



**CONSULTING ENGINEERS, D.P.C.**

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Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: THE POLO CLUB**  
**PROJECT NO.: 18-12**  
**PROJECT LOCATION: SECTION 39, BLOCK 1, LOT 1 & 2.12**  
**REVIEW DATE: 26 FEBRUARY 2021**  
**MEETING DATE: 4 MARCH 2021**  
**PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES**

1. The project is before the Board for a Clearing and Grading Permit under Chapter 83 of the Town of Newburgh Code. The application proposes to cut trees on a 21.81 acre portion of the 36.23 acre of parcel. Trees are proposed to be cut prior to 31 March in order to mitigate potential impacts to Threatened or Endangered Bat species.
2. Removal of the trees during the proposed time period when Bats are hibernating off-site will serve to protect the species from any impact. Trees are proposed to be cut and the stumps will be left in place until Final Site Plan Approval is received.
3. Interim Erosion and Sediment Control measures may be required to be implemented if portions of the project become disturbed due to the tree clearing operation.
4. The Town of Newburgh requires that a Reclamation Bond be placed in the amount of \$3,500 an acre. Bonding the 22 acres, this equates to \$77,000.00.
5. The Planning Board previously closed out the SEQRA review of the project which included evaluations of the clearing and grading on the site.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

Patrick J. Hines  
Principal

PJH/kbw



## APPLICATION SUMMARY

TOWN OF NEWBURGH  
21 HUDSON VALLEY PROFESSIONAL PLAZA  
NEWBURGH, NY 12550

**Application No:** 21-0065

**File Date:** 01/25/2021

**SEC-BLK-LOT:** 39-1-1

**Location:** 1582 Route 300

**Acreage:**                      **Zoned:**

**Application for:**

Clear Trees.

**Type:**

**Owner :** Jayne Weinberg

**Address:** 56 Far Horizons Drive Newburgh, NY 12550

**Phone:** 845-629-5534

**Owner :** Spruce Creek LLC

**Address:** 1655 Route 300 Newburgh, NY 12550

**Phone:**

**Notify:** Spruce Creek, LLC

**Phone:** 845-629-5534

**Receipt(s):**





www.EngineeringPropertiesPC.com  
71 Clinton Street  
Montgomery, NY 12549  
phone: (845) 457-7727  
fax: (845) 457-1899

January 22, 2021

Town of Newburgh Building Department  
308 Gardnertown Road  
Newburgh, NY 12550  
ATTN: Gerry Canfield, Code Enforcement Officer

**RE: POLO CLUB –CLEARING PERMIT  
TOWN OF NEWBURGH**

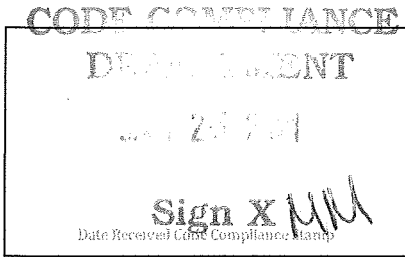
Dear Gerry:

Attached hereto is an application for a clearing permit for the Polo Club project and a fee for \$150. As you are aware the time of year tree clearing restrictions to protect bat habitat limits us to clearing from November 1<sup>st</sup> thru March 31<sup>st</sup>. We would like to process a clearing permit with the planning board so that we may clear the trees prior to March 31<sup>st</sup>. If you could please refer this to the Planning Board for their February 4<sup>th</sup> meeting it would be appreciated.

If you need any additional information, please don't hesitate to contact this office.

Sincerely,  
Engineering & Surveying Properties, PC

  
Ross Winglovitz, P.E.  
Principal



**Town of Newburgh**  
**Clearing & Grading Permit Application**

21 Hudson Valley Professional Plaza  
 Newburgh, NY 12550  
 Phone: (845)564-7801 Fax: (845)564-7802

Permit #: 21-0065  
 Tracking #: \_\_\_\_\_  
 Fee: \$ 150-DONK/H-213  
Exact Cash or Check ONLY  
 Receipt #: 19522  
 \_\_\_\_\_  
 (OFFICE USE ONLY)

(Please Print)  
 Job Location: 1582 Route 300, Newburgh, NY 12550

S.B.L.: 39-1-1, 2.12 Construction Cost: To be determined

OWNER: Spruce Creek, LLC	APPLICANT? Y / N	CONTRACTOR: To be determined	APPLICANT? Y / N
ADDRESS: 5 Emerson Terrace		ADDRESS:	
CITY/STATE/ZIP: Highland, NY 12528		CITY/STATE/ZIP:	
PHONE: 845-629-5534		PHONE: FAX:	
CONTACT EMAIL: david.meadowcreek@gmail.com		CONTACT EMAIL:	

SIZE OF LOT: 36.23 acres	ZONING DISTRICT: R-3
PROPOSED DATE/TIME OF COMPLETION: To be determined	
DATE OF PLANNING BOARD APPROVAL (IF REQUIRED):	
SUBDIVISION NAME (IF REQUIRED): Polo Club	

\$150.00 FOR APPLICATION  
 \$50.00 PRIOR BUILT FEE RESIDENTIAL \$200.00 PRIOR BUILT FEE COMMERCIAL

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

*Spruce Creek LLC*  
*David Meadowcreek*  
 Signature of Owner

11/22/21  
 Date

**Clearing and Grading Permit Application (Con't)**

State the nature and purpose of the proposed activity: Plans are already on file with the Planning Board  
Polo Club Senior Housing, No. 2018-12

- Drawings showing the boundaries of the parcel will be conducted
- A plan showing the areas proposed to be cleared, filled or graded or subjected to timber harvesting and nature of the vegetation affected.
- An erosion control plan
- Documentation regarding permit status with the New York State Department of Environmental Conservation permit required must be in effect prior to the Town's issuance of a permit
- Plans must show the type of vegetation to be destroyed by the proposed activities along with the planned disposition of the material
- Drainage computations prior to site preparation and after site preparation may be required
- Nature of Proposed activity:
  - o Clearing 21.81 Acreage
  - o Excavation N/A Cubic Yards
  - o Filling N/A Cubic Yards
  - o Grading N/A Acreage

**Status**                      **Date**

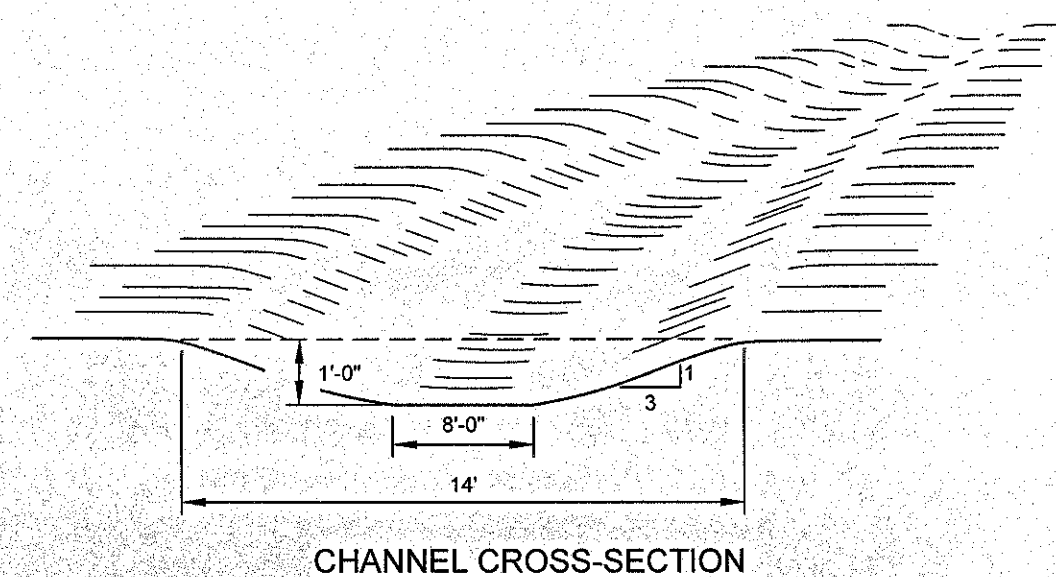
Examined                      \_\_\_\_\_

Approved                      \_\_\_\_\_

Disapproved 1/26/21

*Ref. to Y.B. GFC*

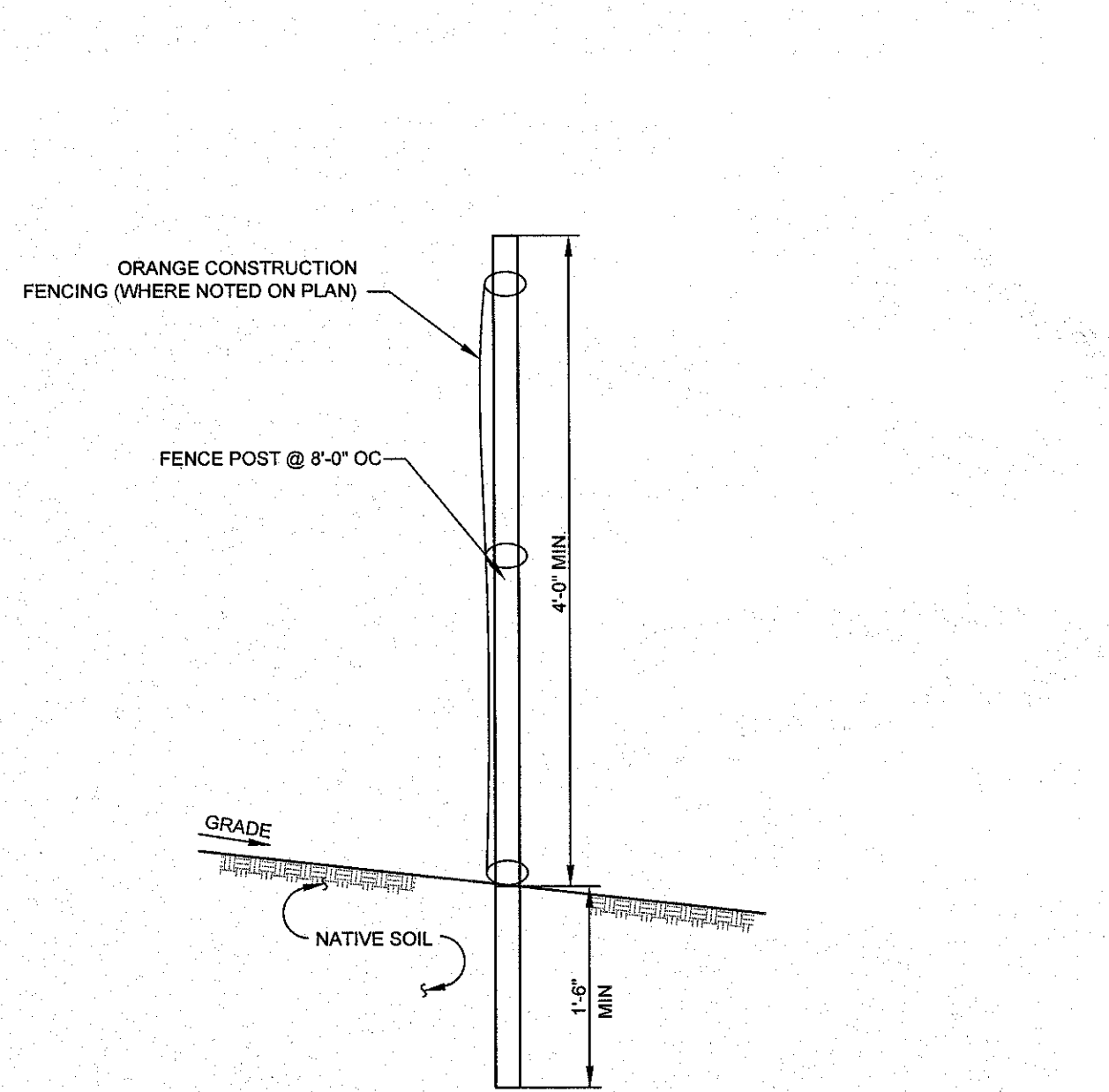




CHANNEL CROSS-SECTION

- CONSTRUCTION SPECIFICATIONS:**
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
  2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED NORMAL FLOW.
  3. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF OUTSIDE THE WETLAND SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
  4. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE PRACTICES. SEEDING AND MULCHING SHALL BE USED FOR ESTABLISHMENT OF THE VEGETATION. VEGETATION PROVIDED SHALL BE REED CANNYGRASS, TALL FESCUE, KENTUCKY BLUEGRASS.

