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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: RAM HOTELS, INC.
PROJECT NO.: 16-21
PROJECT LOCATION: SECTION 97, BLOCK 2, LOT 37
REVIEW DATE: 13 MARCH 2017
MEETING DATE: 16 MARCH 2017
PROJECT REPRESENTATIVE: MECURIO-NORTON-TAROLLI-MARSHALL

1. Water line connection to the building must be designed such that potable water to the structure is terminated when fire suppression lines are terminated. The valve on the fire suppression line located upstream of the potable water line is an acceptable method.
2. For clarity sheets 3 & 4 of 9 should be identified as Utility and Grading plans.
3. A review by the Code Enforcement Department regarding location of onsite hydrants should be provided. Applicant's representative's response letter identifies that this meeting is to be scheduled.
4. A City of Newburgh Flow Acceptance letter is outstanding and must be received prior to any approvals.
5. Several types of pavement are identified on the detail sheet. A plan identifying the location of the various pavements proposed for the parking lot should be provided or the details which are not to be used should be removed from the plans.
6. A stormwater control facilities maintenance agreement must be executed prior to final plan stamping.
7. We continue to have a concern about the point discharge to the proposed bio retention area from the HDS treatment structure.
8. The Pea Gravel diagram is not depicted on the plans or bio retention detail.
9. Landscaping plans do not address landscaping of the bio retention and detention pond

facilities. Landscaping consistent with NYSDEC design guidelines should be incorporated into the plans for those areas of the site.

10. The Applicants representatives are requested to evaluate whether the proposed detention pond will be fenced. It is noted the existing wet detention pond is proposed to become a dry detention pond and only hold water during and immediately after storm events.
11. Typical sanitary sewer trench detail should identify similar language as the water detail regarding pavement replacement in paved areas.
12. Shared access agreement must be filed for the proposed driveway serving both lots. Cross grading easements are depicted on the lots. Mike Donnelly's comments on these must be received.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

PJH/kbw

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: RAM Hotels, Inc. Subdivision & Site Plan		
Project Location (describe, and attach a general location map): Westerly side of Unity Place, approximately 1,000 feet south of intersection of Unity Place & NYS Route 17K		
Brief Description of Proposed Action (include purpose or need): Proposed 2-lot subdivision and site plan. Subdivision will divide the 8.5 acre parcel into 6.4 acre parcel (Lot 1) and 2.1 acre parcel (Lot 2). A site plan has been prepared for a 112-room hotel on proposed Lot 1. The hotel will be 5 stories tall and have a first floor footprint of 18,388 square feet. In addition to the guest rooms, the hotel will contain a bar/lounge area, banquet hall, small meeting room, indoor pool, and fitness room. The site plan will also contain a 20' x 20' accessory storage building, parking area, and an expansion to the existing stormwater basin on the site.		
Name of Applicant/Sponsor: RAM Hotels, Inc.	Telephone: (917)797-4576	E-Mail: kruniminc@msn.com
Address: 1600 Central Avenue		
City/PO: Albany	State: NY	Zip Code: 12205-2404
Project Contact (if not same as sponsor; give name and title/role): (Same as Applicant)	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Newburgh Auto Park, LLC	Telephone: (845)561-7600	E-Mail: rbarton@bartonchevrolet.com
Address: 800 Auto Park Place		
City/PO: Newburgh	State: NY	Zip Code: 12550

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Subdivision & Site Plan	11/25/16
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Height & Lack of Frontage on State or County Highway	Variances Granted: October 27, 2016
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh DPW: Water & Sewer Services	12/31/15 (approximate)
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC: Stormwater	2/1/17
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FAA: Height Clearance	10/3/16
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

IB zoning district _____

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh City School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?
Goodwill Fire District & Town of Newburgh Emergency Medical Services

d. What parks serve the project site?
Algonquin & Cronomer Hill Parks

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? 2-lot commercial subdivision & hotel site plan

b. a. Total acreage of the site of the proposed action? 8.5 acres

b. Total acreage to be physically disturbed? +/-6 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 8.5 acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 2

iv. Minimum and maximum proposed lot sizes? Minimum 2.1 Maximum 6.4

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 12 months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 2
 ii. Dimensions (in feet) of largest proposed structure: 69'-4" height; 274 width; and 83 length
 iii. Approximate extent of building space to be heated or cooled: ±84,100 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater runoff detention
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: Surface water runoff from proposed impervious surfaces
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: 0.5 million gallons; surface area: 0.3 acres
 v. Dimensions of the proposed dam or impounding structure: +/-7 height; 280 length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): Earth Fill

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Proposed fill in existing on-site wetland. Approximately 2,500 square feet of existing wetland will be impacted.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
The wetland will be filled in 2 locations totaling 2,500 square feet. No impacts to existing watercourses within the wetlands are proposed. The perimeter of the wetland will be filled to accommodate the grading associated with the parking lot.

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: Organic material will be removed to place fill

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: 0.06 acres
- expected acreage of aquatic vegetation remaining after project completion: >3 acres
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): Clearing to place fill
- proposed method of plant removal: Excavation
- if chemical/herbicide treatment will be used, specify product(s): None

v. Describe any proposed reclamation/mitigation following disturbance: None - permanent fill

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes:

i. Total anticipated water usage/demand per day: 15,688 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
If Yes:

- Name of district or service area: Newburgh Water District
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: N/A

vi. If water supply will be from wells (public or private), maximum pumping capacity: +/-65 gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes:

i. Total anticipated liquid waste generation per day: 15,688 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
If Yes:

- Name of wastewater treatment plant to be used: Newburgh Wastewater Treatment Facility
- Name of district: Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

N/A

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

N/A

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or +/-2 acres (impervious surface)

_____ Square feet or +/-6.4 acres (parcel size)

ii. Describe types of new point sources. Hotel, parking area, & access driveways

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site stormwater treatment and detention facilities

- If to surface waters, identify receiving water bodies or wetlands: _____

Stormwater basins will outlet to existing drainage course traveling through property

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Construction equipment

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

None

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

HVAC Units

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ 1 _____

iii. Parking spaces: Existing _____ 0 _____ Proposed _____ 116 _____ Net increase/decrease _____ +116 _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
 None _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
 950,000 kWh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 Local utility company - Central Hudson Gas & Electric

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	7:00 am - 7:00 pm	• Monday - Friday:	24-hours
• Saturday:	8:00 am - 5:00 pm	• Saturday:	24-hours
• Sunday:	8:00 am - 5:00 pm	• Sunday:	24-hours
• Holidays:	-	• Holidays:	24-hours

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration: _____

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Building security lighting, parking lot lighting

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: Small amount of clearing around perimeter of existing lawn area for site grading & construction

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):
Standard lawn treatment chemicals

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 10 tons per _____ month (unit of time)
- Operation: 2.5 tons per _____ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: - _____
- Operation: - _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Orange County Transfer Station - Newburgh, NY
- Operation: Orange County Transfer Station - Newburgh, NY

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.0	2.0	+2.0
• Forested	3.2	2.5	-0.7
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.6	1.4	-0.2
• Agricultural (includes active orchards, field, greenhouse etc.)	-	-	-
• Surface water features (lakes, ponds, streams, rivers, etc.)	-	-	-
• Wetlands (freshwater or tidal)	0.5	0.5	0.0
• Non-vegetated (bare rock, earth or fill)	-	-	-
• Other Describe: <u>Lawn/grass</u>	3.2	2.1	-1.1

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Assembly Hall of Jehovah's Witnesses

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >6 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Pittsfield Gravelly Loam	_____	22 %
Alden soils	_____	73 %
Natchaug muck	_____	5 %

d. What is the average depth to the water table on the project site? Average: _____ 0->6' feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	80 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	_____	10 % of site
<input checked="" type="checkbox"/> Poorly Drained	_____	10 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	85 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	10 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-222 Classification C
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:

Gray Squirrel

Raccoon

White-tailed Deer

Opossum

Field Mouse

Various common birds

n. Does the project site contain a designated significant natural community?

Yes No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation):

ii. Source(s) of description or evaluation:

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?

Yes No

Indiana Bat

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?

Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?

Yes No

If yes, give a brief description of how the proposed action may affect that use:

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?

Yes No

If Yes, provide county plus district name/number:

b. Are agricultural lands consisting of highly productive soils present?

Yes No

i. If Yes: acreage(s) on project site?

ii. Source(s) of soil rating(s):

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?

Yes No

If Yes:

i. Nature of the natural landmark: Biological Community Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent:

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?

Yes No

If Yes:

i. CEA name:

ii. Basis for designation:

iii. Designating agency and date:

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>New Windsor Historic Parklands, Sloop Hill State Unique Area, Hudson River</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State and Local Parks</u>	
<i>iii.</i> Distance between project and resource: _____ <u>2-4 miles.</u>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information


Attach any additional information which may be needed to clarify your project.

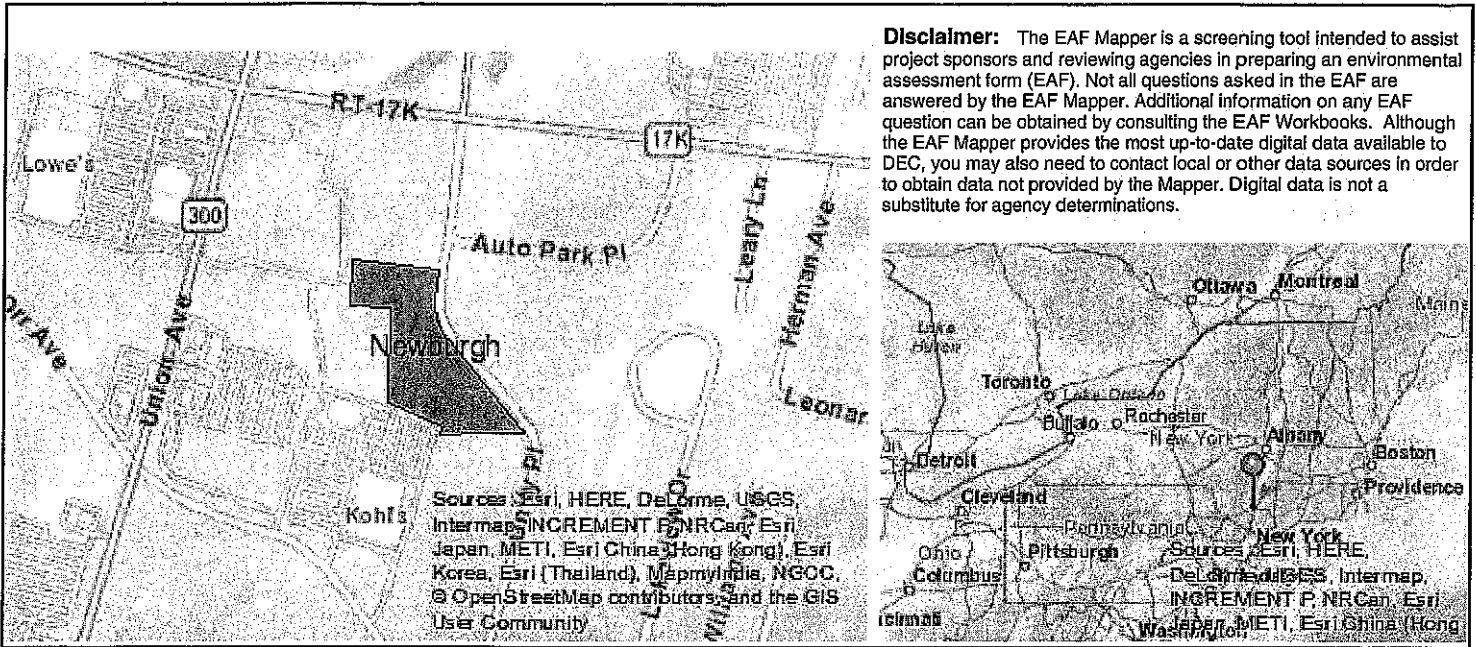
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name RAM Hotels, Inc. Date March 2, 2017

Signature  Lawrence Marshall, P.E. Title Project Engineer



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	862-222
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.i. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



633 Rt. 211 East, Suite 4, Box 4
Middletown, NY 10941
Office: (845) 495-0123 • Fax: (866) 688-0836

January 15, 2016

Mr. Lawrence Marshall, PE
President
Mercurio-Norton-Tarolli-Marshall, PC
Engineering-Land Surveying
P.O. Box 166
45 Main Street
Pine Bush, NY 12566

RE: Wetlands Delineation & Report
Newburgh, Unity Place Property
Town of Newburgh, Orange County

Dear Mr. Marshall:

As requested, on December 14, 2016 a wetland delineation was conducted on the above referenced area on the Property. The area was walked and a field investigation was completed to determine whether there were any areas that met either the Army Corp of Engineers (ACOE) and/or the NYSDEC of regulated wetland areas.

Before conducting the field investigation, the available aerial, soils and wetland mapping were reviewed for the referenced property. This identifies if there are any mapped wetlands on the property, as well as any areas where we should verify whether or not the field conditions match the available mapping.

The field investigation was conducted in accordance to the 2012 Draft Interim Northcentral and Northeast Regional Supplement to the ACOE 1987 manual. The upland and wetland areas on the property were determined by observing plant species, hydrology and soil types and conditions in accordance with the agencies guideline. Data sheets were then filled out and the areas meeting the conditions set forth by the agencies were then flagged with pink "Wetland Delineation" flagging and numbered sequentially. A copy of the datasheets are enclosed for wetland flagged. Flags were hung on the property defining the edge of the regulated area.

Vegetation

The dominant vegetation in the wetland areas consisted of cattails phramites, tussock sedge, sensitive ferns, and soft rush with woody species of redtwig dogwood and green ash. These are mostly consistent with plants that are recognized as wetland plant species and their abundance passes the ACOE 50/20 rule thereby defining the area as having wetland vegetation. The plant species dominating other areas were Black haw Viburnum, red oaks and maintained lawn. The aforementioned species are consistent with upland areas.

Soils

Both the Orange County Soil Survey and the United States Department of Agriculture (USDA) online web soil survey were reviewed to verify if there were any potential hydric (wetland) soils on property. A copy of the USDA soil report for the property is included for your use. Potential wetland soils were indentified in these soil surveys. These soils are designated as Pa—Natchaug muck, drained, 0 to 2 percent slopes. These soils are listed as being very poorly drained soils.

The soils cores taken throughout the site during the field investigation. The soils on this property have been significantly disturbed over the years. There are signs of top soil stripping with old soil stock piles. The soils on the property should be classified as Ub-

Urban soils. In the area that the soils map show Pa –Natchaug Muck there is an area that still maintains wetland soils, and this area was flagged.

Upland soils on the property are a mix of soils as well. With the sloping conditions and generally gravelly conditions of the soils, these soils do not maintain the proper hydrology for wetland soils.

Hydrology

As required by the 2012 Draft Interim Northcentral and Northeast Regional Supplement to the ACOE 1987 manual, the hydrology of the property and the potential wetland areas were observed.

The area flagged as was saturated in the upper 12 inches, with some standing water.

Conclusions

The wetland is regulated by the ACOE therefore any disturbance of the wetland a permit would be required by the ACOE.

Ecological Analysis is grateful for this opportunity to be of service on this project and looks forward to the opportunity to work with you in the future. Feel free to call if you have any questions or if we can be of further assistance.

Sincerely yours,

James A. Bates

James Bates, CPESC, CPSWQ
Managing Member
Ecological Analysis, LLC

Attachments:

Wetland Data Sheets
USFWS Wetland Aerial
Soil Survey

WETLAND DETERMINATION DATA FORM - Northcentral and Northeast Region

Project/Site: Unity Place Property **City/County:** Town of Newburgh, Ormage **Sampling Date:** 14-Dec-16
 County
Applicant/Owner: Mr. Larry Marshall **State:** NY **Sampling Point:** **Wetland B**
Investigator(s): James Bates **Section, Township, Range:** S. T. R.
Landform (hillslope, terrace, etc.): Lowland **Local relief (concave, convex, none):** none **Slope:** 10.0 % / 5.7 °
Subregion (LRR or MLRA): LRR K **Lat.:** **Long.:** **Datum:**
Soil Map Unit Name: Pa—Natchaug muck, Very Poorly Drained **NWI classification:** PEM

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
Are Vegetation , **Soil** , **or Hydrology** **significantly disturbed?** **Are "Normal Circumstances" present?** Yes No
Are Vegetation , **Soil** , **or Hydrology** **naturally problematic?** (If needed, explain any answers in Remarks.)

Summary of Findings - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Hydric Soil Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Remarks: (Explain alternative procedures here or in a separate report.) 	

Hydrology

Wetland Hydrology Indicators: Primary Indicators (minimum of one required; check all that apply) <input checked="" type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Water-Stained Leaves (B9) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Marl Deposits (B15) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Sediment Deposits (B2) <input checked="" type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Drift deposits (B3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	Secondary Indicators (minimum of 2 required) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Stunted or Stressed Plants (D1) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> Microtopographic Relief (D4) <input checked="" type="checkbox"/> FAC-neutral Test (D5)
--	---

Field Observations: Surface Water Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Water Table Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Saturation Present? (includes capillary fringe) Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>1</u> Depth (inches): _____ Depth (inches): _____	Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>
---	--	---

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION - Use scientific names of plants

Sampling Point: **Wetland B**

Tree Stratum (Plot size: 30)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. <i>Fraxinus pennsylvanica</i>	5	<input checked="" type="checkbox"/>	FACW	Number of Dominant Species That are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of dominant Species That Are OBL, FACW, or FAC: <u>100.0%</u> (A/B)
2. <i>Crataegus douglasii</i>	0	<input type="checkbox"/>	FAC	
3.	0	<input type="checkbox"/>		
4.	0	<input type="checkbox"/>		
5.	0	<input type="checkbox"/>		
6.	0	<input type="checkbox"/>		
7.	0	<input type="checkbox"/>		
5 = Total Cover				
Sapling/Shrub Stratum (Plot size: 5)	Absolute % Cover	Dominant Species?	Indicator Status	Prevalence Index worksheet:
1. <i>Cornus alba var. alba</i>	0	<input type="checkbox"/>	FACW	Total % Cover of: Multiply by: OBL species 40 x 1 = 40 FACW species 55 x 2 = 110 FAC species 0 x 3 = 0 FACU species 0 x 4 = 0 UPL species 0 x 5 = 0 Column Totals: 95 (A) 150 (B) Prevalence Index = B/A = 1.579
2.	0	<input type="checkbox"/>		
3.	0	<input type="checkbox"/>		
4.	0	<input type="checkbox"/>		
5.	0	<input type="checkbox"/>		
6.	0	<input type="checkbox"/>		
7.	0	<input type="checkbox"/>		
0 = Total Cover				
Herb Stratum (Plot size: 5)	Absolute % Cover	Dominant Species?	Indicator Status	Hydrophytic Vegetation Indicators:
1. <i>Phragmites australis</i>	40	<input checked="" type="checkbox"/>	FACW	<input checked="" type="checkbox"/> Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> Dominance Test is > 50% <input checked="" type="checkbox"/> Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <i>Typha latifolia</i>	20	<input checked="" type="checkbox"/>	OBL	
3. <i>Carex stricta</i>	10	<input type="checkbox"/>	OBL	
4. <i>Onoclea sensibilis</i>	10	<input type="checkbox"/>	FACW	
5. <i>Lythrum salicaria</i>	10	<input type="checkbox"/>	OBL	
6.	0	<input type="checkbox"/>		
7.	0	<input type="checkbox"/>		
8.	0	<input type="checkbox"/>		
9.	0	<input type="checkbox"/>		
10.	0	<input type="checkbox"/>		
11.	0	<input type="checkbox"/>		
12.	0	<input type="checkbox"/>		
90 = Total Cover				
Woody Vine Stratum (Plot size:)	Absolute % Cover	Dominant Species?	Indicator Status	Definitions of Vegetation Strata:
1.	0	<input type="checkbox"/>		Tree - Woody plants, 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub - Woody plants less than 3 in. DBH and greater than 3.28 ft (1m) tall. Herb - All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vine - All woody vines greater than 3.28 ft in height.
2.	0	<input type="checkbox"/>		
3.	0	<input type="checkbox"/>		
4.	0	<input type="checkbox"/>		
0 = Total Cover				
				Hydrophytic Vegetation Present? Yes <input checked="" type="radio"/> No <input type="radio"/>

Remarks: (Include photo numbers here or on a separate sheet.)

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

Soil

Sampling Point: Wetland B

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-10	10YR	2/1					Muck	
10-16	10YR	3/2					Loam	

¹Type: C=Concentration. D=Depletion. RM=Reduced Matrix, CS=Covered or Coated Sand Grains ²Location: PL=Pore Lining, M=Matrix

Hydric Soil Indicators:

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Muck Mineral (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR R, MLRA 149B)

- Polyvalue Below Surface (S8) (LRR R, MLRA 149B)
- Thin Dark Surface (S9) (LRR R, MLRA 149B)
- Loamy Mucky Mineral (F1) LRR K, L)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils : ³

- 2 cm Muck (A10) (LRR K, L, MLRA 149B)
- Coast Prairie Redox (A16) (LRR K, L, R)
- 5 cm Mucky Peat or Peat (S3) (LRR K, L, R)
- Dark Surface (S7) (LRR K, L, M)
- Polyvalue Below Surface (S8) (LRR K, L)
- Thin Dark Surface (S9) (LRR K, L)
- Iron-Manganese Masses (F12) (LRR K, L, R)
- Piedmont Floodplain Soils (F19) (MLRA 149B)
- Mesic Spodic (TA6) (MLRA 144A, 145, 149B)
- Red Parent Material (F21)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):

Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:











U.S. Fish and Wildlife Service

National Wetlands Inventory

Utility Place Property

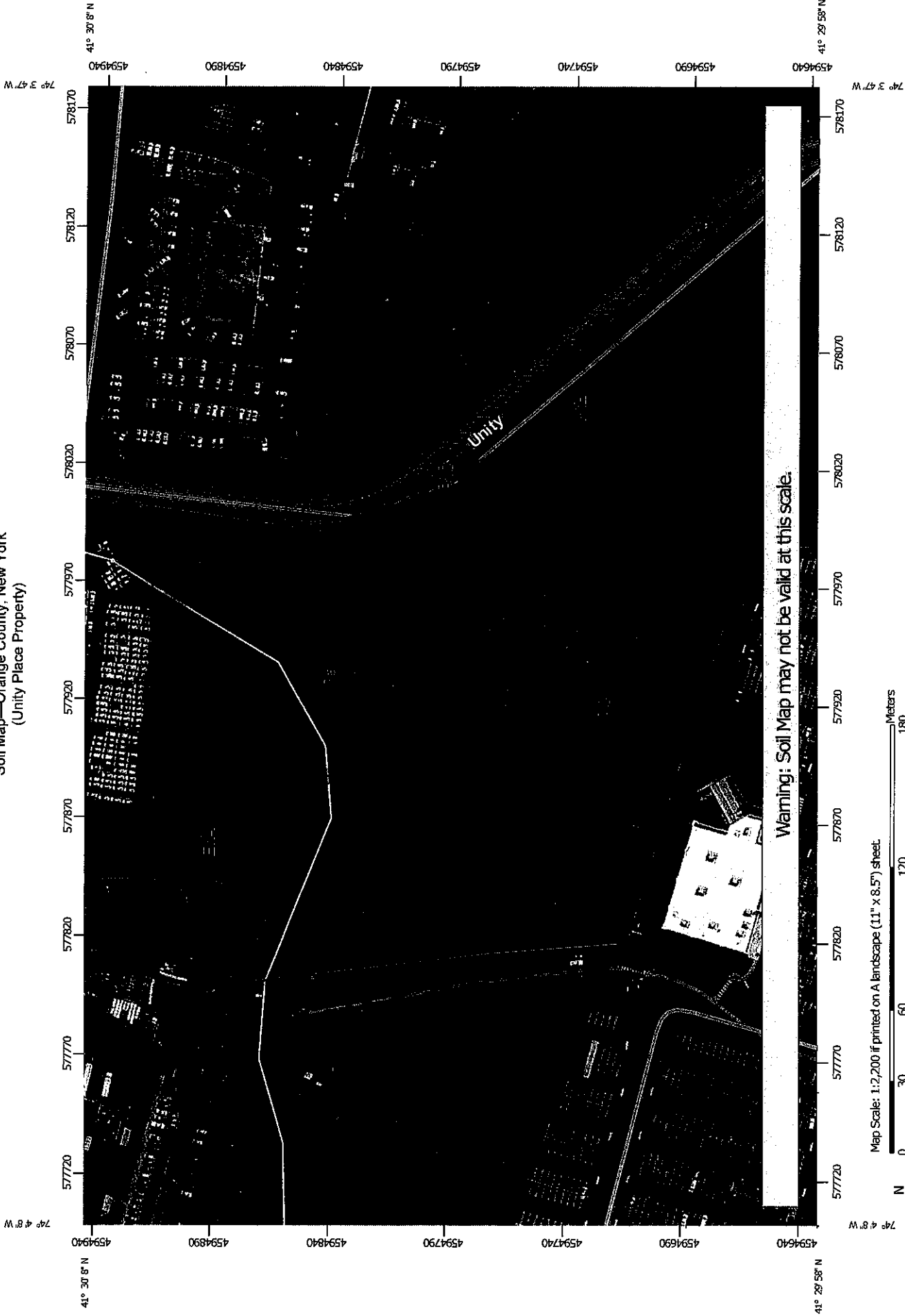


December 14, 2016

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Soil Map—Orange County, New York
(Unity Place Property)



Warning: Soil Map may not be valid at this scale.

