

Full Size Site Plans

are available for viewing at the

Zoning Board of Appeals

Office located at

308 Gardnertown Road

Newburgh, NY

845-566-4901

Parking Requirements

| PROVIDED | VARIANCE REQUIRED |
|-------------------|-------------------|
| 3.48 AC | - |
| 628.9' | - |
| 412.9' | - |
| - | - |
| 81.2' | - |
| 70.0' | - |
| 98.8' | - |
| 552.8' | - |
| 389 SF | - |
| ±6.0% | - |
| 69'-4" | 19'-4" |
| ±31.0% | - |
| EST ROOMS X 1,500 | |

USE:

PARKING REQUIREMENTS:

PROPOSED BEDROOMS:

NUMBER OF EMPLOYEES:

REQUIRED PARKING SPACES:

NUMBER OF PARKING SPACES PROVIDED:

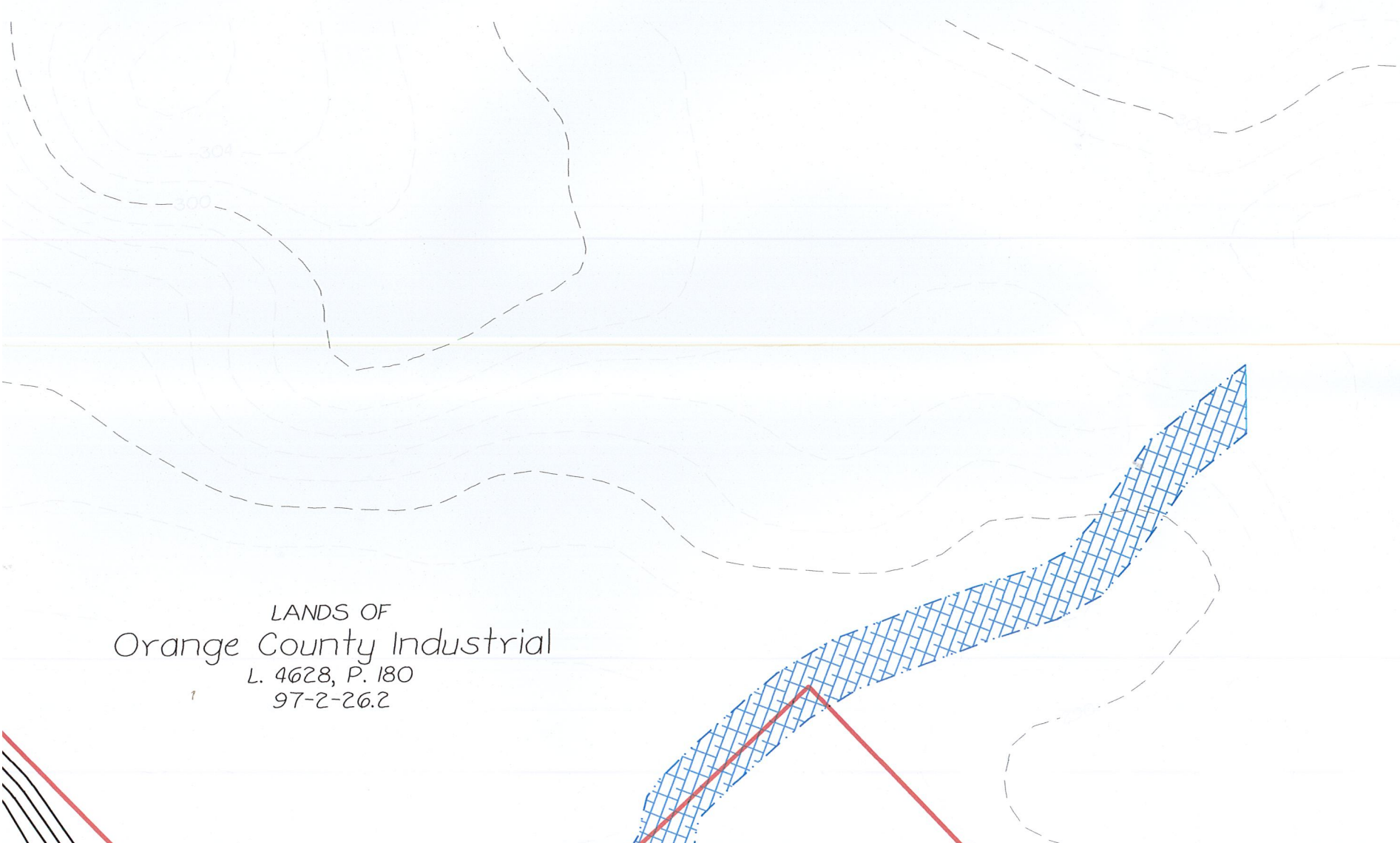
MINIMUM NUMBER OF HANDICAP PARKING SPACES PROPOSED:

HOTEL
1 PER BEDROOM PLUS 1 PER EACH 2 EMPLOYEES

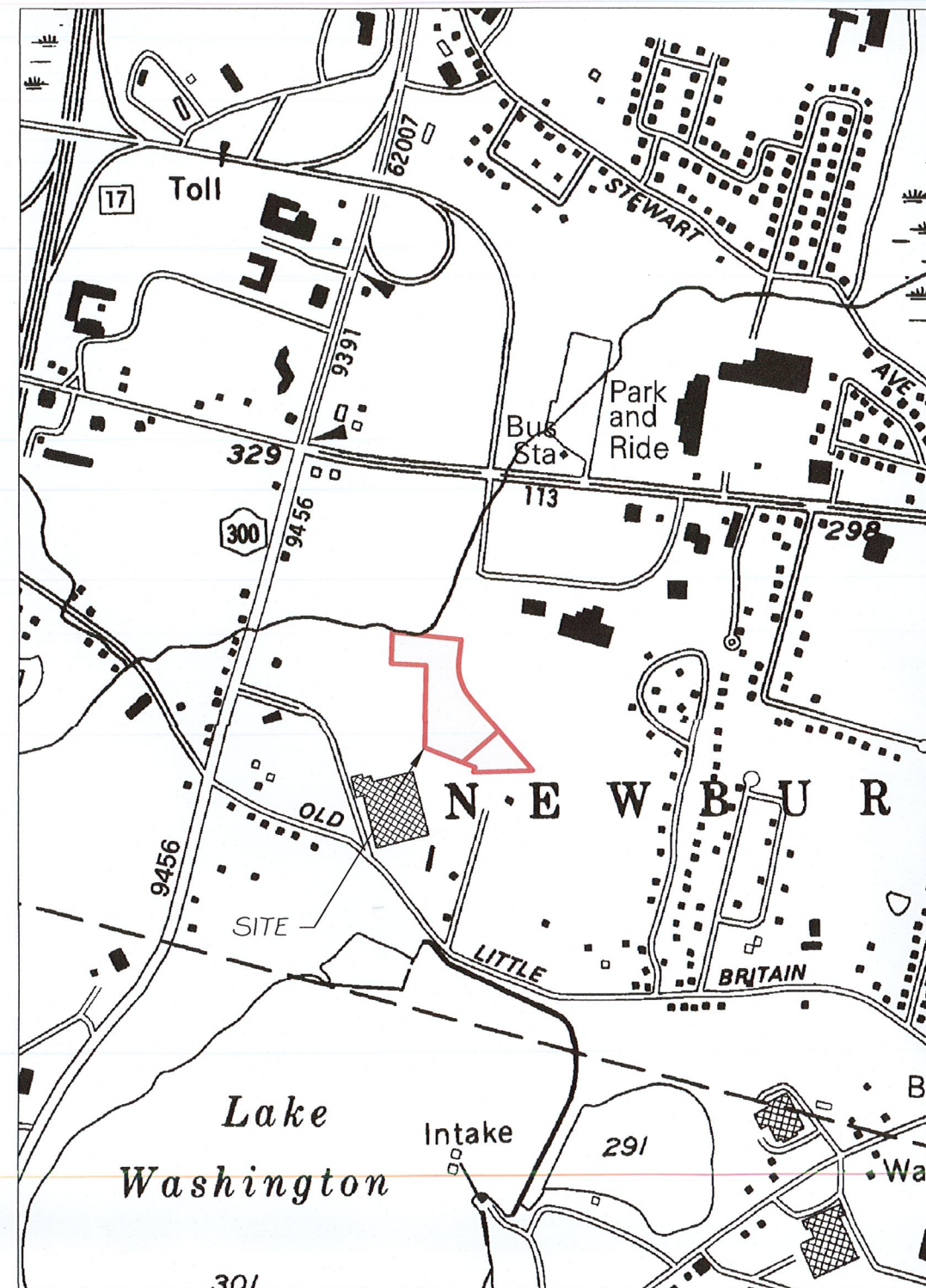
112 BEDROOMS
8 EMPLOYEES

112 BEDROOMS * 1 SPACES PER BEDROOM + 1 SPACES PER 2 EMPLOYEES = 116 PARKING SPACES

116
5



LANDS OF
Orange County Industrial
L. 4628, P. 180
97-2-26.2



Location Map

SCALE: 1" = 1,000'

Legend

- PROPERTY LINE & CORNER
- ADJOINERS PROPERTY LINE
- LIBER OF DEEDS, PAGE
- TAX MAP DESIGNATION (SECTION - BLOCK - LOT)
- EXISTING CONCRETE CURB
- EXISTING CONTOUR LINE