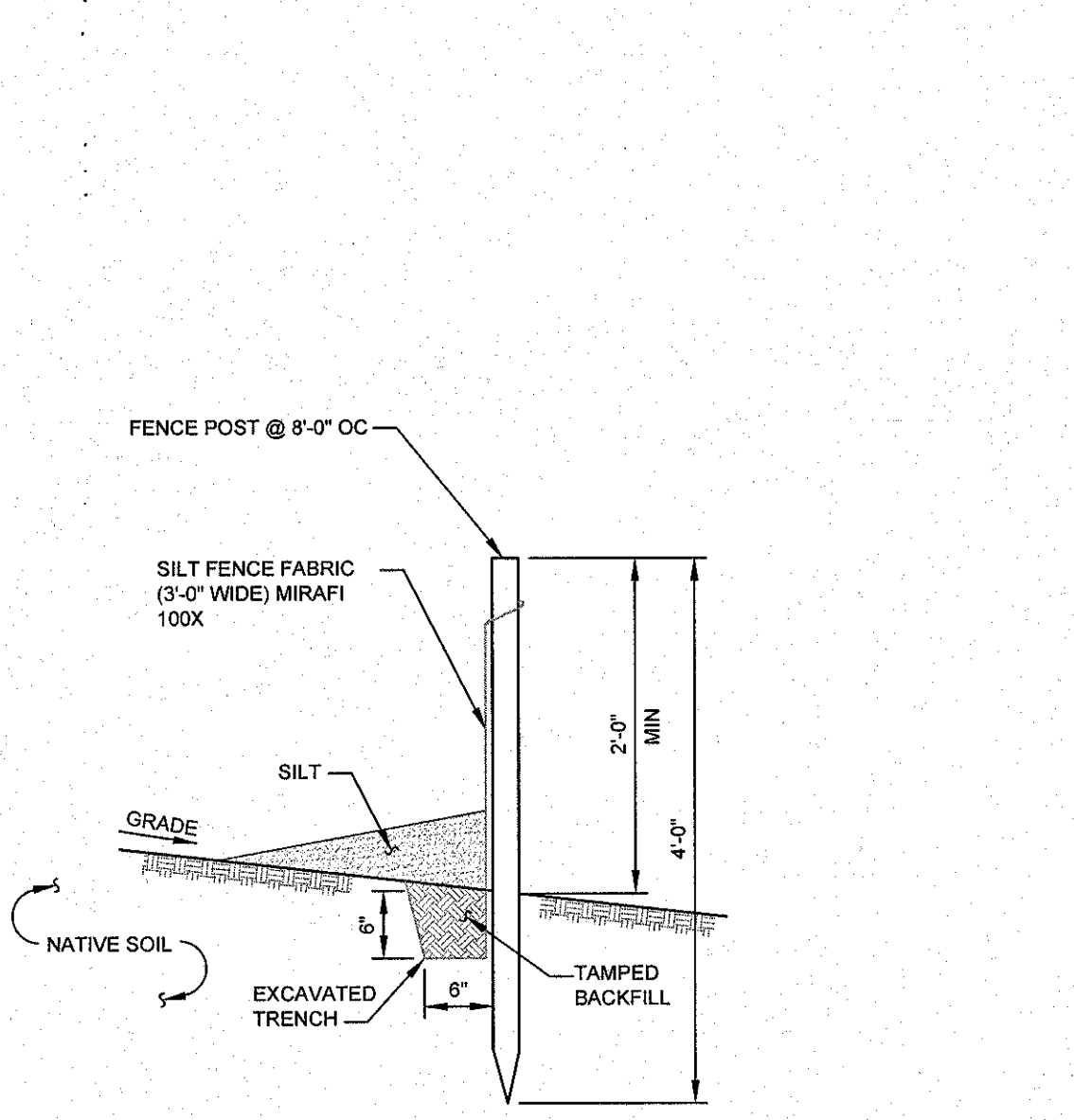
**GRASSSED SWALE**  
SCALE: N.T.S.



- NOTES:**
1. IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL REAR ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION.
  2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
  3. HOMEOWNERS ASSOCIATION SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

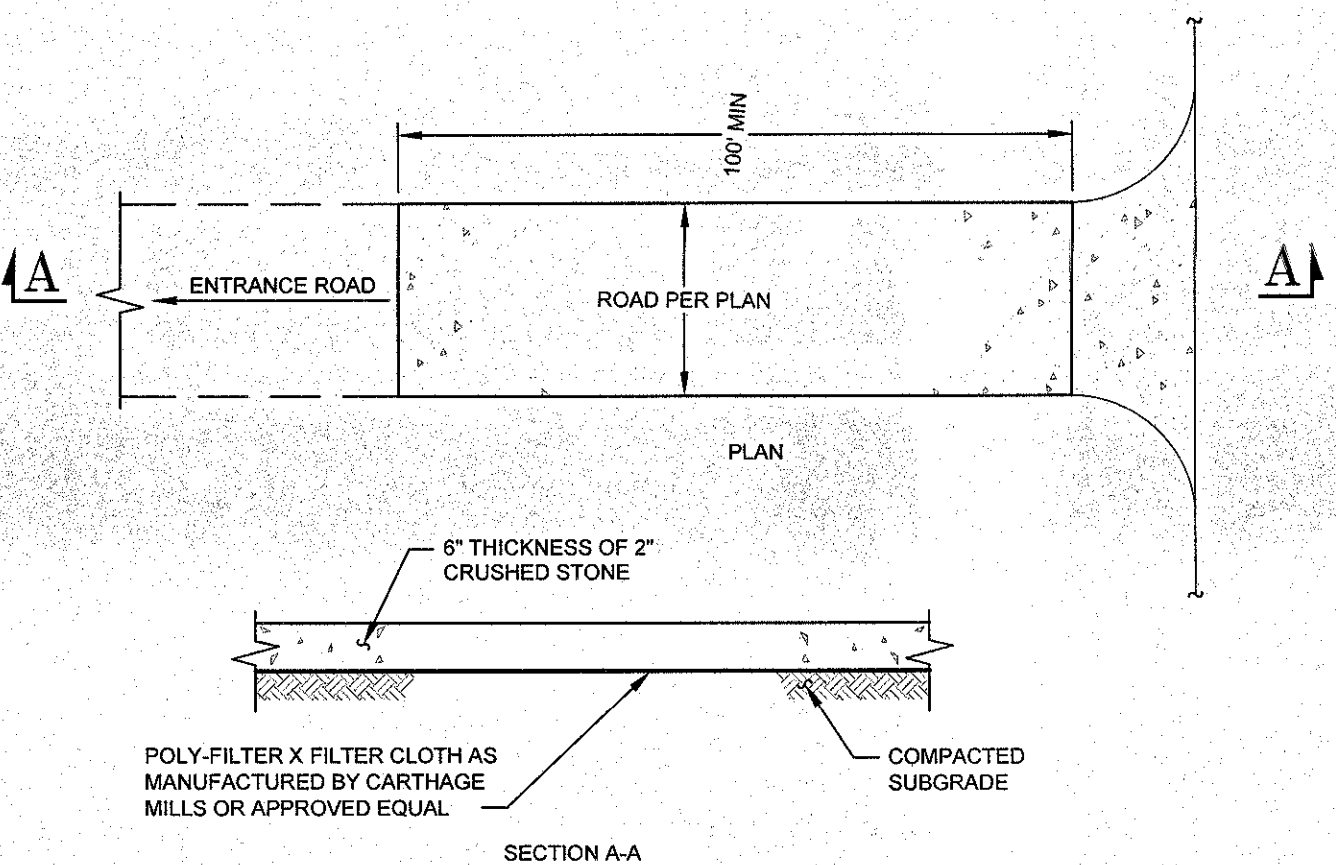
**ROOF LEADER AND SPLASH BLOCK**  
SCALE: N.T.S.

**ORANGE CONSTRUCTION FENCE**  
SCALE: N.T.S.



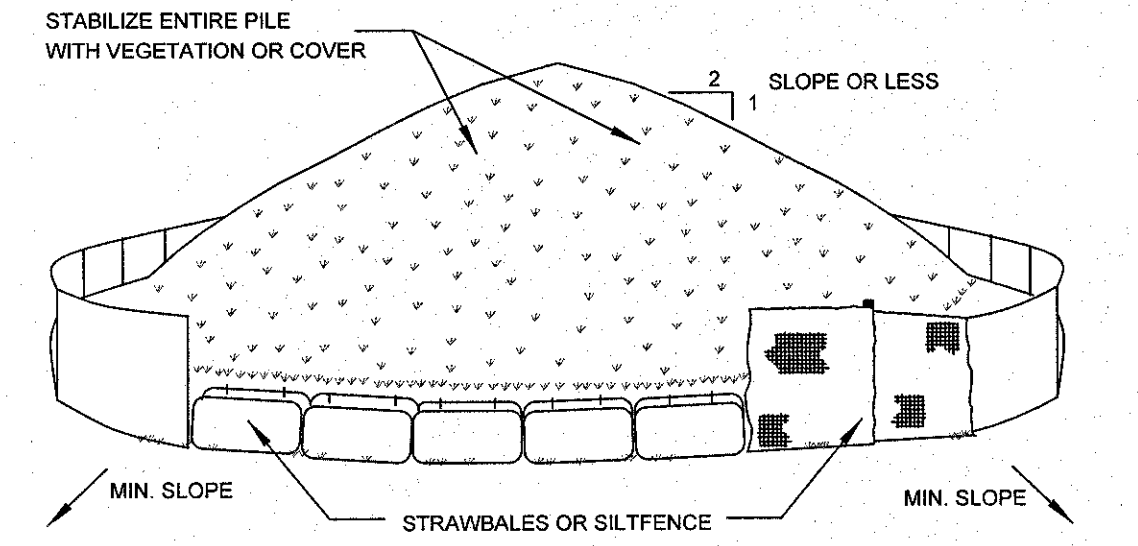
- NOTES:**
1. SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.

**SILT FENCE**  
SCALE: N.T.S.



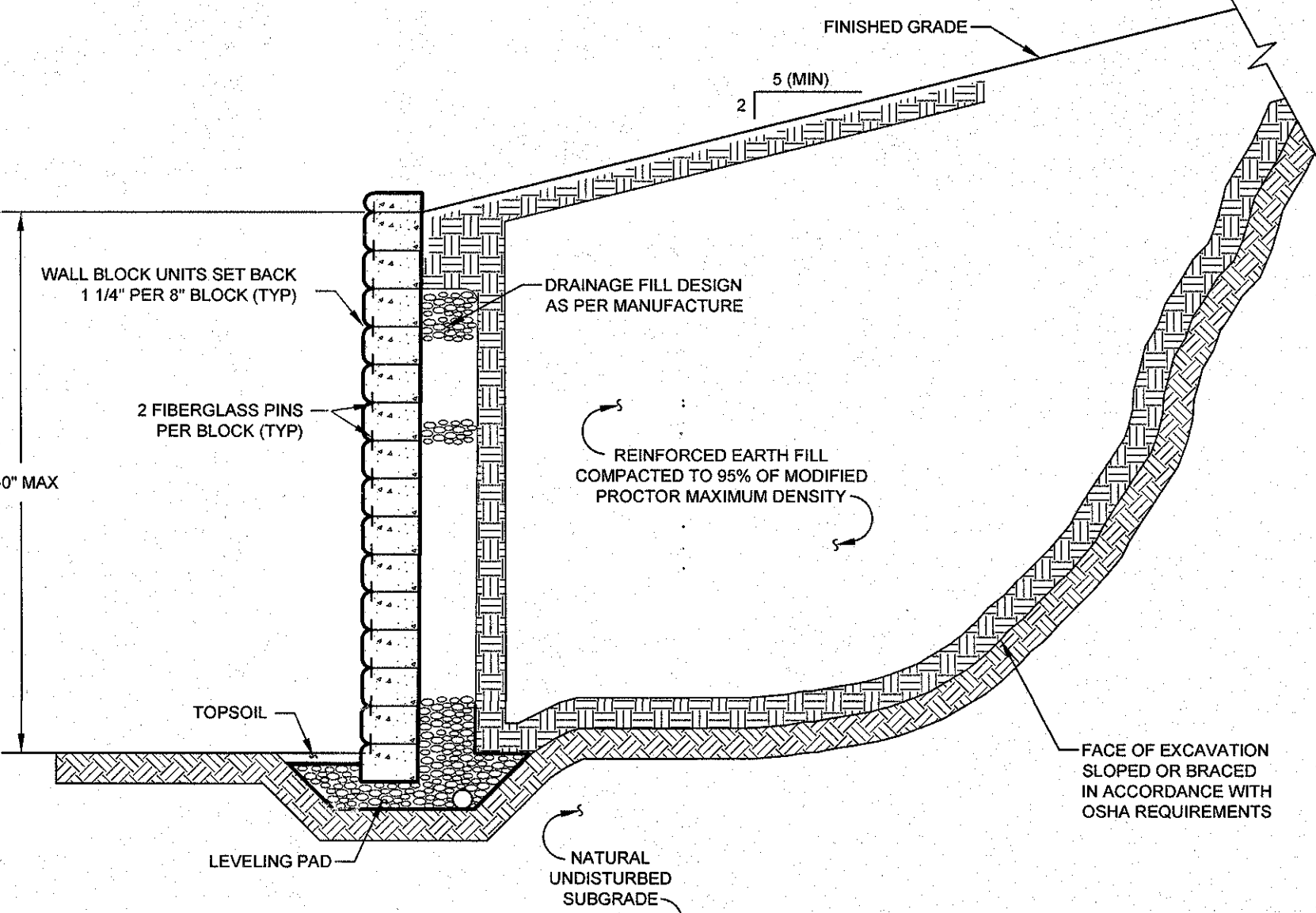
- NOTES:**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. WIDTH - 35 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  5. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  6. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**  
SCALE: N.T.S.



- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRANBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
  4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

**SOIL STOCKPILING**  
SCALE: N.T.S.



- NOTES:**
1. PROPOSED KEYSTONE K3 HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
  2. FENCING SHALL BE INSTALLED FOR AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  3. COLORS TO MATCH FOUNDATION STONE.
  4. FOR WALLS OVER HEIGHTS OF 4'-0\"/>

**TYPICAL MSE RETAINING WALL**  
SCALE: N.T.S.

**SEQUENCE OF CONSTRUCTION ACTIVITY**

1. PRE-CONSTRUCTION, NOTIFY APPROPRIATE MUNICIPAL AND UTILITY OFFICIALS 3 DAYS PRIOR TO START OF CONSTRUCTION.
2. CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWN HILL OF PROPOSED CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND STABILIZE CONSTRUCTION ROADS. INSTALL TEMPORARY SEDIMENT TRAP. INSTALL PERMANENT/TEMPORARY GRASSED SWALES.
3. CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
4. ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION IN AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
5. ROADBUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF ROADWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. INSTALL DRAINAGE INLET AND OUTLET PROTECTION AS EACH INLET/OUTLET IS CONSTRUCTED. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
6. FINAL GRADING AND LANDSCAPING: REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL PERMANENT WATER QUALITY/QUANTITY FACILITIES. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION ON ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
7. POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.

