

NEW CONSTRUCTION: PRATI RESIDENCE

7 SHAKER CT, WALLKILL, NY 12589 (TOWN OF NEWBURGH) (SECTION - BLOCK - LOT: 2 - 2 - 37)

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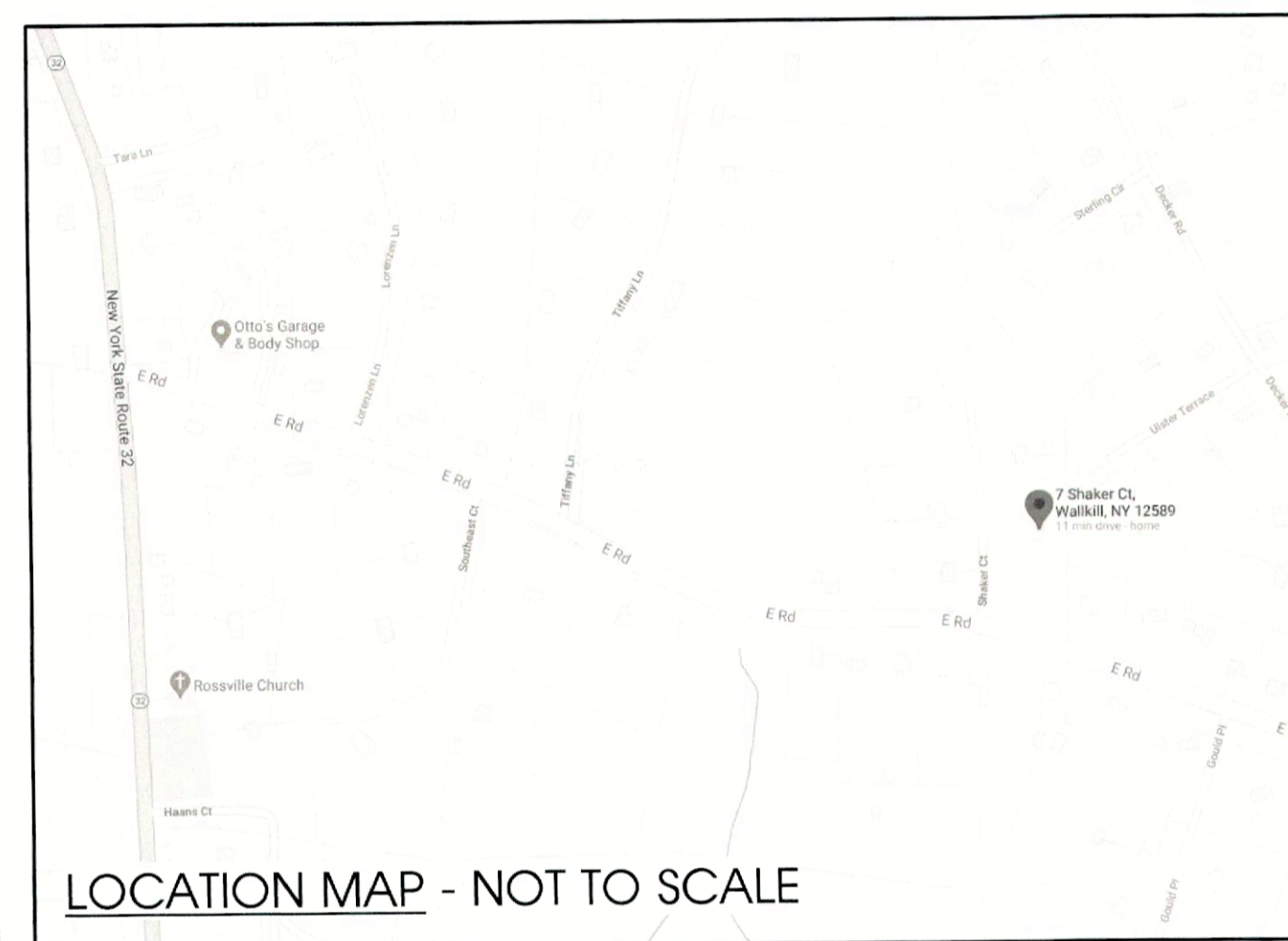
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ABBREVIATION KEY	
+/-	PLUS OR MINUS
1x	1 BY OR 3/4" THICK WOOD
2x	2 BY OR 1 1/2" THICK WOOD
BAR	REBAR OR REINFORCEMENT
B/	BOTTOM OF
C.I.	CONTINUOUS INSULATION
C.J.	CEILING JOIST
CONT.	CONTINUOUS
DIA.	DIAMETER
EA	EACH
EQ	EQUAL
EXT.	EXTERIOR
FIN.	FINISH DIMENSION OR FINISHED
F.J.	FLOOR JOIST
G.W.B.	GYPSUM WALL BOARD
HORL.	HORIZONTAL
INT.	INTERIOR
LVL.	LAMINATED VENEER LUMBER
MIN.	MINIMUM
M.O.	MASONRY OPENING
MTL.	METAL
N/A	NOT APPLICABLE
N/C	NO CHANGE
O.C.	ON CENTER
OH	OVERHANG
OSB	ORIENTED STRAND BOARD
PLY	PLYWOOD OR LAYER
PSL	PARALLEL STRAND LUMBER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SFF	GRADE: SPRUCE PINE FUR TO BE DETERMINED
T&G	TONGUE AND GROOVE
TEMP.	TEMPORARY
T/	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD (DIMENSION)

