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CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: PET HOTEL AND DAYCARE (MIDDLEHOPE VET)
PROJECT NO.: 2012-19
PROJECT LOCATION: SECTION 9, BLOCK 3, LOT 22.1 & 23 & 22.2
REVIEW DATE: 31 MARCH 2017
MEETING DATE: 6 APRIL 2017
PROJECT REPRESENTATIVE: T.M. DEPUY ENGINEERING & LAND SURVEYING, P.C.

1. Unified Site Plan note has been placed on the plans.
2. The gravel area on the northeast portion of the site is proposed to continue to be utilized as employee parking. NYSDOT comments on this should be received.
3. Inquiry for the NY National Heritage has been submitted. Planning Board awaits this information.
4. Documents regarding the shared septic facility between the lots are outstanding. Applicant identifies they are working on the documents.
5. A Landscape Plan has been submitted for the Planning Board use. Planning Board should evaluate the Landscape Plan with regard to acceptability to the Board.
6. NYSDEC and Orange County Health Department approval of the subsurface sanitary sewer disposal system is required. This office will defer review of the sanitary sewer disposal system to those agencies.
7. We would recommend that the chain link fence proposed above the retaining wall be black vinyl coated consistent with previous Planning Board approvals.
8. The parking spaces closest to the proposed Pet Hotel are labeled 9 spaces while only 8 are now provided due to the handicap accessibility.
9. Zoning data cable should be revised for number of parking spaces. Parking spaces are currently proposed at 34, including 3 accessible.

Town of Newburgh

10. The amount of disturbance on the site should be calculated with regard to the need to prepare a Stormwater Pollution Prevention Plan.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

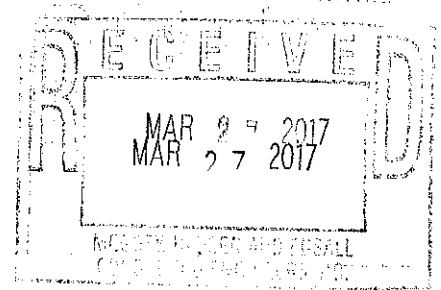
T.M. DePUY ENGINEERING AND LAND SURVEYING, P.C.

2656 Route 302
Middletown, NY 10941

Tel # (845) 361-5421
Fax# (845) 361-5229

March 23, 2017

John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550



Re: Proposed Pet Hotel &
Day Care Facility
Section 9, Block 3,
Lots 22.2, 23 & 22.1 (P/O)
Town of Newburgh Job #2012-19

Dear Mr. Chairman:

Enclosed please find 14 copies each of the following items on the referenced project for review:

- Revised Site Plan drawings
- Lot Line Change and Land Consolidation Map
- Revised Pages 7 and 11 of Long EAF
- New York National Heritage confirmation of submittal

The following is in response to McGoey, Hauser and Edsall Consulting Engineers D.P.C. comments of

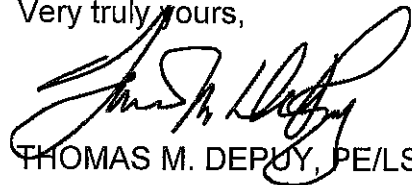
1. The transfer table on the Lot Line Change plan has been corrected to list 22.1, and the second lot has been relabeled.
2. Shared parking arrangements and unified site plan agreements are being finalized and a note concerning this has been placed on the drawing.
3. The gravel area on the northeast portion of the site is still to be utilized as an employee parking lot and the employees will access the site across the small existing bridge.
4. The long form EAF has been revised. An inquiry to the New York National Heritage has been made (see attached confirmation).
5. The long form EAF has been modified to indicate the depth to ground water which is an average of 5'; see Page 11.
6. So noted.
7. We have made application to the ZBA and have been placed on April 27, 2017 agenda to obtain a front yard setback for the existing building which was pre-existing, non-conforming.
8. The parking has been slightly revised to indicate one additional handicap parking space with access way into the pet hotel and day care facility.
9. The owner's endorsement note has been removed from SP1.
10. Legal documents concerning the shared septic facility are being finalized.
11. So noted.
12. Two new area light poles have been indicated on the drawings; see SP2 and a detail provided on SP6.
13. So noted.
14. So noted.

- 15. So noted.
- 16. The grading occurring on 9-3-22.1 is related to the development of the expanded pet hotel and day care facility. The ownership of the two lots are the same; therefore, we do not believe a cross grading easement is required.
- 17. So noted.
- 18. A soil erosion and sedimentation plan has been provided. SWPPP1, SWPPP2 & SWPPP3.
- 19. A detail of the retaining wall has been added to the plans; see SP7.
- 20. The details for the proposed sidewalk and stairways have been added to the plans, see SP6.
- 21. A landscape plan has been provided, see SP8.

In response to Planning Board comments at the March 2, 2017, we have modified the long form EAF to clarify operational hours, see Page 7. We have a correction on the traffic portion of the long form EAF: there are no semi-tractor trailer trips; this has been indicated at 0.

We have been placed on the April 6, 2017 agenda. Thank you.

Very truly yours,



THOMAS M. DEPUY, PE/LS

TMD/nk

Enclosures

cc: w/enc. – Michael Donnelly, Town Attorney
via email – Charlene Schaper

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend

Randomly between hours of 4:00 to 5:00.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: 0

iii. Parking spaces: Existing 20 Proposed 34 Net increase/decrease 14

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: No

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): Central Hudson Gas and Electric

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:30am- 3:30pm</u> • Saturday: <u>n/a</u> • Sunday: <u>n/a</u> • Holidays: <u>n/a</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:00am - 7:00pm</u> • Saturday: <u>8:00am - 1:00pm</u> • Sunday: <u>11:00am - 5:00pm</u> • Holidays: <u>Closed (General)</u>
---	---

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 5 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Bath Nassau	_____	68 %
Erie	_____	8 %
Hoosie	_____	24 %

d. What is the average depth to the water table on the project site? Average: _____ 5 feet

e. Drainage status of project site soils: Well Drained: _____ 24 % of site
 Moderately Well Drained: _____ 76 % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 40 % of site
 10-15%: _____ 16 % of site
 15% or greater: _____ 15 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-374 _____ Classification C _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters _____ Approximate Size Stream _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

From: naturalheritage@dec.ny.gov
To: [Tom M DePuy](mailto:Tom.M.DePuy)
Subject: Confirmation of your submitted request to New York Natural Heritage
Date: Tuesday, March 21, 2017 4:33:01 PM

Submission ID: 1160

Submitted on Tuesday, March 21, 2017 - 16:32

Submitted values are:

Company, Organization, or Agency: T.M. Depuy Engineering and Land Surveying

Requestor Name: Thomas M. DePuy

Requestor Address (Street/PO Box): 2656 Route 302

Requestor City: Middletown

Requestor State: New York

Requestor Zip Code: 10941

Requestor Telephone #: 845-361-5421

Requestor Email: tmdepuy@tmdepuy.com

Project Type: commercial development

Project Name: Pet Hotel and Day Care Facility

Project Applicant: Ranne LLC,

Project County: Orange

Town (Orange County): Newburgh

Project Summary: Propose 6,040 SF addition to the existing pet hotel and day care facility located on westerly side of Route 9W in Town of Newburgh. The propose is being reviewed by the Town of Newburgh Planning Board which has taken Lead Agency, and we need to know whether there the proposed project would likely impact any ecologically significant areas or rare species of plants or animals.