Zoning Legend: IB

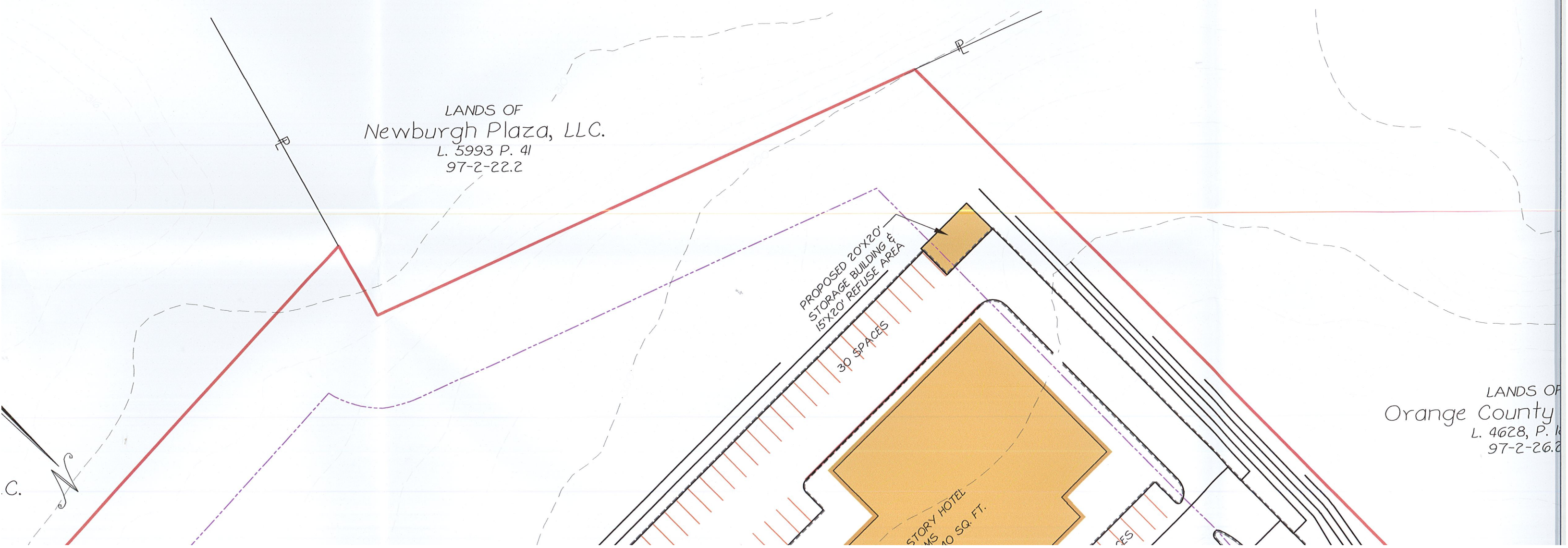
| | REQUIRED | PROVIDED | VARIANCE REQUIRED | USE: |
|-------------------------------------|------------|------------|----------------------|------------|
| MINIMUM LOT AREA | 5 ACRES | 8.48 AC | - | PARKING RE |
| MINIMUM LOT WIDTH | 200' | 628.9' | - | PROPOSED |
| MINIMUM LOT DEPTH | 200' | 412.9' | - | NUMBER OF |
| MINIMUM FRONTAGE | - | - | - | REQUIRED P |
| MINIMUM FRONT SETBACK | 50' | 81.2' | - | NUMBER |
| MINIMUM REAR SETBACK | 60' | 70.0' | - | MINIMUM |
| MINIMUM SIDE SETBACK (ONE) | 50' | 98.8' | - | |
| MINIMUM SIDE SETBACK (BOTH) | 100' | 552.8' | - | |
| MAXIMUM DWELLING UNITS PER ACRE (1) | 165,000 SF | 369,389 SF | - | |
| LOT BUILDING COVERAGE | 25% | ±6.0% | - | |
| MAXIMUM BUILDING HEIGHT | 50' | 69'-4" | 19'-4" | |
| MAXIMUM LOT COVERAGE | 60% | ±31.0% | - | |