Map Scale: 1:2,200 if printed on A landscape (11" x 8.5") sheet.



MAP LEGEND

	Area of Interest (AOI)		Soil Map Unit Polygons		Soil Map Unit Lines		Soil Map Unit Points		Special Point Features		Water Features		Streams and Canals		Transportation		Rails		Interstate Highways		US Routes		Major Roads		Local Roads		Background		Aerial Photography								
	Area of Interest (AOI)		Soil Map Unit Polygons		Soil Map Unit Lines		Soil Map Unit Points		Special Point Features		Water Features		Streams and Canals		Transportation		Rails		Interstate Highways		US Routes		Major Roads		Local Roads		Background		Aerial Photography								
	Blowout		Borrow Pit		Clay Spot		Closed Depression		Gravel Pit		Gravelly Spot		Landfill		Lava Flow		Marsh or swamp		Mine or Quarry		Miscellaneous Water		Perennial Water		Rock Outcrop		Saline Spot		Sandy Spot		Severely Eroded Spot		Sinkhole		Slide or Slip		Sodic Spot

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Orange County, New York
Survey Area Data: Version 17, Sep 24, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 26, 2011—Apr 16, 2012

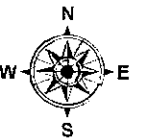
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Orange County, New York (NY071)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AC	Alden extremely stony soils	7.4	63.6%
ErA	Erie gravelly silt loam, 0 to 3 percent slopes	0.4	3.1%
Pa	Natchaug muck, drained, 0 to 2 percent slopes	3.3	28.6%
PtB	Pittsfield gravelly loam, 3 to 8 percent slopes	0.5	4.7%
PtC	Pittsfield gravelly loam, 8 to 15 percent slopes	0.0	0.0%
Totals for Area of Interest		11.6	100.0%



The Subtitle
Unity Place Property



Orange County G.I.S. Division 22 Wells Farm Rd Goshen, New York 10924 Phone: 845.615.3790

DISCLAIMER: This map is a product of Orange County Information Technology GIS Division. The data depicted here have been developed with extensive cooperation from other County departments, as well as other Federal, State and Local government agencies. Orange County make no representations as to the accuracy of the information in the mapping data, but rather, provide said information as is. Orange County expressly disclaim responsibility for damages or liability that may arise from the use of this map.

Printed: Dec 14, 2016

Notes:

- THE RECORD OWNER OF TAX MAP PARCEL 97-2-37 (6.50 ACRES) IS: NEWBURGH AUTO PARK PLACE, LLC, 800 AUTO PARK PLACE, NEWBURGH, NY 12550
- THE APPLICANT FOR THE SITE PLAN IS: RAM HOTELS, INC, 800 CENTRAL AVE, ALBANY, NY 12205-2404
- BOUNDARY INFORMATION TAKEN FROM MAP TITLED "SUBDIVISION & LOT LINE CHANGE EXISTING CONDITIONS FOR WEBB, VLL, INC", DATED JULY 9, 2001, LAST REVISED OCTOBER 31, 2003, AS PREPARED BY EUSTANCE & HOPKINZ, P.C. MAP IS REFERENCED AS ORANGE COUNTY CLERK'S OFFICE FILED MAP NUMBER 236-03, FILED ON NOVEMBER 7, 2003.
- TOPOGRAPHY BASED UPON ORANGE COUNTY WATER AUTHORITY TOPOGRAPHY PREPARED BASED UPON 2004 AERIAL LDAR.
- WATER, SEWER, AND GAS SERVICES IN ADDITION TO STORMWATER FACILITIES (CATCH BASINS, STORMWATER TREATMENT AND DETENTION BASIN) WILL BE SHOWN ON A DETAILED SITE PLAN THAT WILL BE SUBMITTED TO THE PLANNING BOARD IN THE FUTURE.
- PROPOSED HOTEL WILL CONNECT TO EXISTING WATER, SEWER, ELECTRICITY, GAS, CABLE TV, AND DATA AVAILABLE IN UNITY PLACE.

Zoning Legend: IB

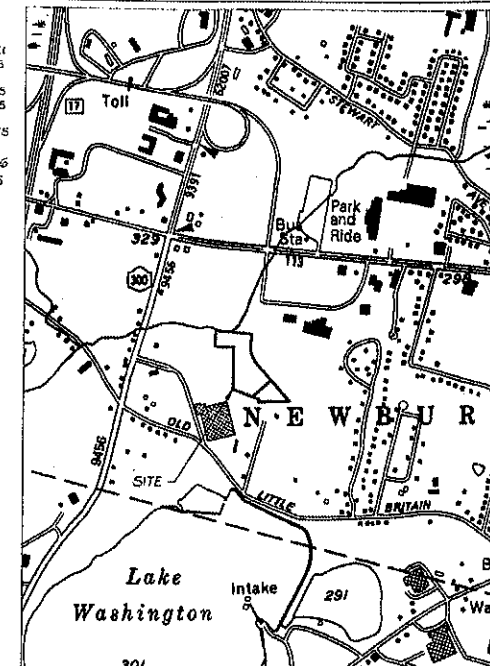
MINIMUM LOT AREA	REQUIRED 5 ACRES	REQUIRED 8.88 AC	VARIANCE SETBACK
MINIMUM LOT WIDTH	200'	228.2'	
MINIMUM LOT DEPTH	200'	228.2'	
MINIMUM FRONTAGE	50'	56.2'	
MINIMUM FRONT SETBACK	50'	56.2'	
MINIMUM REAR SETBACK	50'	70.0'	
MINIMUM SIDE SETBACK (LEFT)	50'	56.2'	
MINIMUM SIDE SETBACK (RIGHT)	50'	56.2'	
MAXIMUM DWELLING UNITS PER ACRE (U)	45,000 SF	369,389 SF	
LOT BUILDING COVERAGE	25%	14.0%	
MAXIMUM BUILDING HEIGHT	50'	65'-4"	2'-6"
MAXIMUM LOT COVERAGE	60%	131.0%	

(1) MINIMUM 1500 SQUARE FEET OF LOT AREA PER GUEST ROOM. 12 GUEST ROOMS X 1500 SQUARE FEET = 18,000 SQUARE FEET

Parking Requirements

USF: **DARKING REQUIREMENTS:**
 PROPOSED BEDROOMS: **32 BEDROOMS**
 NUMBER OF EMPLOYEES: **8 EMPLOYEES**
 REQUIRED PARKING SPACES: **12 BEDROOMS X 1 SPACES PER BEDROOM + 1 SPACES PER 2 EMPLOYEES + 16 PARKING SPACES**

NUMBER OF PARKING SPACES PROVIDED: **32**
 MINIMUM NUMBER OF HANDICAP PARKING SPACES PROPOSED: **3**



Location Map
SCALE: 1" = 1000'

Legend

- PROPERTY LINE @ CORNER
- |— ADJACENT PROPERTY LINE
- |— LIBER OF DEEDS, PAGE
- |— TAX MAP DESIGNATION (SECTION - BLOCK - LOT)
- |— EXISTING CONCRETE CURB
- |— EXISTING CONTOUR LINE
- |— PROPOSED CONTOUR LINE
- |— ZONING MAXIMUM SETBACK LINE
- |— PROPOSED CURBS
- |— PROPOSED SIDEWALK
- |— PROPOSED STRUCTURE

Zoning Analysis: Section 185-27

C. SITE PLAN STANDARDS	
(1) SITE SHALL HAVE PRINCIPAL FRONTAGE ON A STATE OR COUNTY HIGHWAY	PARCEL FRONTS ONLY ON UNITY PLACE (TO HIGHWAY) - VARIANCE REQUIRED
D. SUPPLEMENTARY REGULATIONS	
(1) HOTEL AND MOTEL UNITS SHALL NOT CONTAIN KITCHEN FACILITIES OF ANY TYPE IN MORE THAN 25% IN A PARTICULAR HOTEL OR MOTEL COMPLEX. SHALL NOT BE USED AS APARTMENTS FOR NONTRANSIENT TENANTS, AND SHALL NOT BE CONNECTED BY WATER DOORS IN GROUPS OF MORE THAN TWO.	NO KITCHEN FACILITIES WILL BE IN ANY HOTEL ROOMS. ALL SUITES WILL HAVE MICROWAVE UNITS.
(2) EACH HOTEL OR MOTEL ROOM SHALL HAVE AN AREA OF NOT LESS THAN 300 SQUARE FEET. EACH HOTEL OR MOTEL UNIT SHALL HAVE A BATH OR SHOWER FACILITY, ONE TOILET FACILITY AND A SINK.	EACH HOTEL ROOM WILL EXCEED 300 SQUARE FEET AND WILL HAVE A BATH OR SHOWER, TOILET, AND SINK.
(3) THE FOLLOWING ACCESSORY USES MAY BE PERMITTED: (A) ONE APARTMENT FOR THE RESIDENCE OF THE MANAGER OR CARETAKER AND HIS OR HER FAMILY.	NO MANAGER OR CARETAKER APARTMENT IS PROPOSED
(4) ONE COFFEE SHOP FOR HOTELS AND MOTELS WITH NO MORE THAN 100 ROOMS. IN ADDITION TO A COFFEE SHOP, HOTELS OR MOTELS WITH MORE THAN 100 ROOMS ARE PERMITTED A RESTAURANT WITH BAR FACILITIES, WHICH MAY BE LOCATED EITHER IN THE PRINCIPAL BUILDING OR IN AN ACCESSORY BUILDING.	A SMALL BREAKFAST AREA AND FOOD PREPARATION AREA WILL BE PROVIDED ON THE MAIN FLOOR OF THE HOTEL
(5) AMUSEMENT OR SPORTS FACILITIES FOR THE USE OF THE HOTEL OR MOTEL GUESTS, INCLUDING SWIMMING POOLS, CHILDREN'S PLAYGROUNDS, TENNIS AND OTHER GAME COURTS AND GAME OR RECREATION ROOMS.	SWIMMING POOL AND EXERCISE ROOM WILL BE PROVIDED
(6) LOBBY AREA AND OFFICE, BOTH OF WHICH MUST BE PROVIDED FOR ANY HOTEL OR MOTEL	LOBBY AND OFFICE AREAS WILL BE PROVIDED
(7) MEETING OR CONFERENCE ROOMS AND BANQUET FACILITIES.	A MEETING ROOM WILL BE INCORPORATED IN THE HOTEL
(8) MOTOR VEHICLE RENTAL AGENCY	LESS THAN 10 VEHICLES WILL BE AVAILABLE FOR RENTAL
(9) ALL HOTELS AND MOTELS SHALL BE EQUIPPED WITH SPRINKLERS AND FIRE ALARM SYSTEMS.	SPRINKLERS WILL BE PROVIDED WITHIN THE HOTEL

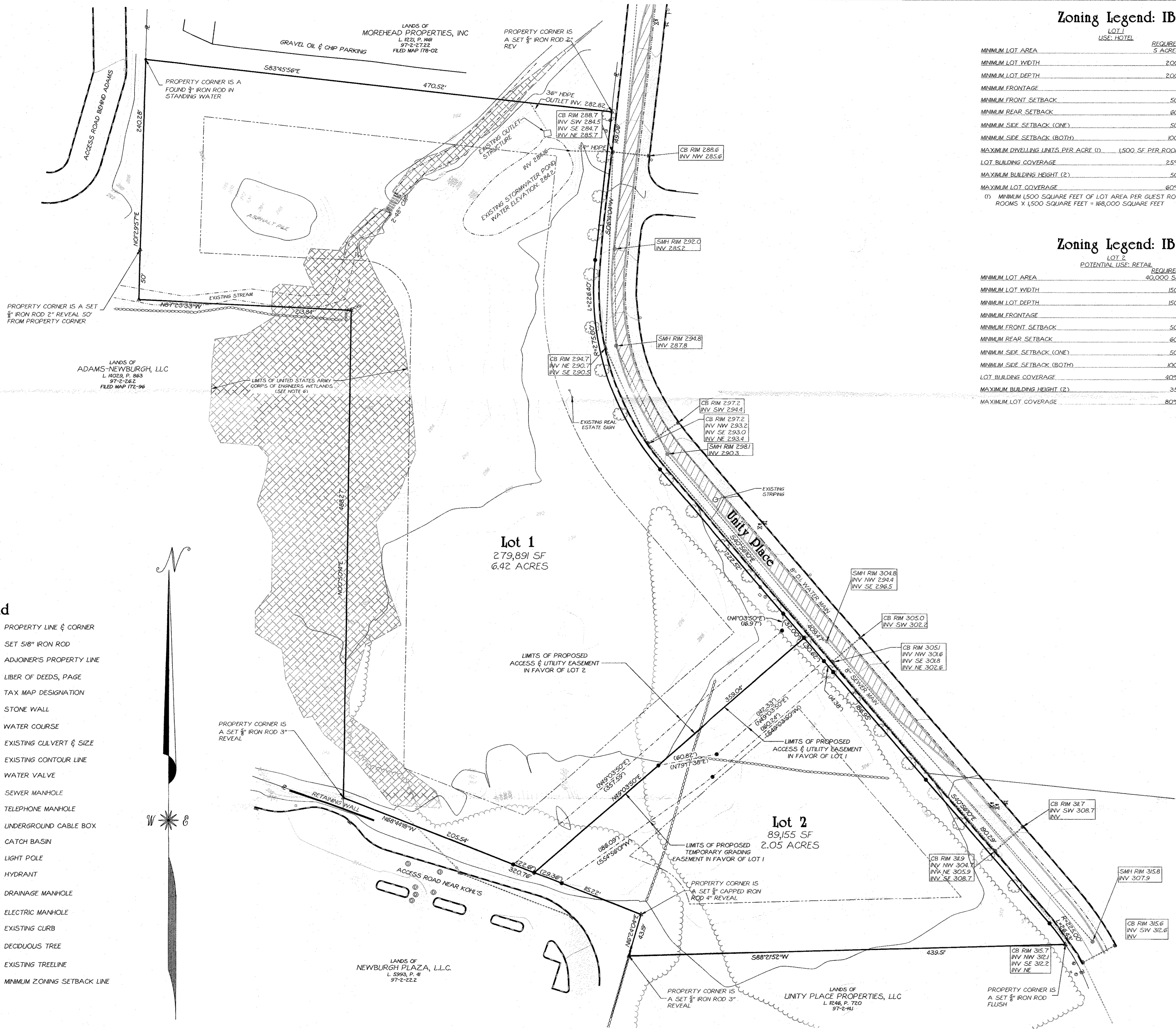
Total Area = 8.48 Acres

Site Plan for RAM Hotels, Inc.

RECORD OWNER: NEWBURGH AUTO PARK, LLC, 800 AUTO PARK PLACE, NEWBURGH, NY 12550
 DEED REFERENCE: LIBER 1724, PAGE 180
 TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37
 Situate in the Town of Newburgh
 Orange County, New York State
 Scale 1"=50' April 2016

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO Box 166, 45 Main Street, Pine Bush, NY 12566
 P: (845)744.3620 F:(845)744.3805 Email: mntm@mntm.co

DATE	BY	DESCRIPTION



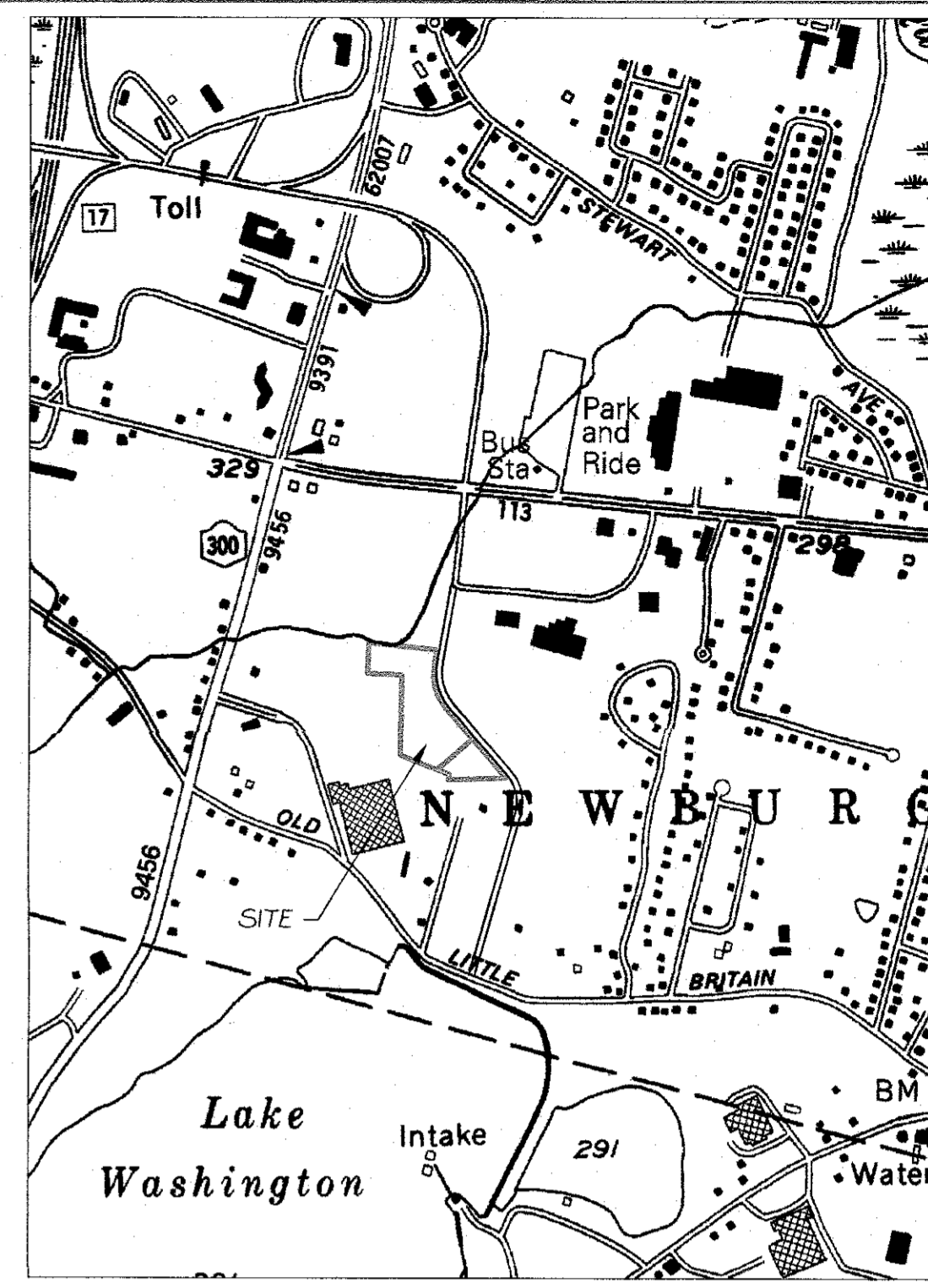
Zoning Legend: IB

MINIMUM LOT AREA	REQUIRED 5 ACRES	PROVIDED 6.43 AC
MINIMUM LOT WIDTH	200'	639'
MINIMUM LOT DEPTH	200'	416'
MINIMUM FRONTAGE	-	-
MINIMUM FRONT SETBACK	50'	-
MINIMUM REAR SETBACK	60'	-
MINIMUM SIDE SETBACK (ONE)	50'	-
MINIMUM SIDE SETBACK (BOTH)	100'	-
MAXIMUM DWELLING UNITS PER ACRE (1)	1,500 SF PER ROOM	-
LOT BUILDING COVERAGE	25%	-
MAXIMUM BUILDING HEIGHT (2)	50'	-
MAXIMUM LOT COVERAGE	60%	-

(1) MINIMUM 1,500 SQUARE FEET OF LOT AREA PER GUEST ROOM. (2) GUEST ROOMS X 1,500 SQUARE FEET = 168,000 SQUARE FEET

Zoning Legend: IB

MINIMUM LOT AREA	POTENTIAL USE: RETAIL	REQUIRED 40,000 SF	PROVIDED 89,155 SF
MINIMUM LOT WIDTH	150'	364.0'	-
MINIMUM LOT DEPTH	150'	305'	-
MINIMUM FRONTAGE	-	-	-
MINIMUM FRONT SETBACK	50'	-	-
MINIMUM REAR SETBACK	60'	-	-
MINIMUM SIDE SETBACK (ONE)	50'	-	-
MINIMUM SIDE SETBACK (BOTH)	100'	-	-
LOT BUILDING COVERAGE	40%	-	-
MAXIMUM BUILDING HEIGHT (2)	35'	-	-
MAXIMUM LOT COVERAGE	80%	-	-



Location Map
SCALE: 1" = 1,000'

Notes:

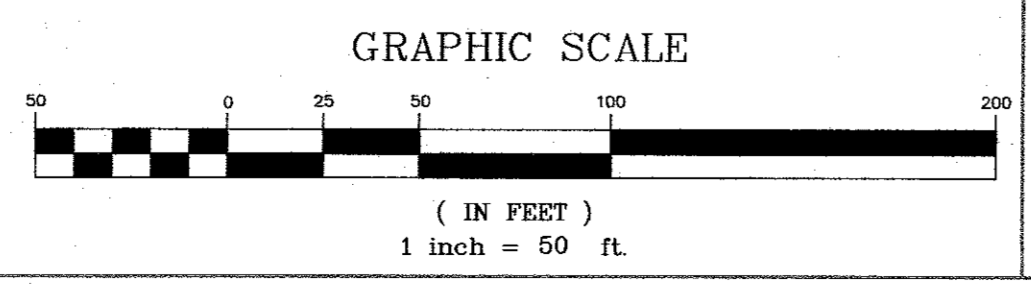
- THE RECORD OWNER OF TAX MAP PARCEL 97-2-37 IS: NEWBURGH AUTO PARK PLACE, LLC, 800 AUTO PARK PLACE, NEWBURGH, NY 12550.
- SUBJECT TO ANY FACTS AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT, MAY REVEAL.
- VERTICAL DATUM IS NAVD88.
- SUBJECT TO ALL NOTE AND DETAILS PERTAINING TO LOT A3 OF A MAP ENTITLED "SUBDIVISION AND LOT LINE CHANGE, PROPOSED LOTS FOR WEBB, YLL, TIGHE" FILED NOV. 7, 2001 IN THE ORANGE COUNTY CLERK'S OFFICE AS FILED MAP NO. 236-01.
- SUBJECT TO ANY LANDS WITHIN THE BOUNDS OF UNITY PLACE FOR USE AS A PUBLIC HIGHWAY.
- LIMITS OF UNITED STATES ARMY CORPS OF ENGINEERS (FEDERAL) WETLANDS ARE SHOWN BASED UPON A FIELD DELINEATION COMPLETED BY JAMES BATES, CPESC, CP-SWQ ON DECEMBER 15, 2016.
- THE TOTAL AREA OF THE SUBJECT PARCEL IS 8.47 ACRES OR 369,046 SQUARE FEET.

