

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: READY COFFEE
PROJECT NO.: 19-26
PROJECT LOCATION: SECTION 76, BLOCK 4, LOT 3
REVIEW DATE: 29 MAY 2020
MEETING DATE: 4 JUNE 2020
PROJECT REPRESENTATIVE: LOTHROP ASSOCIATES, LLP.

1. Project was submitted to Orange County Planning Department on 11 May 2020. Status of 239 review should be addressed.
2. Redesign of the drainage system has been discussed. Plans for the revised drainage must be submitted. Location of existing drainage structures was being pursued with the Highway Department.
3. Planning Board discussed the geometry of the new versus existing pavement proposed on the site.
4. This office would recommend a negative declaration or determination that the project is a Type II Action under SEQRA being a commercial site plan less than 4,000 square feet.
5. NYSDOT approval of the sidewalk is requested. Sidewalk may have to be increased to 5-foot width based on recent NYSDOT comments.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/dns

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •





Steven M. Neuhaus
County Executive

Orange County Department of Planning

124 Main Street
Goshen, NY 10924-2124
Tel: (845) 615-3840
Fax: (845) 291-2533

David E. Church, AICP
Commissioner
www.orangecountygov.com/planning
planning@orangecountygov.com

Cover Sheet: NYS General Municipal Law §239-l, m, and n Referral

This cover sheet should be completed by the local board having jurisdiction. Referrals from applicants will not be accepted unless coordinated with both the local board having jurisdiction and the County Department of Planning. Please include all materials that are part of a "full statement" as defined by NYS GML §239(m), i.e. "all materials required by and submitted to the referring body as an application". Please return this cover sheet and the Full Statement to the Orange County Department of Planning.

Referral ID No.: County Use Only

Municipality: Newburgh, Town

Tax Map No.: 76-4-3

Local Referring Board: Planning Board

Tax Map No.:

Applicant: Parkway Coffee LLC dba ready coffee

Tax Map No.:

Project Name: Ready Coffee site plan

Local File No.: 2019-26

Location of Project Site: Gardnertown Rd / NYS RT.32

Size of Parcel(s): 5.7 acre

Zoning District: B

Reason for County Planning Review: State highway

Type of Review:

- Comprehensive Plan Update/Approval
- Zoning Amendment
 - Zoning District Change, from to
 - Ordinance Modification, cite section:
- Local Law:
- Site Plan, non-residential sq.ft. proposed: freestanding coffee shop . 600 sqft.
Which approval is the applicant seeking? SKETCH / PRELIMINARY / FINAL
- Subdivision, number of lots proposed:
Which approval is the applicant seeking? SKETCH / PRELIMINARY / FINAL
- Special Use Permit:
- Lot Line Change:
- Variance: AREA / USE
- Other:

Local Board comments/elaboration:

John P. Ewasutyn

5/11/2020

Chairman

Name/Signature of local official

Date

Title

Municipal Contact Phone No.: 845-564-7804

If you would like the Applicant to be cc'd on this letter, please provide the Applicant's address:

READY COFFEE

59 NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550

PROPOSED DRIVE-THROUGH COFFEE SHOP

CLIENT:
READY COFFEE LLC
7 Nancy Ct. Wappingers Falls, NY 12590

ARCHITECT:
LOTHROP ASSOCIATES LLP ARCHITECTS
333 Westchester Avenue, White Plains, New York 10604
(914) 741-1115

SITE CIVIL ENGINEER:
HUDSON LAND DESIGN PROFESSIONAL ENGINEERING, PC
174 Main Street Beacon, NY 12508
(845) 440 6926

OWNER:
NEWBURGH ACQUISITION LLC
444 South Fulton Avenue, Second Floor, Mount Vernon, New York 10553

Lothrop

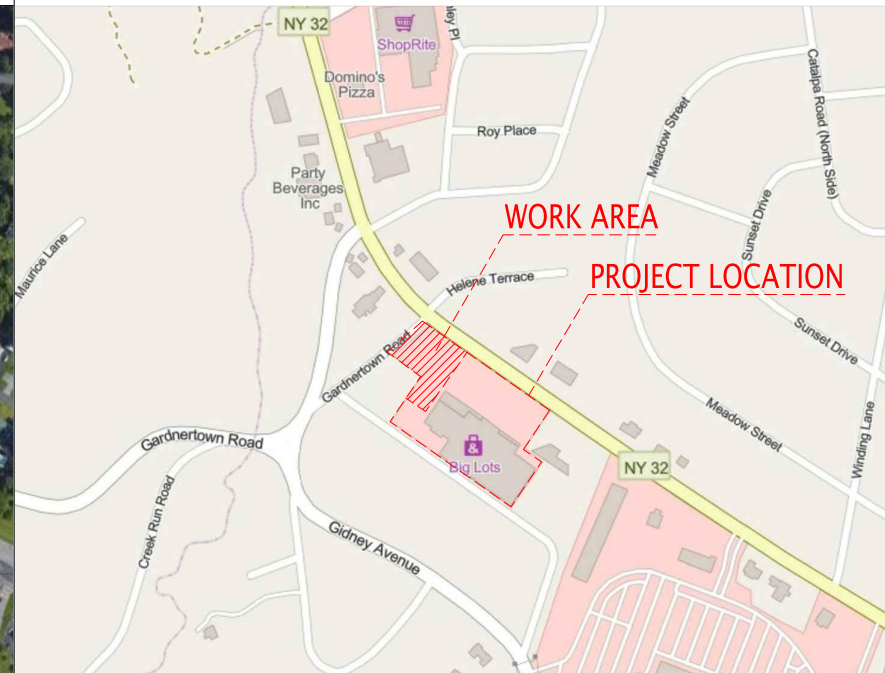
Lothrop Associates LLP Architects
333 Westchester Avenue
White Plains, New York 10604
914-741-1115

White Plains Rochester Red Bank Hartford

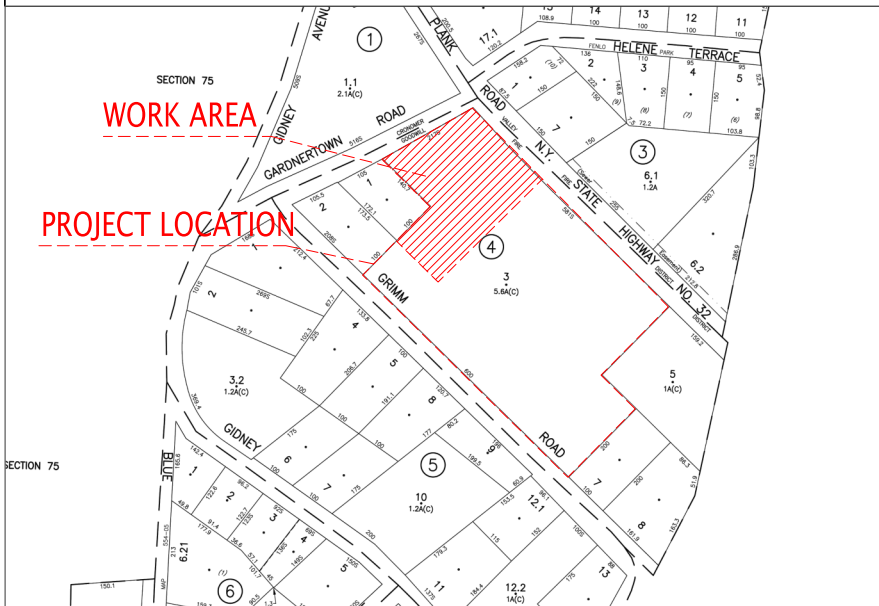
AERIAL MAP



VICINITY MAP



TAX MAP



US TOPO MAP



LIST OF DRAWINGS

ARCHITECTURAL - SITE

- A000 COVER SHEET
- A001 EXISTING SURVEY
- A002 ARCHITECTURAL SITE PLAN
- A003 ENLARGED ARCHITECTURAL SITE PLAN
- A004 LANDSCAPING PLAN
- A005 SITE LIGHTING PLAN
- A006 SITE SIGNAGE PLAN
- A007 3D RENDERINGS
- A008 ELEVATIONS AND SIGNAGE DETAILS
- A009 ELEVATIONS AND SIGNAGE DETAILS
- A010 SITE DETAILS I
- A011 SITE DETAILS II

ENGINEERING - SITE CIVIL

- GD-1 GRADING AND EROSION PLAN
- UT-1 UTILITY PLAN
- CD-1 CONSTRUCTION DETAILS

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE
59 N PLANK ROAD
NEWBURGH, NY

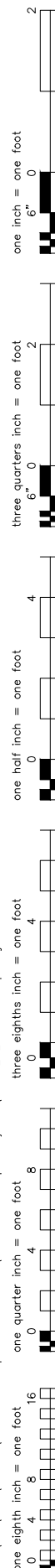
COVER SHEET

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:

A000

C:\Users\Patrik\Documents\03.18.2020 - Lothrop Coram Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_20_0423 - RC site plan.dwg



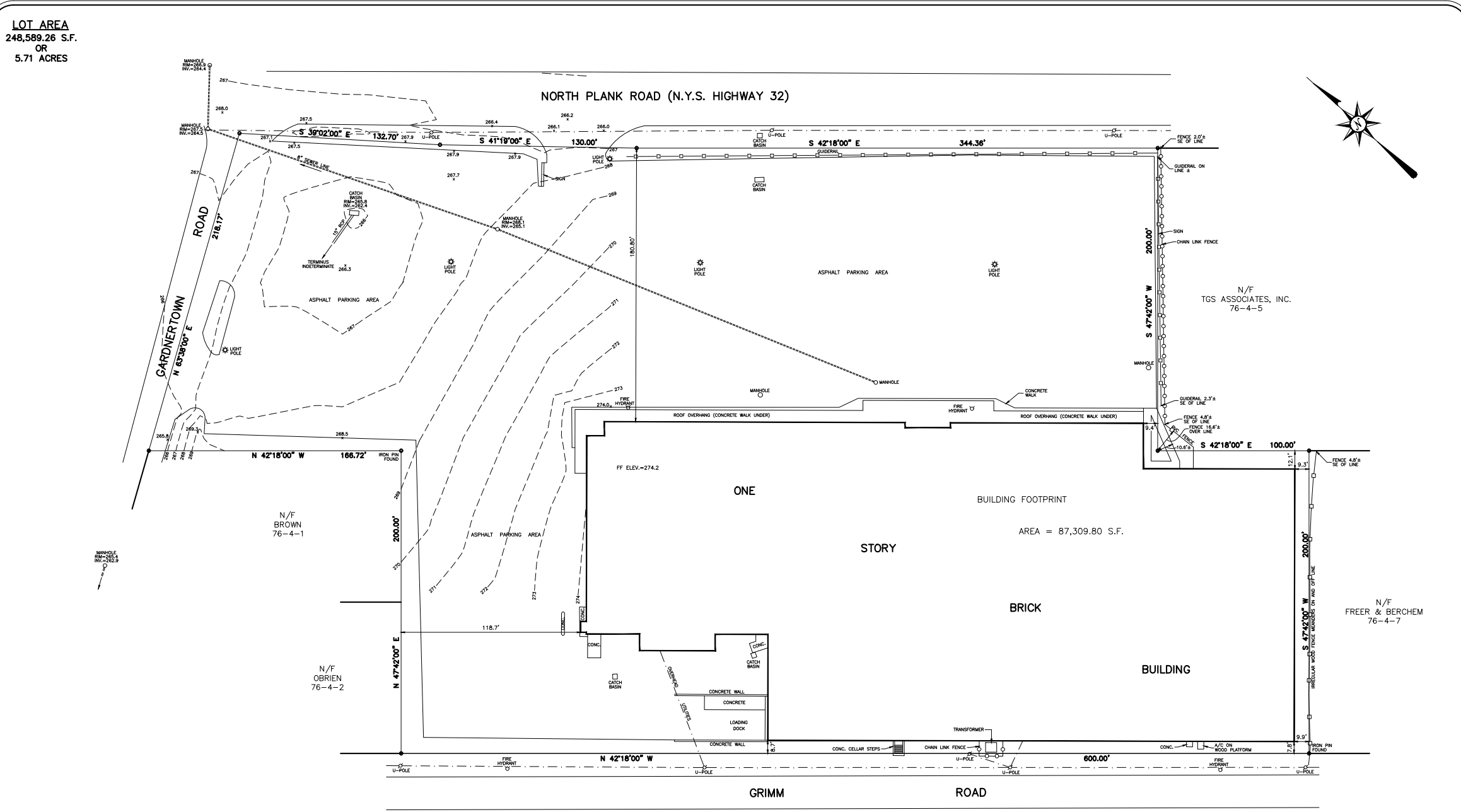
ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE
59 N PLANK ROAD
NEWBURGH, NY

EXISTING SURVEY

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:
A001



W.E. James
 Engineering and Land Surveying, PLLC
 8 CHEANDA LANE
 WALKILL, NEW YORK 12580
 PHONE: (845) 898-8822 FAX: (845) 898-8825
 EMAIL: WJames@lothropna.net
 www.wjamesandlothrop.com

REVIS: MARCH 24, 2020 (TOPOGRAPHY ADDED)

PROJECT TITLE:
 SURVEY PREPARED FOR
Newburgh Acquisition LLC
 TAX MAP SECTION 76, BLOCK 4, LOT 3
 TOWN OF NEWBURGH,
 ORANGE COUNTY, NEW YORK

DATE: 1" = 30'
DATE: JULY 18, 2016
SHEET NO.: 1 OF 1

PROJECT OR REFERENCE:
 (SEE DRAWING FOR REFERENCE TO THE RECORDING OFFICE)

