



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** PIZZA UNION OUTDOOR DINING  
**PROJECT NO.:** 23-8  
**PROJECT LOCATION:** 1400 ROUTE 300  
SECTION 60, BLOCK 3, LOT 43  
**REVIEW DATE:** 28 APRIL 2023  
**MEETING DATE:** 4 MAY 2023  
**PROJECT REPRESENTATIVE:** BOLDER ARCHITECTURE

1. The applicants previously had Outdoor Dining Permits from the Building Department under Chapter 177 Temporary Outdoor Dining Permits. During the initial COVID period the Town Board allowed for temporary outdoor dining with a set time frame which was extended for one year. The temporary outdoor dining Local Law #2 of 2021 has now expired. The applicants are requesting to maintain outdoor dining, which will require Amended Site Plan approval by this Board.
2. The applicants are requesting 9 tables to be placed under a proposed pergola resulting in an increase of 36 seats on the site.
3. It is requested the applicants provide a parking calculation for the entire site including the requirements for the additional 36 seats, as well as the expanded restaurant.
4. The applicants are proposing modifications to the parking lot including wider “no vehicle areas” and relocation of the parking spots on the south end of the site nearest the building further into the parking lot while providing a 24 ft. standard lane width. Loading dock area is proposed within this striped area to the south of the structure.
5. Proposed plan will show the outdoor seating in two locations split by an existing accessible ramp. South elevation appears to only show the proposed outdoor seating pergola on the westerly most portion of the south side of the building.
6. While not mentioned in the application it appears that the restaurant use of the building is proposed to expand into an adjacent tenant space. Additional restaurant seating should be incorporated into the parking calculation.
7. The site is connected to the Town’s municipal water and sewer system.
8. The small 11x17 inch plans are not to scale.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

9. The Amended Site Plan will require submission to the County Planning Department.
10. Details of the proposed patio construction should be added to the plan sheets.
11. Details of the bollard traffic protection should be added to the plans.

Respectfully submitted,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal

PJH/kbw



20 March 2023

Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

ATTENTION: JOHN P. EWASUTYN, CHAIRMAN  
GERALD CANFIELD, CODE COMPLIANCE SUPERVISOR

SUBJECT: CHAPTER 177- TEMPORARY OUTDOOR DINING PERMITS  
LOCAL LAW #2 OF 2021

In response to COVID indoor dining restrictions, the Town of Newburgh Town Board adopted Chapter 177 in July of 2021. The purpose of the ordinance was to allow for outside open air dining for facilities which were permitted for indoor dining activities. The open air dining was provided to replace the loss of indoor seating due to COVID restrictions. Chapter 177 was extended by the Town Board, however has now expired. Several Restaurants/ Eating and Drinking establishments within the Town took advantage of Chapter 177-Outdoor Dining Provisions. They have now identified that they wish to keep these facilities past the expiration date of the Temporary Outdoor Dining Code. Code Enforcement Department and Planning Board have received requests to permanently use the previously permitted temporary outdoor dining areas. In order to continue the outdoor dining areas an Amended Site Plan would have to be approved at the facilities.

The COVID restrictions are no longer applicable the facilities are permitted to use their previously approved indoor seating count. The addition of the outdoor dining facilities may have potential Zoning impacts regarding parking, water use, sanitary sewer flow, access, and emergency vehicle access. Based on discussions with representatives of the Town of Newburgh the Amended Site Plan approval will be required. The Amended Site Plan approval process is identified in Town Code Chapter 185-56 thru 185-58. We would recommend that since the outdoor dining facilities are present on the site a streamlined review of the site plan process be implemented which will eliminate the pre-submission conference and Sketch Plan review .

Site Plan Chapter 185-57E allows for the waiver of requirements upon a finding by the Planning Board that "due to the particular character or limited nature of development or change in use or special conditions the submission of a Sketch Plan and/or Preliminary/ Final Site Plan for or of certain portions of the information normally required for site development is set forth in Sections B & D are inappropriate or unnecessary or that struct compliance with said submission requirements will cause extraordinary or unnecessary hardship. The Planning Board may vary or waive such submission requirmenets wherever in the opinion of the Planning Board, such variance or waiver will be consistent with the goal of promoting Public Health, safety, comfort, convenience and general welfare of the community. Findings for granting such a waiver of submission requirements shall become part of the record".

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhpepa@mhepc.com

Based on the above, we would recommend that for facilities permitted under the previous Chapter 177 – Temporary Outdoor Dining Permits that are requesting they be approved to continue outdoor dining, submit a Site Plan depicting the following:

1. A survey depicting existing lot lines, structures, parking with required parking calculations, Bulk Table compliance, the area depicted for outdoor dining including number of seats, new parking calculation, traffic circulation, water/sewer, emergency access, landscaping and screening, ADA accessibility, septic system calculations for facilities not served by municipal sanitary sewer.
2. Chapter 195-57K- allows the Planning Board to waive a Public Hearing. The Planning Board should consider whether to waive a Public Hearing based on the individual plan submitted.
3. Compliance with the Town’s Adjoiner’s Notice would be required.
4. The individual outdoor dining areas are most likely considered Type II Actions under SEQRA, requiring no additional SEQRA review.
5. Ammended Site Plans will be subject to Orange County Planning submission if they fall within the 239 guidelines.

Very Truly Yours,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal  
PJH/kbw

CC: Gilbert Piaquadio, Supervisor  
Joe Cannfield - Code Compliance Supervisor  
John P. Ewasutyn – Planning Board Chairman  
Mark Taylor – Town Attorney



Date: 04/14/2023

**File# 2023-08: Fusion @ Union Outdoor Dining**

Dear Town of Newburgh Board Members,

We would like to request the permission to serve food and drinks, outdoor sitting area to our patronage during warm weather. During covid period we were allowed to serve customers to serve outside and since then they have been enjoying the option to sit outside during warm weather and enjoy their meal.

So in the anticipation to have that option we started to change the existing grass/lawn area adjacent to our restaurant into a proper sitting area with pergola. We have made sure that the place is properly secure with bollards in place and proper fence for the safety of our customers and our staff. All the customers are requesting to have the option to sit outside. Other restaurants like Starbucks and Cosimos have the option being in the same area. Serving our customers outside will only help our business to sustain and grow as we have suffered a lot during covid period. We were also unfortunate during the lesser restrictions that we fell under yellow zone and were only allowed to serve only 4 people per table while the rest of the Chili's plaza and other were not. We were in yellow zone for more that 4-5 months. Also, with recent price inflation and labor shortage all our overheads gone up and we are really trying to stay afloat with the current uncertain inflated market.

We have attached the application form and long environment assessment form along with 2 checks of \$1,500.00 & \$550.00 respectively.

Please grant us the option to serve our customers outside during warm weather.

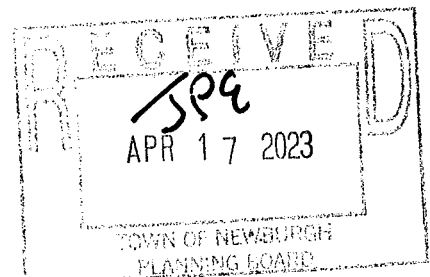
Should you need any more information please feel free to contact us.

Thanking you and looking forward to open our outdoor dining option.

With warm regards,

*Rishi Parikh*

Rishi Parikh  
Fusion @ Union  
1400 Route 300  
Suite 1  
Newburgh  
NY 12550.



**TOWN OF NEWBURGH PLANNING BOARD**

**APPLICATION PACKAGE**

**for**

**SUBDIVISIONS,**

**SITE PLANS,**

**LOT LINE CHANGES**

**And**

**SPECIAL EXCEPTION USE PERMITS**

**Procedures and Requirements**

**July 2013**

**TOWN OF NEWBURGH PLANNING BOARD  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550  
(845) 564-7804  
fax: (845) 564-7802  
[planningboard@hvc.rr.com](mailto:planningboard@hvc.rr.com)**

JULY 2013

**TO WHOM IT MAY CONCERN:**

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman  
Town of Newburgh Planning Board



**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** 04/14/2023      **TOWN FILE NO:** 2023-08  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

Fusion @ Union Outdoor Dining

**2. Owner of Lands to be reviewed:**

**Name** Mary Pat Garrity  
**Address** 1400 Route 300, Suite 1  
Newburgh, NY 12550  
**Phone** 914 330 4951

**3. Applicant Information (If different than owner):**

**Name** Rishi Parikh  
**Address** 1400 Route 300, Suite 1  
Newburgh, NY 12550  
**Representative** Richard Ammons  
**Phone** 845 313 3081  
**Fax** \_\_\_\_\_  
**Email** info@fusionatunion.com

**4. Subdivision/Site Plan prepared by:**

**Name** \_\_\_\_\_  
**Address** \_\_\_\_\_  
\_\_\_\_\_  
**Phone/Fax** \_\_\_\_\_

**5. Location of lands to be reviewed:**

FUSION @ UNION, 1400 Route 300, Newburgh, NY 12550

**6. Zone** \_\_\_\_\_ **Fire District** \_\_\_\_\_  
**Acreeage** \_\_\_\_\_ **School District** \_\_\_\_\_

**7. Tax Map: Section** \_\_\_\_\_ **Block** \_\_\_\_\_ **Lot** \_\_\_\_\_

**8. Project Description and Purpose of Review:**

Number of existing lots \_\_\_\_\_ Number of proposed lots \_\_\_\_\_

Lot line change \_\_\_\_\_

Site plan review \_\_\_\_\_

Clearing and grading \_\_\_\_\_

Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) \_\_\_\_\_

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature Rishi Parikh Title Owner of Fusion @ Union