Legend

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROD
- ADJOINER'S PROPERTY LINE
- LIBER OF DEEDS, PAGE
- TAX MAP DESIGNATION
- STONE WALL
- WATER COURSE
- EXISTING CULVERT & SIZE
- EXISTING CONTOUR LINE
- WATER VALVE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- UNDERGROUND CABLE BOX
- CATCH BASIN
- LIGHT POLE
- HYDRANT
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- EXISTING CURB
- DECIDUOUS TREE
- EXISTING TREELINE
- MINIMUM ZONING SETBACK LINE

Lot 1
279,891 SF
6.42 ACRES

Lot 2
89,155 SF
2.05 ACRES



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
1	3/17	ENGINEER COMMENTS	LJM

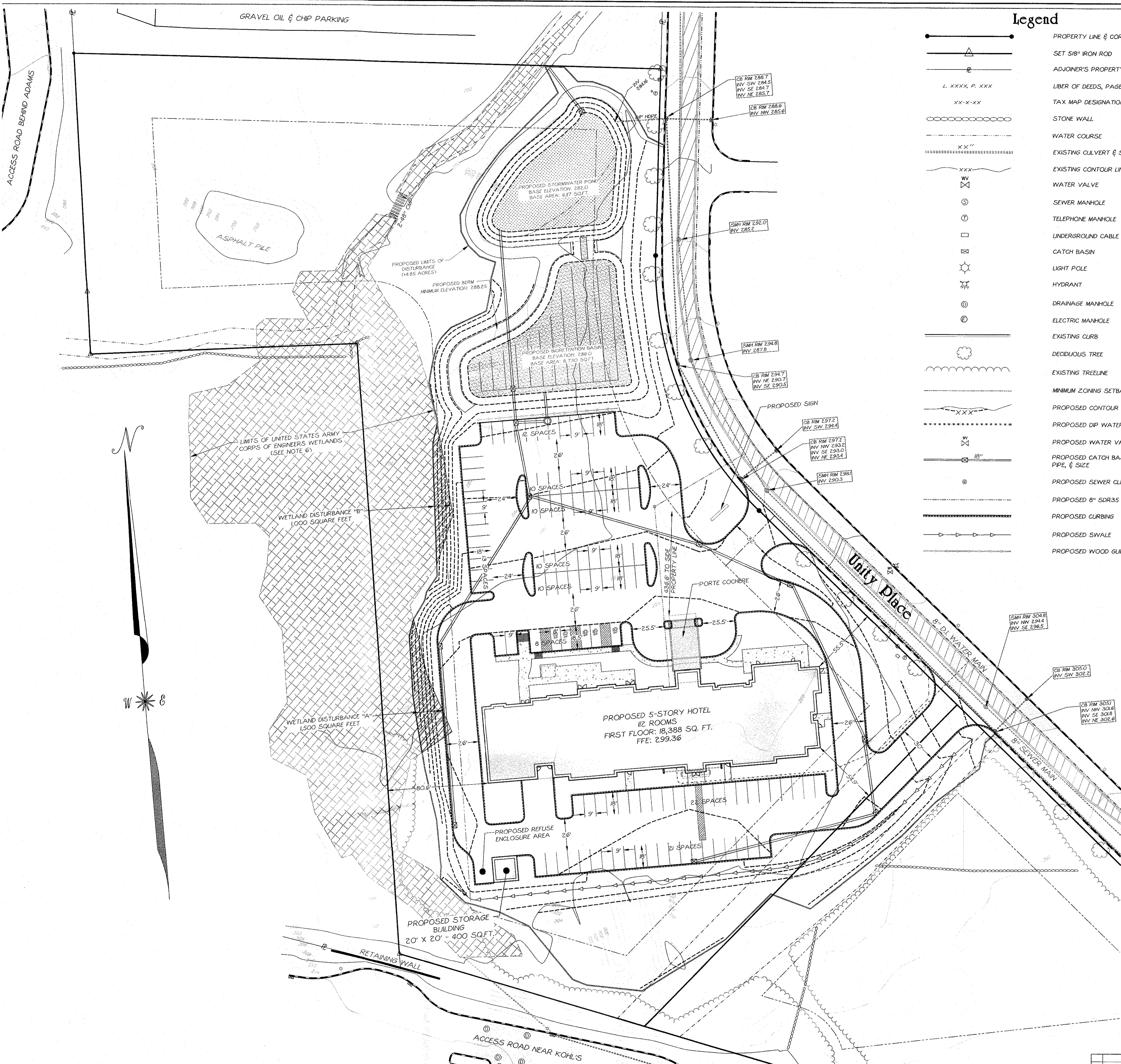
WILLIAM G. NORTON, LS #39480
LAWRENCE MARSHALL, PE #087107

TOWN OF NEWBURGH PROJECT #2016-21

Survey & Subdivision
for lands of
Newburgh Auto Park, LLC

RECORD OWNER:
NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 1724, BLOCK 1810
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DATE: 2016 DEC 29 SHEET
DRAFTED BY: WGN 111
PROJECT: 4015

Mercurio-Norton-Tarolli-Marshall
ENGINEERING-LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744-3620 F: (845)744-3805 MNTM@MNTM.CO



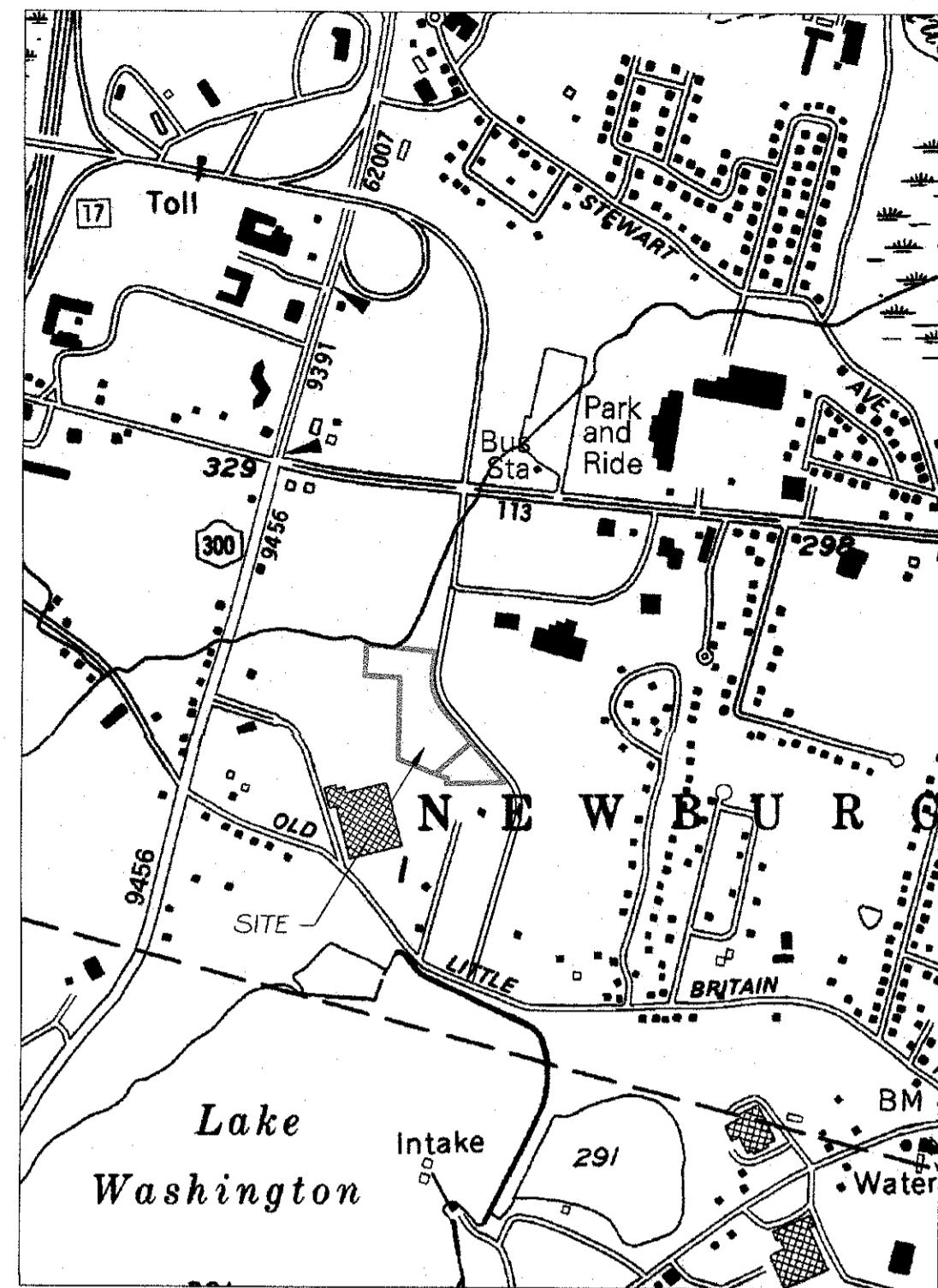
Legend

- PROPERTY LINE & CORNER
- ▲— SET 5/8" IRON ROD
- E— ADJOINER'S PROPERTY LINE
- L XXXX, P. XXX— LIBER OF DEEDS, PAGE
- XX-X-XX— TAX MAP DESIGNATION
- STONE WALL
- --- --- WATER COURSE
- XXX --- EXISTING CULVERT & SIZE
- XXX --- EXISTING CONTOUR LINE
- W --- WATER VALVE
- S --- SEWER MANHOLE
- T --- TELEPHONE MANHOLE
- U --- UNDERGROUND CABLE BOX
- C --- CATCH BASIN
- L --- LIGHT POLE
- H --- HYDRANT
- D --- DRAINAGE MANHOLE
- E --- ELECTRIC MANHOLE
- C --- EXISTING CURB
- D --- DECIDUOUS TREE
- T --- EXISTING TREELINE
- --- MINIMUM ZONING SETBACK LINE
- --- PROPOSED CONTOUR LINE
- --- PROPOSED DIP WATER SERVICE
- --- PROPOSED WATER VALVE
- --- PROPOSED CATCH BASIN, HOPE PIPE, & SIZE
- --- PROPOSED SEWER CLEANOUT
- --- PROPOSED 8" SDR35 SEWER SERVICE
- --- PROPOSED CURBING
- --- PROPOSED SWALE
- --- PROPOSED WOOD GUIDE RAIL

Zoning Legend: IB

	REQUIRED	PROVIDED
MINIMUM LOT AREA	5 ACRES	6.43 AC.
MINIMUM LOT WIDTH	200'	639.1'
MINIMUM LOT DEPTH	200'	416'
MINIMUM FRONTAGE	—	—
MINIMUM FRONT SETBACK	50'	56.2'
MINIMUM REAR SETBACK	60'	83.6'
MINIMUM SIDE SETBACK (ONE)	50'	55.5'
MINIMUM SIDE SETBACK (BOTH)	100'	49.2'
MAXIMUM DWELLING UNITS PER ACRE (1)	168,000 SF	271,691 SF
LOT BUILDING COVERAGE	25%	17.5%
MAXIMUM BUILDING HEIGHT (2)	50'	69'-4"
MAXIMUM LOT COVERAGE	60%	130.0%

(1) MINIMUM 1,500 SQUARE FEET OF LOT AREA PER GUEST ROOM. 12 GUEST ROOMS X 1,500 SQUARE FEET = 18,000 SQUARE FEET
 (2) TOTAL SITE AREA IS EQUIVALENT TO TOTAL PARCEL AREA LESS RESTAURANT, CONFERENCE AND BANQUET FACILITIES (48,200 SQUARE FEET)
 (3) THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ISSUED A MAXIMUM BUILDING HEIGHT VARIANCE FOR A TOTAL HEIGHT OF 69'-4", A VARIANCE OF 19'-4", ON OCTOBER 27, 2016.



Location Map
SCALE: 1" = 1,000'

Survey Notes:

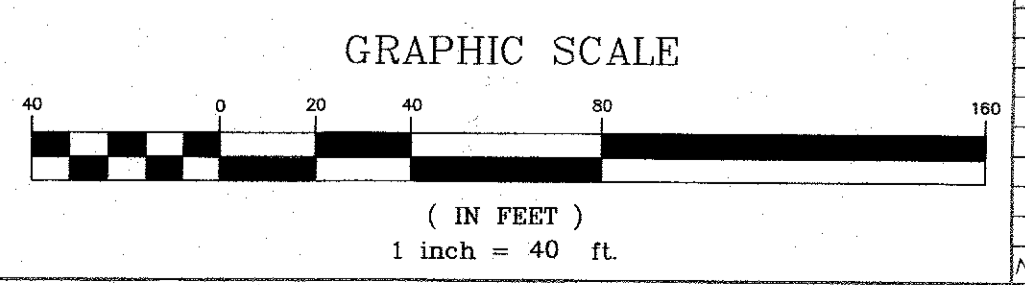
- 1.) THE RECORD OWNER OF TAX MAP PARCEL 97-2-37 IS: NEWBURGH AUTO PARK PLACE, LLC, 800 AUTO PARK PLACE, NEWBURGH, NY 12550
- 2.) SUBJECT TO ANY FACTS AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT, MAY REVEAL.
- 3.) VERTICAL DATUM IS NAVD83.
- 4.) SUBJECT TO ALL NOTE AND DETAILS PERTAINING TO LOT A3 OF A MAP ENTITLED "SUBDIVISION AND LOT LINE CHANGE, PROPOSED LOTS FOR WEBB, YU, TIGHE" FILED NOV. 7, 2001 IN THE ORANGE COUNTY CLERK'S OFFICE AS FILED MAP NO. 236-01.
- 5.) SUBJECT TO ANY LANDS WITHIN THE BOUNDS OF UNITY PLACE FOR USE AS A PUBLIC HIGHWAY.
- 6.) LIMITS OF UNITED STATES ARMY CORPS OF ENGINEERS (FEDERAL) WETLANDS ARE SHOWN BASED UPON A FIELD DELINEATION COMPLETED BY JAMES BATES, CPESC, CPSWQ ON DECEMBER 15, 2016.

Site Plan Notes:

- 1.) THE RECORD OWNER OF TAX MAP PARCEL 97-2-37 (8.50 ACRES) IS: NEWBURGH AUTO PARK PLACE, LLC, 800 AUTO PARK PLACE, NEWBURGH, NY 12550
- 2.) THE APPLICANT FOR THE SITE PLAN IS: RAM HOTELS, INC, 1800 CENTRAL AVE, ALBANY, NY 12205-2404
- 3.) THE CUSTOMER PARKING AND ACCESS AISLES ENCOMPASS APPROXIMATELY 42,710 SQUARE FEET OF THE PROJECT SITE. WITHIN THE PARKING AREA, THERE ARE TEN (10) LANDSCAPED ISLANDS, REPRESENTING A TOTAL AREA OF 2,292 SQUARE FEET. THE LANDSCAPED AREAS WITHIN THE PARKING LOT ENCOMPASSES 5.3% OF THE CUSTOMER PARKING AREA.
- 4.) THE TOTAL NUMBER OF PARKING SPACES PROPOSED ON THE SITE IS 116, INCLUDING 5 ACCESSIBLE PARKING SPACES.
- 5.) THE WETLAND DISTURBANCES (A & B) TOTAL 2,500 SQUARE FEET. PRIOR TO MAKING ANY DISTURBANCE OF THIS AREA A PRE-CONSTRUCTION NOTIFICATION (PCN) MUST BE FILED WITH THE UNITED STATES ARMY CORPS OF ENGINEERS AND THE APPROPRIATE PERMITS AND/OR PERMISSIONS SHALL BE OBTAINED.

Parking Requirements

USE:	TOWN PARKING REQUIREMENT:	PROPOSED CRITERIA:	SPACES REQUIRED:	SPACES PROVIDED:
HOTEL	1 SPACE PER HOTEL ROOM + 1 PER 2 EMPLOYEES	112 ROOMS 8 EMPLOYEES	116	116
TOTAL			116	116



NO.	DATE	ENGINEER COMMENTS	LM
1	3-17		LM
NO.		REVISION	BY
			LAWRENCE MARSHALL, PE #087107

TOWN OF NEWBURGH PROJECT #2016-21

Site Plan
for
RAM Hotels, Inc.





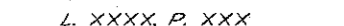




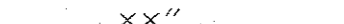

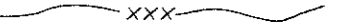
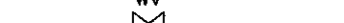

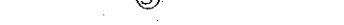





Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING

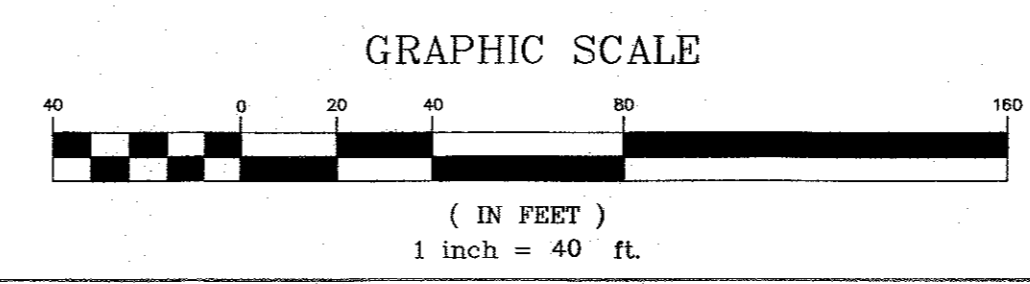
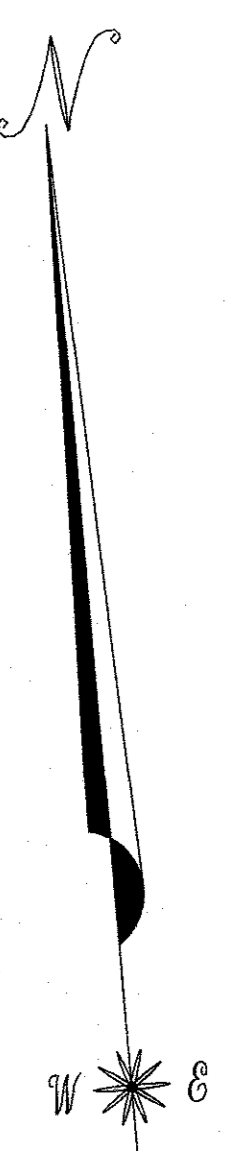
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

RECORD OWNER:
NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 172-4, BLOCK 160
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DATE: 4 FEB 2017
DRAFTED BY: LJM
PROJECT: 4015

SHEET
119

Legend

-  PROPERTY LINE & CORNER
-  SET 5/8" IRON ROD
-  ADJOINER'S PROPERTY LINE
-  L. XXXX, P. XXX
-  XX-X-XX
-  STONE WALL
-  WATER COURSE
-  EXISTING CULVERT & SIZE
-  EXISTING CONTOUR LINE
-  WATER VALVE
-  SEWER MANHOLE
-  TELEPHONE MANHOLE
-  UNDERGROUND CABLE BOX
-  CATCH BASIN
-  LIGHT POLE
-  HYDRANT
-  ELECTRIC MANHOLE
-  EXISTING CURB
-  DECIDUOUS TREE
-  EXISTING TREELINE



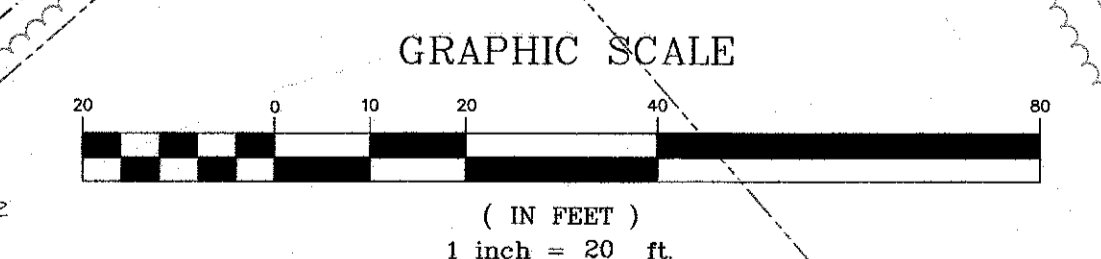
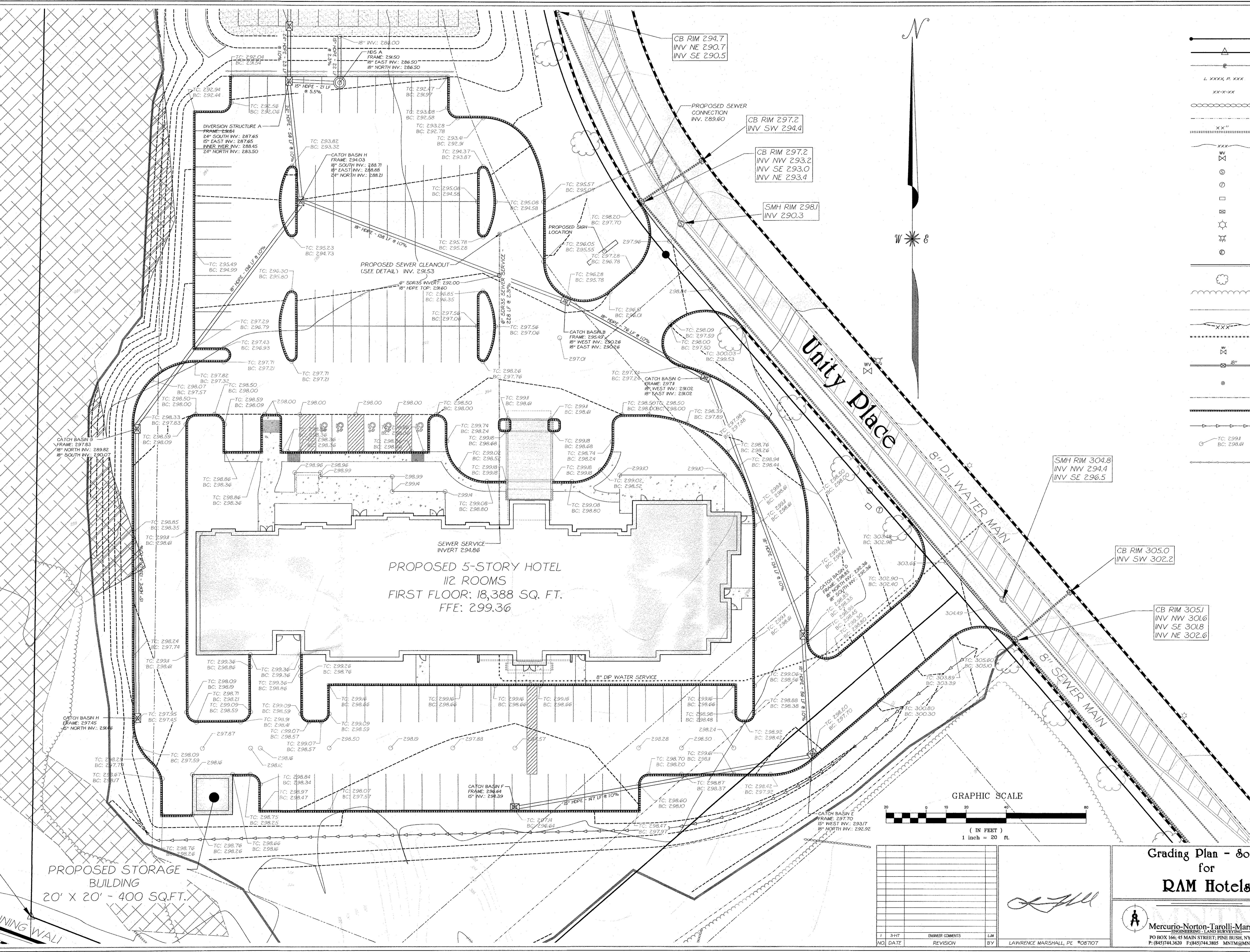
NO.	DATE	REVISION	BY
1	3-17	ENGINEER COMMENTS	LJM

Lawrence Marshall
 LAWRENCE MARSHALL, PE #08707

TOWN OF NEWBURGH PROJECT #2016-21 Existing Conditions Plan for RAM Hotels, Inc.		RECORD OWNER: NEWBURGH AUTO PARK, LLC TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37 DEED REFERENCE: LIBER 1704, BLOCK 1810 TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DATE: 4 FEB 2017 DRAFTED BY: LJM PROJECT: 4015
 Mercurio-Norton-Tarolli-Marshall ENGINEERING - LAND SURVEYING PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO		SHEET 2 / 9

Legend

- PROPERTY LINE & CORNER
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1	3-17	ENGINEER COMMENTS	LJM
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TOWN OF NEWBURGH PROJECT #2016-21