CERTIFIED ONLY TO:
 1. NEWBURGH ACQUISITION LLC

William E. James
WILLIAM E. JAMES, P.E., P.L.S.
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #202020

- GENERAL NOTES:**
1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED LIBER-11762, PAGE-794 RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
 2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP AND EXISTING MONUMENTATION.
 3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
 4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
 5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
 6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBSECTION 2.
 7. TOGETHER WITH AND SUBJECT TO ANY RIGHTS, TITLE OR INTERESTS OF OTHERS IN AND TO THAT PORTION OF GARDNERTOWN ROAD USED FOR ROAD PURPOSES.
 8. ELEVATION DATUM BASED UPON APPROXIMATE USGS.

c:\Users\Patrik\Documents\03.18.2020 - Lothrop Corona Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_20_0423 - RC site plan.dwg
 one eighth inch = one foot
 one quarter inch = one foot
 three eighths inch = one foot
 one half inch = one foot
 three quarters inch = one foot
 one inch = one foot

ZONING LEGEND: B				VARIANCE REQ'D? (GRANTED 04/23/2020)	
	REQUIRED	PROVIDED FOR READY COFFEE	PROVIDED FOR EXISTING BUILDING	YES	NO
RETAIL STORES					
MINIMUM LOT AREA	15,000 SF	248,292 SF	248,292 SF		
MINIMUM LOT WIDTH	100'	608'	608'		
MINIMUM LOT DEPTH	125'	204'	204'		
NORTH PLANK ROAD					
MINIMUM FRONT	60'	64'	180'		
MINIMUM SIDE (EACH)	15'	61'	9'		
MINIMUM SIDE (BOTH)	30'	609'	127'		
MINIMUM REAR	30'	110'	7'		
GARDNERTOWN ROAD					
MINIMUM FRONT	60'	61'	275'		
MINIMUM SIDE (EACH)	15'	64'	7'		
MINIMUM SIDE (BOTH)	30'	174'	19'		
MINIMUM REAR	30'	548'	9'		
GRIMM ROAD					
MINIMUM FRONT	60'		7'		
MINIMUM SIDE (EACH)	15'		9'		
MINIMUM SIDE (BOTH)	30'		127'		
MINIMUM REAR	30'		12'		
MAXIMUM BUILDING HEIGHT	35'	18'	28'		
MAXIMUM IMPERVIOUS SURFACE LOT COVERAGE	85% x 248,589 SF = 211,301 SF	233,924 SF	238,665 SF		
MAXIMUM BUILDING COVERAGE	60% x 248,589 SF = 149,153 SF	87,823 SF	87,310 SF		

Parking Requirements:

Total Gross Leasable Floor Area 76,426 sf (88% of 86,846 sf Total)

Shopping Center	1 space per 225 sf	65,528 sf / 225	=	291
(50% of Leased Storage Area Included - 14,845 sf x 50% = 7,422 sf)				
Furniture Area	1 space per 500 sf	3,475 sf / 500	=	7
Coffee Shop	As per Planning Bd	550 sf	=	3
				Required
				301 spaces
				Current Parking Layout
				302 spaces
				Total Proposed (Revised Striping)
				274 spaces

Parking Requirements:

Total Gross Leasable Floor Area 76,426 sf (88% of 86,846 sf Total)

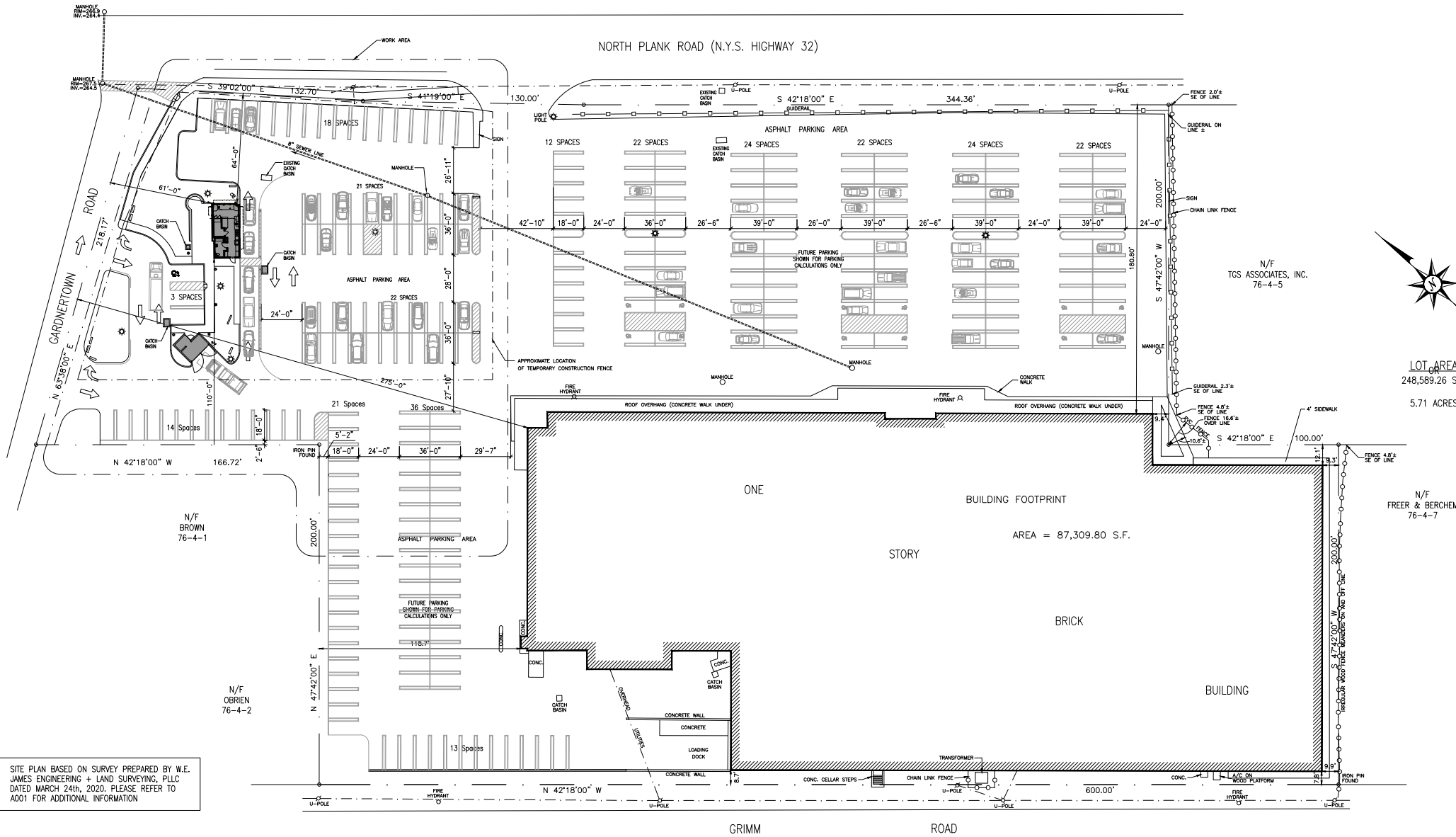
Shopping Center	1 space per 225 sf	65,528 sf / 225	=	291
(50% of Leased Storage Area Included - 14,845 sf x 50% = 7,422 sf)				
Furniture Area	1 space per 500 sf	3,475 sf / 500	=	7
Coffee Shop	As per Planning Bd	550 sf	=	3
				Required
				301 spaces
				Current Parking Layout
				302 spaces
				Total Proposed (Revised Striping)
				274 spaces



Lothrop Associates LLP Architects
 333 Westchester Avenue
 White Plains, New York 10604
 914-741-1115

White Plains Rochester Red Bank Hartford

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING



SITE PLAN BASED ON SURVEY PREPARED BY W.E. JAMES ENGINEERING & LAND SURVEYING, PLLC DATED MARCH 24th, 2020. PLEASE REFER TO A001 FOR ADDITIONAL INFORMATION

