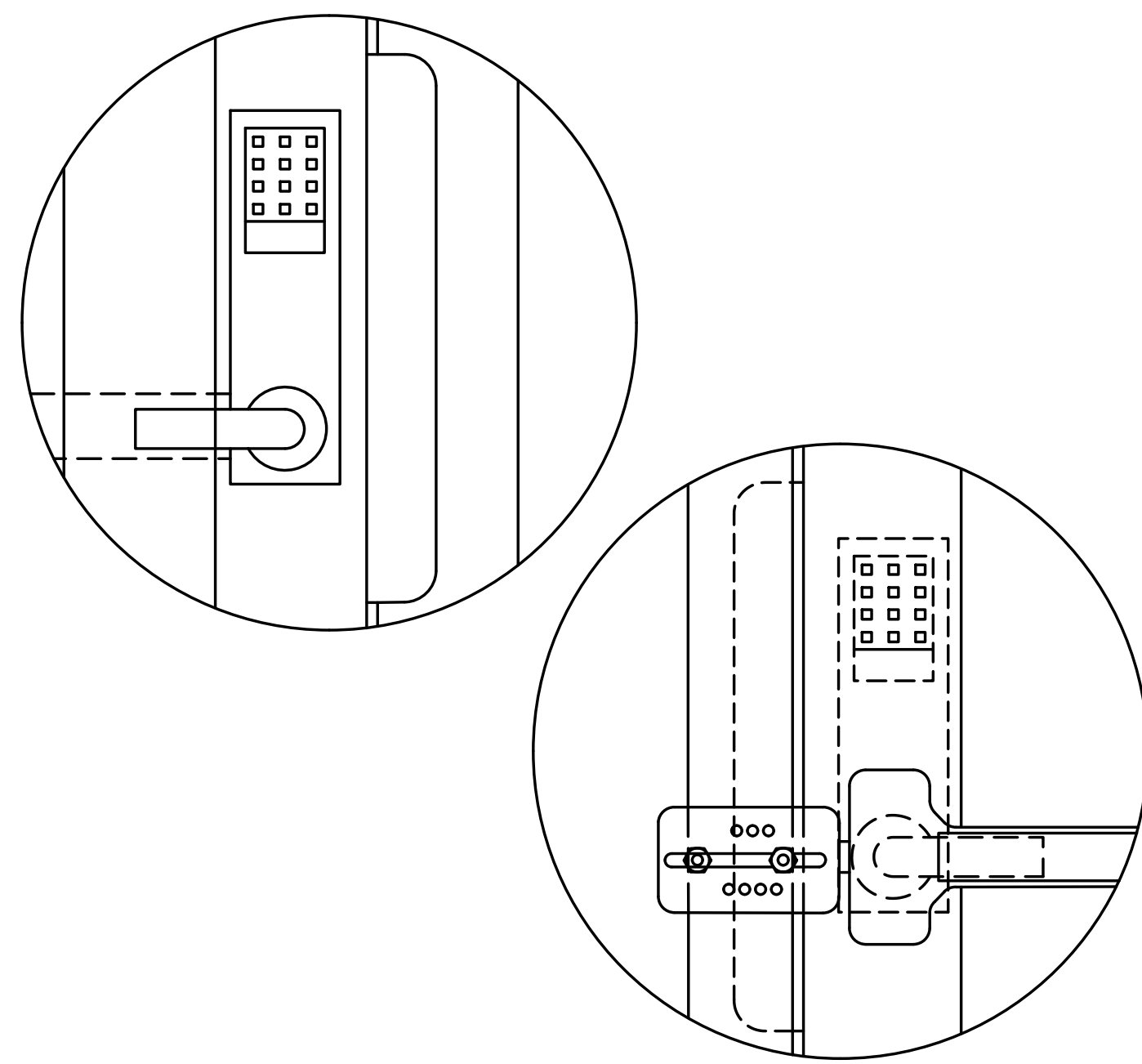
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NEWBURGH, NY 12550

**CIVIL DETAILS**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**C-115**



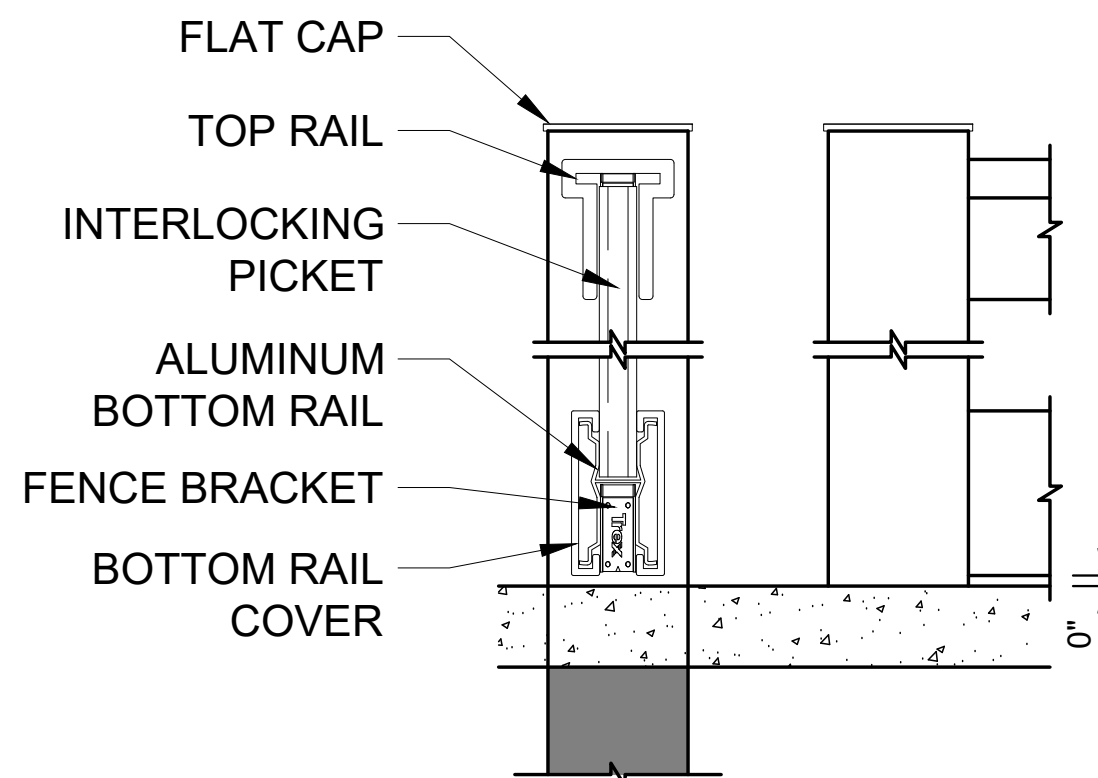
**NOTES**

- FOR SOLID GATES & DOORS, CONTRACTOR SHALL UTILIZE LOCKEY STYLE 285P MED DUTY LEVER WITH PANIC BAR OR APPROVED EQUAL. PURCHASE ADDITIONAL ACCESSORIES AS REQUIRED.
- FOR CHAINLINK GATES, CONTRACTOR SHALL UTILIZE LOCKEY PS11-SECURITY KIT OR APPROVED EQUAL.

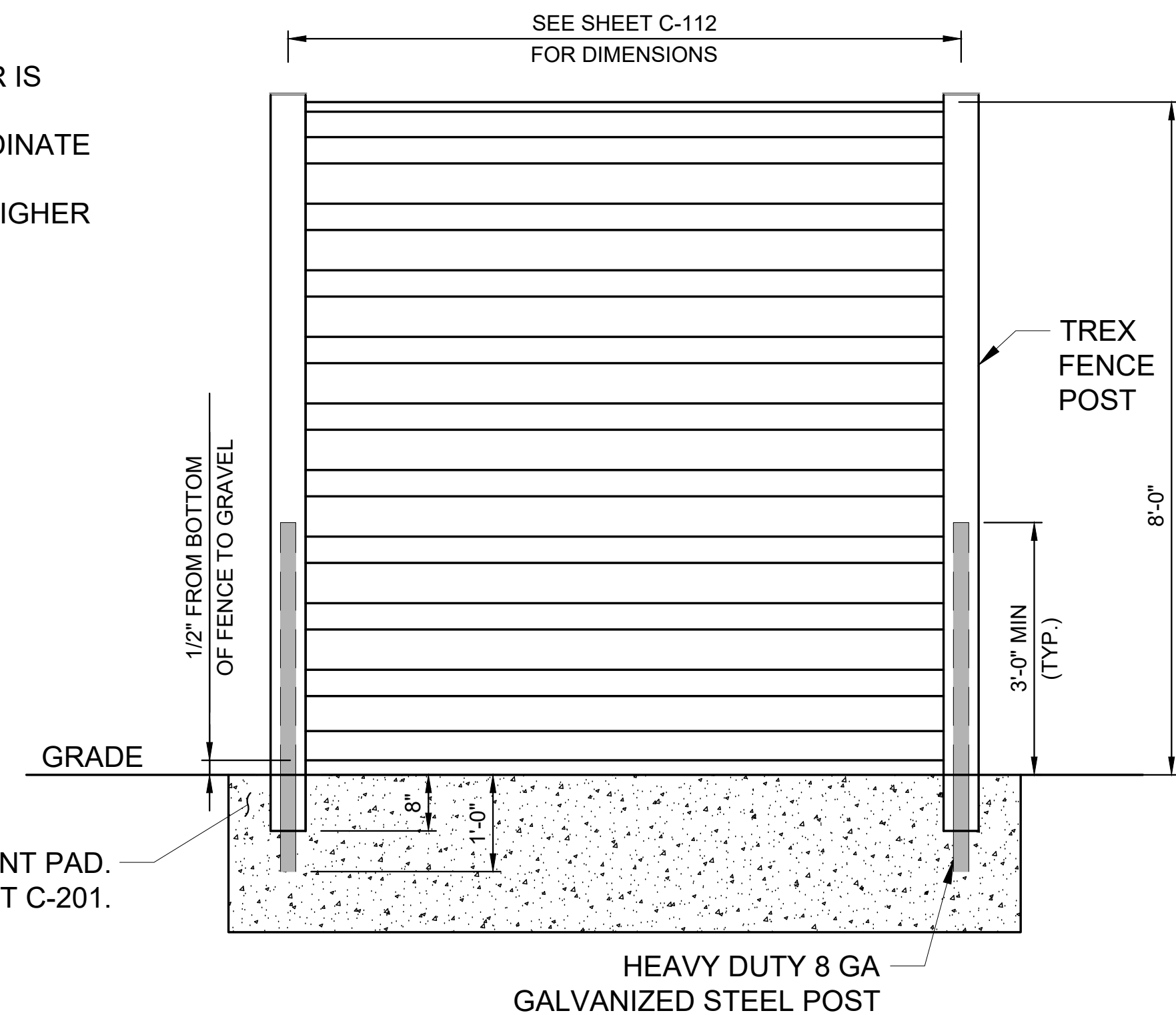
**B-1 SINGLE GATE KYPAD DETAIL WITH PANIC HARDWARE**  
NTS

**NOTES:**

- INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
- THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
- REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
- IF FROST DEPTH EXCEEDS 4'-0", FOOTER TO EXCEED FROST DEPTH.
- ENGINEER OF RECORD SHALL BE CONTACTED IMMEDIATELY IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION.
- FENCING SHALL BE TREX "SECLUSION HORIZONTAL" TYPE WITH COLOR (COORDINATE WITH RIVIAN FOR COLOR CHOICE).
- GENERAL CONTRACTOR TO FIELD MODIFY POST AT ALIGN WITH TOP RAIL, NO HIGHER THAN 8'-0".



**B-2 TREX FENCE DETAIL**  
NTS



PROPOSED EQUIPMENT PAD.  
SEE DETAIL ON SHEET C-201.

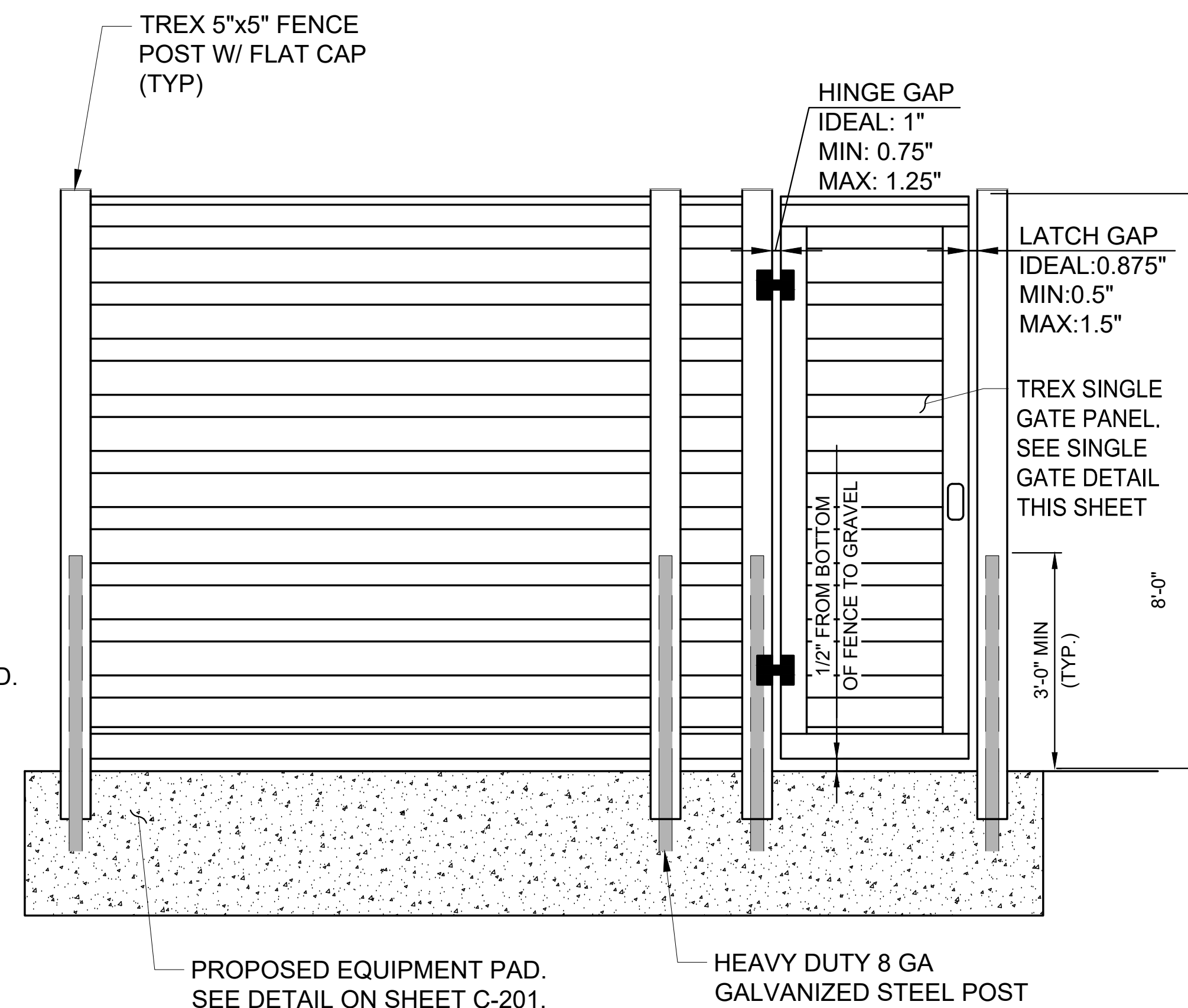
**GATE NOTES:**

- TREX SECLUSIONS HORIZONTAL SINGLE GATE OPENING AT 46-1/4" BETWEEN EDGE OF COMPOSITE POSTS
- REFER TO SITE PLAN FOR APPLICABLE GATE TYPES AND QUANTITIES

**INSTALLATION NOTES:**

- INSTALLATION TO BE COMPLETED PER MANUFACTURER'S RECOMMENDATIONS.
- THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR CONSTRUCTION DETAILS.
- REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
- DRAWING NOT TO SCALE.
- IF FROST DEPTH EXCEEDS 4'-0", FOOTER TO EXCEED FROST DEPTH.
- WHERE POSSIBLE, FOUNDATION TO BE INTREGRAL W/ EQUIPMENT PAD.

**A-2 TREX GATE DETAIL**  
NTS

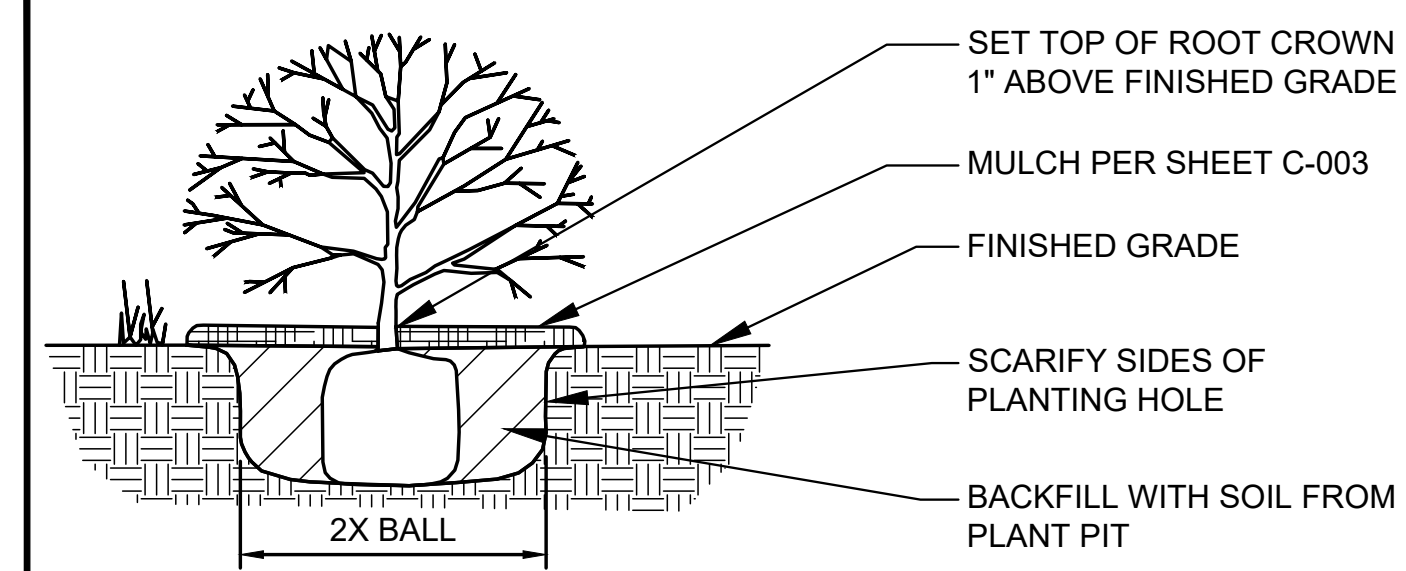


PROPOSED EQUIPMENT PAD.  
SEE DETAIL ON SHEET C-201.