**EROSION AND SEDIMENTATION CONTROL NOTES**

1. SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
2. ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND AND IN AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED. ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS. THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCING.
3. TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALE DIKES, DRAINAGE STRUCTURES, AND REPAIR PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
  - 4.1. AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
  - 4.2. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
  - 4.3. FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
  - 4.4. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE, DURING THE WINTER, USE 100 LBS. CERTIFIED 'ARODSTOCK' WINTER RYE (CEREAL RYE) PER ACRE.
  - 4.5. PERMANENT SEEDING SHALL BE APPLIED ON 4\"/>
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
6. TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
7. ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
8. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
9. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
10. STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDED WITH THE FOLLOWING MIXTURE:
 

MATERIAL	SEEDING RATE
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
11. OPTIMUM SEEDING PERIODS ARE 3-15-01 AND 8-11-01-15.

**Dig Safely.**  
**New York**

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- Wait The Required Time
- Confirm Utility Responses
- Respect The Marks
- Dig With Care

800-962-7962  
www.digsafelynewyork.com

No.	DATE	DESCRIPTION

**EARTHWORK CONSTRUCTION NOTES**

1. ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF NEWBURGH.
2. ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
3. ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
4. CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
5. COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED 'SEDIMENTATION EROSION CONTROL'.
6. ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH-TICK LIFTS. EACH LIFT SHALL BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
7. CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SIDE SLOPES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMAL MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
8. STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH 'EROSION AND SEDIMENTATION CONTROL NOTES'.
9. ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
10. SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
  - 10.A. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
  - 10.B. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILER, MOWER, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
  - 10.C. ROCK-PICK UNTIL UNLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE.
  - 10.D. APPLY TOPSOIL TO A DEPTH OF 8 INCHES.
  - 10.E. VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR:		02/10/2020
	SHEET NUMBER	
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	23 OF 23
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OF ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP IN RED OR BLUE INK SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

0 1 2 3  
ORIGINAL SCALE IN INCHES

**ENGINEERING SURVEYING PROPERTIES**

71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
F: (845) 457-1899

ACHIEVING SUCCESSFUL RESULTS WITH INNOVATIVE DESIGN

**DETAILS**

POLO CLUB  
NYS ROUTE 300  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

SEED MIXTURE LIST	
LOWEST ZONE	RETENTION BASIN FLOOR SEED MIX, ERNM - 127. SOW RATE: 20 LBS PER ACRE
MIDDLE ZONE	FLOOD PLAIN MULCH/FILL MIX, ERNM - 194. SOW RATE: 15 LBS PER ACRE
ALL SEED MIXTURES AVAILABLE FROM ERNST CONSERVATION SEED, www.ernstseed.com, PHONE: (800) 873-3321. DO NOT SUBSTITUTE SEED MIXTURES WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.	

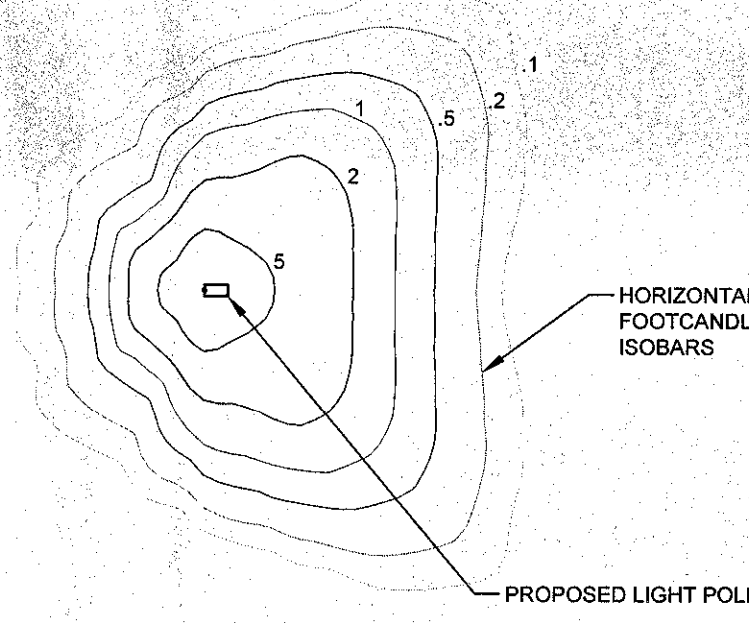
JOB #:	114.01	DRAWN BY:	MP
DATE:	02/10/2020	SCALE:	AS NOTED
REVISION:	0	TAX LOT:	39-1-1 & 2.12

**C-306**



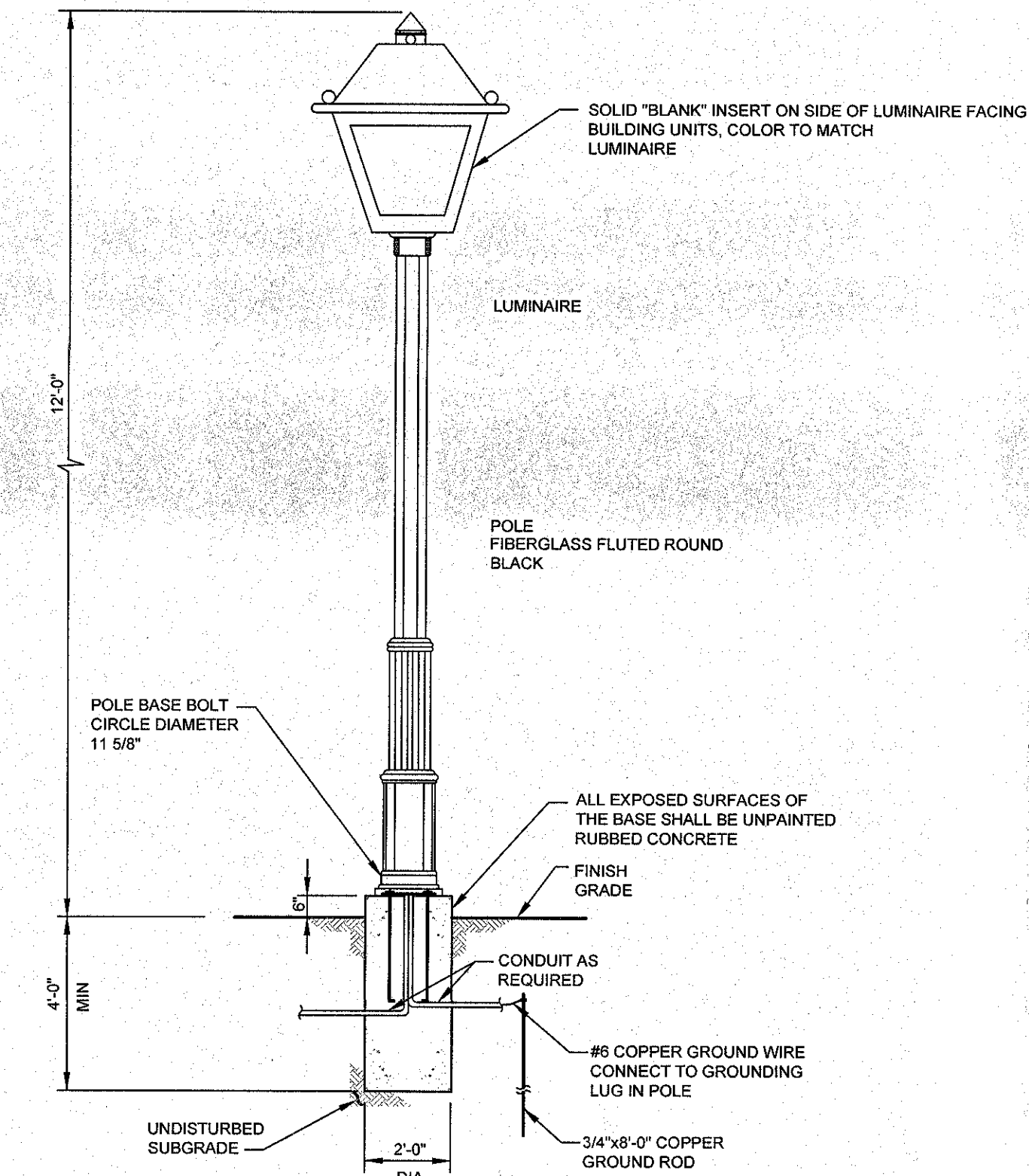






NOTE: THIS FOOTCANDLE PLAN IS NOT TYPICAL FOR LUMINAIRES UTILIZING BLANK INSERTS INSTALLED TOWARD THE BUILDING UNITS (AS NEEDED).

**STREET LIGHT FOOTCANDLE PLAN**  
SCALE: N.T.S.



**STREET LIGHT ASSEMBLY**  
SCALE: N.T.S.

Catalog # :	Project :
Prepared By :	Date :



**Constitution - XCN4**  
**LED Decorative Pedestrian & Area Light**

This latest iteration of the LED Constitution decorative and pedestrian area light features LSI's innovative and high-performance silicone optics, as also featured in LSI's ground-breaking, patent-pending Mirada Series fixtures. The Constitution is designed to illuminate pathways, walkway areas and campus sites. Its contemporary, sleek design complements architectural design elements well.

**Features & Specifications**

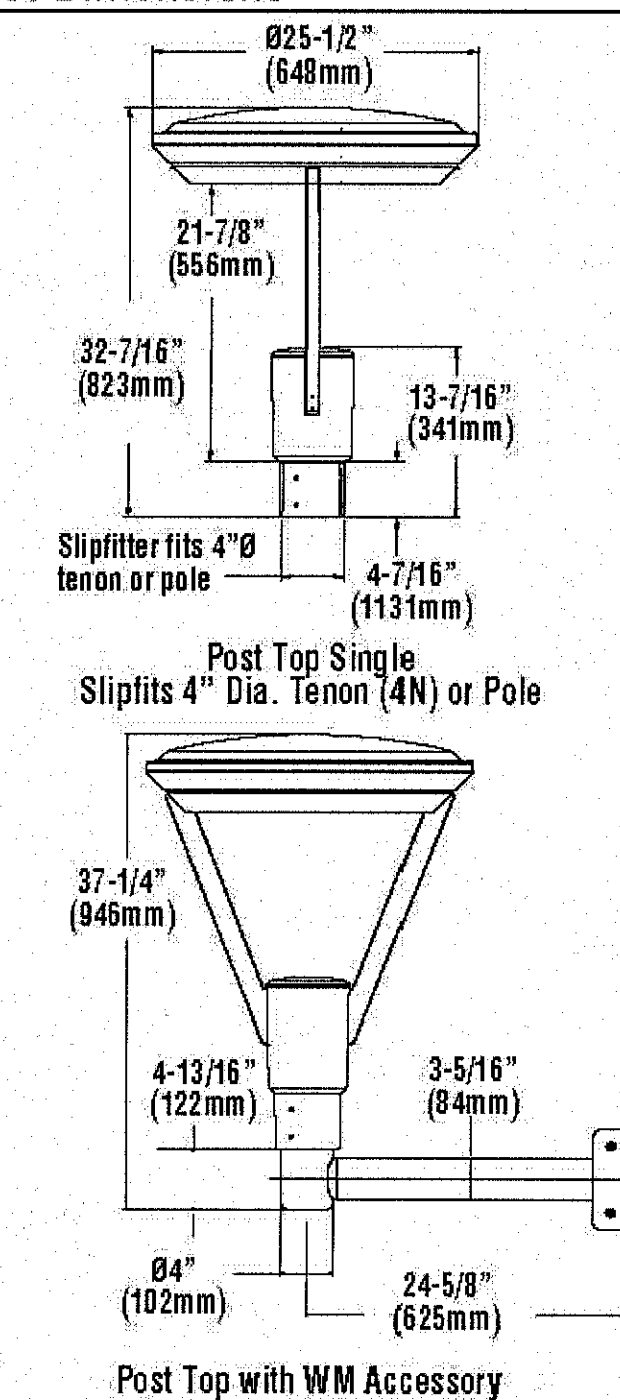
**Optical System**

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP36 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W and FT.
- Silicone optical material does not yellow or crack with age and provides a minimum light transmittance of 93%.
- Optical distributions are field rotatable (in 90° increments).
- Available in 5000K, 4000K, and 3000K (+/- 275K) color temperatures.
- Minimum CRI of 70. Consult Factory for Higher CRI requirements.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance. See page 4 for more details.