2 SITE PLAN
 1" = 40'

READY COFFEE
59 N PLANK ROAD
NEWBURGH, NY

PROPOSED SITE PLAN

PROJECT NO.: 2250-00	SCALE: AS NOTED
DRAWING NO.: A002	
BOARD CHAIRPERSON	DATE

one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 three quarters inch = one foot
 one inch = one foot
 one and one quarter inch = one foot
 one and one half inch = one foot
 one and three quarters inch = one foot
 two inches = one foot
 two and one quarter inch = one foot
 two and one half inch = one foot
 two and three quarters inch = one foot
 three inches = one foot
 three and one quarter inch = one foot
 three and one half inch = one foot
 three and three quarters inch = one foot
 four inches = one foot
 four and one quarter inch = one foot
 four and one half inch = one foot
 four and three quarters inch = one foot
 five inches = one foot
 five and one quarter inch = one foot
 five and one half inch = one foot
 five and three quarters inch = one foot
 six inches = one foot
 six and one quarter inch = one foot
 six and one half inch = one foot
 six and three quarters inch = one foot
 seven inches = one foot
 seven and one quarter inch = one foot
 seven and one half inch = one foot
 seven and three quarters inch = one foot
 eight inches = one foot
 eight and one quarter inch = one foot
 eight and one half inch = one foot
 eight and three quarters inch = one foot
 nine inches = one foot
 nine and one quarter inch = one foot
 nine and one half inch = one foot
 nine and three quarters inch = one foot
 ten inches = one foot
 ten and one quarter inch = one foot
 ten and one half inch = one foot
 ten and three quarters inch = one foot
 eleven inches = one foot
 eleven and one quarter inch = one foot
 eleven and one half inch = one foot
 eleven and three quarters inch = one foot
 twelve inches = one foot
 twelve and one quarter inch = one foot
 twelve and one half inch = one foot
 twelve and three quarters inch = one foot
 thirteen inches = one foot
 thirteen and one quarter inch = one foot
 thirteen and one half inch = one foot
 thirteen and three quarters inch = one foot
 fourteen inches = one foot
 fourteen and one quarter inch = one foot
 fourteen and one half inch = one foot
 fourteen and three quarters inch = one foot
 fifteen inches = one foot
 fifteen and one quarter inch = one foot
 fifteen and one half inch = one foot
 fifteen and three quarters inch = one foot
 sixteen inches = one foot
 sixteen and one quarter inch = one foot
 sixteen and one half inch = one foot
 sixteen and three quarters inch = one foot
 seventeen inches = one foot
 seventeen and one quarter inch = one foot
 seventeen and one half inch = one foot
 seventeen and three quarters inch = one foot
 eighteen inches = one foot
 eighteen and one quarter inch = one foot
 eighteen and one half inch = one foot
 eighteen and three quarters inch = one foot
 nineteen inches = one foot
 nineteen and one quarter inch = one foot
 nineteen and one half inch = one foot
 nineteen and three quarters inch = one foot
 twenty inches = one foot
 twenty and one quarter inch = one foot
 twenty and one half inch = one foot
 twenty and three quarters inch = one foot
 twenty one inches = one foot
 twenty one and one quarter inch = one foot
 twenty one and one half inch = one foot
 twenty one and three quarters inch = one foot
 twenty two inches = one foot
 twenty two and one quarter inch = one foot
 twenty two and one half inch = one foot
 twenty two and three quarters inch = one foot
 twenty three inches = one foot
 twenty three and one quarter inch = one foot
 twenty three and one half inch = one foot
 twenty three and three quarters inch = one foot
 twenty four inches = one foot
 twenty four and one quarter inch = one foot
 twenty four and one half inch = one foot
 twenty four and three quarters inch = one foot
 twenty five inches = one foot
 twenty five and one quarter inch = one foot
 twenty five and one half inch = one foot
 twenty five and three quarters inch = one foot
 twenty six inches = one foot
 twenty six and one quarter inch = one foot
 twenty six and one half inch = one foot
 twenty six and three quarters inch = one foot
 twenty seven inches = one foot
 twenty seven and one quarter inch = one foot
 twenty seven and one half inch = one foot
 twenty seven and three quarters inch = one foot
 twenty eight inches = one foot
 twenty eight and one quarter inch = one foot
 twenty eight and one half inch = one foot
 twenty eight and three quarters inch = one foot
 twenty nine inches = one foot
 twenty nine and one quarter inch = one foot
 twenty nine and one half inch = one foot
 twenty nine and three quarters inch = one foot
 thirty inches = one foot
 thirty and one quarter inch = one foot
 thirty and one half inch = one foot
 thirty and three quarters inch = one foot
 thirty one inches = one foot
 thirty one and one quarter inch = one foot
 thirty one and one half inch = one foot
 thirty one and three quarters inch = one foot
 thirty two inches = one foot
 thirty two and one quarter inch = one foot
 thirty two and one half inch = one foot
 thirty two and three quarters inch = one foot
 thirty three inches = one foot
 thirty three and one quarter inch = one foot
 thirty three and one half inch = one foot
 thirty three and three quarters inch = one foot
 thirty four inches = one foot
 thirty four and one quarter inch = one foot
 thirty four and one half inch = one foot
 thirty four and three quarters inch = one foot
 thirty five inches = one foot
 thirty five and one quarter inch = one foot
 thirty five and one half inch = one foot
 thirty five and three quarters inch = one foot
 thirty six inches = one foot
 thirty six and one quarter inch = one foot
 thirty six and one half inch = one foot
 thirty six and three quarters inch = one foot
 thirty seven inches = one foot
 thirty seven and one quarter inch = one foot
 thirty seven and one half inch = one foot
 thirty seven and three quarters inch = one foot
 thirty eight inches = one foot
 thirty eight and one quarter inch = one foot
 thirty eight and one half inch = one foot
 thirty eight and three quarters inch = one foot
 thirty nine inches = one foot
 thirty nine and one quarter inch = one foot
 thirty nine and one half inch = one foot
 thirty nine and three quarters inch = one foot
 forty inches = one foot
 forty and one quarter inch = one foot
 forty and one half inch = one foot
 forty and three quarters inch = one foot
 forty one inches = one foot
 forty one and one quarter inch = one foot
 forty one and one half inch = one foot
 forty one and three quarters inch = one foot
 forty two inches = one foot
 forty two and one quarter inch = one foot
 forty two and one half inch = one foot
 forty two and three quarters inch = one foot
 forty three inches = one foot
 forty three and one quarter inch = one foot
 forty three and one half inch = one foot
 forty three and three quarters inch = one foot
 forty four inches = one foot
 forty four and one quarter inch = one foot
 forty four and one half inch = one foot
 forty four and three quarters inch = one foot
 forty five inches = one foot
 forty five and one quarter inch = one foot
 forty five and one half inch = one foot
 forty five and three quarters inch = one foot
 forty six inches = one foot
 forty six and one quarter inch = one foot
 forty six and one half inch = one foot
 forty six and three quarters inch = one foot
 forty seven inches = one foot
 forty seven and one quarter inch = one foot
 forty seven and one half inch = one foot
 forty seven and three quarters inch = one foot
 forty eight inches = one foot
 forty eight and one quarter inch = one foot
 forty eight and one half inch = one foot
 forty eight and three quarters inch = one foot
 forty nine inches = one foot
 forty nine and one quarter inch = one foot
 forty nine and one half inch = one foot
 forty nine and three quarters inch = one foot
 fifty inches = one foot
 fifty and one quarter inch = one foot
 fifty and one half inch = one foot
 fifty and three quarters inch = one foot
 fifty one inches = one foot
 fifty one and one quarter inch = one foot
 fifty one and one half inch = one foot
 fifty one and three quarters inch = one foot
 fifty two inches = one foot
 fifty two and one quarter inch = one foot
 fifty two and one half inch = one foot
 fifty two and three quarters inch = one foot
 fifty three inches = one foot
 fifty three and one quarter inch = one foot
 fifty three and one half inch = one foot
 fifty three and three quarters inch = one foot
 fifty four inches = one foot
 fifty four and one quarter inch = one foot
 fifty four and one half inch = one foot
 fifty four and three quarters inch = one foot
 fifty five inches = one foot
 fifty five and one quarter inch = one foot
 fifty five and one half inch = one foot
 fifty five and three quarters inch = one foot
 fifty six inches = one foot
 fifty six and one quarter inch = one foot
 fifty six and one half inch = one foot
 fifty six and three quarters inch = one foot
 fifty seven inches = one foot
 fifty seven and one quarter inch = one foot
 fifty seven and one half inch = one foot
 fifty seven and three quarters inch = one foot
 fifty eight inches = one foot
 fifty eight and one quarter inch = one foot
 fifty eight and one half inch = one foot
 fifty eight and three quarters inch = one foot
 fifty nine inches = one foot
 fifty nine and one quarter inch = one foot
 fifty nine and one half inch = one foot
 fifty nine and three quarters inch = one foot
 sixty inches = one foot
 sixty and one quarter inch = one foot
 sixty and one half inch = one foot
 sixty and three quarters inch = one foot
 sixty one inches = one foot
 sixty one and one quarter inch = one foot
 sixty one and one half inch = one foot
 sixty one and three quarters inch = one foot
 sixty two inches = one foot
 sixty two and one quarter inch = one foot
 sixty two and one half inch = one foot
 sixty two and three quarters inch = one foot
 sixty three inches = one foot
 sixty three and one quarter inch = one foot
 sixty three and one half inch = one foot
 sixty three and three quarters inch = one foot
 sixty four inches = one foot
 sixty four and one quarter inch = one foot
 sixty four and one half inch = one foot
 sixty four and three quarters inch = one foot
 sixty five inches = one foot
 sixty five and one quarter inch = one foot
 sixty five and one half inch = one foot
 sixty five and three quarters inch = one foot
 sixty six inches = one foot
 sixty six and one quarter inch = one foot
 sixty six and one half inch = one foot
 sixty six and three quarters inch = one foot
 sixty seven inches = one foot
 sixty seven and one quarter inch = one foot
 sixty seven and one half inch = one foot
 sixty seven and three quarters inch = one foot
 sixty eight inches = one foot
 sixty eight and one quarter inch = one foot
 sixty eight and one half inch = one foot
 sixty eight and three quarters inch = one foot
 sixty nine inches = one foot
 sixty nine and one quarter inch = one foot
 sixty nine and one half inch = one foot
 sixty nine and three quarters inch = one foot
 seventy inches = one foot
 seventy and one quarter inch = one foot
 seventy and one half inch = one foot
 seventy and three quarters inch = one foot
 seventy one inches = one foot
 seventy one and one quarter inch = one foot
 seventy one and one half inch = one foot
 seventy one and three quarters inch = one foot
 seventy two inches = one foot
 seventy two and one quarter inch = one foot
 seventy two and one half inch = one foot
 seventy two and three quarters inch = one foot
 seventy three inches = one foot
 seventy three and one quarter inch = one foot
 seventy three and one half inch = one foot
 seventy three and three quarters inch = one foot
 seventy four inches = one foot
 seventy four and one quarter inch = one foot
 seventy four and one half inch = one foot
 seventy four and three quarters inch = one foot
 seventy five inches = one foot
 seventy five and one quarter inch = one foot
 seventy five and one half inch = one foot
 seventy five and three quarters inch = one foot
 seventy six inches = one foot
 seventy six and one quarter inch = one foot
 seventy six and one half inch = one foot
 seventy six and three quarters inch = one foot
 seventy seven inches = one foot
 seventy seven and one quarter inch = one foot
 seventy seven and one half inch = one foot
 seventy seven and three quarters inch = one foot
 seventy eight inches = one foot
 seventy eight and one quarter inch = one foot
 seventy eight and one half inch = one foot
 seventy eight and three quarters inch = one foot
 seventy nine inches = one foot
 seventy nine and one quarter inch = one foot
 seventy nine and one half inch = one foot
 seventy nine and three quarters inch = one foot
 eighty inches = one foot
 eighty and one quarter inch = one foot
 eighty and one half inch = one foot
 eighty and three quarters inch = one foot
 eighty one inches = one foot
 eighty one and one quarter inch = one foot
 eighty one and one half inch = one foot
 eighty one and three quarters inch = one foot
 eighty two inches = one foot
 eighty two and one quarter inch = one foot
 eighty two and one half inch = one foot
 eighty two and three quarters inch = one foot
 eighty three inches = one foot
 eighty three and one quarter inch = one foot
 eighty three and one half inch = one foot
 eighty three and three quarters inch = one foot
 eighty four inches = one foot
 eighty four and one quarter inch = one foot
 eighty four and one half inch = one foot
 eighty four and three quarters inch = one foot
 eighty five inches = one foot
 eighty five and one quarter inch = one foot
 eighty five and one half inch = one foot
 eighty five and three quarters inch = one foot
 eighty six inches = one foot
 eighty six and one quarter inch = one foot
 eighty six and one half inch = one foot
 eighty six and three quarters inch = one foot
 eighty seven inches = one foot
 eighty seven and one quarter inch = one foot
 eighty seven and one half inch = one foot
 eighty seven and three quarters inch = one foot
 eighty eight inches = one foot
 eighty eight and one quarter inch = one foot
 eighty eight and one half inch = one foot
 eighty eight and three quarters inch = one foot
 eighty nine inches = one foot
 eighty nine and one quarter inch = one foot
 eighty nine and one half inch = one foot
 eighty nine and three quarters inch = one foot
 ninety inches = one foot
 ninety and one quarter inch = one foot
 ninety and one half inch = one foot
 ninety and three quarters inch = one foot
 ninety one inches = one foot
 ninety one and one quarter inch = one foot
 ninety one and one half inch = one foot
 ninety one and three quarters inch = one foot
 ninety two inches = one foot
 ninety two and one quarter inch = one foot
 ninety two and one half inch = one foot
 ninety two and three quarters inch = one foot
 ninety three inches = one foot
 ninety three and one quarter inch = one foot
 ninety three and one half inch = one foot
 ninety three and three quarters inch = one foot
 ninety four inches = one foot
 ninety four and one quarter inch = one foot
 ninety four and one half inch = one foot
 ninety four and three quarters inch = one foot
 ninety five inches = one foot
 ninety five and one quarter inch = one foot
 ninety five and one half inch = one foot
 ninety five and three quarters inch = one foot
 ninety six inches = one foot
 ninety six and one quarter inch = one foot
 ninety six and one half inch = one foot
 ninety six and three quarters inch = one foot
 ninety seven inches = one foot
 ninety seven and one quarter inch = one foot
 ninety seven and one half inch = one foot
 ninety seven and three quarters inch = one foot
 ninety eight inches = one foot
 ninety eight and one quarter inch = one foot
 ninety eight and one half inch = one foot
 ninety eight and three quarters inch = one foot
 ninety nine inches = one foot
 ninety nine and one quarter inch = one foot
 ninety nine and one half inch = one foot
 ninety nine and three quarters inch = one foot
 one hundred inches = one foot

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

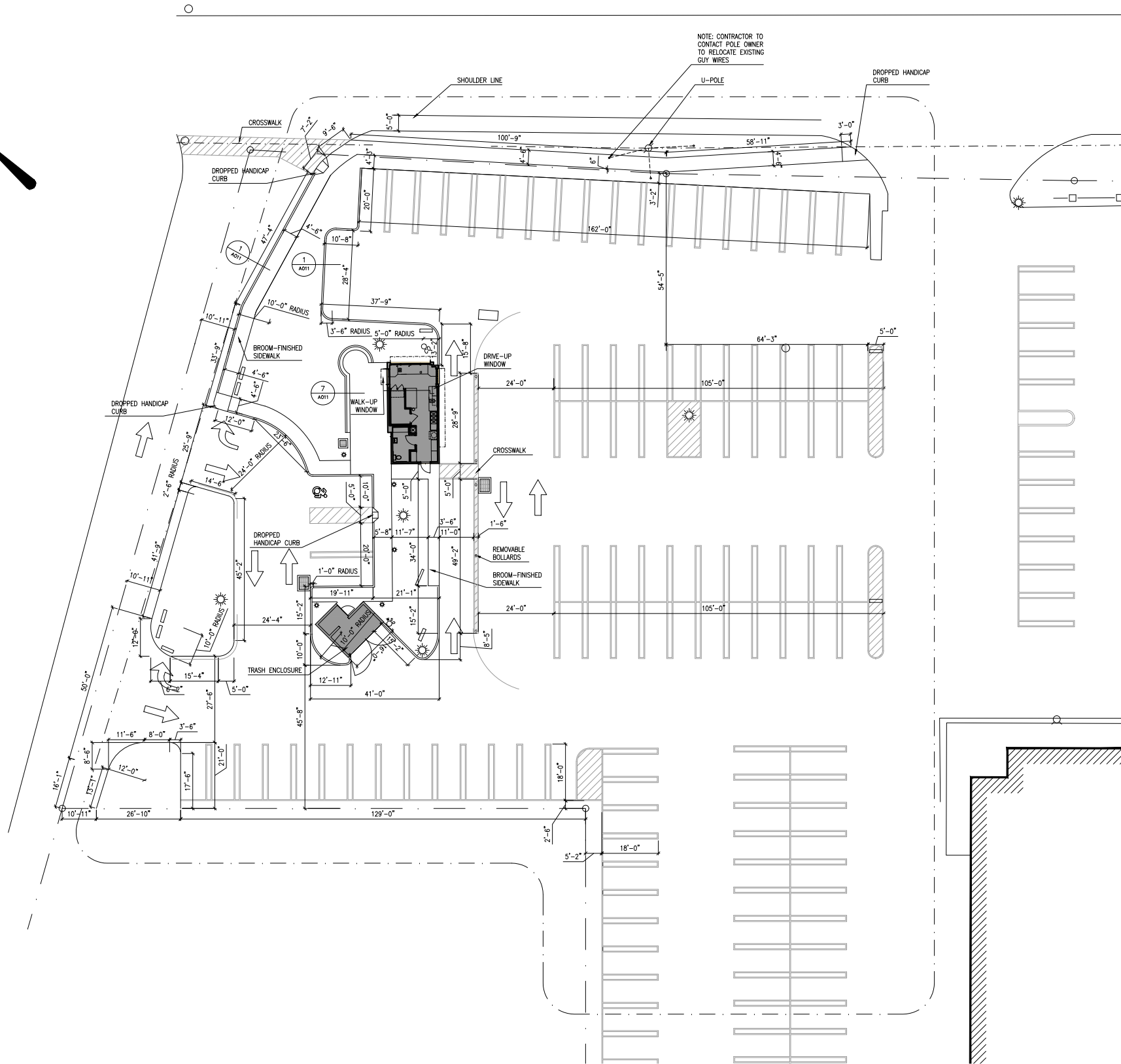
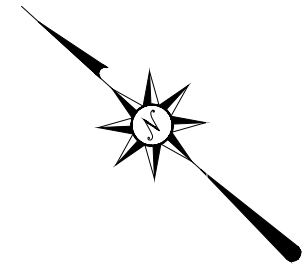
READY COFFEE
 59 N PLANK ROAD
 NEWBURGH, NY

ENLARGED ARCHITECTURAL SITE PLAN

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:

A003



1 ENLARGED ARCHITECTURAL SITE PLAN
 1" = 20'

one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 three quarters inch = one foot
 one inch = one foot
 one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 three quarters inch = one foot
 one inch = one foot

C:\Users\Patrik\Documents\03.18.2020 - Lothrop Corona Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_0423 - RC site plan.dwg

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE
59 N PLANK ROAD
NEWBURGH, NY

LANDSCAPE PLAN

PROJECT NO.: 2250-00

SCALE: AS NOTED

DRAWING NO.:

A004

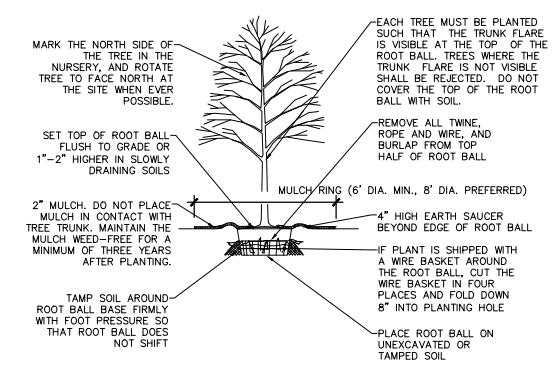
one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three quarters inch = one foot
 one inch = one foot



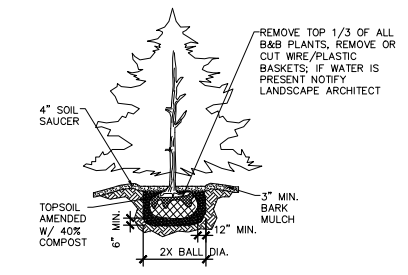
Dig Safely.
New York
Dig Safely and Dig Safely New York are used.
800-962-7962
www.digsafelynewyork.com

THE ABOVE REFERENCED REGIONS REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THAT REGION (NYS 1-800-962-7962)

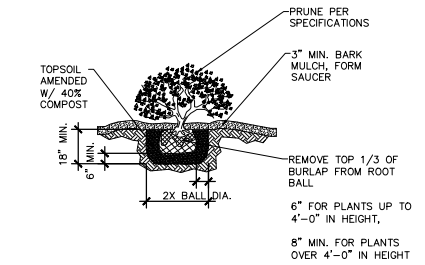
2 DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE



3 CONIFEROUS TREE PLANTING ON SLOPE DETAIL
 NOT TO SCALE



4 SHRUB PLANTING DETAIL
 NOT TO SCALE



PLANTING NOTES:

- THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 SQ. FT., OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE ARCHITECT (SEE STAKING DETAIL).
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE ARCHITECT.

PLANTING SCHEDULE				
NUMBER	QUANTITY	BOTANICAL/COMMON NAME	SIZE	REMARKS
#1	1	CRIMSON KING MAPLE TREES (ACER PLANTANOIDES)	6' HEIGHT	
#2	2	SARGENT BLUE JUNIPER (JUNIPERUS CHINENSIS SARGENTII GLAUCA)	SPECIMEN	
#3	2	AMUR MAPLE (ACER GIRMALA)	6' HEIGHT	
#4	6	J. CHINENSIS "BLUE POINT" (JUNIPERUS CHINENSIS)	3-4' HEIGHT	
#5	5	BLUE DWARF JAPANESE STONE PINE (PINUS PUMILA)	SPECIMEN	SPECIMEN
#6	8	RED TWIG DOGWOOD (CORNUS SERICEA)	6' HEIGHT	SPECIMEN

GENERAL NOTES

- ALL LANDSCAPING SHOWN ON THE APPROVED SITE PLAN SHALL BE MAINTAINED IN A WOODED GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OR USES BEING SERVED. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED BY THE PROPERTY OWNER WITH NEW HEALTHY PLANTS OF COMPARABLE SIZE AND QUALITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- REFER TO LANDSCAPING SPECIFICATIONS ON CONSTRUCTION DRAWINGS.
- TOP SOIL DEPTHS FOR BEDS: 4" FOR LAWN AND GRASS COVER AREAS; 2" MIN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO WORK.
- PRIOR TO PLANTING, CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO THAT NO TREE IS WITHIN 10 FEET OF A WATER LINE, SANITARY SEMER LINE, OR A STORM DRAINAGE LINE.
- CONTRACTOR SHALL FIELD MODIFY LANDSCAPING SO AS TO NOT CONFLICT WITH SITE LIGHTING.
- ALL PLANTS MUST BE BALL & BURLAPPED OR POTTED.
- ALL PLANTS MUST MEET AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- ALL SEEDED AREAS SHALL BE COVERED WITH STRAW AND WATERED FOR A MINIMUM OF TWO WEEKS.
- ALL PLANT BEDS SHALL BE SLIGHTLY MOUND.

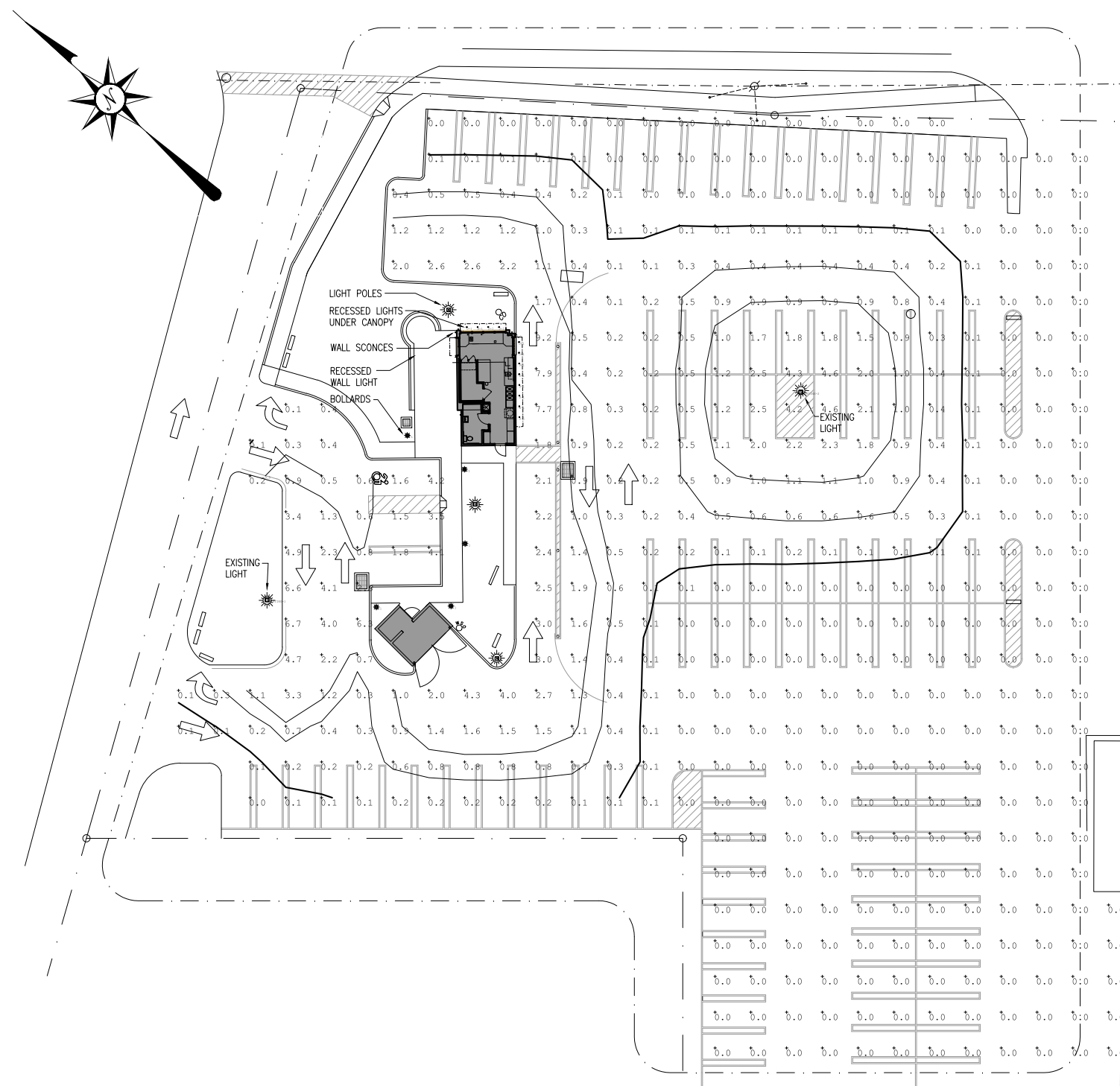
Luminaire Schedule						
Symbol	Qty	Label	Tag	Description	Lum. Watts	Lum. Lumens
□	3	P-1	LSI INDUSTRIES	MPP-LED-10L-SIL-5W-30-70CRI	73	9015
○	5	B-1	LSI INDUSTRIES	MRB-LED-25L-ACR-S-30	30.5	2156
⊙	5	W-1	G LIGHTING	GL-6610-A-A-R5-TWH-A	13	1438
⊙	12	D-1	TWICE BRIGHT	XL3512TL-WH-WLTLC-MLXL-930-38	12.52	866
□	1	EXISTING		MPP-LED-10L-SIL-2-30-70CRI	73	9521
□	1	EXISTING		MPP-LED-10L-SIL-5W-30-70CRI	73	9015

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site scope	Illuminance	Fc	0.56	9.2	0.0	N.A.	N.A.

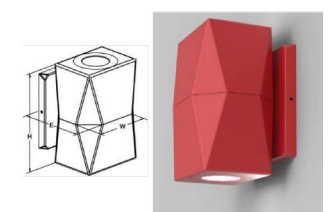
NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE POLE MANUFACTURER PRIOR TO INSTALLATION OF THE FOUNDATIONS.
- CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
- PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL SWEEPS.
- COLOR OF LUMINAIRE SHALL MATCH COLOR OF POLE.
- THE LIGHT SOURCE SHALL BE COMPLETELY SHIELDED TO PREVENT HORIZONTAL GLARE.

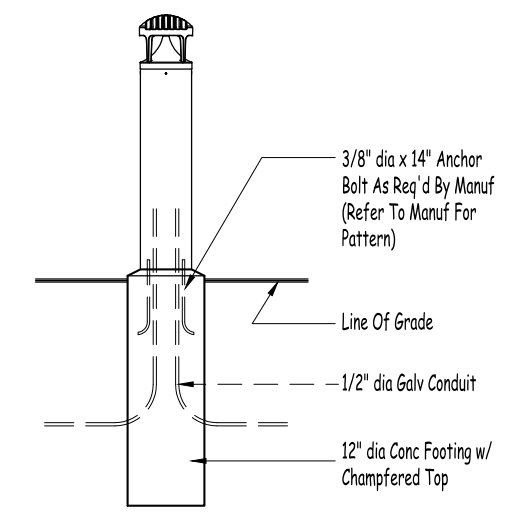
one inch = one foot
 three quarters inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot



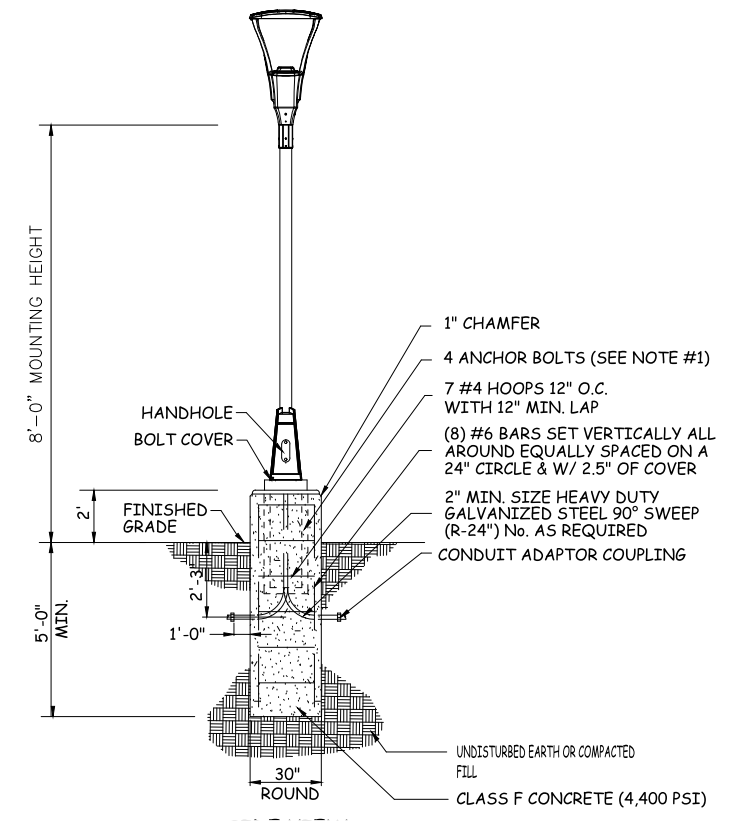
1 SITE LIGHTING PLAN
 1" = 20'



2 TYPE W-1 - WALL-MOUNTED LIGHT FIXTURE
 NOT TO SCALE



3 TYPE B-1 - TYPICAL BOLLARD DETAIL
 NOT TO SCALE



4 TYPE P-1 - TYPICAL POLE AND LUMINAIRE DETAIL
 NOT TO SCALE

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE
 59 N PLANK ROAD
 NEWBURGH, NY

SITE LIGHTING PLAN

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:

A005

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE
59 N PLANK ROAD
NEWBURGH, NY

