

# TOWN OF NEWBURGH

*Crossroads of the Northeast*

ZONING BOARD OF APPEALS  
OLD TOWN HALL  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550

## APPLICATION

OFFICE OF ZONING BOARD  
(845) 566-4901

DATED: May 7, 2015

TO: THE ZONING BOARD OF APPEALS  
THE TOWN OF NEWBURGH, NEW YORK 12550

I (WE) Ursula Petricsek PRESENTLY  
RESIDING AT NUMBER 19 Baird Ct Walden NY 12586  
TELEPHONE NUMBER 845 492-1664

HEREBY MAKE APPLICATION TO THE ZONING BOARD OF APPEALS FOR THE FOLLOWING:

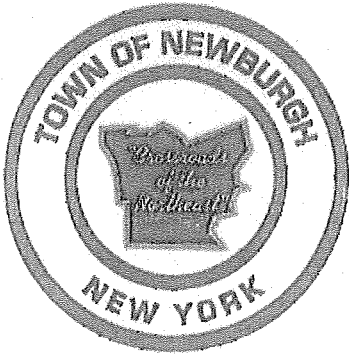
- A USE VARIANCE
- AN AREA VARIANCE
- INTERPRETATION OF THE ORDINANCE
- SPECIAL PERMIT

1. LOCATION OF THE PROPERTY:

32-4-13 & 32-4-14 (TAX MAP DESIGNATION)  
13 Snider Ave Walden NY (STREET ADDRESS)  
R-1 (ZONING DISTRICT)

2. PROVISION OF THE ZONING LAW APPLICABLE, (INDICATE THE SECTION AND SUBSECTION OF THE ZONING LAW APPLICABLE BY NUMBER; DO NOT QUOTE THE LAW).

185-19-C-1



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3. IF VARIANCE TO THE ZONING LAW IS REQUESTED:

- a) APPEAL IS MADE FROM DISAPPROVAL BY THE TOWN BUILDING INSPECTOR OR BUILDING PERMIT APPLICATION. SEE ACCOMPANYING NOTICE DATED: 3/30/15
- b) OR DENIAL (REFERRAL) BY THE PLANNING BOARD OF THE TOWN OF NEWBURGH OF AN APPLICATION TO THE BOARD, SEE ACCOMPANYING NOTICE DATED: \_\_\_\_\_

4. DESCRIPTION OF VARIANCE SOUGHT: Area Variance for New Reverse gable roof, covered front porch & deck

5. IF A USE VARIANCE IS REQUESTED: STRICT APPLICATION OF THE ZONING LAW WOULD PRODUCE UNNECESSARY HARDSHIP IN THAT:

- a) UNDER APPLICABLE ZONING REGULATIONS THE APPLICANT IS DEPRIVED OF ALL ECONOMIC USE OR BENEFIT FROM THE PROPERTY IN QUESTION BECAUSE:

\_\_\_\_\_  
\_\_\_\_\_

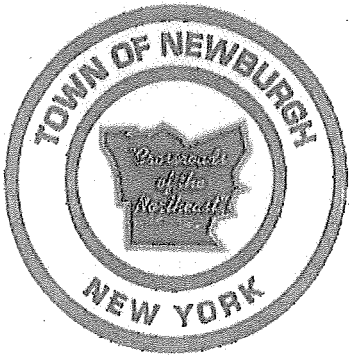
**(ATTACH WITH THIS APPLICATION COMPETENT FINANCIAL EVIDENCE ESTABLISHING SUCH DEPRIVATION)**

- b) THE HARDSHIP IS UNIQUE AND DOES NOT APPLY TO A SUBSTANTIAL PORTION OF THE DISTRICT OR NEIGHBORHOOD BECAUSE:

\_\_\_\_\_  
\_\_\_\_\_

- c) THE VARIANCE WOULD NOT ALTER THE ESSENTIAL CHARACTER OF THE NEIGHBORHOOD BECAUSE:

\_\_\_\_\_  
\_\_\_\_\_



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d) THE HARDSHIP HAS NOT BEEN SELF-CREATED BECAUSE:

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6. IF AN AREA VARIANCE IS REQUESTED:

a) THE VARIANCE WILL NOT PRODUCE AN UNDESIRABLE CHANGE IN THE CHARACTER OF THE NEIGHBORHOOD OR A DETRIMENT TO NEARBY PROPERTIES BECAUSE:

We Are Improving the look of the house - ~~BE~~ and removing the dilapidated conditions

b) THE BENEFIT SOUGHT BY THE APPLICANT CAN NOT BE ACHIEVED BY SOME METHOD, FEASIBLE FOR THE APPLICANT TO PURSUE, OTHER THAN AN AREA VARIANCE, BECAUSE:

We are redesigning the layout of the house for my 75 year old mother. We want the lay out of the house to have a minimum amount of stairs.

c) THE REQUESTED AREA VARIANCE IS NOT SUBSTANTIAL BECAUSE:

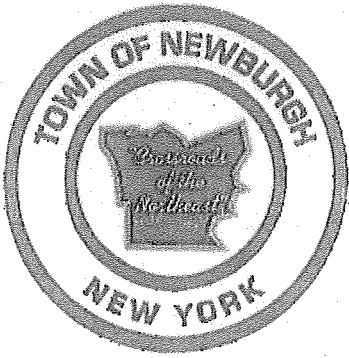
The roof redesign will be esthetically pleasing. the decks will replace the crumbling & not to code existing stone & concrete stairs to entrance door

d) THE PROPOSED VARIANCE WILL NOT HAVE AN ADVERSE EFFECT OR IMPACT ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS IN THE NEIGHBORHOOD OR DISTRICT BECAUSE:

We are removing the dilapidated existing conditions

e) THE HARDSHIP HAS NOT BEEN SELF CREATED BECAUSE:

We purchased the home in its existing condition in hopes of improving it and having a safe place for my mother to live close to our home.



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7. ADDITIONAL REASONS (IF PERTINENT):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*[Handwritten Signature]*  
\_\_\_\_\_  
PETITIONER (S) SIGNATURE

STATE OF NEW YORK: COUNTY OF ORANGE:

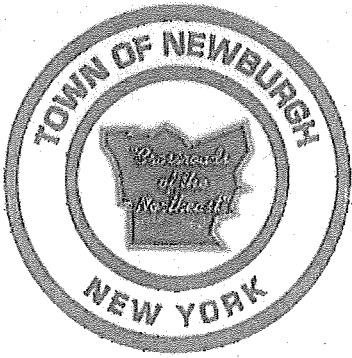
SWORN TO THIS 19<sup>th</sup> DAY OF May 2015

*[Handwritten Signature]*  
\_\_\_\_\_  
NOTARY PUBLIC

NANCY L. ELGUETA  
NOTARY PUBLIC, STATE OF NEW YORK  
LIC. NO. 01EL6215588  
ORANGE COUNTY  
MY COMMISSION EXPIRES 01-04-2018

NOTE: NYS GML Section 239-m (3) for proposed actions that are within 500 feet of the properties or thresholds listed in the statute the Zoning Board of Appeals is required to send a copy of the complete application to the Orange County Department of Planning to be reviewed prior to Zoning Board of Appeals decision. And also NYS GML Section 239-NN requires notification for any proposed actions, to the Municipal Clerk, within 500 feet of the Border of that adjoining County, Town or City.