Current Land Use: Dog run area and a portion is vacant

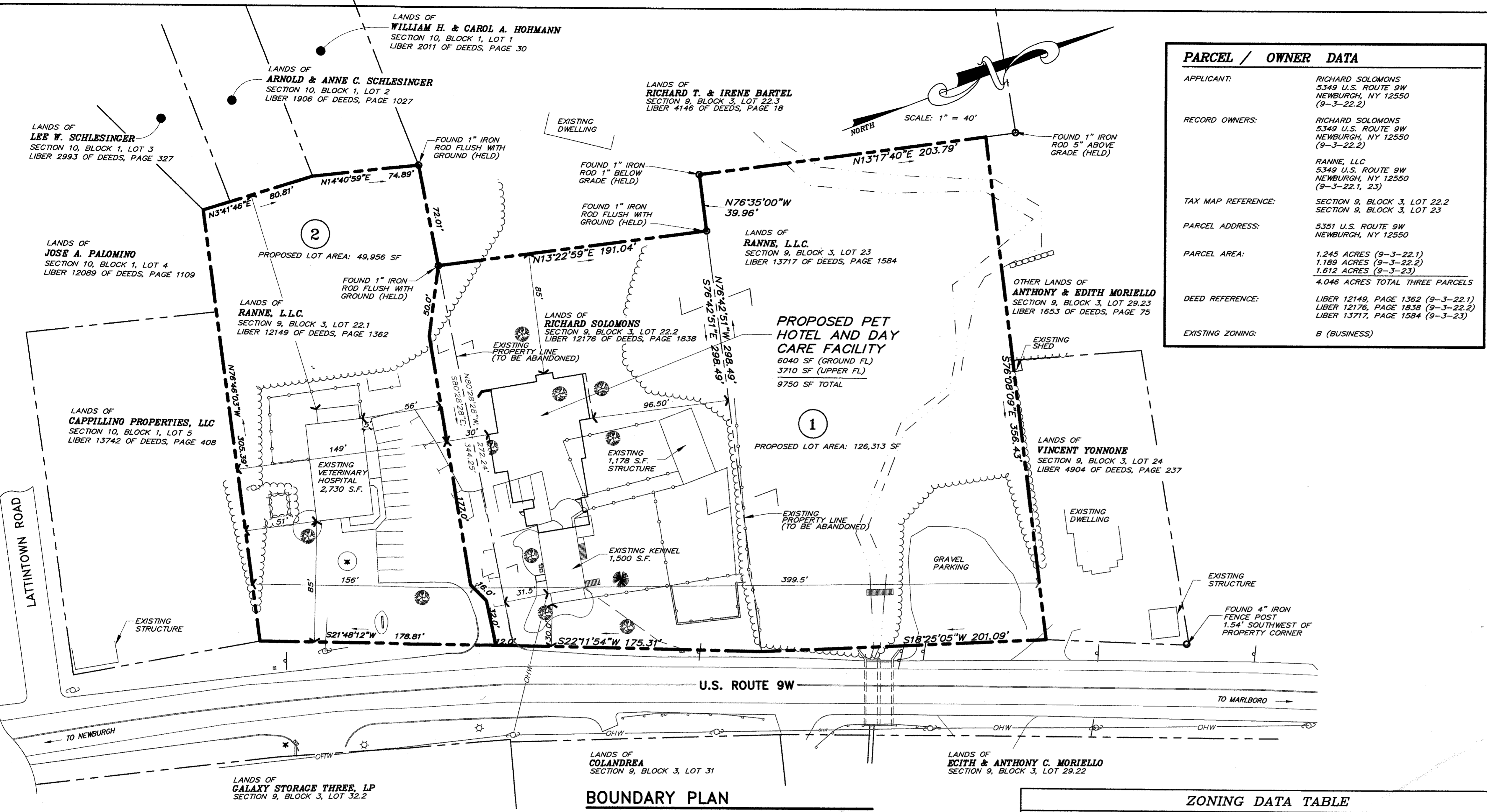
Tax parcel number: Sec 9 Block 3 Lots 22.1, 22.2, 23If you are submitting a map, this field is optional.

Latitude:

Longitude:

Street Address of Project: 5351 Route 9W, Newburgh, NY 12250If you are submitting a map, this field is optional.

Project Notes:



PARCEL / OWNER DATA	
APPLICANT:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
RECORD OWNERS:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
	RANNE, LLC 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.1, 23)
TAX MAP REFERENCE:	SECTION 9, BLOCK 3, LOT 22.2 SECTION 9, BLOCK 3, LOT 23
PARCEL ADDRESS:	5351 U.S. ROUTE 9W NEWBURGH, NY 12550
PARCEL AREA:	1.245 ACRES (9-3-22.1) 1.189 ACRES (9-3-22.2) 1.612 ACRES (9-3-23) 4.046 ACRES TOTAL THREE PARCELS
DEED REFERENCE:	LIBER 12149, PAGE 1362 (9-3-22.1) LIBER 12176, PAGE 1838 (9-3-22.2) LIBER 13717, PAGE 1584 (9-3-23)
EXISTING ZONING:	B (BUSINESS)



LOCATION MAP
SCALE: 1" = 2000'