**Electrical**

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L70 Calculated Life: >100k Hours (See Lumen Maintenance on Page 2).
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor: > 90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire, however the luminaire is supplied with a 32' 3 conductor wire harness.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

**Product Dimensions**



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**Constitution - XCN4**  
**LED Decorative Pedestrian & Area Light**

**Ordering Guide**

Luminaire Prefix	Distribution	Light Source	Lenses	Color Temp	Line Voltage	Finish	Optional Controls	Options
XCN4 - Constitution	2 - Type II 3 - Type III 5W - Type Wide FT - Forward Throw (Type IV)	LED 10L - 10,000 Lumens 15L - 15,000 Lumens 25L - 25,000 Lumens	ISO - 5000K 40 - 4000K ISO - 3000K	UE - Universal Voltage (120-277V) HV - High Voltage (347-480V)	BRG - Bronze BLK - Black OPT - Graphite MSV - Mobile Silver WHT - White PLP - Platinum Plus SVG - Satin Verde Green	Stand-Alone Control (Blank) - None IMS - Integral Motion Sensor <sup>6</sup>	PCR 7P - Photoelectric Control Receptacle IL - Integral Louver Shield TE - Toolless Access	

**ACCESSORY ORDERING INFORMATION** (Accessories are field installed)

Description	Order Number	Description	Order Number
BK MPT B04 - Bolt on Bracket (for PT 180) For 4" O.D. Round Poles	460025C1.P2	FK120 Single Fencing (120V)	FK120.3
BK MPT B05 - Bolt on Bracket (for PT 180) For 5" O.D. Round Poles	460025C1.P2	FK277 Single Fencing (277V)	FK277.3
IL - Integral Louver Shield (Blank only)	624939	FK208-240 Double Fencing (208V, 240V)	FK208_240.3
PC120 Photocell for use with PCR option (120V)	150614.2.4	FK490 Double Fencing (480V)	FK490.3
PC208-277 Photocell for use with PCR option (208V, 240V, 277V)	122515.2.4	FK347 Single Fencing (347V)	FK347.3
PC347 Photocell for use with PCR option (347V)	122516.2.4	ALSC LMV TLS - Airtank 5 Pin Twist Lock Controller	661409
PC480 Photocell for use with PCR option (480V)	122519.2.4	ALSC LMV TL7 - Airtank 7 Pin Twist Lock Controller	661410
WM - Wall Mount Bracket (PT Only)	CF		

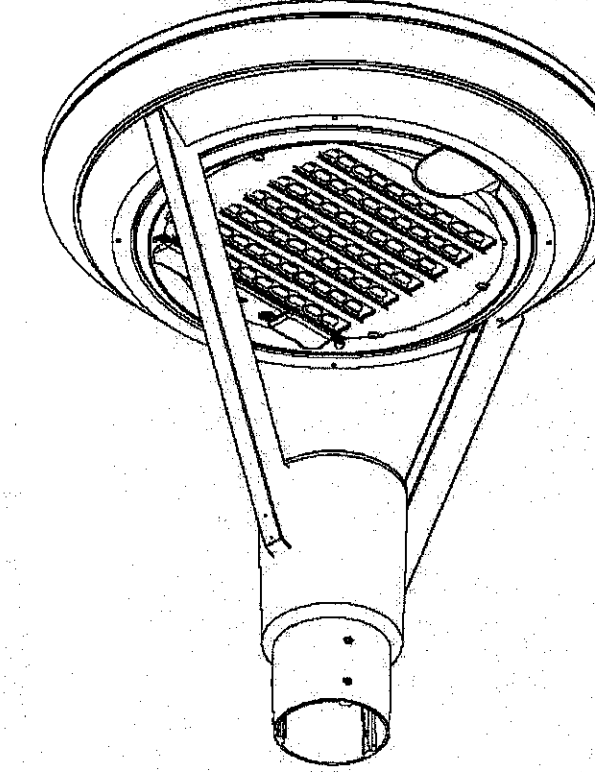
**FOOTNOTES:**  
1 - Photocell must be ordered separately. See Accessories.  
2 - Fencing includes PCR option required. See Options.  
3 - Fencing must be located in hand hole of pole.  
4 - These photocells provide Dark/Drawn, on-off control only. Consult factory for alternate photocells providing additional functionality.  
5 - Order order with 3" radius drilling pattern. For PT mounting configurations other than D180, consult factory. Order one bracket per fixture.  
6 - Consists of a daylight and motion dual sensor. Light levels are field adjustable via a handheld remote configuration tool. Not available PCR 7P.

**Accessories/Options**

**Integral Louver (IL)**

Optional Integral Louver available for improved back-light control without sacrificing street side performance.

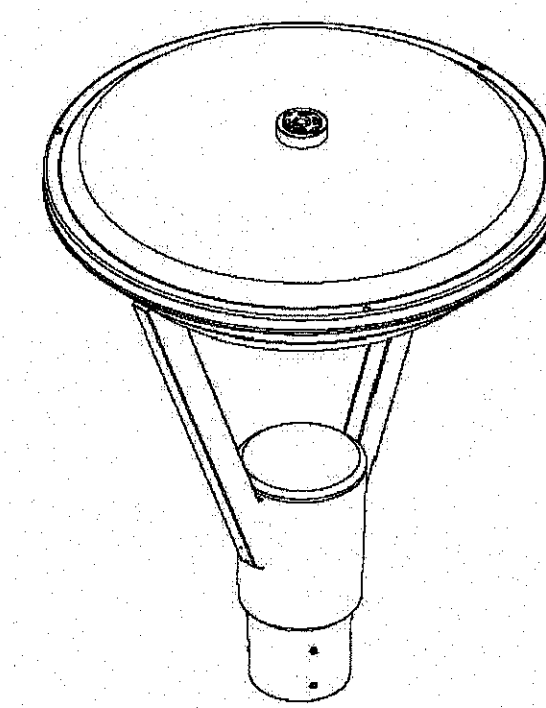
Fixture Shown with Integral Louver (IL)



**7 Pin Photoelectric Control**

7-pin ANSI C136.41-2013 photocontrol receptacle available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Fixture Shown with PCR 7P



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No.	DATE	DESCRIPTION

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	02/10/2020
SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	21 OF 23
<input type="checkbox"/> OCCOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

0 1 2 3  
ORIGINAL SCALE IN INCHES

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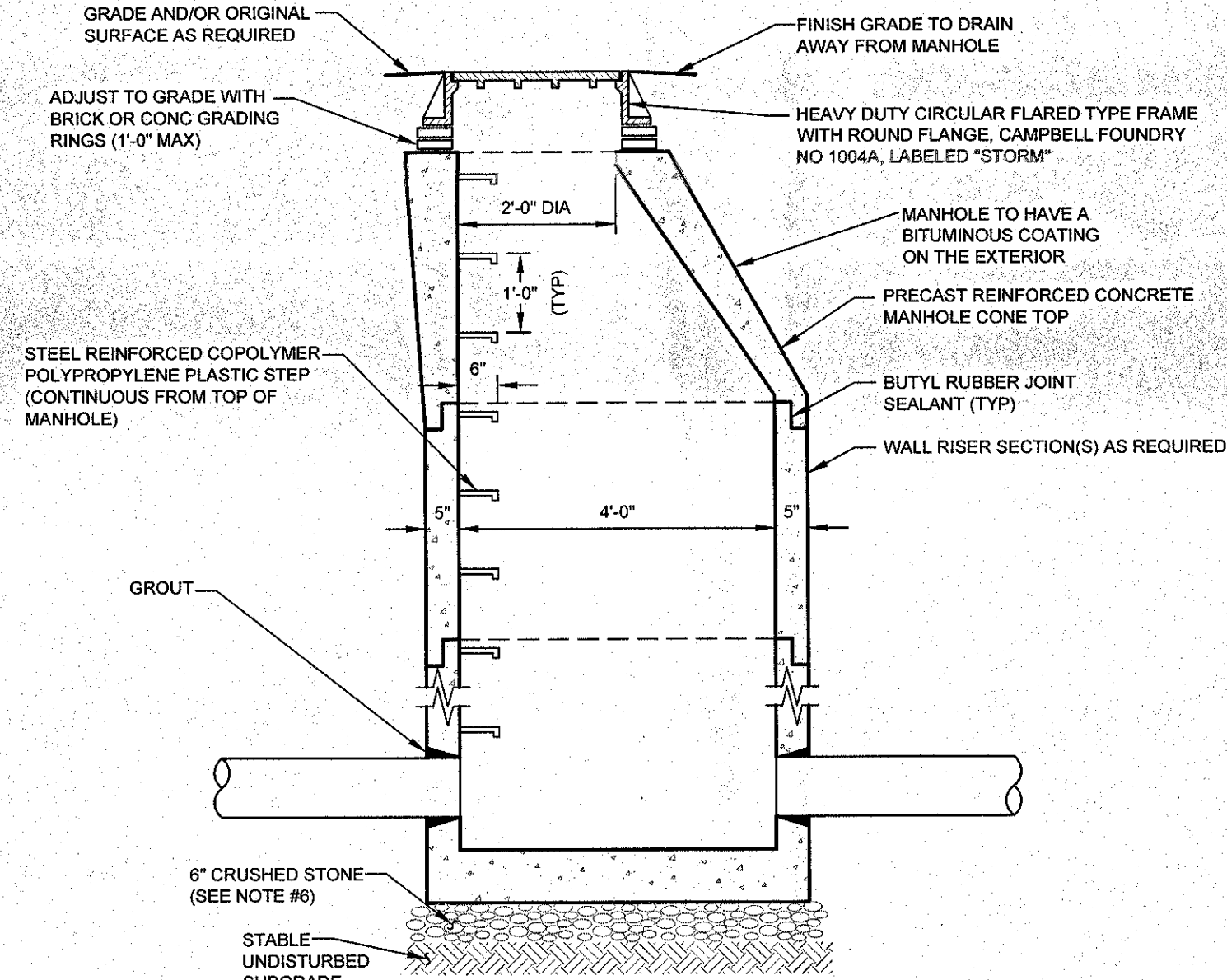
**DETAILS**

POLO CLUB  
NYS ROUTE 300  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 114.01 DRAWN BY: MP  
DATE: 02/10/2020 SCALE: AS NOTED  
REVISION: 0 TAX LOT: 39-1-1 & 2.12

**C-304**

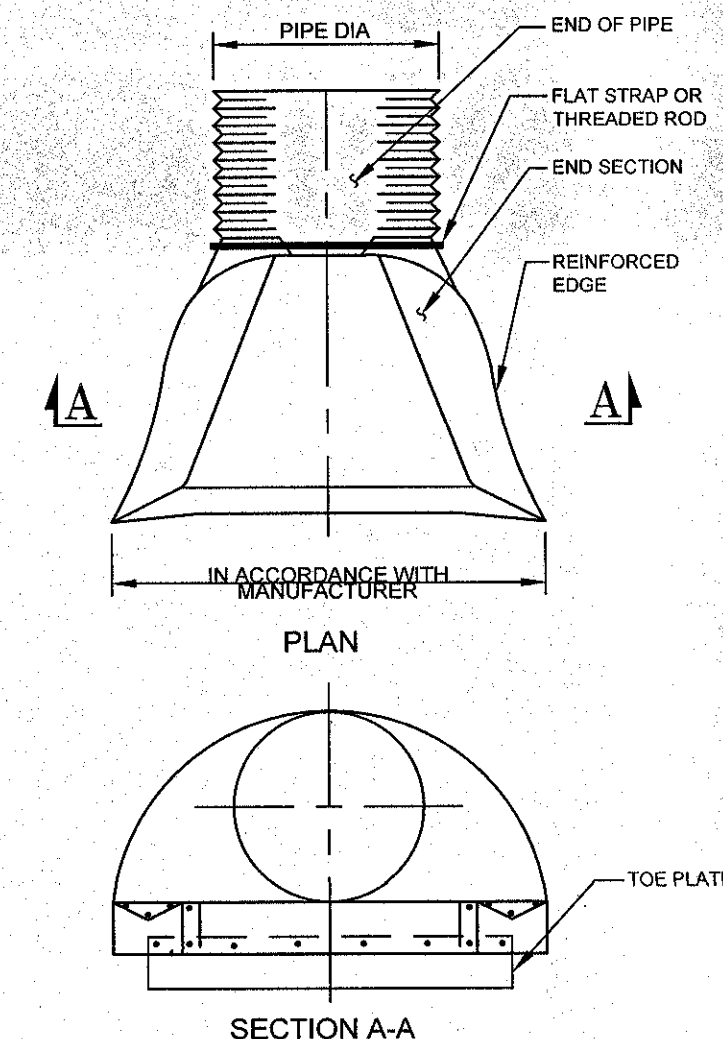




- NOTES:**
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
  3. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
  4. ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
  5. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODWARD'S CONCRETE PRODUCTS OR APPROVED EQUAL.
  6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