(NOTE: BOARD MEMBERS MAKE SITE VISITS TO ALL THE PROPERTIES)



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## PROXY

Ursula Petricsek, DEPOSES AND SAYS THAT

HE/SHE RESIDES AT 19 Baird Ct Walden

IN THE COUNTY OF Orange AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF 13 Snider

Ave Walden NY

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICA-

TION AND THAT HE/SHE HAS AUTHORIZED Edward Petricsek

TO MAKE THE FOREGOING APPLICATION AS DESCRIBED THEREIN.

DATED: 5/19/15

Ursula Petricsek

OWNER'S SIGNATURE

WITNESS' SIGNATURE

STATE OF NEW YORK: COUNTY OF ORANGE:

SWORN TO THIS 19<sup>th</sup> DAY OF May 20 15

Nancy S. Elgueta  
NOTARY PUBLIC

NANCY L. ELGUETA  
NOTARY PUBLIC, STATE OF NEW YORK  
LIC. NO. 01EL6215588  
ORANGE COUNTY  
MY COMMISSION EXPIRES 01-04-2018

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map): 13 Snider Ave Walden NY 12586			
Brief Description of Proposed Action: Install / Add reverse Gable roof Add covered porch Add Deck			
Name of Applicant or Sponsor: Ursula Petricek		Telephone: 845 492-1664	
		E-Mail: upetricek@gmail.com	
Address: 19 Baird St			
City/PO: Walden		State: NY	Zip Code: 12586
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
Building Permit - Town of Newburgh			✓
3.a. Total acreage of the site of the proposed action?		1/8	acres
b. Total acreage to be physically disturbed?		0	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
			✓
b. Consistent with the adopted comprehensive plan?			✓
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
			✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
			✓
b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
			✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
			✓
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
			✓
16. Is the project site located in the 100 year flood plain?	NO	YES	
			✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
			✓

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Usula Petricel</u>	Date: <u>May 7, 2015</u>	
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
Ursula Petsicek _____ Print or Type Name of Responsible Officer in Lead Agency	Property Owner _____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

ORANGE COUNTY CLERK'S OFFICE RECORDING PAGE

THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE

TYPE IN BLACK INK:

NAME(S) OF PARTY(S) TO DOCUMENT

Charles Kobes  
TO  
Olive O'Rourke  
Ursula Petricek

SECTION 32 BLOCK 4 LOT B114

RECORD AND RETURN TO:  
(name and address)

Paul Johnson Esq  
12 St John St  
Doohan, NY 10924



THIS IS PAGE ONE OF THE RECORDING

ATTACH THIS SHEET TO THE FIRST PAGE OF EACH  
RECORDED INSTRUMENT ONLY

DO NOT WRITE BELOW THIS LINE

INSTRUMENT TYPE: DEED 0 MORTGAGE SATISFACTION ASSIGNMENT OTHER

PROPERTY LOCATION

- 2089 BLOOMING GROVE (TN)
- 2001 WASHINGTONVILLE (VLG)
- 2003 SO. BLOOMING GROVE (VLG)
- 2289 CHESTER (TN)
- 2201 CHESTER (VLG)
- 2489 CORNWALL (TN)
- 2401 CORNWALL (VLG)
- 2600 CRAWFORD (TN)
- 2800 DEERPARK (TN)
- 3089 GOSHEN (TN)
- 3001 GOSHEN (VLG)
- 3003 FLORIDA (VLG)
- 3005 CHESTER (VLG)
- 3200 GREENVILLE (TN)
- 3489 HAMPTONBURGH (TN)
- 3401 MAYBROOK (VLG)
- 3689 HIGHLANDS (TN)
- 3601 HIGHLAND FALLS (VLG)
- 3889 MINISINK (TN)
- 3801 UNIONVILLE (VLG)
- 4089 MONROE (TN)
- 4001 MONROE (VLG)
- 4003 HARRIMAN (VLG)
- 4005 KIRYAS JOEL (VLG)

- 4289 MONTGOMERY (TN)
- 4201 MAYBROOK (VLG)
- 4203 MONTGOMERY (VLG)
- 4205 WALDEN (VLG)
- 4489 MOUNT HOPE (TN)
- 4401 OTISVILLE (VLG)
- 4600 NEWBURGH (TN)
- 4800 NEW WINDSOR (TN)
- 5089 TUXEDO (TN)
- 5001 TUXEDO PARK (VLG)
- 5200 WALLKILL (TN)
- 5489 WARWICK (TN)
- 5401 FLORIDA (VLG)
- 5403 GREENWOOD LAKE (1/2 VLG)
- 5405 WARWICK (VLG)
- 5600 WAWAYANDA (TN)
- 5889 WOODBURY (TN)
- 5801 HARRIMAN (VLG)
- 5809 WOODBURY (VLG)
- 0900 CITIES
- 1100 MIDDLETOWN
- 1300 NEWBURGH
- 1300 PORT JERVIS
- 9999 HOLD

NO PAGES 4 CROSS REF.  
CERT. COPY ADD'L X-REF.  
MAP# PGS.

PAYMENT TYPE: CHECK   
CASH  
CHARGE  
NO FEE

Taxable  
CONSIDERATION \$ 95,000.00  
TAX EXEMPT  
Taxable  
MORTGAGE AMT. \$

MORTGAGE TAX TYPE:  
\_\_\_ (A) COMMERCIAL/FULL  
\_\_\_ (B) 1 OR 2 FAMILY  
\_\_\_ (C) UNDER \$10,000  
\_\_\_ (E) EXEMPT  
\_\_\_ (F) 3 TO 6 UNITS  
\_\_\_ (I) NAT.PERSON/CR. UNION  
\_\_\_ (J) NAT.PER-CR.UN/1 OR 2  
\_\_\_ (K) CONDO

*Ann G. Rabbitt*

ANN G. RABBITT  
ORANGE COUNTY CLERK

Received From Record Search

RECORDED/FILED  
06/30/2014/ 12:07:42  
ANN G. RABBITT  
County Clerk  
ORANGE COUNTY, NY  
FILE#20140054501  
DEED: R / BK 13765PG 0652  
RECORDING FEES 190.00  
TTX# 007115 T TAX 380.00  
Receipt#1779035 hals



201401

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT-THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the <sup>21<sup>st</sup></sup> day of June 2014

BETWEEN  
Charles Kobes  
13 Snider Avenue  
Walden, NY 12586

party of the first part, and

Olive O'Rourke and Ursula Petricek *as joint tenants with the right of survivorship*  
538 High Street  
Monroe, NY 10950

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

Ten

dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Newburgh, County of Orange and State of New York, being more particularly described in Schedule A, attached and made a part hereof.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" when ever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above  
IN PRESENCE OF:

X Charles Kobes

written.

## Schedule A

### Description

PARCEL #1 ALL THOSE CERTAIN LOTS OR PARCELS OF LAND, situate in the Town of Newburgh, Orange County, State of New York, and known and distinguished as Lots Nos. 535 and 536, on a certain map entitled "Section #1, Map of Orange Lake Estates, located in the Town of Newburgh, Orange Co., New York, Butler Fornari Realty Corp. owners and developers, Blake and Woodhull, licensed engineers and surveyors, Newburgh, New York, March 20, 1928" and filed April 10, 1928 in the Orange County Clerk's Office in Plan File of Maps, Pocket 15, Folder 45.