(1) MINIMUM 1,500 SQUARE FEET OF LOT AREA PER GUEST ROOM. 112 GUEST ROOMS X 1,500 SQUARE FEET = 168,000 SQUARE FEET

ULY
&
ICE

LANDS OF
Newburgh Plaza, LLC.
L. 5993 P. 41
97-2-22.2

LANDS OF
Orange County
L. 4628, P. 1
97-2-26.2

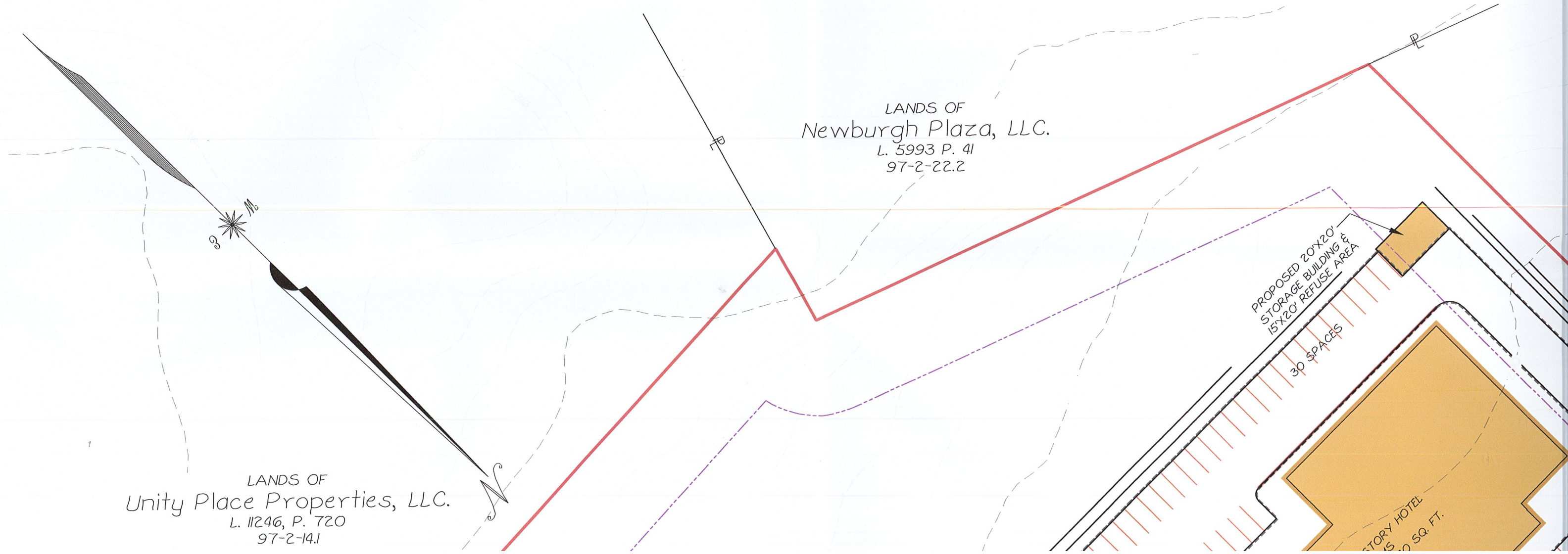


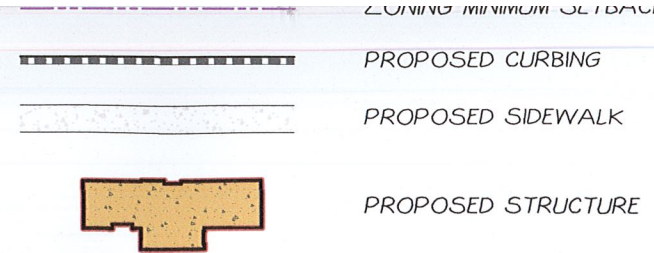
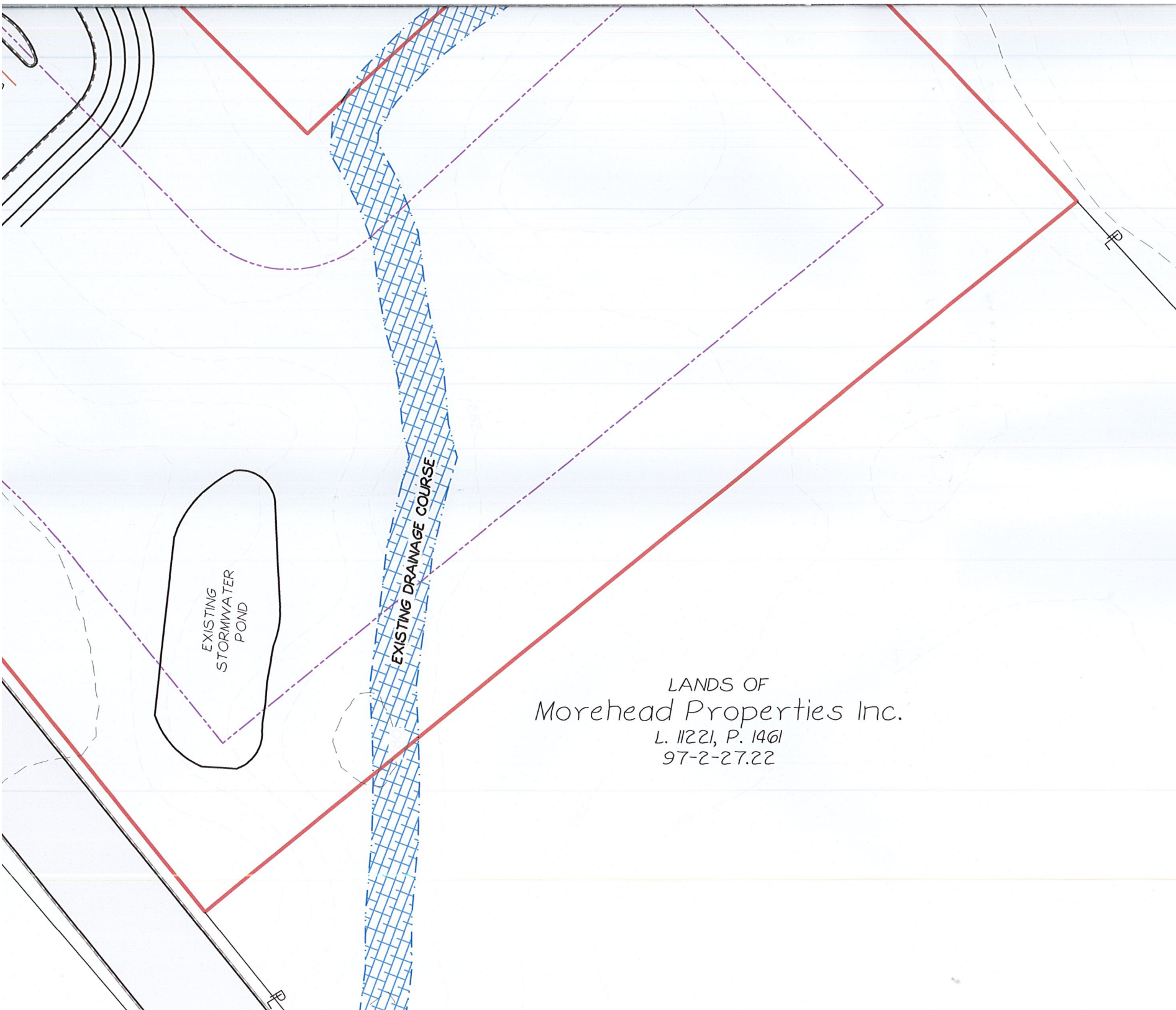
C.

Notes:

- 1.) THE RECORD OWNER OF TAX MAP PARCEL 97-2-37 (8.50 ACRES) IS:
NEWBURGH AUTO PARK PLACE, LLC.
800 AUTO PARK PLACE
NEWBURGH, NY 12550
- 2.) THE APPLICANT FOR THE SITE PLAN IS:
RAM HOTELS, INC
1600 CENTRAL AVE.
ALBANY, NY 12205-2404
- 3.) BOUNDARY INFORMATION TAKEN FROM MAP TITLED "SUBDIVISION & LOT LINE CHANGE EXISTING CONDITIONS FOR WEBB, YU, TIGHE", DATED JULY 9, 2001, LAST REVISED OCTOBER 31, 2001; AS PREPARED BY EUSTANCE & HOROWITZ, P.C. MAP IS REFERENCED AS ORANGE COUNTY CLERK'S OFFICE FILED MAP NUMBER 236-01, FILED ON NOVEMBER 7, 2001.
- 4.) TOPOGRAPHY BASED UPON ORANGE COUNTY WATER AUTHORITY TOPOGRAPHY PREPARED BASED UPON 2004 AERIAL LIDAR.
- 5.) WATER, SEWER, AND GAS SERVICES IN ADDITION TO STORMWATER FACILITIES (CATCH BASINS, STORMWATER TREATMENT AND DETENTION BASIN) WILL BE SHOWN ON A DETAILED SITE PLAN THAT WILL BE SUBMITTED TO THE PLANNING BOARD IN THE FUTURE.
- 6.) PROPOSED HOTEL WILL CONNECT TO EXISTING WATER, SEWER, ELECTRICITY, GAS, CABLE TV, AND DATA AVAILABLE IN UNITY PLACE.