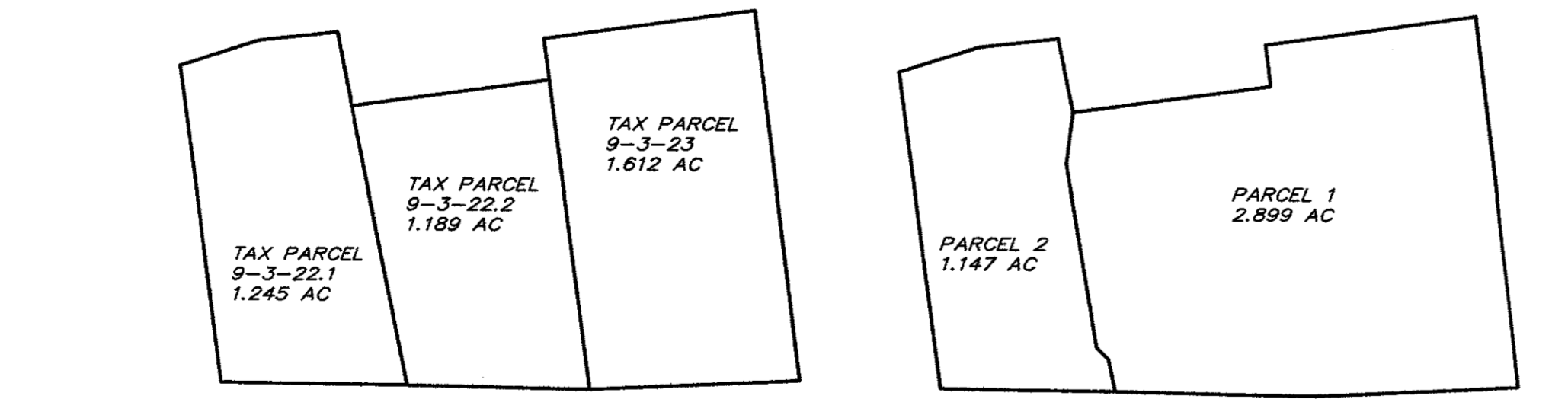
SURVEY AND PARCEL NOTES

- MAP REFERENCE: NYSDOT "SHEET NO. 5 & SHEET NO. 6, NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED JANUARY 15, 1910.
- FIELD NOTE REFERENCE: NYSDOT FIELD NOTES FOR "NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
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- MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
- MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
- MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
- MAP REFERENCE: NYSDOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 69, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
- MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 6377 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
- MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1998, REVISED OCTOBER 5, 1999 AS PREPARED BY BRUNNIE & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
- THIS LOT LINE CHANGE IS BEING CONSIDERED CONCURRENT WITH A SEPARATE SITE PLAN FOR A BUILDING ADDITION ON TAX PARCEL 9-1-22.2

SYMBOLS	ABBREVIATIONS
---	CB CATCH BASIN
---	CD/P PERF. SEPTIC CURTAIN DRAIN PIPE
---	CD/S SOLID SEPTIC CURTAIN DRAIN PIPE
---	CONSERVATION EASEMENT LINE
---	CL CENTERLINE
---	CMP CORRUGATED METAL PIPE
---	CONC. CONCRETE
---	D.I.P. DUCTILE IRON PIPE
---	ELEV. ELEVATION
---	FFE FINISHED FLOOR ELEVATION
---	HDPE HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)
---	HP HIGH POINT
---	INV INVERT
---	LF LINEAR FOOT
---	LP LOW POINT
---	LSE: LOWEST SEWER ELEVATION (INV)
---	MH MANHOLE
---	N.W.L. NORMAL WATER LEVEL (SURFACE ELEV)
---	PROP. PROPOSED
---	RCP REINFORCED CONCRETE PIPE
---	W.L. WATER LEVEL (SURFACE ELEV)

PROPERTY TRANSFER TABLE

EXISTING PARCEL	EXISTING AREA	AREA EXCHANGE	REVISED NEW LOT	NEW AREA
9-3-22.1	1.245 ACRES 54,252 SQ. FT.	TO 9-3-22.2 (-) 0.098 ACRES	NEW TAX MAP PARCEL 2	1.147 ACRES 49,956 SQ. FT.
9-3-22.2	1.189 ACRES 51,793 SQ. FT.	FROM 9-3-22.1 AND 9-3-23 0.098 ACRES	NEW TAX MAP PARCEL 1	2.899 ACRES 126,313 SQ. FT.
9-3-23	1.612 ACRES 70,224 SQ. FT.	TO 9-3-22.2 (-) 1.612 ACRES		
TOTAL AREA	4.046 ACRES 176,269 SQ. FT.			4.046 ACRES 176,269 SQ. FT.



EXISTING PARCELS SCALE: 1" = 140'
PROPOSED PARCELS SCALE: 1" = 140'

ZONING DATA TABLE			
TOWN OF NEWBURGH - (B) BUSINESS ZONE			
ITEM	REQUIREMENTS	PARCEL 1	PARCEL 2
1. BUILDING USE	D-17 VET OFFICE/ /RELATED SERVICES	PET HOTEL	VETERINARY HOSPITAL
2. LOT AREA	40,000 S.F.	2,899 ACRES (126,313 S.F.)	1,147 ACRES (49,956 S.F.)
3. LOT WIDTH	150'	399.5'	156'
4. LOT DEPTH	150'	272'	305'
5. BUILDING SETBACKS			
o FRONT YARD	40'	30' (EXIST)	85' (EXIST)
o SIDE YARD	30'	30' (PROPOSED)	51' (EXIST)
o REAR YARD	40'	85'	158' (EXIST)
6. BUILDING HEIGHT	35 FEET	LESS THAN 35'	LESS THAN 35'
7. OFF STREET PARKING (B185-13)	ONE SPACE PER 200 S.F. GFA 9750 SF (NEW) = 48.8 1 SPACE / 200 SF 2,730 SF (HOSP.) = 13.7 1 SPACE / 200 SF 1,500 SF (KENNEL) = 7.5 1 SPACE / 200 SF 1,178 SF (E.A.) = 1.2 1 SPACE / 1000 SF 33.8 = 34	35 TOTAL SHARED SPACES (INC'D 2 ACCESSIBLE)	
8. LOT BUILDING COVERAGE	MAXIMUM 30%	12,428 SF X 100 = 9.8% 126,313 SF	2,730 SF X 100 = 5.5% 49,956 SF
9. LOT SURFACE COVERAGE	MAXIMUM 60%	12,864 SF X 100 = 10.2% 126,313 SF	15,693 SF X 100 = 31.4% 49,956 SF

E.A. = EXERCISE AREA; L&O = LOBBY AND OFFICE AREA

OWNERS ENDORSEMENT

I GRANT MY APPROVAL TO THE FILING OF THESE PLANS IN THE ORANGE COUNTY CLERK'S OFFICE

Owner _____ Date _____

Owner _____ Date _____

LOT LINE CHANGE AND
LAND CONSOLIDATION MAP
OF LANDS OF
**RANNE, LLC AND
RICHARD SOLOMONS**
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