Date: 03/12/2023

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

Fusion @ Union Outdoor Dining

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1. \_\_\_ Environmental Assessment Form As Required
2. \_\_\_ Proxy Statement
3.  Application Fees
4. \_\_\_ Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1. \_\_\_ Name and address of applicant
2. \_\_\_ Name and address of owner (if different from applicant)
3. \_\_\_ Subdivision or Site Plan and Location
4. \_\_\_ Tax Map Data (Section-Block-Lot)
5. \_\_\_ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. \_\_\_ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. \_\_\_ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. \_\_\_ Date of plan preparation and/or plan revisions
9. \_\_\_ Scale the plan is drawn to (Max 1" = 100')
10. \_\_\_ North Arrow pointing generally up

- 11.\_\_\_\_ Surveyor,s Certification
- 12.\_\_\_\_ Surveyor's seal and signature
- 13.\_\_\_\_ Name of adjoining owners
- 14.\_\_\_\_ \_Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
- 15.\_\_\_\_ Flood plain boundaries
- 16.\_\_\_\_ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
- 17.\_\_\_\_ Metes and bounds of all lots
- 18.\_\_\_\_ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
- 19.\_\_\_\_ Show existing or proposed easements (note restrictions)
- 20.\_\_\_\_ Right-of-way width and Rights of Access and Utility Placement
- 21.\_\_\_\_ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
- 22.\_\_\_\_ Lot area (in sq. ft. for each lot less than 2 acres)
- 23.\_\_\_\_ Number of lots including residual lot
- 24.\_\_\_\_ Show any existing waterways
- 25.\_\_\_\_ A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
- 26.\_\_\_\_ Applicable note pertaining to owners review and concurrence with plat together with owner's signature
- 27.\_\_\_\_ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
- 28.\_\_\_\_ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
- 29.\_\_\_\_ Show topographical data with 2 or 5 ft. contours on initial submission

- 30.\_\_\_\_ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.\_\_\_\_ If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32.\_\_\_\_ Number of acres to be cleared or timber harvested
- 33.\_\_\_\_ Estimated or known cubic yards of material to be excavated and removed from the site
- 34.\_\_\_\_ Estimated or known cubic yards of fill required
- 35.\_\_\_\_ The amount of grading expected or known to be required to bring the site to readiness
- 36.\_\_\_\_ Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
- 37.\_\_\_\_ Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
- 38.\_\_\_\_ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: \_\_\_\_\_  
**Licensed Professional**

Date: \_\_\_\_\_

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

## STATEMENT TO APPLICANTS

### RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

Name of applicant: Not Applicable

Name of owner on premises: \_\_\_\_\_

Address of owner: \_\_\_\_\_

Telephone number of owner: \_\_\_\_\_

Telephone number of applicant: \_\_\_\_\_

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

\_\_\_\_\_

Location of land on which proposed work will be done: \_\_\_\_\_

\_\_\_\_\_

Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_ Sub. Div.: \_\_\_\_\_

Zoning District of Property: \_\_\_\_\_ Size of Lot: \_\_\_\_\_

Area of lot to be cleared or graded: \_\_\_\_\_

Proposed completion of date: \_\_\_\_\_

Name of contractor/agent, if different than owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of applicant (if different than owner): \_\_\_\_\_

**TOWN ACTION:**

Examined: \_\_\_\_\_ 20 \_\_\_\_\_

Approved: \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.



**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Rishi Parikh

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

*Rishi Parikh*

\_\_\_\_\_  
**APPLICANTS SIGNATURE**

03/12/2023

\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

(OWNER) \_\_\_\_\_, DEPOSES AND SAYS THAT HE/SHE  
RESIDES AT \_\_\_\_\_  
IN THE COUNTY OF \_\_\_\_\_  
AND STATE OF \_\_\_\_\_  
AND THAT HE/SHE IS THE OWNER IN FEE OF \_\_\_\_\_  
\_\_\_\_\_

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND \_\_\_\_\_ IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: \_\_\_\_\_

\_\_\_\_\_  
OWNERS SIGNATURE

\_\_\_\_\_

\_\_\_\_\_  
OWNERS NAME (printed)

\_\_\_\_\_

\_\_\_\_\_  
WITNESS' SIGNATURE

NAMES OF ADDITIONAL  
REPRESENTATIVES

\_\_\_\_\_  
WITNESS' NAME (printed)

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

03/12/2023

\_\_\_\_\_  
**DATED**

Rishi Parikh

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

*Rishi Parikh*

\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

\_\_\_\_\_ **NONE**

\_\_\_\_\_ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

---

---

---

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- \_\_\_\_\_ **TOWN BOARD**
- \_\_\_\_\_ **PLANNING BOARD**
- \_\_\_\_\_ **ZONING BOARD OF APPEALS**
- \_\_\_\_\_ **ZONING ENFORCEMENT OFFICER**
- \_\_\_\_\_ **BUILDING INSPECTOR**
- \_\_\_\_\_ **OTHER**

\_\_\_\_\_ **DATED**

\_\_\_\_\_ **INDIVIDUAL APPLICANT**

\_\_\_\_\_ **CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

## **AGRICULTURAL NOTE**

**(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)**

No

Property adjacent to lots ( 1 ) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

( 1 ) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

**AGRICULTURAL DATA STATEMENT**

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

**Name and address of the applicant:** Not Applicable

**Description of the proposed project:** \_\_\_\_\_

**Location of the proposed project:** \_\_\_\_\_

**Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:** \_\_\_\_\_

**A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.**

\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

\_\_\_\_\_  
**DATE**

## **ARCHITECTURAL REVIEW**

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** 04/14/2023

**NAME OF PROJECT:** Fusion @ Union Outdoor Dining

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

**Type (steel, wood, block, split block, etc.)**

Pergola & outdoor seating

**COLOR OF THE EXTERIOR OF BUILDING:**

Brown

**ACCENT TRIM:**

**Location:** \_\_\_\_\_

**Color:** \_\_\_\_\_

**Type (material):** \_\_\_\_\_

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

\_\_\_\_\_

**ROOF:**

**Type (gabled, flat, etc.):** \_\_\_\_\_

**Material (shingles, metal, tar & sand, etc.):** \_\_\_\_\_

**Color:** \_\_\_\_\_



**WINDOWS/SHUTTERS:**

**Color (also trim if different):** \_\_\_\_\_

**Type:** \_\_\_\_\_

**DOORS:**

**Color:** \_\_\_\_\_

**Type (if different than standard door entrée):** \_\_\_\_\_

**SIGN:**

**Color:** \_\_\_\_\_

**Material:** \_\_\_\_\_

**Square footage of signage of site:** \_\_\_\_\_

Rishi Parikh, Owner

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

*Rishi Parikh*

**Signature**

### LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: <b>Fusion @ Union Outdoor Dining</b>		
Project Location (describe, and attach a general location map): <b>1400 Route 300, Suite 1, Newburgh, NY 12550</b>		
Brief Description of Proposed Action (include purpose or need):  <b>During covid period, we were allowed to seat our customers outdoor. And we thought it would be a good idea if we can do going forward. So we applied for outdoor sitting and made pergola and concrete flooring, electrical work and other things to serve our customers outside during warm weather. We build the outdoor sitting area and spend a lot of money to have option to serve our customers outside and we are requesting the town to consider our application for outdoor sitting.</b>		
Name of Applicant/Sponsor: <b>FUSION @ UNION</b>	Telephone: <b>845 522 8248</b>	E-Mail: <b>info@fusionatunion.com</b>
Address: <b>1400 Route 300, Suite 1</b>		
City/PO: <b>Newburgh</b>	State: <b>NY</b>	Zip Code: <b>12550</b>
Project Contact (if not same as sponsor; give name and title/role): <b>Rishi Parikh, Owner</b>	Telephone: <b>845 531 9711</b>	E-Mail: <b>rishiparikh73@yahoo.com</b>
Address: <b>41 Greenwich Ave</b>		
City/PO: <b>Central Valley</b>	State: <b>NY</b>	Zip Code: <b>12550</b>
Property Owner (if not same as sponsor): <b>Mary Pat Garrity</b>	Telephone:	E-Mail:
Address: <b>1400 Route 300, Suite 1</b>		
City/PO: <b>Newburgh</b>	State: <b>NY</b>	Zip Code: <b>12550</b>

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town Planning Board	04/13/2023
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Meadow Hill School

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?  
Winnona Lake Fire Department & St. Luke's Hospital

d. What parks serve the project site?  
 \_\_\_\_\_  
 \_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 840 sq. ft. Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures 1  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; 15 width; and 56 length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No  
 iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>12pm - 10pm</u></li> <li>• Saturday: <u>12pm - 10pm</u></li> <li>• Sunday: <u>12pm - 10pm</u></li> <li>• Holidays: _____</li> </ul>
--	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:  
i. Provide details including sources, time of day and duration:  
\_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:  
i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
The lights will be on the building and on pergola

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:  
i. Product(s) to be stored \_\_\_\_\_  
ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:  
i. Describe proposed treatment(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:  
i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
• Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
• Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
• Construction: \_\_\_\_\_  
• Operation: \_\_\_\_\_  
iii. Proposed disposal methods/facilities for solid waste generated on-site:  
• Construction: \_\_\_\_\_  
• Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes - Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes - Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Rishi Parikh Date 04/13/2023