**DRAINAGE MANHOLE**

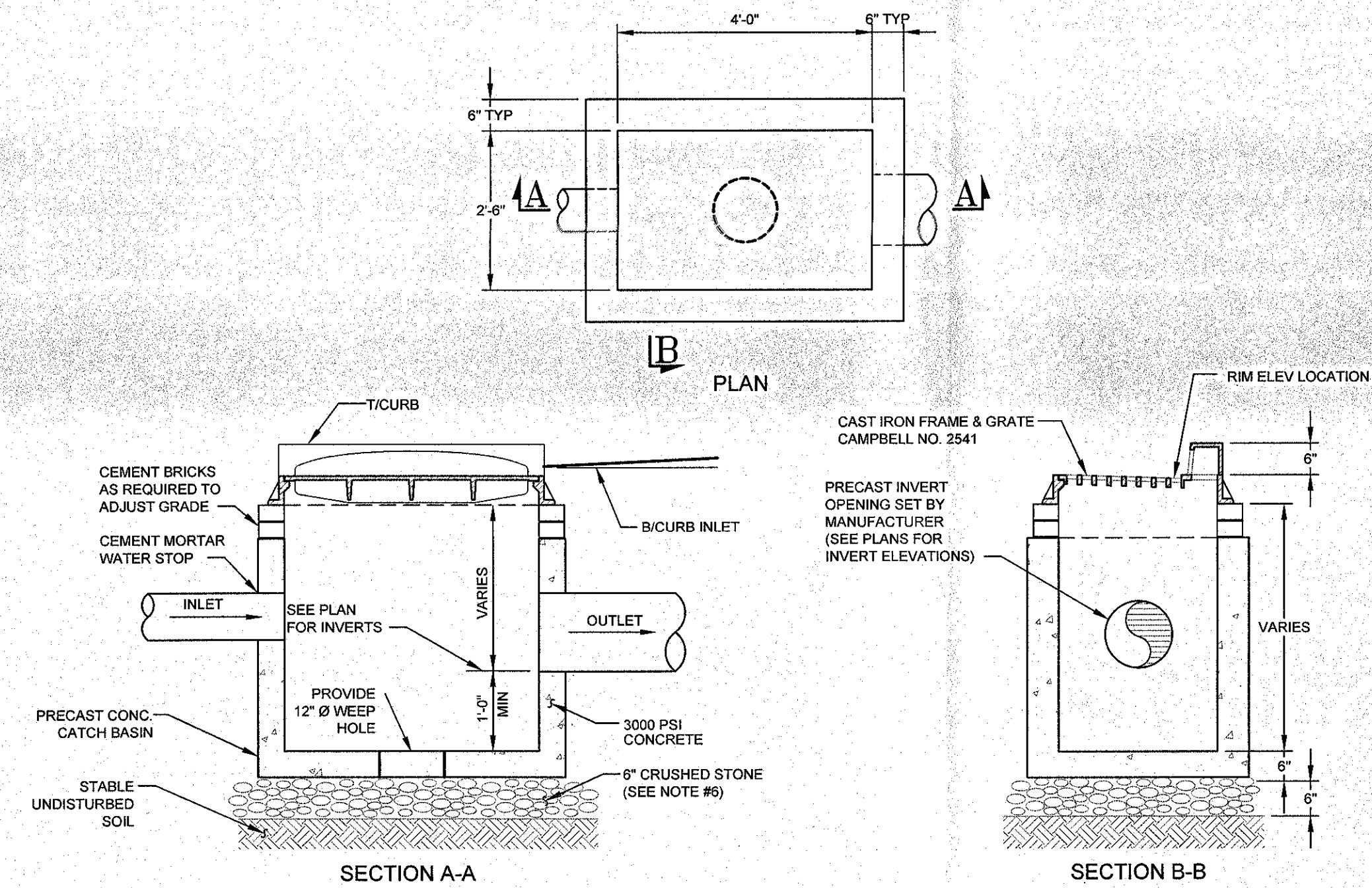
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NOTE: REBAR TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS.

**FLARED END SECTION**

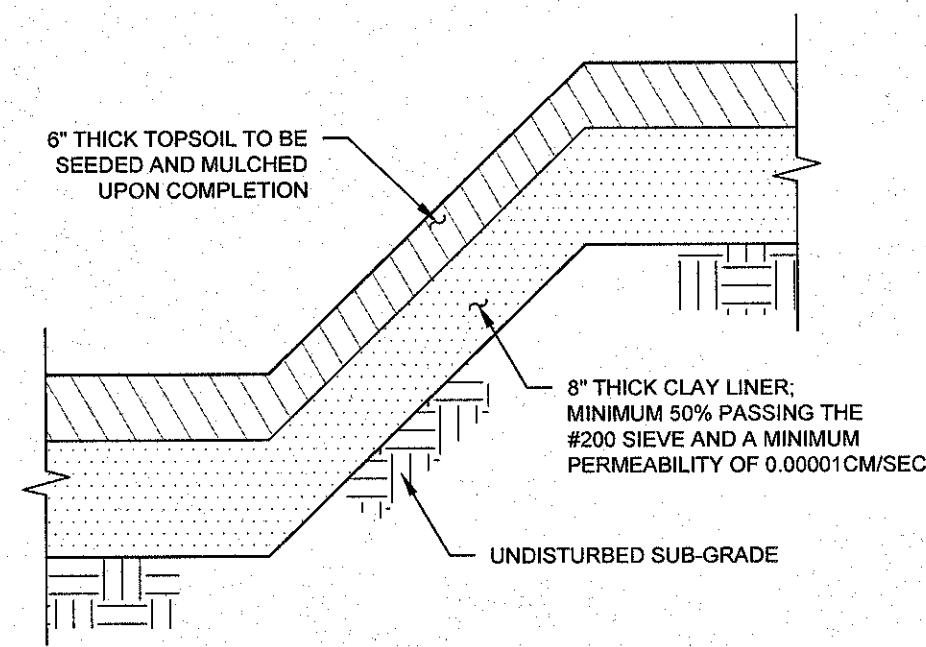
SCALE: N.T.S.



- NOTES:**
1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX 8" LIFTS.
  2. PRECAST ALL MINIMUM STEPS SHALL BE PROVIDED FOR ALL BASINS GREATER THAN FOUR FEET IN DEPTH.
  3. FOR CATCH BASINS LOCATED IN LANDSCAPE AREAS OR SPECIFICALLY NOTED AS "FLAT GRATE", USE FLAT INLET CAMPBELL FOUNDRY NO. 3433.
  4. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH R.O.B. GRAVEL (NYS DOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
  5. PRECAST CONCRETE BASIN BY WOODWARD'S CONCRETE PRODUCTS OR APPROVED EQUAL.
  6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.
  7. ANY STRUCTURE LOCATED WITHIN THE PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.

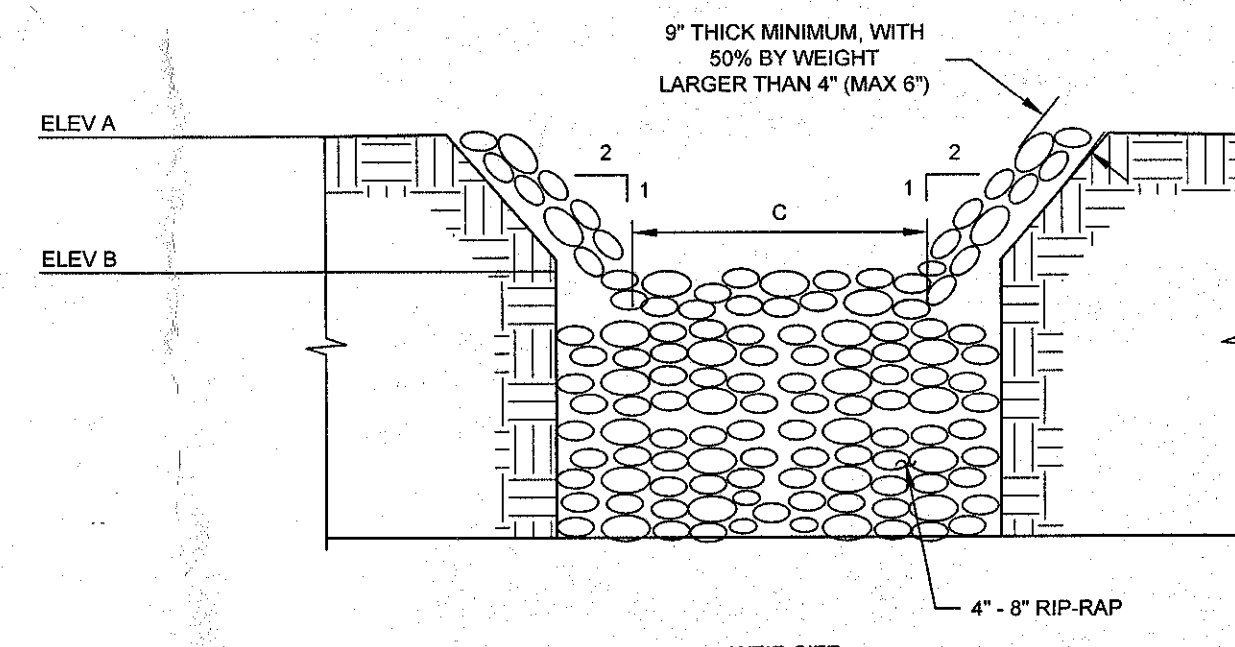
**CATCH BASIN**

SCALE: N.T.S.



**FOREBAY/PRETREATMENT POND LINER**

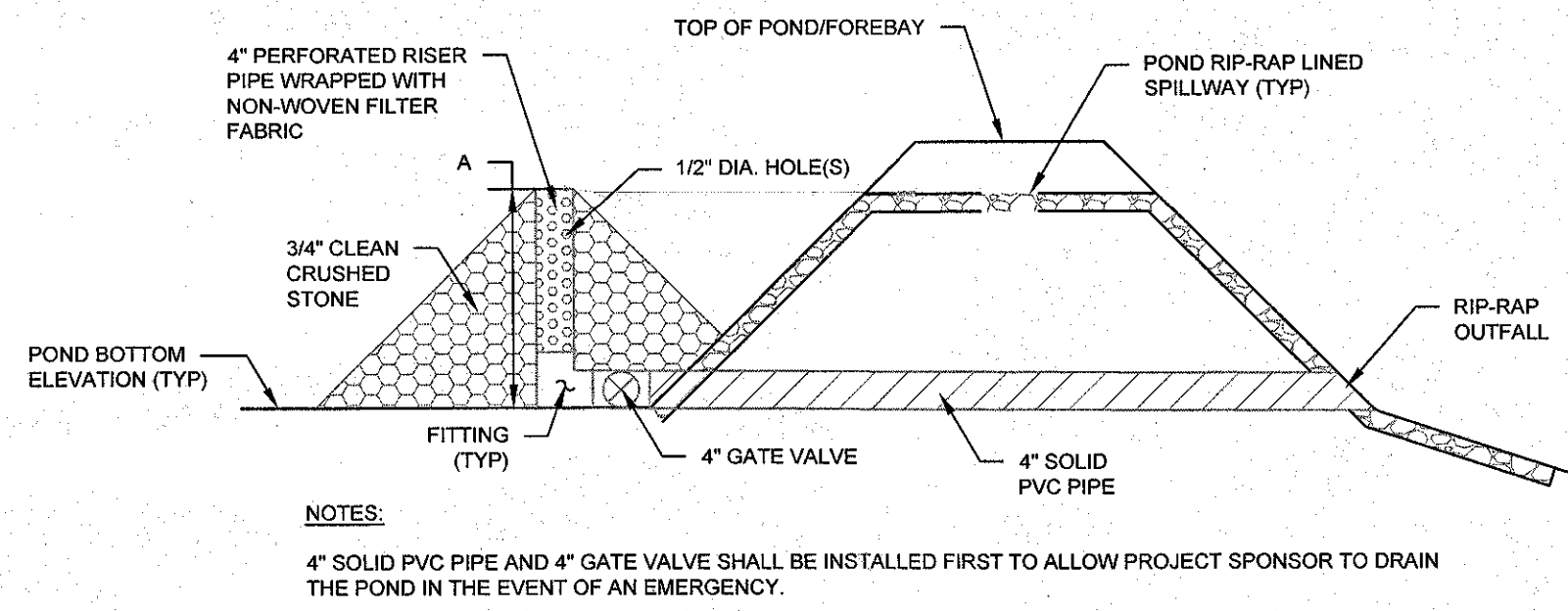
SCALE: N.T.S.



	WEIR SIZE	WEIR DATA		
		TOP OF POND (A)	WEIR ELEV (B)	WIDTH (C)
FOREBAY A2	401.00	399.00	10'	
POND A3	413.90	412.00	10'	
POND A4	408.00	406.00	10'	
FOREBAY B3	391.00	389.00	25'	

**OVERFLOW WEIR(S)**

SCALE: N.T.S.

