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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: THE RIDGE (f/k/a THE LOOP)
PROJECT NO.: 17-01
PROJECT LOCATION: RT.300 & RT.52 SECTION, BLOCK & LOT: MULTIPLE
REVIEW DATE: 10 MARCH 2017
MEETING DATE: 16 MARCH 2017
PROJECT REPRESENTATIVE: DIVNEY TUNG SCHWALBE, LLP

1. The Applicants representatives have revised the plans to show a potential ultimate buildout or approximately 700,000 square feet. The Applicants are currently seeking approval for "Phase I" 530,000 +/- square foot project.
2. The Applicants are before the Board to discuss design concepts of the revised plans discussed with the Towns Consultants team at 2 workshops. The following issues must be resolved by the Planning Board with direction to the Applicants.
 - A. Installation of the canoe island at the entrance drive intersection of the Route 300/Meadow Hill Road large parking field intersection. Discussions with the Planning Board regarding a thru drive in this area have been held and a concept placing a canoe island similar to the Newburgh Mall entrance facility has been provided by the Applicant. Discussions at the Work Session identified moving the canoe island closer to the structures on the site to provide additional stacking and parking lot access.
 - B. Deferment of the traffic signal: Ken Wersted will weigh in on this. The Applicants Traffic Study for the 530,000 Sq. Ft. project identifies levels of Service F at this intersection during Saturday peak hours. The Applicants are currently proposing a stop sign controlled intersection. Concerns regarding the Applicants Traffic Study levels of service and multiple lanes being controlled by stop signs must be addressed with the Planning Board.
 - C. Relocation of the 10 ft. barrier fence at the easterly property lines. Applicants representatives wish to discuss the relocation of the fence based on current design, grading and topographic issues.

- D. Elimination or deferment of the Route 52 access road, including deferment of the barrier fencing, completion of the cul-de-sac at the dead end road (Brooks Drive) and provisions for emergency access roadway under review by the Code Enforcement and Jurisdictional Emergency Services.
- E. The Applicants have provided a schematic drawing identifying locations of the "lifestyle" portion of the project. Currently it is proposed by the Applicant that 170,000 Sq. Ft. of the facility meets the former lifestyle goals.
- F. The Planning Board should discuss modifications to the findings based on information submitted and to be provided by the Applicant.
- G. Questions regarding legal obligations found in all previous documents and agreements with the various Town Boards should be resolved to Mike Donnelly and Mark Taylor's satisfaction. Information pertaining to this should be submitted to the Town's legal representatives.
- H. Construction sequencing should be addressed with the Planning Board.
- I. The access for the sewer main has been relocated should the potential third access drive be constructed. The access drive no longer terminates at the rear of the Dicks Sporting Goods facility and enters into the parking lot area in a location more conducive to traffic flow.
- J. The triggering mechanism for requiring construction of the third access road should be discussed.
- K. Karen Arent's comments regarding landscaping should be addressed.
- L. Well monitoring program in accordance with the blasting protocol has been reinstated by the Applicant.
- M. In order to update the Board a list of finding requirements including such items as traffic pre-emption devices, construction phase requirements, fencing phase requirements, fencing/landscaping requirements and other project requirements found in various documents executed by the predecessor owners should be provided in a condensed form for the Board's use.

Respectfully submitted,

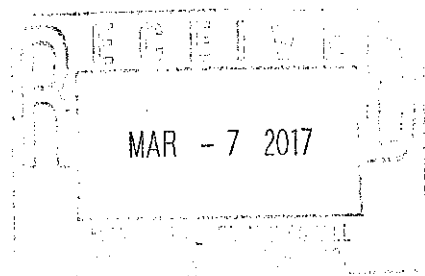
McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

PJH/kbw



WATERSTONE
RETAIL DEVELOPMENT



March 6, 2017

VIA FEDERAL EXPRESS

Mr. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: TheRidge-Hudson Valley (f/k/a TheLOOP)
"Sixth" Amended Site Plan (SPA6)
Town Project No. 2017-01

Dear Chairman Ewasutyn and Members of the Board:

Ridge Hudson Valley, LLC, an affiliate of Waterstone Retail Development ("Waterstone") the owner of the property, has been working with the Planning Board's review consultants and has attended Consultant Workshops on January 24, 2017 and February 28, 2017 to advance the project.

Waterstone has continued to advance the leasing and merchandising plans with the potential tenants. The progress and focus has allowed us to fine tune the building and site design while incorporating the Town consultant's comments. We believe the time is right to update the Planning Board on recent progress and review details of the response to comments regarding the sixth amended site plan review.

