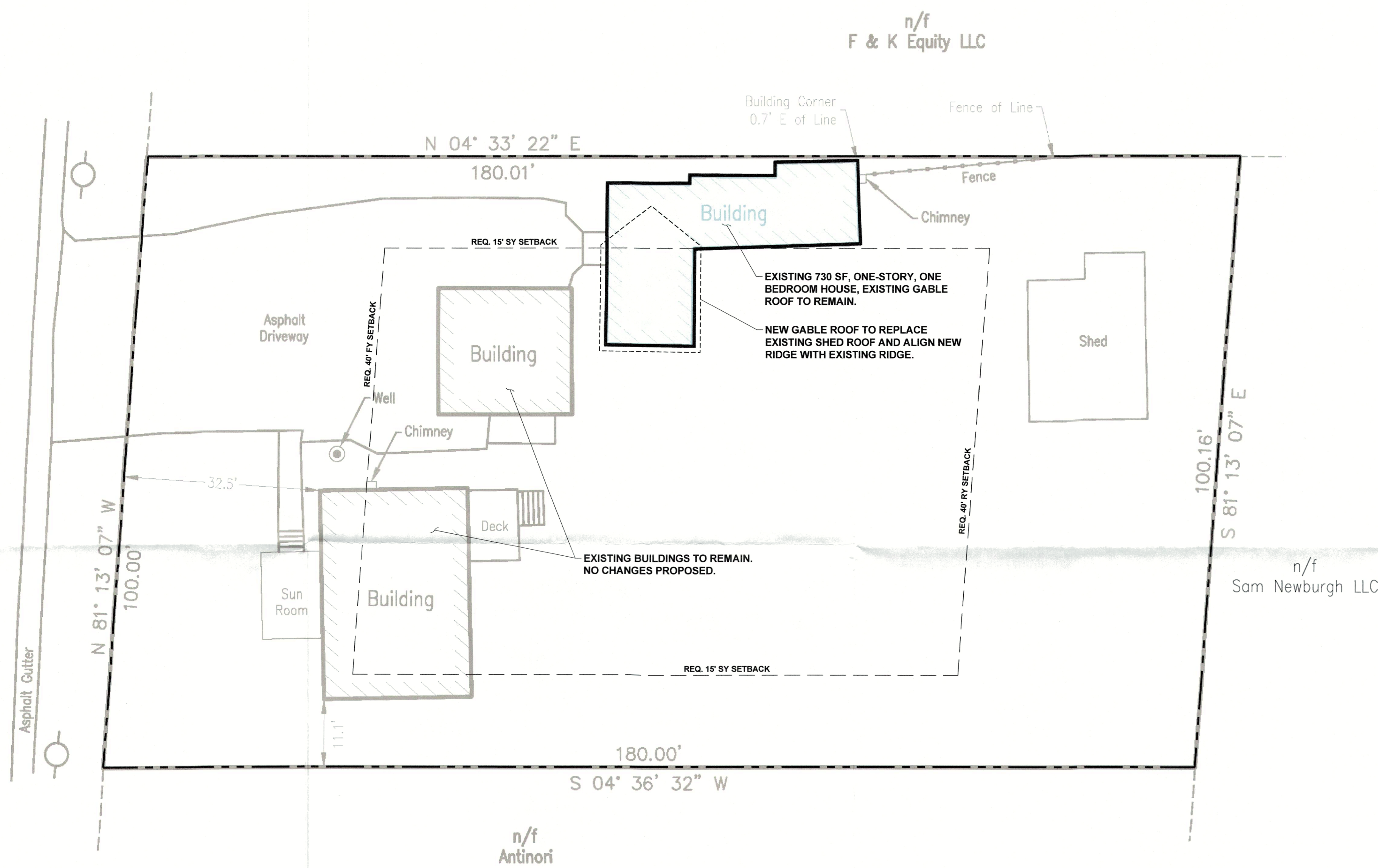


LEGEND

PROPERTY LINE	---
SETBACK LINE	- - - -