PARCEL #2 ALSO ALL THOSE CERTAIN LOTS OR PARCELS OF LAND, situate in the Town of Newburgh, Orange County, New York, and known and distinguished as Lots Nos. five hundred thirty-seven (537) and five hundred thirty-eight (538) on a certain map entitled "Section #1, Map of Orange Lake Estates, located in the Town of Newburgh, Orange Co., New York, Butler Fornari Realty Corp., owners and developers, Blake and Woodhull, licensed engineers and surveyors, Newburgh, New York, March 20<sup>th</sup>, 1928" and filed April 10<sup>th</sup>, 1928 in Orange County Clerk's Office in Plan File of Maps, Pocket 15, Folder 45.

Record Search Company, Ltd.  
12 St. John Street  
Goshen, NY 10924  
(845) 294-2344

207907

**TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE IN NEW YORK STATE**

State of New York, County of Dutchess ss:

State of New York, County of ss:

On the 26 day of June in the year 2014 before me, the undersigned, personally appeared CHARLES KOBES

On the day of in the year before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

(signature and office of individual taking acknowledgment)

(signature and office of individual taking acknowledgment)

**NANCY M. SORGE**  
Notary Public, State of New York  
No. 01505019345  
Qualified in Orange County  
Commission Expires October 18, 2014

**TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE OUTSIDE NEW YORK STATE**

State (or District of Columbia, Territory, or Foreign Country) of

ss:

On the day of in the year before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the

in (Insert the City or other political subdivision) (and insert the State or Country or other place the acknowledgment was taken)

(signature and office of individual taking acknowledgment)

**BARGAIN AND SALE DEED  
WITH COVENANT AGAINST GRANTOR'S ACTS**

Title No. \_\_\_\_\_

SECTION  
BLOCK  
LOT  
COUNTY OR TOWN  
STREET ADDRESS

Recorded at Request of  
New York Title Research Corp

RETURN BY MAIL TO:

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDERWRITERS

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**New York Title Research Corp**  
**www.nytitle.com**



## TOWN OF NEWBURGH

*~Crossroads of the Northeast~*

CODE COMPLIANCE DEPARTMENT  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550

TELEPHONE 845-564-7801  
FAX LINE 845-564-7802

**2489-15**

### NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

Date: 03/30/2015

Application No. 15-0166

To: Ursula Petricek  
19 Baird Ct  
Walden, NY 12586

SBL: 32-4-13 & 32-4-14  
ADDRESS: 13 Snider Ave

ZONE: R-1

PLEASE TAKE NOTICE that your application dated 03/20/2015 for permit to construct a 6' x 20' covered front porch with a 11'-11" x 19'-8.5" deck with a new reverse gable over the existing structure on the premises located at 13 Snider Ave is returned herewith and disapproved on the following grounds:

Town of Newburgh Municipal Code Sections:

- 1) Bulk table schedule 3 Allows a maximum lot building coverage of 10%.
- 2) 185-19-C-1 Shall not increase the degree of non-conformity. ( front / Snider Ave )
- 3) 185-19-C-1 Shall not increase the degree of non-conformity. ( rear yard )
- 4) 185-19-C-1 Shall not increase the degree of non-conformity. ( side yard )

  
Joseph Mattina

Cc: Town Clerk & Assessor (500')  
File

# Town of Newburgh Code Compliance

**OWNER INFORMATION**

*BUILT WITH OUT A PERMIT*

YES / NO

2489-15

NAME: URSULA PETRICEK

ADDRESS: 19 BAIRD CT. WALDEN NY 12586

**PROJECT INFORMATION:**

TYPE OF STRUCTURE: 13 SNIDER AVE WALDEN NY 12550

SBL: 32-4-13 & 32-4-14 ZONE: R-1

TOWN WATER: YES /  NO

TOWN SEWER: YES /  NO

	MINIMUM	EXISTING	PROPOSED	VARIANCE	VARIANCE PERCENTAGE
FRONT YARD SNIDER AVE	50'	25'	INCREASING DEGREE NONCONFORMITY		
FRONT YARD FIRST ST	50'	OK			
REAR YARD	40'	26'-5"	INCREASING DEGREE NONCONFORMITY		
ONE SIDE YARD	30'	12'	INCREASING DEGREE NONCONFORMITY		
BUILDING COVERAGE	10%=1000 SF		1672.19 SF	672.19 SF	67.2%
SURFACE COVERAGE	OK				

INCREASING DEGREE OF NON-CONFORMITY - 185-19-C-1  YES  X3  
 2 OR MORE FRONT YARDS FOR THIS PROPERTY  YES /  NO  
 CORNER LOT - 185-17-A  YES

**ACCESSORY STRUCTURE:**

GREATER THEN 1000 S.F. OR BY FORMULA - 185-15-A-4 YES / NO  
 FRONT YARD - 185-15-A YES / NO  
 STORAGE OF MORE THEN 4 VEHICLES YES / NO  
 HEIGHT MAX. 15 FEET - 185-15-A-1 YES / NO  
 10% MAXIMUM YARD COVERAGE - 185-15-A-3 YES / NO

**NOTES:** **Must combine lots 32-4-13 & 32-4-14 if approved. Covered front porch & deck. New reversed cabled roof over the existina dwelling.**

**VARIANCE(S) REQUIRED:**

- 1 Bulk table schedule 3 Allows a maximum lot building coverage of 10%.
- 2 185-19-C-1 Shall not increase the degree of non-conformity { Snider Ave Front Yard }
- 3 185-19-C-1 Shall not increase the degree of non-conformity { Side Yard } {Raising Roof}
- 4 185-19-C-1 Shall not increase the degree of non-conformity { Rear Yard }

REVIEWED BY: Joseph Mattina

DATE: 30-Mar-15

# 15-0165 & 15-0166  
13 SNYDER AVE  
**Town of Newburgh**  
**Code Compliance Department**

308 Gardnertown Road Newburgh, NY 12550  
845-564-7801 Phone 845-564-7802 Fax

MAILED TO: EDWARD PETRICEK 19 BAIRD CT. WALDEN NY 12586  
OWNER: CHARLES KOBES  
CONTRACTOR: GROUND EFFECTS LANDSCAPING  
PHONE #: 541-6500  
PROJECT: ALTERATIONS  
SBL: 32-4-13  
DATE: 3-23-2015

**SUBMIT ALL ITEMS LISTED BELOW AT THE SAME TIME**

**!!! BEFORE ANY EXCAVATION, DIG SAFELY NY (611) MUST BE NOTIFIED !!!**

**WHEN INTERIOR RESIDENTIAL ALTERATIONS OCCUR, ALL SMOKE & CO DETECTORS MUST BE UPGRADED IN ACCORDANCE WITH APPENDIX J OF THE 2010 R.C.N.Y.S.**

***ORANGE COUNTY REQUIRES ALL ELECTRICIANS TO BE LICENSED***

- 1) I've reviewed the applications as individual lots and combined lots. Listed below are the differences. Let me know how you would like to proceed.