In this regard, enclosed please find sixteen (16) sets of the following SPA6 drawings prepared by the Applicant's consultants in support of our request to be considered by the Board, at your earliest convenience:

Site Plan Amendment No. 6 Drawings

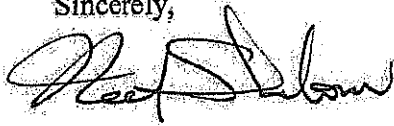
Sheet No.	Description	Drawing Scale	Last Revised	Prepared By:
SP-1.0	Overall Site Plan	1"= 100'	02/21/17	DTS
SP-4.0	Landscape Plan	1"= 100'	02/21/17	TMA

In addition, following the advice of the Town consultants, please find enclosed sixteen (16) sets of three (3) Road B Alternative Access/Egress Layouts, Figure Nos. 1 through 3 which the Applicant also wants to review with the Board.

We are looking forward to seeing you at a future Planning Board meeting to be set at the Board's convenience.

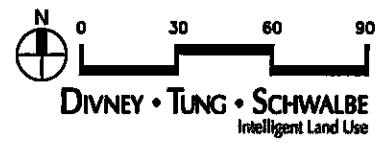
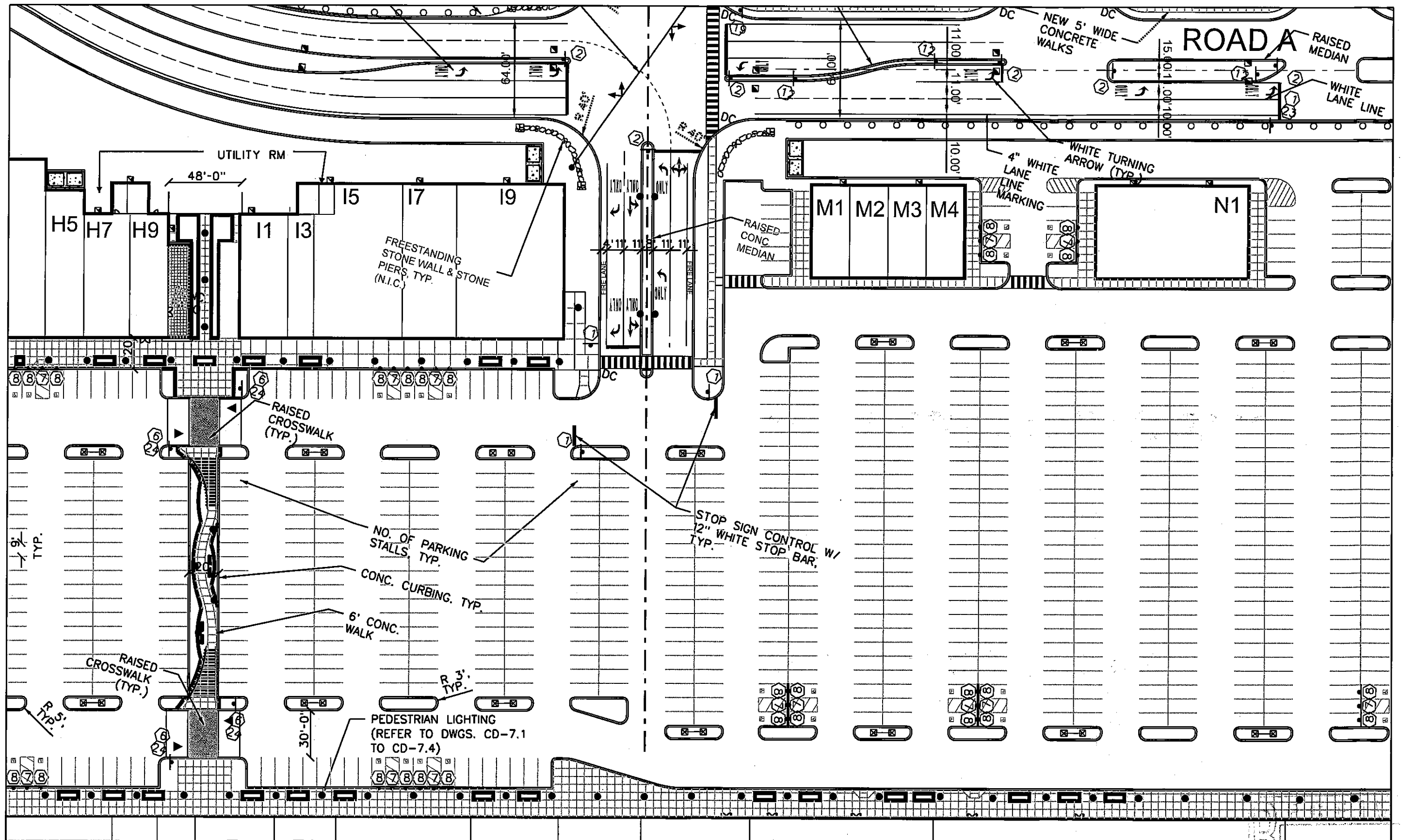
If you have any questions or need any additional information before placement scheduling, please contact Tom Godfrey (781- 258-1199) or myself.