**Grading Plan - South
for
RAM Hotels**

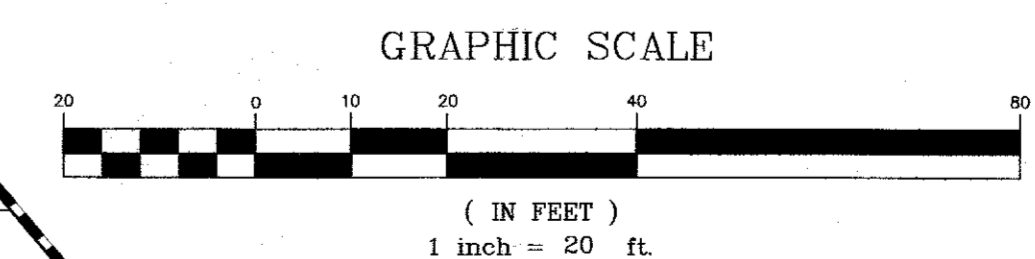
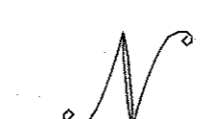
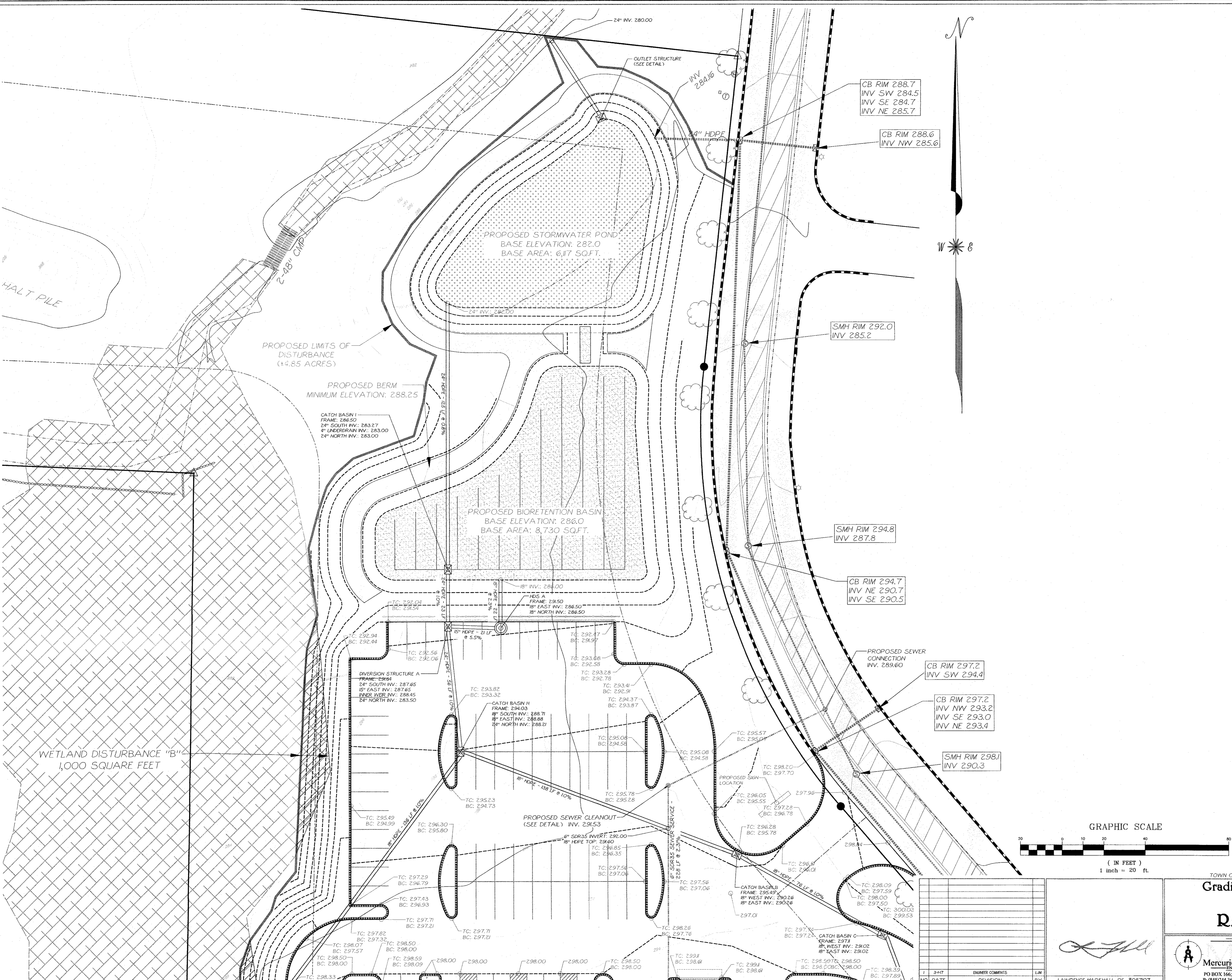
RECORD OWNER:
 NEWBURGH AUTO PARK, LLC
 TAX MAP REFERENCE:
 SECTION 97, BLOCK 2, LOT 37
 DEED REFERENCE:
 LIBER 1724, BLOCK 160
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

DATE: _____ SHEET
 DRAFTED BY: _____ 3 / 9
 PROJECT: _____

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

Legend

- PROPERTY LINE & CORNER
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NO.	DATE	REVISION	BY
1	3/17	ENGINEER COMMENTS	LJM
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TOWN OF NEWBURGH PROJECT #2016-21

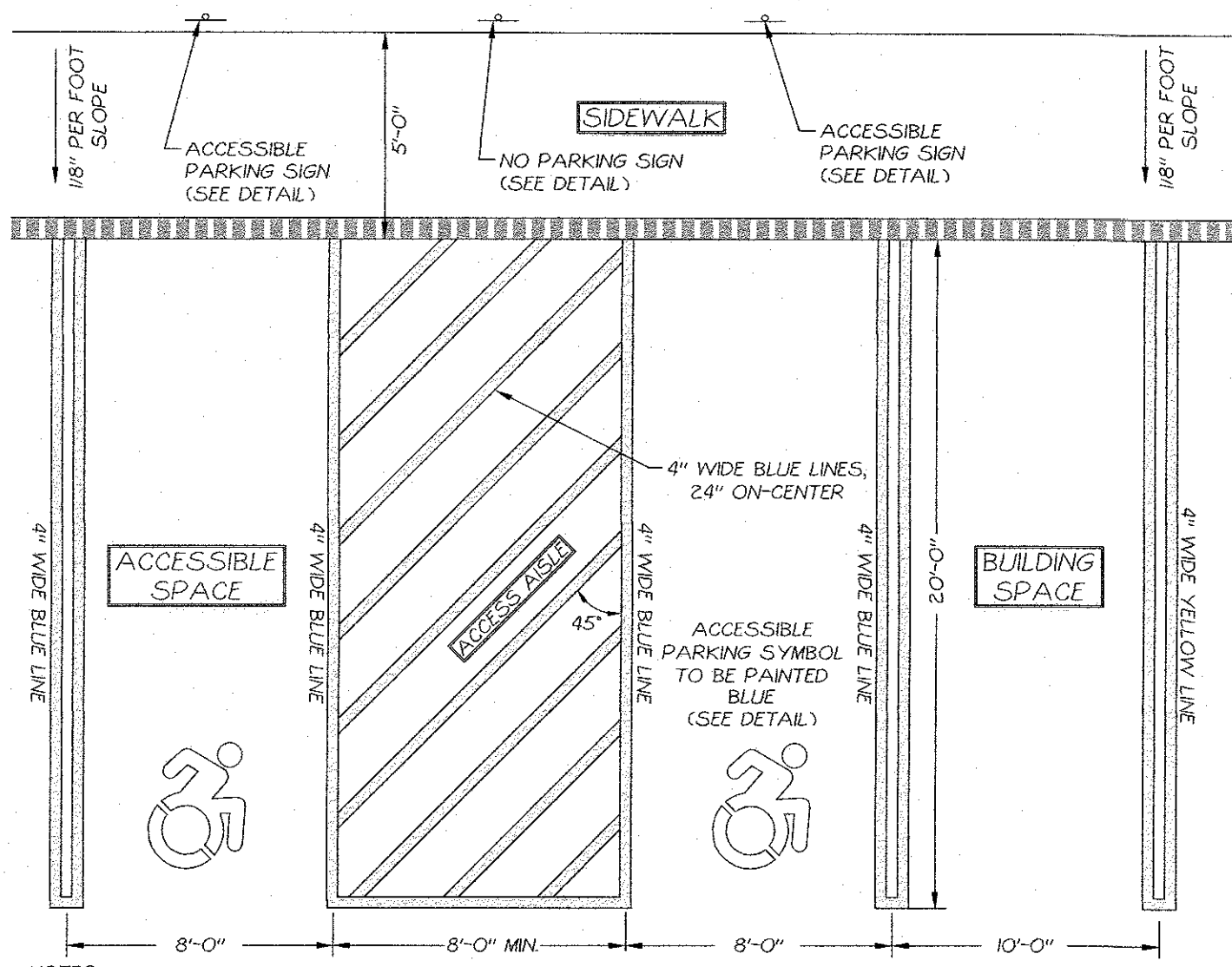
Grading Plan - North for RAM Hotels

RECORD OWNER:
NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 1724, BLOCK 1610
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK

DATE: _____ SHEET
DRAFTED BY: _____ 419
PROJECT: _____

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

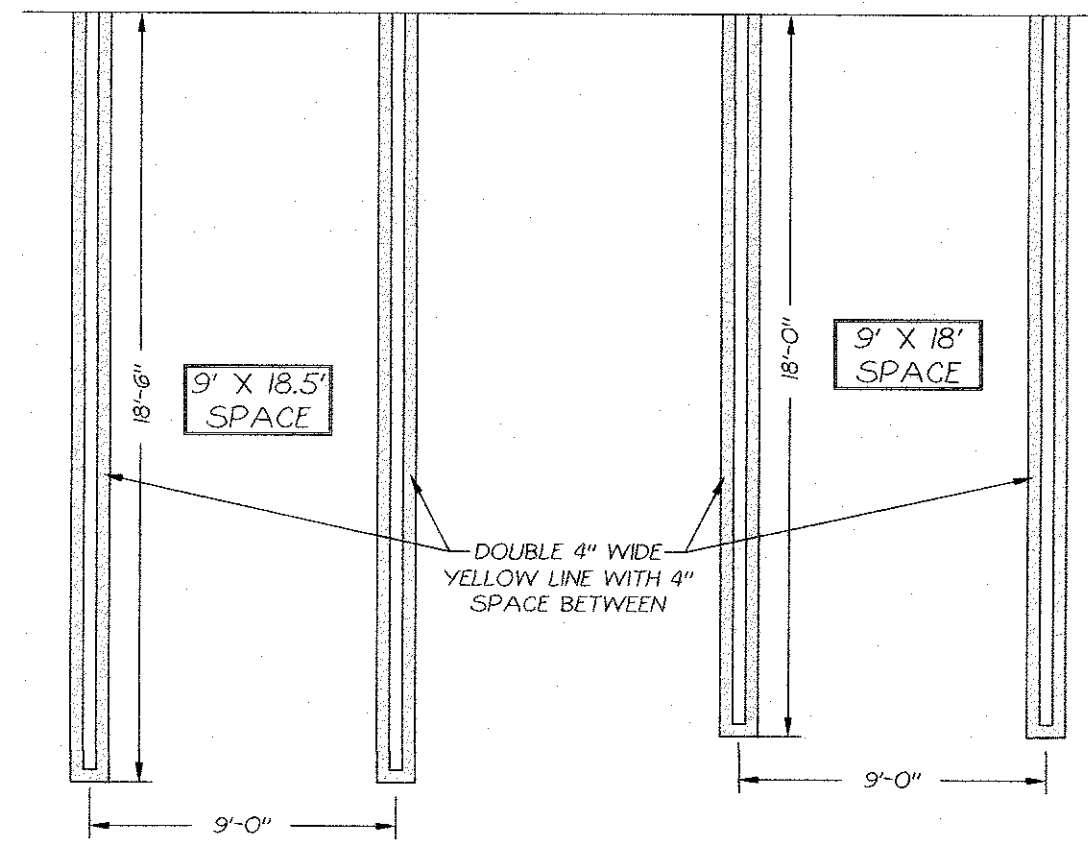
LAWRENCE MARSHALL, PE #08707



NOTES:

- 1) ALL ACCESSIBLE RAMP AND ACCESS AISLES SHALL MEET ALL CURRENT CODES AND ADAAG REGULATIONS.
- 2) PROPOSED ACCESS RAMP SHALL CONSIST OF COLORED TOOLED/SERRATE SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE AS REQUIRED BY AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CODE REGULATIONS.
- 3) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
CURBING & BOLLARDS: TWO (2) COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYL ENAMEL, SAFETY YELLOW B55Y300
PARKING LOT STRIPING & WHEELSTOPS: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW TMS494
ACCESSIBLE STRIPING & DETAIL: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, "HC" BLUE
- 4) STANDARD PARKING SPACES VARY IN SIZE. STANDARD SPACES ALONG FRONT OF BUILDING ARE 9' X 18.5' SPACES (EXCEPT ACCESSIBLE SPACES AND AISLE). ALL OTHER SPACES ARE 9' X 18' SPACES.

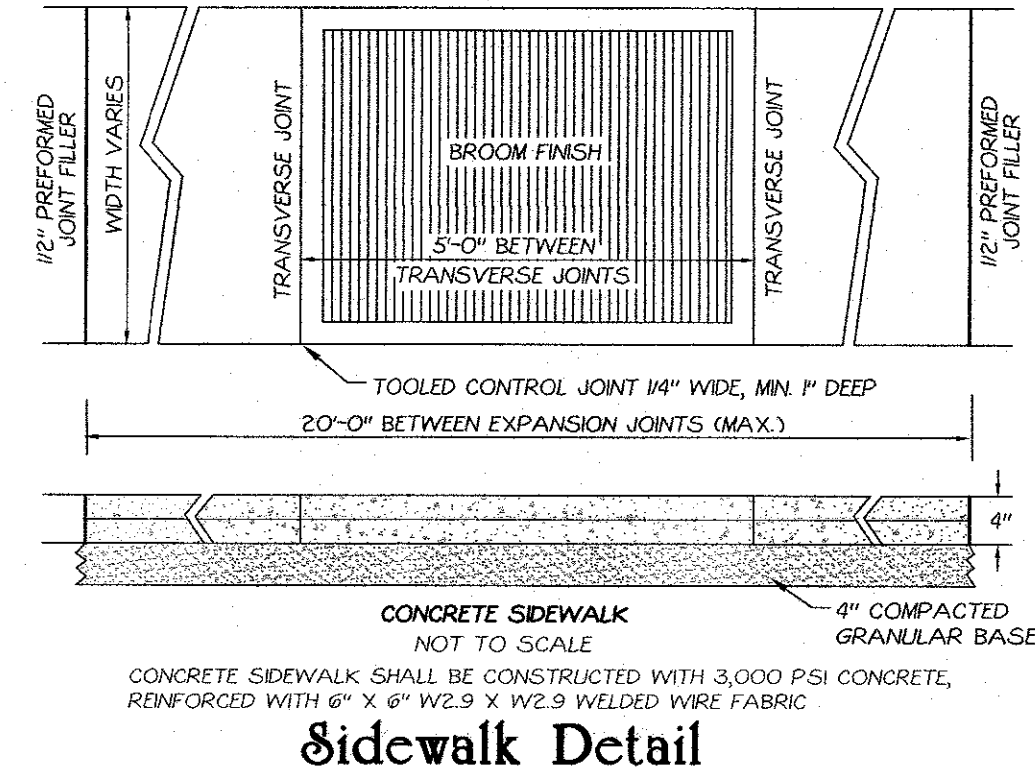
Accessible & Building Parking Space Striping Detail



NOTES:

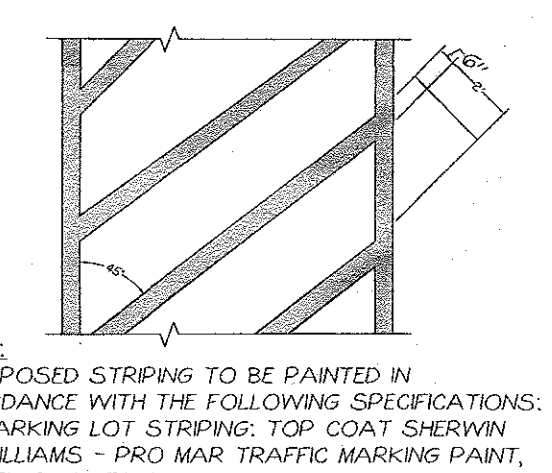
- 1) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
PARKING LOT STRIPING & WHEELSTOPS: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW TMS494

Parking Space Striping Detail



Sidewalk Detail

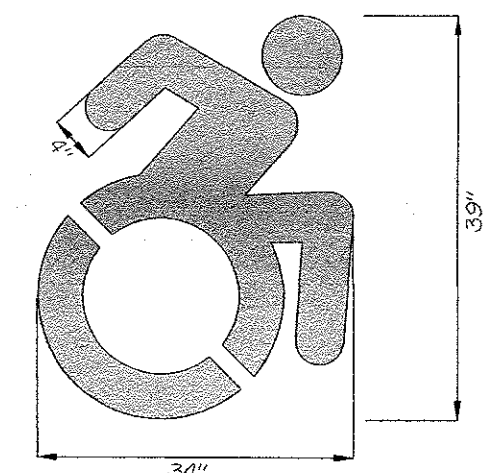
CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH 3,000 P.S.I. CONCRETE, REINFORCED WITH 6" X 6" W2.9 X W2.9 WELDED WIRE FABRIC



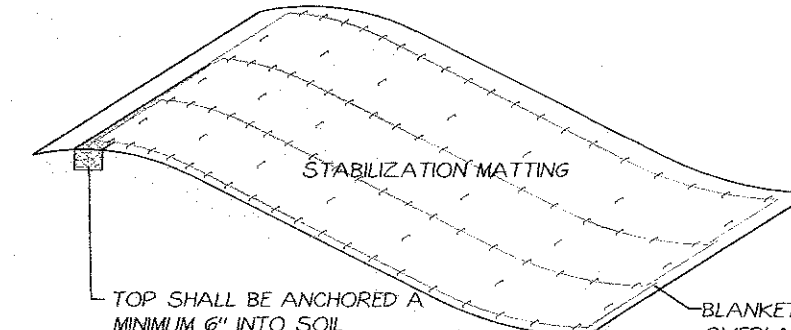
NOTES:

- 1) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
PARKING LOT STRIPING: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW TMS494

Island Striping Detail



Accessible Parking Symbol



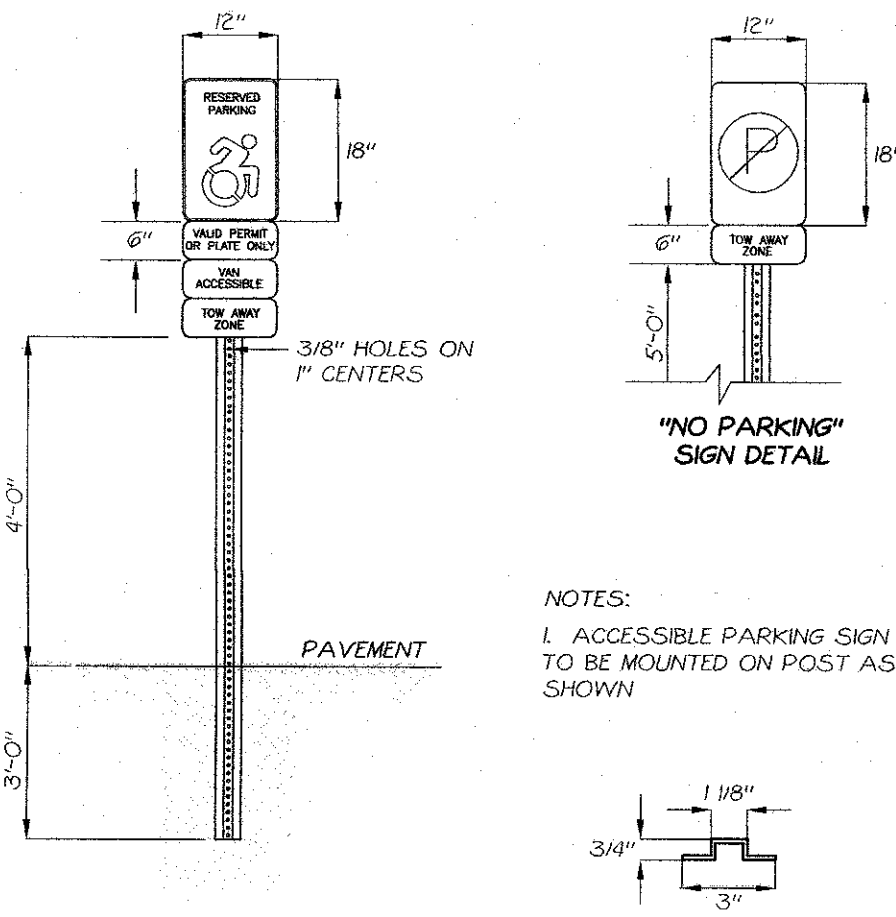
Slope Stabilization Detail

TOP SHALL BE ANCHORED A MINIMUM 6" INTO SOIL

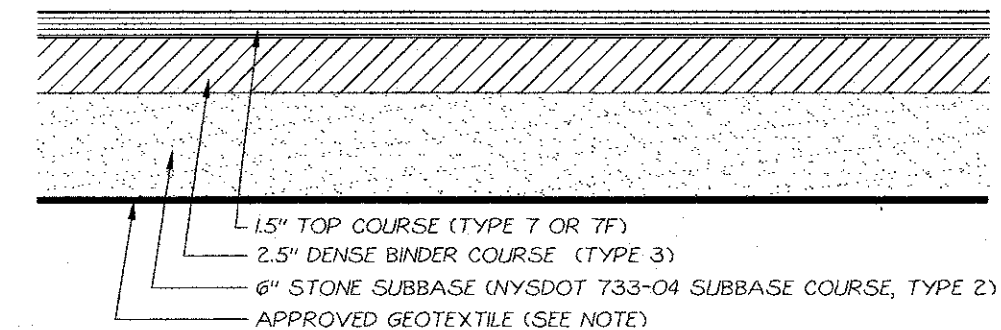
BLANKETS SHALL BE OVERLAPPED A MINIMUM OF 4"

NOTES:

- 1) BIODEGRADABLE MATTING SHALL CONSIST OF THE FOLLOWING:
"NORTH AMERICAN GREEN" - CS30 COMPOSITE TURF REINFORCEMENT MAT
"VERDYCOL" - ERD-MAT V75S (S.D.) SINGLE NET STRAW BLANKET
- 2) MATTING SHALL BE STAPLED WITH 8" WIRE STAPLES ALONG ALL SEAMS (2' ON CENTER) AND EVERY 3' ON CENTER WITHIN THE BLANKET.
- 3) ALL SLOPES SHALL BE SEDED WITH WILDFLOWER MIXTURE PRIOR TO INSTALLATION OF BIODEGRADABLE MATTING.
- 4) BIODEGRADABLE MATTING SHALL BE INSTALLED ON ALL DISTURBED SLOPES AT THE REAR OF THE BUILDING GREATER THAN 3 HORIZONTAL TO 1 VERTICAL.