**INDIVIDUAL LOTS:**

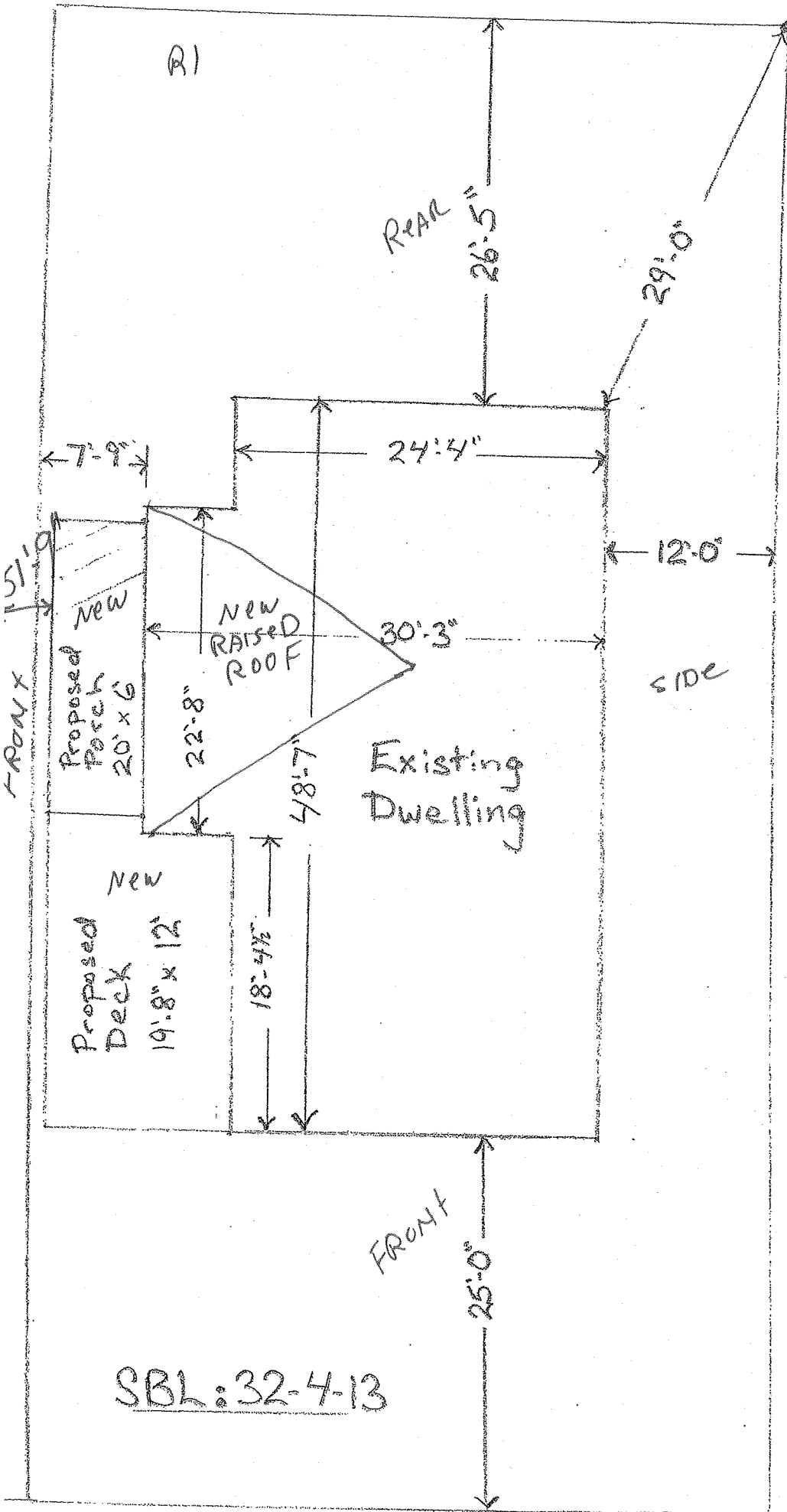
- 1) All newly constructed elements would require a 1 hour fire rating in accordance with the 2010 residential code due to being less than 5 feet from a property line.
- 2) {7} variances would be required from the zoning board of appeals.

**COMBINED LOTS:**

- 1) No fire rating of the building elements would be required.
- 2) {4} variances would be required from the zoning board of appeals.

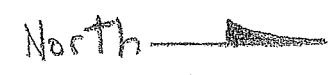
Joseph Mattina  
Code Compliance





Existing Setbacks:

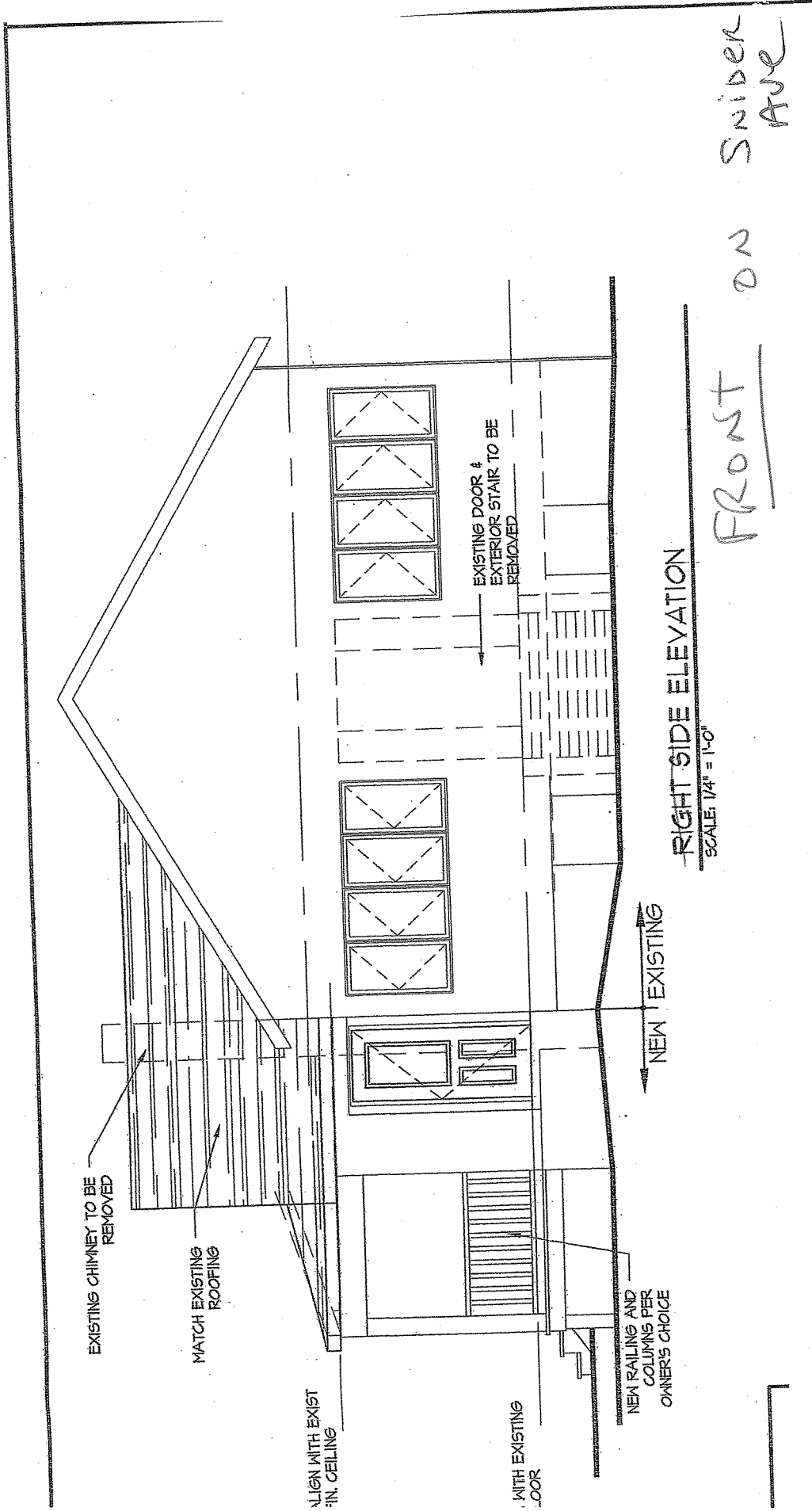
- Front - 25'-0"
- Side - 7'-9"
- Rear - 26'-5"
- Side - 12'-0"