GENERAL NOTES & SPECIFICATIONS

- PROJECT DESCRIPTION**
1. EXISTING RAISED RANCH WITH (RR) RESERVOIR RESIDENCE ZONING DISTRICT PART OF THE MCGRATH & CUOMO SUBDIVISION SM 8640 IN 1988. REPLACEMENT OF EXISTING DECK (WITH ALTERATIONS) WHICH WAS REMOVED DURING STORMWATER AND FOUNDATION WATER PROOFING WORK.
- CODES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL CODES, INCLUDING, BUT NOT LIMITED TO, APPLICABLE CODES: 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- PERMITS & INSPECTIONS**
1. THE CONTRACTOR SHALL APPLY FOR A CERTIFICATE OF OCCUPANCY UPON SUBSTANTIAL COMPLETION OF THE PROJECT. THE OWNER IS RESPONSIBLE FOR ANY AND ALL FEES ASSOCIATED WITH THE CERTIFICATE OF OCCUPANCY.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AS REQUIRED. ALL INSPECTIONS REQUIRED BY THE TOWN OF NEWBURGH BUILDING DEPARTMENT, THE ORANGE COUNTY DEPARTMENT OF HEALTH AND ALL OTHER CODE ENFORCING AGENCIES SHALL BE ARRANGED BY THE CONTRACTOR AND PAID FOR BY THE OWNER.
- CHANGES TO THE CONTRACT**
1. ALL CHANGES SHALL BE REQUESTED IN WRITING AND APPROVED IN WRITING BY THE OWNER AND THE ARCHITECT. USING PREVIOUSLY APPROVED METHOD OR APPLICABLE AIA DOCUMENTS.
2. NO PAYMENT WILL BE MADE BY THE OWNER OR APPROVED BY THE ARCHITECT FOR ADDITIONAL WORK, WHICH HAS BEEN PERFORMED WITHOUT A WRITTEN AND SIGNED CHANGE ORDER.
- MISCELLANEOUS**
1. ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE SITE & THE SCOPE OF WORK PRIOR TO BIDDING.
2. ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
3. ALL WORK, INCLUDING PLUMBING AND ELECTRICAL WORK, SHALL BE PERFORMED BY LICENSED CONTRACTORS.
4. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING, AND CLEANING UP AFTER THEIR OWN WORK.
5. IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
6. INFORMATION APPEARING ON ONE DRAWING SHALL BE INTERPRETED TO APPEAR ON ALL DRAWINGS.
7. NO WORKERS SHALL BE UNDER THE INFLUENCE OF DRUGS OR ALCOHOL WHILE ON THE JOB SITE. CONTRACTORS SHALL NOT OBSTRUCT ACCESS TO JOBSITE AT ANY TIME.
8. THERE SHALL BE NO SMOKING IN THE STRUCTURE AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
9. ALL COMPONENTS INCORPORATED INTO THE WORK SHALL CONFORM TO MATERIAL STRESSES, CAPACITIES AND METHODS OF CONSTRUCTION, PRESCRIBED BY LOCAL AND STATE CODES. ALL CONSTRUCTION DRAWINGS, SPECIFICATIONS, PROJECT MANUAL AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
10. THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY ERIK FRED ARCHITECT PLLC WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK. IT SHALL BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY REFER. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS AT THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF TRADES, ARCHITECT AND BUILDING DEPARTMENT PERSONNEL.
11. ALL EXITS AND WAYS OF APPROACH THERETO SHALL BE CONTINUOUSLY MAINTAINED FREE FROM ALL OBSTRUCTIONS OR IMPEDIMENTS TO FULL INSTANT USE IN THE CASE OF FIRE OR OTHER EMERGENCY.
12. CONSTRUCTION WORK SHALL BE DONE ON REGULAR WORK HOURS EXCEPT AS DIRECTED BY OWNER. ALL LOCAL ORDINANCES REGARDING NOISE AND NUISANCE SHALL BE RESPECTED.
13. CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER SAFETY AND SECURITY OF THE SITE. CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.
- TEMPORARY BRACING / SHORING / UNDERPINNING**
1. PROVIDE ALL TEMPORARY BRACING, SHORING AND OR UNDERPINNING AS REQUIRED DURING ALL PHASES OF CONSTRUCTION.
- SAFETY OF WORKERS**