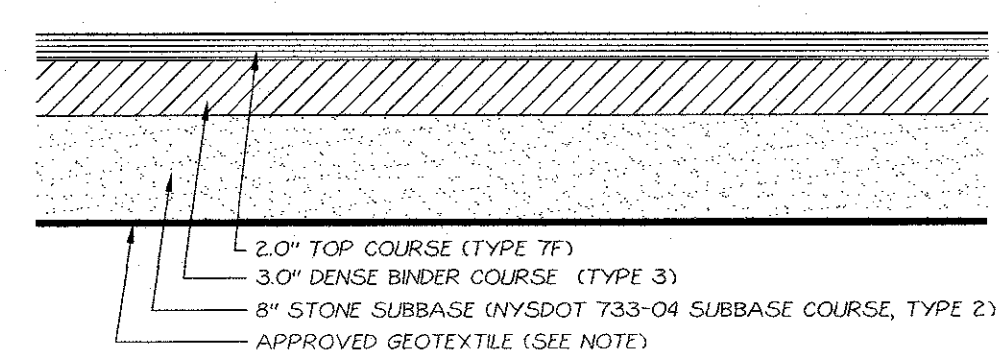


Sign Details



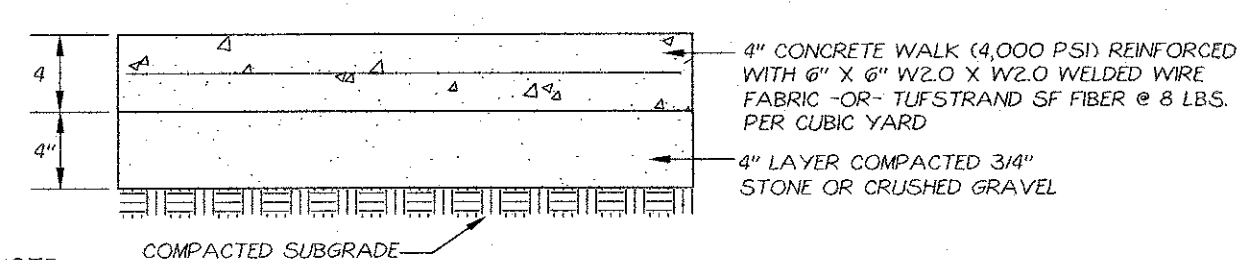
GEOTEXTILE NOTE:
GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

Standard Asphalt Pavement Section



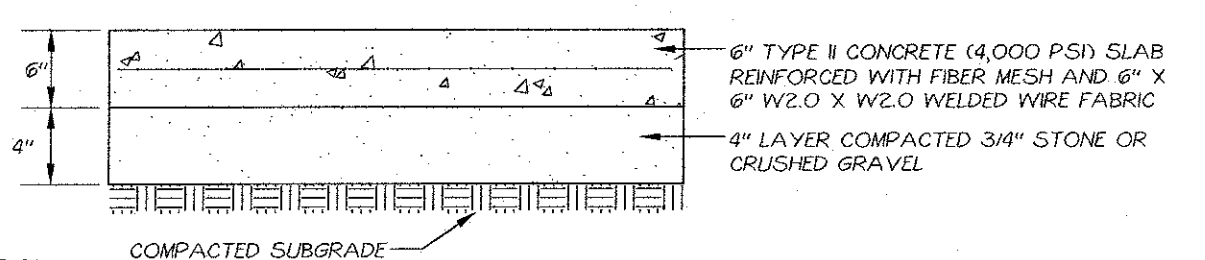
GEOTEXTILE NOTE:
GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

Heavy Duty Asphalt Pavement Section



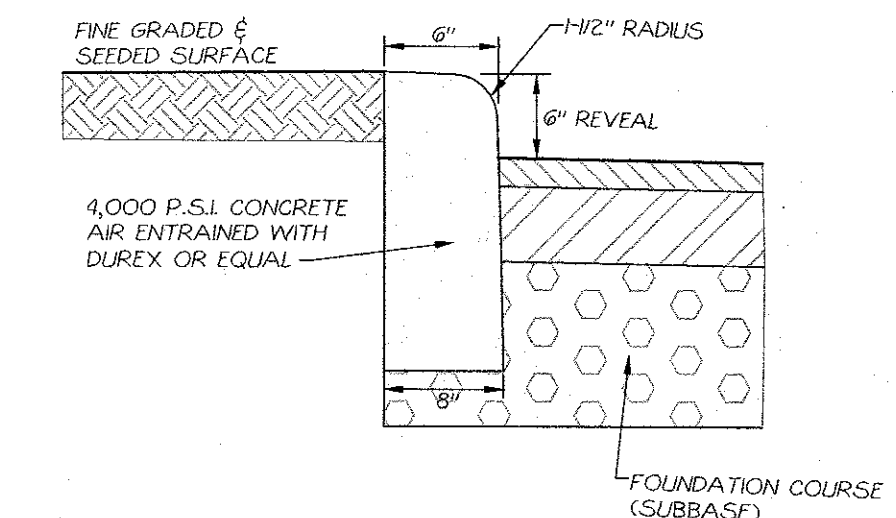
NOTE:
CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 15 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS

Standard Concrete Pavement Detail



NOTE:
CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS

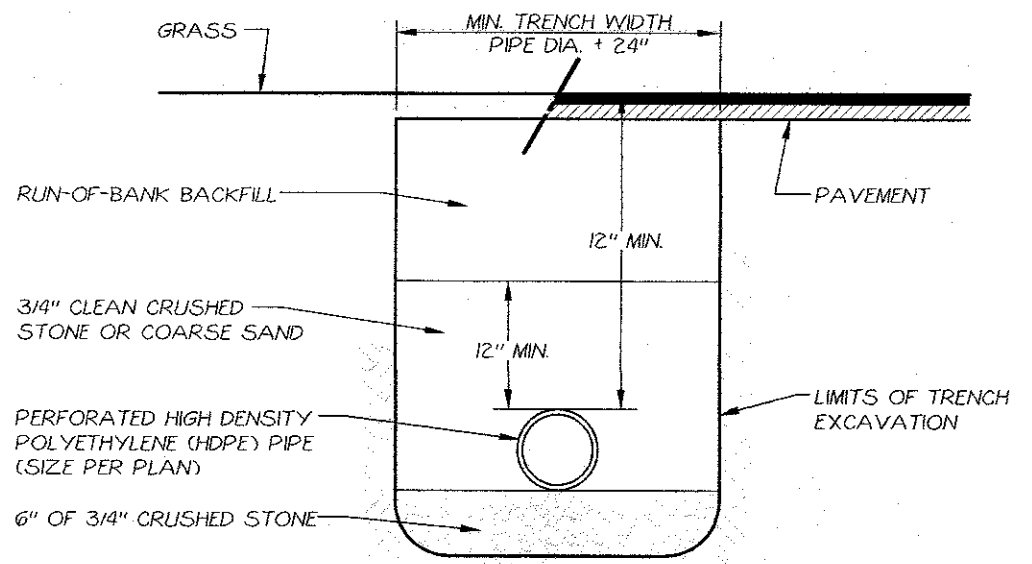
Heavy Duty Concrete Pavement Detail



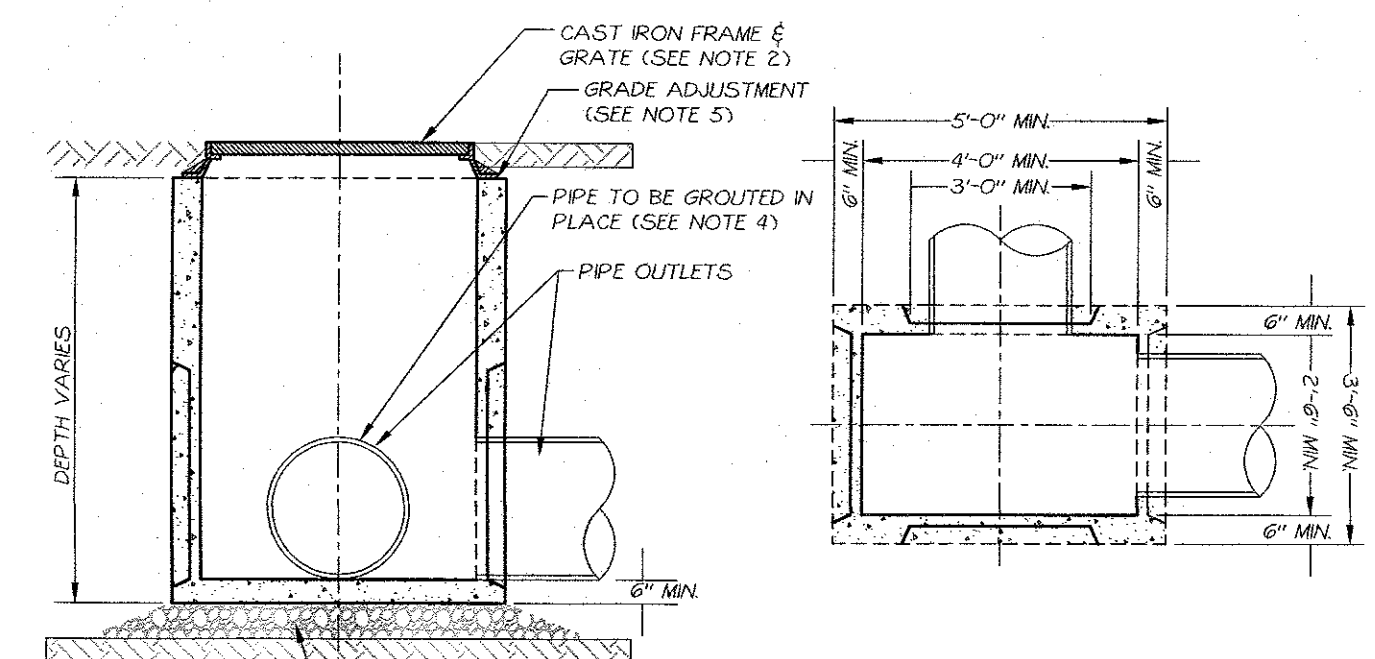
NOTES:

- 1) CURB SHALL BE CAST IN PLACE EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE INSTALLED WHERE REQUIRED (AT CURB BOXES, CATCH BASINS, BRIDGES, ETC.). CONTRACTION (CONTROL) JOINTS SHALL BE INSTALLED AT 20' INTERVALS.
- 2) THIS DETAIL SHALL BE UTILIZED FOR INSTALLATION OF CURBING WITHIN PROJECT SITE (CURBED ISLANDS, ETC.).

Standard Curb Detail



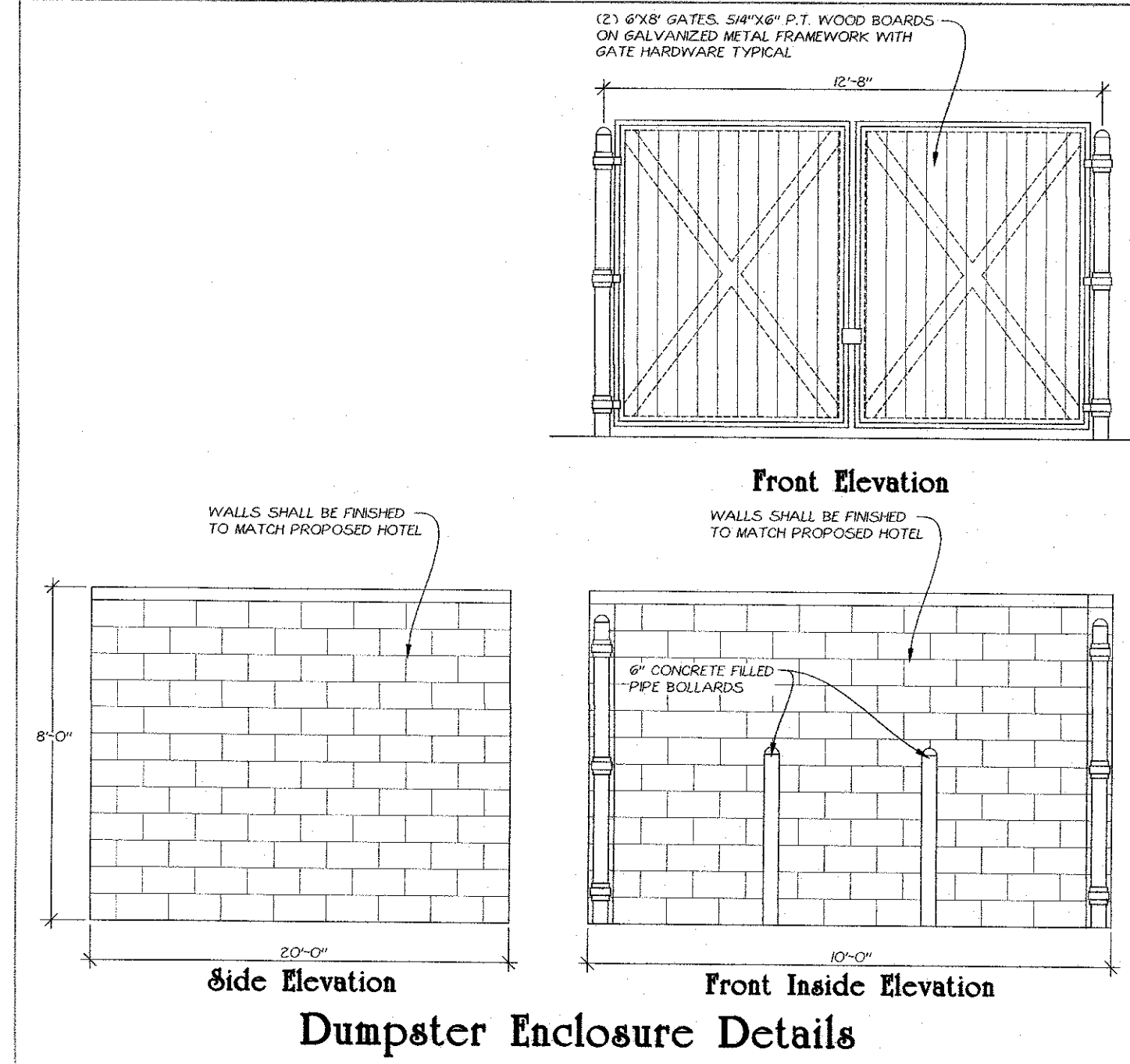
Typical Storm Sewer Trench Detail



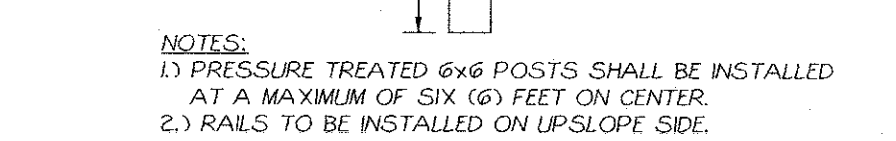
NOTES:

- 1) BASINS SHALL HAVE A MINIMUM OF H2O LOADING STRENGTH
- 2) CAST IRON FRAME AND GRATE SHALL BE ABLE TO WITHSTAND H2O LOADING. GRATES SHALL BE BICYCLE GRATES. OPENINGS SHALL BE A MINIMUM OF 24" DIAMETER OR 24"x24" RECTANGULAR OPENING.
- 3) STEPS SHALL BE PROVIDED 12" ON CENTER WHEN DEPTH OF BASIN EXCEEDS 4'-0"
- 4) CONNECTIONS BETWEEN BASIN AND PIPE SHALL BE MADE BY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL.
- 5) GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 2.5" SHALL BE MADE WITH BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIALS OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 6" SHALL BE MADE WITH COMBINATION OF PRECAST CONCRETE PAVERS AND BEDDING MATERIALS. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 12" SHALL BE MADE WITH CAST-IN-PLACE CONCRETE OR A COMBINATION OF PRECAST CONCRETE ADJUSTMENT ELEMENTS AND BEDDING MATERIALS.

On-Site Catch Basin Detail



Dumpster Enclosure Details



NOTES:

- 1) PRESSURE TREATED 6x6 POSTS SHALL BE INSTALLED AT A MAXIMUM OF SIX (6) FEET ON CENTER.
- 2) RAILS TO BE INSTALLED ON UPSLOPE SIDE.

Typical Wood Guide Rail Detail

NO.	DATE	REVISION	BY
1	3-11	ENGINEER COMMENTS	LJM

TOWN OF NEWBURGH PROJECT #2016-21

Detail Sheet
for
RAM Hotels, Inc.

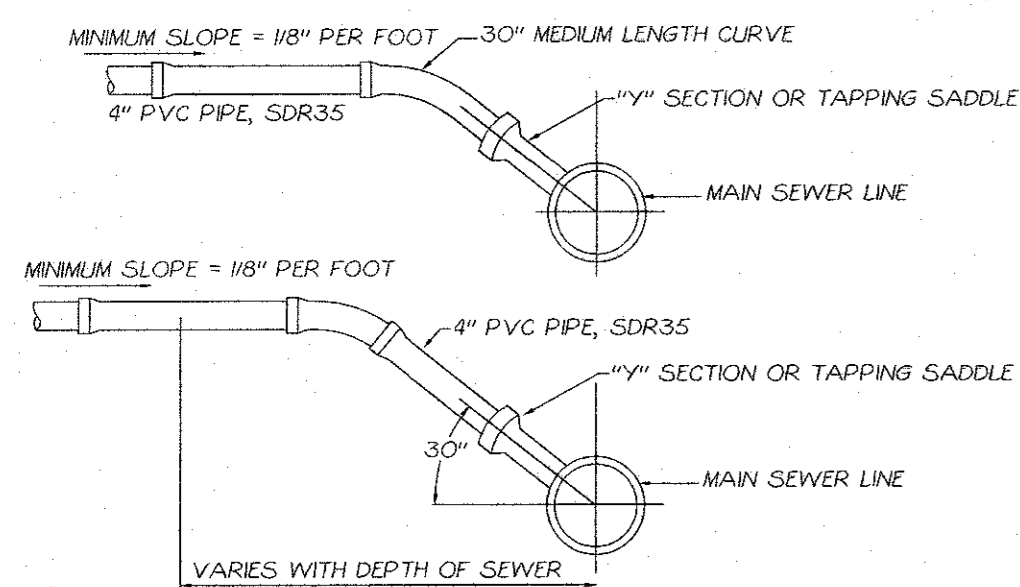
RECORD OWNER:
NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 1724, BLOCK 160
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK

DRAFTED BY:
PROJECT:

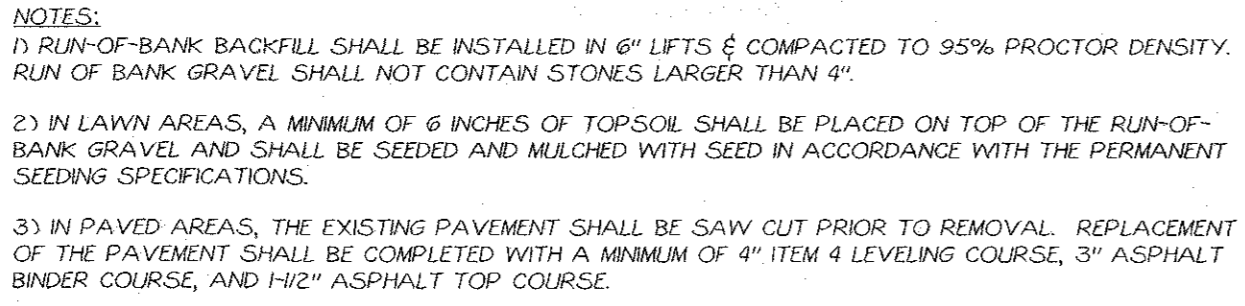
DATE:
SHEET
5 / 9

Mercurio-Norton-Tarolli-Marshall
ENGINEERING & LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744.3620 F: (845) 744.3805 MNTM@MNTM.CO

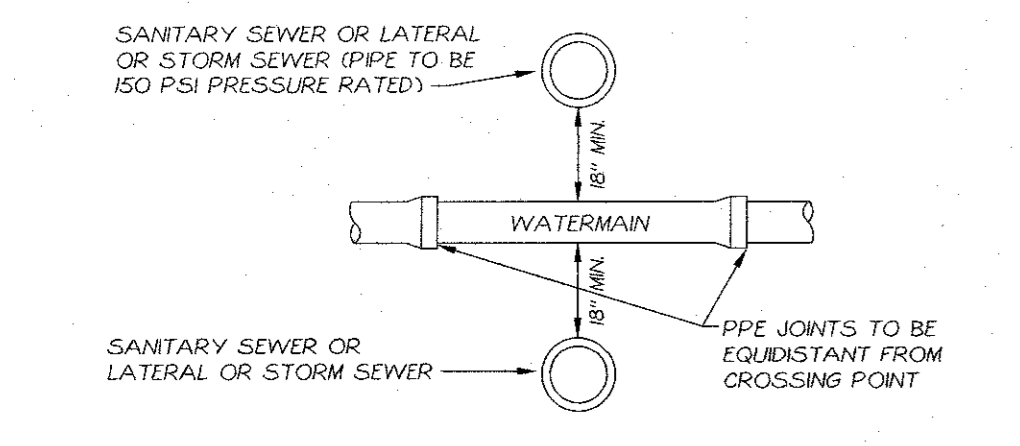
LAWRENCE MARSHALL, PE #08707



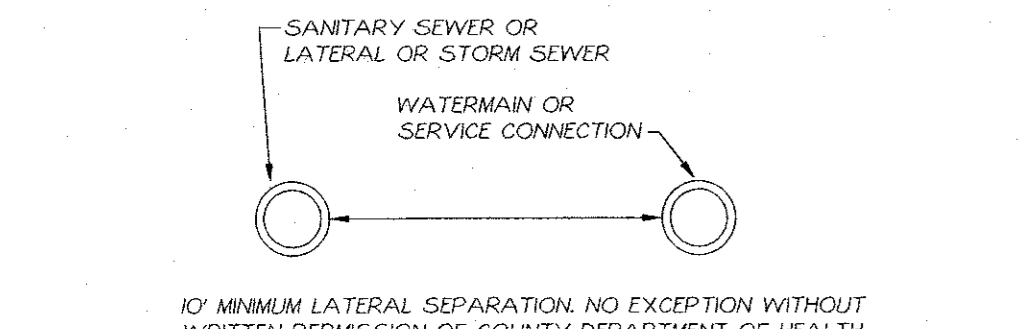
Alternate Lateral Connections



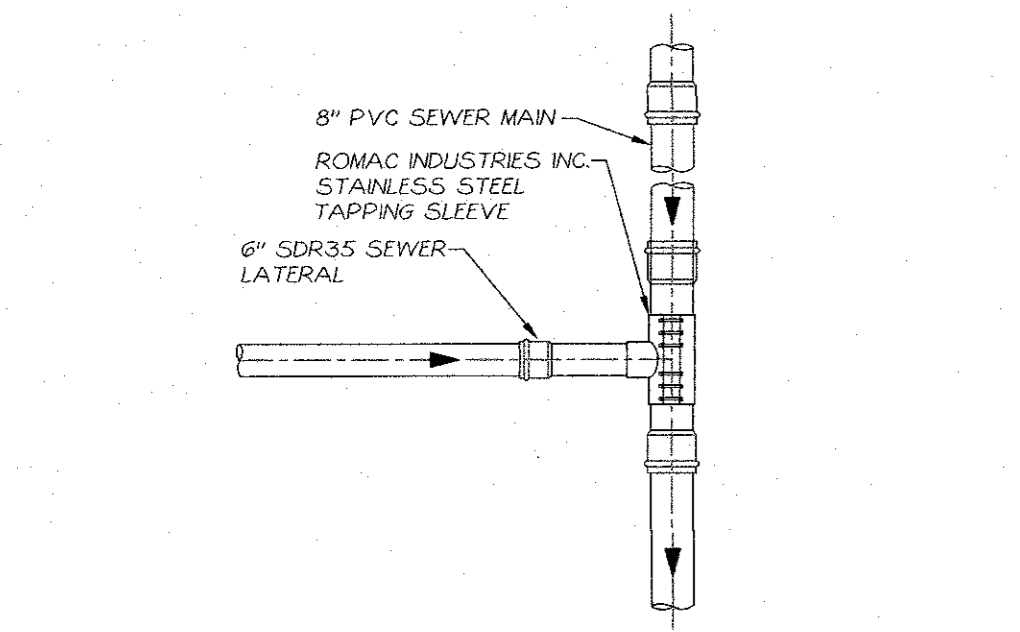
Typical Trench Detail



Storm / Sanitary Sewer-Watermain Crossing



Parallel Sanitary Sewer / Storm Sewer Watermain Installation



Sanitary Sewer Lateral Tap Detail

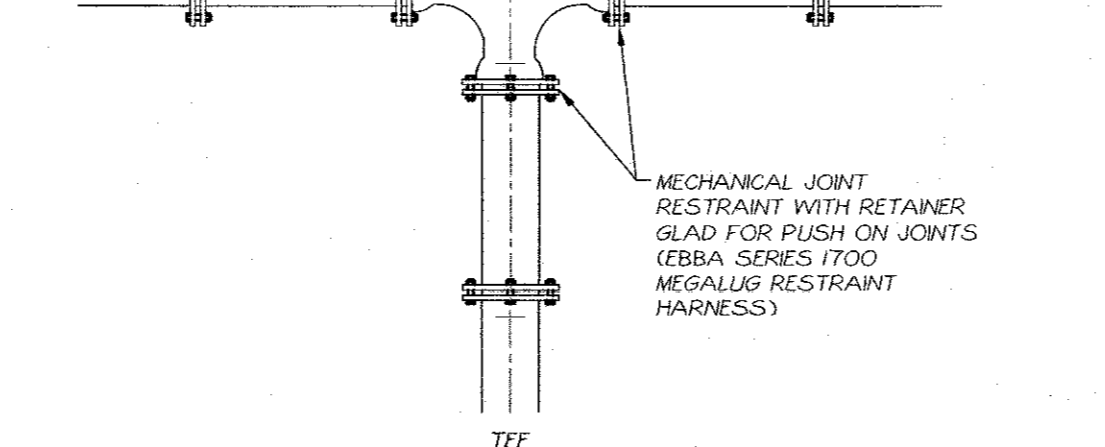
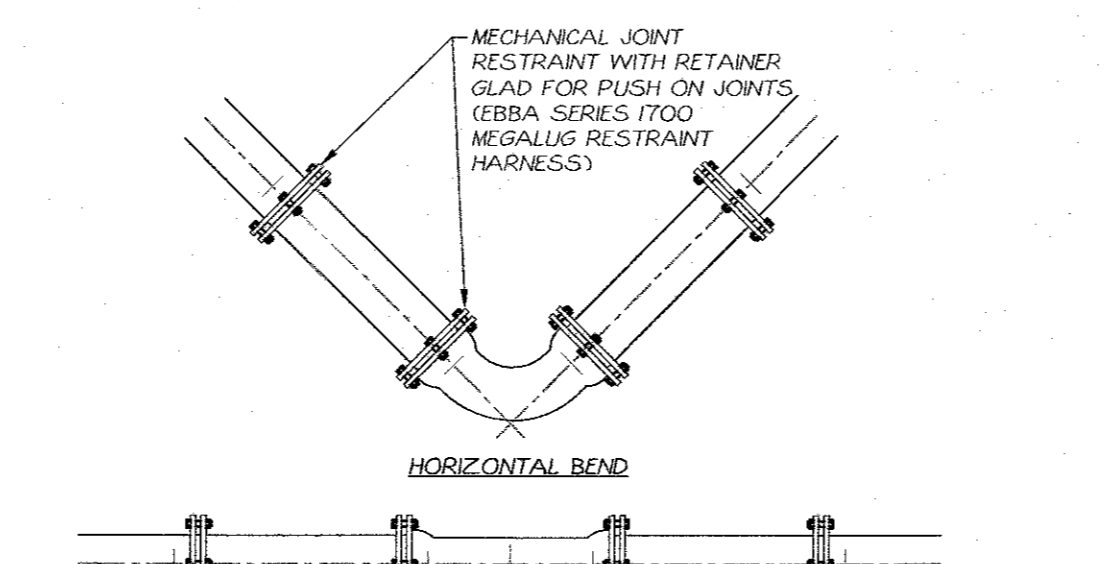
THIS DETAIL NOT FOR ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW OR APPROVAL