HEAVY DUTY 8 GA  
GALVANIZED STEEL POST

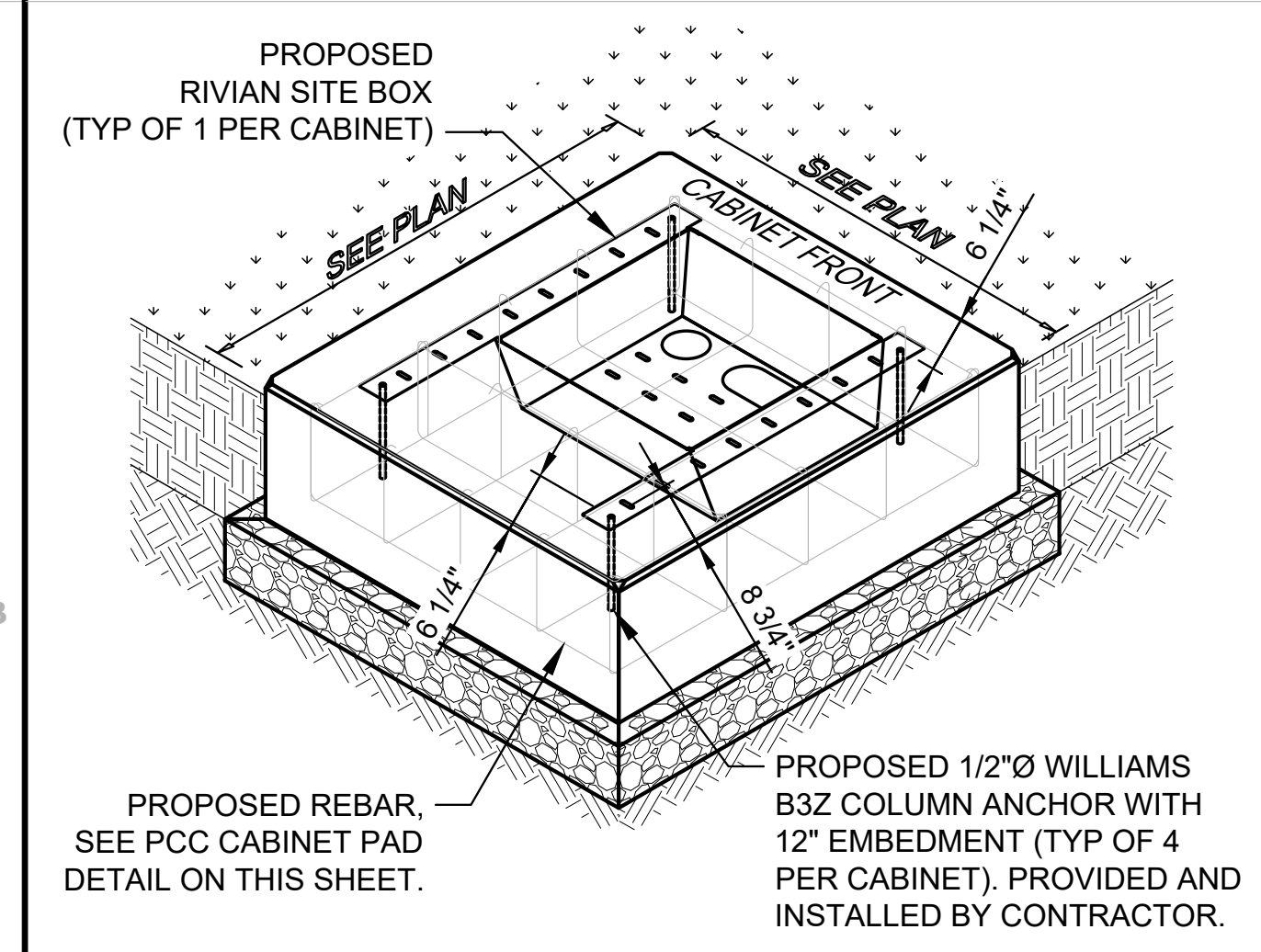
**A-1 DETAIL NOT USED**  
NTS

THIS DOCUMENT HAS NOT BEEN REVIEWED BY THE STAMPING PARTY. THEREFORE, THE STAMPING PARTY MAKES NO REPRESENTATION(S) WITH RESPECT TO ITS CONTENTS, AND SHALL NOT BE LIABLE FOR SUCH. ANY RELIANCE ON THIS STAMP SHALL BE AT THE RELYING PARTY(IES)'S OWN RISK AND HEREBY WAIVES ANY AND ALL CLAIM(S) RELATED TO THE EXISTENCE OF THE STAMP OR OTHERWISE.

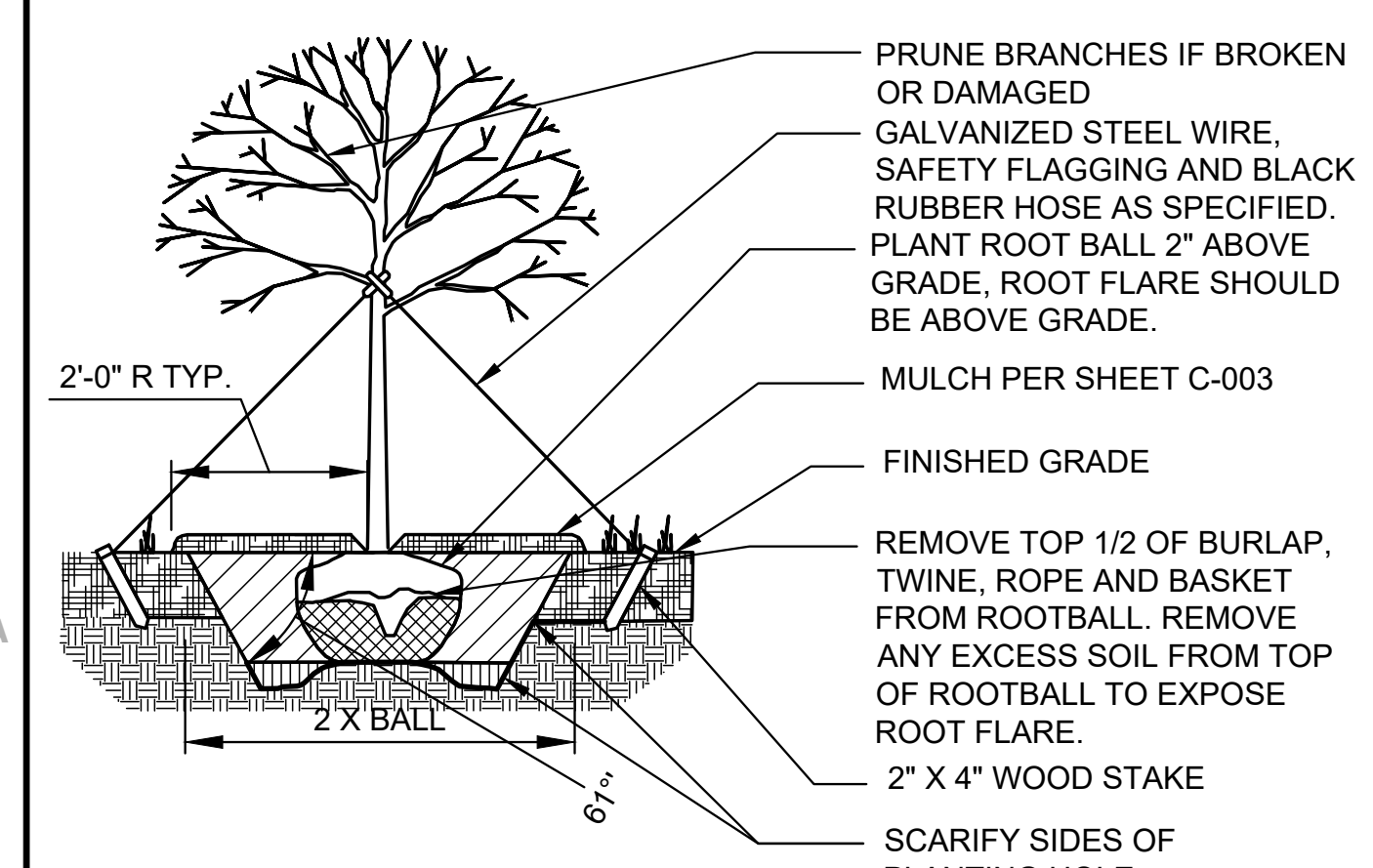


- GENERAL NOTES:**
1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
  2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

**C-1 SHRUB PLANTING DETAIL**  
NTS

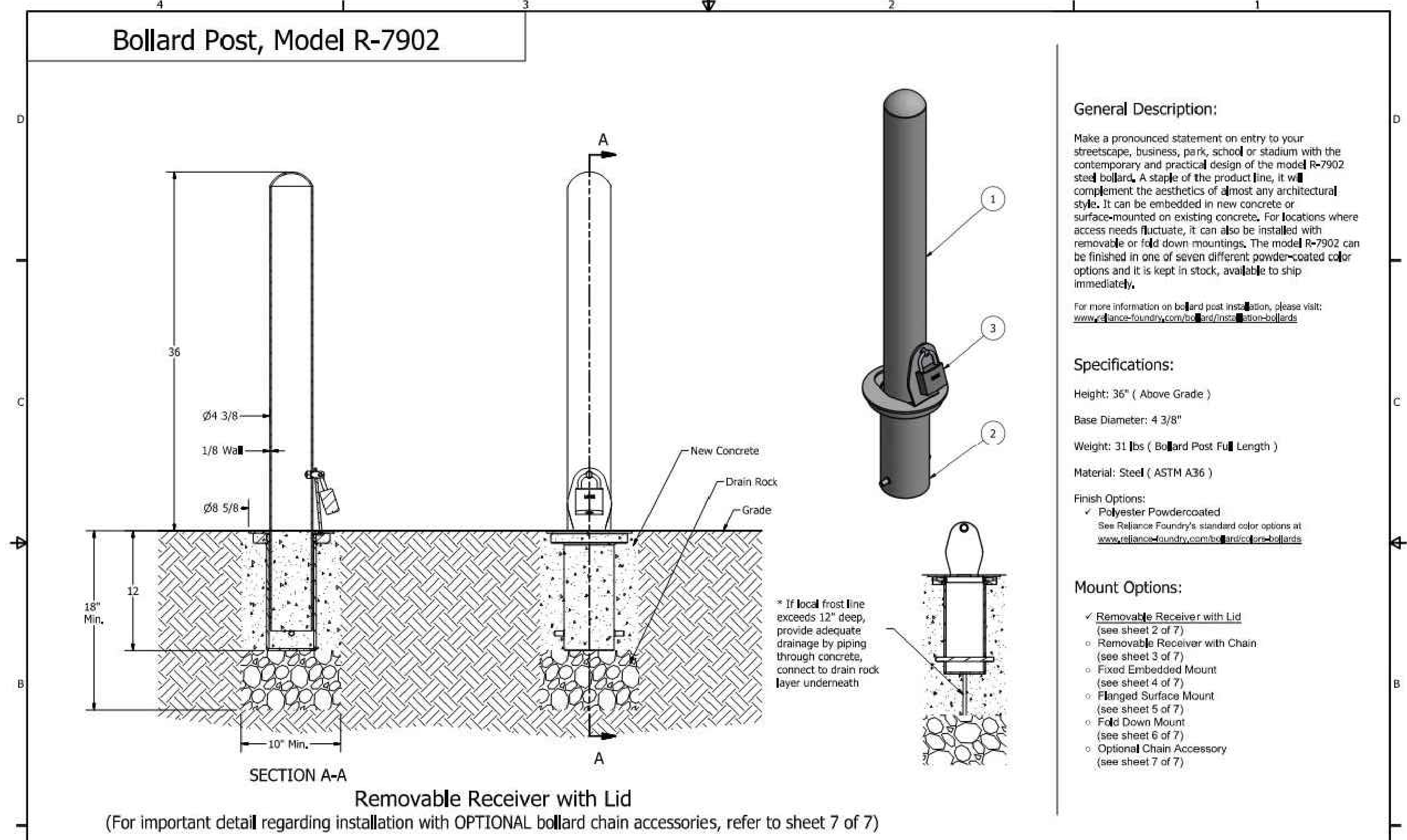


**B-1 ISOMETRIC CABINET MOUNTING DETAIL**  
NTS



- GENERAL NOTES:**
- WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.

**A-1 TREE PLANTING DETAIL**  
NTS



**General Description:**

Make a pronounced statement on entry to your streetscape, business, park, school or stadium with the contemporary and practical design of the model R-7902 steel bollard. A staple of the product line, it will complement the aesthetics of almost any architectural style. It can be embedded in new concrete or surface-mounted on existing concrete. For locations where access needs fluctuate, it can also be installed with removable or fold down mountings. The model R-7902 can be finished in one of seven different powder-coated color options and it is kept in stock, available to ship immediately.

For more information on bollard post installation, please visit: [www.reliance-foundry.com/bollard/installation-bollards](http://www.reliance-foundry.com/bollard/installation-bollards)

**Specifications:**

Height: 36" (Above Grade)

Base Diameter: 4 3/8"

Weight: 31 lbs (Bollard Post Full Length)

Material: Steel (ASTM A36)

**Finish Options:**

- ✓ Polyester Powdercoated

See Reliance Foundry's standard color options at [www.reliance-foundry.com/bollard/color-bollards](http://www.reliance-foundry.com/bollard/color-bollards)

**Mount Options:**

- ✓ Removable Receiver with Lid (see sheet 2 of 7)
- Removable Receiver with Chain (see sheet 3 of 7)
- Fixed Embedded Mount (see sheet 4 of 7)
- Flanged Surface Mount (see sheet 5 of 7)
- Fold Down Mount (see sheet 6 of 7)
- Optional Chain Accessory (see sheet 7 of 7)

- Notes:**
- Embedment details are for reference illustration only. Minimum foundation sizes depend on local soil conditions, weather conditions, and engineering requirements.
  - Bollard post is provided as shown, with material detailed in legend below. Concrete, foundation and/or installation ordered separately or provided by others.
  - This drawing is not drawn to scale. Dimensions provided herein is for reference only. Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
  - Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.

PARTS LIST					
ITEM	QTY	PART NUMBER	DESCRIPTION	MATERIAL	WEIGHT
1	1	R7902 Removable	Bollard R7902 Removable Assembly	Steel Powder Coated	31 lbs
2	1	R7901R Receiver	R7901R Receiver Assembly w/ Lid	Galvanized Steel w/ 316 Stainless Steel Cover	24 lbs
3	1	Padlock (Optional)	Optional Padlock (Brass or Stainless Steel)	Choice of Brass or Stainless Steel	5/8 lbs

**RELIANCE FOUNDRY**  
— SINCE 1930 —  
Unit 207, 6450 - 148 Street, Surrey, BC V3S 7G7, Canada  
1-888-735-5680 info@reliance-foundry.com  
[www.reliance-foundry.com](http://www.reliance-foundry.com)

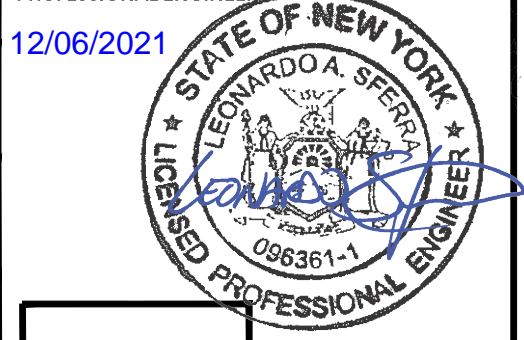
TITLE: **Bollard Post, Model R-7902**

SIZE: C DWG NO: R-7902 REV: C1

NOT TO SCALE SHEET 2 OF 7

REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

WARNING - IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER THIS DOCUMENT UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



DCFC ADVENTURE NETWORK  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

CIVIL DETAILS

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

C-202

**GOVERNING BUILDING CODE:**

GOVERNING BUILDING CODE: 2020 BUILDING CODE OF NEW YORK STATE (IBC 2018)

**DESIGN LOADINGS:**

LATERAL LOAD DESIGN DATA:

WIND DESIGN DATA (ASCE 7-16):

BASIC WIND SPEED ( $V_{ult}$ )	112 MPH
BASIC WIND SPEED ( $V_{asd}$ )	87 MPH
IMPORTANCE FACTOR	1.0
EXPOSURE CATEGORY	C

SEISMIC DESIGN DATA (ASCE 7-10):

SEISMIC IMPORTANCE FACTOR (I)	1.0
RISK CATEGORY	II
SITE CLASS	D(ASSUMED)
MAPPED SPECTRAL RESPONSE	
SHORT PERIODS ( $S_s$ )	0.231
1 SEC. PERIODS ( $S_1$ )	0.057
SPECTRAL RESPONSE COEFF.	
SHORT PERIODS ( $S_{Ds}$ )	0.246
1 SEC. PERIODS ( $S_{D1}$ )	0.091

SEISMIC DESIGN CATEGORY B

**GENERAL PROVISIONS:**

TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR UNLESS OTHERWISE NOTED.