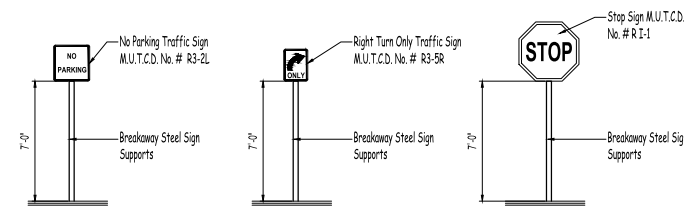
SITE SIGNAGE PLAN

PROJECT NO.: 2250-00

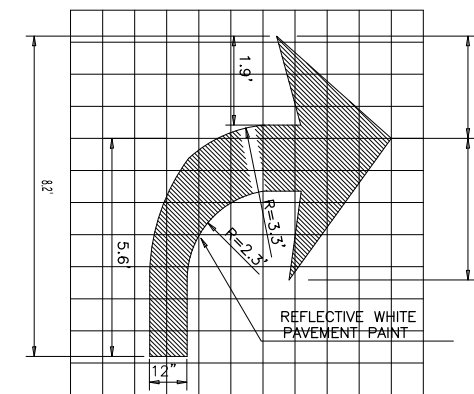
SCALE: AS NOTED

DRAWING NO.:

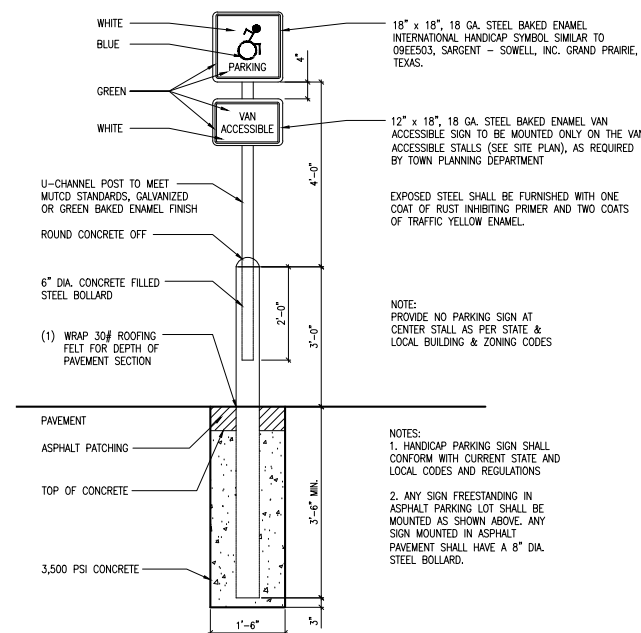
A006



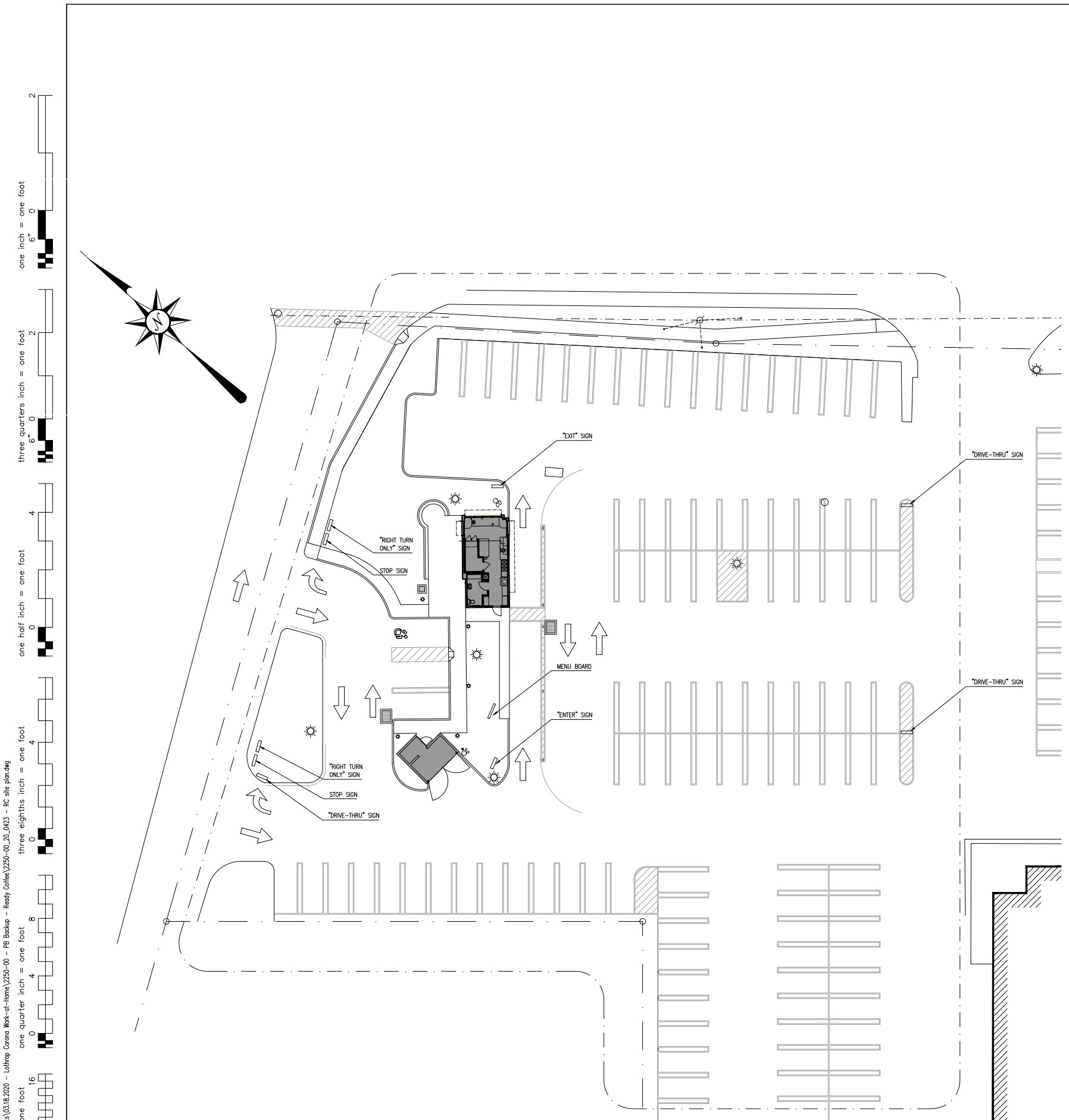
4 'RIGHT TURN' DIRECTIONAL ARROW
 NOT TO SCALE



4 'RIGHT TURN' DIRECTIONAL ARROW
 NOT TO SCALE



7 HANDICAP SIGN DETAIL
 NOT TO SCALE



1 SITE SIGNAGE PLAN
 1" = 20'

C:\Users\Patrik\Documents\03.18.2020 - Lotting Corona Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_20_0423 - RC site plan.dwg
 one eighth inch = one foot
 one quarter inch = one foot
 three eighths inch = one foot
 one half inch = one foot
 one inch = one foot
 three quarters inch = one foot
 one inch = one foot
 two inches = one foot

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING



1 NORTH WEST VIEW
 NOT TO SCALE



2 NORTH VIEW
 NOT TO SCALE



3 EAST VIEW
 NOT TO SCALE

READY COFFEE
 59 N PLANK ROAD
 NEWBURGH, NY

3D RENDERINGS

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:

A007

C:\Users\Patrik\Documents\03.18.2020 - Lothrop Corone Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_20_0423 - RC site plan.dwg
 one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 one inch = one foot
 three quarters inch = one foot
 one inch = one foot
 two inches = one foot

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE

59 N PLANK ROAD

NEWBURGH, NY

ELEVATIONS AND
SIGNAGE DETAILS

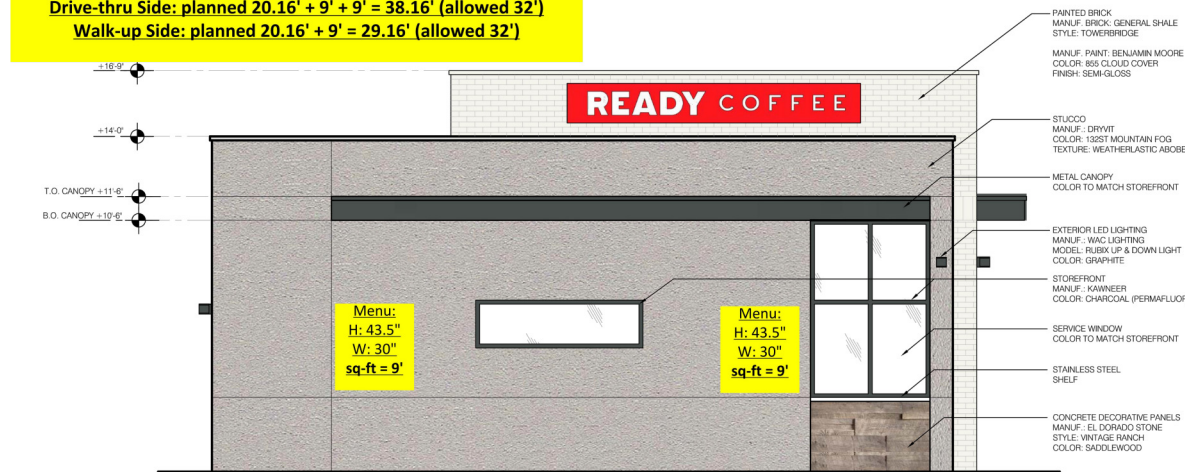
PROJECT NO.: 2250-00

SCALE: AS NOTED

DRAWING NO.:

A008

Front: planned 28.17' (allowed 32')
 Drive-thru Side: planned 20.16' + 9' + 9' = 38.16' (allowed 32')
 Walk-up Side: planned 20.16' + 9' = 29.16' (allowed 32')



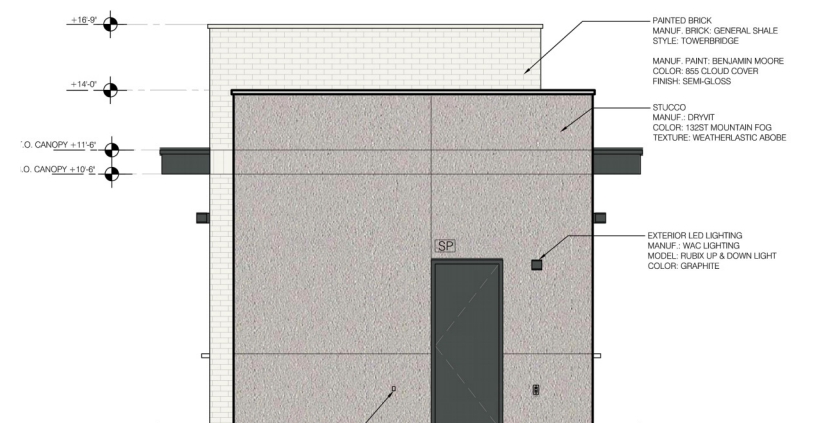
1 SIDE ELEVATION
 1/4" = 1'-0"



2 FRONT ELEVATION
 1/4" = 1'-0"



3 SIDE ELEVATION
 1/4" = 1'-0"



4 REAR ELEVATION
 1/4" = 1'-0"

C:\Users\Patrik\Documents\03.18.2020 - Lothrop Corona Work-at-Home\2250-00 - PB Backup - Ready Coffee\2250-00_20_0423 - RC site plan.dwg
 one eighth inch = one foot
 one quarter inch = one foot
 one half inch = one foot
 three quarters inch = one foot
 one inch = one foot

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE

59 N PLANK ROAD

NEWBURGH, NY

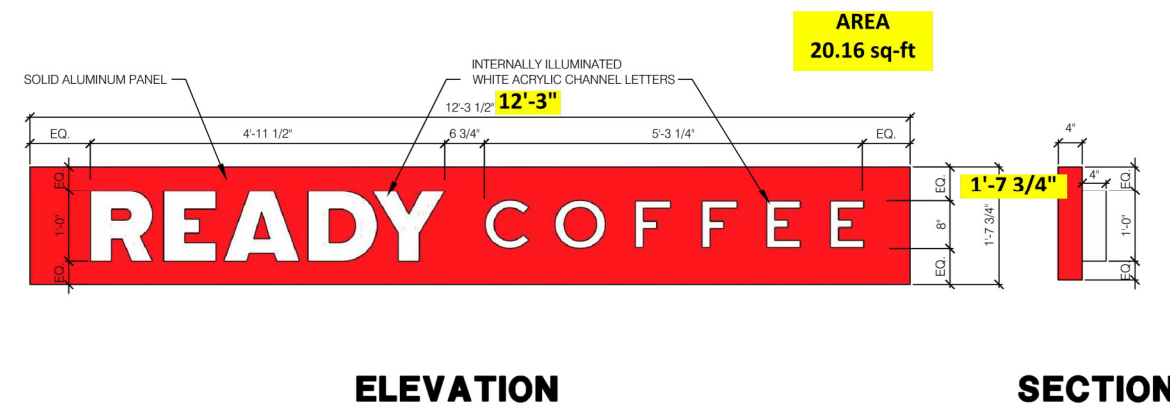
ELEVATIONS AND SIGNAGE DETAILS

PROJECT NO.: 2250-00 SCALE: AS NOTED

DRAWING NO.:

A009

one inch = one foot
 three quarters inch = one foot
 one half inch = one foot
 three eighths inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot



1 SIGNAGE DETAILS
 NOT TO SCALE



3 MENU SIGN
 3" = 1'-0"

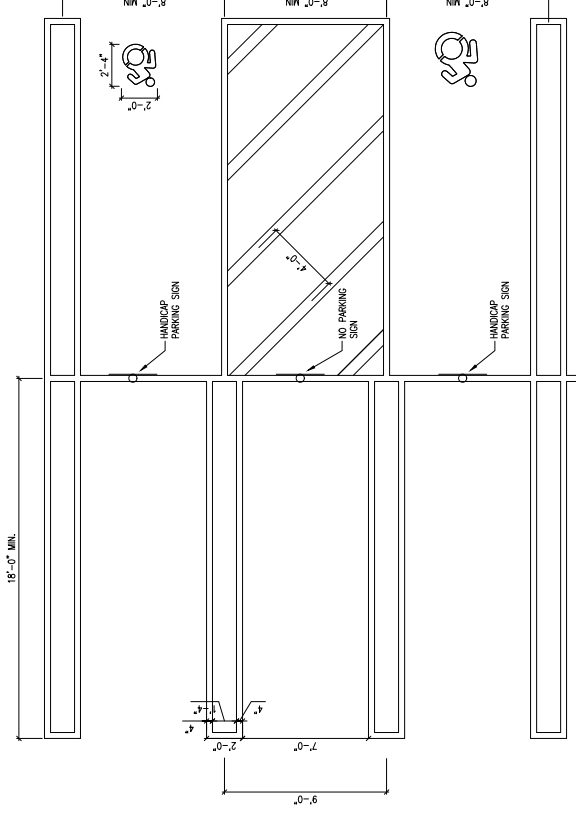
SIGN AREA CALCULATIONS			
SIGN	ELEVATION AREA (LESS GLASS)	SIGN AREA	% OF COVERAGE (LESS GLASS)
FRONT ELEVATION	150 SF.	33 SF.	22 %
SIDE ELEVATION 1	472 SF.	20 SF.	4 %
SIDE ELEVATION 3	458 SF.	20 SF.	4 %
TOTAL	1080 SF.	73 SF.	