Signature Rishi Parikh Title Owner

# EXTERIOR COMMERCIAL RENOVATION

## for

# PIZZA UNION RESTAURANT

## 1400 Route 300

## Newburgh, New York 12550

## Town of Newburgh

EXTERIOR  
COMMERCIAL RENOVATION  
FOR  
PIZZA UNION  
1400 ROUTE 300  
NEWBURGH, NY 12550  
TOWN OF NEWBURGH

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
OR REMOVE ANY INFORMATION FROM THESE DOCUMENTS  
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISION DATE DESCRIPTION

### ABBREVIATIONS

A.F.F. ABOVE FINISH FLOOR  
ALUM ALUMINUM  
AMP AMPERE  
APPROX. APPROXIMATELY  
APT. APARTMENT  
C.H. CEILING HEIGHT  
CL. CLOSET  
CMU CONCRETE MASONRY UNIT  
CONC. CONCRETE  
CT CERAMIC TILE  
D.P. DOUGLAS FIR  
DW. DISHWASHER  
ELEC. ELECTRIC / ELECTRICAL  
ELEV. ELEVATION  
ERV ENERGY RECOVERY VENTILATOR  
EQ. EQUIPMENT  
EX. EXISTING  
ICF INSULATED CONCRETE FORM FLOOR  
FT. FEET  
GALV. GALVANIZED  
GW. GYPSUM WALL BOARD - SHEETROCK  
HB. HOSE BIB - FROST FREE  
ICF. INSULATED CONCRETE FORMS  
INSUL. INSULATION  
INT. ELEV. INTERIOR ELEVATION  
LVL. LAMINATED VENEER LUMBER  
MAX. MAXIMUM  
MECH. MECHANICAL  
MIL. MILLIMETER  
MIN. MINIMUM  
M.O. MASONRY OPENING  
MR. G.W.B. MOISTURE RESISTANT GYPSUM WALL BOARD  
N.C. NOT IN CONTRACT  
N.T.S. NOT TO SCALE  
O.C. ON CENTER  
OSB ORIENTED STRAND BOARD  
PLY. PLYWOOD  
POLY. POLYURETHANE  
PREP. PREPARED  
PSF POUNDS PER SQUARE FOOT  
PSI POUNDS PER SQUARE INCH  
PT. PRESSURE TREATED  
REQ. REQUIRED  
R.O. ROUGH OPENING  
R.O.B. RUN OF BANK  
SF. SQUARE FEET  
SPF. SPRUCE-PINE-FIR  
TBD. TO BE DETERMINED  
TRU. TONGUE & GROOVE  
TYP. TYPICAL  
VCB VINYL COVE BASE  
V.S.F. VINYL SHEET FLOORING  
W. WITH  
W.W.M. WOVEN WIRE MESH

### ENERGY CONSERVATION

THE COMMERCIAL RENOVATION DESCRIBED IN THESE DRAWINGS, TO THE BEST OF MY KNOWLEDGE, BELIEF, & PROFESSIONAL JUDGMENT, COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF THE 2020 EXISTING BUILDING CODE OF NYS & THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS, AS SPECIFIED IN TABLE C402.1.3 OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS FOR CLIMATE ZONE 5, OTHER THAN GROUP R.

THE EXISTING BUILDING HAS CODE-COMPLIANT INSULATION, WINDOWS & DOORS. NO CHANGES TO THE THERMAL ENVELOPE ARE REQUIRED.

### CLIMATE & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
40 PSF	120 MPH		Yes		3 = 17	SEVERE	42"	MODERATE TO HEAVY	1° F	Yes		2000	46.1° F

### DRAWING LIST

- T01 TITLE SHEET
- L0 SITE PLANS
- A00 EXISTING FIRST FLOOR PLAN
- A01 FIRST FLOOR PLAN & NOTES
- A02 BUILDING ELEVATIONS, EXTERIOR FINISH SCHEDULE & NOTES
- F01 PARTIAL FIRST FLOOR ELECTRICAL PLAN

### SITE PLANS

SBL# 60-3-43 ZONING: IB - INTERCHANGE BUSINESS 3.50 +/- ACRES  
OWNER: 1400 Route 300, LLC



1 LOCATOR PLAN  
SCALE: NOT TO SCALE



2 SITE PLAN  
SCALE: NOT TO SCALE

### CODE NOTES

1. EXISTING STRUCTURE & BUILDING ENVELOPE TO REMAIN, EXCEPT AS NOTED.
2. USE & OCCUPANCY TYPE: A-2 (RESTAURANT)  
BUILDING CONSTRUCTION TYPE: II B WITH SPRINKLER SYSTEM

### GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. ALL MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE, THE 2020 BUILDING CODE OF NEW YORK STATE & THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE 2020 NATIONAL ELECTRICAL CODE, THE TOWN OF NEWBURGH, THE ORANGE COUNTY DEPARTMENT OF HEALTH & THE NEW YORK STATE BOARD OF FIRE UNDERWRITERS
3. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ENGINEERED LUMBER & OTHER PRE-FABRICATED MATERIALS. CALL DIG SAFELY NY (DIAL 811) 2-10 DAYS IN ADVANCE TO LOCATE UTILITIES AS REQUIRED.
4. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL CONSTRUCTION DEBRIS.

NOTE:  
LEGEND MAY INCLUDE ABBREVIATIONS  
& SYMBOLS NOT USED IN THIS PROJECT.

BOLDER  
ARCHITECTURE  
PLLC  
DAVID TODER  
ARCHITECT / CRAFTSMAN  
LEED AP  
298 Plutarch Road Highland, New York 12528  
Town of New Paltz  
845-532-8354 fax 845-255-2548  
BolderArchitect@gmail.com Bolder-Architecture.com