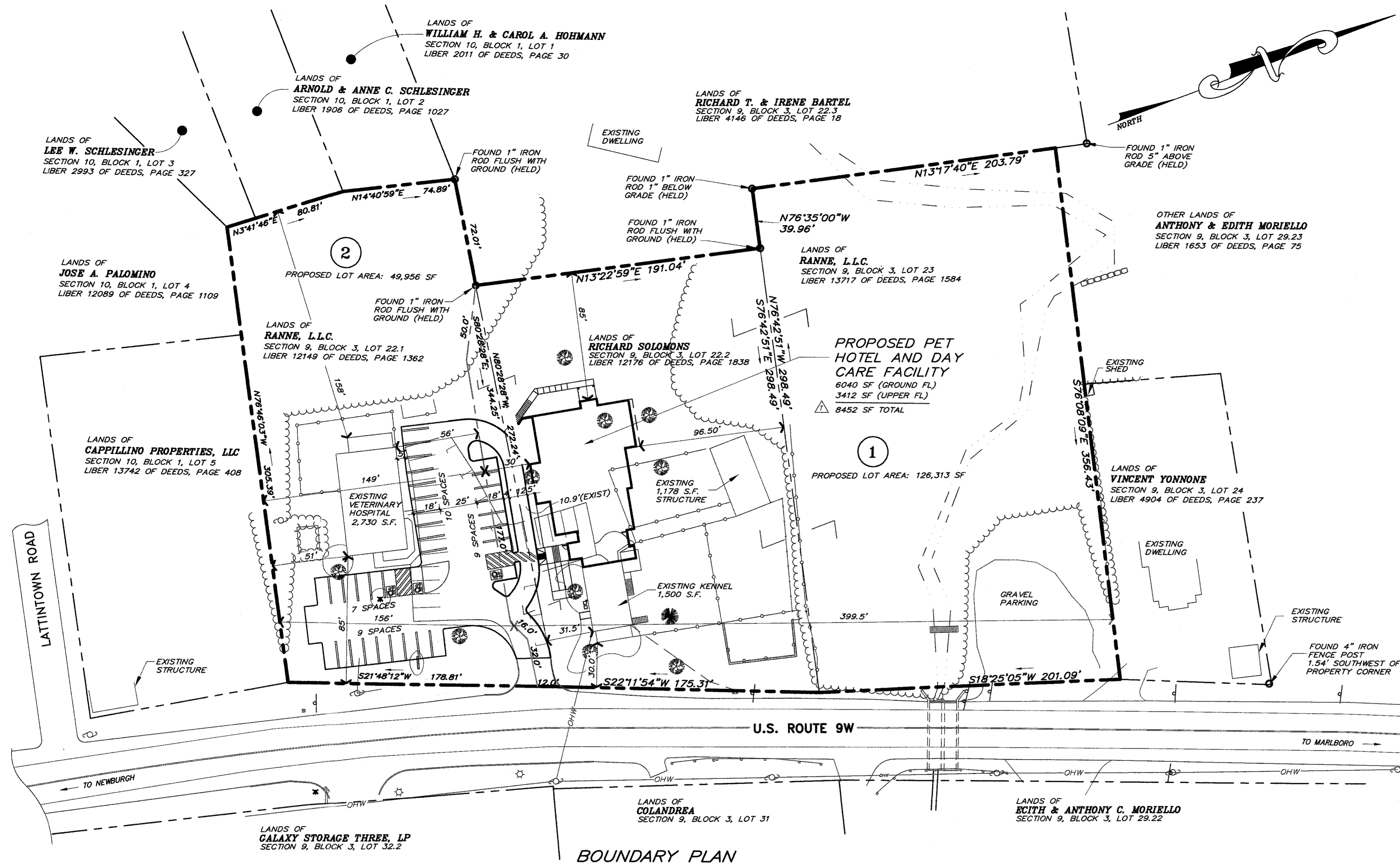
FEBRUARY 7, 2017
SCALE: 1" = 40'

REV 3/2/2017

TMD ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229

I hereby certify to RANNE, LLC and the Town of Newburgh that this survey map is the result of an actual field survey prepared by T.M. DePuy Engineering & Land Surveying, P.C. on June 26, 2012.

THOMAS M. DEPUY, S.E., NYS License # 049783



LOCATION MAP
SCALE: 1" = 2000'

PARCEL / OWNER DATA

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- MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
- MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
- MAP REFERENCE: NYS DOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
- MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #8098.
- MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRINNIER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
- CONDITIONAL WITH THIS SITE PLAN APPROVAL IS THE PROPOSED LAND CONSOLIDATION OF TWO (2) SEPARATE TAX PARCELS INTO ONE (1) SINGLE PARCEL. THE BOUNDARY LINE BETWEEN TAX PARCEL SECTION 9, BLOCK 3, LOT 22.2 (SOLOMONS) AND TAX PARCEL SECTION 9, BLOCK 3, LOT 23 (RANNE, LLC) WILL BE REMOVED, AND THE BOUNDARY LINE BETWEEN TAX PARCEL 22.1 (RANNE, LLC) AND TAX PARCEL 22.2 WILL BE REVISED. REFER TO DRAWING ENTITLED "LOT LINE CHANGE AND LAND CONSOLIDATION MAP OF LANDS OF RANNE, LLC AND RICHARD SOLOMONS". THE APPROVAL OF WHICH RUNS CONCURRENT WITH THIS SITE PLAN.

ZONING DATA TABLE			
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4. LOT DEPTH	150'	272'	305'
5. BUILDING SETBACKS			
o FRONT YARD	40'	30' (EXIST)	85' (EXIST)
o SIDE YARD	30'	30' (PROPOSED)	51' (EXIST)
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9. LOT SURFACE COVERAGE	MAXIMUM 60%	12,864 SF x 100 = 10.2% 126,313 SF	15,693 SF x 100 = 31.4% 49,956 SF

UNIFIED SITE PLAN NOTE

THE OWNER SHALL PREPARE A DECLARATION, SATISFACTORY TO THE PLANNING BOARD ATTORNEY, RESTRICTING THE USE OF THE LOTS COVERED BY THIS SITE PLAN APPROVAL TO OPERATION AS A SINGLE SITE PURSUANT TO THIS SITE PLAN APPROVAL. THE DECLARATION SHALL ANNOUNCE THAT CONVEYANCE OF ANY OF THE THREE PARCELS SHALL RESULT, WITHOUT FURTHER ACTION, IN A REVOCATION OF THIS APPROVAL. THE DECLARATION SHALL STATE THAT IT IS ENFORCEABLE BY THE TOWN AND THAT THE OBLIGATION SHALL RUN WITH THE LAND. THE DECLARATION SHALL BE RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE BEFORE THE PLANS ARE SIGNED.

LEGEND

SYMBOLS

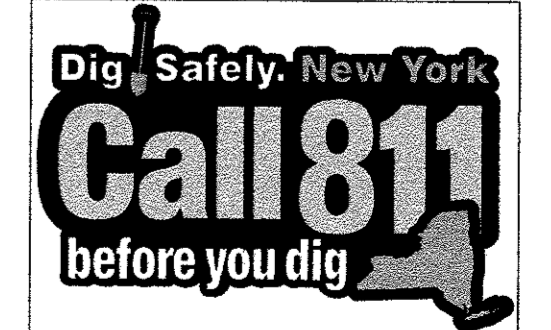
- PROPERTY LINE
- ADJOINING LOT LINE
- EASEMENT LINE
- CONSERVATION EASEMENT LINE
- CONTOURS
- WATER EDGE OR STREAM
- GUIDE RAIL
- FENCE LINE
- STONEWALL
- EDGE OF PAVEMENT
- OVERHEAD UTILITY LINE
- TREELINE
- UTILITY POLE
- WELL
- WATERMAIN GATE VALE
- RETAINING WALL (PROPOSED)
- DIVERSION SWALE
- SEPTIC CURTAIN DRAIN (PROPOSED)
- DAYLITE OUTLET W/RODENT SCREEN
- ROOF/FOOTING DRAINS
- PERC TEST LOCATION
- DEEP TEST LOCATION
- SEPTIC TANK (PROPOSED)
- DOSING TANK (PROPOSED)
- SEWAGE PUMP STATION (PROPOSED)

ABBREVIATIONS

- CB CATCH BASIN
- CD/P PERF. SEPTIC CURTAIN DRAIN PIPE
- CD/S SOLID SEPTIC CURTAIN DRAIN PIPE
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CONC. CONCRETE
- D.I.P. DUCTILE IRON PIPE
- ELEV ELEVATION
- FFE FINISHED FLOOR ELEVATION
- HDPE HIGH DENSITY POLYETH.PIPE (SMOOTH INTERIOR)
- HP HIGH POINT
- INV INVERT
- LF LINEAR FOOT
- LP LOW POINT
- LSE: LOWEST SEWER ELEVATION (INV)
- MH MANHOLE
- N.W.L. NORMAL WATER LEVEL (SURFACE ELEV)
- PROP. PROPOSED
- RCP REINFORCED CONCRETE PIPE
- W.L. WATER LEVEL (SURFACE ELEV)

LIST OF DRAWINGS

No.	DWG	TITLE
1	SP1	ZONING DATA AND BOUNDARY PLAN
2	SP2	SITE PLAN
3	SP3	SEPTIC SYSTEM DETAILS 1
4	SP4	SEPTIC DETAILS 2
5	SP5	STORM UTILITY DETAILS
6	SP6	SITE DETAILS 1
7	SP7	SITE DETAILS 2
8	SP8	LANDSCAPE PLAN
9	ES1	SWPPP NOTES
10	ES2	SOIL EROSION AND SEDIMENT CONTROL
11	ES3	GREEN INFRASTRUCTURE



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"Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal in red is a violation of Section 7208, Subdivision 2, of the New York State Education Law."