1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PROCEDURES ON THE JOB. IN NO WAY IS THE OWNER OR ARCHITECT RESPONSIBLE FOR SAFETY METHODS, PROCEDURES, PRECAUTIONS, ETC. IT IS NOT THE RESPONSIBILITY OF THE ARCHITECT TO PATROL SAFETY VIOLATIONS OR MAKE ANY PARTY AWARE OF SUCH VIOLATIONS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PERSONS AND EXISTING FACILITIES AT THE CONSTRUCTION SITE, EXCEPT FOR DAMAGE TO PROPERTY OR BODILY INJURY ARISING FROM THE OWNER'S SOLE NEGLIGENCE. THE GENERAL CONTRACTOR SHALL SAVE AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM AND AGAINST ALL SUITS OR CLAIMS IN CONNECTION WITH PUBLIC LIABILITY AND PROPERTY DAMAGE AND SHALL DEFEND ANY AND ALL SUCH ACTIONS AND PAY ALL EXPENSES ARISING THEREFROM.
- DIMENSIONS - RESPONSIBILITY FOR ACCURACY**
1. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
2. CONTRACTORS SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS OF THE BUILDING IN THE FIELD BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.
3. CONTRACTORS SHALL BRING TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AFTER DISCOVERY, IN WRITING, ANY AND ALL DISCREPANCIES OR INCONSISTENCIES BETWEEN FIELD CONDITIONS AND THE DRAWINGS, OR BETWEEN DIFFERENT DRAWINGS, AND SHALL NOT PROCEED WITH ANY WORK RELATING TO THE MATTER UNTIL THE ARCHITECT HAS RESOLVED THE ISSUE AND HAS GIVEN CLEAR INSTRUCTIONS TO COMMENCE WITH THE WORK.
- WASTE, REMOVALS & CLEANING**
1. ALL WASTE AND REMOVALS SHALL BE DISPOSED OF LEGALLY OFF SITE.
2. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTER AND CARTING FEES.
3. UPON COMPLETION OF THE CONTRACT AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL CLEAN THE ENTIRE JOB SITE REMOVING ALL DEBRIS INSIDE AND OUTSIDE THE BUILDING. CONTRACTOR SHALL HIRE A PROFESSIONAL CLEANING COMPANY. THE WINDOWS SHALL BE CLEANED, SURFACES SHALL BE DUSTED, CERAMIC TILE CLEANED, FLOORS MOPPED, ETC. THE CONTRACTOR SHALL REPAIR ANY PROPERTY DAMAGED DURING THE COURSE OF CONSTRUCTION SUBJECT TO THE APPROVAL OF THE OWNER.
4. JOB SITE MUST BE KEPT CLEAN DURING THE COURSE OF CONSTRUCTION.
5. NO WASTE MATERIALS MAY BE BURNED OR BURIED ON SITE.
6. THERE SHALL BE NO GARBAGE LEFT ON THE JOB SITE, INCLUDING CIGARETTE BUTTS & FASTENERS ON THE GROUND.
7. JOBSITE SHALL BE SWEEP CLEAN AT THE END OF EACH WORKDAY.
- ACCEPTANCE OF WORK**
1. THE ARCHITECT AND OWNER HAVE THE RIGHT TO REJECT ANY SLOPPY, POORLY INSTALLED, OR UNAUTHORIZED WORK OR WORK DONE CONTRARY TO THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED, REPAIRED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- WARRANTIES**
1. ALL CONTRACTORS SHALL HOLD TO THE INTENT OF THE DRAWINGS WHICH IS TO PROVIDE COMPLETE AND FINISHED WORK, TESTED AND GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE TIME OF COMPLETION AND READY FOR OCCUPANCY, INCLUDING ALL NECESSARY ITEMS REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION, REGARDLESS OF WHETHER SPECIFICALLY CALLED FOR OR NOT ON THE DRAWINGS.
2. THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR MINIMUM AFTER RECEIVING FINAL ACCEPTANCE, AND DO ALL REPAIR WORK AND REPLACEMENT AS MAY BE NECESSARY DURING THAT PERIOD AT HIS EXPENSE. IN ADDITION THE CONTRACTOR SHALL ADHERE TO ALL NEW YORK STATE REQUIREMENTS REGARDING WARRANTIES OF NEW CONSTRUCTION, WHICH EVER IS MORE STRINGENT.
3. FOLLOW ALL MANUFACTURERS' RECOMMENDED INSTALLATION METHODS. THIS IS REQUIRED TO INSURE THAT MANUFACTURER'S WARRANTIES WILL BE IN EFFECT. FAILURE TO INSTALL MATERIALS PROPERLY WILL PLACE ALL MANUFACTURERS' WARRANTIES AS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT 2020 RESIDENTIAL CODE OF NEW YORK STATE TABLE N1102.1.2		
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE TABLE 402.1.2 IN LIEU OF COMPUTER SOFTWARE COMPLIANCE		
CLIMATE ZONE: ORANGE COUNTY ZONE 5A		
COMPONENT	REQUIRED	PROVIDED
FENESTRATION U-FACTOR	0.32	0.30