SBL: 32-4-13

Petricek  
 13 Snider Ave  
 Newburgh N.Y.  
 March 20, 2015

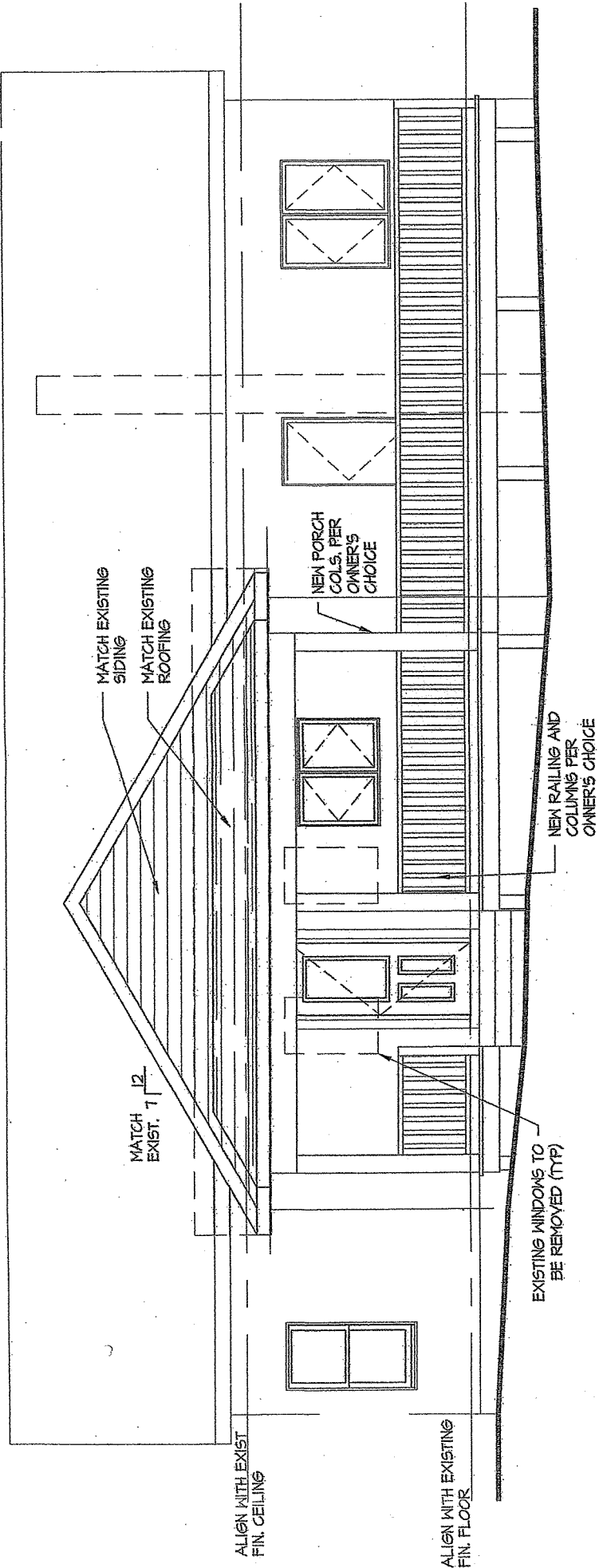
12 SNIDER AVE



FRONT ON SNIDER AVE

RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

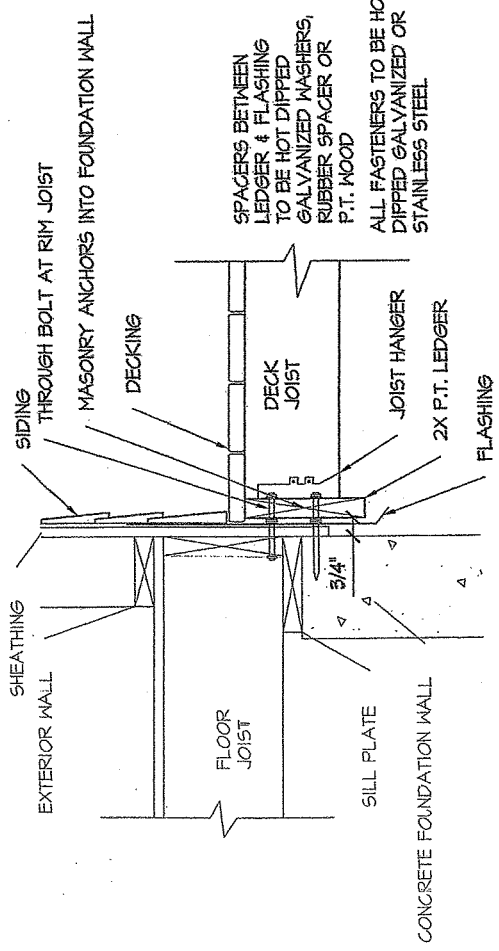
FRONT FIRST ST



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

- NOTES:
1. BUILDER SHALL VERIFY ALL EXISTING CONDITIONS. EXISTING CONDITIONS APPROXIMATED FROM BEST INFORMATION AVAILABLE FOR PURPOSES OF THE INTENT OF THE DESIGN IS SHOWN HERE - BUILDER TO ADAPT AS REG.
  2. NEW STRUCTURE AND AREAS DISTURBED BY CONSTRUCTION SHALL REQUIRE MATERIALS INCLUDING SIDING, SOFFITS, TRIM, ETC. TO MATCH EXISTING FINISHES.
  3. TYPICAL HEADER HEIGHT SHALL BE 6'-10" ABOVE FLOOR UNLESS OTHERWISE SPECIFIED.
  4. FOOTINGS / SONOTUBES SHALL BE A MINIMUM OF 42" BELOW GRADE. AS REQUIRED BY GRADE.
  5. ALL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO FIELD IN ACCORDANCE WITH LOCAL CODES.