Town of Newburgh Sewer System Notes:

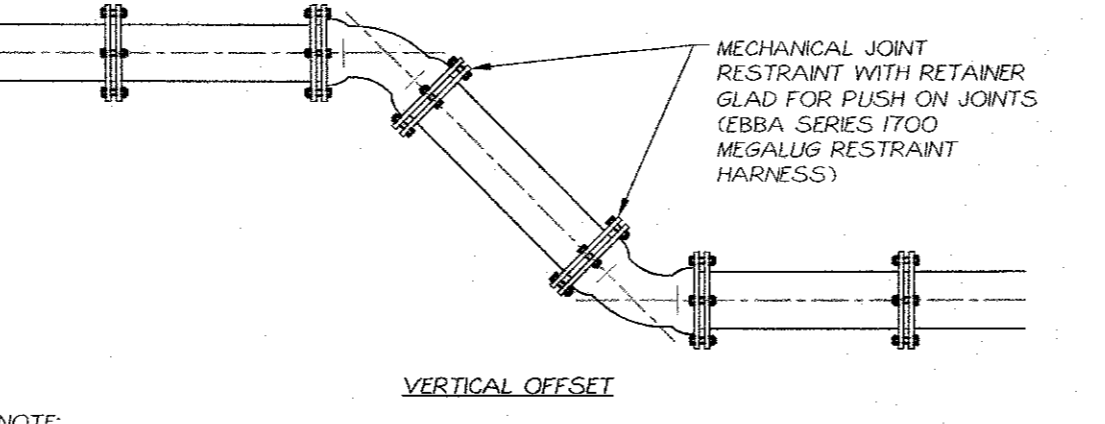
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

Water System Notes:

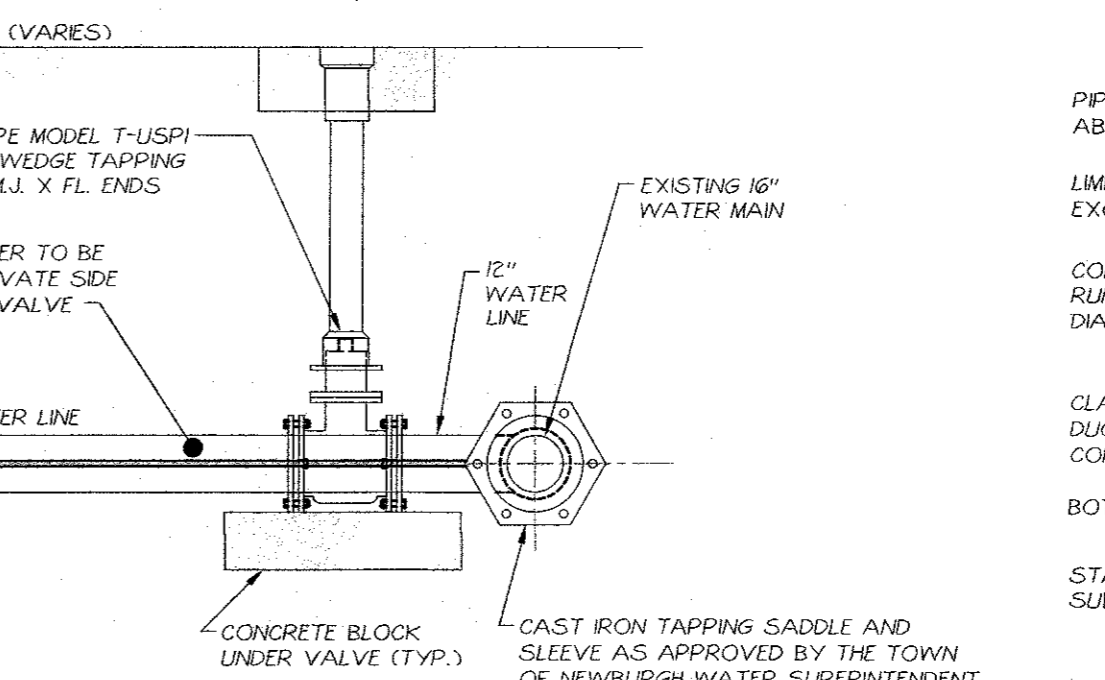
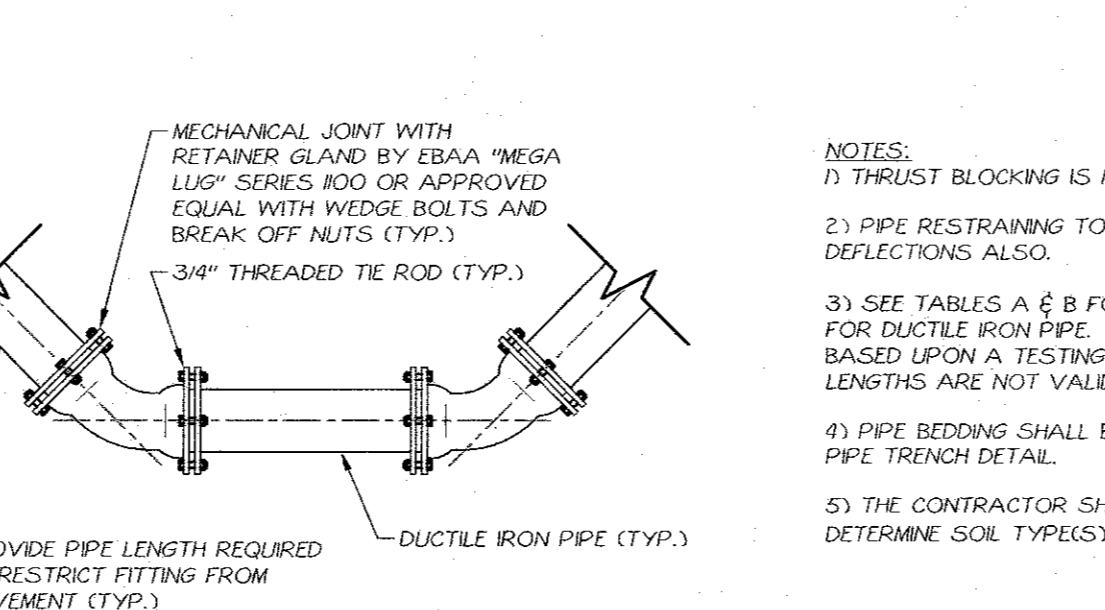
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSII/AWWA C900 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EWMA IRON MEGALUG SERIES 100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSII/AWWA C900 FOR DUCTILE IRON AND GRAY IRON FITTINGS OR ANSII/AWWA C912 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-605 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C509 SUCH AS MUELLER MODEL A-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO ISO PSI MINIMUM TESTINGS OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTERCLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-500N FOR 3/4 AND 1 INCH, MUELLER H-500N OR B-2500N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-502-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1030N FOR 3/4 AND 1 INCH AND MUELLER H-1030N FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



Potable Water Service Detail



Water Main Pipe Thrust Restraint Detail



Typical Water Valve Detail

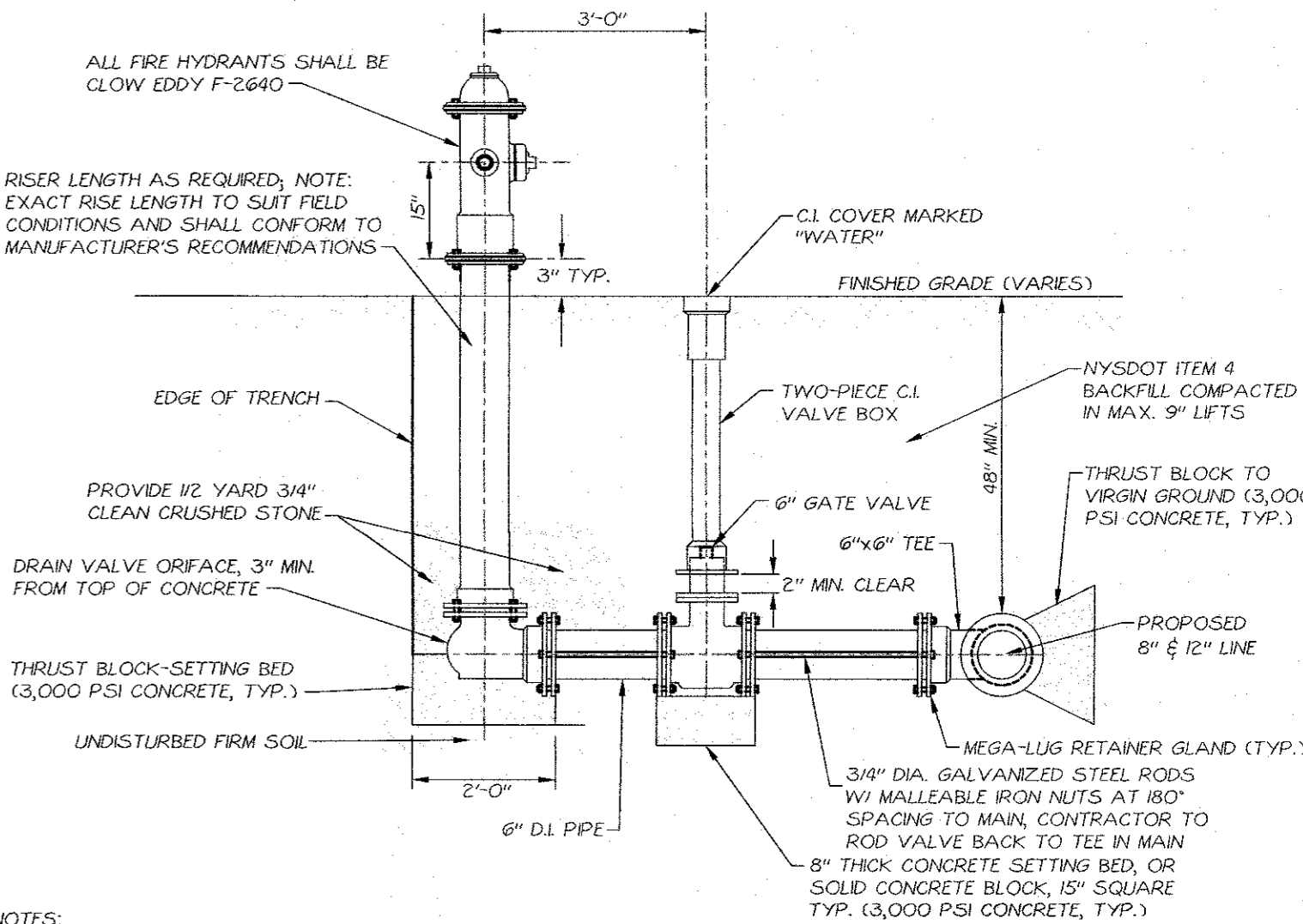
TABLE A - REQUIRED RESTRAINED LENGTH FOR 8" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)

PIPE SIZE	45 DEGREE						22.5 DEGREE						TEE (8X8)		DEAD END
	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	TEE (8X8)	TEE (8X8)	
CL	5	5	11	3	2	6	2	1	3	3	3	3	3	19	
ML	6	6	12	3	3	6	2	2	3	6	2	3	8	27	
GC, SC	5	5	10	2	2	5	1	1	3	2	2	2	2	19	
GM, SM	5	5	10	3	2	5	2	1	3	5	2	3	5	24	
SW, GW	4	4	8	2	2	4	1	1	2	1	1	2	1	19	
SP	5	5	10	3	2	5	2	1	3	4	2	3	4	23	

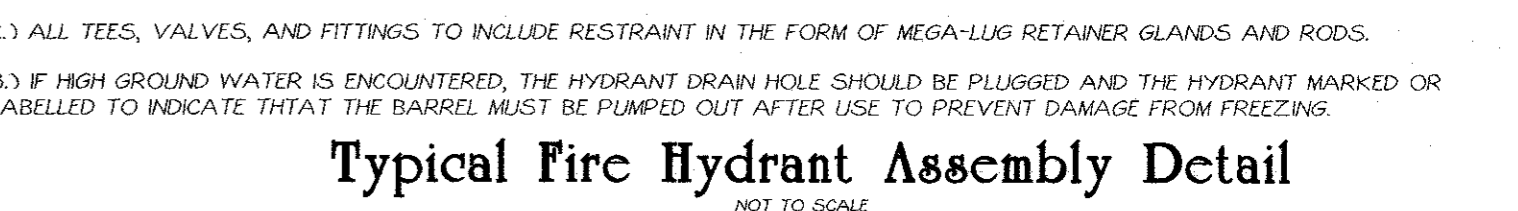
TABLE B - REQUIRED RESTRAINED LENGTH FOR 12" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)

PIPE SIZE	45 DEGREE						22.5 DEGREE						TEE (8X12)		TEE (12X8)	DEAD END
	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	TEE (8X12)	TEE (12X8)		
CL	7	6	15	4	3	8	2	2	4	15	6	2	6	27		
ML	8	7	16	4	3	8	2	2	4	24	12	2	12	38		
GC, SC	6	6	14	3	3	7	2	2	4	14	4	4	4	27		
GM, SM	7	6	14	4	3	7	2	2	4	20	9	4	9	34		
SW, GW	6	5	11	3	2	6	2	1	3	13	3	2	3	27		
SP	7	6	14	3	3	7	2	1	4	19	8	4	8	33		

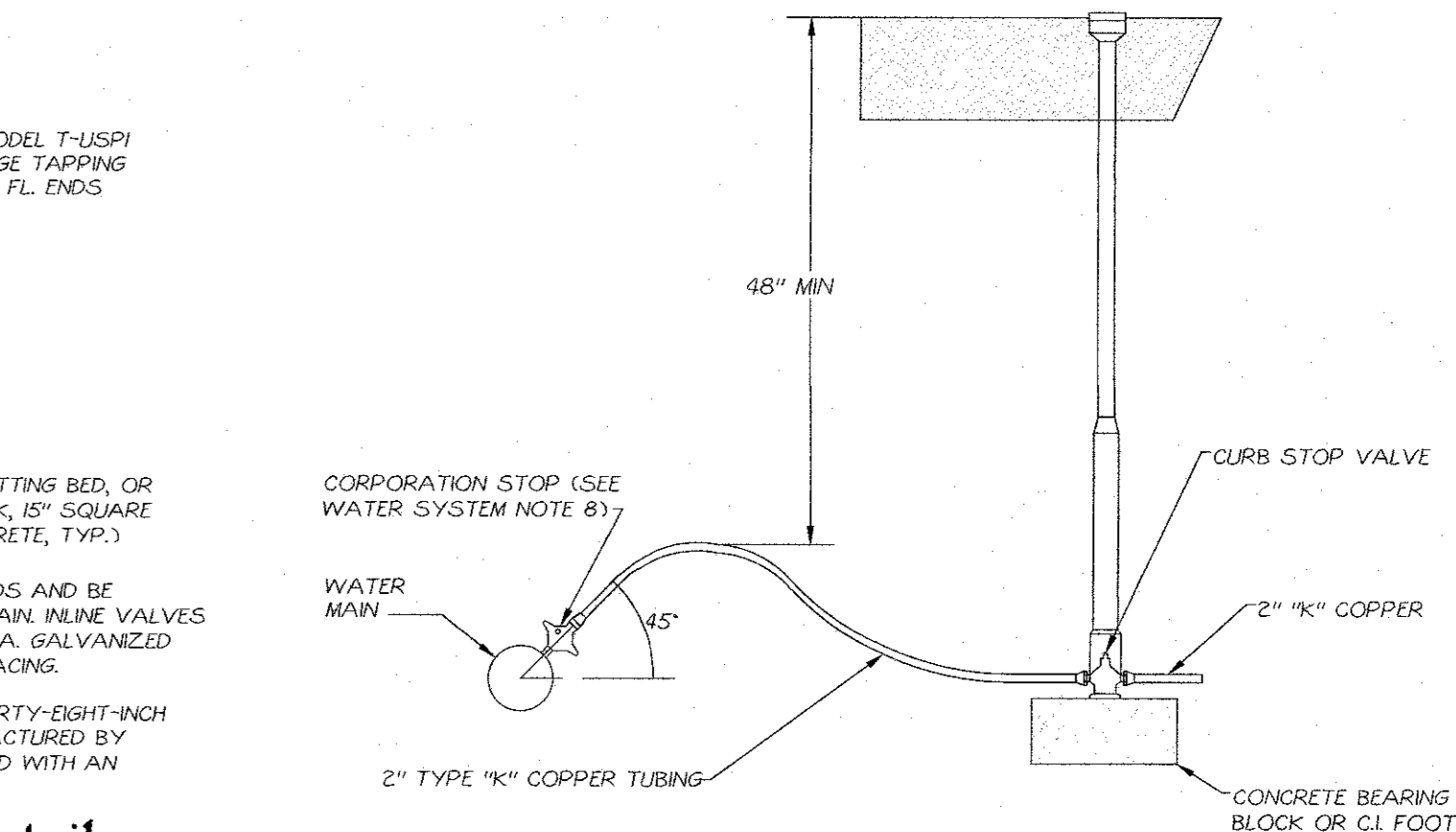
Water Main Pipe Restraint Tables



Typical Fire Hydrant Assembly Detail



Water Service Detail



Typical Water Pipe Bedding Detail

NO.	DATE	REVISION	BY
1	3-17	ENGINEER COMMENTS	LJM
2			

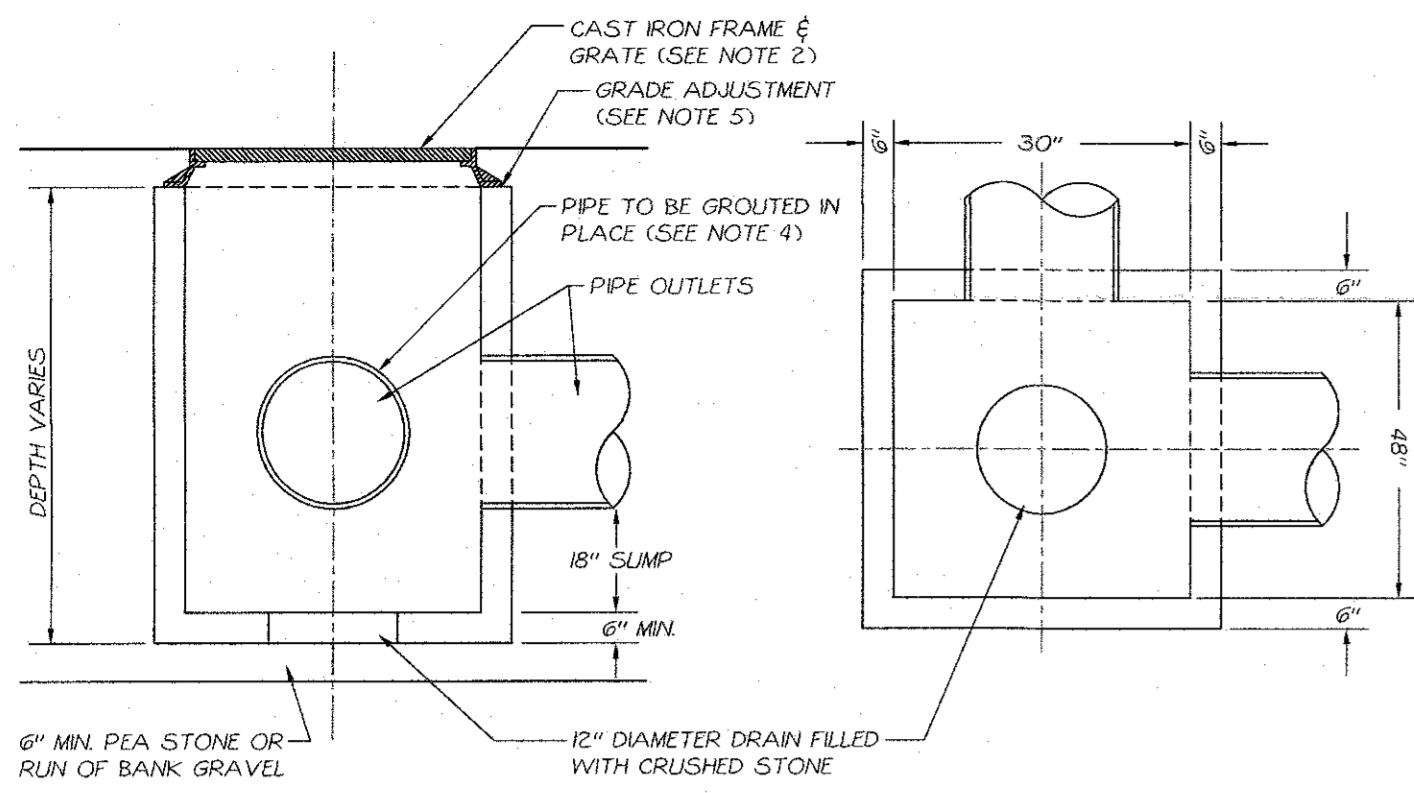
TOWN OF NEWBURGH PROJECT #2016-21

Water & Sewer Detail Sheet
for
RAM Hotels, Inc.

RECORD OWNER:
NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 8724, BLOCK 180
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK

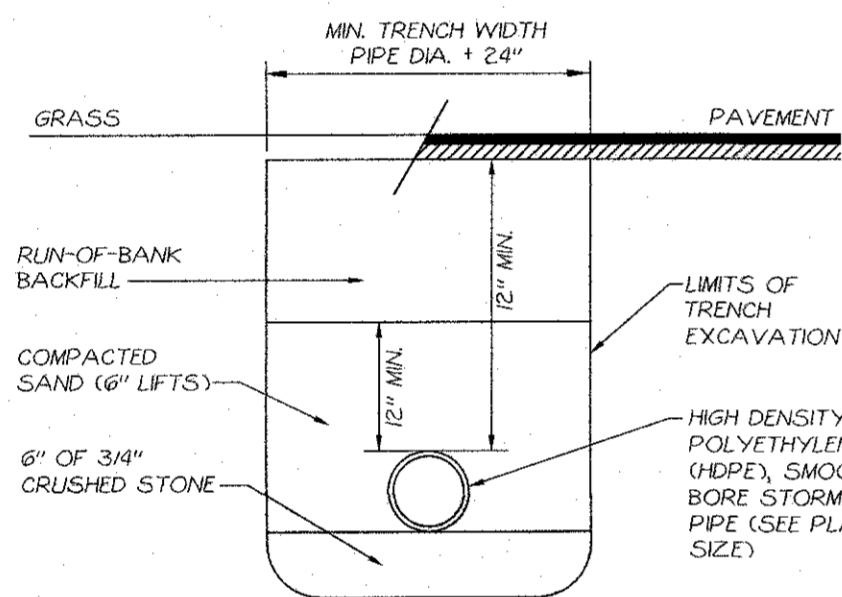
Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

DATE: _____ SHEET
DRAFTED BY: _____ 619
PROJECT: _____



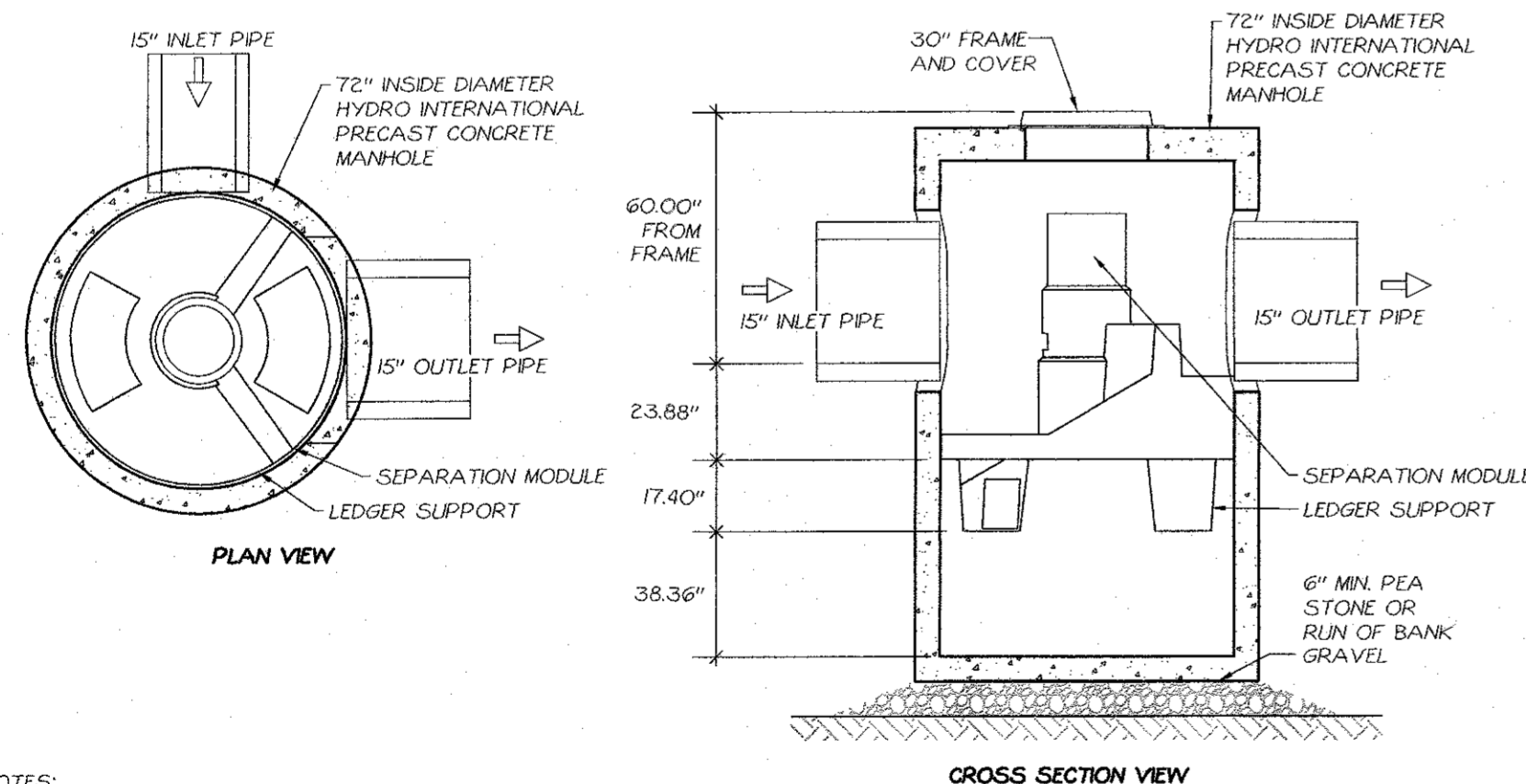
- NOTES:**
- 1) BASINS SHALL BE PRECAST CONCRETE CATCH BASIN, MODEL CB-30x48, AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, BULLVILLE, NY, OR APPROVED EQUAL.
 - 2) CATCH BASIN SHALL BE EQUIPPED WITH A FLAT TOP FRAME AND GRATE, MODEL GRATE-30x48. GRATES SHALL BE BICYCLE GRATES, FRAMES AND GRATES AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, BULLVILLE, NY, OR APPROVED EQUAL.
 - 3) STEPS SHALL BE PROVIDED 12" ON CENTER WHEN DEPTH OF BASIN EXCEEDS 4'-0".
 - 4) CONNECTIONS BETWEEN BASIN AND PIPE SHALL BE MADE BY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL.
 - 5) GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 2.5" SHALL BE MADE WITH BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIALS OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 6" SHALL BE MADE WITH COMBINATION OF PRECAST CONCRETE PAVERS AND BEDDING MATERIALS. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 12" SHALL BE MADE WITH CAST-IN-PLACE CONCRETE OR A COMBINATION OF PRECAST CONCRETE ADJUSTMENT ELEMENTS AND BEDDING MATERIALS.