PROJECT # 19-23 DATE: 03/2020

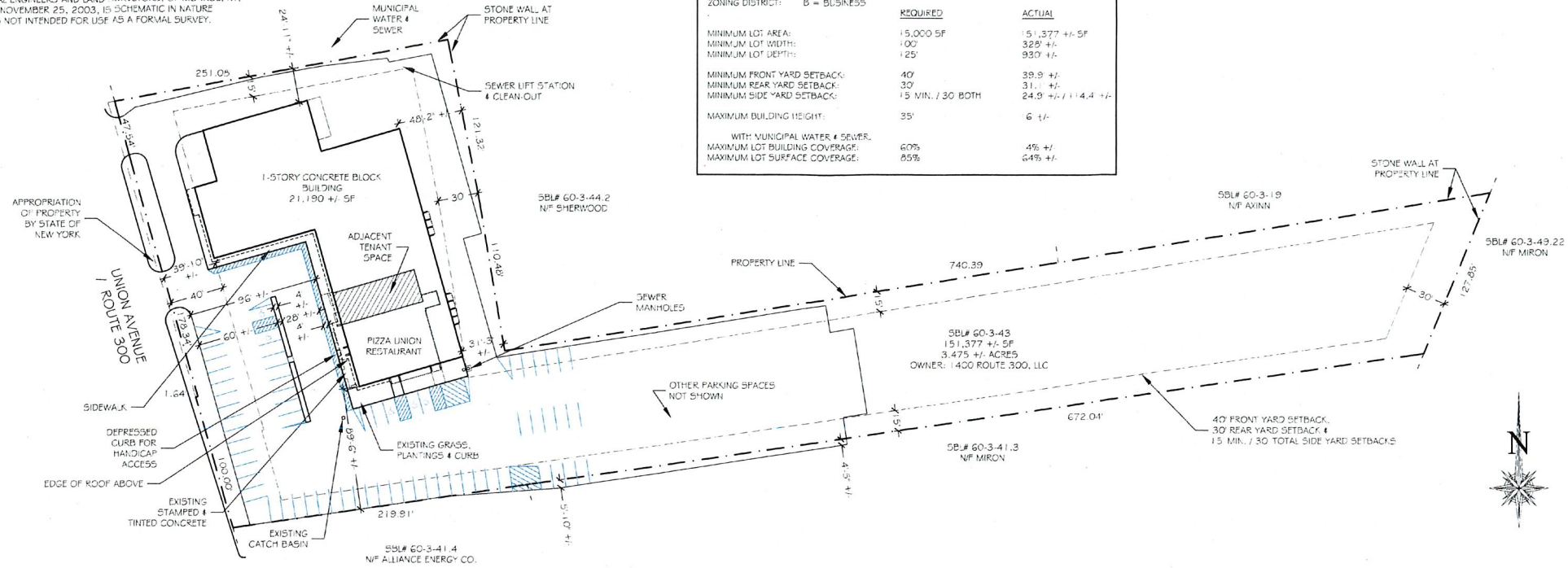
*David Toder*  
T01

TITLE SHEET

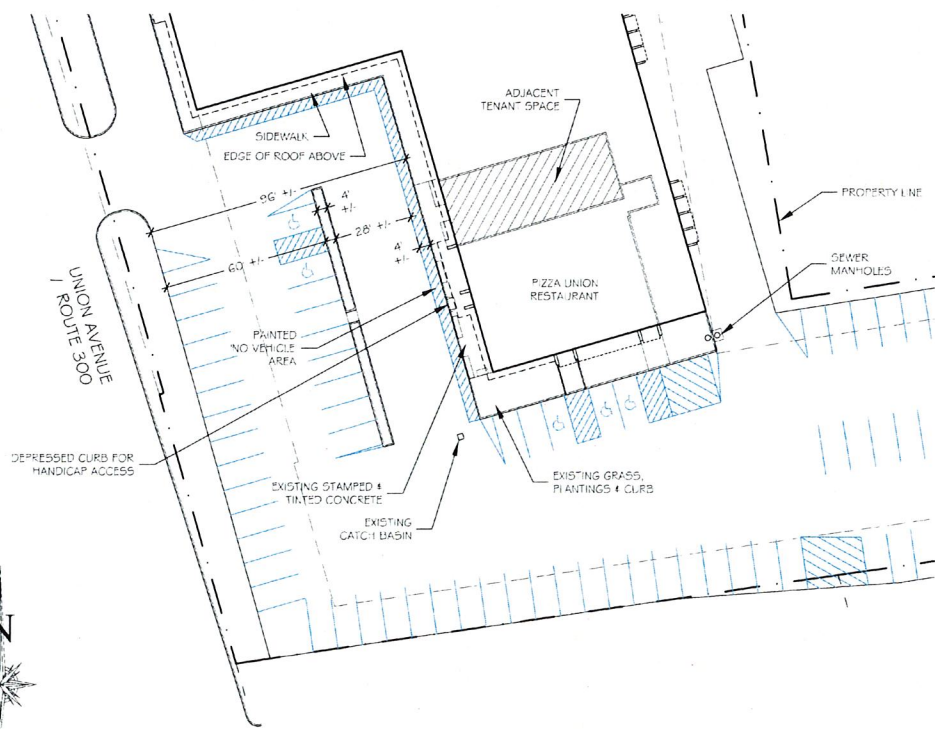


THIS SITE PLAN, BASED ON A SURVEY BY JOSEPH HELLER, PLS. OF AZZOUNA, FEURY & RAIMONDI ENGINEERING GROUP, PROFESSIONAL ENGINEERS AND LAND SURVEYORS, OF MONROE, NY, DATED NOVEMBER 25, 2003, IS SCHEMATIC IN NATURE AND IS NOT INTENDED FOR USE AS A FORMAL SURVEY.

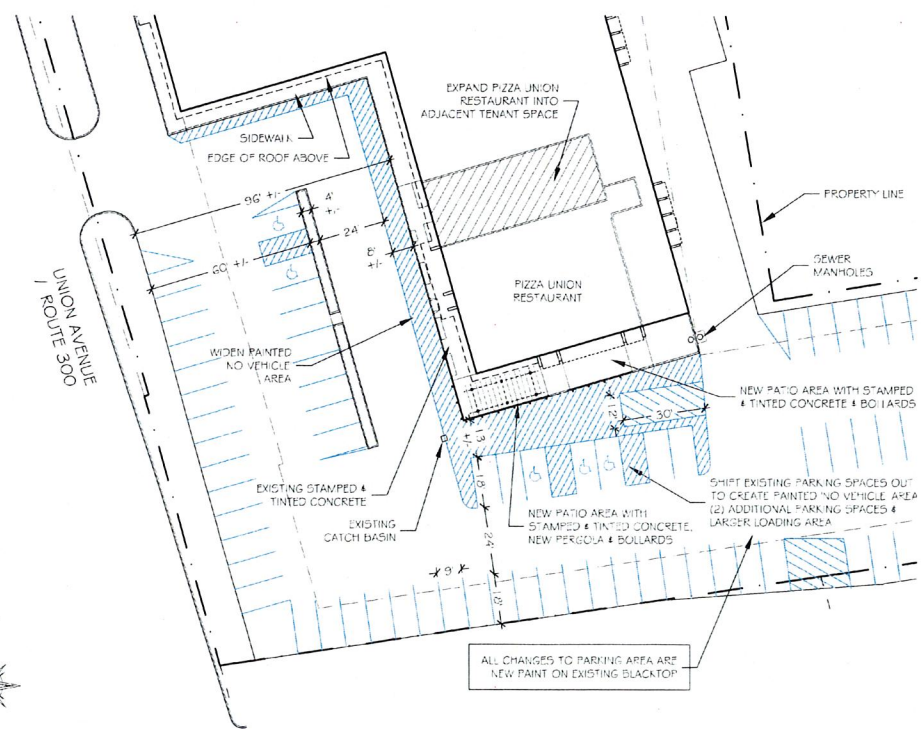
ZONING BULK TABLE		
ZONING DISTRICT:	B - BUSINESS	
	REQUIRED	ACTUAL
MINIMUM LOT AREA:	15,000 SF	15,377 +/- SF
MINIMUM LOT WIDTH:	100'	328' +/-
MINIMUM LOT DEPTH:	125'	930' +/-
MINIMUM FRONT YARD SETBACK:	40'	39.9' +/-
MINIMUM REAR YARD SETBACK:	30'	31.1' +/-
MINIMUM SIDE YARD SETBACK:	15 MIN. / 30 BOTH	24.9' +/- / 114.4' +/-
MAXIMUM BUILDING HEIGHT:	35'	6 +/-
WITH MUNICIPAL WATER & SEWER:		
MAXIMUM LOT BUILDING COVERAGE:	60%	4% +/-
MAXIMUM LOT SURFACE COVERAGE:	85%	64% +/-



**1** EXISTING SITE PLAN  
SCALE: 1" = 50'



**2** EXISTING SITE PLAN - PARTIAL  
SCALE: 1" = 30'



**3** PROPOSED SITE PLAN - PARTIAL  
SCALE: 1" = 30'

INTERIOR  
COMMERCIAL RENOVATION  
FOR  
PIZZA UNION & NEW RETAIL  
1400 ROUTE 300  
NEWBURGH, NY 12550  
TOWN OF NEWBURGH

IF A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS AT THESE PLACES SHALL BE PENALIZED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION DATE DESCRIPTION

**BOLDER ARCHITECTURE PLLC**  
DAVID TODER  
ARCHITECT / CRAFTSMAN  
LEED AP  
298 Puttarch Road Highland, New York 12528  
Town of New Paltz  
845-832-8354 Fax 845-255-2548  
BolderArchitecture@gmail.com BolderArchitecture.com

PROJECT # 19-23 DATE: 8/3/2020

*David Toder*  
**L01**

SITE PLANS

EXTERIOR  
COMMERCIAL RENOVATION  
FOR

PIZZA UNION

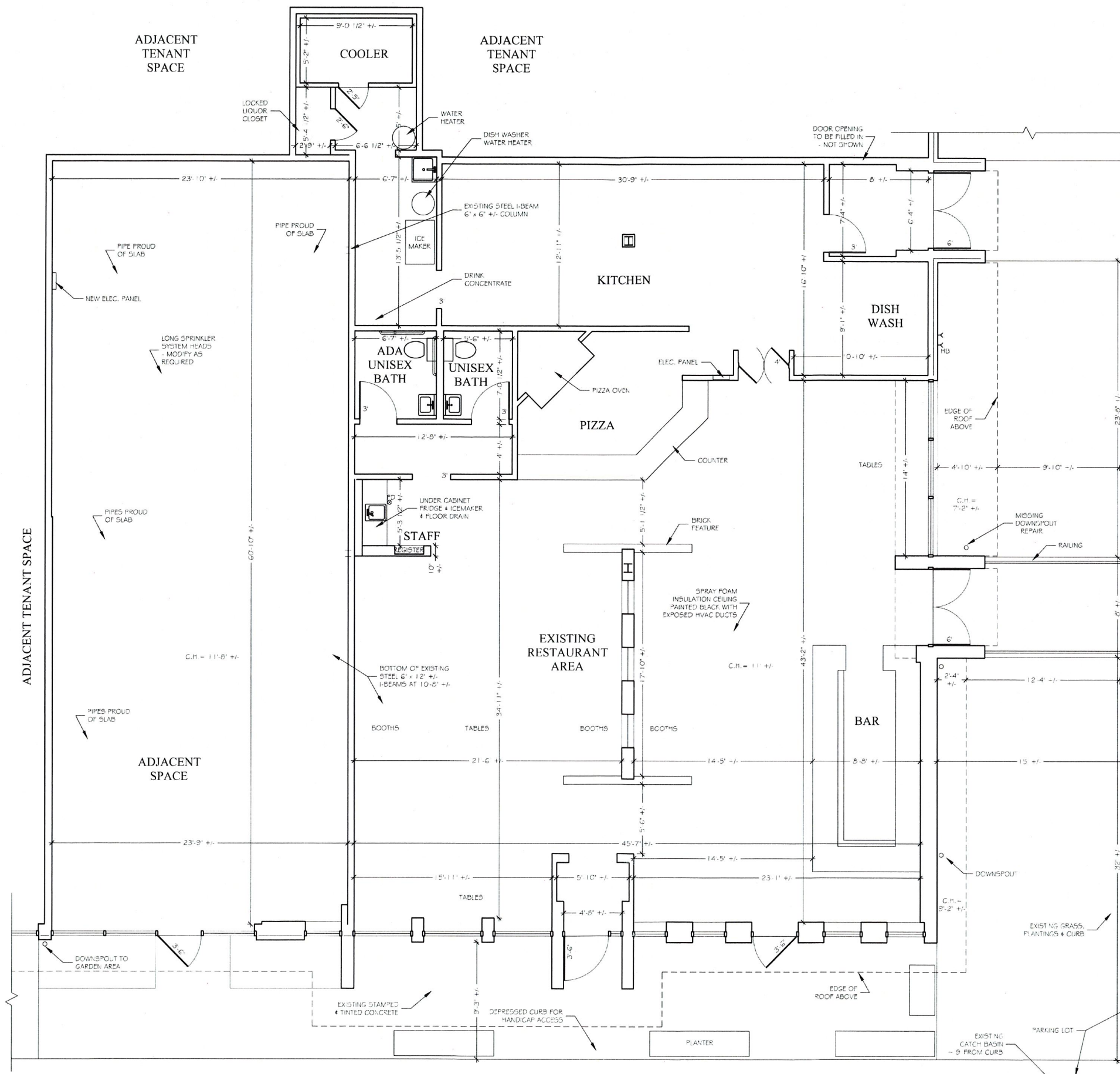
1400 ROUTE 300  
NEWBURGH, NY 12550

TOWN OF NEWBURGH

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION CONTAINED IN THESE DOCUMENTS  
IF THESE PLANS ARE BEING APPLIED  
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION



1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

BOLDER  
ARCHITECTURE  
PLLC

DAVID TODER  
ARCHITECT / CRAFTSMAN  
LEED AP

298 Plutarch Road Highland, New York 12528  
Town of New Paltz  
845-532-8354 fax 845-255-2548  
BolderArchitecture@gmail.com Bolder-Architecture.com

PROJECT # 19-23 DATE: 9/3/2020



FLOOR PLAN



**EXTERIOR  
COMMERCIAL RENOVATION  
FOR  
PIZZA UNION  
1400 ROUTE 300  
NEWBURGH, NY 12550  
TOWN OF NEWBURGH**

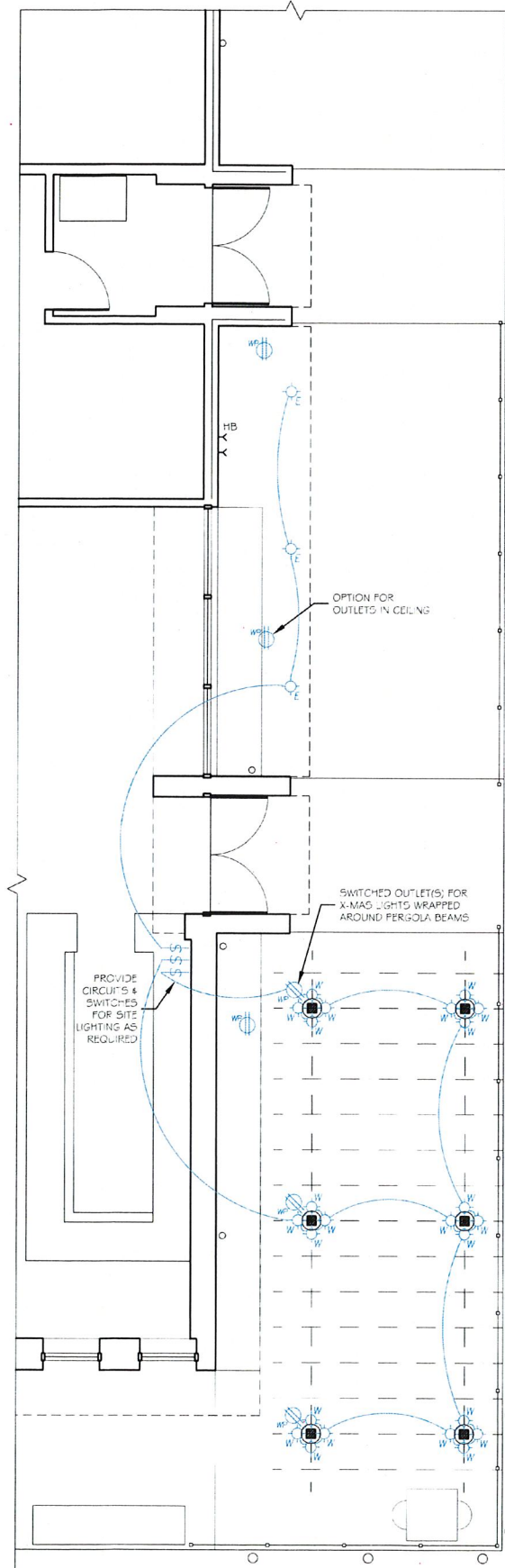
IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
A CREATION INCLUDED IN THESE DOCUMENTS  
UNLESS THESE PLANS HAVE BEEN APPROVED  
BY THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION

ELECTRICAL EQUIPMENT LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SURFACE MOUNT LIGHT - HEAVY DUTY ELEC. BOX FOR LARGE PENDANTS & 3-CONDUCTOR WIRE FOR CEILING FANS		DUPLEX RECEPTACLE WITH COVER PLATE
	RECESSED LIGHT - PROVIDE CORRECT TYPE OF FIXTURE FOR INSULATION CONTACT OR WET LOCATION IF REQUIRED		DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER WITH COVER PLATE
	WALL MOUNT SCONCE LIGHT - INTERIOR OR EXTERIOR AS REQUIRED		WEATHER-PROOF DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
	WALL MOUNT FLOODLIGHT - EXTERIOR - OPTION FOR UNIT TO BE SHIELDED LED FIXTURE OR HAVE MOTION SENSOR		220 VOLT APPLIANCE RECEPTACLE TO DEDICATED CIRCUIT
	BATH EXHAUST DUCTED TO ERV SYSTEM (BATH EXHAUST SWITCH BOOSTS ENTIRE ERV SYSTEM) OR LIGHT & BATH EXHAUST FAN DUCTED TO EXTERIOR WITH BACKDRAFT FLAP		DUPLEX RECEPTACLE IN FLOOR WITH GROUND FAULT CIRCUIT INTERRUPTER & BRASS COVER PLATE - 20 AMP.
	SINGLE POLE SWITCH WITH COVER PLATE		COMMUNICATIONS OUTLET - DOUBLE GANG BOX WITH SINGLE GANG MUD RING - PHONE, CABLE, DATA
	THREE WAY SWITCH WITH COVER PLATE		SECURITY CAMERA WITH CAT VI CO-AXIAL CABLE
	FAN SWITCH WITH COVER PLATE - 60 MINUTE TIMER		SMOKE DETECTOR - INTERCONNECT WITH ALL OTHER SMOKE & CARBON MONOXIDE DETECTORS
	OPTION FOR MOTION SENSOR SWITCH WITH COVER PLATE		CARBON MONOXIDE DETECTOR - ON EACH FLOOR & INTERCONNECT WITH ALL OTHER DETECTORS - 3' MIN. FROM BATH
	EMERGENCY EXIT SIGN & LIGHTS - BATTERY BACK-UP & INTERCONNECT WITH ALL OTHER FIRE SAFETY SYSTEMS		HEAT DETECTOR - INTERCONNECT WITH ALL OTHER FIRE SAFETY SYSTEMS
	FIRE ALARM HORN & STROBE LIGHT - ON CEILING - IN APTS. WITHIN 3' OF DOOR - INTERCONNECT WITH ALL OTHER FIRE SAFETY SYSTEMS		ELECTRICAL PANEL - 200 AMP
	RED ALARM PULL BOX - 4' ABOVE FINISH FLOOR - INTERCONNECT WITH ALL OTHER FIRE SAFETY SYSTEMS		
	PORTABLE FIRE EXTINGUISHER		

NOTE: ELECTRICAL EQUIPMENT LEGEND MAY INCLUDE ITEMS NOT USED IN THIS PROJECT.

ELECTRICAL NOTES	
A. ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS. MODIFY EXISTING ELEC. AS REQUIRED. PROVIDE ELEC. SUPPLY AS REQUIRED TO ALL FIXTURES, APPLIANCES & MECHANICAL UNITS. LABEL ELEC. PANEL CIRCUITS CLEARLY. ALL ELECTRICAL WORK TO BE DONE BY ELECTRICIAN LICENSED IN THE TOWN OF NEWBURGH.	F. CARBON MONOXIDE DETECTOR & ALARM SHALL CONFORM TO SECTION 915 OF THE 2020 FIRE CODE OF NYS & BE HARD-WIRED WITH BATTERY BACK-UP. CARBON MONOXIDE DETECTOR SHALL BE UL 2075 LISTED. CARBON MONOXIDE DETECTOR SHALL BE EQUIPPED WITH AN ALARM WHICH SHALL BE UL 2034 LISTED. COMBINATION SMOKE & CARBON MONOXIDE DETECTOR SHALL NOT BE USED. CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OPERATED & MAINTAINED AS PER NFPA 720 & MANUFACTURER'S INSTRUCTIONS. CARBON MONOXIDE DETECTOR OR SHALL BE LOCATED IN THE CENTER OF THE RESTAURANT.
B. DESIGN & SHOP DRAWINGS FOR FIRE ALARM SYSTEM BY OWNER'S FIRE ALARM COMPANY WITH DETECTORS, STROBES, ALARMS, PULL SWITCHES & FIRE EXTINGUISHERS AS REQUIRED. COORDINATE WITH SPRINKLER SYSTEM AS REQUIRED. SMOKE, CARBON MONOXIDE & HEAT DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP. INTERCONNECT ALL FIRE ALARM SYSTEM ELEMENTS AS REQUIRED. OPTION FOR MONITORED ALARM SYSTEM.	
C. ALL LIGHTS IN CLOSETS TO HAVE ENCLOSED GLOBE FIXTURES. PROVIDE GFC PROTECTION IN WET LOCATIONS & AFC CIRCUIT BREAKER PROTECTION FOR ALL HABITABLE SPACES AS REQUIRED. SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP.	
D. COVERPLATES TO BE WHITE.	
E. COORDINATE WITH OWNER TO FINALIZE LIGHT & OUTLET LOCATIONS IN FIELD AFTER BOX PLACEMENT & PRIOR TO WIRE INSTALL & AS OTHERWISE REQUIRED.	