**DECK DETAIL**

SCALE: NONE

**LEGEND**

- EXISTING TO REMAIN

First St

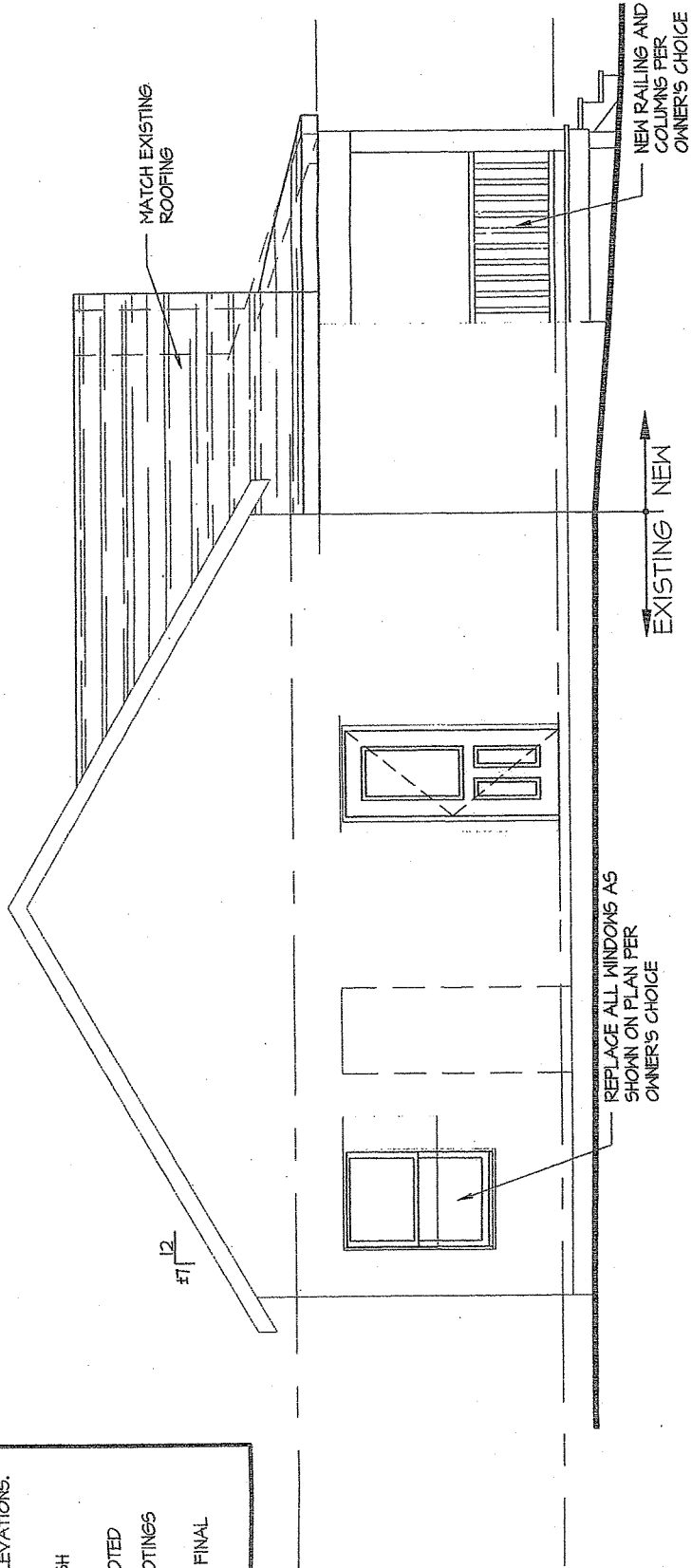
THESE ELEVATIONS.  
SHOWN.

VE FINISH  
SHEETS

UNLESS NOTED

STEP FOOTINGS

TERMINATE FINAL



1/4"

(FEDERAL)

AREA OF

FTS

REAR ~~LEFT SIDE~~ ELEVATION

SCALE: 1/4" = 1'-0"

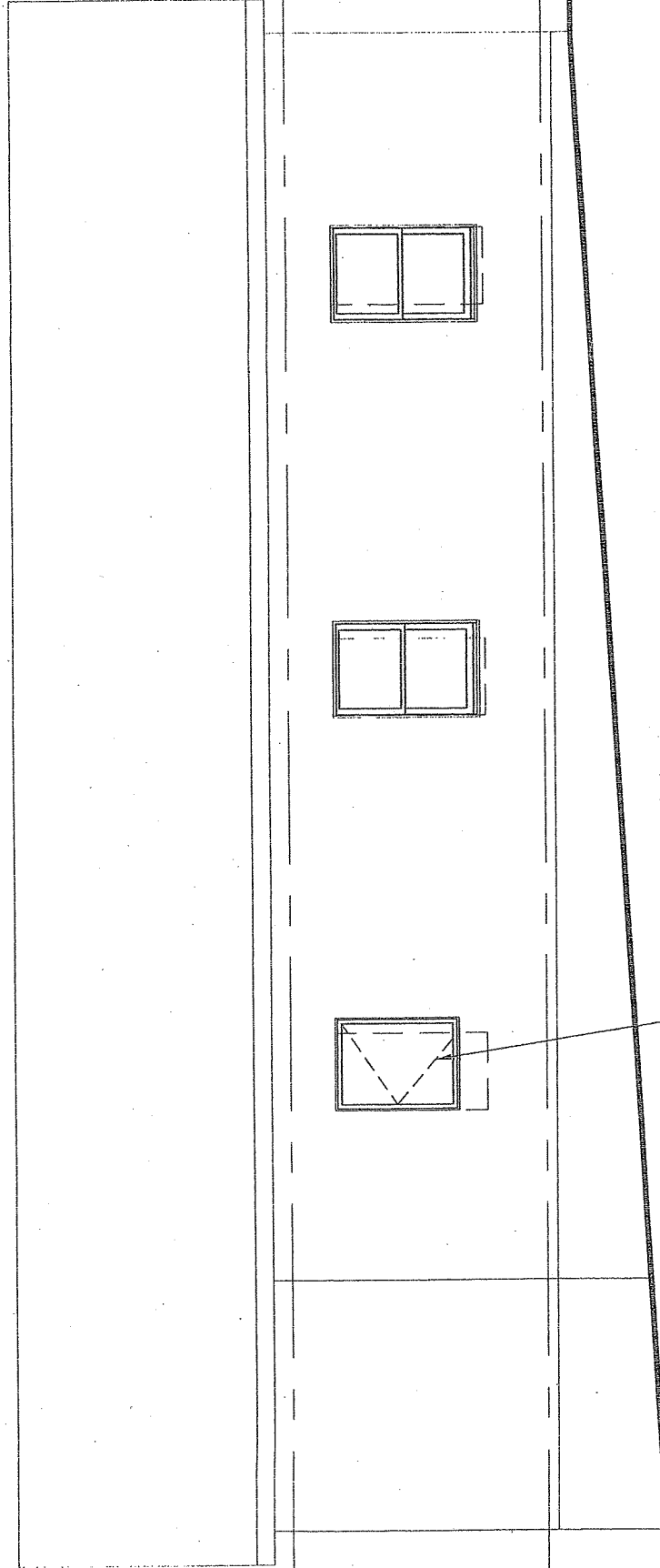
Towards  
Smithside

AREA OF

315

IFIED BY OWNER.  
ID & AREAS OF  
LYWOOD SUB  
SUAL, BLUE &

SCALE: 1/4" = 1'-0"