NAILING SCHEDULE		
ITEM	# OR O/C OF NAILS	SIZE OF NAIL (BOX OR COM.)
JOIST		
TOE NAIL TO PLATES SILL OR GIRDER	3	8d
TO PARALLEL ALTERNATE JOISTS	3	10d
AT LAP OVER BEARING, FACE NAILS	3	16d
STUDS		
END NAILS TO PLATES	2	16d
OR TOE NAILS, 2 EACH SIDE	4	8d
CORNER ANGLE OR MULTIPLE	24" O.C.	10d
TOP PLATES		
SPIKE TOGETHER	16" O.C.	10d
LAPS AND INTERSECTIONS, FACE NAILS	2	16d
BLOCKING		
TO PLATE	2	16d
OR - TOE NAIL	4	8d
TO JOIST, EACH SIDE	2	16d
OR - TOE NAIL	4	8d
BRIDGING		
TOE NAIL TO JOISTS, EACH SIDE	2	8d
2" X LAMINATED BEAMS OR LITELS		
SPIKE TOGETHER	16" O.C.	16d
DOUBLE JOISTS OR HEADERS		
SPIKE TOGETHER, ALONG EACH EDGE	16" O.C.	10d
PLYWOOD SHEATHING AND SUBFLOOR NAILING AT EDGES OF SHEETS		
3/8" THICK	6" O.C. MAX	8d
1/2" & 5/8" THICK	6" O.C. MAX	10d
AT INTERIOR OF EACH SHEET, NAILS @ 10" O.C. FOR 3/8" & 1/2" PLYWOOD		