FENCE	○-○-○-○

MEADOW AVENUE



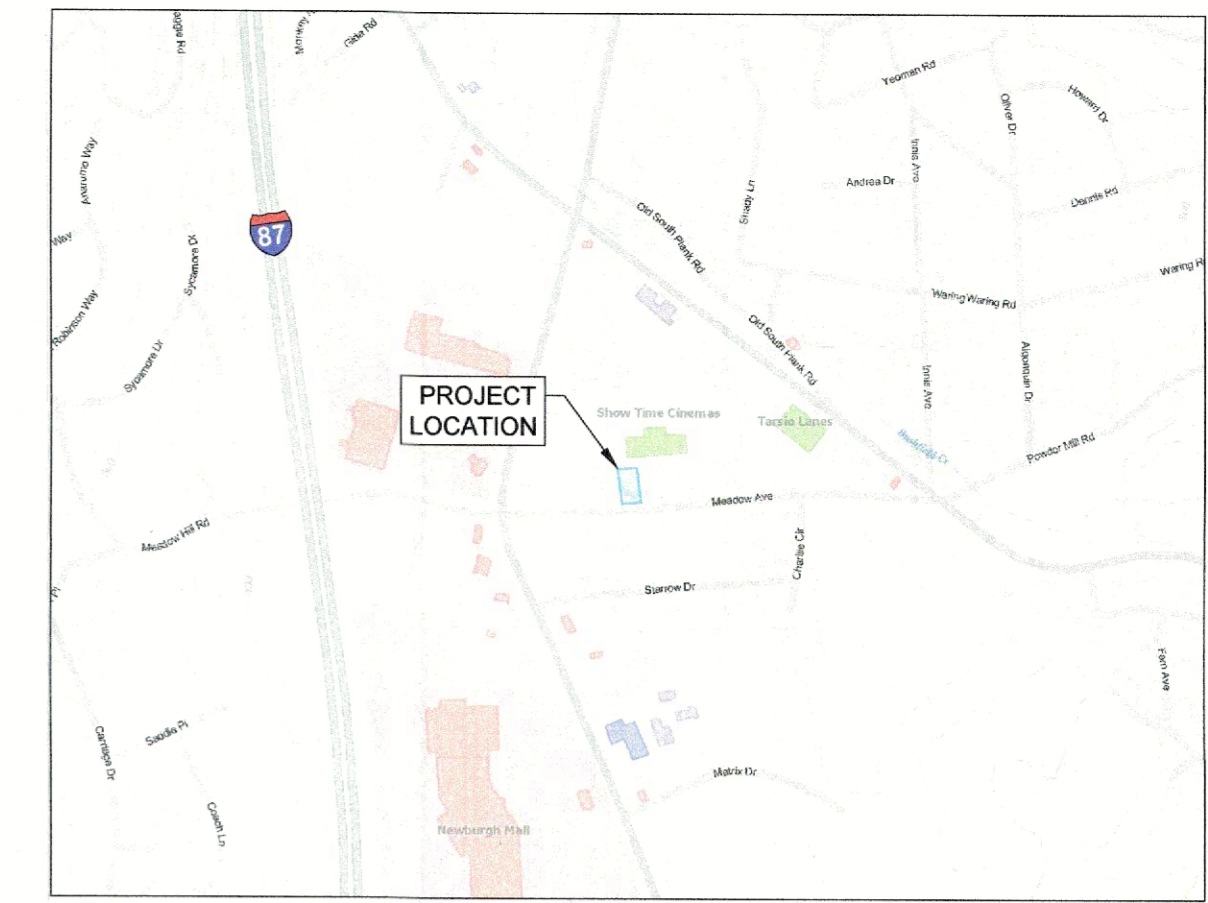
1 PLOT PLAN
C-1 SCALE: 1"=10'