| |
|--|
| MINIMUM LOT AREA |
| MINIMUM LOT WIDTH |
| MINIMUM LOT DEPTH |
| MINIMUM FRONTAGE |
| MINIMUM FRONT SETBACK |
| MINIMUM REAR SETBACK |
| MINIMUM SIDE SETBACK (ONE) |
| MINIMUM SIDE SETBACK (BOTH) |
| MAXIMUM DWELLING UNITS PER ACRE (1) |
| LOT BUILDING COVERAGE |
| MAXIMUM BUILDING HEIGHT |
| MAXIMUM LOT COVERAGE |
| (1) MINIMUM 1,500 SQUARE FEET OF LOT SQUARE FEET = 168,000 SQUARE FT. |





Zoning Analysis: Section 185-27

| | |
|---|--|
| C. SITE PLAN STANDARDS | |
| (1) SITE SHALL HAVE PRINCIPAL FRONTAGE ON A STATE OR COUNTY HIGHWAY | PARCEL FRONTS ONLY ON UNITY PLACE (TOWN ROAD) - VARIANCE REQUIRED |
| D. SUPPLEMENTARY REGULATIONS | |
| (1) HOTEL AND MOTEL UNITS SHALL NOT CONTAIN KITCHEN FACILITIES OF ANY TYPE IN MORE THAN 25% IN A PARTICULAR HOTEL OR MOTEL COMPLEX; SHALL NOT BE USED AS APARTMENTS FOR NONTRANSIENT TENANTS; AND SHALL NOT BE CONNECTED BY INTERIOR DOORS IN GROUPS OF MORE THAN TWO. | NO KITCHEN FACILITIES WILL BE IN ANY HOTEL ROOMS. ALL SUITES WILL HAVE MICROWAVE UNITS. |
| (2) EACH HOTEL OR MOTEL ROOM SHALL HAVE AN AREA OF NOT LESS THAN 300 SQUARE FEET. EACH HOTEL OR MOTEL UNIT SHALL HAVE A BATH OR SHOWER FACILITY, ONE TOILET FACILITY AND A SINK. | EACH HOTEL ROOM WILL EXCEED 500 SQUARE FEET AND WILL HAVE A BATH OR SHOWER, TOILET, AND SINK |
| (3) THE FOLLOWING ACCESSORY USES MAY BE PERMITTED: (A) ONE APARTMENT FOR THE RESIDENCE OF THE MANAGER OR CARETAKER AND HIS OR HER FAMILY. | NO MANAGER OR CARETAKER APARTMENT IS PROPOSED |
| (B) ONE COFFEE SHOP FOR HOTELS AND MOTELS WITH NO MORE THAN 100 ROOMS. IN ADDITION TO A COFFEE SHOP, HOTELS OR MOTELS WITH MORE THAN 100 ROOMS ARE PERMITTED A RESTAURANT WITH BAR FACILITIES, WHICH MAY BE LOCATED EITHER IN THE PRINCIPAL BUILDING OR IN AN ACCESSORY BUILDING. | A SMALL BREAKFAST AREA AND FOOD PREPARATION AREA WILL BE PROVIDED ON THE MAIN FLOOR OF THE HOTEL |
| (C) AMUSEMENT OR SPORTS FACILITIES FOR THE USE OF THE HOTEL OR MOTEL GUESTS, INCLUDING SWIMMING POOLS, CHILDREN'S PLAYGROUNDS, TENNIS AND OTHER GAME COURTS AND GAME OR RECREATION ROOMS. | SWIMMING POOL AND EXERCISE ROOM WILL BE PROVIDED |
| (D) LOBBY AREA AND OFFICE, BOTH OF WHICH MUST BE PROVIDED FOR ANY HOTEL OR MOTEL. | LOBBY AND OFFICE AREAS WILL BE PROVIDED |
| (E) MEETING OR CONFERENCE ROOMS AND BANQUET FACILITIES. | A MEETING ROOM WILL BE INCORPORATED IN THE HOTEL |
| (F) MOTOR VEHICLE RENTAL AGENCY | LESS THAN 10 VEHICLES WILL BE AVAILABLE FOR RENTAL |
| (4) ALL HOTELS AND MOTELS SHALL BE EQUIPPED WITH SPRINKLERS AND FIRE ALARM SYSTEMS. | SPRINKLERS WILL BE PROVIDED WITHIN THE HOTEL |