**1 PARTIAL FIRST FLOOR ELECTRICAL PLAN - EXTERIOR**  
SCALE: 1/4" = 1'-0"

**BOLDER  
ARCHITECTURE  
PLLC**

DAVID TODER  
ARCHITECT / CRAFTSMAN  
LEED AP

298 Photoc Road Highland, New York 12528  
Town of New Paltz  
845-532-8354 fax 845-255-2548  
BolderArchitecture@gmail.com Bolder-Architecture.com

PROJECT # 19-23 DATE: 9/9/2020

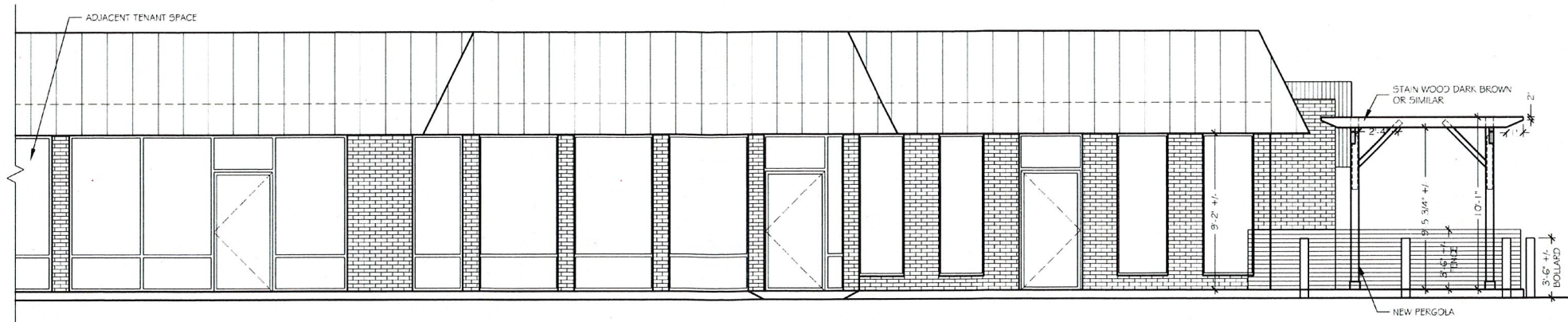
**E01**  
ELECTRICAL PLANS

EXTERIOR  
COMMERCIAL RENOVATION  
FOR

PIZZA UNION  
1400 ROUTE 300  
NEWBURGH, NY 12550  
TOWN OF NEWBURGH

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER  
INFORMATION CONTAINED IN THESE DOCUMENTS  
IF THESE TABS HAVE BEEN APPLIED  
WITH THE SEAL OF A LICENSED ARCHITECT.

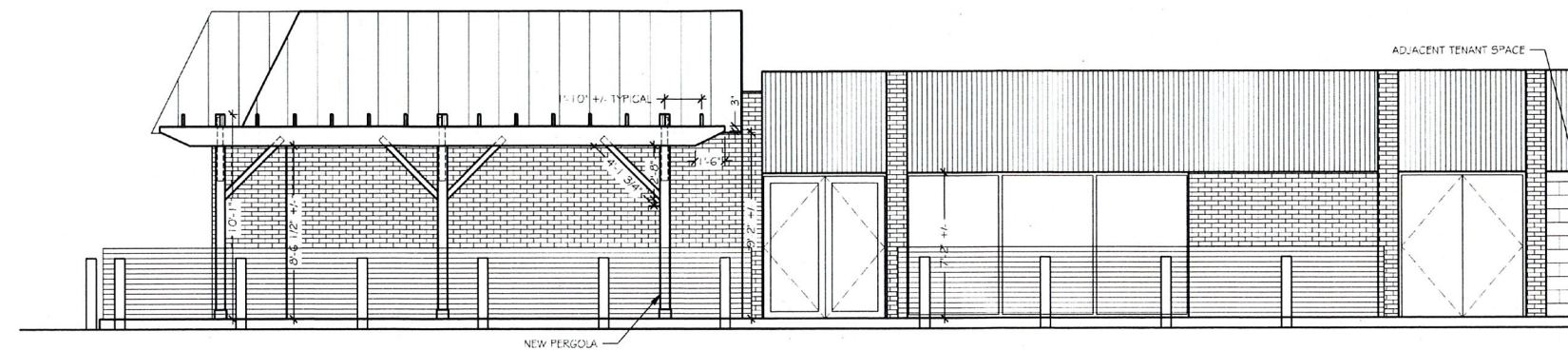
REVISION DATE DESCRIPTION



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- A. ALL ELEVATION DIMENSIONS ARE APPROXIMATE.
- B. PROVIDE SEAMLESS ALUMINUM GUTTERS & DOWNSPOUTS TO PIPING TO DAYLIGHT OR MUNICIPAL STORMWATER SYSTEM OR DRY WELL(S) AS REQUIRED.
- C. LOCATE ENERGY RECOVERY VENTILATOR INTAKE & EXHAUST AS REQUIRED & FRESH AIR INTAKE 4" MIN. ABOVE GRADE OR ROOF & 10' FROM DRYER, STOVE VENT OR SIMILAR & AS REQUIRED BY MANUFACTURER'S SPECIFICATIONS & EnergyStar STANDARDS.



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

OCCUPANCY TYPE: A-2 - RESTAURANT  
FLOOR: NEW STAMPED TINTED EXTERIOR CONCRETE SLAB, SIMILAR TO EXISTING OUTSIDE RESTAURANT ENTRY  
PERGOLA: CEDAR AND/OR PT WOOD POSTS & BEAMS - STAINED DARK BROWN

CAST-IN-PLACE CONCRETE GENERAL NOTES:

(UNLESS NOTED OTHERWISE OR SHOWN ON PLAN, THE FOLLOWING SHALL APPLY)

1. CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE ACI 318 (LATEST EDITION).
2. UNLESS OTHERWISE INDICATED ON DRAWINGS CAST-IN-PLACE CONCRETE SHALL DEVELOP A STRENGTH OF 4000 PSI (FOOTINGS, FOUNDATION WALLS & RETAINING WALLS); 4000 PSI (SLAB-ON-GRADE) AT 28 DAYS.
3. TEMPERATURE REINFORCING SHALL BE SUFFICIENTLY EMBEDDED TO DEVELOP FULL STRENGTH IN CONCRETE WALLS & SLABS.
4. PROVIDE ADEQUATE TIES FOR REINFORCEMENT IN SLABS, BEAMS, PIERS & WALLS. REINFORCEMENT TO BE HELD AT CORRECT DISTANCE FROM FORMS & EARTH BY STEEL CHAIRS OR TIES.
5. FOLLOW C.R.S.I. RULES FOR PLACING OF REINFORCING STEEL & ACCESSORIES.
6. THIS CONTRACTOR SHALL COOPERATE WITH OTHER TRADES & WHERE REQUIRED INSTALL ALL BUILT-IN WORK, SLEEVES, INSERTS, ETC., AS REQUIRED FOR A COMPLETE JOB.
7. STRUCTURAL MEMBERS SHALL BE POURED FOR THEIR FULL DEPTHS IN ONE OPERATION. CONSTRUCTION JOINTS SUCH AS A DAYS POUR JOINTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. MAIN REINFORCING TO RUN THROUGH THE JOINT. KEY & ROUGHEN JOINTS TO EXPOSE AGGREGATE FOR CHEMICAL BOND.
8. NO HORIZONTAL JOINTS SHALL BE PLACED IN WALLS EXCEPT AS SHOWN ON THE DRAWINGS, WITHOUT THE APPROVAL OF THE ENGINEER.
9. STRUCTURAL SLABS-ON-GRADE SHALL BE OF A THICKNESS & REINFORCED AS INDICATED ON DRAWINGS.
10. SLABS-ON-GRADE SHALL HAVE THICKENINGS, DEPRESSIONS, OPENINGS, ETC., AS REQUIRED OR AS SHOWN HEREIN OR ON ARCHITECTURAL DRAWINGS.
11. PROVIDE 100% CONTINUITY OVER SUPPORTS FOR CONTINUOUS SLABS & BEAMS.
12. TOP ELEVATION OF SLABS MAY VARY ACCORDING TO FINISH FLOOR MATERIAL. SEE ARCHITECTURAL DRAWINGS.
13. SEE MECHANICAL & ARCHITECTURAL DRAWINGS FOR SIZE & LOCATION OF OPENINGS IN FLOORS & WALLS NOT SHOWN ON STRUCTURAL DRAWINGS.
14. MAXIMUM STEP OF FOOTINGS SHALL BE ONE VERTICALLY TO TWO HORIZONTALLY WHERE ELEVATIONS CHANGE.
15. CONCRETE SHALL CONSIST OF THE FOLLOWING:
  - READY MIX CONCRETE (ASTM C94)
  - MAX. WATER TO CEMENT RATIO = 0.50
  - MAX. AGGREGATE CONTENT SIZE OF 3/4" (ASTM C33)
  - MAX. SLUMP OF 5" & OR - AN INCH (ASTM C143)
  - PORTLAND CEMENT: ASTM C 50, TYPE
  - CLEAN POTABLE DRINKING WATER
  - AIR CONTENT TO BE 6% +/- 1.5% (INTERIOR SLABS TO HAVE 0% AIR)
16. REINFORCING STEEL SHALL CONSIST OF THE FOLLOWING:
  - REINFORCING BARS: ASTM - A 615 GRADE 60 KSI
  - WELDED WIRE FABRIC: ASTM A 185
17. PROVIDE CONTINUOUS REINFORCING WHEREVER POSSIBLE. PLACE ONLY AS SHOWN OR APPROVED. STAGGER SPLICES WHERE POSSIBLE.
18. ALL REINFORCING STEEL & EMBEDMENT TO BE HELD SECURELY IN PLACE PRIOR TO PLACING CONCRETE. PROVIDE SUFFICIENT SUPPORTS TO AVOID WALKING ON REINFORCEMENT.
19. DETAIL ACCORDING TO ACI STANDARD 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE STRUCTURES.
20. CONCRETE MEMBERS SHALL NOT BE LOADED UNTIL SATISFACTORY CONCRETE STRENGTH HAS BEEN OBTAINED.
21. NO ADMIXTURES MAY BE USED UNLESS PRIOR APPROVAL BY THE OWNER & ENGINEER.
22. COLD WEATHER REQUIREMENT SHALL BE USED DURING FREEZING OR NEAR FREEZING WEATHER. ACI 308.1-90. COLD WEATHER IS DEFINED AS 3 DAYS WITH AVERAGE TEMPERATURE BELOW 40°F.
23. DURING HOT WEATHER CONCRETE SHALL BE PLACED & CURED IN ACCORDANCE WITH ACI 305.