Typical Catch Basin Detail
NOT TO SCALE



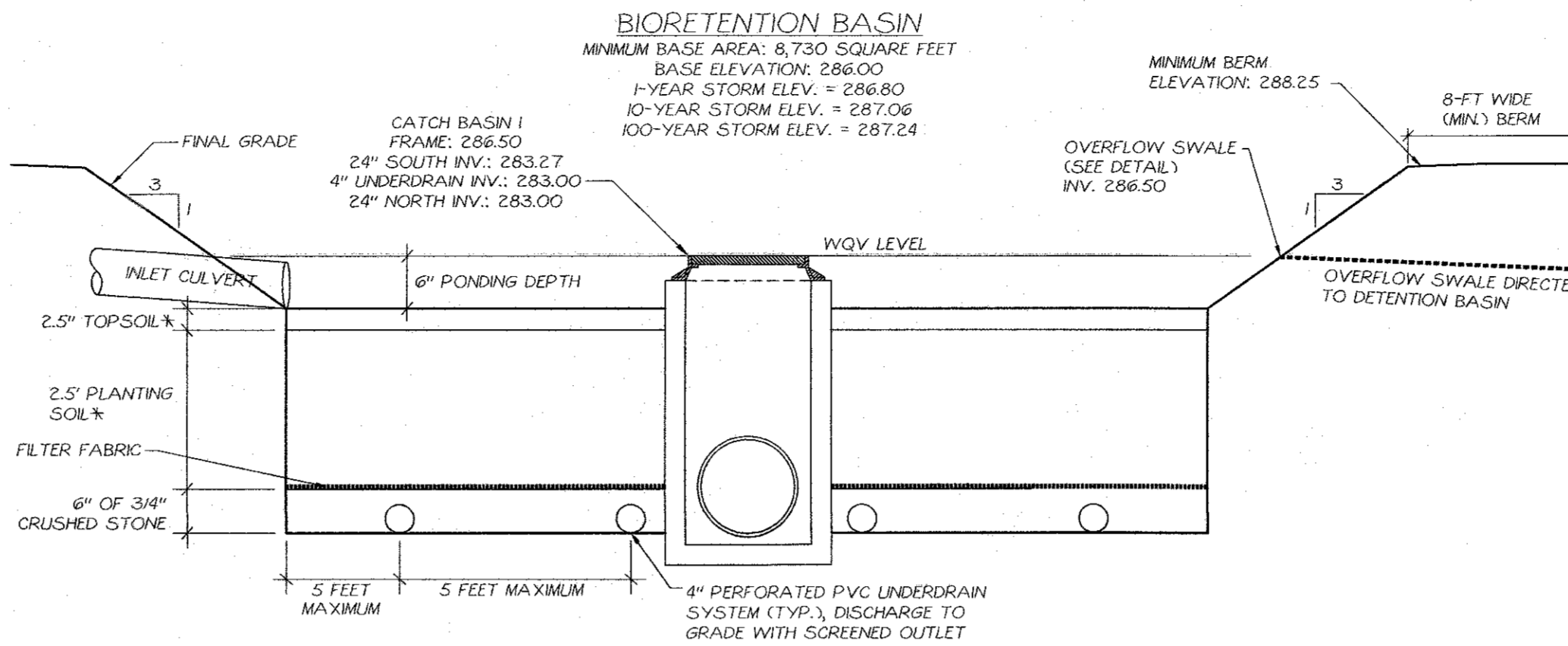
- NOTES:**
- 1) ALL STORM SEWER PIPING SHALL BE SMOOTH-BORE HIGH DENSITY POLYETHYLENE (HDPE), UNLESS OTHERWISE NOTED.
 - 2) STORM SEWER CULVERTS SHALL BE EQUIPPED WITH FLARED END SECTIONS AT ALL OPEN INLET/OUTLET LOCATIONS.

Typical Storm Sewer Trench Detail
NOT TO SCALE

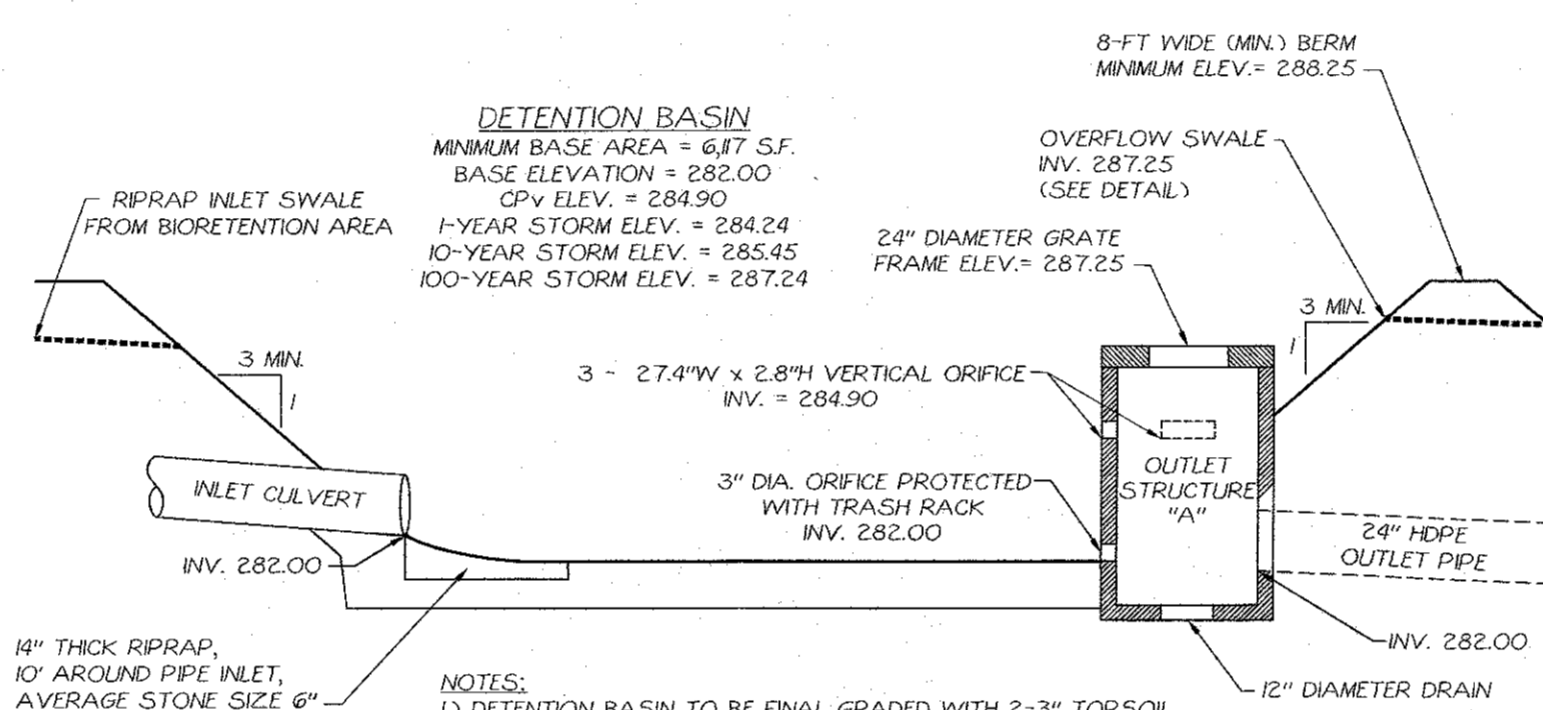


- NOTES:**
- 1) PROPOSED UNIT IS A HYDRO INTERNATIONAL FIRST DEFENSE HC STORMWATER TREATMENT DEVICE - MODEL: 6'-FT.
 - 2) DETAIL PROVIDED IS NOT INTENDED TO BE USED FOR CONSTRUCTION. CONSTRUCTION DRAWINGS TO BE PREPARED BY HYDRO INTERNATIONAL STORMWATER SOLUTIONS, 94 HUTCHINS DRIVE, PORTLAND, ME (207) 756-6200.
 - 3) CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
 - 4) CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIAMETER, AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.
 - 5) GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
 - 6) PRODUCT SPECIFICATIONS:
 - A. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
 - B. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF EXCAVATION (AREA AND DEPTH) AS SHOWN IN THE PROJECT PLANS AND WILL NOT EXCEED THE DIMENSIONS FOR THE DESIGN FLOW RATE OF 3.38 CFS.
 - C. THE TREATMENT SYSTEM SHALL REMOVE GREATER THAN OR EQUAL TO 90% OF TSS BASED ON THE TARGET PARTICLE SIZE (TPS) OF 106 MICRONS AND/OR 80% OF TSS BASED ON THE TPS OF 230 MICRONS AT 2.2 CFS AND 3.8 CFS, RESPECTIVELY.
 - D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ON-LINE FLOW RATES OF UP TO 32 CFS WITHOUT CAUSING UPSTREAM SURCHARGE CONDITIONS. A FULL-SCALE INDEPENDENT LABORATORY SCOUR TESTING SHALL DEMONSTRATE EFFLUENT CONTROL OF LESS THAN OR EQUAL TO 5 MG/L FOR ALL FLOWS UP TO 200% OF MFR-106.
 - E. THE TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE SILT AND SAND SIZE PARTICLES. ANALYSIS OF CAPTURED SEDIMENT FROM FULL-SCALE FIELD INSTALLATIONS SHALL DEMONSTRATE PARTICLE SIZES PREDOMINATELY IN THE 20-MICRON RANGE.

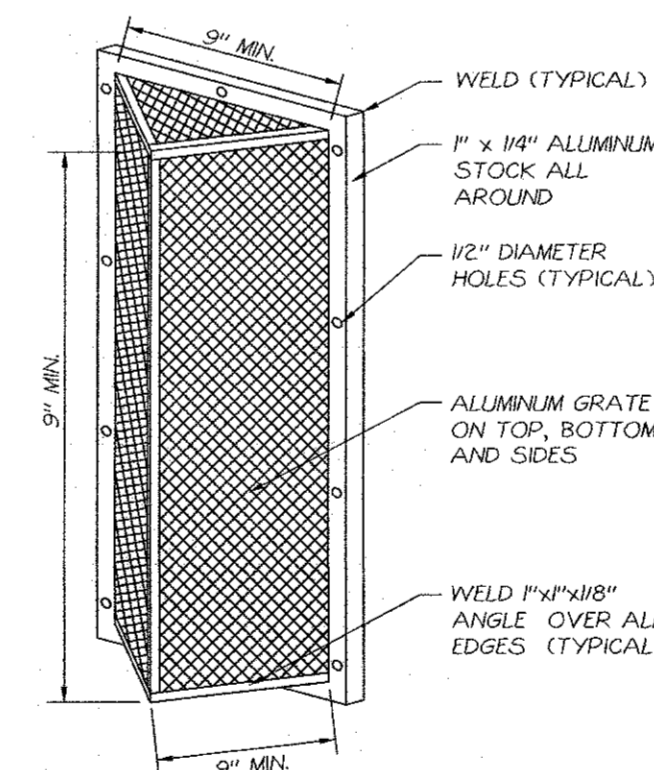
Typical Hydrodynamic Separator Detail
NOT TO SCALE



Bioretention Area Detail
NOT TO SCALE



Detention Basin 'A' Detail
NOT TO SCALE



- NOTES:**
- 1) TRASH RACK TO BE CENTERED OVER OPENING.
 - 2) TRASH RACK SHALL BE CONSTRUCTED FROM ALUMINUM.
 - 3) TRASH RACK SHALL BE INSTALLED A MINIMUM OF 2" BELOW THE BOTTOM OF THE ORIFICE SO AS TO NOT BLOCK THE ORIFICE.

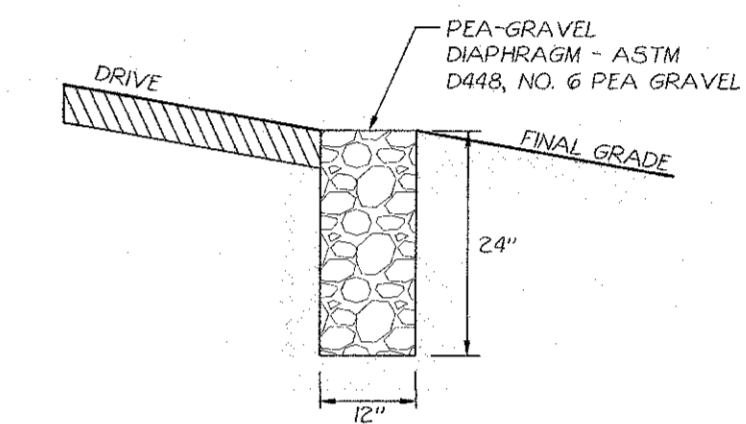
Trash Rack Detail
NOT TO SCALE

Permeable Soil Notes

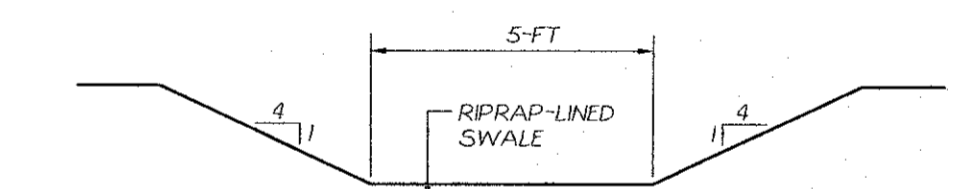
PERMEABLE SOIL NOTES:

1) PLANTING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM, OR A LOAM SAND MIX CONTAINING 35-60% SAND, BY VOLUME. THE CLAY CONTENT FOR THESE SOILS SHALL BE LESS THAN 25% BY VOLUME. SOILS SHALL FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 10 FEET PER DAY (0.5"HR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHALL BE IN LIFTS OF 12 TO 18" LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET). THE SOIL SPECIFICATIONS ARE AS FOLLOWS:

PARAMETER	VALUE
PH RANGE	5.5 TO 7.0
ORGANIC MATTER	15 TO 4.0%
MAGNESIUM	35 LBS. PER ACRE, MIN
PHOSPHORUS	75 LBS. PER ACRE, MIN
POTASSIUM	85 LBS. PER ACRE, MIN
SOLUBLE SALTS	500 PPM
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 60%

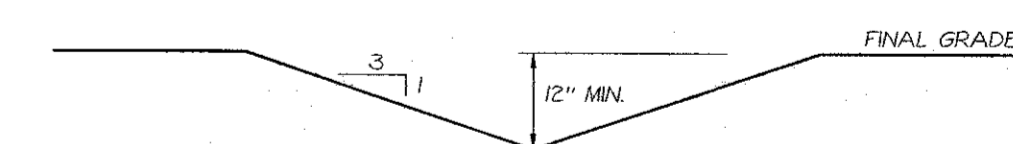


Gravel Diaphragm Detail
NOT TO SCALE



- NOTES:**
- 1) SWALE SHALL BE CONSTRUCTED WITH A SLOPE OF 3% TO THE OUTLET.
 - 2) SWALE SHALL BE STABILIZED WITH 6" RIPRAP, A MINIMUM OF 15" DEEP.

Overflow Swale Detail
NOT TO SCALE



- NOTES:**
- 1) SWALE SHALL BE STABILIZED WITH TOPSOIL, SEED, & MULCH IMMEDIATELY FOLLOWING CONSTRUCTION.

Diversion Swale Detail
NOT TO SCALE

NO.	DATE	REVISION	BY
1	3/17	DESIGN COMMENTS	LJM

ZACHARY A. PETERS PE #09398

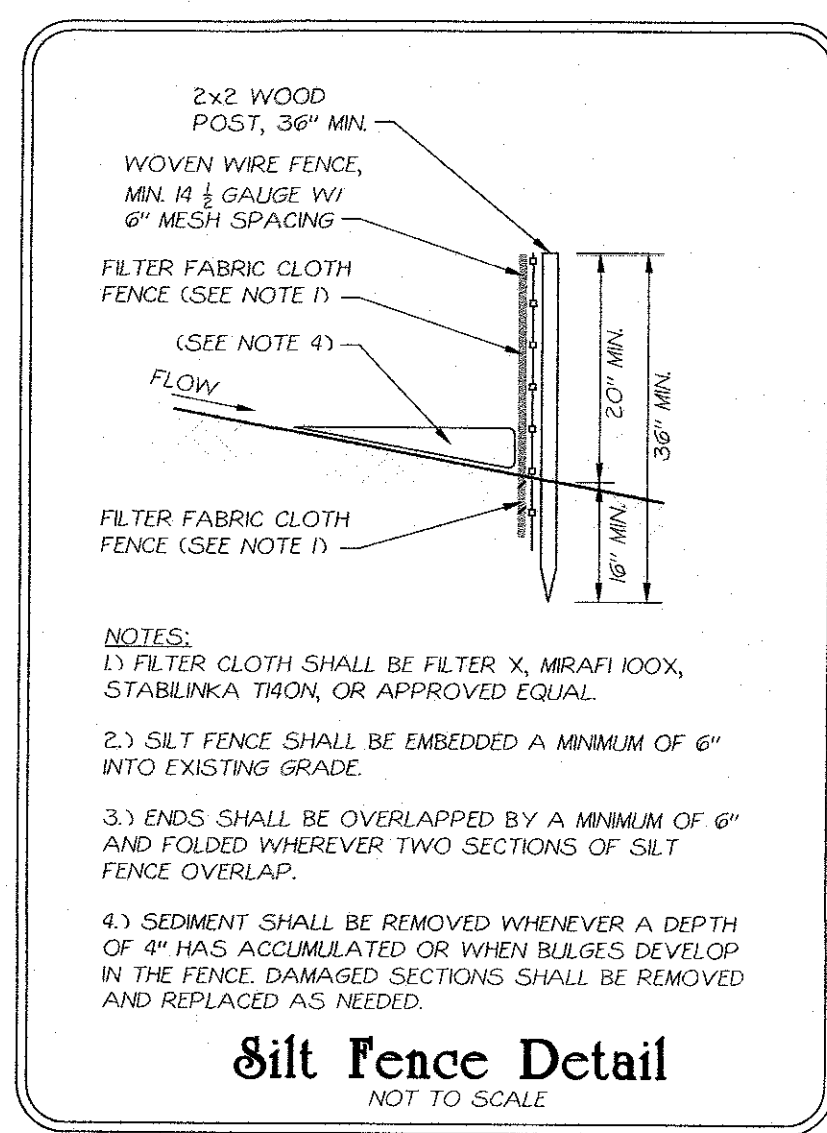
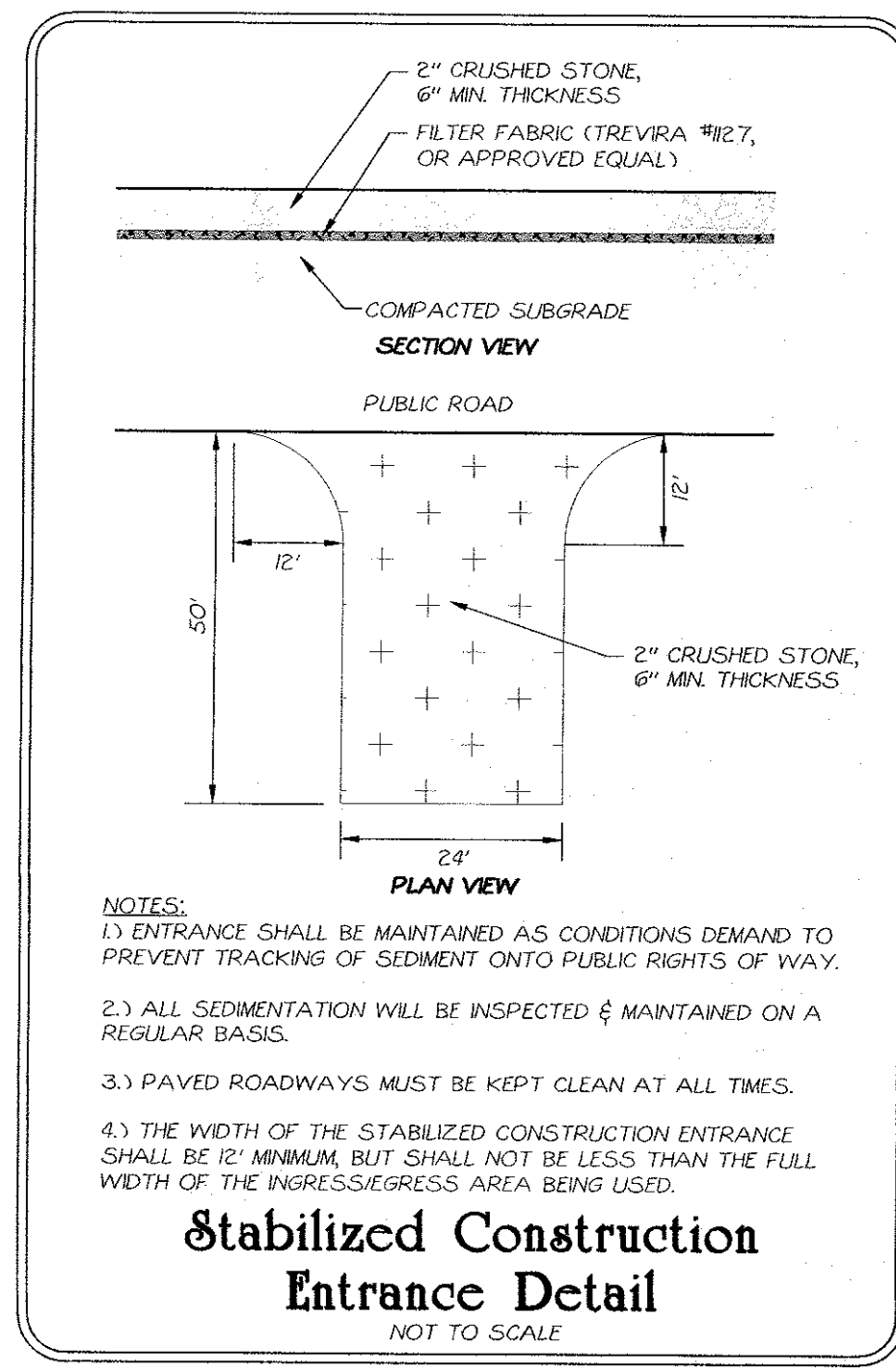
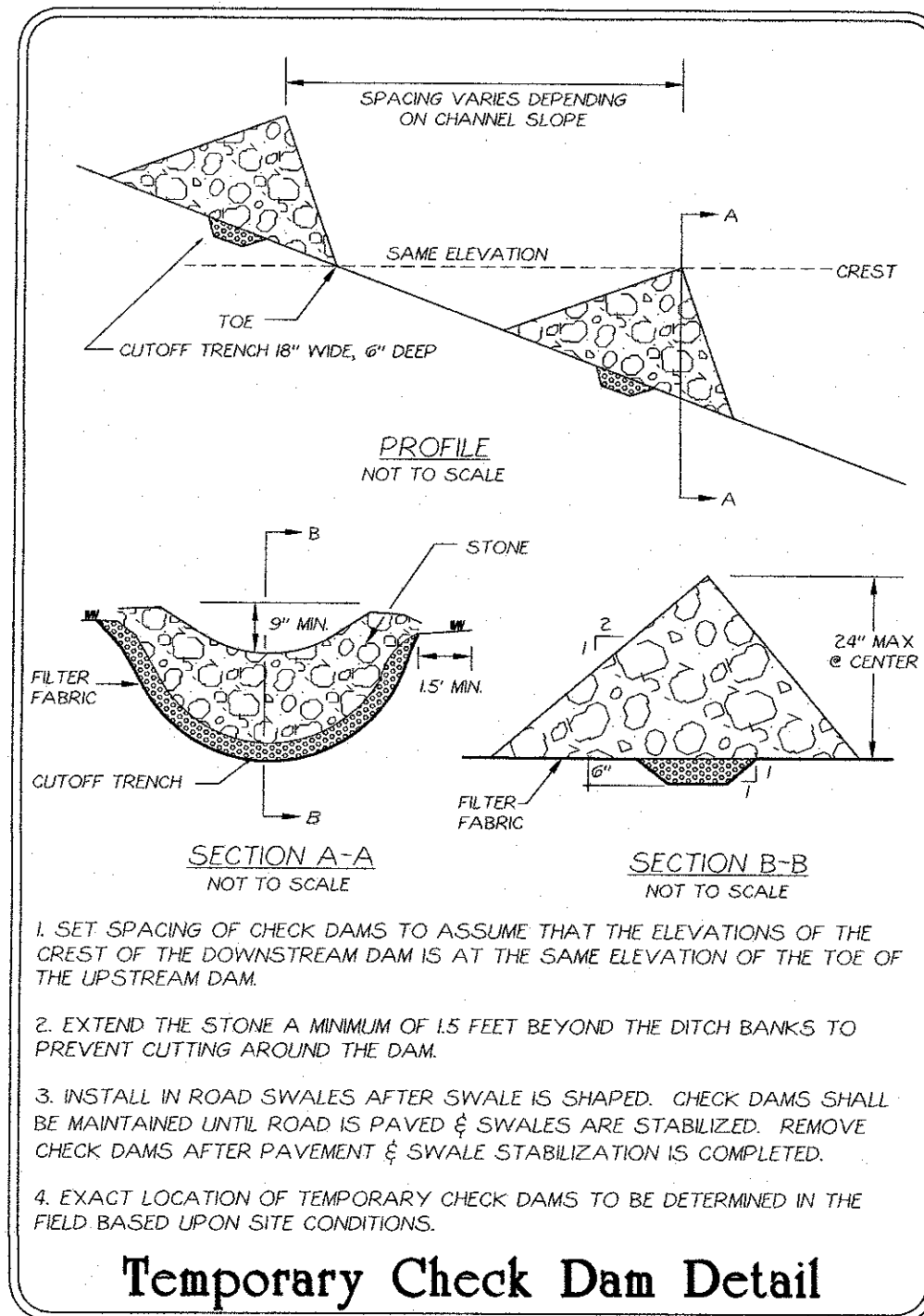
Stormwater Detail Sheet
for
RAM Hotels