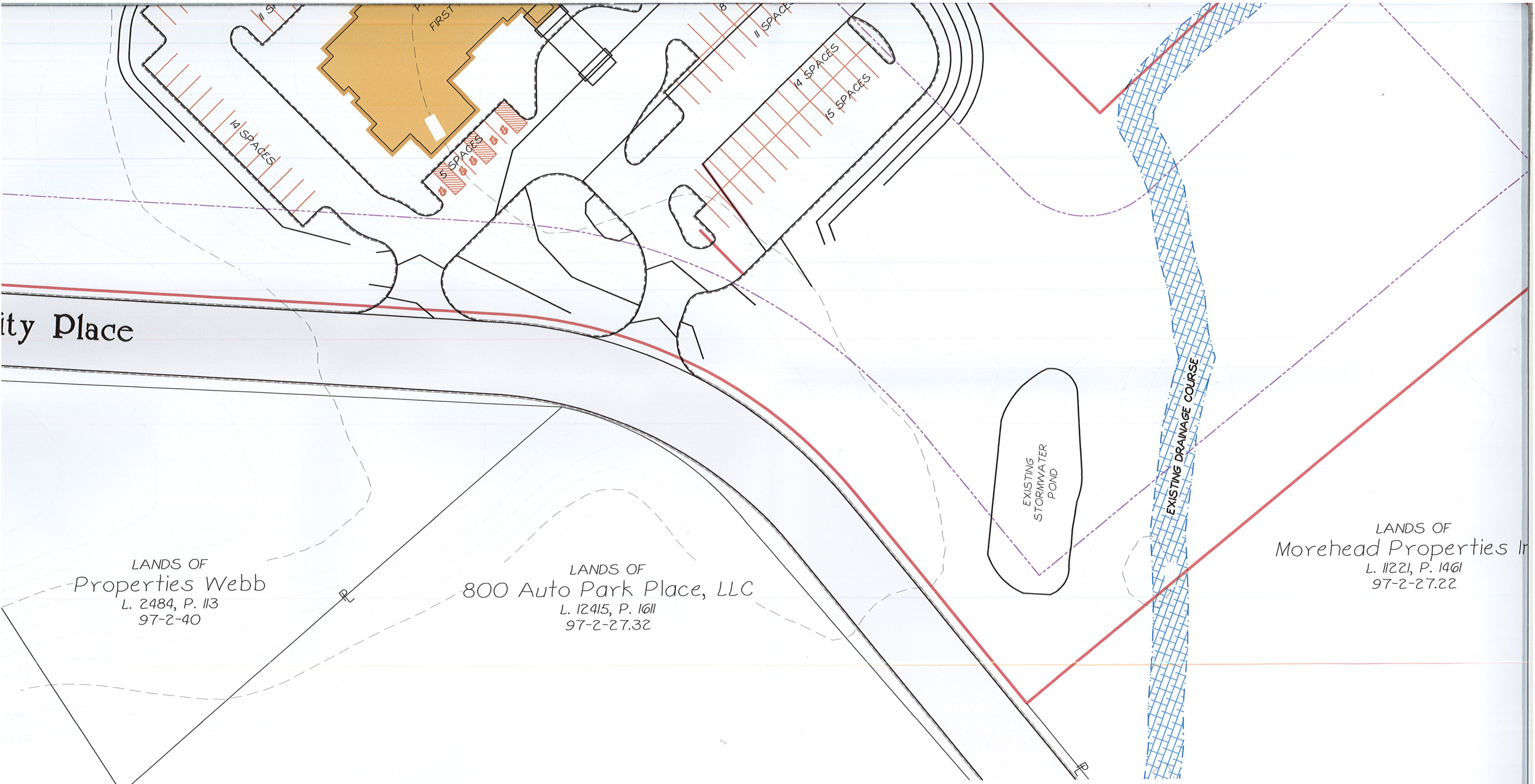
Total Area = 8.48 Acres

Site Plan for RAM Hotels, Inc.

RECORD OWNER: NEWBURGH AUTO PARK, LLC; 800 AUTO PARK PLACE, NEWBURGH, NY 12550
DEED REFERENCE: LIBER 11724, PAGE 1610
TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37

**Situate in the Town of Newburgh
Ornange County, New York State**

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------|-----|
| 1 | 7-29-16 | BUILDING INSPECTOR COMMENTS | LJM |