"Only copies from the original tracing of this survey map marked with the Land Surveyor's seal in red with original signature shall be considered valid, true copies."

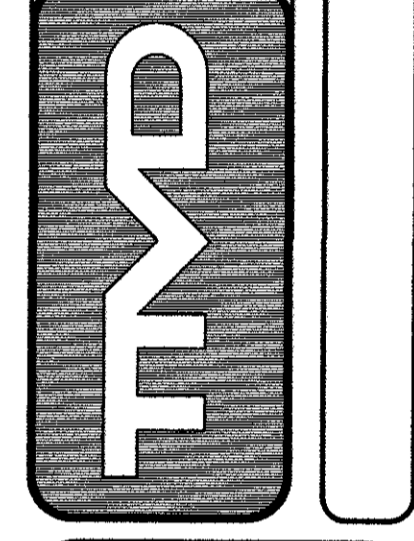
"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware-Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."

I hereby certify to RANNE, LLC and the Town of Newburgh that this survey map is the result of an actual field survey prepared by T.M. DePuy Engineering & Land Surveying, P.C. on June 26, 2012.

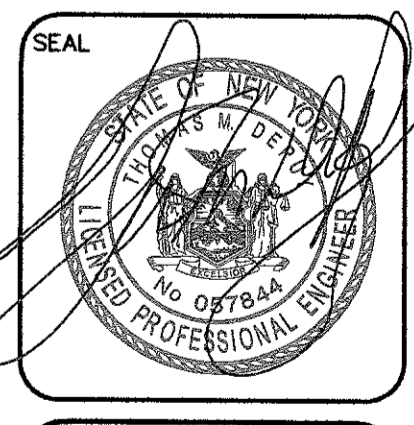


NO.	DATE	DESCRIPTION	BY
1	3/21/17	PLANNING BOARD SUBMISSION 2	DJM
2	3/27/17	ZONING BOARD APPLICATION	

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
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PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	ZONING DATA AND BOUNDARY PLAN
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP1
SHEET	1 OF 11

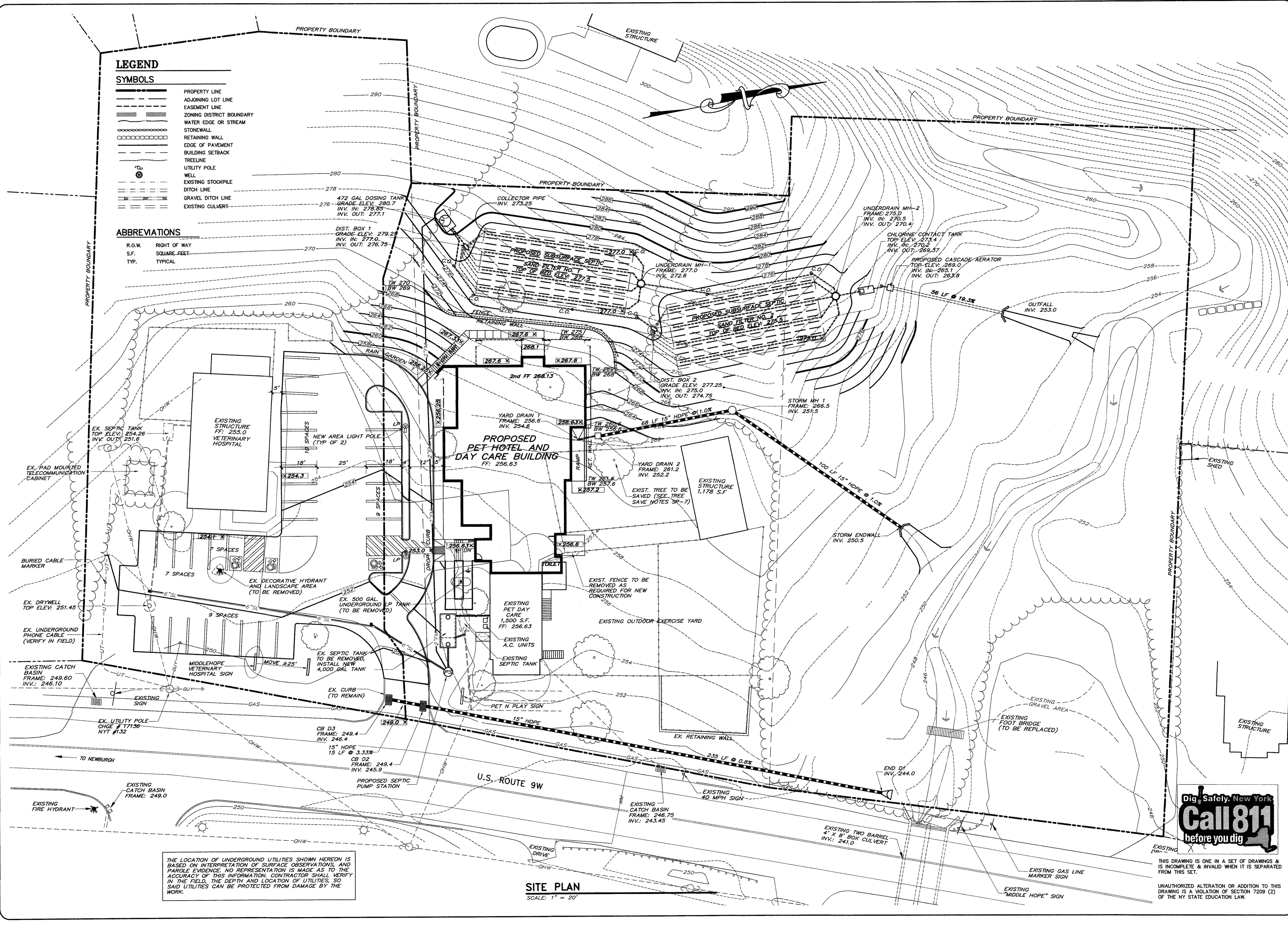
LEGEND

SYMBOLS

- PROPERTY LINE
- - - ADJOINING LOT LINE
- - - EASEMENT LINE
- - - ZONING DISTRICT BOUNDARY
- ~ WATER EDGE OR STREAM
- STONEWALL
- RETAINING WALL
- ▬ EDGE OF PAVEMENT
- ▬ BUILDING SETBACK
- TREELINE
- UTILITY POLE
- WELL
- EXISTING STOCKPILE
- ▬ DITCH LINE
- ▬ GRAVEL DITCH LINE
- ▬ EXISTING CULVERT