Sincerely,

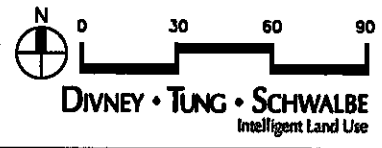
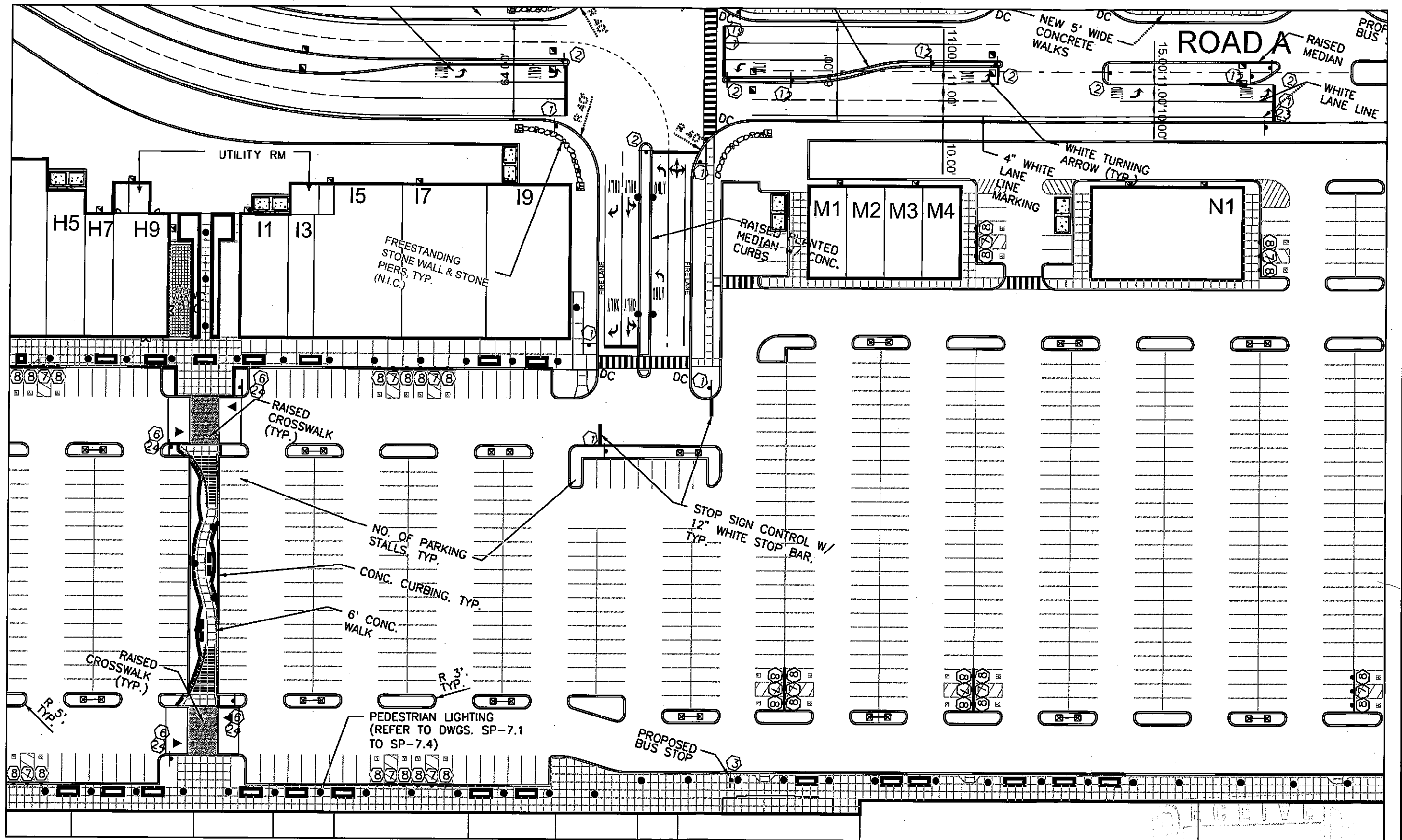