DRAWINGS ARE NOT TO BE SCALED.

THE CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS TO IDENTIFY THE SCOPE OF WORK REQUIRED, VISIT THE SITE TO RELATE THE SCOPE OF WORK TO EXISTING CONDITIONS, AND DETERMINE THE EXTENT OF WHICH THOSE CONDITIONS AND PHYSICAL SURROUNDINGS WILL IMPACT THE WORK.

EXISTING CONDITIONS, AS SHOWN ON THESE PLANS, ARE FOR REFERENCE ONLY. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL ASSUME THE MOST STRINGENT REQUIREMENTS APPLY IN CASE OF CONFLICT AMONG SPECIFICATIONS, STANDARDS, CODES AND DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.

ANY DEVIATION, MODIFICATION, OR SUBSTITUTION FROM THE BID SET OF STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW/APPROVAL PRIOR TO ITS USE OR INCLUSION ON THE SHOP DRAWINGS. WITHOUT SUCH PRIOR APPROVAL, DEVIATIONS, MODIFICATIONS, OR SUBSTITUTIONS WILL BE REJECTED. COSTS FOR DEMOLITION AND REWORK OF SUCH ITEMS WILL BE BORNE BY THE CONTRACTOR.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED FOR IN-SERVICE LOADS ONLY. THE MEANS, METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHICH INCLUDE THE DETERMINATION OF ALLOWABLE CONSTRUCTION LOADING OF THE STRUCTURE. THE CONTRACTOR SHALL PROVIDE, DESIGN, MONITOR, AND MAINTAIN ALL NECESSARY TEMPORARY AND PERMANENT SYSTEMS (SHORING, BRACING, GUYS, FALSEWORK, FORMWORK, SHEETING, ETC.) TO ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION. ANY SYSTEMS SHOWN ON THE DOCUMENTS ARE PARTIAL AND SCHEMATIC IN NATURE AND EXTENTS ARE NOT ALL INCLUSIVE. ALL WORK SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT EXISTING WORK.

THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE STRUCTURAL CONTRACT DOCUMENTS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY CONFLICTS BETWEEN THOSE DOCUMENTS AND ANY SAFETY REGULATIONS. SUCH REVIEW AND NOTIFICATION SHALL OCCUR PRIOR TO PRODUCTION OF SHOP DRAWINGS.

THE CONTRACTOR SHALL PROTECT ALL WORK, MATERIALS, AND EQUIPMENT FROM DAMAGE AND SHALL PROVIDE PROPER STORAGE FACILITIES FOR MATERIALS AND EQUIPMENT DURING CONSTRUCTION.

SITE VISITS PERFORMED BY THE ARCHITECT/ENGINEER DO NOT INCLUDE INSPECTIONS OF MEANS AND METHODS OF CONSTRUCTION PERFORMED BY THE CONTRACTOR.

STRUCTURAL OBSERVATIONS PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION ARE NOT THE CONTINUOUS AND SPECIAL INSPECTION SERVICES AND DO NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING DEPARTMENT INSPECTOR OR THE TESTING AGENCY. ALSO, OBSERVATIONS DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.

NO STRUCTURAL ELEMENTS ARE TO BE CUT UNLESS SPECIFICALLY APPROVED BY THE ENGINEER.

**FOUNDATION SYSTEMS:**

**GENERAL:**

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL VERIFY ANY EXISTING FIELD CONDITION THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM.

THE CONTRACTOR SHALL EXERCISE GREAT CARE DURING EXCAVATION. UNDERGROUND UTILITY LOCATIONS, IF SHOWN, ARE APPROXIMATE. THE CONTRACTOR SHALL PREDETERMINE UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF DEVIATION FROM PLANS EXIST. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE SUPPORT OF UTILITIES ACROSS EXCAVATIONS.

SHEETING, SHORING, AND DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR.

NO GEOTECHNICAL REPORT WAS PROVIDED AT THE TIME OF FOUNDATION DESIGN. A SOILS TESTING LABORATORY SHALL BE RETAINED BY THE OWNER TO PROVIDE CONSTRUCTION REVIEW TO ENSURE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS DURING THE EXCAVATIONS, BACKFILL, AND FOUNDATION PHASES OF THE PROJECT.

**RETAINING WALL SYSTEM:**

**ASSUMED DESIGN PARAMETERS:**

NET ALLOWABLE SOIL BEARING PRESSURE	2,000 PSF
TOTAL UNIT WT. OF SOIL	120 PCF
ACTIVE SOIL PRESSURE	40 PSF/FT
PASSIVE SOIL PRESSURE	300 PSF/FT
COEFFICIENT OF SLIDING FRICTION, f	0.35

SEISMIC DESIGN PRESSURE HAS BEEN DETERMINED USING THE MONONOBE-OKABE/SEED-WHITMAN PROCEDURE UTILIZING A DESIGN ACCELERATION FACTOR,  $K_h$  OF 0.1 ( $K_v$  ASSUMED = 0)

THE CONTRACTOR SHALL EXERCISE GREAT CARE DURING EXCAVATION. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PREDETERMINE UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF DEVIATION FROM PLANS EXIST. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE SUPPORT OF UTILITIES ACROSS EXCAVATIONS.

**SPREAD/TRENCH FOOTINGS:**

DETERMINATION OF FINAL BEARING ELEVATIONS, TOPSOIL AND EXCAVATION STRIPPING DEPTH, INSPECTION OF ALL SUBSOIL EXPOSED DURING STRIPPING, SITE GRADING, EXCAVATION OPERATIONS, APPROVAL OF FILL MATERIALS, DENSITY TESTING OF FILLS TO ENSURE PLACEMENT PER SPECIFICATION REQUIREMENTS, INSPECTION OF FOUNDATION BEARING SURFACES, AND VERIFICATION OF ALLOWABLE BEARING PRESSURES ARE THE TESTING LABORATORY'S RESPONSIBILITY.

ALL FOUNDATIONS ARE TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL FREE FROM ORGANIC MATTER. IF POOR SOIL CONDITIONS ARE ENCOUNTERED AT FOUNDATION DEPTHS SHOWN, NOTIFY OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH CONSTRUCTION.

NEW FOOTINGS PLACED ADJACENT TO EXISTING FOOTINGS SHALL BEAR AT THE SAME ELEVATION, UNLESS NOTED OTHERWISE.

STEP FOOTINGS AT A RATIO OF ONE (1) VERTICAL TO TWO (2) HORIZONTAL WITH A MAXIMUM VERTICAL STEP OF 2'-0" UNLESS NOTED OTHERWISE.

INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES, WHICH WILL RESULT IN DETERIORATION OF BEARING FORMATIONS, SHALL BE PREVENTED. FOOTINGS SHALL BE PLACED IMMEDIATELY FOLLOWING FOOTING EXCAVATIONS AND BEARING SURFACE INSPECTION.

UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.

GROUNDWATER ASSUMED TO BE BELOW EXCAVATION DEPTH. IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION ON SITE, CONTRACTOR SHALL PROVIDE FOR ANY SITE DRAINAGE AND DE-WATERING REQUIRED.

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO EXCAVATION. IF NECESSARY, UTILITIES SHALL BE RELOCATED PRIOR TO FOUNDATION INSTALLATION.

**PROOFROLLING:**

PRIOR TO EXCAVATION FOR STRUCTURES, PROOFROLL AREAS USING A HEAVILY LOADED DUMP TRUCK OR SIMILARLY HEAVILY LOADED VEHICLE. ALL SOFT, LOOSE OR UNSTABLE AREAS ARE TO BE STABILIZED WITH ADDITIONAL COMPACTION OR UNDERCUT AND REPLACED WITH ENGINEERED FILL.

**ENGINEERED FILL:**

ENGINEERED FILL SHALL BE WELL GRADED MATERIAL FREE FROM DEBRIS, ORGANIC MATERIAL, FROZEN MATERIALS, BRICK, LIME, CONCRETE AND OTHER MATERIALS THAT WOULD PREVENT ADEQUATE PERFORMANCE. FILL SHALL CONFORM TO ASTM D2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP OR SM.

UNLESS OTHERWISE NOTED, THE PROPOSED ENGINEERED FILL MATERIALS ARE TO BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES IN LOOSE MEASURED THICKNESS. EACH LIFT IS TO BE COMPACTED A MINIMUM OF 98% MAXIMUM DENSITY BY ASTM D698.

THE EARTHWORK PROGRAM SHOULD BE CONDUCTED UNDER THE SUPERVISION OF A SOILS LABORATORY.

THE IN-PLACE DENSITIES ACHIEVED ARE TO BE VERIFIED BY TEST.

**BACKFILL:**

BACKFILL OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ONSITE GEOTECHNICAL ENGINEER.

BACKFILL MATERIAL SHALL BE APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.

PRIOR TO BACKFILL OPERATIONS AGAINST FOUNDATION WALLS, THE WALLS SHALL BE PROPERLY SHORED TO RESIST THE LATERAL FORCE OF THE BACKFILL AND ASSOCIATED EQUIPMENT.

BACKFILL SHALL NOT BE PLACED UNTIL THE WALL HAS REACHED ITS DESIGN STRENGTH.

**CONCRETE:**

**GENERAL:**

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 301-10, "STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE" AND ACI 302, 305 AND 306 UNLESS NOTED OTHERWISE.

ALL DETAILING, FABRICATION AND PLACING OF CONCRETE SHALL CONFORM TO ACI 318-14, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND THE LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAIL REINFORCED CONCRETE STRUCTURES" UNLESS NOTED OTHERWISE.

SAFETY AND PERFORMANCE OF THE STRUCTURE ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY ARE AFFECTED BY THE LOCATION AND DETAILS OF CONSTRUCTION JOINTS. SHOP DRAWINGS OF THE PROPOSED CONSTRUCTION JOINT LOCATIONS AND DETAILS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 1/3 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. MAXIMUM SIZE MAY BE INCREASED TO 2/3 CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HONEYCOMBS OR VOIDS.

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

ALL CONCRETE - 4000 PSI

ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN 6% (± 1%) AIR ENTRAINMENT.

REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.

NO TACK WELDING OF REINFORCING IN THE FIELD IS PERMITTED.

PROVIDE CORNER BARS AT ALL LOCATIONS WHERE REINFORCEMENT CHANGES DIRECTION.

PROVIDE STRAIGHT AND DIAGONAL BARS AT EDGES OF ALL OPENINGS.

REINFORCING EMBEDMENT AND LAP SPLICES (INCHES) FOR 4000 PSI CONCRETE

BAR SIZE	OTHER		TOP*	
	ANCHORAGE	SPLICE	ANCHORAGE	SPLICE
# 3	15	19	19	24
# 4	19	25	25	33
# 5	24	31	31	41
# 6	29	37	37	49
# 7	42	54	54	71
# 8	48	62	62	81

\* HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE BELOW BAR

NON-SHRINK GROUT SHALL MEET A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 6000 PSI.

**MASONRY:**

ALL CONCRETE MASONRY SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-13/ASCE 5-13/TMS 402-13) AND "SPECIFICATION FOR MASONRY STRUCTURES" (ACI 530.1-13/ASCE 6-13/TMS 602-13) AND LOCAL BUILDING CODE REQUIREMENTS.

NORMAL WEIGHT CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, TYPE I OR II.

THE MINIMUM PRISM COMPRESSIVE STRENGTH ( $f_m$ ) SHALL BE 2000 PSI.

ASTM C270, TYPE "S" MORTAR WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI SHALL BE USED FOR ALL MASONRY WALLS.

GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.

LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. BED WEBS IN MORTAR IN STARTING COURSE OF FOOTINGS AND IN ALL COURSES OF COLUMNS AND PILASTERS, AND WHERE ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED WITH CONCRETE OR GROUT.

MASONRY SHALL BE LAID IN RUNNING BOND, UNLESS NOTED OTHERWISE.

VERTICAL REINFORCING LAP SPLICES SHALL BE 48 BAR DIAMETERS U.N.O.

PROVIDE HORIZONTAL JOINT REINFORCING WITH 9 GAGE SIDE AND CROSS RODS (GALVANIZED) SPACED AT 16" ON CENTER VERTICALLY. HORIZONTAL JOINT REINFORCING SHALL BE LAPPED A MINIMUM OF (2) CROSS BARS OR 6", WHICHEVER IS GREATER.

MAXIMUM GROUT POUR SHALL BE 5 FEET. CONSOLIDATE BY MECHANICAL VIBRATION.

MORTAR PROTRUSIONS, EXTENDING INTO CELLS OR CAVITIES TO BE REINFORCED AND FILLED, SHALL BE REMOVED.

WHERE THERE IS A CHANGE IN BOND BEAM ELEVATION, PROVIDE LAP BETWEEN BONDS BEAMS THROUGH 2 BARS OF VERTICAL REINFORCING OR 4 FEET, WHICHEVER IS GREATER.

ALL CORNERS ARE TO BE TIED BY MASONRY BOND.

ALL MASONRY WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT APPROXIMATELY 12' O.C.



GPD Engineering and Architecture Professional Corporation

520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

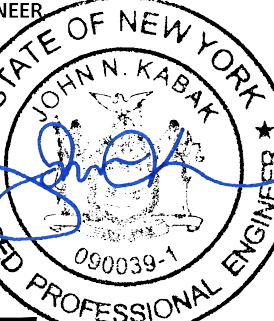
**RIVIAN**



REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

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12/06/2021



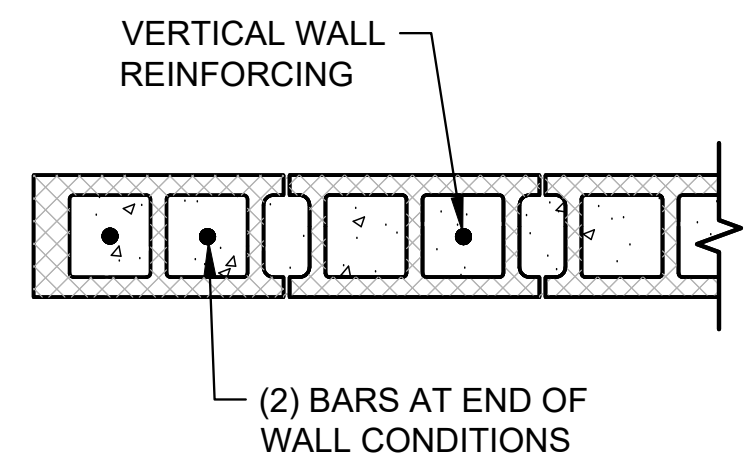
**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**GENERAL STRUCTURAL NOTES**

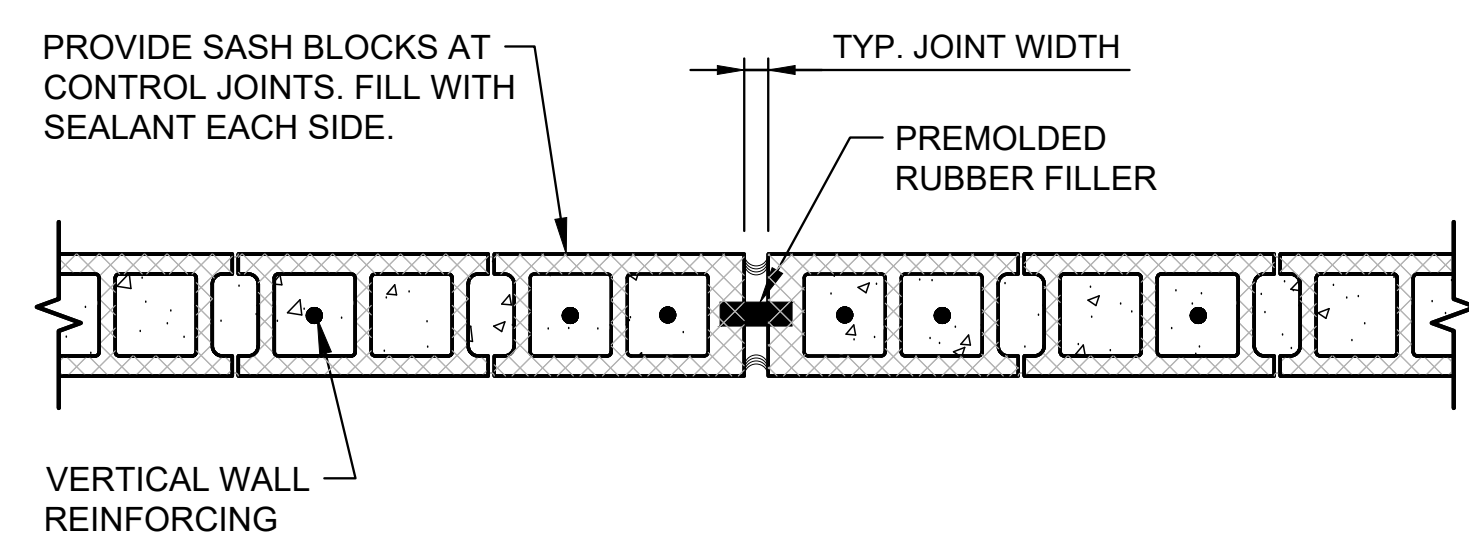
PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**S-001**



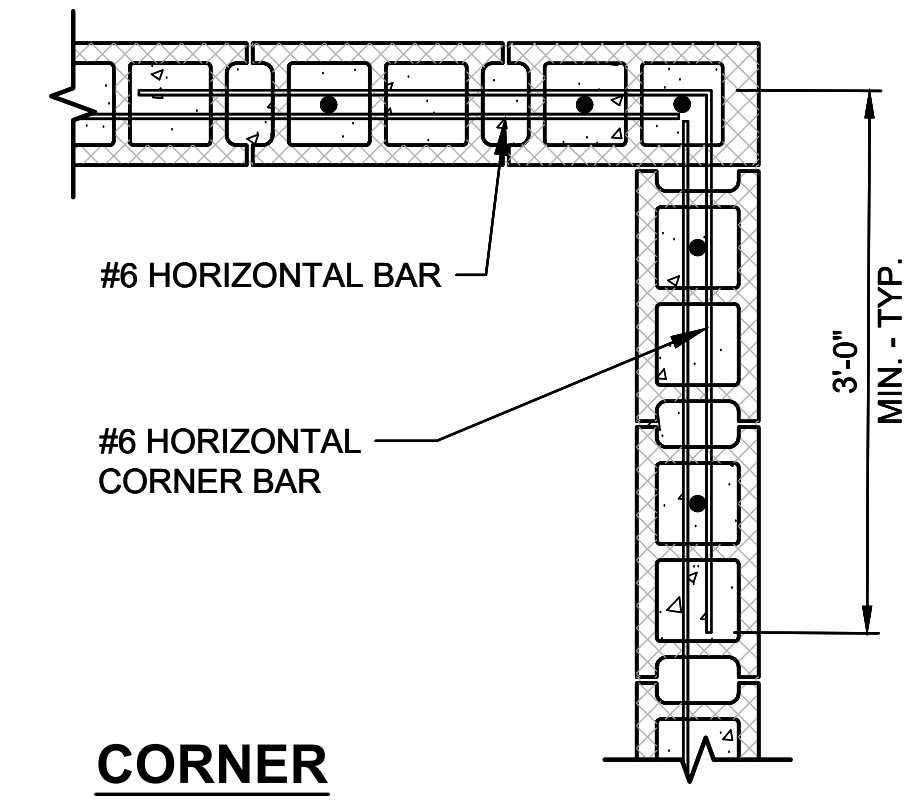
TYPICAL MASONRY WALL DETAIL N.T.S 5



- NOTES:
- MAX SPACING OF JOINTS: 10'-0" MAX.
  - BOND BEAM WALL REINFORCING SHALL CONTINUE THROUGH JOINT (NOT SHOWN FOR CLARITY).
  - EXISTING WALL MAY OCCUR.