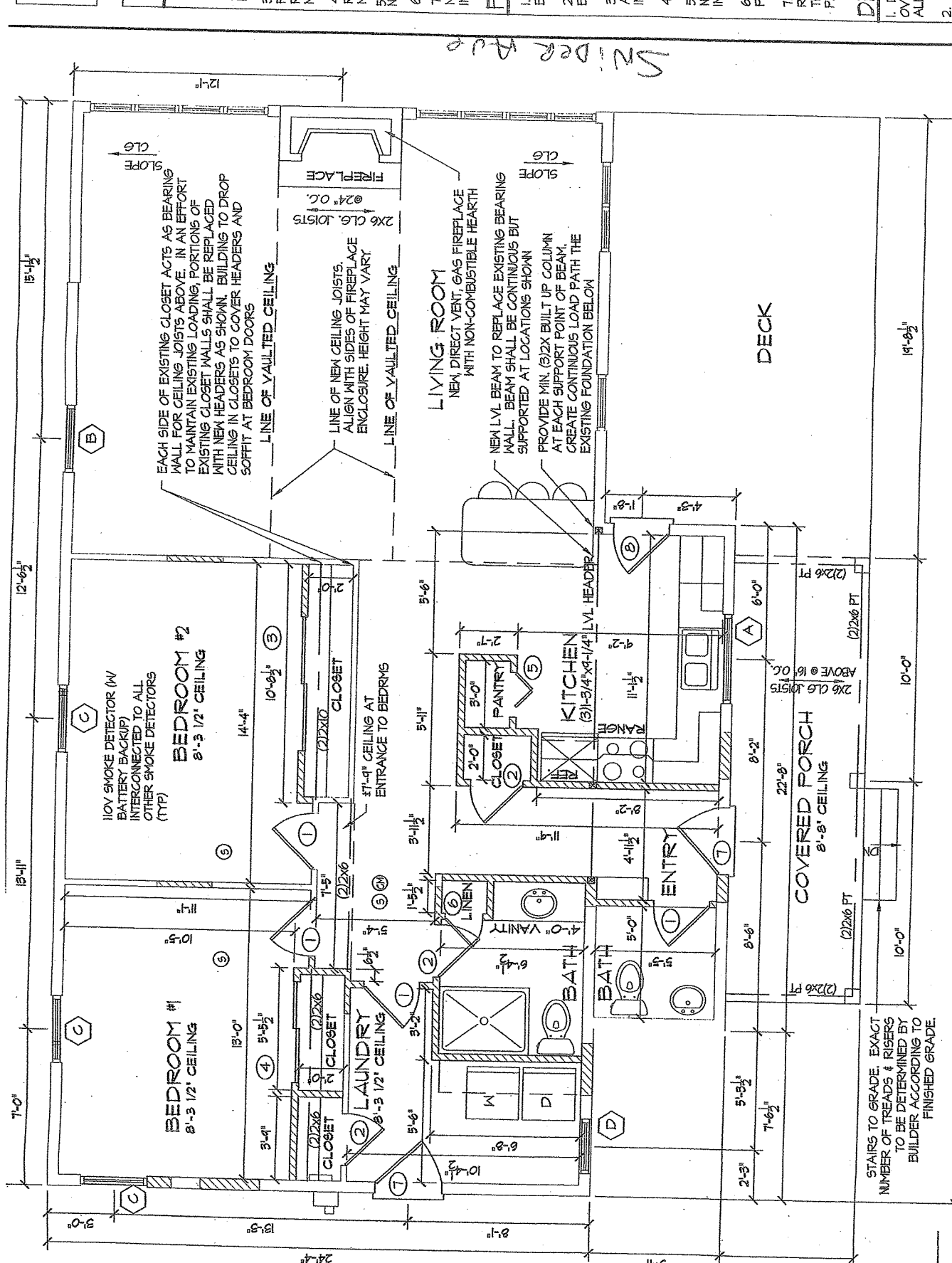


REPLACE ALL WINDOWS AS  
SHOWN ON PLAN. REFRAME  
ROUGH OPENING AS  
REQUIRED FOR NEW WINDOW  
SIZES

Left side

REAR ELEVATION

SCALE: 1/4" = 1'-0"



EACH SIDE OF EXISTING CLOSET ACTS AS BEARING WALL FOR CEILING JOISTS ABOVE. IN AN EFFORT TO MAINTAIN EXISTING LOADING, PORTIONS OF EXISTING CLOSET WALLS SHALL BE REPLACED WITH NEW HEADERS AS SHOWN. BUILDING TO DROP CEILING IN CLOSETS TO COVER HEADERS AND SOFFIT AT BEDROOM DOORS.

LINE OF VAULTED CEILING  
LINE OF NEW CEILING JOISTS. ALIGN WITH SIDES OF FIREPLACE ENCLOSURE. HEIGHT MAY VARY.  
LINE OF VAULTED CEILING

LIVING ROOM  
NEW DIRECT VENT, GAS FIREPLACE WITH NON-COMBUSTIBLE HEARTH

NEW LVL BEAM TO REPLACE EXISTING BEARING WALL. BEAM SHALL BE CONTINUOUS BUT SUPPORTED AT LOCATIONS SHOWN. PROVIDE MIN. (3)2X BUILT UP COLUMN AT EACH SUPPORT POINT OF BEAM. CREATE CONTINUOUS LOAD PATH THE EXISTING FOUNDATION BELOW.

110V SMOKE DETECTOR (W/ BATTERY BACKUP) INTERCONNECTED TO ALL OTHER SMOKE DETECTORS (TYP)

BEDROOM #2  
8'-3 1/2' CEILING

BEDROOM #1  
8'-3 1/2' CEILING

37'-9" CEILING AT ENTRANCE TO BEDRMS

KITCHEN  
(3)1-3/4"x4-1/4" LVL HEADER

DECK

COVERED PORCH  
8'-8" CEILING

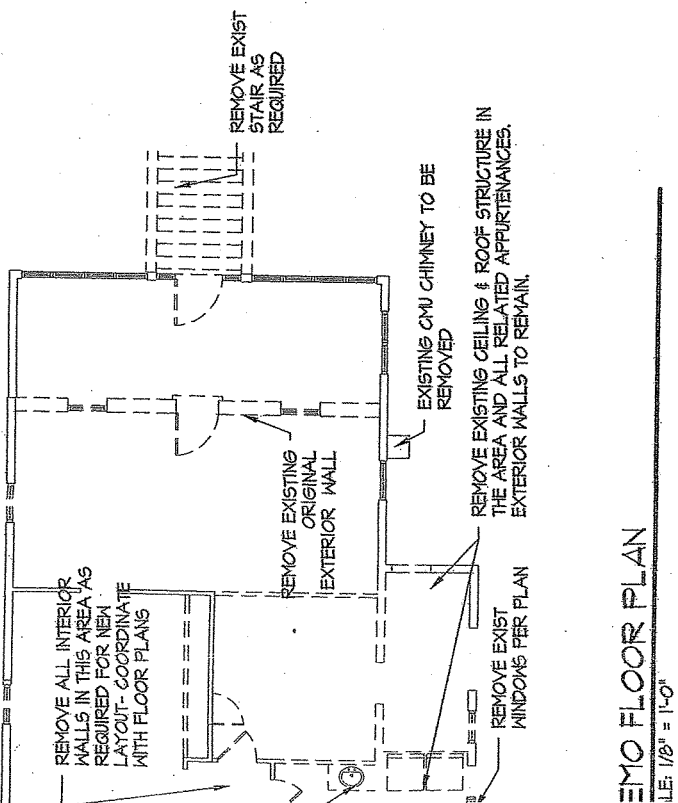
STAIRS TO GRADE. EXACT NUMBER OF TREADS & RISERS TO BE DETERMINED BY BUILDER ACCORDING TO FINISHED GRADE.