SYMBOL LEGEND

12
X
SLOPE REFERENCE

20 R @ 7 1/2"
↑
STAIR DESIGNATION

REVISION TAG

WALL TYPE TAG

BUILDING SECTION DESIGNATION

WINDOW TAG

DOOR TAG

CALLOUT DESIGNATION

NAME ELEVATION

ELEVATION DESIGNATION

INTERIOR ELEVATION DESIGNATION

BUILDING ELEVATION DESIGNATION

PATTERN LEGEND

INSULATION

FRAMING

BLOCKING

GRAVEL

EARTH

SAND/ GYPSUM

WOOD

PLYWOOD

LAMINATED FRAMING

RIGID INSULATION

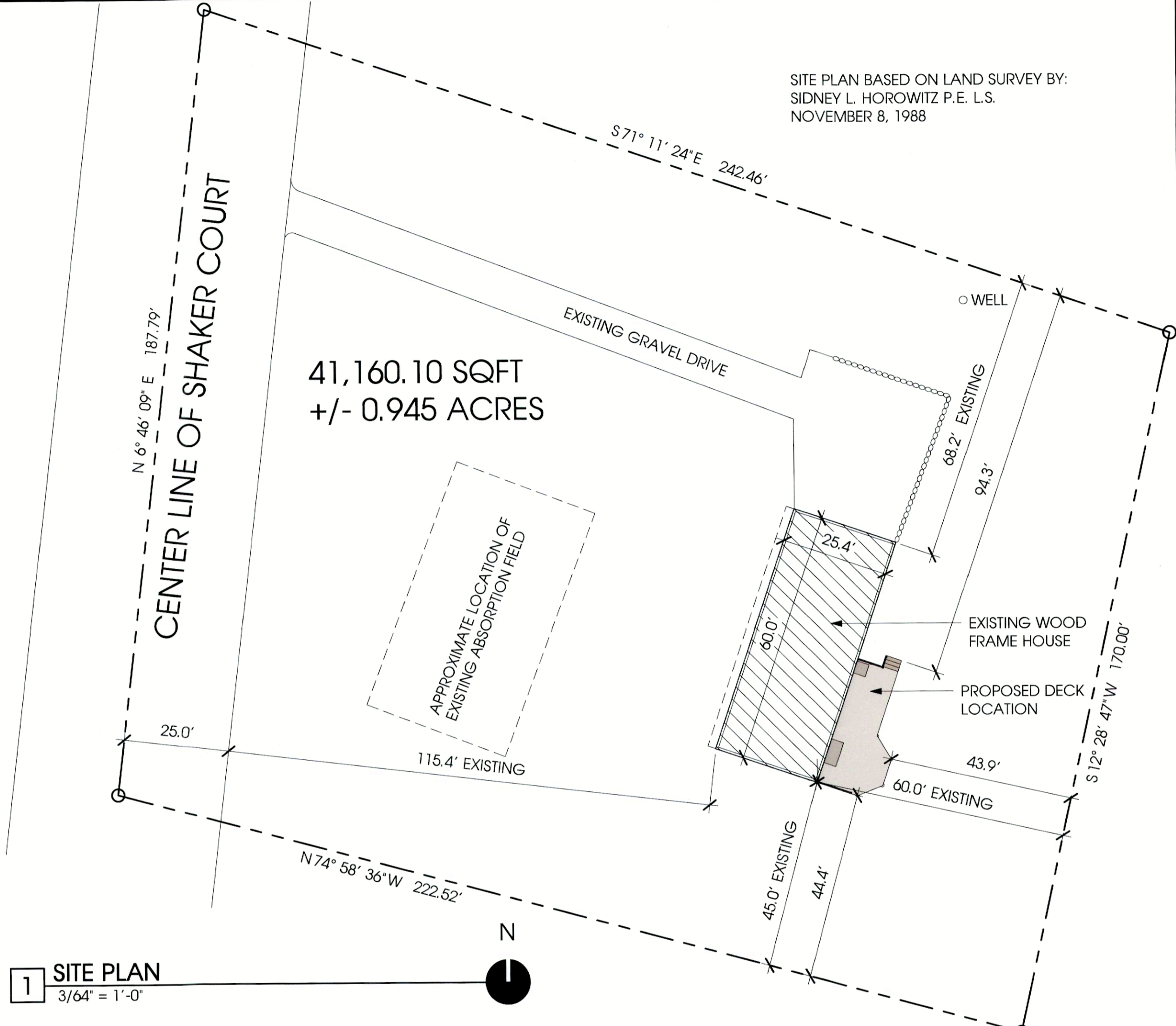
CONCRETE

GLAZING

STEEL

ALUMINUM

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA & DESIGN LOAD								
GROUND SNOW LOAD	FLOOR LIVE LOAD	DEAD LOAD	WIND DESIGN SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		FLOOD HAZARD	
					WEATHERING	FROST LINE DEPTH		TERMITE
30 PSF	40 PSF	10 PSF	90 EXPOSURE B	B	SEVERE	42"	MODERATE TO HEAVY	NO