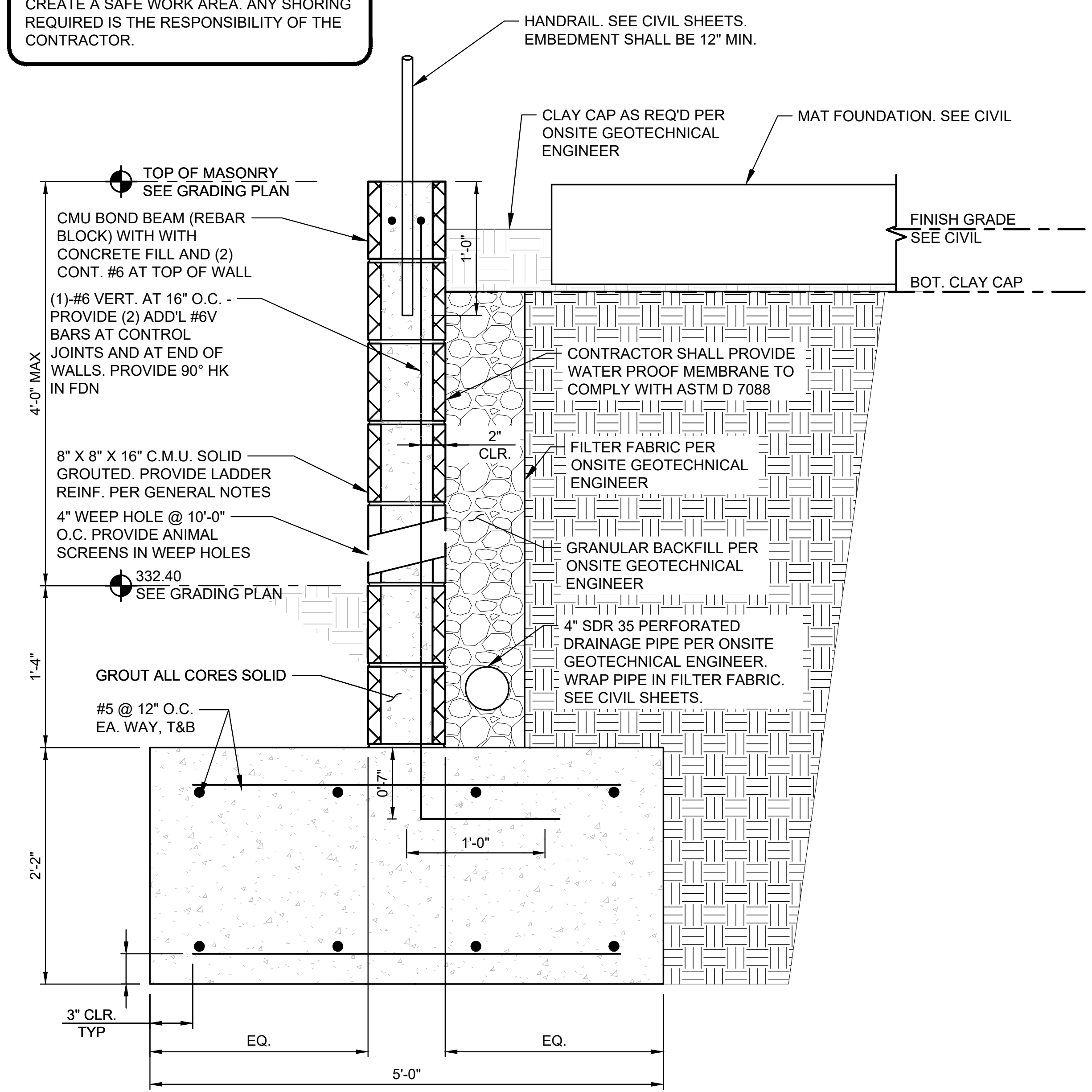
TYPICAL MASONRY CONTROL JOINT DETAIL N.T.S 3

- NOTES:
- PROVIDE (3)-VERTICAL BARS AT ALL CORNERS.
  - ALL INTERSECTING MASONRY CORNERS SHALL BE TIED BY MASONRY BOND.
  - GROUT ALL MASONRY SOLID.
  - PROVIDE HOOK INTO FOUNDATIONS TO MATCH VERTICAL BAR (SEE DETAIL 2 THIS SHEET).

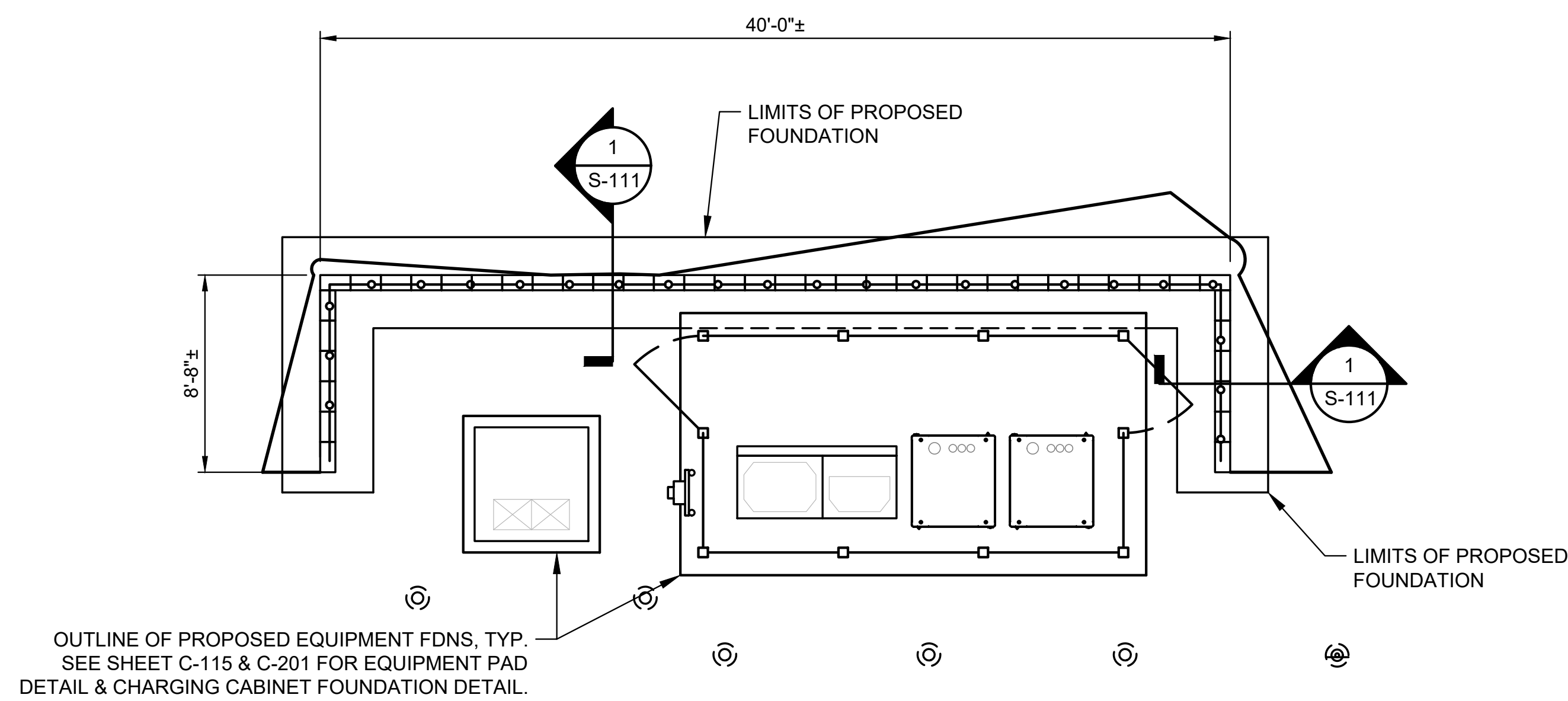


MASONRY WALL CORNER REINFORCING N.T.S 2

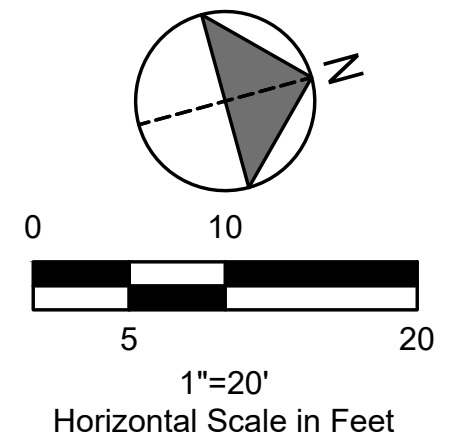
BENCH OR STEP EXCAVATIONS FOR THE RETAINING WALL AS REQUIRED PER THE RECOMMENDATIONS OF THE ONSITE GEOTECHNICAL ENGINEER, OR PROVIDE TEMPORARY SHORING AS REQUIRED TO BRACE THE EXCAVATION AS NEEDED TO CREATE A SAFE WORK AREA. ANY SHORING REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.



TYPICAL WALL SECTION N.T.S 1



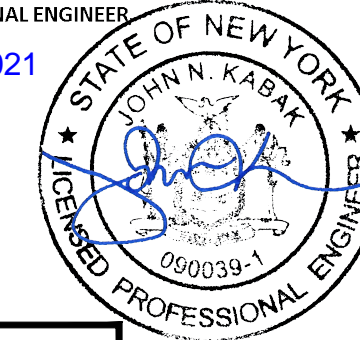
- NOTES:
- SEE C-113 FOR GRADING PLAN AND TOP OF WALL ELEVATIONS
  - HORIZONTAL OFFSETS IN FOUNDATIONS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY, FIELD VERIFY LOCATIONS WITH FINAL GRADES
  - CONTRACTOR SHALL LOCATE UNDERGROUND UTILITIES PRIOR TO BEGINNING EXCAVATION FOR RETAINING WALL FOUNDATION. NOTIFY EOR OF ANY INTERFERENCE WITH EXISTING INSTALLATIONS.



FOUNDATION PLAN 4

REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

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DCFC ADVENTURE NETWORK  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

FOUNDATION PLAN AND DETAILS

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

S-101



**GENERAL ELECTRICAL SPECIFICATIONS**

- THE FOLLOWING ARE ABBREVIATED SPECIFICATIONS. ALL ITEMS NECESSARY FOR A COMPLETE AND OPERABLE JOB (TO THE SATISFACTION OF OWNER) WHETHER SHOWN OR IMPLIED SHALL BE HELD AS THE RESPONSIBILITY OF THE CONTRACTOR
- IMPORTANT NOTE:** "CONTRACTOR" REFERENCED IN THESE SPECIFICATIONS SHALL INDICATE WORK BY ELECTRICAL CONTRACTOR OR ANY OF HIS SUBCONTRACTORS UNLESS NOTED OTHERWISE.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT ONLY. COORDINATE INSTALLATION WITH OTHER TRADES TO VERIFY THE ACTUAL SPACE CONDITIONS THAT ARE TO BE MAINTAINED. NO ADDITIONAL PAYMENT WILL BE APPROVED FOR FAILURE TO COMPLY.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL NOTE SCALE ELECTRICAL DRAWINGS. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT AND CONFIRM WITH CONSTRUCTION MANAGER ANY SIZES AND LOCATIONS WHEN NEEDED.
- CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE ALL ITEMS DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: THE CONTRACT, SPECIFICATIONS, AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO INSTALL ALL ELECTRICAL EQUIPMENT, CONDUIT, WIRING ETC. AS SHOWN OR IMPLIED ON THE DRAWINGS AND TO PROVIDE A COMPLETE OPERATIVE SYSTEM TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL PROVIDE ON-SITE SUPERVISION AT ALL TIMES WHILE THE WORK IS BEING PERFORMED AND SHALL DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- INSTALLATION OF ALL ELECTRICAL EQUIPMENT, DEVICES, CONDUITS, ETC. MUST BE COORDINATED WITH ALL OTHER TRADES. COORDINATE SHUTDOWN TIMES AND WORKING HOURS WITH BUILDING OWNER, INCLUDING OFF HOURS, WEEKEND, AND HOLIDAY WORK AS REQUIRED.
- ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE OWNER IN WRITING PRIOR TO THE AWARD OF THE CONTRACT AND AN ADDENDUM WILL BE ISSUED TO COVER SAME.
- GUARANTEE** - CONTRACTOR SHALL FURNISH OWNER WITH A WRITTEN GUARANTEE TO PROMPTLY REMEDY ALL DEFECTS OF WORK OR MATERIALS WITHOUT CHARGE FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE AND INSPECTION.
- MATERIALS** - ALL MATERIALS AND EQUIPMENT SHALL BE NEW, IN ORIGINAL CONTAINERS/WRAPPINGS, SHALL BE SPECIFICATION GRADE, AND LABELED OR LISTED BY U.L. OR AN ACCREDITED TESTING ORGANIZATION AS REQUIRED BY LOCAL INSPECTORS.
- CONTRACTOR SHALL PROVIDE ADEQUATE AND REQUIRED LIABILITY INSURANCE FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK
- ALL EQUIPMENT SHALL BE DESIGNED TO OPERATE ON VOLTAGE AND PHASE SPECIFIED. CONTRACTOR FURNISHING EQUIPMENT OTHER THAN INDICATED SHALL BE RESPONSIBLE FOR ANY CHANGES IN CONDUCTORS, RACEWAYS, SWITCHES, MAIN FEEDERS, AND APPURTENANCES AND PAY ALL ASSOCIATED COSTS. REQUIREMENTS FOR ANY INCREASE IN CAPACITIES SHALL BE REVIEWED BY ENGINEER.
- CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.

**LICENSES, CERTIFICATIONS OF INSPECTION**

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE INSPECTION OF THE WORK AND/OR SIMPLY NOTIFICATION. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK.
- CONTRACTOR AND ALL OF HIS SUBCONTRACTORS THAT PERFORM ANY WORK ON THIS PROJECT SHALL BE CURRENTLY LICENSED BY ALL AGENCIES WHICH GOVERN OVER THE LAND(S) ON WHICH CONSTRUCTION IS TO TAKE PLACE. CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS AS REQUIRED, ALL COSTS SHALL BE BORNE BY CONTRACTOR.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS INCIDENTAL TO WORK UNDER THIS CONTRACT. WHEN THE WORK IS COMPLETED, THE REQUIRED CERTIFICATES OF APPROVAL SHALL BE FURNISHED TO THE BUILDING OWNER. CONTRACTOR MUST BE LICENSED IN THE STATE, COUNTY AND CITY OF THE PROJECT SITE.

**CODES AND ORDINANCES**

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LATEST EDITION OF NEC AND ALL APPLICABLE CODES AND ORDINANCES, INCLUDING SUCH AS PERTAIN TO THE SAFETY AND HEALTH RELATIONS. CODES AND ORDINANCES SHALL TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS ONLY IN CASE OF CONFLICT AND SHALL INCLUDE BUT NOT BE LIMITED TO:  
 A. UL - UNDERWRITERS LABORATORIES  
 B. NEC - NATIONAL ELECTRICAL CODE  
 C. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.  
 D. OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT  
 E. SBC - STANDARD BUILDING CODE  
 F. NFPA - NATIONAL FIRE CODES

**POST CONSTRUCTION AND PROJECT CLOSEOUT DOCUMENTATION**

- AS-BUILT REQUIREMENTS:** DO NOT USE RECORD DOCUMENTS FOR CONSTRUCTION PURPOSES. TO PROTECT RECORD DOCUMENTS FROM DETERIORATION AND LOSS, STORE IN A SECURE, FIRE-RESISTANT LOCATION. PROVIDE ACCESS TO RECORD DOCUMENTS FOR THE OWNER'S REFERENCE DURING NORMAL WORKING HOURS. MAINTAIN A CLEAN, UNDAMAGED SET OF BLUE OR BLACK LINE PRINTS OF CONTRACT DRAWINGS AND SHOP DRAWINGS. MARK THE SET TO SHOW THE ACTUAL INSTALLATION WHERE THE INSTALLATION VARIES SUBSTANTIALLY FROM THE WORK AS ORIGINALLY SHOWN. MARK DRAWINGS THAT ARE MOST CAPABLE OF SHOWING CONDITIONS FULLY AND ACCURATELY. WHERE SHOP DRAWINGS ARE USED, RECORD A CROSS-REFERENCE AT THE CORRESPONDING LOCATION ON THE CONTRACT DRAWINGS. GIVE PARTICULAR ATTENTION TO CONCEALED ELEMENTS THAT WOULD BE DIFFICULT TO MEASURE AND RECORD AT A LATER DATE. MARK RECORD SETS WITH RED ERASABLE PENCIL. USE OTHER COLORS TO DISTINGUISH BETWEEN VARIATIONS IN SEPARATE CATEGORIES OF THE WORK. MARK NEW INFORMATION THAT IS IMPORTANT TO THE OWNER BUT WAS NOT SHOWN ON THE CONTRACT DRAWINGS, DETAILS OR SHOP DRAWINGS. NOTE RELATED CHANGE ORDER NUMBERS WHERE APPLICABLE. NOTE RELATED RECORD DRAWING INFORMATION AND PRODUCT DATA. UPON COMPLETION OF THE WORK, SUBMIT ONE (1) COMPLETE SET OF RECORD DOCUMENTS TO THE CONSTRUCTION MANAGER FOR THE OWNER'S RECORDS. CONTRACTOR SHALL SUBMIT AS-BUILT SET OF PLANS TO THE ENGINEER WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION.