SWIDER RUD

First ST

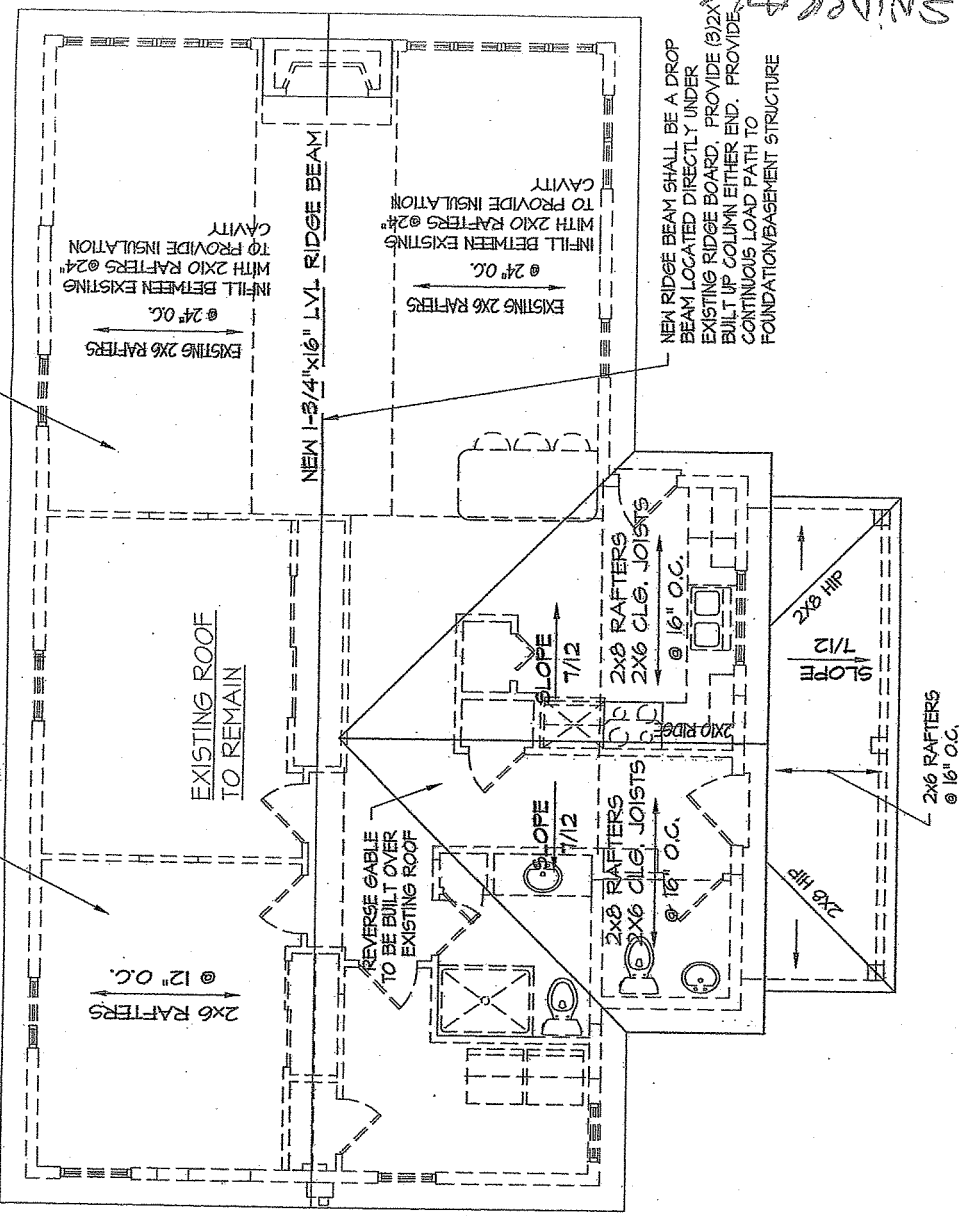
EXISTING TO BE REMOVED

SCALE: 1/4" = 1'-0"  
 REMOVE KITCHEN, LUMBING AS REQUIRED



FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

EXISTING RAFTERS ARE 2X6 @ 24" O.C. TO MEET CURRENT CODE. END RESULT FOR RAFTERS SHALL BE 2X6 @ 12" O.C. OR, (2)2X6@24" O.C.



ROOF FRAMING PLAN  
 SCALE: 3/16" = 1'-0"



First St

ENVELOPE THERMAL COMPONENT CRITERIA

COMPONENT	MIN. R-VALUE	REMARKS
SH	R-30	INCLUDING CENTER FLAT SECTION OF LIVING RM CATHEDRAL
WAL CLG	R-30	
SPACE	--	FRAMING CAVITY TO BE COMPLETELY FILL WITH INSULATION
	--	FRAMING CAVITY TO BE COMPLETELY FILL WITH INSULATION

ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE HAS BEEN USED FOR THE APPROVED RESCHECK SOFTWARE. COMPLIANCE REPORT SHALL BE ATTACHED TO THESE DOCUMENTS

3 ARE LISTED ABOVE IT IS BEING ASSUMED THAT ALL OTHERS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

(375)				
(376)	3			
(377)	•	3	25	
(378)	•	4	25	
(379)	•	5	50	
(380)	•	5	50	
(381)	•	6	95	
(382)	•	6	95	
(383)	•	7	50	
(384)	•	7	50	
(385)	•			
(386)	•	10.2	100	
(387)	•			
(388)	•			

**FIRST**

**AVENUE**

**SMITH**

(389)				
(390)				
(391)	•	2	125	
(392)	•			
(393)	•			
(394)	•			
(395)	•	3	75	
(396)	•			

**STREET**

LAKE ESTATE MAP 975

(428)				
(427)				
(426)	SCHOOL			
(425)	•	24	50	
(424)	•			
(423)	•			
(422)	•	21	50	
(421)	•	20	50	
(420)	•			
(419)	•			
(418)	•	19.2	150	
(417)	•			
(416)	•			
(415)	•			

**4**

**SNIDER**

**AVENUE**

(529)				
(526)				
(527)	SCHOOL			
(528)	•	8	100	
(529)	•			
(530)	•			
(531)	•	10	100	
(532)	•	11	25	
(533)	•			
(534)	•	12	95	
(535)	•			
(536)	•			
(537)	•			
(538)	•			

LAKE EST SEC M

(578)				
(577)	DISTRICT			
(576)	•	4	50	
(575)	•			
(574)	•	5	25	
(573)	•	6	25	
(572)	•			
(571)	•	7	75	
(570)	•			
(569)	•	8	25	
(568)	•			
(567)	•	9	50	
(566)	•			
(565)	•	10	50	
(564)	•			
(563)	•	11	50	
(562)	•	12	25	
(561)	•	13	25	
(560)	•	14	25	
(559)	•			
(558)	•	16.1	75	
(557)	•			
(556)	•	17	50	
(555)	•			

VALLEY

**Petricker**  
**13 Snider Ave**  
 (32-4-13 -  
 32-4-14)