LANDS OF
Properties Webb
L. 2484, P. 113
97-2-40

LANDS OF
800 Auto Park Place, LLC
L. 12415, P. 1611
97-2-27.32

LANDS OF
Morehead Properties Inc
L. 11221, P. 1461
97-2-27.22

| | | |
|-----|---------|--|
| | | |
| 1 | 7-29-16 | |
| NO. | DATE | |

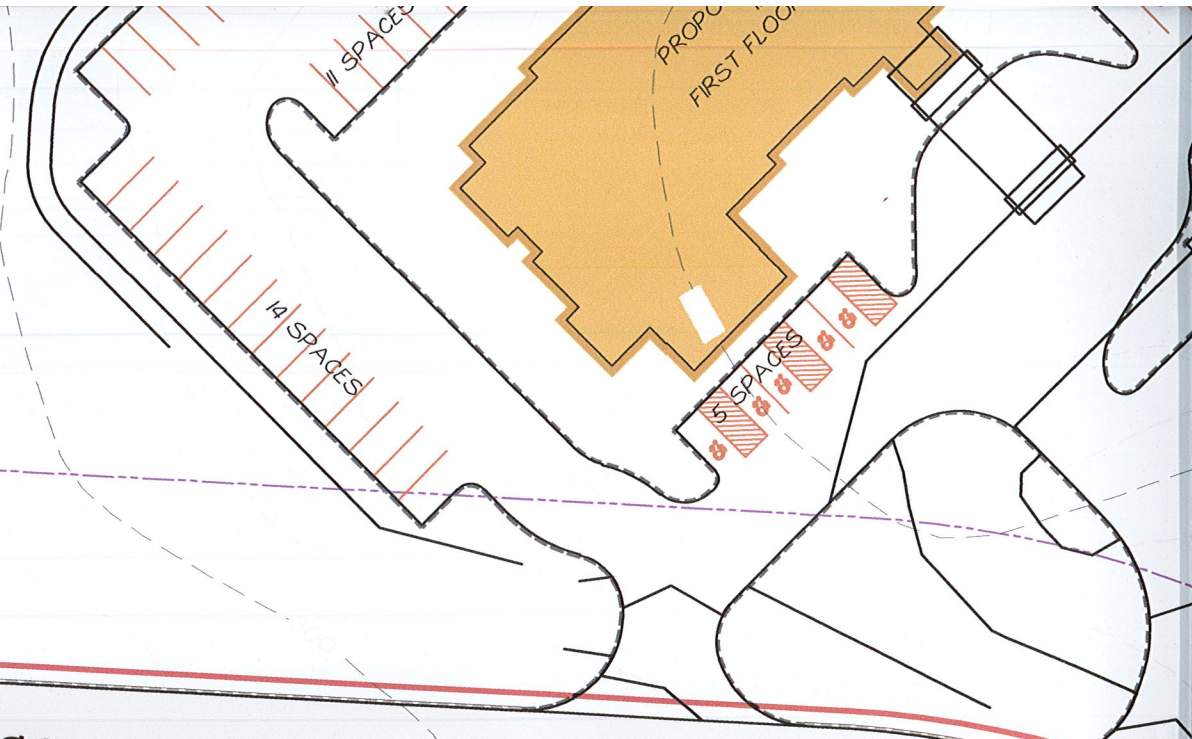
Unity Place

LANDS OF
Orange County Industrial
L. 4628, P. 180
97-2-276.2

LANDS OF
Orange County Industrial
L. 4628, P. 180
97-2-13.22

LANDS OF
Properties Webb
L. 2484, P. 113
97-2-40

LANDS OF
800 Auto Park P
L. 12415, P. 1611
97-2-27.32





Hilton Garden Inn®

HILTON GARDEN INN
PROTOTYPE DAY - VIEW A



Hilton Garden Inn®



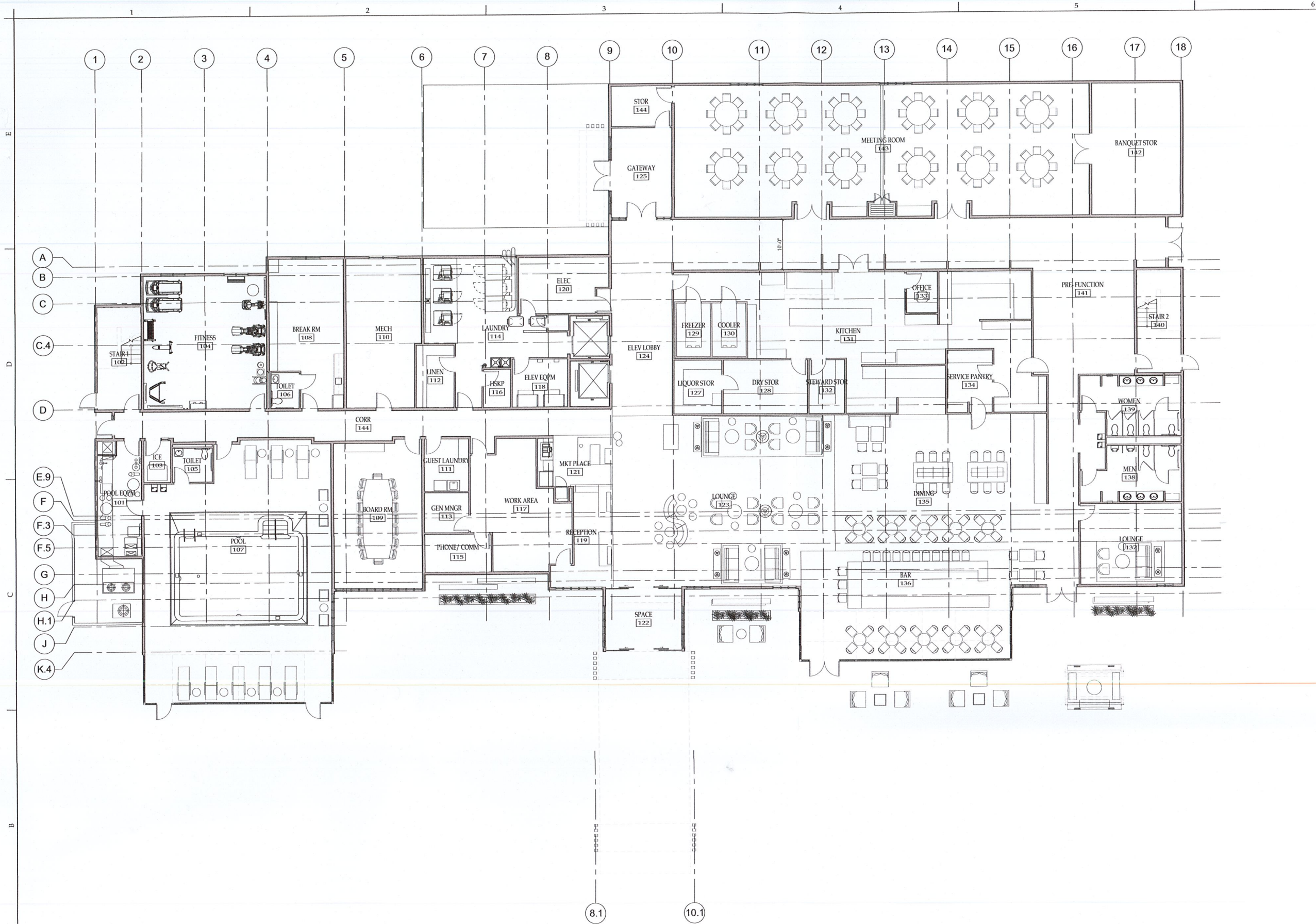
HILTON GARDEN INN
 PROTOTYPE NIGHT - VIEW A

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
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Typical Building Renderings for Site Plan
 for
RAM Hotels, Inc.