Neal Shalom
Partner

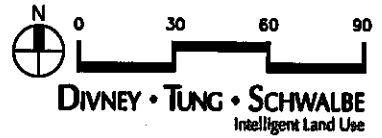
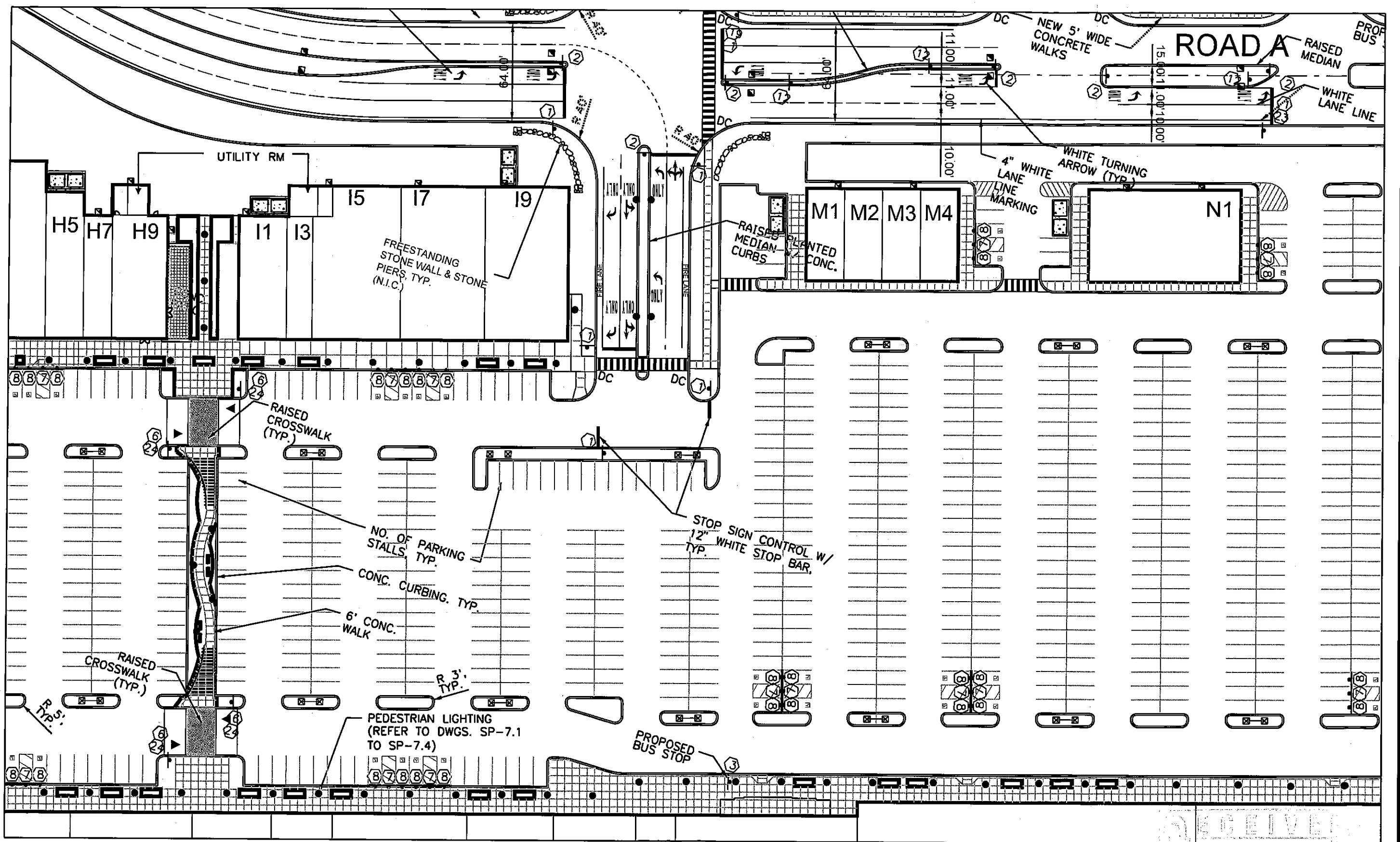
Cc: Supervisor Gil Piaquadio
James Osborne, P.E.
Gerald Canfield
Karen Arent
Michael Donnelly, Esq.
Patrick Hines
Kenneth Wersted, P.E.



ROAD B ALTERNATIVE ACCESS / EGRESS 2017
 ORIGINAL 12/16/16 SPA6 LAYOUT
 THE RIDGE
 NEWBURGH, NEW YORK
 FIGURE NO. 1
 03/03/17



ROAD B ALTERNATIVE ACCESS/EGRESS
 SHORT CANOE ISLAND LAYOUT
 THE RIDGE
 NEWBURGH, NEW YORK
 FIGURE NO. 2
 03/03/17



**ROAD B ALTERNATIVE ACCESS / EGRESS
EXTENDED CANOE ISLAND LAYOUT**

THE RIDGE
NEWBURGH, NEW YORK

FIGURE NO. 3
03/03/17