- NOTES:**
- TAX LOT: 66 - 1 - 1, TOWN OF NEWBURGH, ORANGE COUNTY, NY
 - LOT AREA: 17,966 SF / 0.41 Ac.
 - ZONING DISTRICT: IB, INTERCHANGE BUSINESS
 - PROPERTY IS LOCATED WITHIN THE AIRPORT OVERLAY: A641'
 - EXISTING SINGLE-FAMILY DWELLING TO BE REPAIRED AND RENOVATED. EXTERIOR IMPROVEMENTS INCLUDE A NEW ROOF, FOUNDATION REPAIR, WINDOWS, AND SIDING. NO CHANGE IN BUILDING FOOTPRINT PROPOSED. EXISTING UTILITIES TO REMAIN.
 - CONDITIONS EXIST UNLESS OTHERWISE NOTED.

n/f
F & K Equity LLC

n/f
Sam Newburgh LLC

n/f
Antinori



2 VICINITY MAP
C-1 SCALE: 1"=1000'

SURVEYOR'S NOTES:

- ANY EASEMENTS AND/OR SUBSURFACE STRUCTURES UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS RECORDED AND UNRECORDED.
- UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURVEY AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
- SUBJECT TO AN UP TO DATE TITLE SEARCH.
- WETLANDS IF ANY ARE NOT SHOWN.

CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION, AND EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.

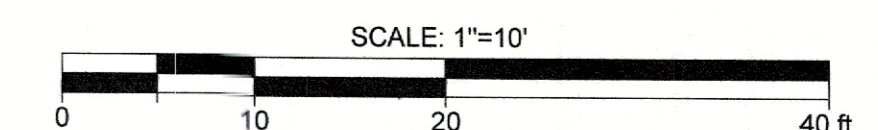
ANY ALTERATION OR ADDITION TO THIS SURVEY TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SUBDIVISION 2. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE INKED OR IMPRESSED SEAL OF THE SURVEYOR WHOSE ORIGINAL SIGNATURE APPEARS HEREON.

REFERENCES:

- SURVEY BY EDWARD T. GANNON, P.L.S. DATED JANUARY 10, 2024.
- VICINITY MAP TAKEN FROM ORANGE COUNTY GIS, TOWN OF NEWBURGH, 2024.

ZONING TABLE			
SECTION, LOT, BLOCK:	66 - 1 - 1		
ZONE:	IB, INTERCHANGE BUSINESS		
PROPOSED USE:	EXISTING SINGLE FAMILY DWELLINGS (PRIVATE WATER/SEWER)		
MINIMUMS REQUIRED			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF)	20,000	17,966 (E)	NO CHANGE
LOT WIDTH (FT)	125	100 (E)	NO CHANGE
LOT DEPTH (FT)	150	180	NO CHANGE
FRONT SETBACK (FT)	40	32.5 (E)	NO CHANGE
REAR SETBACK (FT)	40	61.3	NO CHANGE
SIDE SETBACK (ONE / TOTAL FT)	15 / 30	0.7 / 11.8 (E)	NO CHANGE
MAXIMUMS PERMITTED			
LOT BUILDING COVERAGE (%)	25%	14.8% (2652 SF)	NO CHANGE
IMPERVIOUS COVERAGE (%)	50%	27.9% (5020 SF)	NO CHANGE
BUILDING HEIGHT (FT)	35	< 35	14 FT

(E) - EXISTING NON-CONFORMITY
(V) - VARIANCE REQUESTED



REVISION
ZONING BOARD SUBMISSION
DATE
03/08/2024
No.
7



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NOTE
FOR AUTHENTICITY
SEAL MUST BE ORIGINAL AND
SIGNATURE MUST
BE IN COLOR - BOTH CANNOT BE
COPIED

FOR REVIEW

PLOT PLAN
COTTAGE RENOVATION
346 MEADOW HILL RD
NEWBURGH, NY 12550
RE EQUITY NY LLC
P.O. BOX 428
CENTRAL VALLEY, NY 10917

SHEET TITLE:
SCALE: AS NOTED
DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 03/07/2024

SHEET No.
C-1
PAGE 1 OF 1