General Pavement Marking Notes:

- All pavement markings shall be placed in accordance with the manual, color specifications, details and supplements and ada requirements.
- Handicap space markings shall be blue or blue with white background.
- Non-handicap markings shall be white or yellow. non-handicap markings shall not be blue.
- Minimum width of painted stall lines shall be 4" or as shown in detail or on plan.
- Pavement surface shall be cleaned and prepared in accordance with color standard specifications.
- Application of pavement marking paint shall be in accordance with color standard specifications.
- Pavement markings shall be epoxy paint in accordance with color standard specifications.
- Excess paint and tools to be disposed and cleaned properly. paint and cleaning materials are not poured on ground or in sewers.

ADA Parking Space Size Specifications:

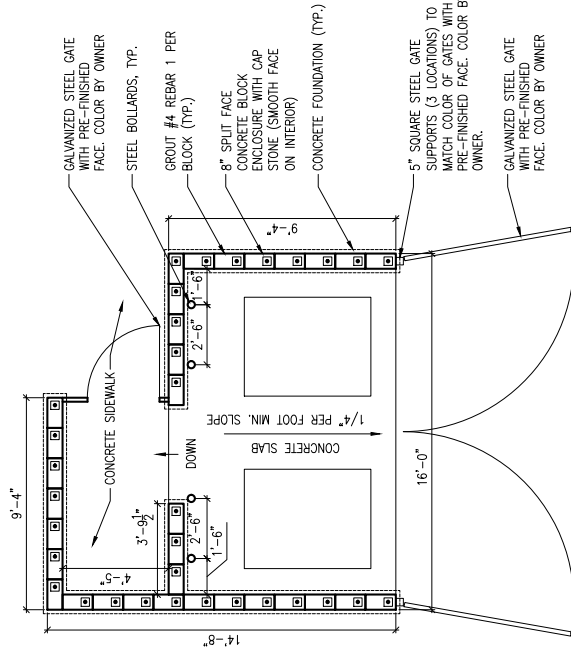
- Accessible van parking spaces need to be at least 96 inches (2440 mm or 8 feet) wide and should have an adjacent access aisle.
- An adjacent access aisle that is 8 feet wide is required.
- Regulations allow two adjacent parking spaces to share a common access aisle.
- Parking spaces and access aisles shall be in level with surface slopes not exceeding 1:50 (2%) in all directions.
- All access aisles should remain free of obstructions at all times. Parked vehicle overhangs shall not reduce the clear width of an accessible route.
- The boundary of the access aisle must be clearly marked. The end may be a curved or square shape.
- Vertical Clearance: A minimum 98-inch of height clearance at van parking space, access aisle, and on vehicular route to and from van space is required.
- All parking spaces, access aisle, signage and accessible routes shall comply with ICC/ANSI A117.1 & all local and state codes.



1 HANDICAP PARKING PLAN AND DETAILS

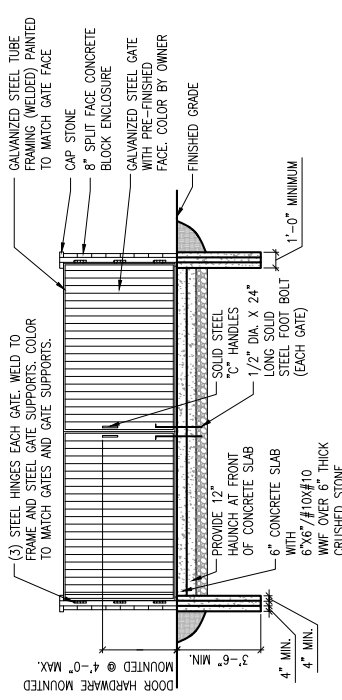
1/4" = 1'-0"

- GENERAL NOTES:**
- CHECK WITH REFUSE HAULER PRIOR TO INSTALLATION OF REFUSE ENCLOSURE FOR FINAL DIMENSIONS OF PROPOSED DUMPSTER AND INTERIOR DIMENSIONS OF ENCLOSURE.
 - CONTRACTOR TO SUPPLY SHOP DRAWING OF GATE CONSTRUCTION.
- ACCESSIBILITY NOTES:**
- VERTICAL CHANGE IN LEVEL BETWEEN FINISHED GRADE OF CONCRETE PAD FOR DUMPSTER ENCLOSURE AND ADJACENT PAVEMENT AT GATE OPENINGS SHALL NOT EXCEED 1/4"; 1/4" TO 1/2" VERTICAL CHANGE SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 2H:1V. GATES DESIGNATED FOR ACCESSIBLE ENTRY INTO DUMPSTER ENCLOSURE SHALL BE MAINTAINED TO BE RELATIVELY FREE SWINGING AND EASY TO OPEN AND CLOSE.
 - SUCH INDIVIDUAL GATE BE DESIGNATED ACCESSIBLE ENTRY, IT SHALL BE LABELED AS SUCH.
 - A 36" MAXIMUM CLEAR DISTANCE SHALL BE MAINTAINED BETWEEN DUMPSTERS AND IN FRONT OF DUMPSTER AS NECESSARY TO PROVIDE ACCESSIBLE ROUTE WITHIN DUMPSTER ENCLOSURE TO SIDE ACCESS DOORS TO DUMPSTERS AND/OR REFUSE CARTS.
 - ACCESSIBLE REFUSE CONTAINERS SHALL BE PROVIDED - TRASH CANS, REFUSE CARTS, AND/OR DUMPSTERS WITH ACCESSIBLE SIDE OPENINGS.



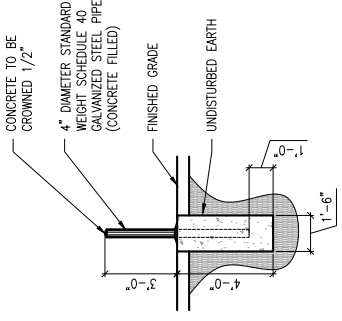
2 GARBAGE ENCLOSURE PLAN

NOT TO SCALE



3 GARBAGE ENCLOSURE ELEVATION

NOT TO SCALE



4 DUMPSTER BOLLARD DETAIL

NOT TO SCALE

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE

59 N PLANK ROAD

NEWBURGH, NY

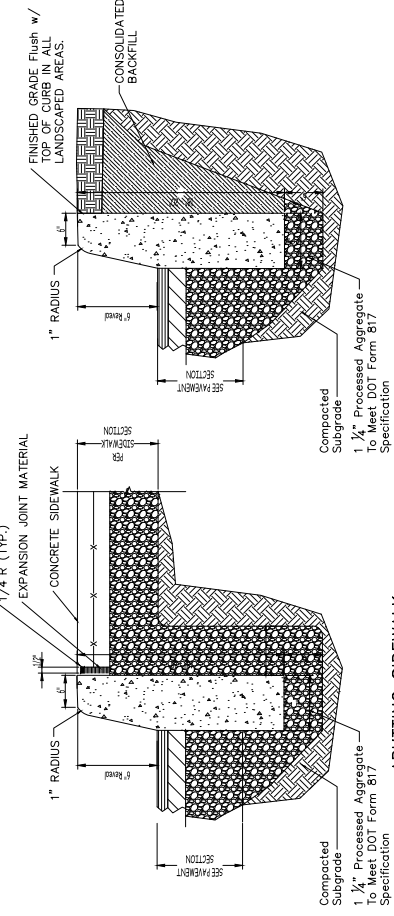
SITE DETAILS

PROJECT NO.: 2250-00

SCALE: AS NOTED

DRAWING NO.:

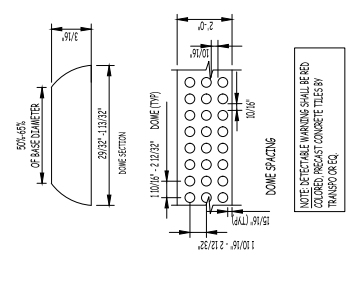
A010



1 CAST-IN-PLACE CONCRETE CURB DETAIL
 NOT TO SCALE

NOTES:
 1. CONCRETE CURB SHALL BE 4,400 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH CT DOT Class F Concrete As Defined in M.03.02
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 6 FOOT INTERVALS IN ACCORDANCE W/ CT DOT M.03.06-2

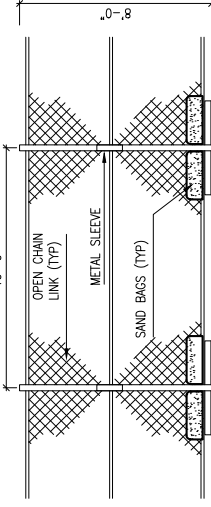
2 SLOPED SIDEWALK DETAIL
 NOT TO SCALE



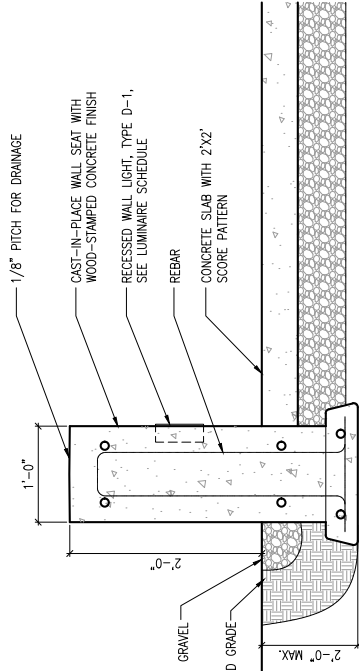
3 SECTION THROUGH SLOPED SIDEWALK
 NOT TO SCALE



4 DETECTABLE WARNING STRIP DETAILS
 NOT TO SCALE

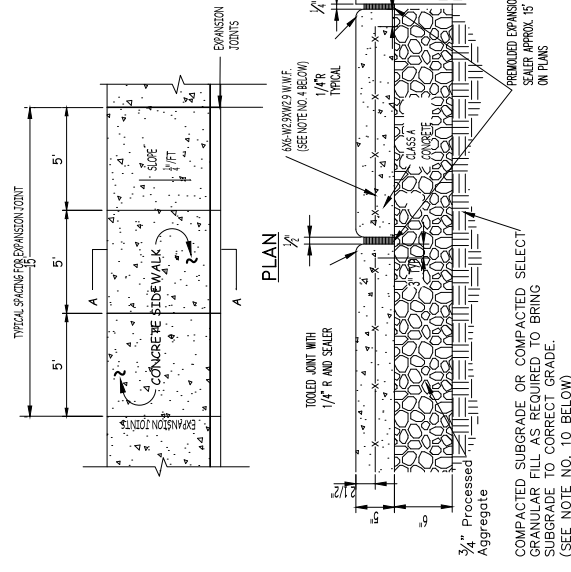


5 TEMPORARY CHAIN LINK FENCE DETAIL
 NOT TO SCALE



6 CONCRETE SIDEWALK DETAILS
 NOT TO SCALE

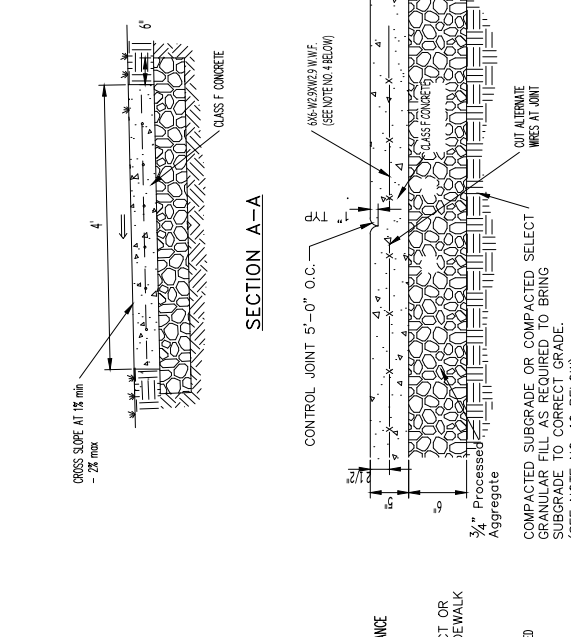
7 CONCRETE WALL SEAT DETAIL
 1"=1'-0"