3 EXISTING SITE PHOTO

BOLDER  
ARCHITECTURE  
PLLC

DAVID TODER  
ARCHITECT / CRAFTSMAN  
LEED AP

298 Plutarch Road Highland, New York 12525  
Town of New Paltz  
845-533-8354 Fax 845-255-2548  
BolderArchitect@gmail.com Bolder-Architecture.com

PROJECT # 19-23 DATE: 9/3/2020

*David Toder*  
A02

ELEVATIONS, DETAILS

**LOAD NOTES - COMMERCIAL**

40 PSF SNOW LOAD - TOWN OF NEWBURGH  
 20 PSF DEAD LOAD - EXTERIOR DECKS & ROOF  
 (ALLOWS FOR ASPHALT ROOF SHINGLES & SOLAR PANELS)

**2020 BUILDING CODE OF NEW YORK STATE**

TABLE 1004.1.2 OCCUPANT LOAD - ASSEMBLY, TABLES & CHAIRS: 15 SF NET / PERSON  
 COMMERCIAL KITCHEN: 200 SF GROSS / PERSON

EXISTING RESTAURANT: ASSEMBLY: 1255 SF / 15 SF NET / PERSON = 84 PERSONS  
 KITCHEN: 1155 SF / 200 SF GROSS / PERSON = 6 PERSONS  
 TOTAL CURRENT OCCUPANCY = 90 PERSONS

EXPANDED RESTAURANT - TOTAL: ASSEMBLY: 2230 SF / 15 SF NET / PERSON = 149 PERSONS  
 PATIO: 850 SF / 15 SF NET / PERSON = 57 PERSONS  
 KITCHEN: 1515 SF / 200 SF GROSS / PERSON = 8 PERSONS  
 TOTAL NEW OCCUPANCY = 214 PERSONS

TABLE 2302.1 MIN. PLUMBING FIXTURES: A-2 - RESTAURANT: TOILETS -> 1 PER 75 MALE + 1 PER 75 FEMALE  
 3 UNISEX BATHROOMS NEEDED - ADD 1 UNISEX ADA BATH

**GENERAL NOTES**

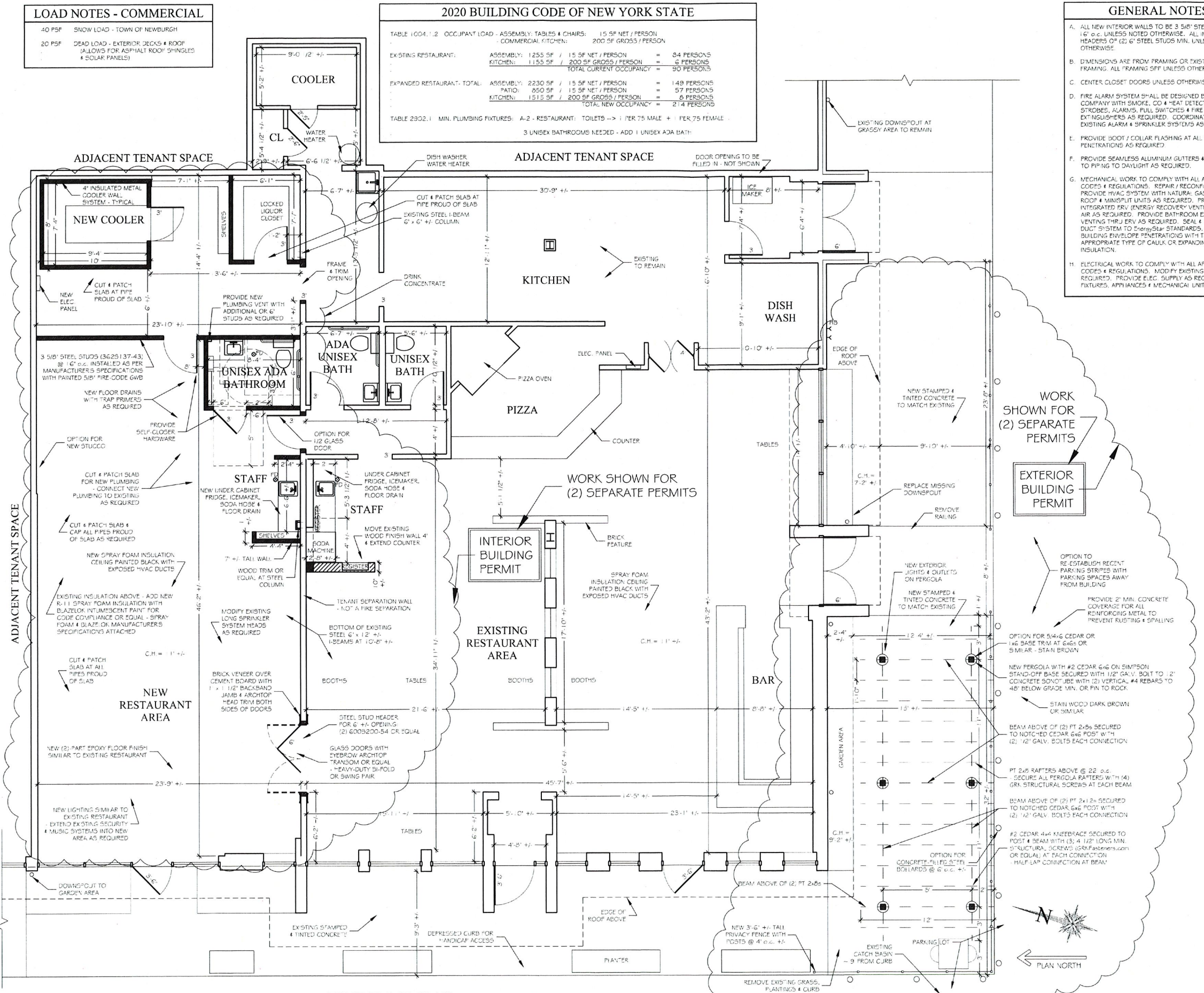
- ALL NEW INTERIOR WALLS TO BE 3 5/8" STEEL STUDS @ 16" o.c. UNLESS NOTED OTHERWISE. ALL INTERIOR DOOR HEADERS 2" (2) 6" STEEL STUDS MIN. UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE FROM FRAMING OR EXISTING WALL TO FRAMING. ALL FRAMING SFF UNLESS OTHERWISE NOTED.
- CENTER CLOSET DOORS UNLESS OTHERWISE NOTED.
- FIRE ALARM SYSTEM SHALL BE DESIGNED BY FIRE ALARM COMPANY WITH SMOKE, CO & HEAT DETECTORS, STROBES, ALARMS, PULL SWITCHES & FIRE EXTINGUISHERS AS REQUIRED. COORDINATE WITH EXISTING ALARM & SPRINKLER SYSTEMS AS REQUIRED.
- PROVIDE BOOT / COLLAR FLASHING AT ALL ROOF PENETRATIONS AS REQUIRED.
- PROVIDE SEAMLESS ALUMINUM GUTTERS & DOWNSPOUTS TO PIPING TO DAYLIGHT AS REQUIRED.
- MECHANICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS. REPAIR / RECONFIGURE / PROVIDE HVAC SYSTEM WITH NATURAL GAS UNITS ON ROOF & MINISPLIT UNITS AS REQUIRED. PROVIDE INTEGRATED ERV (ENERGY RECOVERY VENTILATOR) FRESH AIR AS REQUIRED. PROVIDE BATHROOM EXHAUST VENTING THRU ERV AS REQUIRED. SEAL & INSULATE DUCT SYSTEM TO EnergyStar STANDARDS. SEAL ALL BUILDING ENVELOPE PENETRATIONS WITH THE APPROPRIATE TYPE OF CAULK OR EXPANDING FOAM INSULATION.
- ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS. MODIFY EXISTING ELEC. AS REQUIRED. PROVIDE ELEC. SUPPLY AS REQUIRED TO ALL FIXTURES, APPLIANCES & MECHANICAL UNITS.