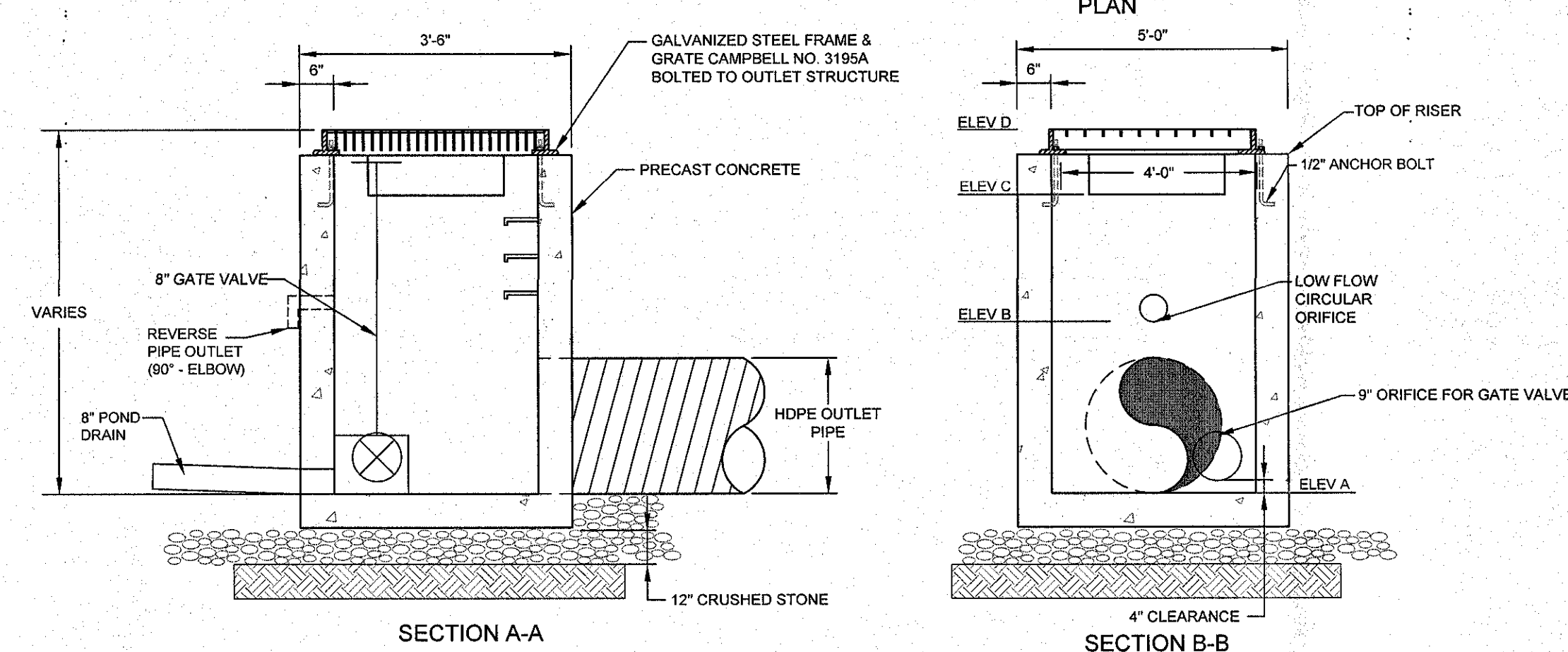
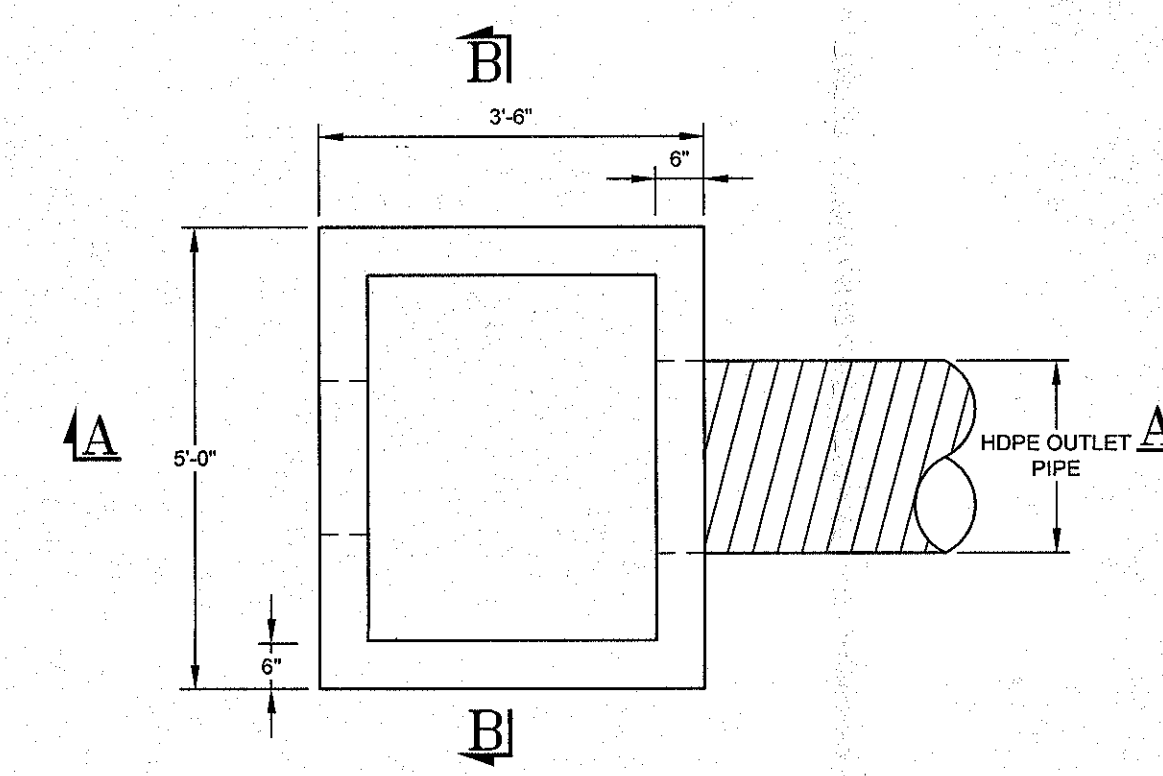


- NOTES:**
- 4" SOLID PVC PIPE AND 4" GATE VALVE SHALL BE INSTALLED FIRST TO ALLOW PROJECT SPONSOR TO DRAIN THE POND IN THE EVENT OF AN EMERGENCY.

	HEIGHT (A)	# OF HOLES
FOREBAY A2	2'-0"	18
POND A3	3'-0"	21

**RISER PIPE**

SCALE: N.T.S.

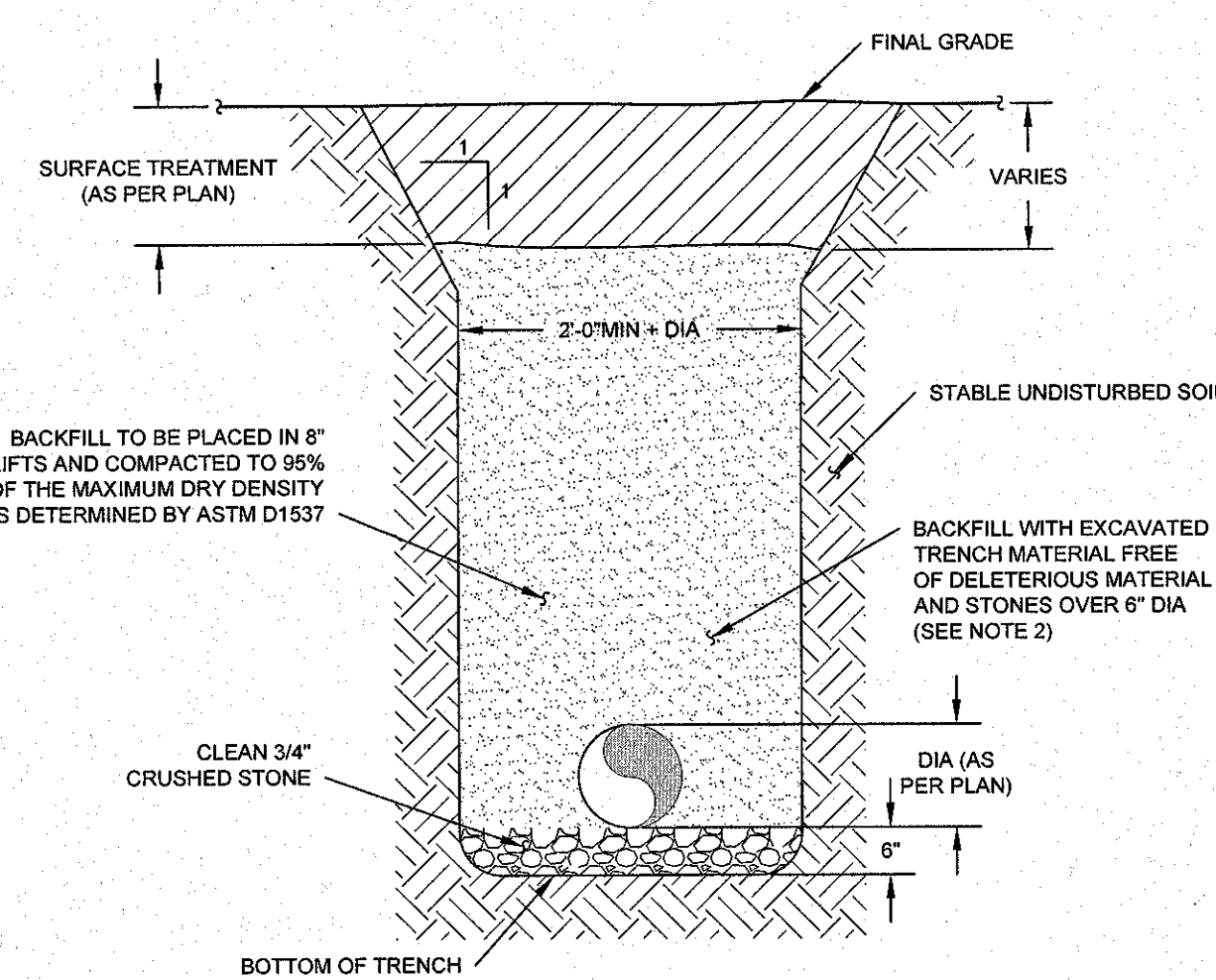


- NOTES:**
1. FOR SIZE AND LENGTH OF OUTLET PIPE SEE PLAN.
  2. DOWNPIPE SHALL BE STRAPPED TO OUTLET STRUCTURE WITH STAINLESS STEEL STRAPS.

POND	CULVERT / ORIFICES		WEIRS		OVERFLOW WEIR ELEVATION (WIDTH)
	ELEV A (Ø)	ELEV B (Ø)	ELEV C (WIDTH)	ELEV D	
POND A2	396.00 (24")	N/A	396.00 (15")	395.00	399.75 (50)
POND B2	392.00 (15")	385.20 (8")	N/A	387.50	389.00 (50)
FOREBAY B2	385.00 (15")	N/A	N/A	388.00	N/A
POND B3	384.00 (15")	387.00 (2 @ 3")	388.00 (48")	389.00	389.75 (50)

**DETENTION POND OUTLET STRUCTURE**

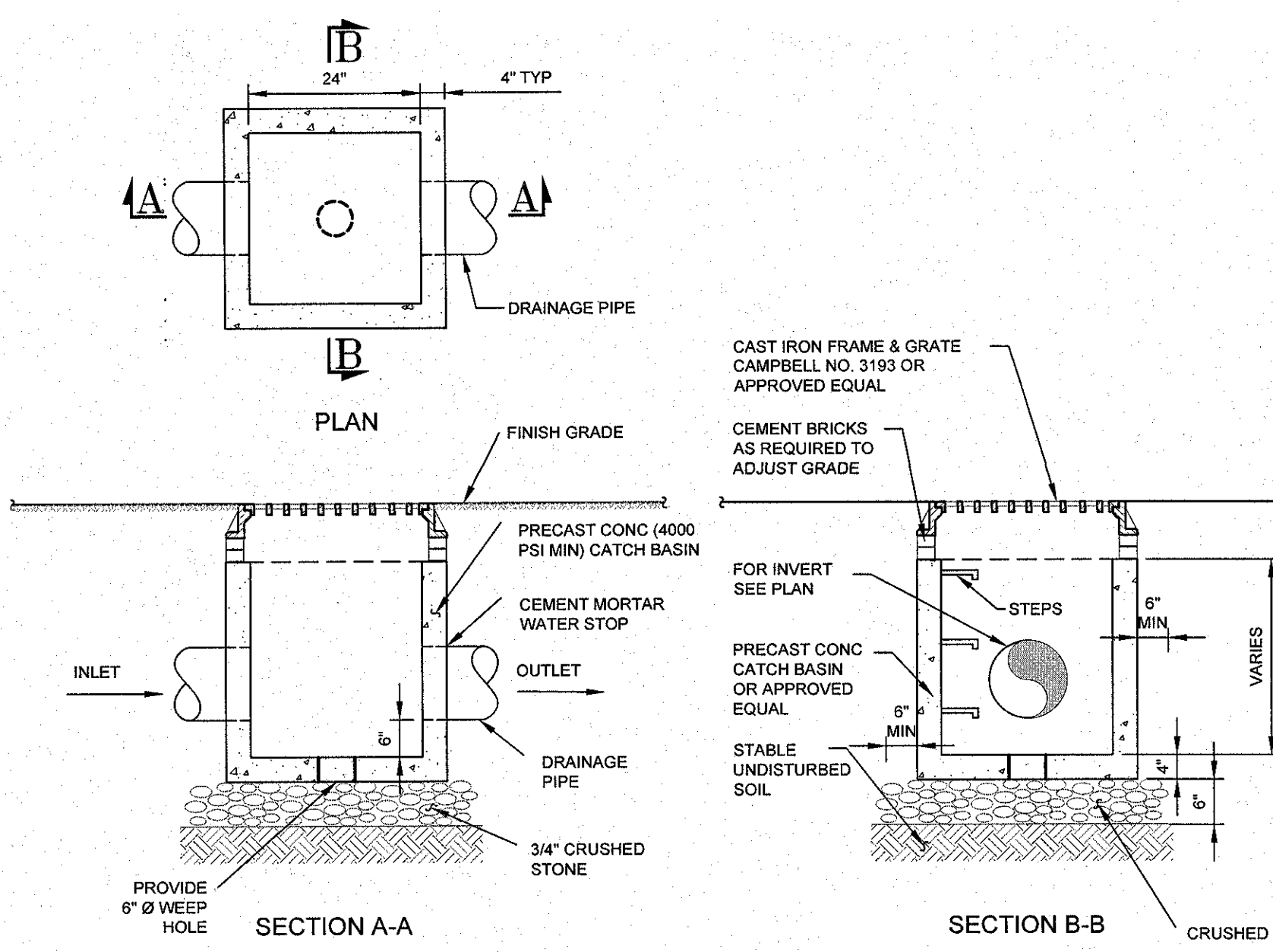
SCALE: N.T.S.



- NOTES:**
1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. OR WITHIN THE TOWN OF NEWBURGH RIGHT-OF-WAY SHALL BE WITH R.O.B. GRAVEL (NYS DOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
  2. ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.
  3. ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.

**DRAINAGE PIPE TRENCH**

SCALE: N.T.S.



- NOTES:**
1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX 8" LIFTS.
  2. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODWARD'S CONCRETE PRODUCTS OR APPROVED EQUAL.

**YARD DRAIN**

SCALE N.T.S.