1 SITE PLAN
3/64" = 1'-0"

- FOUNDATION NOTES:**
1. FOOTINGS TO REST ON VIRGIN UNDISTURBED SOIL AND/OR COMPACTED STRUCTURAL FILL 98% PROCTOR ALL WITH A MIN. BEARING CAPACITY OF 3000 PSF. MINIMUM BEARING CAPACITY SUB-SOIL INVESTIGATION (TEST PITS) SHALL BE DONE IF INADEQUATE SOIL IS FOUND. FOOTINGS SHALL EXTEND DOWN A MIN. OF 42" BELOW ADJACENT FINISHED GRADE.
2. THE CONTRACTOR SHALL THOROUGHLY VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AT THE JOB SITE. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT, OTHERWISE THE CONTRACTOR SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED WITHIN THE DRAWINGS.
- REINFORCING STEEL:** REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
1. REINFORCING SHALL BE ACCURATELY INSTALLED TO THE REQUIRED ELEVATION AND CHAIRED OR SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT. REINFORCING BARS NOTED CONTINUOUSLY SHALL BE LAPPED AT SPLICES AND HOOKED AT NON-CONTINUOUS ENDS. ALL LAPS SHALL BE 40 BAR DIAMETERS MIN.
- FOUNDATIONS:**
1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ROCK, HAVING A MINIMUM SAFE BEARING CAPACITY OF 2.5 TONS PER SQUARE FOOT. ALL FOOTINGS SHALL BE FORMED TO MEET SIZES INDICATED ON DRAWINGS AND DETAILS.
2. ELEVATIONS OF FOOTING BOTTOMS SHOWN ON DRAWINGS ARE AT THE HIGHEST PERMISSIBLE ELEVATIONS.
3. ACTUAL FOOTING BOTTOMS MAY BE LOWER IF ADEQUATE BEARING MATERIAL IS NOT FOUND AT THE FOOTING DEPTHS SHOWN ON DRAWINGS. WHERE FOOTINGS ARE STEPPED, BOTTOMS SHALL BE STEPPED NOT MORE THAN 18 INCHES VERTICAL. STEP LENGTH MUST BE A MINIMUM OF 3 FEET HORIZONTALLY.
4. SOSS BACKFILL UNDER FLOOR SLABS SHALL BE A POROUS, GRANULAR MATERIAL, SUCH AS CRUSHED STONE OR GRAVEL WHICH CONTAINS FINE MATERIAL PASSING A #200 SIEVE. FILL BELOW SLABS ON GROUND SHALL BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED TO 98% OF THE MODIFIED STANDARD DENSITY AS PER ASTM D-1557.
5. ARCHITECT TO INSPECT ANY NON-VIRGIN SOIL TRENCH CONDITIONS, OR EXPOSED LEDGE CONDITIONS PRIOR TO POURING FOOTINGS.
- CONCRETE NOTES:**
1. ALL CONCRETE WORK, MATERIALS, DETAILS AND CONSTRUCTION METHODS SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 308, AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318, OF THE AMERICAN CONCRETE INSTITUTE, LATEST EDITION.
2. NO CONCRETE SHALL BE POURED SUBJECT TO FREEZING CONDITIONS OR ON FROZEN GROUND.
3. SLAB ON GRADE SHALL BE AS INDICATED ON DRAWINGS WITH WWF OVER 6" OF 3/4" GRAVEL. SLAB SHALL BE FINISHED IN ACCORDANCE WITH ACI STANDARDS 318, 304, AND 301.
4. ALL REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS CONFORMING TO ASTM A615, GRADE 60. TIES AND STIRRUPS MAY BE GRADE 40.
5. REINFORCING STEEL SHALL BE PLACED TO PROVIDE 3" CLEAR CONCRETE COVER.
6. CONCRETE FOR POURING IN PLACE CONSTRUCTION SHALL BE AN AIR-ENTRAINED, NORMAL WEIGHT STONE AGGREGATE MIX ACHIEVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT AN AGE OF 28 DAYS. CONCRETE FOR FLOOR SLABS SHALL ACHIEVE A COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