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744-3620 F: (845)744-3805 MNTM@MNTM.CO

RECORD OWNER:

NEWBURGH AUTO PARK, LLC
TAX MAP REFERENCE:
SECTION 97, BLOCK 2, LOT 37
DEED REFERENCE:
LIBER 1724, BLOCK 160
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DATE: 4 FEB 2017 SHEET
DRAFTED BY: ZAP
PROJECT: 4015 719



Erosion & Sediment Control Notes:

- DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.
- THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 4.7 ACRES. AN ADDITIONAL 4.0 ACRES OF CLEARING IS PROPOSED FOR SITE VISIBILITY. NO MORE THAN FIVE (5) ACRES SHALL BE DISTURBED AT ANY ONE TIME.
- THE BIoretention AREA SHALL BE PROTECTED FROM SEDIMENT DURING CONSTRUCTION. THE LOW-FLOW OUTLET IN THE DIVERSION STRUCTURE SHALL BE TEMPORARILY PLUGGED DURING CONSTRUCTION TO PREVENT SEDIMENT ACCUMULATION WITHIN THE TREATMENT FACILITIES.

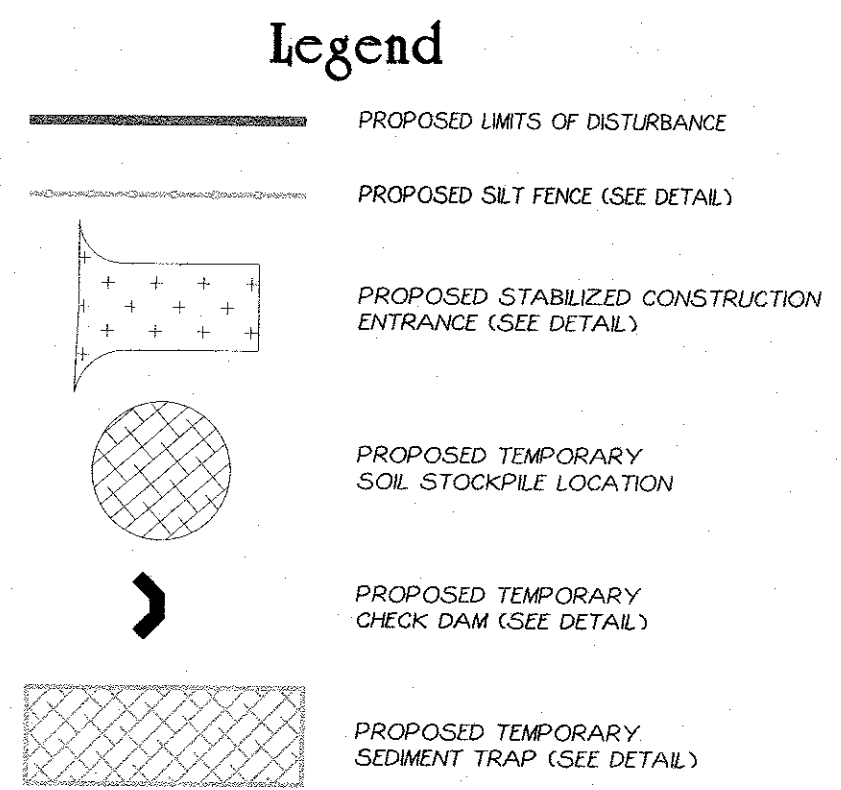
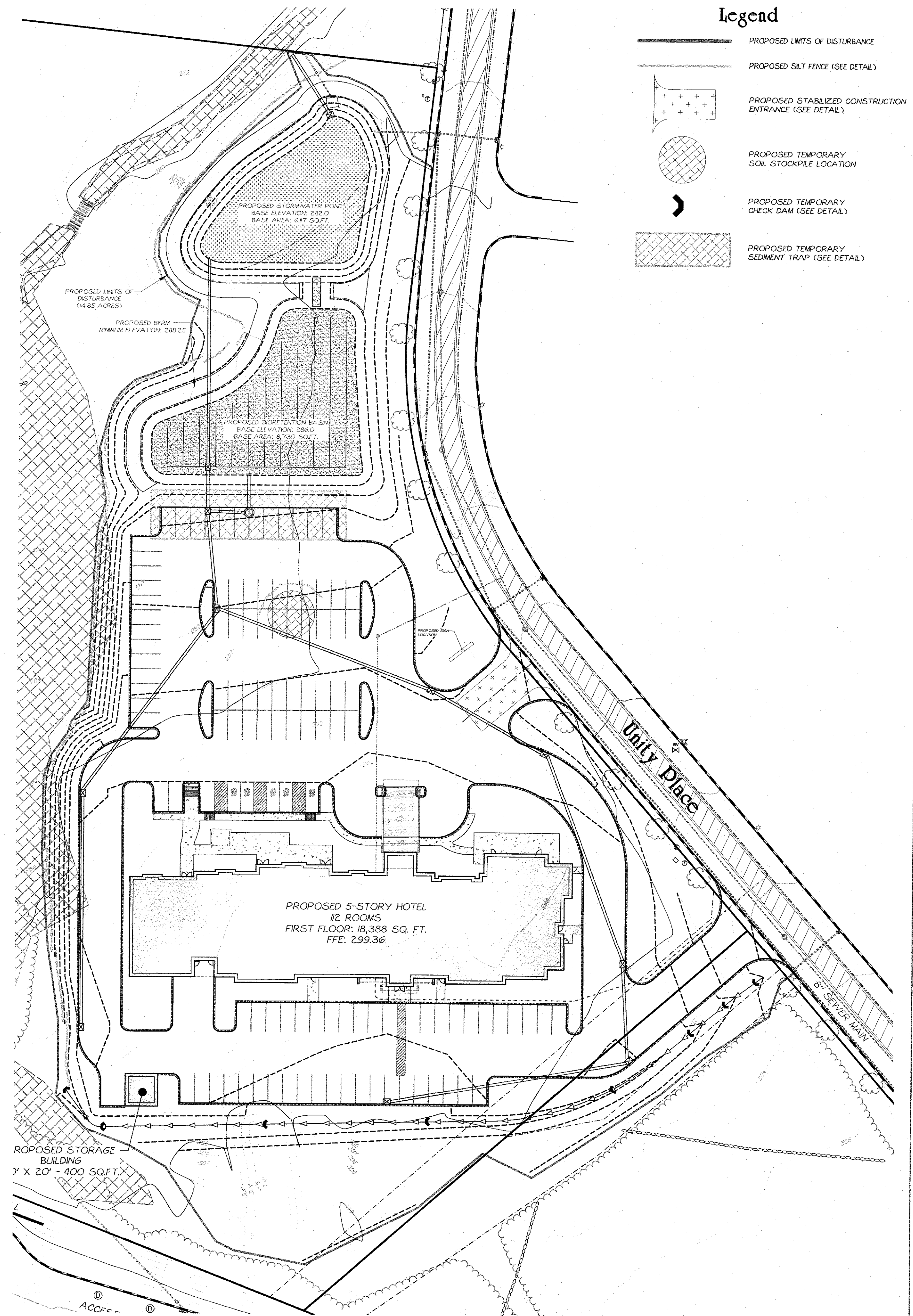
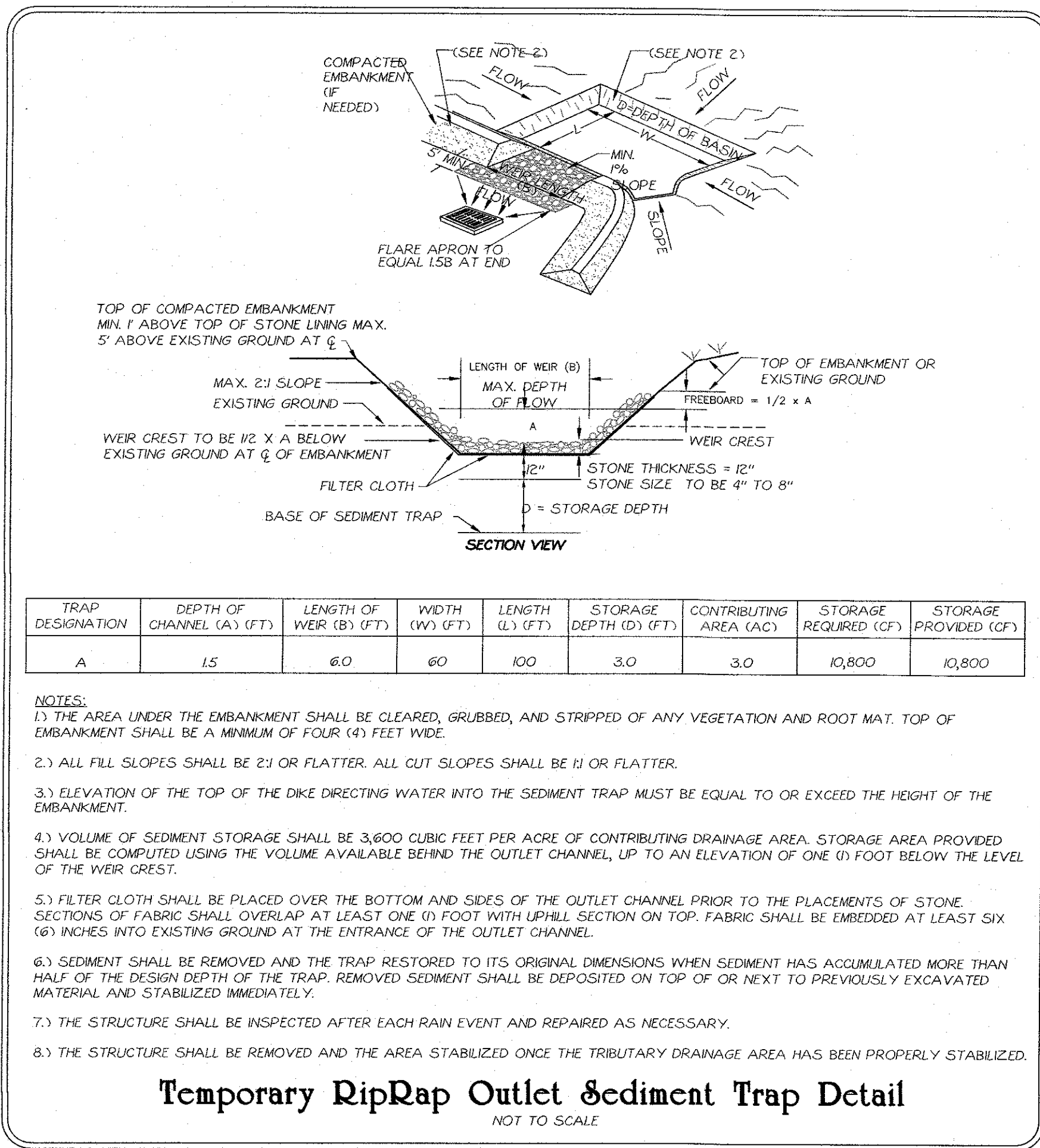
Soil Restoration Specifications

SOIL RESTORATION AS SPECIFIED IN THE CHART BELOW SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY-NO CHANGE IN GRADE	AERATE * AND APPLY 6 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (RESTORATION/COMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PREVIOUS AREA.	

*AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.

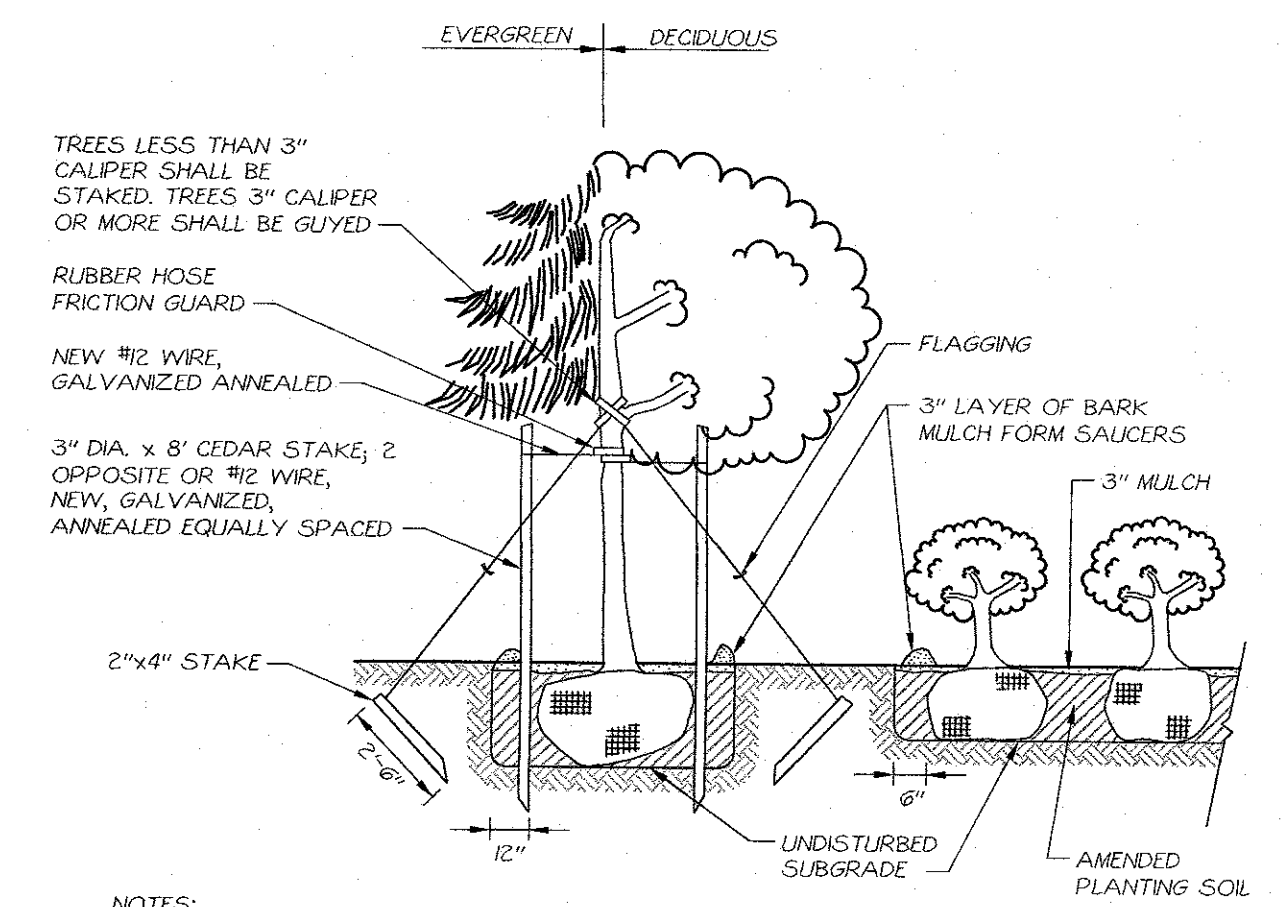
- FULL SOIL RESTORATION SPECIFICATIONS:**
- SOIL RESTORATION SHALL BE PERFORMED DURING THE LANDSCAPING PHASE OF THE PROJECT. SOIL RESTORATION SHALL INCLUDE THE FOLLOWING STEPS:
 - APPLY 3" OF COMPOST OVER SUBSOIL
 - TILL COMPOST INTO SUBSOIL TO A MINIMUM DEPTH OF 12"
 - REMOVE ALL STONEROCK MATERIAL GREATER THAN 4" IN SIZE
 - APPLY 6" OF TOPSOIL
 - VEGETATE IN ACCORDANCE WITH THE LANDSCAPING PLAN
 - COMPOST SHALL BE AGED AND FROM PLANT DERIVED MATERIALS, FREE OF WEEDS, SEEDS, WATER, AND DUST. COMPOST SHOULD PASS THROUGH A HALF INCH SCREEN AND HAVE SUITABLE PH FOR PLANT GROWTH.
 - MAINTENANCE SHALL INCLUDE THE FOLLOWING:
 - INSPECTIONS AFTER EACH STORM EVENT GREATER THAN HALF-INCH FOR THE FIRST SIX MONTHS.
 - RESEEDING OF BARE OR ERODING AREAS TO ESTABLISH A STABILIZED COVER.
 - WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, THEN PROVIDE A HALF INCH OF WATER PER WEEK.
 - VEGETATED AREAS SHALL BE KEPT FREE OF VEHICULAR AND FOOT TRAFFIC.
 - DOLLAR GENERAL LANDSCAPING NOTES SHALL APPLY IN CASES OF MORE STRINGENT REQUIREMENTS.



<p>Erosion & Sediment Control Detail Sheet for RAM Hotels</p> <p>ZAP</p>		<p>RECORD OWNER: NEWBURGH AUTO PARK, LLC TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37 DEED REFERENCE: LIBER 1724, BLOCK 1610 TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DATE: 4 FEB 2017 DRAFTED BY: ZAP PROJECT: 4015</p>
<p>1 3-17 NO. DATE</p>	<p>OWNER COMMENTS REVISION</p>	<p>LJM BY ZACHARY A. PETERS PE #093918</p>
<p>Mercurio-Norton-Tarolli-Marshall ENGINEERING & LAND SURVEYING PO BOX 166 45 MAIN STREET, PINE BUSH, NY 12566 P: (845)744-3620 F: (845)744-3805 MNTM@MNTM.CO</p>		<p>SHEET 8 / 9</p>

Planting Table

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	TYPE	HARDINESS ZONE	PLANTING SIZE	MATURE SIZE
CF	WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	7	DECIDUOUS TREES	5 - 9	15" - 20"	20' - 30'
Mp	RED FLOWERING CRABAPPLE	MALUS PURPUREA	6	DECIDUOUS TREES	3 - 8	15" - 20"	15' - 25'
Ar	RED MAPLE	ACER RUBRUM	25	DECIDUOUS TREES	3 - 9	15" - 20"	40' - 60'
Pg	NORWAY SPRUCE	PICEA ABIES	4	EVERGREEN TREES	3 - 7	8' - 10' HGT.	40' - 60'
Rt	RED TWIG DOGWOOD	CORNUS ALBA	52	DECIDUOUS SHRUBS	2 - 8	24" OR 3 GAL.	4' - 6'
ks	SHAMROCK INKBERRY	ILEX CRENATA "SHAMROCK"	99	EVERGREEN SHRUBS	4 - 9	24" - 30"	32" - 48"
Iv	WINTERBERRY	ILEX VERTICALLATA	6	DECIDUOUS SHRUBS	3 - 9	24" - 30"	6' - 10'
Vd	ARROWWOOD	VIBURNUM DENTATUM	3	DECIDUOUS SHRUBS	3 - 8	24" - 30"	5' - 9'



- NOTES:**
1. ALL PLANT MATERIAL SHALL BE HEALTHY AND FULL AT TIME OF PLANTING
 2. ALL TREES SHALL BE WARRANTED TO BE HEALTHY FOR 2-YEARS FROM TIME OF PLANTING
 3. ALL PROPOSED LANDSCAPE PLANTS SHALL CONFORM TO THE GUIDELINES SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS FOR NURSERY STOCK.
 4. TREE WRAPPING SHALL BE PROVIDED AROUND BASE OF TREE TO 8" ABOVE RUBBER HOSE (DECIDUOUS TREES ONLY).

Planting Detail NOT TO SCALE

Landscaping Notes

1. ALL DISTURBED AREAS NOT ENCUMBERED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, OR OTHER IMPERVIOUS COVER SHALL BE STABILIZED WITH BLUE GRASS BLEND, WITH THE FOLLOWING SPECIFICATIONS:
 25% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE)
 45% LOLIUM PERENE (PERENIAL RYEGRASS)
 60% POA PRATENSIS (KENTUCKY BLUEGRASS)
2. SEEDING SHALL BE PERFORMED AT A RATE OF FIVE (5) LBS. PER ACRE.
3. TOWN OF NEWBURGH LANDSCAPING REQUIREMENTS:
 SHADE / ORNAMENTAL TREE REQUIREMENTS = 1 TREE PER 8 PARKING SPACES
 NUMBER OF PROPOSED PARKING SPACES = 16
 NUMBER OF TREES REQUIRED = 16
 NUMBER OF TREES PROPOSED = 25 SHADE TREES
 15 ORNAMENTAL TREES
 38 TREES TOTAL

PROPOSED 5-STORY HOTEL
112 ROOMS
FIRST FLOOR: 18,388 SQ. FT.
FFE: 299.36

PROPOSED STORAGE BUILDING
20' X 20' - 400 SQ.FT.

Unity Place

8' SEV

NO.	DATE	REVISION	BY
1	3-17	ENGINEER COMMENTS	LJM

ZAP

Landscaping Detail Sheet for RAM Hotels

Mercurio-Norton-Tarolli-Marshall
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