ABBREVIATIONS

- R.O.W. RIGHT OF WAY
- S.F. SQUARE FEET
- TYP. TYPICAL

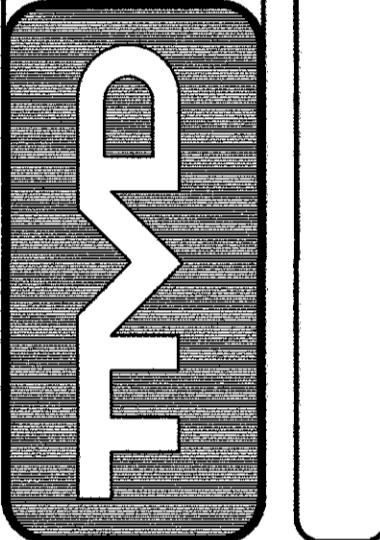


THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES. SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

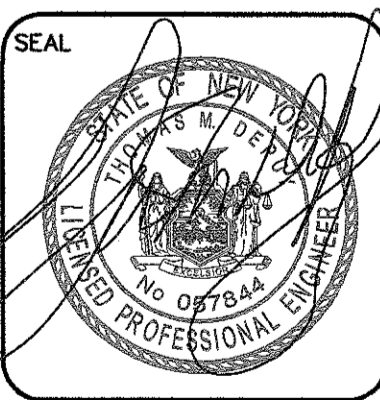
SITE PLAN
SCALE: 1" = 20'

NO.	DATE	DESCRIPTION	BY
1.	12/7/17	RET. DROP OF AISLE	D/W
2.	3/7/17	ZONING BOARD APPLICATION	D/W
3.	3/21/17	PLANNING BOARD SUBMISSION 2	D/W

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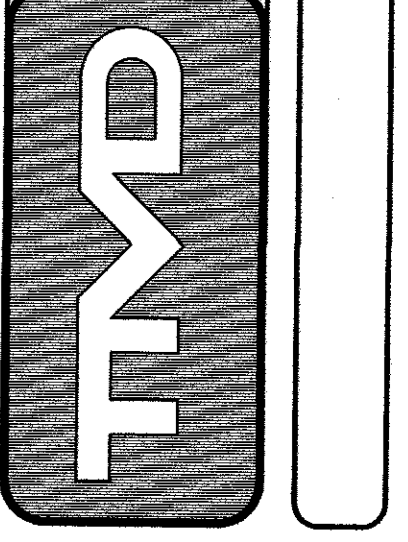
TITLE	SITE PLAN
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP2
SHEET	2 OF 11



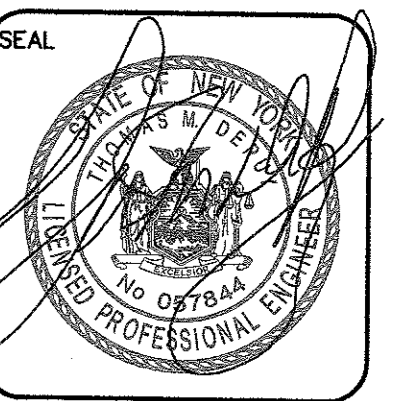
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1.	3/21/17	PLANNING BOARD SUBMISSION 2	DJM

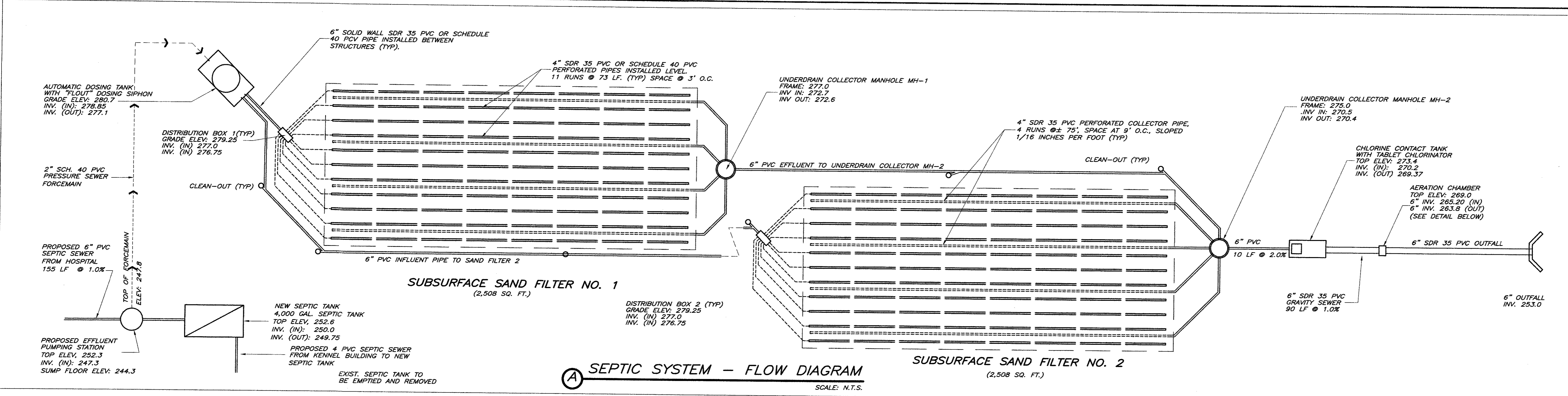
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 2856 ROUTE 302, MIDDLETOWN, NY 10941
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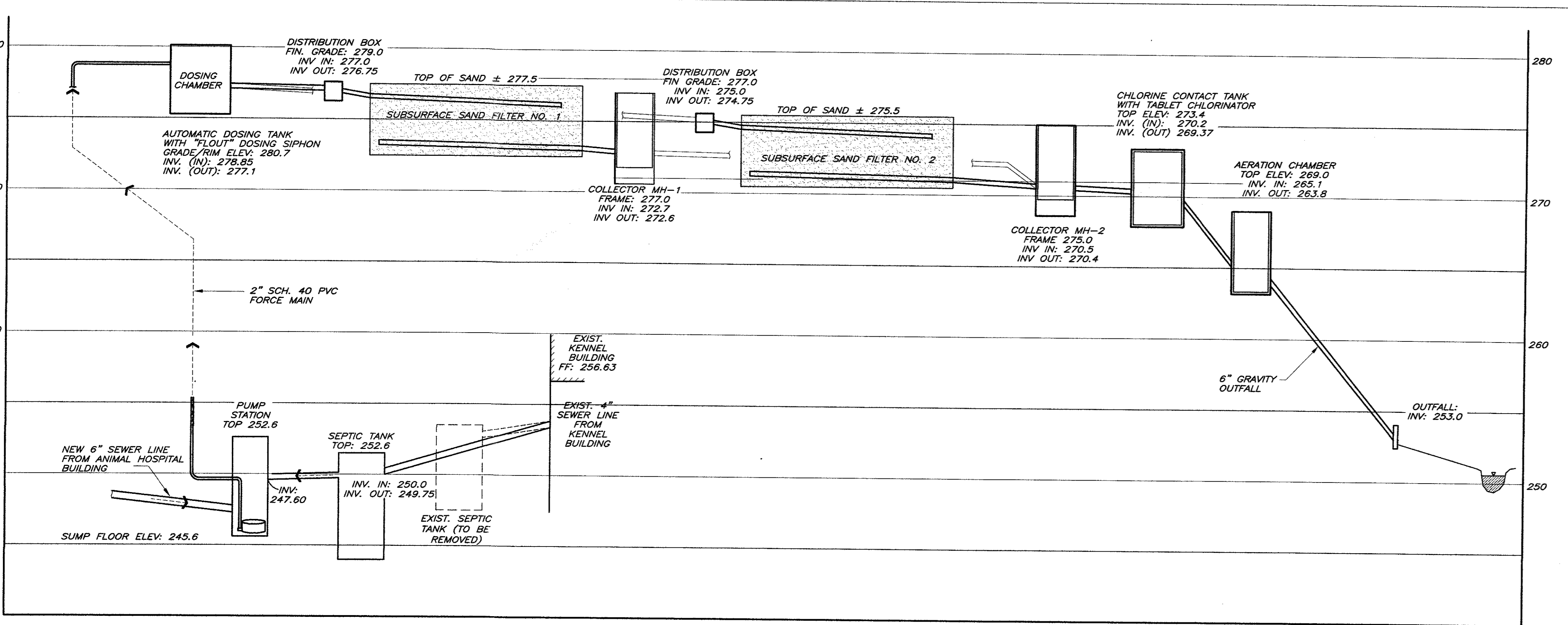
PROPOSED PET HOTEL AND DAY CARE FACILITY
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 ORANGE COUNTY, NEW YORK