No.	DATE	DESCRIPTION

**DRAWING STATUS**

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER	
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	20	OF 23
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
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<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

ISSUE DATE: 02/10/2020

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**DETAILS**

POLO CLUB  
NYS ROUTE 300  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	114.01	DRAWN BY:	MP
DATE:	02/10/2020	SCALE:	AS NOTED
REVISION:	0	TAX LOT:	39-1-1 & 2.12

**C-303**





























































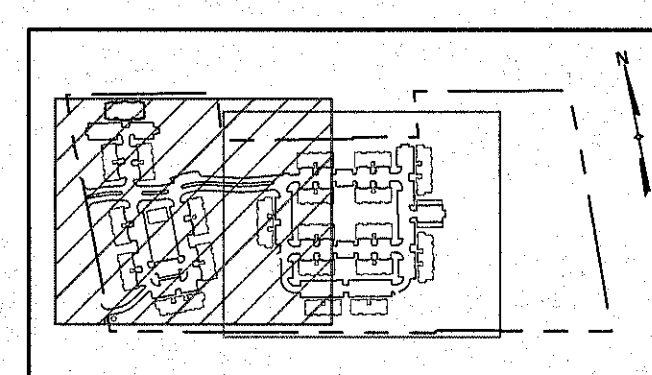
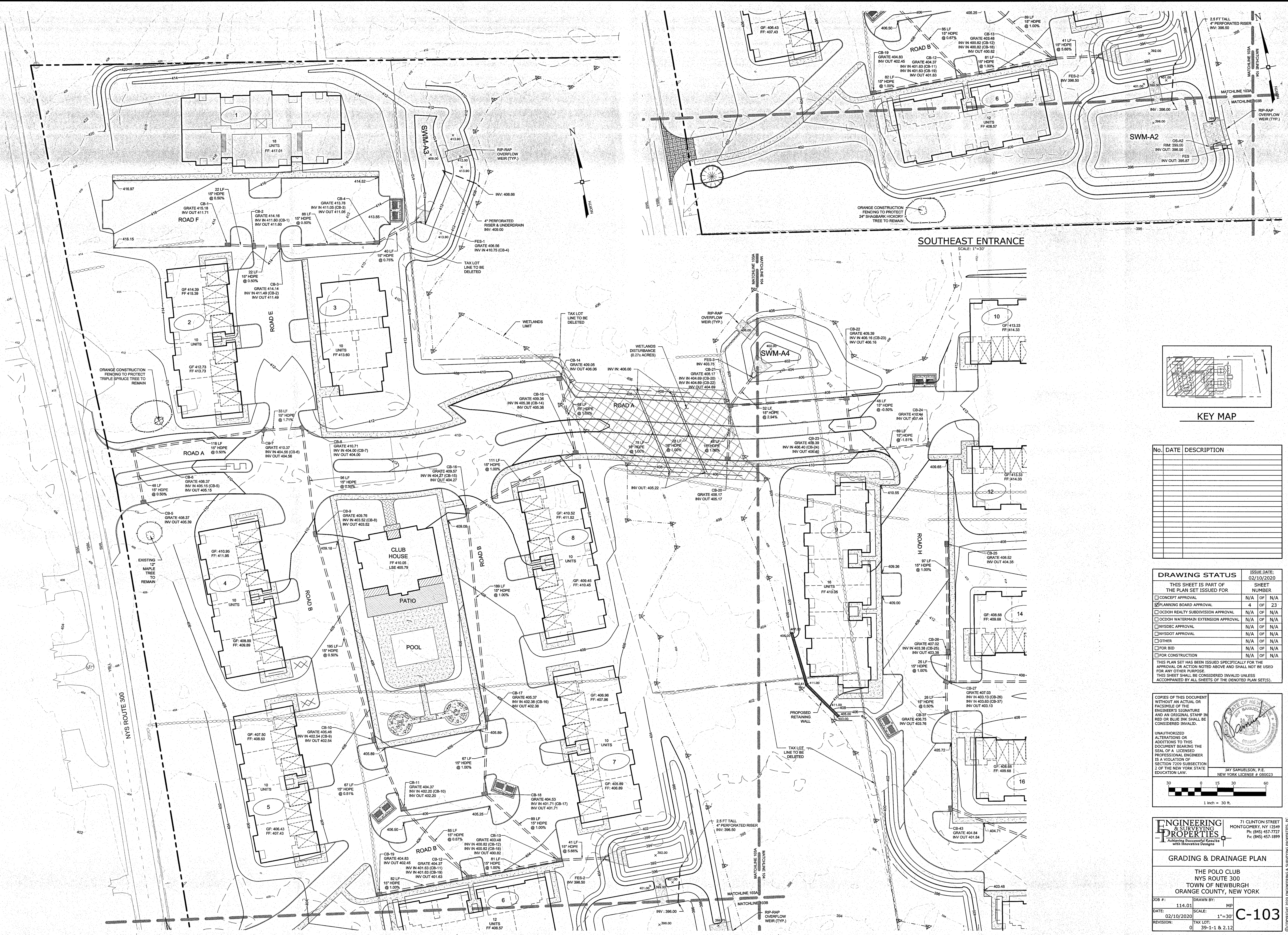












KEY MAP

SOUTHEAST ENTRANCE

SCALE: 1"=30'

No.	DATE	DESCRIPTION

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR:		02/10/2020
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1 inch = 30 ft.

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**GRADING & DRAINAGE PLAN**

**THE POLO CLUB  
NYS ROUTE 300  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK**

JOB #: 114.01 DRAWN BY: MP  
DATE: 02/10/2020 SCALE: 1"=30'  
REVISION: TAX LOT: 0 39-1-1 & 2.12

**C-103**

Z:\114.01 - The Polo Club (Multi) 7/24/19 Plan.dwg  
Date Printed: Feb. 24, 2020, 2:30am











REPUTED OWNER:  
**HUDSON VALLEY COUNCIL, INC.  
BOY SCOUTS OF AMERICA**  
TAX MAP ID: 34-2-35  
DEED BOOK: 12845, PAGE: 1580  
(FILED MAP 5202, LOT 1)

REPUTED OWNER:  
**JLTS XI LLC**  
TAX MAP ID: 34-2-34  
DEED BOOK: 12755, PAGE: 1974  
(FILED MAP 9538, LOT 1)

REPUTED OWNER:  
**HILLSIDE LAND  
DEVELOPMENT, INC.**  
TAX MAP ID: 34-2-68  
DEED BOOK: 13758, PAGE: 1974  
(FILED MAP 9038, LOT 1)

REPUTED OWNER:  
**DEPT PARTNERS LP**  
TAX MAP ID: 34-2-38.4  
DEED BOOK: 4234, PAGE: 79

REPUTED OWNER:  
**BLUE CLEAN WATER, LLC**  
TAX MAP ID: 34-2-65  
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(FILED MAP 6387)

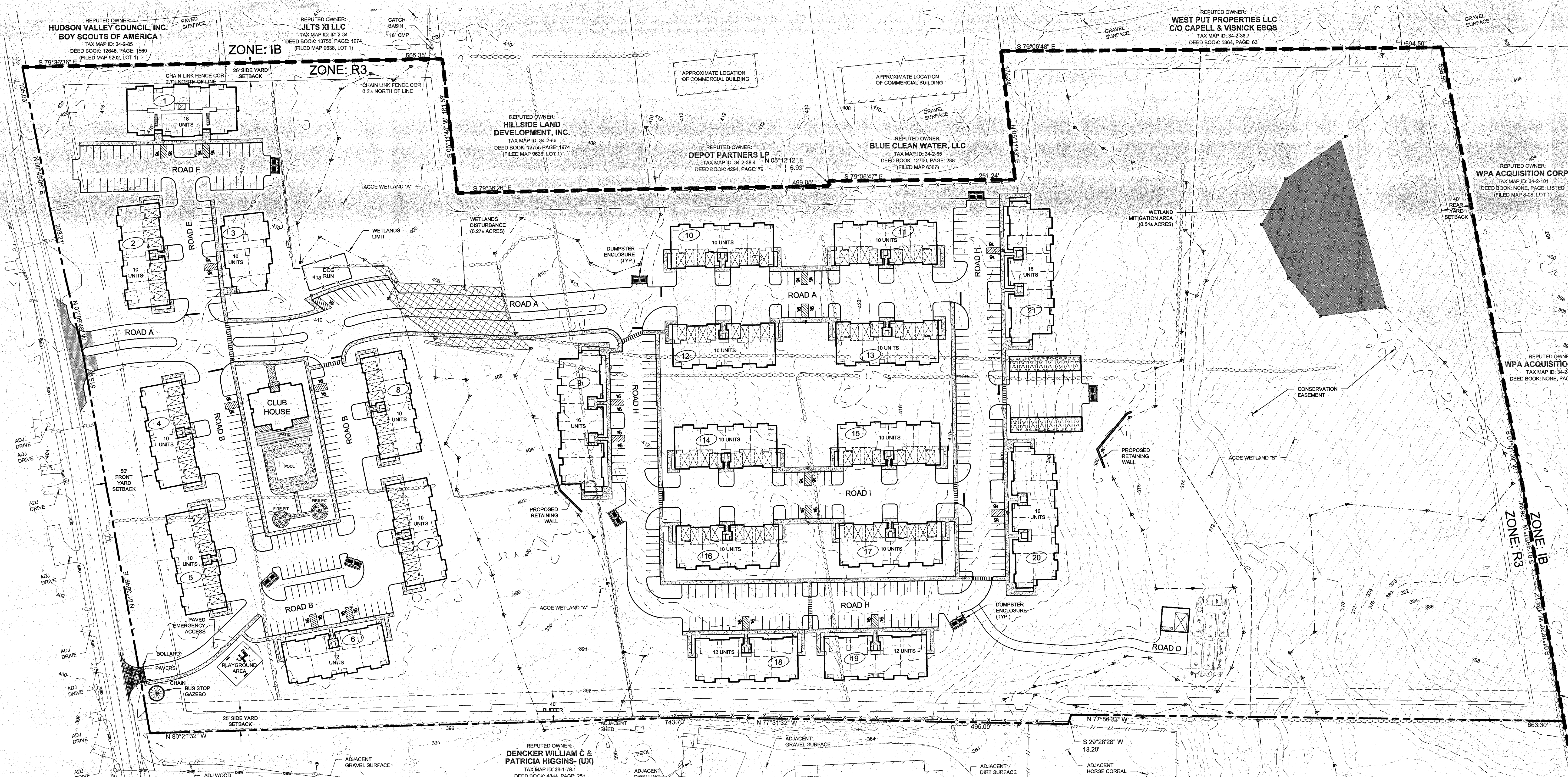
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**WEST PUT PROPERTIES LLC  
C/O CAPELL & VISNICK ESQS**  
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REPUTED OWNER:  
**WPA ACQUISITION CORP.**  
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(FILED MAP 848, LOT 1)

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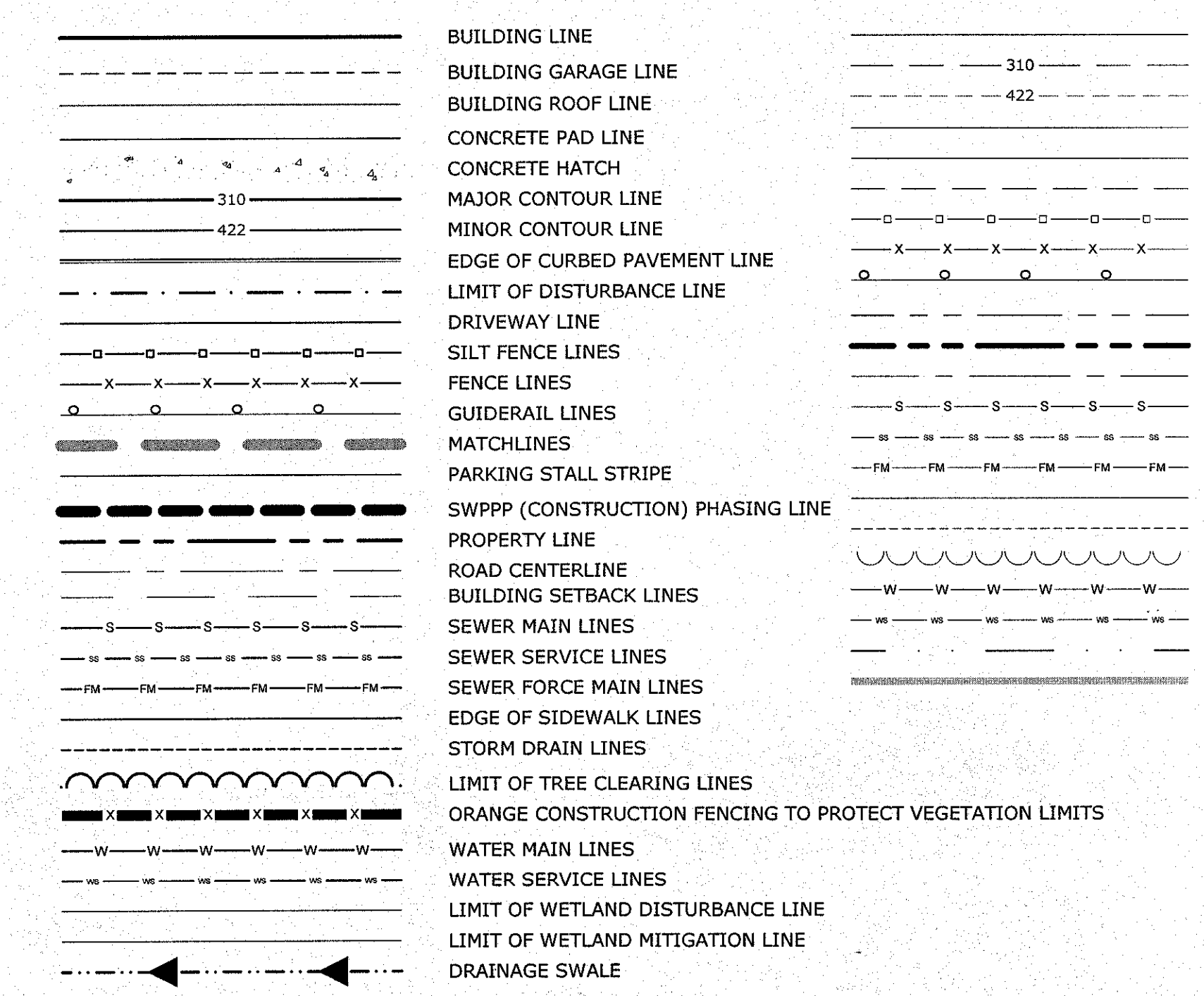
### LIST OF DRAWINGS