EXPANSION JOINT

NOTES:
 1. Sidewalk to be Constructed in accordance w/ Connecticut DOT Spec 9.2.1.
 2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 817 SPECIFICATIONS (LATEST EDITION).
 3. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL CONFORM WITH THE ABOVE REFERENCED CONNECTICUT DOT STANDARD SPECIFICATIONS.
 4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION M.06 FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 5. ALL EXPOSED SURFACES SHALL HAVE AN EXPOSED AGGREGATE FINISH.
 6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 15' ON CENTER, OR AS INDICATED ON PLANS.
 7. JOINTS SHALL NOT BE SAW CUT.
 8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SALT-GUARD W8" WATER & SALT SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 9. PROCESSED AGGREGATE MATERIAL SHALL CONFORM WITH M.05 OF THE ABOVE REFERENCED CONNECTICUT DOT STANDARD.
 10. WHERE THE USE OF FINISHES OF FINISHING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN ACCORDANCE WITH THE ABOVE REFERENCED CONNECTICUT DOT STANDARD SPECIFICATIONS.
 11. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

8 CONCRETE WALL SEAT ELEVATION
 1"=1'-0"



CONTROL JOINT

NOTES:
 1. COMPACTED SUBGRADE OR COMPACTED SELECT GRANULAR FILL AS REQUIRED TO BRING SUBGRADE TO CORRECT GRADE. (SEE NOTE NO. 10 BELOW)
 2. 3/4" PROCESSED AGGREGATE
 3. 3" CLEARANCE (TYP)
 4. FIXED OBJECT OR EXISTING SIDEWALK
 5. PREMOULDED EXPANSION JOINT FILLER AND SEALER APPROX. 15' O.C. OR AS INDICATED ON PLANS
 6. 1/4" RADIUS (SEE NOTE NO. 4 BELOW)
 7. 3/4" PROCESSED AGGREGATE
 8. 3" CLEARANCE (TYP)
 9. 3/4" PROCESSED AGGREGATE
 10. COMPACTED SUBGRADE OR COMPACTED SELECT GRANULAR FILL AS REQUIRED TO BRING SUBGRADE TO CORRECT GRADE. (SEE NOTE NO. 10 BELOW)

ISSUE NO.	ISSUE DATE	DESCRIPTION
4	04/23/2020	MAY PLANNING BOARD SUBMISSION
3	02/12/2020	ZBA SUBMITTAL
2	01/24/2020	PLANNING BOARD RESUBMISSION
1	12/19/2019	PLANNING BOARD MEETING

READY COFFEE

59 N PLANK ROAD

NEWBURGH, NY

SITE DETAILS

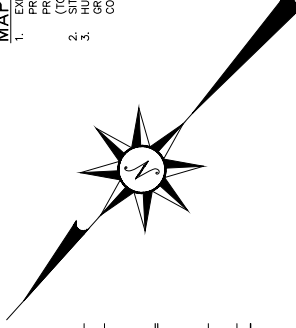
PROJECT NO.: 2250-00

SCALE: AS NOTED

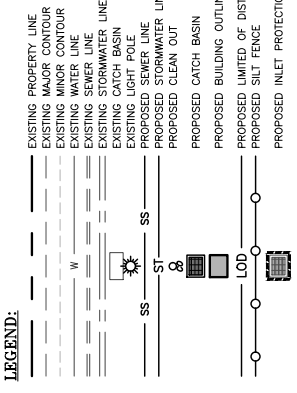
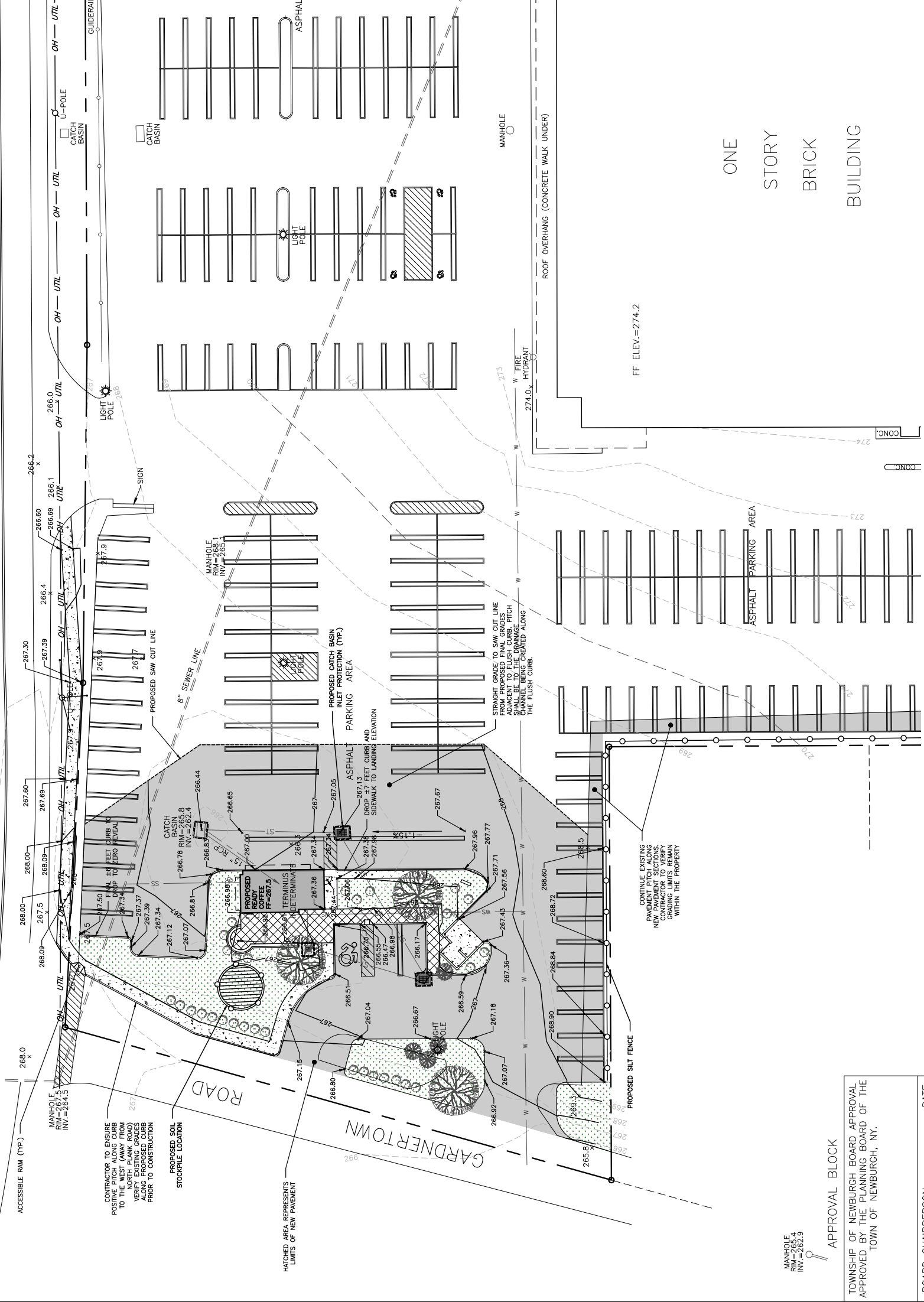
DRAWING NO.:

A011

- MAP REFERENCES:**
- EXISTING PLANIMETRIC INFORMATION FOR THE OVERALL SITE WAS TAKEN FROM A MAP PREPARED BY ME JAMES ENGINEERING AND LAND SURVEYING PLLC ENTITLED "SURVEY (TOPOGRAPHY ADDED) ON MARCH 24, 2020, BY LOHRAP ASSOCIATES.
 - EXISTING PLANIMETRIC INFORMATION FOR THE OVERALL SITE WAS TAKEN FROM A MAP PREPARED BY ME JAMES ENGINEERING AND LAND SURVEYING PLLC ENTITLED "SURVEY (TOPOGRAPHY ADDED) ON MARCH 24, 2020, BY LOHRAP ASSOCIATES.
 - HUDSON LAND DESIGN PROFESSIONAL ENGINEERING IS RESPONSIBLE FOR THE SITE GRADING, EROSION AND SEDIMENT CONTROL, AND UTILITIES TO SERVE THE SITE FOR THE CONSTRUCTION OF THE READY COFFEE PROJECT.



NORTH PLANK ROAD (N.Y.S. HIGHWAY 32)



GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATER LINES, AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATING TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
- SPALLS SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACE. PATCHES SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACE. THERE SHALL BE NO POUNDING OF STORMWATER ON ANY PORTION OF THE PROJECT SITE FOLLOWING CONSTRUCTION.
- SPOT ELEVATIONS ALONG CURBS REPRESENT BOTTOM OF CURB ELEVATION (PAVEMENT ELEVATION).

EROSION AND SEDIMENT CONTROL (E & SC) NOTES

- THE TOTAL DISTURBANCE ASSOCIATED WITH THIS PROJECT IS ±28,500 SQUARE FEET. THEREFORE, PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (P3) IS REQUIRED. THE P3 SHALL BE SUBMITTED TO THE TOWN OF NEWBURGH FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE P3 SHALL BE MAINTAINED AND UPDATED AS NECESSARY BY THE CONTRACTOR. THE P3 SHALL BE REVIEWED AND APPROVED BY THE TOWN OF NEWBURGH PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL STRUCTURES (E.C.S.) THROUGHOUT CONSTRUCTION. ALL E.C.S. SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. TRASH SHALL BE REMOVED AS NECESSARY.

INSPECTION SCHEDULE & MAINTENANCE OF E & SC MEASURES

INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

SILTENCE: IMMEDIATELY REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. FENCE FABRIC TEARS, BEGINS TO DISINTEGRATE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE: INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. FENCE FABRIC TEARS, BEGINS TO DISINTEGRATE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE: INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. FENCE FABRIC TEARS, BEGINS TO DISINTEGRATE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE: INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. FENCE FABRIC TEARS, BEGINS TO DISINTEGRATE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.



HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN ST., BEACON, NEW YORK 12508
 13 CHAMBERS, NEWBURGH, NEW YORK 12550
 PH: 845-440-6928
 F: 845-440-6637

GRADING & EROSION CONTROL PLAN
READY COFFEE

NORTH PLANK ROAD (NYS ROUTE 32)
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK
 TAX ID: 76-4-3

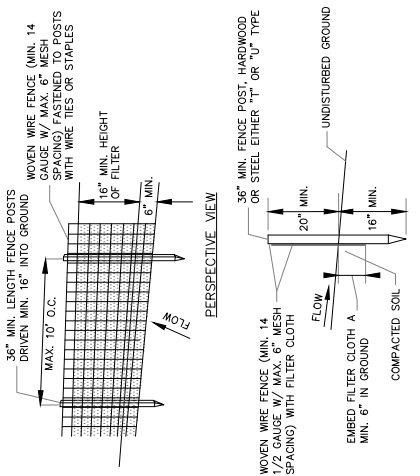
JOB #: 2020-004
 DATE: 4/23/2020
 SCALE: 1" = 20'
 TITLE: GD-1
 SHEET: OF

DRAWN BY: CMB		CHECKED BY: DGK	
NO.	DATE	DESCRIPTION	DATE

APPROVAL BLOCK
 TOWNSHIP OF NEWBURGH BOARD APPROVAL
 APPROVED BY THE PLANNING BOARD OF THE
 TOWN OF NEWBURGH, NY.

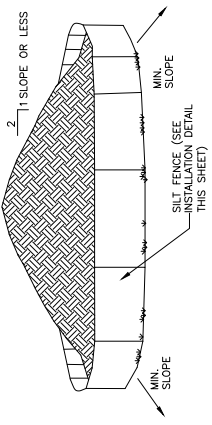
BOARD CHAIRPERSON DATE

EROSION AND SEDIMENT CONTROL DETAILS



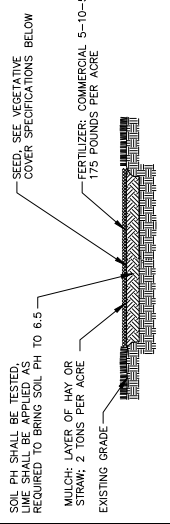
NOTES:
 1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE EITHER OVER-LAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER MESH OR WIRE MESH WITH WIRE TIES OR STAPLES
 3. EQUAL SPACED UNITS SHALL BE USED FOR ENHANCED EROSION CONTROL
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
 NOT TO SCALE



NOTES:
 1. AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE DRY AND STABLE.
 2. SLOPE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
 NOT TO SCALE



NOTES:
 1. TOPSOIL, SEED, MULCH, AND FERTILIZER DISTURBED SOIL AREAS THAT WILL BE LEFT STABLE FOR USE ON LAWS IN SUNNY AREAS:
 65# KENTUCKY BLUE GRASS BLEND
 28# FESCUE PER ACRE
 15# FINE FESCUE
 175# POUNDS PER ACRE
 2. SEED MIXTURE FOR USE IN SHADY AREAS:
 80# BLEND OF SARDIS TOLERANT KENTUCKY BLUEGRASS
 20# FINE FESCUE
 138# POUNDS PER ACRE
 37# FOUNDS PER ACRE
 175# POUNDS PER ACRE
 3. SEED MIXTURE PER USE IN SHADY AREAS:
 138# POUNDS PER ACRE
 37# FOUNDS PER ACRE
 175# POUNDS PER ACRE
 4. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH, SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION
 5. TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL
 NOT TO SCALE

APPROVAL BLOCK

TOWNSHIP OF NEWBURGH BOARD APPROVAL
 APPROVED BY THE PLANNING BOARD OF THE
 TOWN OF NEWBURGH, NY.