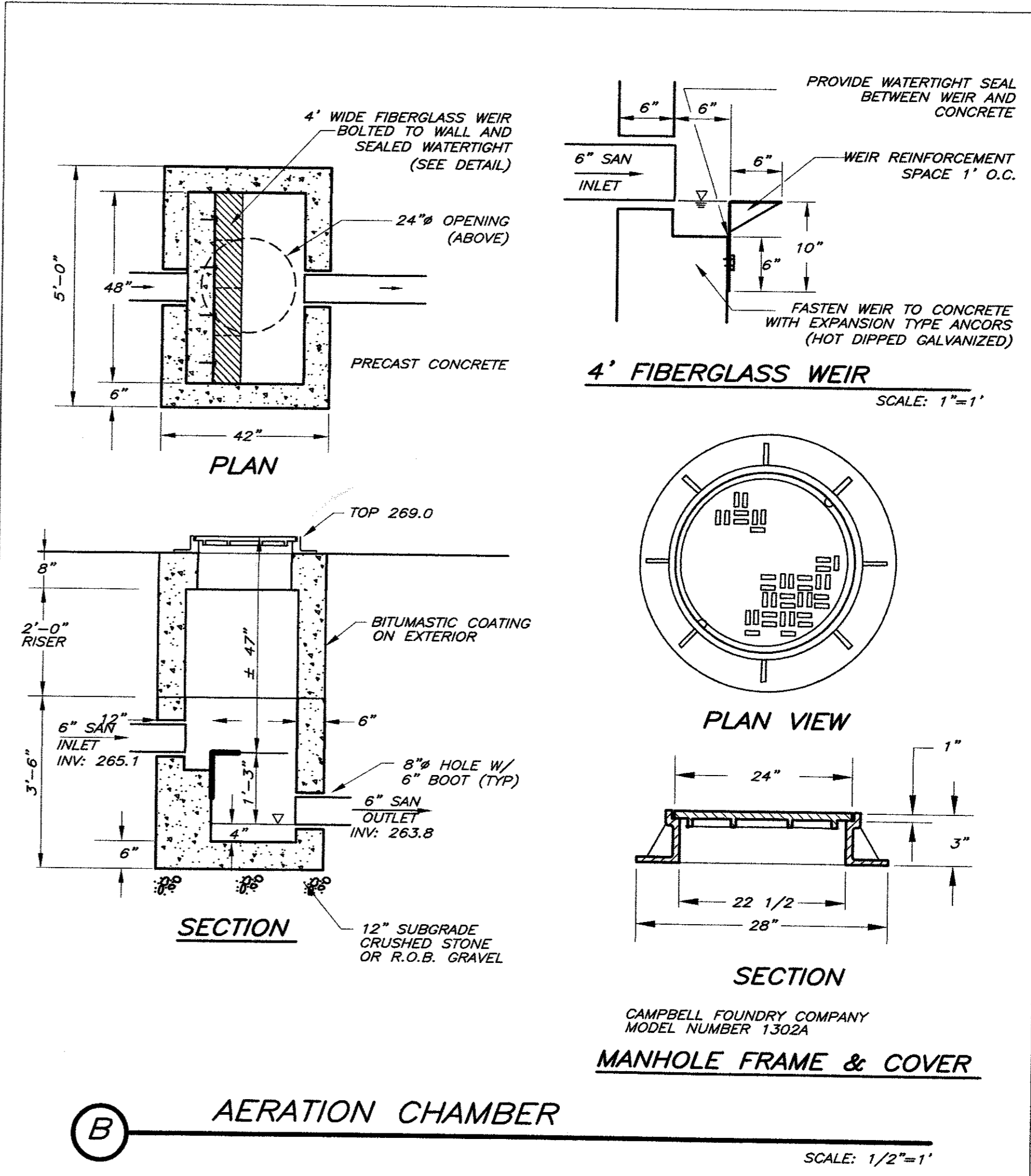
TITLE	SEPTIC SYSTEM DETAILS
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP3
SHEET	3 OF 11



A SEPTIC SYSTEM - FLOW DIAGRAM
 SCALE: N.T.S.



C HYDRAULIC PROFILE
 SCALE: HORIZ: NONE
 SCALE: VERT: 1" = 5'