**EXISTING CONDITIONS AND DEMOLITION**

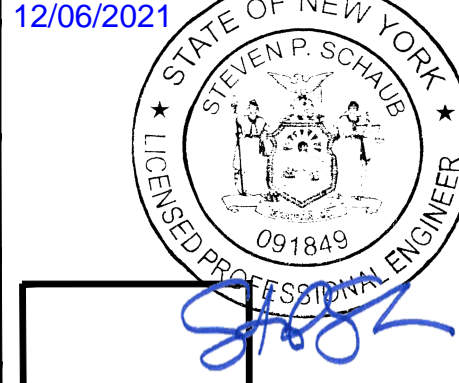
- ALL ELECTRICAL DEMOLITION WORK, INCLUDING MATERIAL REMOVAL FROM THE SITE, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. BEFORE PROCEEDING WITH THE DEMOLITION WORK, THE CONTRACTOR SHALL OBTAIN FROM THE BUILDING OWNER A LIST OF ANY REMOVED ITEMS TO BE SALVAGED. ALL OTHER REMOVED MATERIALS AND EQUIPMENT SHALL BE PROPERLY DISCARDED OFF THE PREMISES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE AT THE COMPLETION OF WORK.
- EXISTING UTILITIES AND CONDITIONS ARE SHOWN FROM FIELD DATA AND EXISTING DOCUMENTS AND ARE NOT NECESSARILY COMPLETE OR ACCURATE. ALL FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, EXPOSE, AND DETERMINE IF CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE OWNER IN ORDER TO RESOLVE ANY CONFLICTS. EXISTING ELECTRICAL CONDUIT, WIRING, ETC. DAMAGED DURING RENOVATION SHALL BE REPLACED IN LIKE KIND AND CHARACTER, AND AT THE EXISTING UTILITY LINES, DRAIN OR FIELD TILE DAMAGED SHALL BE REPAIRED OR REPLACED, AS NEEDED, IN LIKE KIND AND CHARACTER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING CONDUITS, CONTROL WIRING, ETC., WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS OR FIELD CONDITIONS PRIOR TO EXECUTING THE WORK IN QUESTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF DETAILS ARE CONSIDERED UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO THE DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- SITE VISIT - CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING HIS WORK. NO EXTRAS WILL BE PERMITTED FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS. QUANTITIES OF MATERIALS SHALL BE PER CONTRACTOR'S MEASUREMENTS.

**BASIC ELECTRICAL MATERIALS AND METHODS**

- WHERE STRUCTURAL OPENINGS ARE NOT AVAILABLE, THE CONTRACTOR SHALL CORE DRILL OR CUT CHASES IN WALLS AND FLOORS AS REQUIRED. ALL NEW OPENINGS SHALL BE COORDINATED WITH THE ENGINEER. ALL PENETRATIONS OF THE BUILDING WALLS, CEILING AND FLOORS, THE CONTRACTOR SHALL SEAL WITH QUALITY CAULK, FIRE RATED AND WATERTIGHT, SUBMITTED FOR APPROVAL BY THE OWNER.
- TRASH REMOVAL: CONTRACTOR SHALL REMOVE ALL TRASH CREATED BY HIMSELF OR HIS SUBCONTRACTORS DUE TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL ALSO REMOVE TRASH CREATED BY OTHER SUBCONTRACTORS INCLUDING CABLE REELS, CARDBOARD BOXES AND PACKING. PROMPTLY CLEAN-UP ALL SOILING, DEBRIS AND OTHER UNSIGHTLY OR HAZARDOUS CONDITIONS, CAUSED BY WORK OR DELIVERIES UNDER THIS CONTRACT, FROM THE BUILDING GROUNDS, ENTRIES, CORRIDORS, STAIRWAYS, ELEVATORS OR OTHER PUBLIC AREAS. ALL SHALL BE REMOVED FROM THE SITE IN A TIMELY FASHION TO A LEGAL DISPOSAL FACILITY.
- GRAFFITI SHALL BE PAINTED OVER WITHIN ONE DAY AT DISCOVERY.
- SIGNAGE: CONTRACTOR SHALL MAINTAIN SECURITY AROUND PERIMETER OF CONSTRUCTION SITE DURING ALL HOURS BY INSTALLING A TEMPORARY RIBBON FOR INTERIOR WORK TO IDENTIFY CONSTRUCTION AREAS AS REQUIRED. SIGNAGE SHALL BE POSTED WITH NOTIFICATIONS OF "NO TRESPASSING" AND "CONSTRUCTION AREA".
- CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS OFF SITE, NOR DO ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAVE BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CUTTING, SUBSEQUENT PATCHING, AND REQUIRED FLASHING FOR ALL ITEMS NECESSARY FOR ELECTRICAL PART OF THE CONTRACT. PATCH, PAINT, AND REPAIR ANY AREA DAMAGED TO THE SATISFACTION OF THE BUILDING OWNER.
- THE EXACT LOCATIONS OF ALL ELECTRICAL DEVICES, EQUIPMENT AND CONDUIT, AS SHOWN ON THE DRAWING, IS APPROXIMATE. WHEN NOT SHOWN IN DETAIL, THE EXACT LOCATION OR ROUTING SHALL BE DETERMINED BY THE CONTRACTOR, SUBJECT TO THE APPROVAL OF OWNER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR THE MOUNTING AND SUPPORT OF ALL ITEMS REQUIRING THE SAME AS REQUIRED BY N.E.C.
- TRENCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION.
- WHEN DIRECTIONAL BORING IS REQUIRED, CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- ALL BOLTS SHALL BE STAINLESS STEEL.
- FOR UNDERGROUND RACEWAYS, PROVIDE ADDITIONAL SLACK IN CONDUCTORS AND CONDUIT EXPANSION JOINTS IN ORDER TO ALLOW FOR EARTH MOVEMENT FROM SETTLEMENT, FROST, ETC. IN ORDER TO PREVENT DAMAGE TO THE CONDUCTORS OR TO THE EQUIPMENT CONNECTED TO THE RACEWAYS PER THE NEC.

REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/12/21	ISSUED FOR 80% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

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**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**ELECTRICAL GENERAL NOTES**

PROJECT MANAGER	DESIGNER
IM	KSB

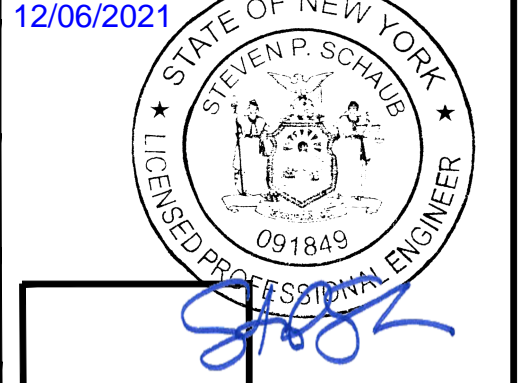
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REV.	DATE	DESCRIPTION
A	07/09/21	ISSUED FOR 50% REVIEW
B	11/17/21	ISSUED FOR 90% REVIEW
0	11/22/21	ISSUED FOR SIGN & SEAL

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DCFC ADVENTURE NETWORK  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

ELECTRICAL GENERAL NOTES

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

E-002

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### ELECTRICAL EQUIPMENT

- ALL EQUIPMENT SHALL BE DESIGNED TO OPERATE ON VOLTAGE AND PHASE SPECIFIED. CONTRACTOR FURNISHING EQUIPMENT OTHER THAN INDICATED SHALL BE RESPONSIBLE FOR ANY CHANGES IN CONDUCTORS, RACEWAYS, SWITCHES, MAIN FEEDERS, AND APPURTENANCES AND PAY ALL ASSOCIATED COSTS. REQUIREMENTS FOR ANY INCREASE IN CAPACITIES SHALL BE REVIEWED BY ENGINEER.

### FIRESTOPPING AND SEALING ELECTRICAL PENETRATIONS

- CONTRACTOR SHALL FURNISH AND INSTALL FIRESTOPPING FOR SEALING AROUND ELECTRICAL PENETRATIONS THROUGH FIRE OR SMOKE BARRIERS, AND FLOORS.
- PROVIDE SHOP DRAWINGS OF EACH CONDITION REQUIRING PENETRATION SEALS AND THE PROPOSED UL SYSTEMS MATERIALS, ANCHORAGE, METHODS OF INSTALLATION, AND ACTUAL ADJACENT CONSTRUCTION. SUBMITTAL PACKAGE SHALL ALSO INCLUDE A COPY OF THE UL ILLUSTRATION OF EACH PROPOSED SYSTEM INDICATING MANUFACTURER APPROVED MODIFICATIONS (IF APPLICABLE) AND THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, INSTALLATION INSTRUCTIONS, AND MAINTENANCE INSTRUCTIONS.
- FIRESTOPPING MATERIALS SHALL BE INTUMESCENT SAFETY BARRIERS DESIGNED TO BLOCK THE SPREAD OF FIRE AND SMOKE THROUGH PENETRATIONS CREATED BY ELECTRICAL INSTALLATIONS IN FIRE RATED WALLS AND FLOORS. MATERIALS SHALL BE FLAME, TOXIC FUME, AND WATER RESISTANT AND SHALL HAVE A MINIMUM 3 HOUR FIRE RATING. FIRE RATING SHALL BE DEFINED BY TESTS CONDUCTED BY ASTM, UL OR OTHER TESTING AND INSPECTION AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- PROVIDE MATERIALS BY THE FOLLOWING MANUFACTURERS TO SUIT THE APPLICATION: SPECIFIED TECHNOLOGIES, INC (STI), SOMERVILLE, NJ; TREMCO, INC., BEACHWOOD, OH; OR 3M INC., MINNEAPOLIS, MN

### GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS

- ALL RACEWAYS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE N.E.C. AND ANY LOCAL CODES.
- ALL CONDUITS SHALL CONTAIN A CODE SIZE GROUNDING CONDUCTOR.
- EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSULATED WITH GREEN-COLORED INSULATION.
- GROUNDING ELECTRODE CONDUCTORS SHALL BE STRANDED COPPERWELD CABLE.
- MATERIALS AND CONNECTION COMPONENTS FOR GROUNDING AND BONDING SHALL BE MANUFACTURED BY ERICO, THOMAS & BETTS, OR BURNDY.
- GROUND-FAULT PROTECTION OF EQUIPMENT SHALL BE PROVIDED FOR SERVICE DISCONNECTS RATED 1000A OR MORE. THE GROUND-FAULT PROTECTION SYSTEM SHALL BE PERFORMANCE TESTED WHEN FIRST INSTALLED ON SITE. THE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH INSTRUCTIONS THAT SHALL BE PROVIDED WITH THE EQUIPMENT. A WRITTEN RECORD OF THIS TEST SHALL BE MADE AND SHALL BE AVAILABLE TO THE AUTHORITY HAVING JURISDICTION AND OWNER.

### ELECTRICAL IDENTIFICATION

- PROVIDE NAMEPLATES FOR ALL MAJOR ELECTRICAL EQUIPMENT AND ON EQUIPMENT AS DIRECTED BY OWNER.
- PROVIDE ALL FEEDERS AND BRANCH CIRCUIT WIRING WITH COLOR CODED VINYL TAPE WRAPPED A MINIMUM OF 1.5 TIMES AROUND CIRCUMFERENCE OF JACKET/SHIELDING TO DESIGNATE PHASE.
- COLOR CODING OF CONDUCTORS SHALL BE PER OWNERS REQUIREMENTS.
- CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC"

### CONDUCTORS AND CABLES

- WIRING - ALL CONDUCTORS SHALL BE EQUAL TO OR BETTER THAN MINIMUM #12 AWG FOR POWER, #14 AWG FOR CONTROL WITH 98% CONDUCTIVITY STRANDED COPPER, 600V, COLOR CODED, UNLESS NOTED ALUMINUM (AL). REFER TO "ALUMINUM CONDUCTOR REQUIREMENTS" THIS SHEET. PROVIDE 75°C RATED CONDUCTORS FOR AMPACITIES ABOVE 100A AND 60°C RATED CONDUCTORS FOR AMPACITIES OF 100 AMPS OR LESS. PROVIDE SOLID OR STRANDED FOR #10 AWG AND SMALLER, STRANDED FOR #8 AWG AND LARGER. UNLESS NOTED OTHERWISE ON DRAWINGS.
- WIRE SIZE OF BRANCH CIRCUITS SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP BASED UPON ACTUAL CONDUIT ROUTING. CONTRACTOR SHALL MAINTAIN VOLTAGE DROP AS RECOMMENDED BY N.E.C. (NOT TO EXCEED 3%).
- PROVIDE A SEPARATE NEUTRAL FOR EACH BRANCH CIRCUIT, FEEDER, ETC. NEUTRALS ARE NOT PERMITTED TO BE SHARED.
- CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
- ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
- CABLES - MC CABLE IS NOT PERMITTED.
- PROVIDE WIRE AND CABLE MANUFACTURED BY ONE OF THE FOLLOWING: AMERICAN INSULATED WIRE CORPORATION; NEXANS; CERROWIRE; SOUTHWIRE; OR ENCORE WIRE.
- PROVIDE CONNECTORS MANUFACTURED BY ONE OF THE FOLLOWING: AMP INCORPORATED; GENERAL SIGNAL, O-Z/GEDNEY UNIT; SQUARE D COMPANY, ANDERSON; ILSCO; OR BURNDY.

### ALUMINUM CONDUCTOR REQUIREMENTS

- ALUMINUM CONDUCTOR GRADE SHALL BE MINIMUM AA-8000 OR THE NEWEST ALUMINUM CONDUCTOR SPECIFICATION BEING USED BY THE INDUSTRY.
- THE CONTRACTOR SHALL ABIDE BY ALL ARTICLES RELATED TO ALUMINUM CONDUCTORS IN THE LATEST ISSUE OF THE NEC.
- ALUMINUM CONDUCTORS SHALL ONLY BE TERMINATED USING ALUMINUM RATED CONNECTIONS. CONTRACTOR SHALL VERIFY TERMINATIONS ON EACH DEVICE OR EQUIPMENT BEFORE START OF WORK FOR RATED ALUMINUM CONNECTORS.
- THE CONTRACTOR SHALL ABIDE BY ALL ALUMINUM WIRING INSTALLATION STANDARDS AS REQUIRED BY THE NEIS ( NATIONAL ELECTRICAL INSTALLATION STANDARDS) PUBLISHED BY THE NECA ( NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION). THE CONTRACTOR SHALL ABIDE BY ALL STANDARDS IN THE NECA / AA - 2006, WHICH DEFINES MINIMUM STANDARDS OF QUALITY AND WORKMANSHIP. A SUMMARY OF SOME OF THE REQUIREMENTS FOLLOW:
  - TERMINATE WITH COMPRESSION CONNECTORS, NO RING CUTS OF THE INSULATION, CRIMP ONLY WITH A CRIMP TOOL AND THE CORRECT DIE AS REQUIRED BY THE MANUFACTURER.
  - ALL CONDUCTORS TO RECEIVE ANTI-OXIDATIVE COATING DURING INSTALLATION.
  - TERMINATING WITH A SET SCREW CONNECTOR, THE SCREW SHALL BE TIGHTENED USING ONLY A TORQUE WRENCH.
  - NECA / AA RECOMMENDS BELLVILLE WASHERS WHEN CONNECTING ALUMINUM CONDUCTORS TO COPPER BUS BARS. ABIDE BY ALL NECA / AA RECOMMENDATIONS.
  - DO NOT USE PIN CONNECTORS ( WIRE ADAPTERS) UNLESS ABSOLUTELY NECESSARY. USE ALL / ANY OTHER OPTIONS, AND IF REQUIRED, PROVE TO ENGINEER BEFORE INSTALLING. IF USED, FOLLOW U.L. GUIDE FOR WIRE CONNECTORS ( ZMOW ), AND PROVIDE THE SPECIAL TOOLS REQUIRED BY THE MANUFACTURER. DIE-LESS CRIMPERS WILL NOT BE ACCEPTED.