7. CONCRETE SLABS ON GROUND SHALL BE PLACED IN ALTERNATE PANELS NOT EXCEEDING 900 SQUARE FEET IN AREA NOR 30 FEET IN LENGTH. SLAB CONSTRUCTION JOINTS SHALL BE DOWELED AND KEYS.
- CARPENTRY NOTES:**
1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" OF THE AMERICAN FOREST AND PAPER ASSOC. (ANSI/FPA NDS, LATEST EDITION).
2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIALS FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS.
3. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING.
4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE SET WITH NATURAL CROWN UP. (CAMBER UP TYPICAL) PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS OR ANY OPENINGS LARGER THAN SPACING OF RAFTERS/FLOOR JOISTS, ETC., UNLESS OTHERWISE NOTED ON DRAWINGS. PROVIDE "X" BRIDGING OR SOLID BLOCKING AT MID-SPAN OF ALL ROOF RAFTERS/FLOOR JOISTS SPANNING MORE THAN 9'-0".
5. BOTTOM ENDS OF BRIDGING SHALL NOT BE NAILED UNTIL AFTER SHEATHING IS INSTALLED. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY TECO, SIMPSON OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS. CONNECTION HARDWARE SHALL BE GALVANIZED STEEL OF THE TYPE GAUGE (MIN. 18 GA.) OR SIZE NOTED ON DRAWINGS, BY SIMPSON STRONG TIE CO. OR APPROVED EQUAL.
6. PROVIDE JOIST, RAFTER AND TRUSS HANGERS FOR ALL MEMBERS NOT SUPPORTED BY DIRECT BEARING. INSTALL AND NAIL HANGERS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. PROVIDE DOUBLE MEMBER POSTS AT EDGES OF ALL OPENINGS IN STUD BEARING WALLS. BELOW BEARING POINTS OF DOUBLE, TRIPLE OR MORE FRAMING MEMBERS OR POSTS, PROVIDE SOLID OR BUILT-UP, SPIKED POST EQUAL IN WIDTH TO NOMINAL WIDTH OF MEMBER ABOVE.
- GENERAL DEMOLITION NOTES:**
1. TEMPORARILY DISCONNECT ELECTRIC SERVICE PRIOR TO REMOVING AND/OR RELOCATING ANY ELECTRICAL DEVICES.
2. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND/OR SHORING FOR ALL STRUCTURAL WORK AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING DEMOLITION.
3. THE CONTRACTOR SHALL CEASE DEMOLITION OPERATIONS AND NOTIFY THE ARCHITECT IMMEDIATELY IF IT APPEARS THAT THE INTEGRITY OF THE STRUCTURE HAS BEEN AFFECTED BY THE DEMOLITION WORK.
4. REMOVE ALL DEBRIS FROM SITE TYPICAL.
5. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN SUCH A MANNER AS TO PROTECT THE EXISTING STRUCTURE AND BE RESPONSIBLE TO PROPERLY REPAIR ANY DAMAGE WHICH MAY OCCUR AS A RESULT OF THE DEMOLITION WORK. IF THE CONTRACTOR DAMAGES THE EXISTING STRUCTURE TO REMAIN, HE SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY AND FOR ALL REPAIR COSTS, INCLUDING DESIGN AND INSPECTION EXPENSES.
6. ALL EXISTING DIMENSIONS (DISTANCES, ELEVATIONS, MEMBER SIZES, ETC.) SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL NOT CUT OR ALTER ANY STRUCTURAL MEMBERS TO REMAIN WITHOUT WRITTEN AUTHORIZATION BY THE ARCHITECT OR AS INDICATED ON THE STRUCTURAL DRAWINGS.

NEW CONSTRUCTION:

PRATI RESIDENCE
7 SHAKER CT
WALLKILL, NY 12589
(TOWN OF NEWBURGH)
Proj. #21-10

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ZONING BOARD OF APPEALS
26 APRIL 2021



TITLE SHEET

T-1
Proj. #21-10 PRATI RESIDENCE