RECORD OWNER: NEWBURGH AUTO PARK, LLC; 800 AUTO PARK PLACE, NEWBURGH, NY 12550
 DEED REFERENCE: LIBER 11724, PAGE 1610
 TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37

Situate in the Town of Newburgh



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HILTON GARDEN INN

Newburgh, NY

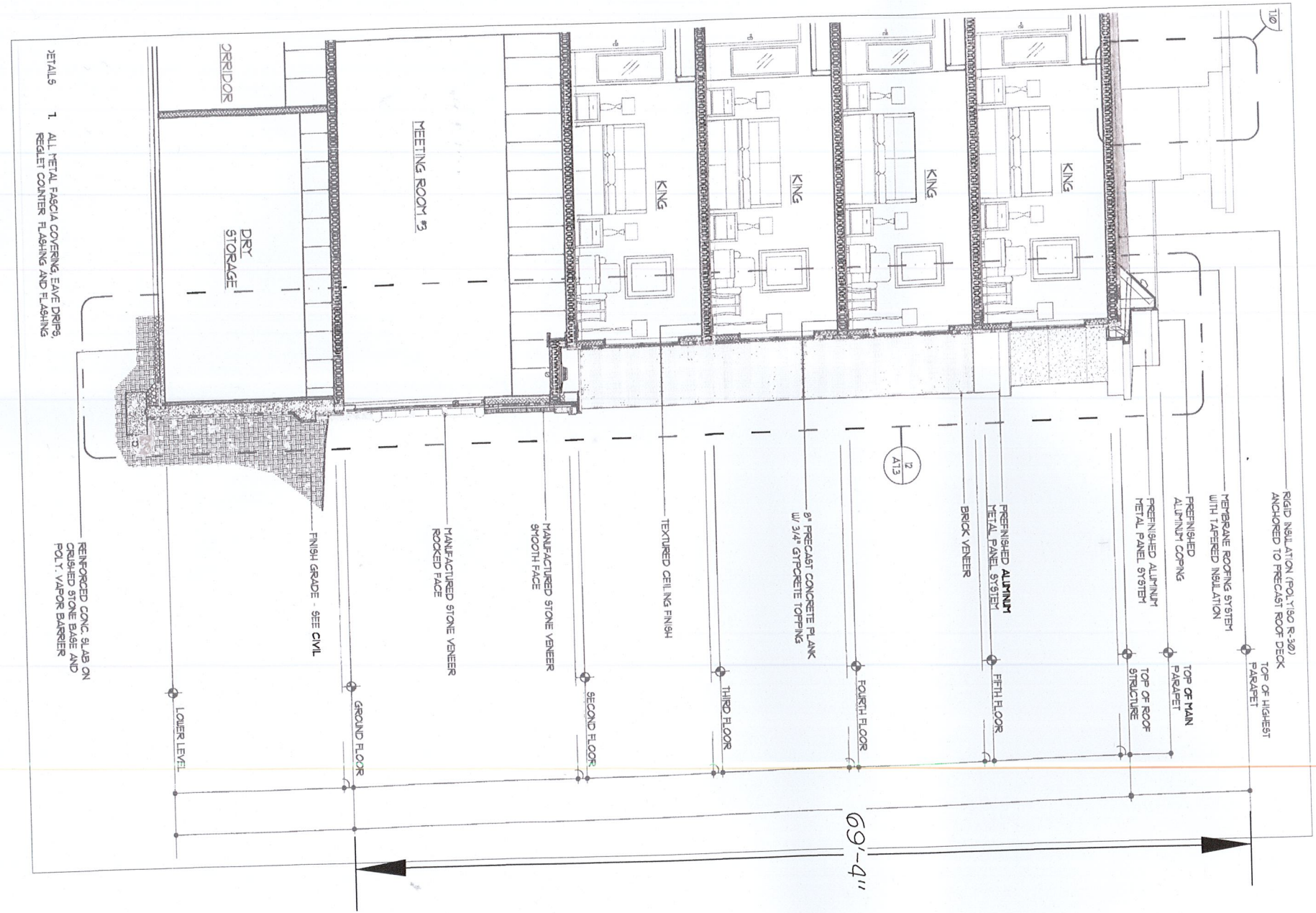
ISSUE:

SA PROJECT TEAM: PRINCIPAL _____
 PROJ. ARCH. _____ JOB CAPT. _____
 INTERIORS _____ DRAFTER _____

SEAL:

FIRST FLOOR PLAN





DETAILS
1. ALL METAL FASCIA COVERING EAVE DRIES, REPLET COUNTER FLASHING AND FLASHING

REINFORCED CONC. SLAB ON CRUSHED STONE BASE AND POLY. VAPOR BARRIER

69'-4"


Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO Box 166, 45 Main Street; Pine Bush, NY 12566
 P: (845)744.3620 F:(845)744.3805 Email: mntm@mntm.co

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |
| | | | |

Lawrence Marshall

LAWRENCE MARSHALL PE #087107

Building Floor Plan & Elevations
 for
RAM Hotels, Inc.

RECORD OWNER: NEWBURGH AUTO PARK, LLC; 800 AUTO PARK PLACE, NEWBURGH, NY 12550
 DEED REFERENCE: LIBER 11724, PAGE 1610
 TAX MAP REFERENCE: SECTION 97, BLOCK 2, LOT 37

Situate in the Town of Newburgh
Ornage County, New York State
Scale As Noted April 2016

DRAFTED BY: LJM

PROJECT: 4015 SHEET 3 OF 3