### RACEWAY AND BOXES

- RACEWAYS: UNLESS NOTED OTHERWISE, ALL EXPOSED CONDUIT SHALL BE R.G.S. AND COVERED 6" BELOW FINISHED GRADE TO BE PVC, SCHEDULE 40. PROVIDE WEATHERPROOF FLEX CONNECTIONS WHERE REQUIRED. CONTRACTOR SHALL PROVIDE JUNCTION AND/OR PULL BOXES WHERE SHOWN ON THE DRAWINGS, OR AS REQUIRED, WHETHER SHOWN ON THE DRAWINGS OR NOT, AND SIZED PER N.E.C. PROVIDE NON-METALLIC ENCLOSURE WITH OPEN BOTTOM AND GASKETED COVER MANUFACTURED BY QUAZITE OR EQUIVALENT WITH DRIVE-OVER COVER ABLE TO WITHSTAND OCCASIONAL NON-DELIBERATE LIGHT VEHICULAR TRAFFIC. LABEL COVER TO SUIT INSTALLATION (I.E. "POWER" "COMMUNICATIONS", "LIGHTING", ETC.) AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  - ABOVE GRADE: R.G.S.
  - BELOW GRADE: SCHEDULE 40 PVC (UNLESS NOTED OTHERWISE)
- ALL WIRING SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL BE A MINIMUM OF 3/4".
- CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. CONTRACTOR SHALL PROVIDE MANUFACTURED LONG RADIUS BENDS FOR ALL CONDUITS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV'.
- OUTLET BOXES SHALL BE CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- PROVIDE METAL CONDUIT AND TUBING MANUFACTURED BY ONE OF THE FOLLOWING: ALFLEX CORPORATION; ANAMET INCORPORATED, ANACONDA METAL HOSE; ANIXTER BROTHERS INCORPORATED; CAROL CABLE COMPANY INCORPORATED; ELECTRI-FLEX COMPANY; GRINNELL COMPANY, ALLIED TUBE AND CONDUIT DIVISION; MONOGRAM COMPANY, AFC; REPUBLIC CONDUIT; OR WHEATLAND TUBE COMPANY.
- PROVIDE NONMETALLIC CONDUIT AND TUBING MANUFACTURED BY ONE OF THE FOLLOWING: ANAMET INCORPORATED, ANACONDA METAL HOSE; CANTEX INDUSTRIES, HARSCO CORPORATION; CONDUX INTERNATIONAL, ELECTRICAL PRODUCTS; HUBBELL INCORPORATED, RACO, INCORPORATED; THOMAS & BETTS CORPORATION, CARLON ELECTRICAL PRODUCTS; OR O-Z/GEDNEY, UNIT OF GENERAL SIGNAL.
- PROVIDE CONDUIT BODIES AND FITTINGS MANUFACTURED BY ONE OF THE FOLLOWING: CROUSE-HINDS, DIVISION OF COOPER INDUSTRIES; EMERSON ELECTRIC COMPANY, APPLETON ELECTRIC COMPANY; HUBBELL INCORPORATED, KILLARK ELECTRIC MANUFACTURING COMPANY; THOMAS & BETTS CORPORATION, CARLON ELECTRICAL PRODUCTS; OR O-Z/GEDNEY, UNIT OF GENERAL SIGNAL.
- PROVIDE METAL WIREWAYS MANUFACTURED BY ONE OF THE FOLLOWING: HOFFMAN ENGINEERING COMPANY; KEYSTONE/REES, INCORPORATED; OR SQUARE D COMPANY.
- PROVIDE BOXES, ENCLOSURES, AND CABINETS MANUFACTURED BY ONE OF THE FOLLOWING: CROUSE-HINDS, DIVISION OF COOPER INDUSTRIES; HOFFMAN ENGINEERING COMPANY, FEDERAL-HOFFMAN INCORPORATED; HUBBELL INCORPORATED, RACO INCORPORATED; THOMAS & BETTS, CARLON ELECTRICAL PRODUCTS; O-Z/GEDNEY, UNIT OF GENERAL SIGNAL; ROBROY INDUSTRIES INCORPORATED, ELECTRICAL DIVISION; OR SCOTT FETZER COMPANY, ADALET-PLM.

### SAFETY SWITCHES

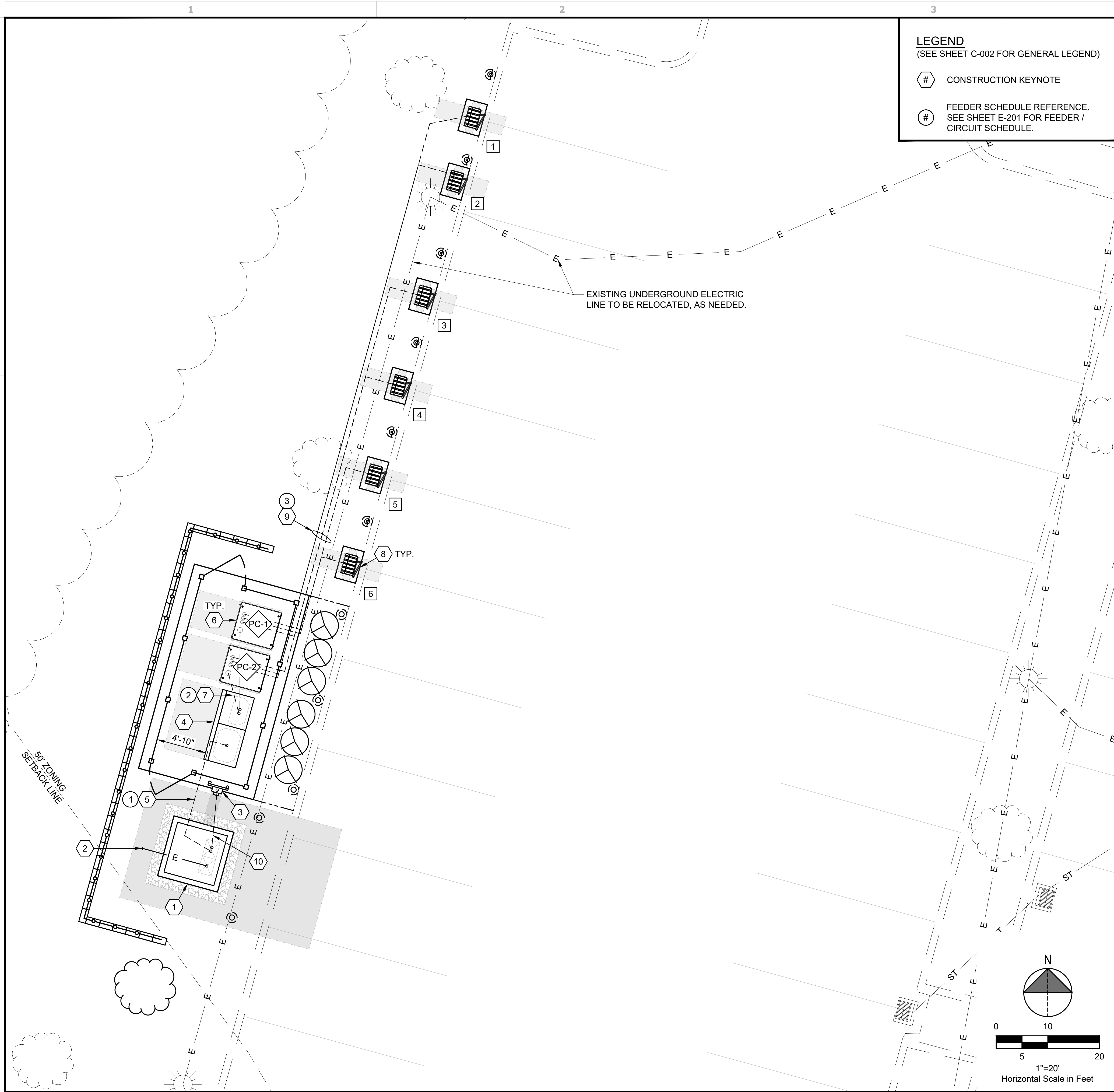
- ALL DISCONNECT SWITCHES SHALL BE HEAVY-DUTY CONSTRUCTION WITH LOCKABLE HANDLES SIZED AS NOTED ON THE DRAWINGS AND/OR RISER DIAGRAM. PROVIDE NEMA ENCLOSURE AS REQUIRED BY EXPOSURE TYPE. ALL FUSIBLE SWITCHES SHALL BE PROVIDED WITH WINDOW AND WITH DUAL ELEMENTS FUSES SIZED PER THE EQUIPMENT MANUFACTURER'S RECOMMENDATION.

### FUSES

- FUSES SHALL BE DUAL ELEMENT, TIME DELAY CURRENT LIMITING. CONTRACTOR SHALL COORDINATE FUSE SIZES WITH EQUIPMENT MANUFACTURER'S REQUIREMENTS AND PER THE N.E.C.
- PROVIDE FUSES MANUFACTURED FROM ONE OF THE FOLLOWING: COOPER BUSSMAN, INCORPORATED; EAGLE ELECTRIC MANUFACTURING COMPANY INCORPORATED, COOPER INDUSTRIES INCORPORATED; FERRAZ SHAWMUT INCORPORATED.



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 December 6, 2021 1:54 PM - jparana



**LEGEND**  
 (SEE SHEET C-002 FOR GENERAL LEGEND)

# CONSTRUCTION KEYNOTE

# FEEDER SCHEDULE REFERENCE. SEE SHEET E-201 FOR FEEDER / CIRCUIT SCHEDULE.

**GENERAL SHEET NOTES**

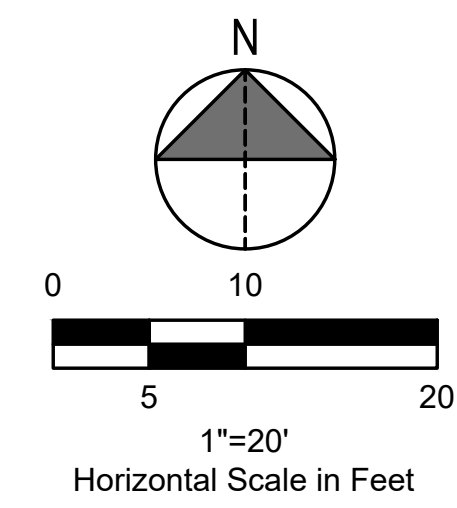
1. THE EXACT ROUTING PATH AND CONDUCTOR RUN LENGTHS SHALL BE DETERMINED BY CONTRACTOR IN FIELD BASED ON PHYSICAL MEASUREMENTS. CONTRACTOR SHALL ORDER CONDUCTORS BASED ON FIELD MEASUREMENTS (MUST BE APPROVED BY RIVIAN PROJECT MANAGER).
2. THE CONDUIT ROUTING SHOWN IS DIAGRAMMATICAL ONLY, CONTRACTOR SHALL FIELD VERIFY EXACT ROUTING PRIOR TO LAYING CONDUIT.
3. CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR EXISTING LANDSCAPING TO REMAIN AND PROPOSED LANDSCAPING.
4. CONTRACTOR SHALL HAND DIG AROUND ALL EXISTING UTILITIES.
5. CONDUIT ELBOWS SHALL BE SIZED PER NEC. CONTRACTOR SHALL VERIFY MANUFACTURER ALLOWABLE FILL AND MINIMUM CONDUCTOR BENDING RADIUS. SEE FEEDER SCHEDULE FOR CONDUIT & CONDUCTOR SPECIFICATIONS.
6. ALL CONDUITS ACCESSIBLE TO THE PUBLIC OR WHICH CAN BE DAMAGED SHALL BE RIGID GALVANIZED STEEL.
7. CONTRACTOR MUST REFERENCE FINAL UTILITY DESIGN FOR DIVISION OF RESPONSIBILITIES AND SCOPE OF WORK.

**PLAN KEYNOTES**

1. PROPOSED UTILITY TRANSFORMER WITH TAPS, 480V/277V, 3Ø, 4W MOUNTED ON CONCRETE PAD. PROPOSED CTs MOUNTED IN TRANSFORMER.
2. PROPOSED UNDERGROUND PRIMARY CONDUITS AND CONDUCTORS. COORDINATE WITH UTILITY FOR CONDUIT SIZE, QUANTITY, COMPLETE ROUTING AND PROVIDE ALL LABOR AND MATERIALS AS REQUIRED. SEE GENERAL SHEET NOTE 7, THIS SHEET.
3. PROPOSED UTILITY METER MOUNTED ON H-FRAME. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF METER WITH POWER COMPANY. SEE GENERAL SHEET NOTE 7, THIS SHEET.
4. PROPOSED SWITCHGEAR MOUNTED TO CONCRETE PAD. SEE CIVIL SHEETS FOR CONCRETE SPECIFICATIONS.
5. PROPOSED UNDERGROUND SERVICE LATERAL CONDUITS FROM PROPOSED TRANSFORMER TO SWITCHGEAR PER POWER COMPANY REQUIREMENTS. SEE DETAIL ON SHEET E-301.
6. PROPOSED RIVIAN POWER CABINETS (TOTAL OF 2) MOUNTED ON CONCRETE PAD. SEE CIVIL SHEETS FOR CONCRETE SPECIFICATIONS.
7. PROPOSED CONDUITS FROM SWITCHGEAR TO RIVIAN POWER CABINETS. SEE DETAIL ON SHEET E-301.
8. PROPOSED RIVIAN DCFC DISPENSER (TYPICAL OF 6).
9. PROPOSED RIVIAN DCFC DISPENSER CONDUITS (1 PER POST). UNDERGROUND CONDUITS SHALL BE ROUTED UP THROUGH CONCRETE SLAB. SEE DETAIL ON SHEET E-301.
10. PROPOSED UNDERGROUND 1-1/4" RGS METERING CONDUIT FROM METER ON H-FRAME TO TRANSFORMER. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF H-FRAME MOUNTED METER WITH UTILITY.

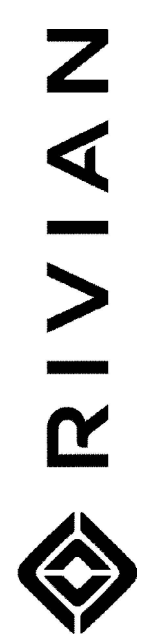
EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED.

50' ZONING SETBACK LINE



**GPD Engineering and Architecture**  
 Professional Corporation

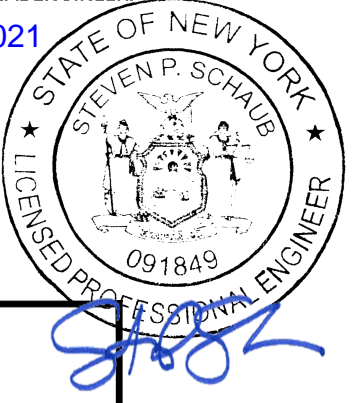
520 South Main Street, Suite 2531  
 Akron, OH 44311  
 330.572.2100 Fax 330.572.2101



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12/06/2021



**DCFC ADVENTURE NETWORK**  
 1219-1221 ROUTE 300  
 NEWBURGH, NY 12550

**ELECTRICAL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

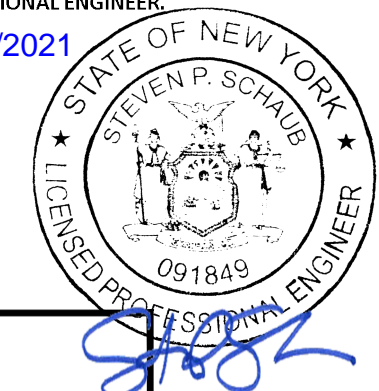
**E-101**

**GENERAL SHEET NOTES**

- PROPOSED UTILITY CTs SHALL BE LOCATED IN UTILITY APPROVED CT COMPARTMENTS MOUNTED IN TRANSFORMER. PROPOSED METER SHALL BE MOUNTED ON H-FRAME.
- REFER TO THIS SHEET FOR FAULT CURRENT CALCULATIONS. CONTRACTOR SHALL MARK ON ALL EQUIPMENT AS REQUIRED PER N.E.C.
- REFER TO SHEET E-301 FOR ARC FLASH LABEL DETAILS. CONTRACTOR SHALL LABEL ALL EQUIPMENT AS REQUIRED PER N.E.C.
- ALL ALUMINUM (Al) CONDUCTORS TO RECEIVE ANTI-OXIDATIVE COATING DURING INSTALLATION. ALL OTHER CONDUCTORS ARE COPPER UNLESS NOTED OTHERWISE.
- ALL CONDUITS ACCESSIBLE TO THE GENERAL PUBLIC OR WHICH CONDUITS CAN BE DAMAGED SHALL BE RIGID GALVANIZED STEEL.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED, LISTED, OR CERTIFIED BY A NATIONALLY RECOGNIZED TESTING LABORATORY ACCREDITED BY THE UNITED STATES OCCUPATIONAL SAFETY HEALTH ADMINISTRATION.
- THE AFOREMENTIONED STANDARDS IDENTIFY THE REQUIREMENTS MET BY THE EQUIPMENT, INCLUDING BUT NOT LIMITED TO :
  - PROTECTION AGAINST ELECTRIC SHOCK
  - OVERLOAD AND SHORT CIRCUIT PROTECTION
  - FAULT PROTECTION
  - DEGREES OF PROTECTION AGAINST ACCESS TO HAZARDOUS LIVE PARTS.
  - INTERLOCK THAT DE-ENERGIZES THE ELECTRIC VEHICLE CONNECTOR WHENEVER THE ELECTRICAL CONNECTOR IS UNCOUPLED FROM THE ELECTRIC VEHICLE
  - AUTOMATIC DE-ENERGIZATION OF CHARGING DISPENSER CABLE UPON EXPOSURE TO STRAIN
- FEEDER SCHEDULE REFERENCE DENOTED ON SHEET E-2 WITH AN ASTERISK "\*" REPRESENT PROPOSED CONDUITS W/ PULLSTRING ONLY FOR FUTURE EQUIPMENT TO MATCH CONDUIT SPECIFIED FOR PROPOSED EQUIPMENT.
- CONTRACTOR SHALL SOURCE COMM CABLE THROUGH GENERAL CABLE IF UNABLE TO SOURCE THROUGH CURRENT SUPPLIERS.