**EXTERIOR COMMERCIAL RENOVATION FOR**

**PIZZA UNION**  
 1400 ROUTE 300  
 NEWBURGH, NY 12550  
 TOWN OF NEWBURGH

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO REPRODUCE OR TRANSMIT THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF BOLDER ARCHITECTURE, PLLC.

REVISION	DATE	DESCRIPTION



**1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**BOLDER ARCHITECTURE PLLC**  
 DAVID TODER  
 ARCHITECT / CRAFTSMAN  
 LEED AP

298 Pinetree Road Highland, New York 12528  
 Town of New Paltz  
 845-532-8354 fax 845-255-2548  
 BolderArchitecture@gmail.com Bolder-Architecture.com

PROJECT # 9-23 DATE: 9/3/2020

*Bolder Architecture*  
**A01**

FLOOR PLAN

**LOAD NOTES - COMMERCIAL**

- 40 PSF SNOW LOAD - TOWN OF NEWBURGH
- 20 PSF DEAD LOAD - EXTERIOR DECKS & ROOF (ALLOWS FOR ASPHALT ROOF SHINGLES & SOLAR PANELS)

**2020 BUILDING CODE OF NEW YORK STATE**

TABLE 1004.1.2 OCCUPANT LOAD - ASSEMBLY: TABLES & CHAIRS: 15 SF NET / PERSON  
- COMMERCIAL KITCHEN: 200 SF GROSS / PERSON

EXISTING RESTAURANT: ASSEMBLY: 1255 SF / 15 SF NET / PERSON = 84 PERSONS  
KITCHEN: 1155 SF / 200 SF GROSS / PERSON = 6 PERSONS  
TOTAL CURRENT OCCUPANCY = 90 PERSONS

EXPANDED RESTAURANT - TOTAL: ASSEMBLY: 2230 SF / 15 SF NET / PERSON = 149 PERSONS  
PATIO: 850 SF / 15 SF NET / PERSON = 57 PERSONS  
KITCHEN: 1515 SF / 200 SF GROSS / PERSON = 8 PERSONS  
TOTAL NEW OCCUPANCY = 214 PERSONS

TABLE 2902.1 MIN. PLUMBING FIXTURES: A-2 - RESTAURANT: TOILETS --> 1 PER 75 MALE + 1 PER 75 FEMALE  
3 UNISEX BATHROOMS NEEDED - ADD 1 UNISEX ADA BATH

**GENERAL NOTES**

- A. ALL NEW INTERIOR WALLS TO BE 3 5/8" STEEL STUDS @ 16" o.c. UNLESS NOTED OTHERWISE. ALL INTERIOR DOOR HEADERS OF (2) 6" STEEL STUDS MIN. UNLESS NOTED OTHERWISE.
- B. DIMENSIONS ARE FROM FRAMING OR EXISTING WALL TO FRAMING. ALL FRAMING 5/8" UNLESS OTHERWISE NOTED.
- C. CENTER CLOSET DOORS UNLESS OTHERWISE NOTED.
- D. FIRE ALARM SYSTEM SHALL BE DESIGNED BY FIRE ALARM COMPANY WITH SMOKE, CO & HEAT DETECTORS, STROBES, ALARMS, PULL SWITCHES & FIRE EXTINGUISHERS AS REQUIRED. COORDINATE WITH EXISTING ALARM & SPRINKLER SYSTEMS AS REQUIRED.
- E. PROVIDE BOOT / COLLAR FLASHING AT ALL ROOF PENETRATIONS AS REQUIRED.
- F. PROVIDE SEAMLESS ALUMINUM GUTTERS & DOWNSPOUTS TO PIPING TO DAYLIGHT AS REQUIRED.
- G. MECHANICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS. REPAIR / RECONFIGURE / PROVIDE HVAC SYSTEM WITH NATURAL GAS UNITS ON ROOF & MINISPLIT UNITS AS REQUIRED. PROVIDE INTEGRATED ERV (ENERGY RECOVERY VENTILATOR) FRESH AIR AS REQUIRED. PROVIDE BATHROOM EXHAUST VENTING THRU ERV AS REQUIRED. SEAL & INSULATE DUCT SYSTEM TO EnergyStar STANDARDS. SEAL ALL BUILDING ENVELOPE PENETRATIONS WITH THE APPROPRIATE TYPE OF CAULK OR EXPANDING FOAM INSULATION.
- H. ELECTRICAL WORK TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS. MODIFY EXISTING ELEC. AS REQUIRED. PROVIDE ELEC. SUPPLIES REQUIRED TO ALL FIXTURES, APPLIANCES & MECHANICAL UNITS.

**Crissu, LLC.**  
306 Peaceable St  
Ridgefield, CT 06877  
(203)247-4395

**Pizza Union  
Outdoor  
Seating**  
1400 NY-300  
Newburgh,  
NY 12550

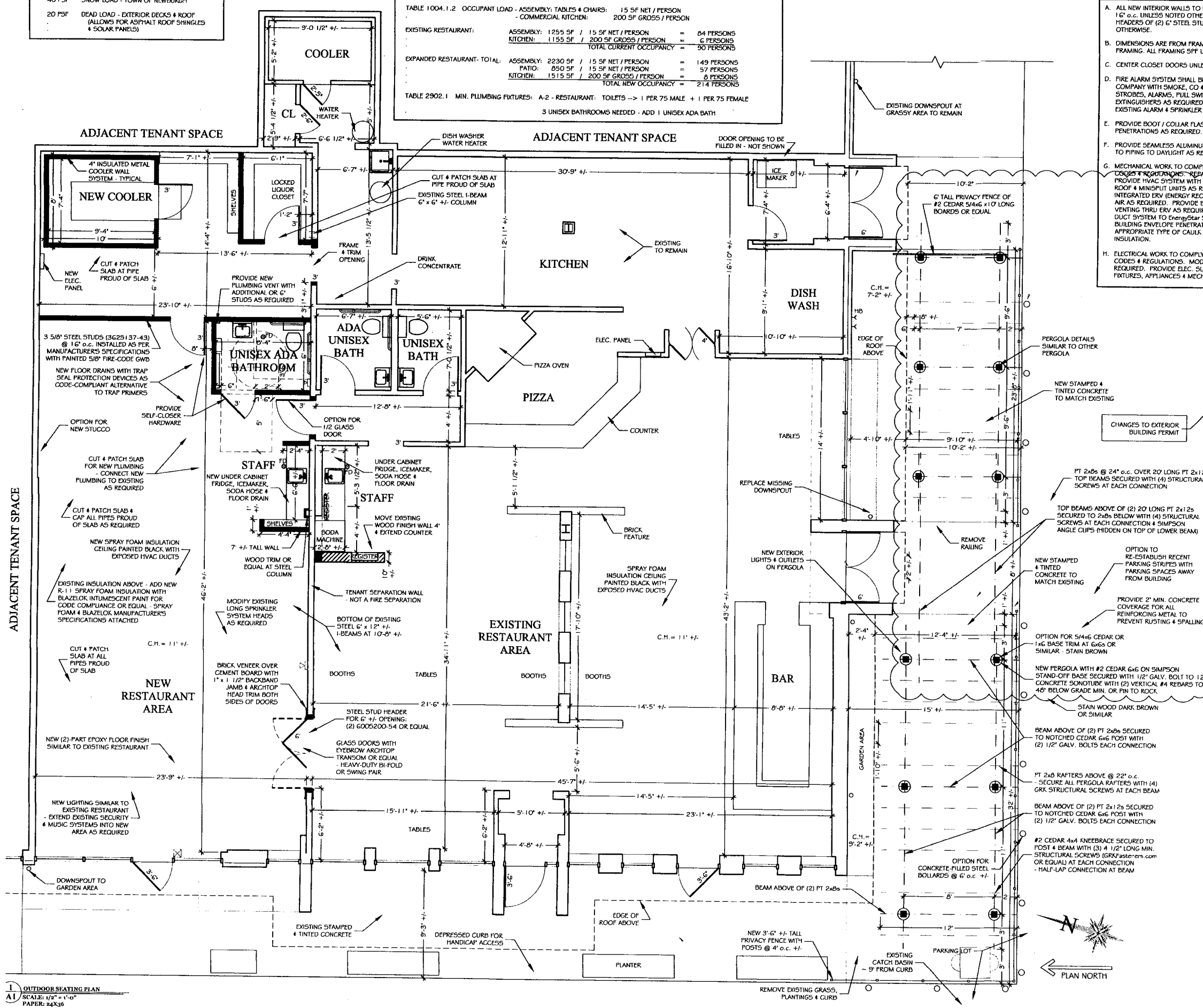
**CODE  
COMPLIANCE**

REVISIONS	
KM	INITIAL COMMENTS
DATE	
03/03/2022	
PROJECT NUMBER	
03-2201	
SHEET NUMBER	

**A1**

ADJACENT TENANT SPACE

**1 | OUTDOOR SEATING PLAN**  
A1 | SCALE: 1/2" = 1'-0"  
PAPER: 24X36



PLAN NORTH