DRAWING #	TITLE	SHEET #
0-100	OVERALL PLAN	1
C-101	SITE PLAN	2
C-102	PHASING PLAN	3
C-103	EROSION CONTROL PHASE 1A	4
C-104	EROSION CONTROL PHASE 1B	5
C-105	EROSION CONTROL PHASE 1C	6
C-106	EROSION CONTROL PHASE 2A & B	7
C-107	EROSION CONTROL PHASE 2C & 3	8
C-108	LIGHTING PLAN	9
C-109	LANDSCAPING PLAN	10
C-201	PROFILES	11
C-202	PROFILES	12
C-301	DETAILS	13
C-302	DETAILS	14
C-303	DETAILS	15
C-304	DETAILS	16
C-305	DETAILS	17
C-306	DETAILS	18
C-307	DETAILS	19
C-308	DETAILS	20
C-309	DETAILS	21
C-310	DETAILS	22
C-311	DETAILS	23



**OVERALL PLAN**  
SCALE: 1"=60'

**LEGEND**



**PARKING CALCULATION**

TOTAL UNIT COUNT: 242 UNITS  
TOTAL PARKING REQUIRED:  
2 SPACES PER UNIT x 242 UNITS = 484 SPACES REQUIRED  
PROVIDED:  
SURFACE PARKING = 404 SPACES  
CLUBHOUSE PARKING = 50 SPACES  
GARAGE PARKING = 130 SPACES  
SUMMARY:  
484 PARKING SPACES REQUIRED  
584 PARKING SPACES PROVIDED

**DENSITY CALCULATION**

TOWN OF NEWBURGH - ZONING DISTRICT R-3  
MINIMUM BUILDING REQUIREMENTS  
LOT AREA: 1,578,241 SF = 36.23 AC  
LOT AREA DEDUCTIONS:  
ACOE WETLANDS 402,643 SF = 9.243 AC  
UNITS PERMITTED:  
(36.23 AC - 9.24 AC) x 9 UNITS = 242.91 UNITS  
BASE DENSITY: 26.99 AC x 9 UNITS = 191.94 UNITS  
BONUS DENSITY: 26.99 AC x 3 UNITS = 80.97 UNITS  
UNITS PROPOSED:  
14 BUILDINGS X 10 UNITS EACH = 140 UNITS  
3 BUILDINGS X 12 UNITS EACH = 36 UNITS  
1 BUILDING X 18 UNITS EACH = 18 UNITS  
3 BUILDINGS X 16 UNITS EACH = 48 UNITS  
TOTAL PROPOSED = 242 UNITS

\*NOTE: A MINIMUM OF 27 UNITS (1/3 OF BONUS DENSITY) WILL BE DEDICATED TO SENIOR CITIZEN HOUSING

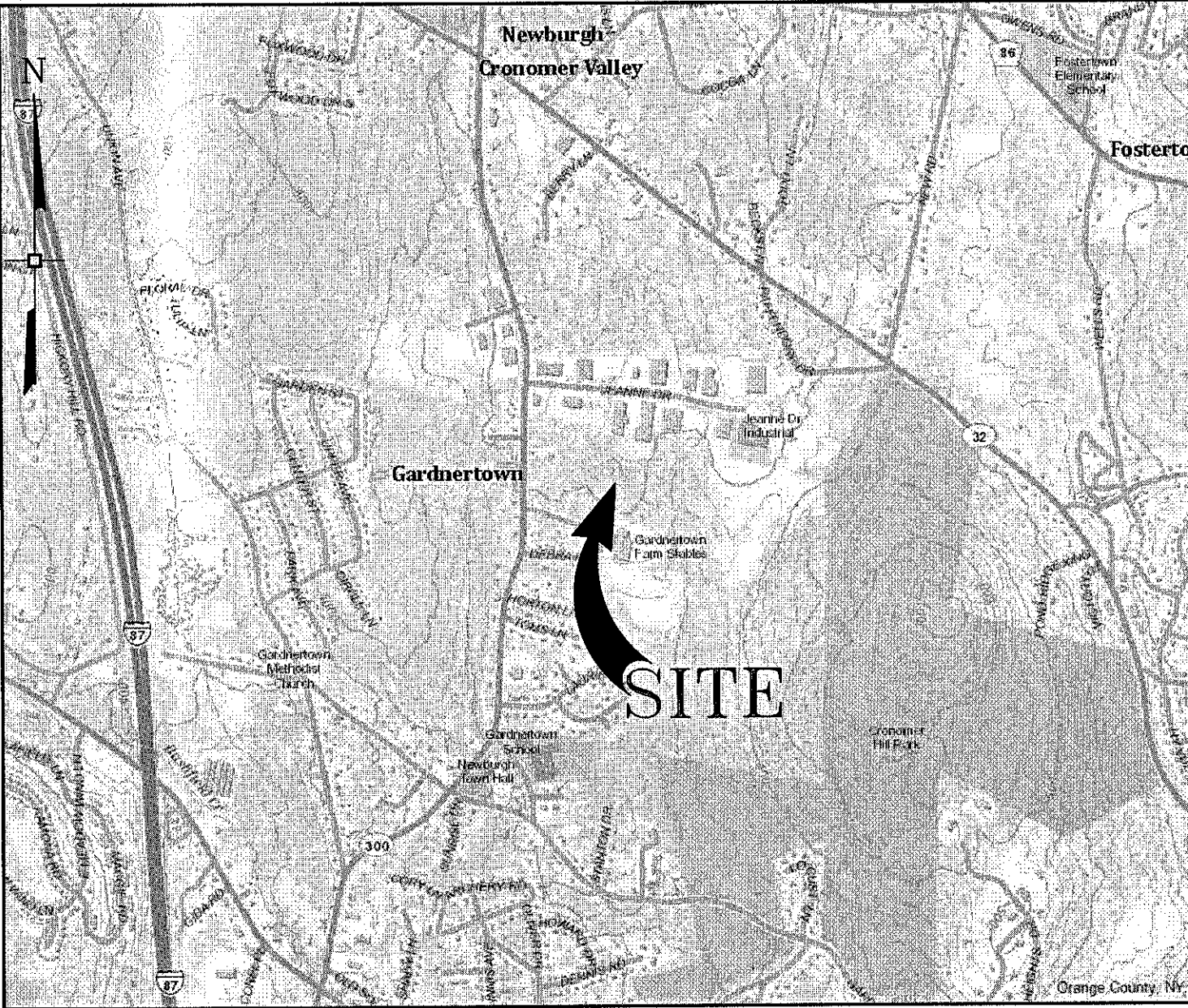
**BULK REQUIREMENTS**

TOWN OF NEWBURGH - ZONING DISTRICT R-3	REQUIRED	PROPOSED
MINIMUM BUILDING REQUIREMENTS		
LOT AREA	174,240 SF	1,578,241 SF
LOT WIDTH	150 FEET	>143 FEET
LOT DEPTH	150 FEET	>1,881 FEET
FRONT YARD	40 FEET	>40 FEET
REAR YARD	50 FEET	>50 FEET
SIDE YARD (ONE/BOTH)	25/50 FEET	>25/50 FEET
LIVABLE FLOOR AREA	900 SF	>900 SF
MAXIMUM ALLOWABLE		
LOT BUILDING COVERAGE	35%	9.9%
MAXIMUM BUILDING HEIGHT	35 FT	35 FT
LOT SURFACE COVERAGE	60%	27.2%

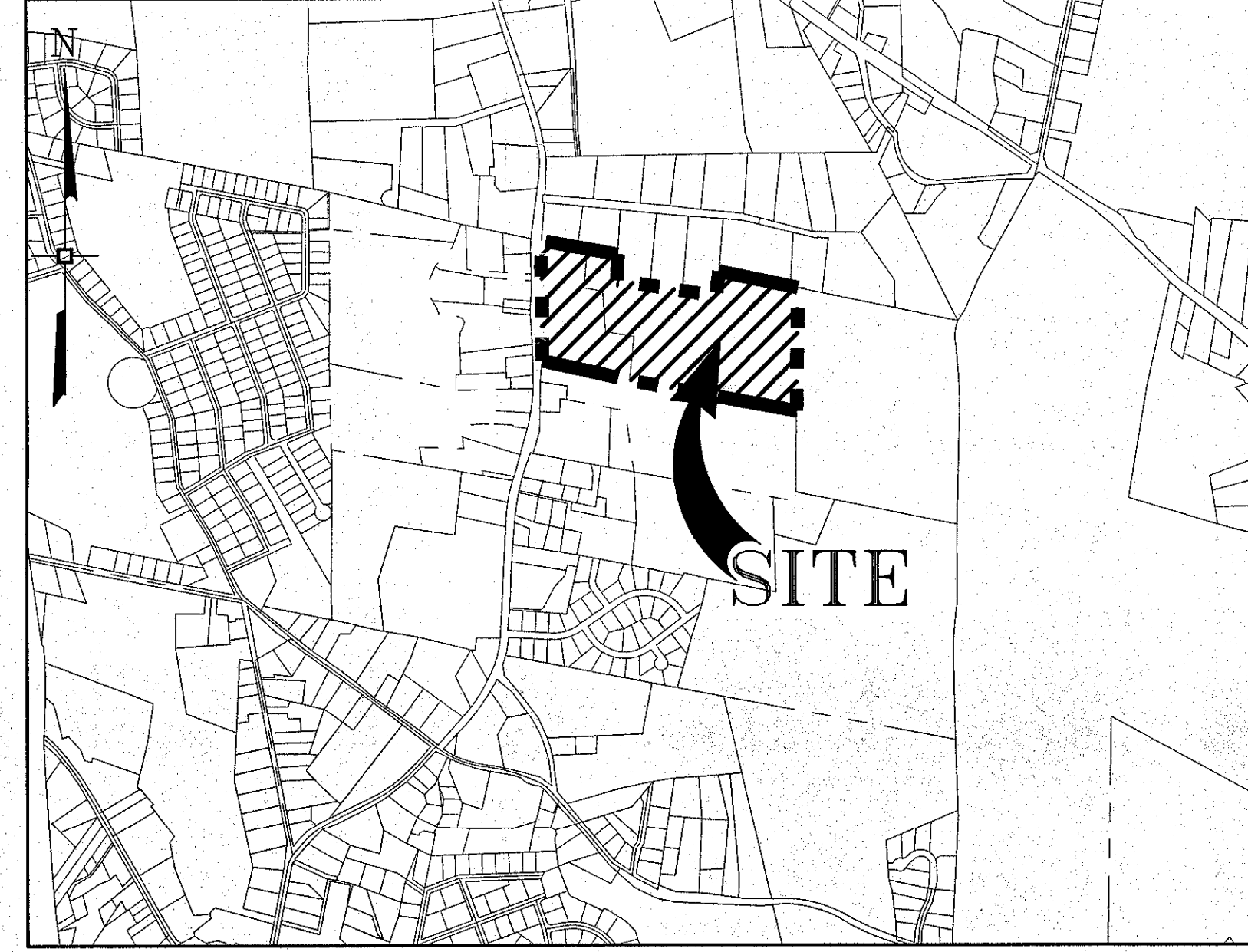
**GENERAL NOTES**

- TAX MAP IDENTIFICATION NUMBER: SECTION 39, BLOCK 1, LOTS 1, & 2, 12
- OWNER: SPRUCE CREEK LLC 88 FAR HORIZONS DRIVE NEWBURGH, NY 12550
- APPLICANT: MEADOW CREEK DEVELOPMENT, LLC 88 FAR HORIZONS DRIVE NEWBURGH, NY 12550
- PROPOSED NUMBER OF UNITS: 242
- AREA = 336.23 AC
- ALL PROPOSED UNITS SHALL BE SERVICED BY TOWN OF NEWBURGH WATER AND AN ONSITE PRIVATE SEWER TREATMENT PLANT.
- BOUNDARY AND TOPOGRAPHICAL INFORMATION BASED UPON AN ACTUAL FIELD SURVEY AS PERFORMED BY TECTONIC ENGINEERING & SURVEYING, P.C. ON 2/24/03. ACOE WETLANDS DELINEATED BY ALPINE ENVIRONMENTAL CONSULTANTS IN AUGUST 2003 AND JURISDICTIONAL DETERMINATION ISSUED ON JANUARY 26, 2006.
- CONSERVATION EASEMENT TO BE FILED IN ORANGE COUNTY CLERKS OFFICE PROHIBITING ANY FURTHER DEVELOPMENT IN ACCORDANCE WITH NYSDC STORMWATER GREEN INFRASTRUCTURE PRACTICE & REQUIREMENTS.

**LOCATION MAP**



**TAX MAP**



No.	DATE	DESCRIPTION

**DRAWING STATUS**

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1 OF 23
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<input type="checkbox"/> OCCOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080223

1 inch = 60 ft.

**ENGINEERING PROPERTIES**  
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MONTGOMERY, NY 12549  
PHONE: (518) 461-7777  
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ACHIEVING SUCCESSFUL RESULTS WITH INNOVATIVE DESIGN

**SITE PLAN**  
MCDEY, HAUSER, AND POGGIO  
REGISTERED PROFESSIONAL ENGINEERS D.P.E.  
NYS ROUTE 300  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

DRAWN BY: 114.01 MP  
DATE: 02/10/2020 SCALE: 1"=60'  
REVISION: 0 TAX LOT: 39-1.1 & 2.12

# 0-100