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FEEDER / CIRCUIT SCHEDULE	
NO	CONFIGURATION
①	(3) 500 MCM Al (XHHW-2, 90°C) (1) 500 MCM Al NEUT (XHHW-2, 90°C) IN (4) 4" PVC CONDUIT
②	(2) PARALLEL SETS OF (3) 500 MCM Al (XHHW-2, 90°C) (1) #1 AWG Cu GND (XHHW-2, 90°C) IN (1) 4" PVC CONDUIT PER CABINET
③	DC POWER CONDUCTORS: (2) PARALLEL SETS OF (2) 500 MCM AL W/ (1) #2/0 AWG CU EGC  AUXILIARY CIRCUIT: (2) #12 AWG CU  FUNCTIONALLY ASSOCIATED CLASS 1 COMMS: (1) 1000V CAT6 CABLE IN 1/2" HDPE INNERDUCT (1) #14/2C AWG CU TP INTERLOCK ARMOR CABLE  ALL IN (1) 4" PVC CONDUIT PER POST. ALL CONDUCTORS IN THIS RUN SHALL BE XHHW-2, 1000V RATED
④	(1) #12 AWG CU (THWN-2) (1) #12 AWG CU NEUT (THWN-2) (1) #12 AWG CU GND (THWN-2) IN 1" PVC CONDUIT

- NOTE:
- ALL AC CONDUCTORS SHALL BE XHHW-2, 600V RATED, U.N.O.
  - ALL DC CONDUCTORS SHALL BE XHHW-2, 1000V RATED, U.N.O.
  - SEE "RACEWAY AND BOXES" NOTES ON SHEET EN-1 FOR CONDUIT USE TYPES FOR ABOVE AND BELOW GRADE APPLICATIONS.

FEEDER SCHEDULE REFERENCE DENOTED WITH AN ASTERISK "\*" REPRESENTS PROPOSED CONDUITS W/ PULLSTRING ONLY FOR FUTURE EQUIPMENT TO MATCH CONDUIT SPECIFIED FOR PROPOSED EQUIPMENT.

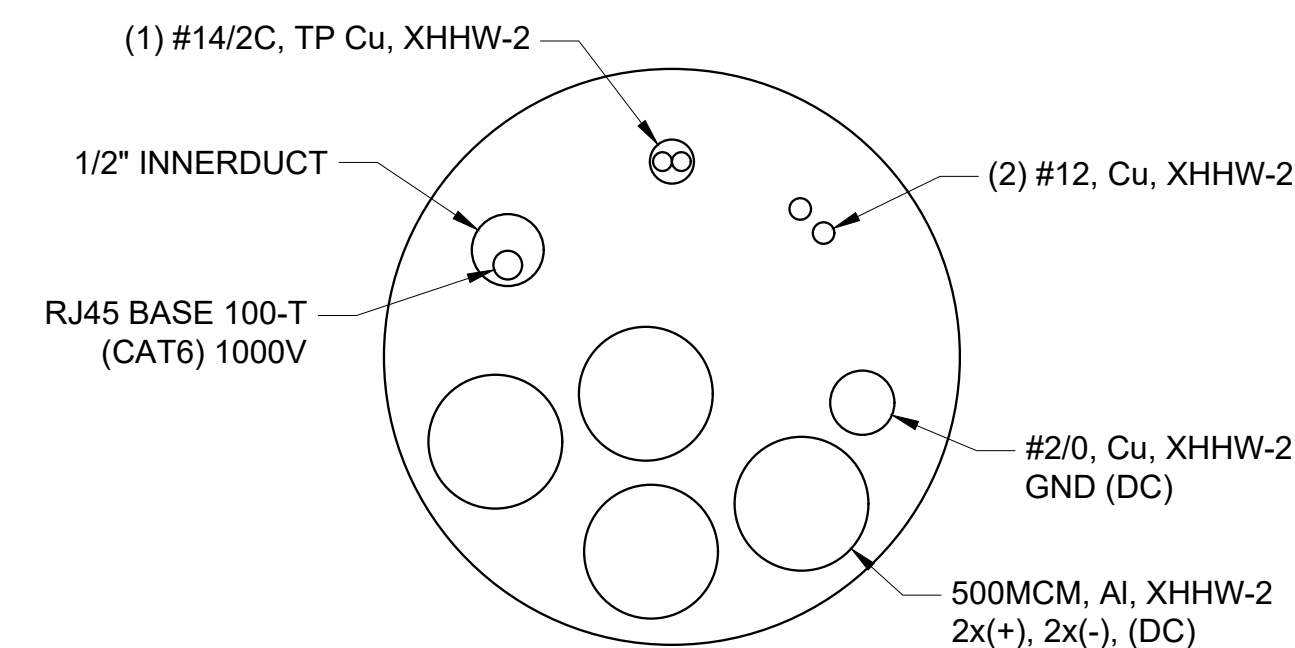
DCFC ADVENTURE NETWORK  
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NEWBURGH, NY 12550

SINGLE LINE DIAGRAM

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

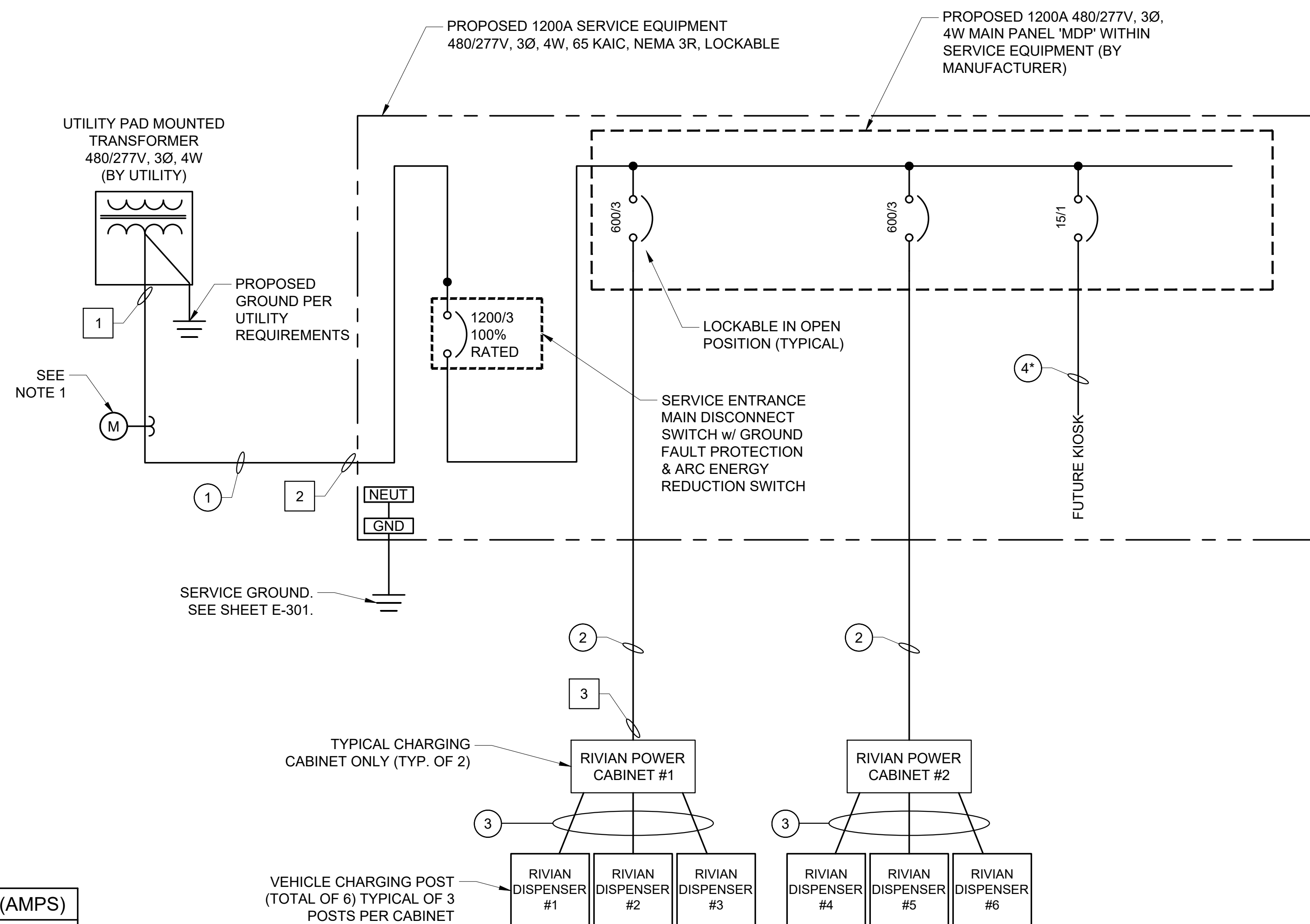
E-201



**NOTES**

- ALL CONDUCTORS TO BE 1000V RATED.

**C-1 CABINET TO DISPENSER CIRCUIT CROSS SECTION**  
NTS



AVAILABLE FAULT CURRENT (AMPS)	
1	33,104
2	32,475
3	31,547

RIVIAN CABINET & DISPENSER ELECTRICAL SPECS						
EQUIPMENT	AC INPUT VOLTAGE TO CABINET	KVA INPUT TO CABINET	AC INPUT CURRENT TO CABINET	DC OUTPUT VOLTAGE TO DISPENSER	DC OUTPUT CURRENT TO DISPENSER	SHORT CIRCUIT CURRENT RATING
POWER CABINETS	480Y-277VAC	374kVA	448A	200VDC - 1000VDC	500A	65 KAIC

BREAKER SETTINGS									
BREAKER USE	BREAKER SIZE	I <sub>r</sub> (A)	I <sub>r</sub> (s) @ 6 I <sub>r</sub>	I <sub>sd</sub> (x I <sub>n</sub> )	t <sub>sd</sub> (s)	I <sub>l</sub> (x I <sub>n</sub> )	I <sub>g</sub> (x I <sub>n</sub> )	t <sub>g</sub> (s)	
MCB	1200A	1000	24	6	0.2 (FLAT)	MAX	0.6	0.5 (FLAT)	
V3 BRANCH CIRCUIT	600A	X	X	X	X	5	X	X	

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PANEL 'MDP'												
DESCRIPTION	Phase A kVA	Phase B kVA	Phase C kVA	CKT. BKR / Poles				CKT. BKR / Poles	Phase A kVA	Phase B kVA	Phase C kVA	DESCRIPTION
RIVIAN POWER CABINET	124.15			600/3	1		2	0.00			SPACE	
		124.15			3		4			0.00		
			124.15		5		6					
RIVIAN POWER CABINET	124.15			600/3	7		8	0.00				SPACE
		124.15			9		10			0.00		
			124.15		11		12					
SPACE	0.00				13	14	0.00				SPACE	
		0.00		15	16			0.00				
			0.00	17	18					0.00		
SPACE	0.00				19	20	0.00				SPACE	
		0.00		21	22			0.00				FUTURE KIOSK
			0.00	23	24					0.00		
***CONNECTED					1200/3 100% RATED			***125% CONT. LOAD CALC:				
kVA	248.30	248.30	248.30				TOTAL kVA	931.13				
AMPS	895.98	895.98	895.98				TOTAL AMPS	1119.97				
TOTAL kVA	744.90											
TOTAL AMPS	895.98											
VOLTAGE	480	Y/	277	PHASE	3	WIRE	4					

SPECIFICATIONS: SERVICE ENTRANCE RATED, 1200A BUS, 65 KAIC, 100% RATED MCB, NEMA 3R ENCLOSURE

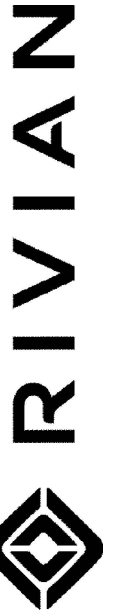
\*\*\*THE SUM OF THE TOTAL CONNECTED LOADS (NONCONTINUOUS LOAD PLUS THE CONTINUOUS LOAD) TERMINATE IN AN OVERCURRENT DEVICE WHERE BOTH THE OVERCURRENT DEVICE AND ITS ASSEMBLY ARE LISTED FOR OPERATION AT 100 PERCENT OF THEIR RATING.

**PANEL BOARD NOTES**

- PANELS ARE LOCATED WITHIN PROPOSED SERVICE EQUIPMENT AND IS PROVIDED AND INSTALLED BY MANUFACTURER.
- PROVIDE EQUIPMENT WITH SUFFICIENT INTERRUPTING CAPACITY (AIC) REQUIRED FOR A SAFE INSTALLATION. AIC RATING NOTED ON EACH PANELBOARD SCHEDULE IS MINIMUM RATING ACCEPTED WITHOUT ADDITIONAL DOCUMENTATION THAT INDICATES DIFFERENTLY.
- CIRCUITS SHALL BE REARRANGED AS REQUIRED TO MAINTAIN THE MOST BALANCED LOADS ON EACH PHASE WITHIN EACH PANEL. PROVIDE TYPED PANEL DIRECTORY MOUNTED PER MANUFACTURERS RECOMMENDATIONS WITH SERVICE EQUIPMENT.



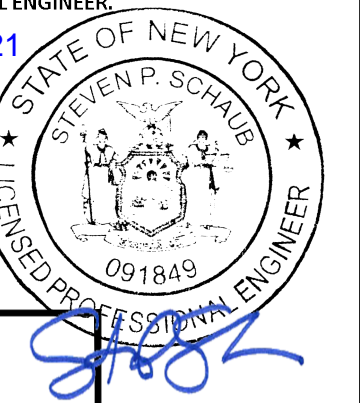
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1219-1221 ROUTE 300  
NEWBURGH, NY 12550

PANEL SCHEDULE

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**E-202**

# ⚠ DANGER

**NO SAFE PPE EXISTS  
ENERGIZED WORK PROHIBITED**

<b>FLASH PROTECTION</b>	<b>SHOCK PROTECTION</b>
Incident Energy at 18 in	Shock risk when cover is removed
Min. Arc Rating: 114.3 cal/cm <sup>2</sup>	480 VAC
Arc Flash Boundary: 312 in	
Glove Class: 00	
DO NOT WORK ON LIVE!	Limited Approach 42 in
	Restricted Approach 12 in

**Bus: INCOMING SECTION-MAIN Prot: MaxTripTime @2.0s**

INCOMING UTILITY SECTION

# ⚠ WARNING

**Arc Flash and Shock Risk  
Appropriate PPE Required**

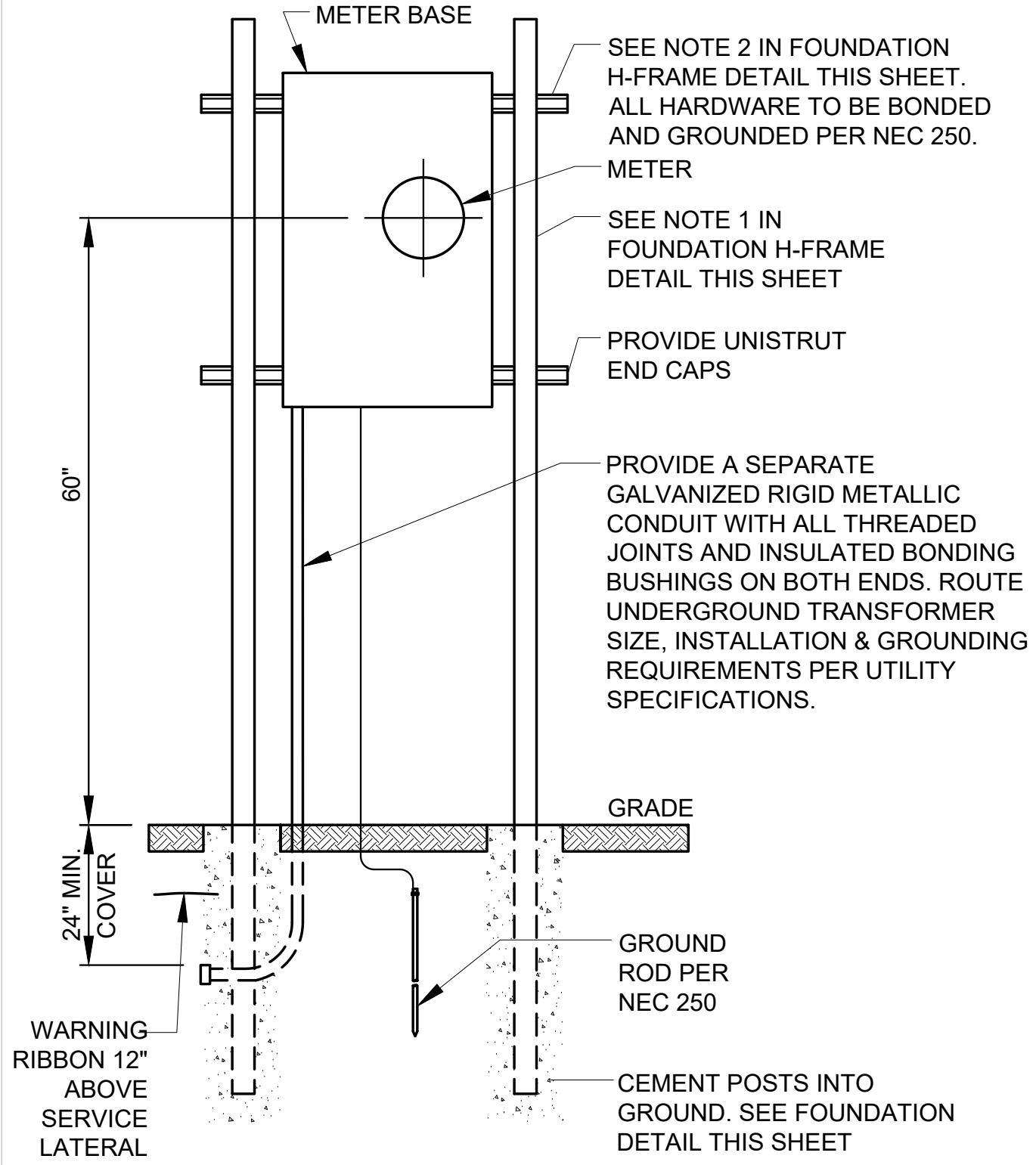
<b>FLASH PROTECTION</b>	<b>SHOCK PROTECTION</b>
Incident Energy at 18 in	Shock risk when cover is removed
Min. Arc Rating: 2.25 cal/cm <sup>2</sup>	480 VAC
Arc Flash Boundary: 27 in	
Glove Class: 00	
	Limited Approach 42 in
	Restricted Approach 12 in