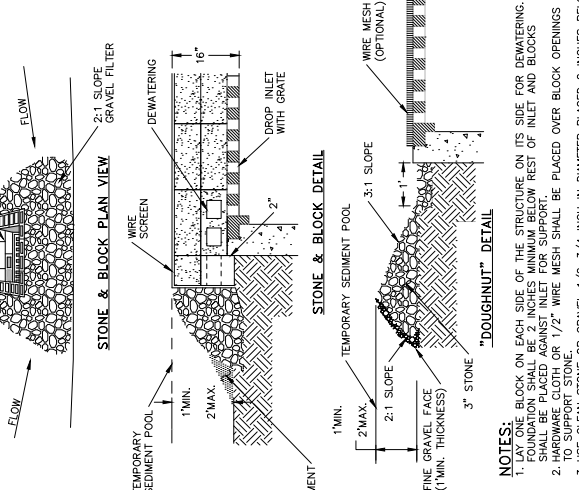
BOARD CHAIRPERSON DATE

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY

CHECKED BY: DGK

REVISIONS:	DESCRIPTION	BY

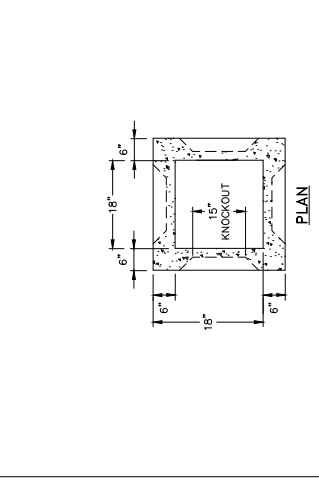
EROSION AND SEDIMENT CONTROL DETAILS



NOTES:
 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEMATERING.
 FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS
 2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE
 3. USE CLEAN STONE OR GRAVEL 1/2"-3/4" INCH IN DIAMETER PLACED 2 INCHES BELOW
 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.
 MAXIMUM DRAINAGE AREA 1 ACRE

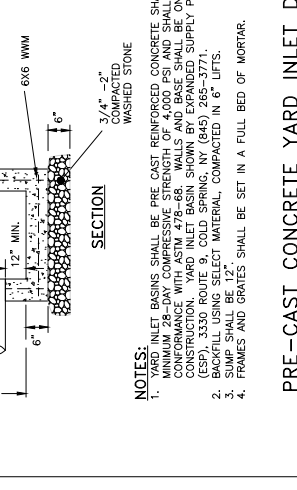
CATCH BASIN INLET PROTECTION DETAIL
 NOT TO SCALE

STORMWATER DETAILS



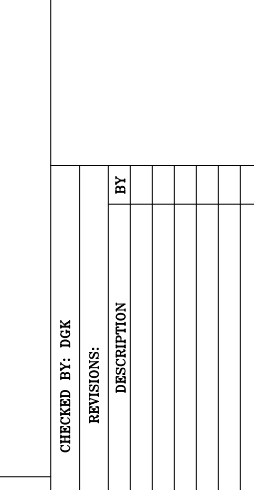
NOTES:
 1. PRECAST CONCRETE CATCH BASIN WITH CONCRETE STRENGTH OF 4000 PSI @ 28 DAYS.
 2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.
 3. PIPES SHALL BE PARALLEL TO INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 4. CONNECTIONS MADE WITHIN 10 FEET OF A WATER MAIN (OR SERVICE LINE) OR A SEWER MAIN (OR SERVICE LINE) SHALL BE MADE WATER TIGHT.
 5. CATCH BASINS WITH AN INTERIOR DEPTH OF 4" AND GREATER SHALL BE FURNISHED WITH STEEL HOPE PIPE SHALL BE PROVIDED WITH WATER TIGHT CONNECTIONS, ADS MODEL N12 WT 18 OR APPROVED EQUAL.

CATCH BASIN DETAIL
 NOT TO SCALE



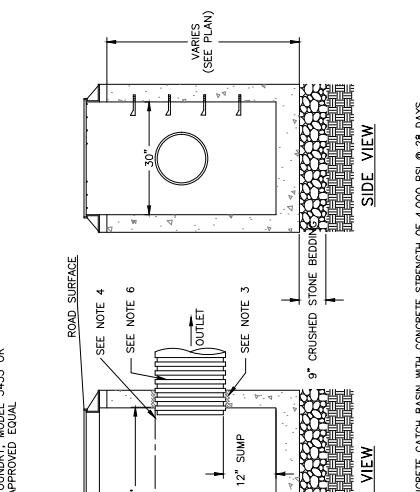
NOTES:
 1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 3433, OR APPROVED EQUAL.
 2. STIMT AND STIMT 2 RECEIVE SOLID CAST IRON COVERS.

CAST IRON STORMWATER FLAT INLET GRATE DETAIL
 NOT TO SCALE



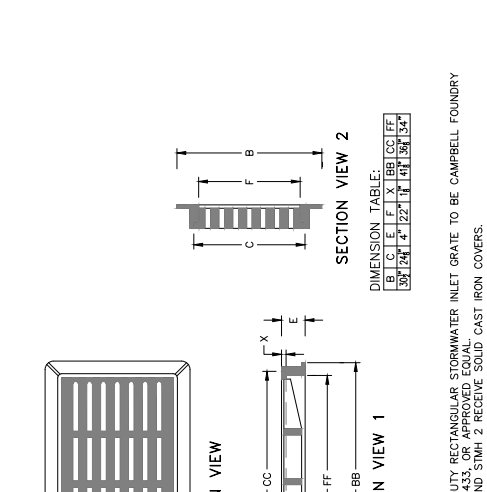
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER DETAILS



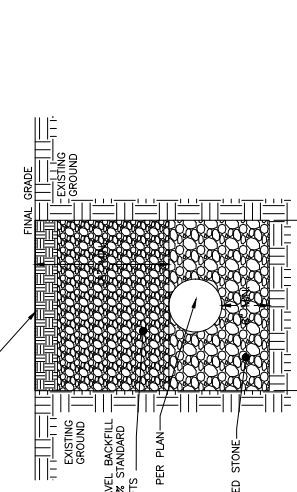
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
 NOT TO SCALE



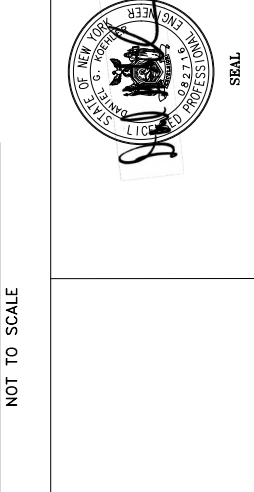
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE CONNECTION DETAIL
 NOT TO SCALE



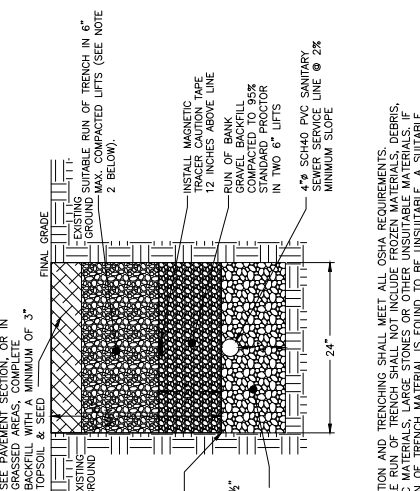
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

STORMWATER PIPE IN TRENCH DETAIL
 NOT TO SCALE



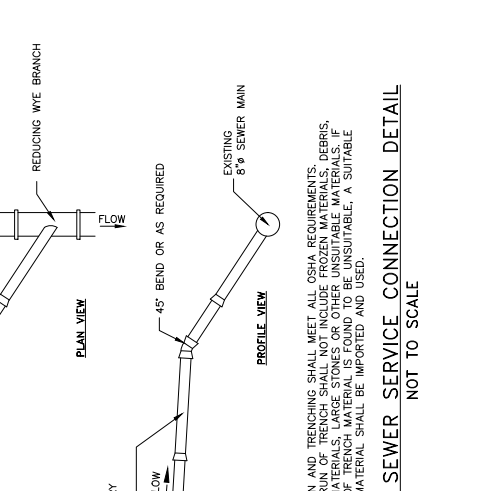
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

SANITARY SEWER DETAILS



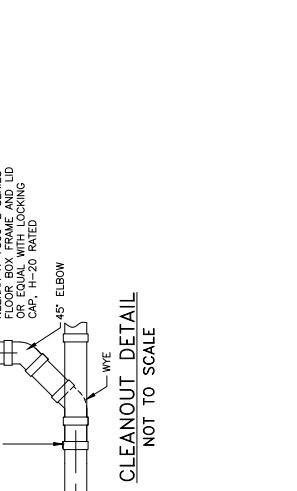
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
 NOT TO SCALE



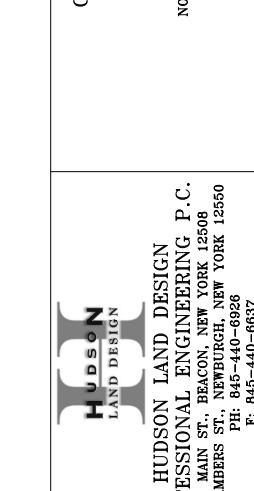
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE CONNECTION DETAIL
 NOT TO SCALE



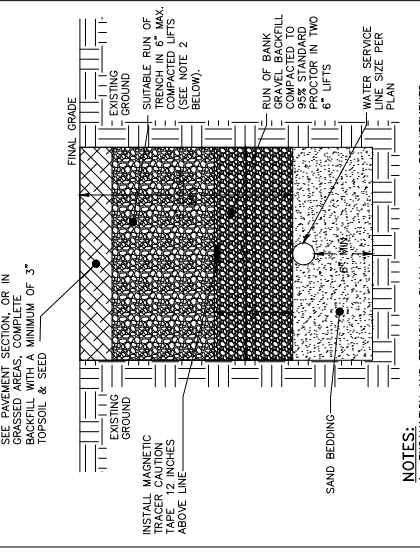
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

STORMWATER PIPE IN TRENCH DETAIL
 NOT TO SCALE



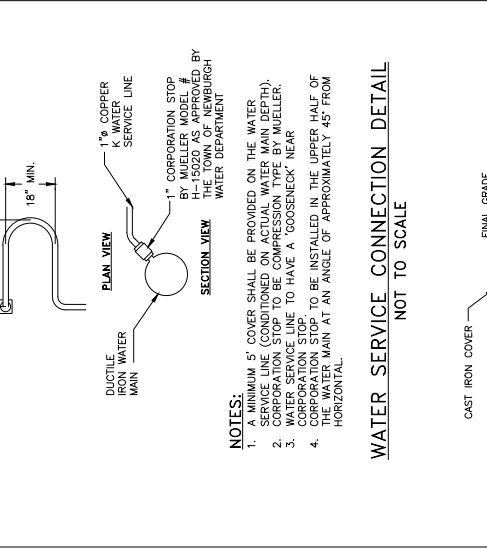
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

WATER DETAILS



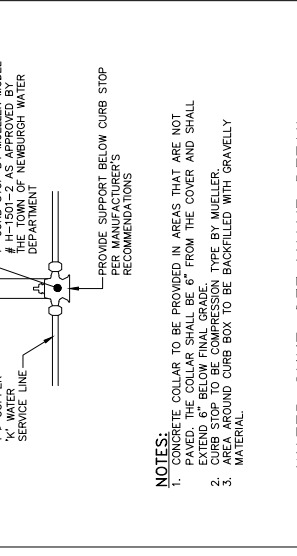
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE MATERIALS SHALL BE IMPORTED AND USED.
 3. THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

WATER SERVICE LINE TRENCH DETAIL
 NOT TO SCALE



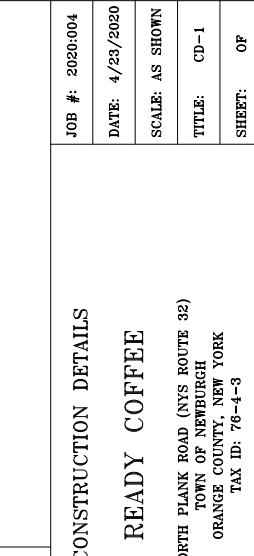
NOTES:
 1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
 2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. CORPORATION STOP TO HAVE A GOOSENECK NEAR CORPORATION STOP.
 4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.

WATER SERVICE CONNECTION DETAIL
 NOT TO SCALE



NOTES:
 1. CURB COLLAR SHALL BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 4. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 5. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.

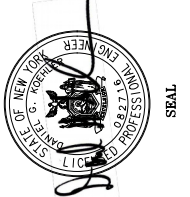
WATER SHUT-OFF VALVE DETAIL
 NOT TO SCALE



NOTES:
 1. CURB COLLAR SHALL BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 4. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 5. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.

CONSTRUCTION DETAILS
READY COFFEE
 NORTH PLANK ROAD (NYS ROUTE 32)
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK
 TAX ID: 76-4-3

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
 174 MAIN ST., BEACON, NEW YORK 12508
 13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
 PH: 845-440-6928
 F: 845-440-6637



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK EDUCATION LAW