**Bus: POWER CABINETS Prot: 600A BREAKER**

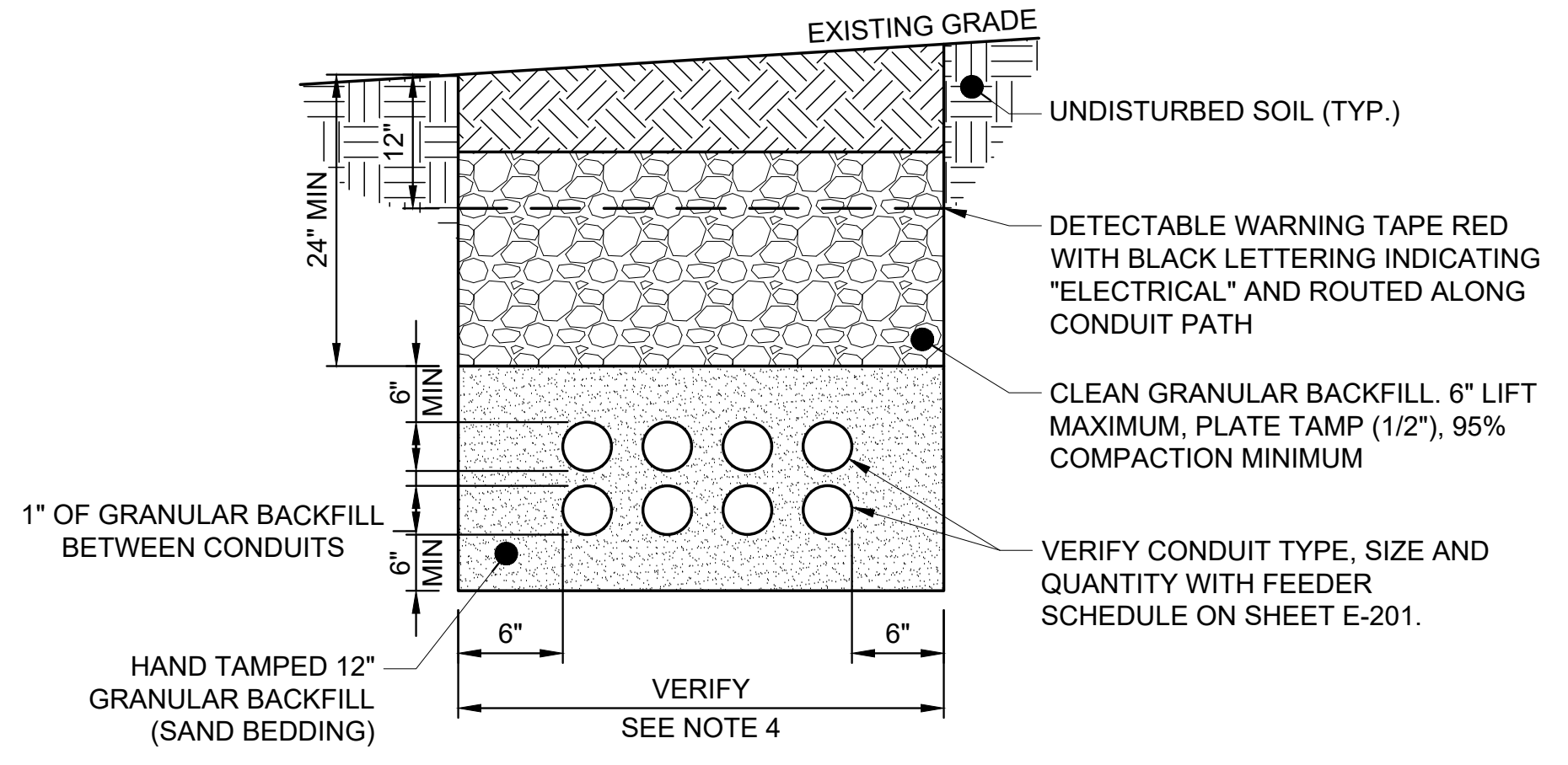
POWER CABINETS

- NOTES:**
- ARC FLASH INCIDENT ENERGY ANALYSIS PER NFPA 70E 2018.
  - ARC FLASH CALCULATIONS PER IEEE 1584, 2018.
  - LABELS SHALL BE PRINTED WITH PERMANENT INK ON WEATHERPROOF LABELS WITH SELF STICKING ADHESIVE.
  - INSTALL LABELS PER NEC SECTION 110.16.
  - CONTRACTOR SHALL FIELD VERIFY SPECIFIC LOCATION FOR LABEL PLACEMENT(S).
  - CONTRACTOR SHALL PROVIDE LABELS WITH ANY ADDITIONAL INFORMATION AS REQUIRED BY LOCAL JURISDICTION, STATE AND FEDERAL CODES AND LAWS.

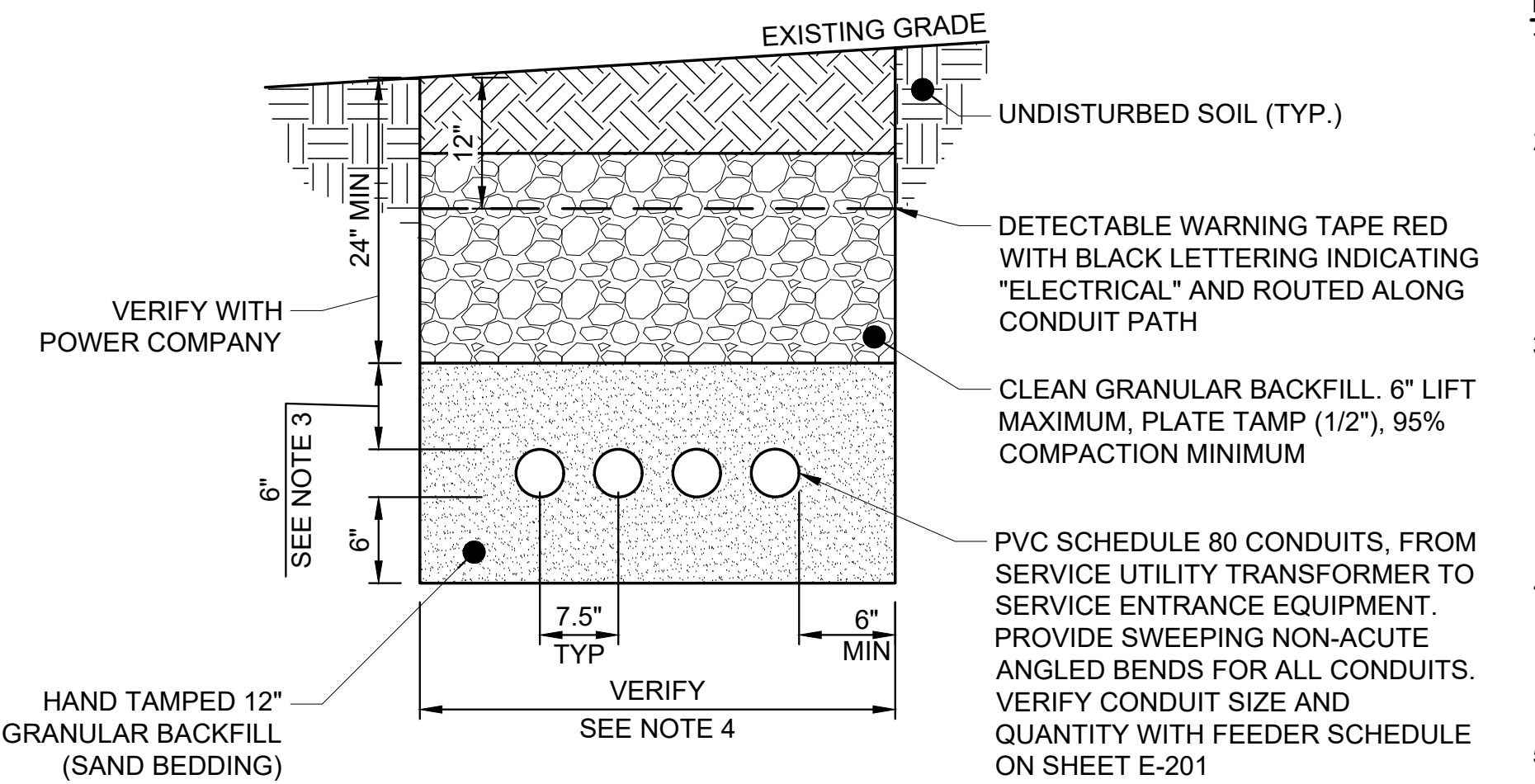
**B-1 ARC FLASH LABELS**  
NTS



**B-2 METER H-FRAME DETAIL**  
NTS



**C-3 TYPICAL CONDUIT UNDER SOLID TRENCH**  
NTS



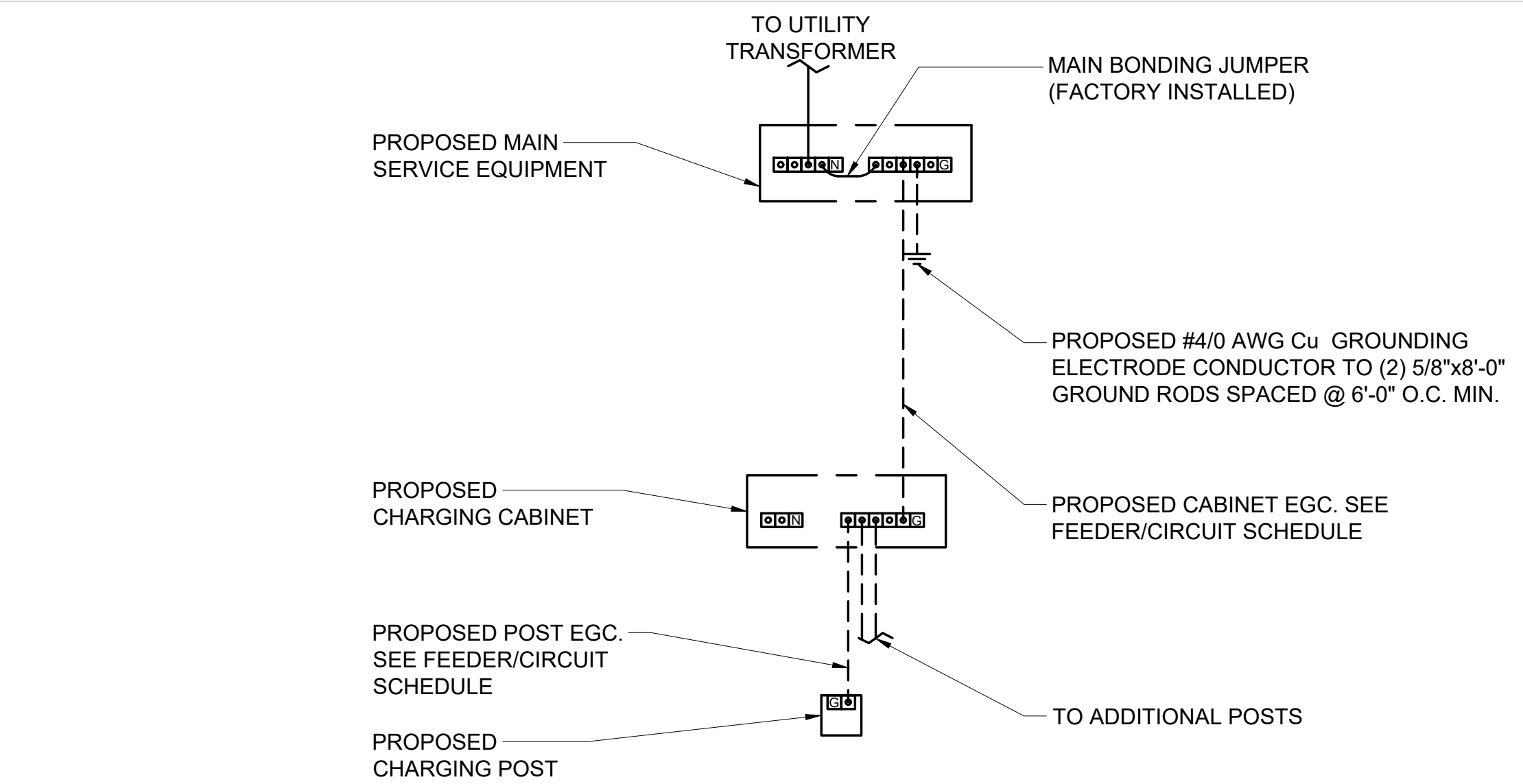
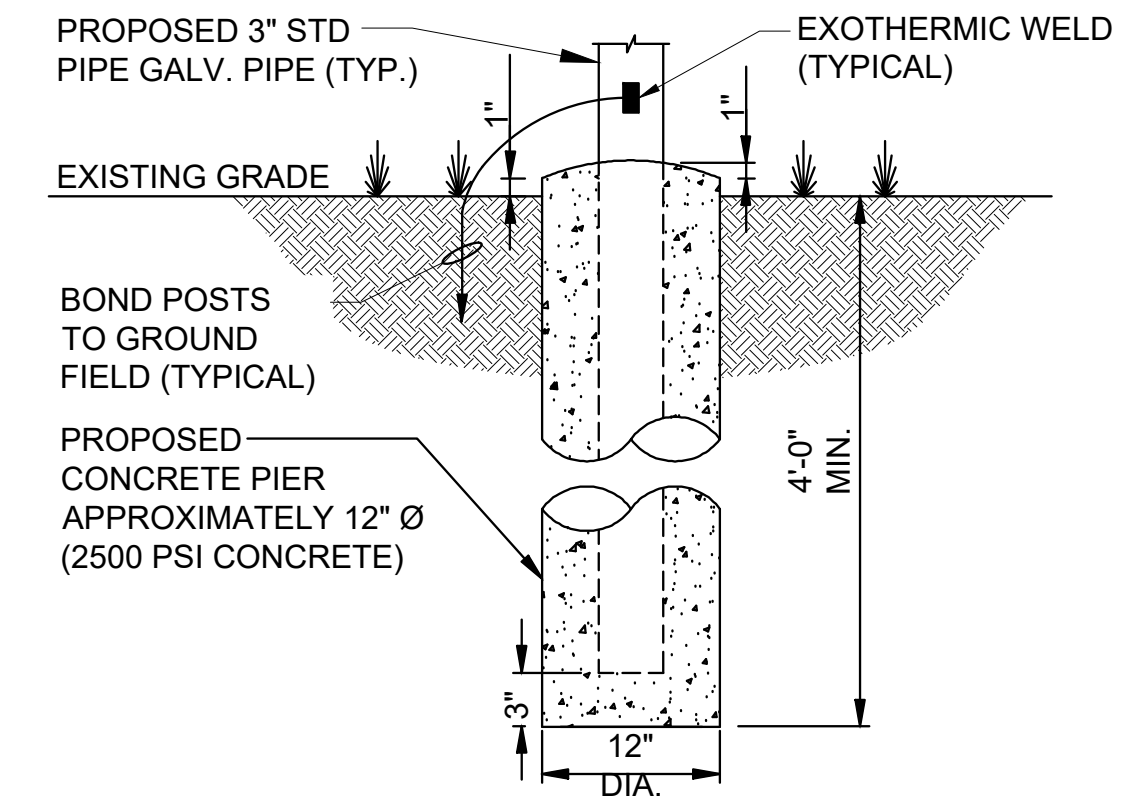
**B-3 SECONDARY FEEDERS TRENCH**  
NTS

- NOTES:**
- ANY EXCAVATION LEFT OPEN SHOULD BE SECURELY FENCED OFF.
  - ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRECONSTRUCTION CONDITIONS OR BETTER.
  - CONTRACTOR SHALL INSTALL CONDUITS BELOW LOCAL FROST LINE. SHOULD FIELD CONDITIONS VARY, CONTRACTOR SHALL COORDINATE WITH CONTACT ENGINEER LISTED ON SHEET G-000.
  - VERIFY WIDTH OF TRENCH REQUIRED. REFER TO SITE ELECTRICAL DRAWING ON SHEET E-101 FOR ROUTING.

- NOTES:**
- ANY EXCAVATION LEFT OPEN SHOULD BE SECURELY FENCED OFF.
  - ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRECONSTRUCTION CONDITIONS OR BETTER.
  - CONTRACTOR SHALL INSTALL CONDUITS BELOW LOCAL FROST LINE. SHOULD FIELD CONDITIONS VARY, CONTRACTOR SHALL COORDINATE WITH CONTACT ENGINEER LISTED ON SHEET G-000.
  - VERIFY WIDTH OF TRENCH REQUIRED. REFER TO SITE ELECTRICAL DRAWING ON SHEET E-101 FOR ROUTING.
  - VERIFY ALL REQUIREMENTS WITH POWER COMPANY

- NOTES:**
- SUPPORT POST: 2-3" STD GALVANIZED PIPE CEMENTED IN GROUND. BOND POSTS TO GROUND FIELD.
  - MOUNTING HARDWARE- 12 GAUGE 1-5/8" X 1-5/8" CONTINUOUS SLOT HOT DIPPED GALVANIZED CHANNEL (e.g., UNISTRUT) COMPLETE WITH 1-1/4" X 5/16" DIA. 13 THD SPRING NUT (2 PER CHANNEL), 5/16" HEX NUT, AND LOCK WASHER SECURELY MOUNTED TO SUPPORT POSTS.
  - REFER TO FEEDER/CIRCUIT SCHEDULE FOR CONDUIT SPECIFICATION
  - ALL ABOVE GROUND CONDUITS SHALL BE RIGID GALVANIZED STEEL. PROVIDE PVC TO RGS COUPLER FOR TRANSITION.
  - ALL CUT POST & UNISTRUT ENDS SHALL BE FILED, GALVANIZED AND CAPPED.

**A-1 H-FRAME FOUNDATION DETAIL**  
NTS



**A-3 TYPICAL GROUNDING DIAGRAM**  
NTS

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**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

ELECTRICAL DETAILS

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**E-301**