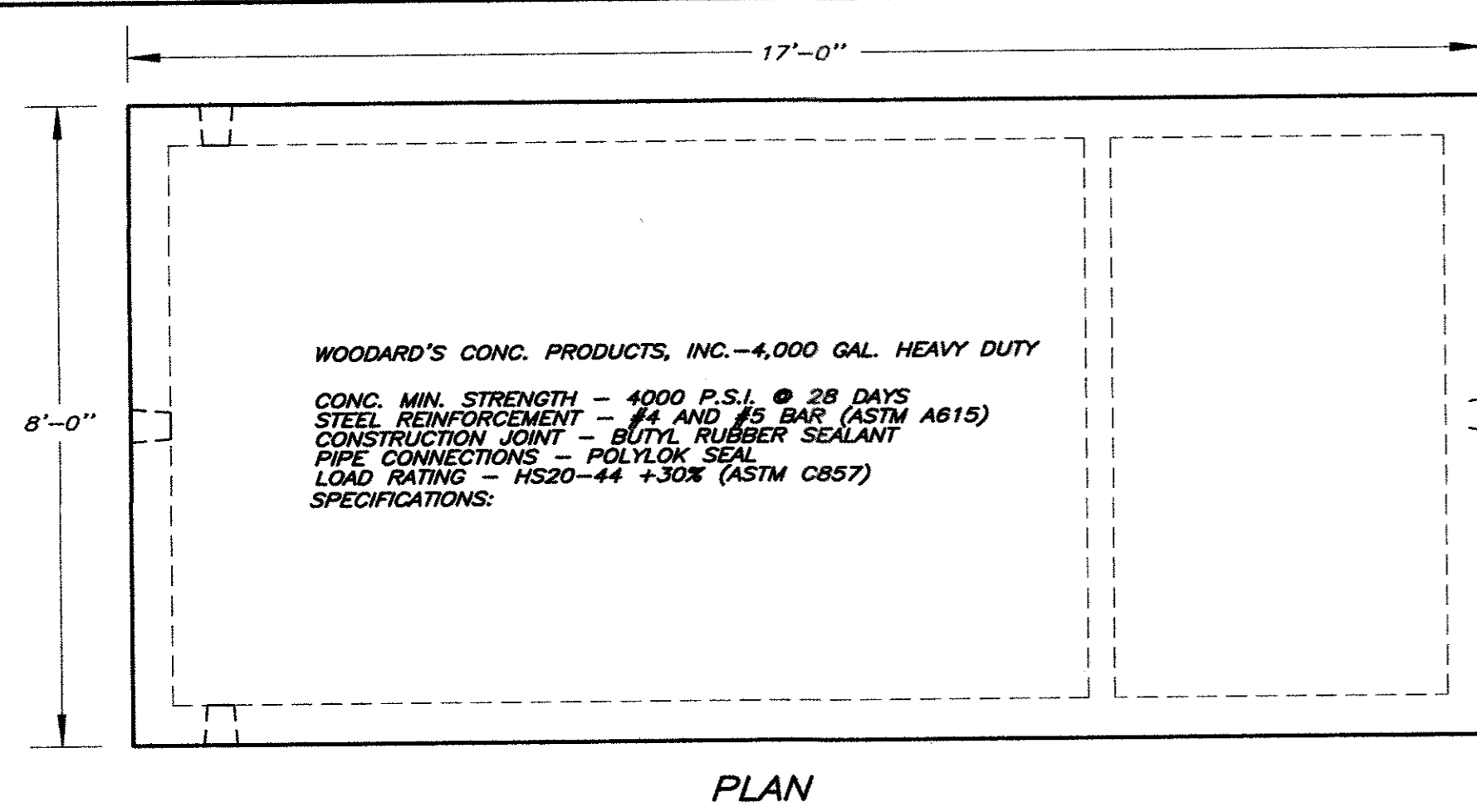


B AERATION CHAMBER
 SCALE: 1/2" = 1'

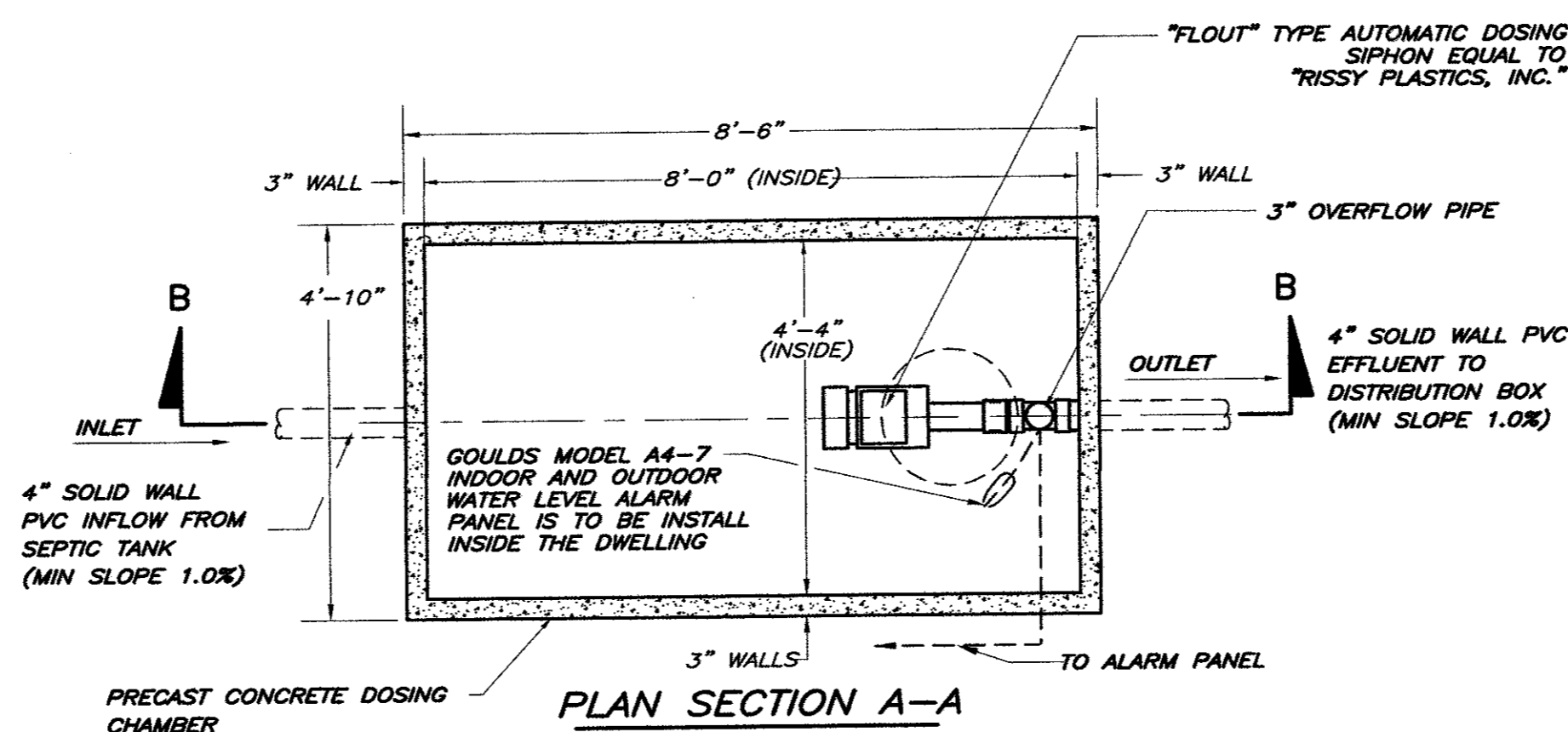
CONTRACTOR SHALL TAKE NOTE, THE EXISTING SEPTIC DISPOSAL SYSTEM FOR BOTH THE ANIMAL HOSPITAL AND KENNEL BUILDING SHALL REMAIN IN OPERATION UNTIL SUCH TIME THE NEW SYSTEM IS CONSTRUCTED, TESTED AS FULLY FUNCTIONAL AND READY TO ACCEPT SEPTIC TANK EFFLUENT.



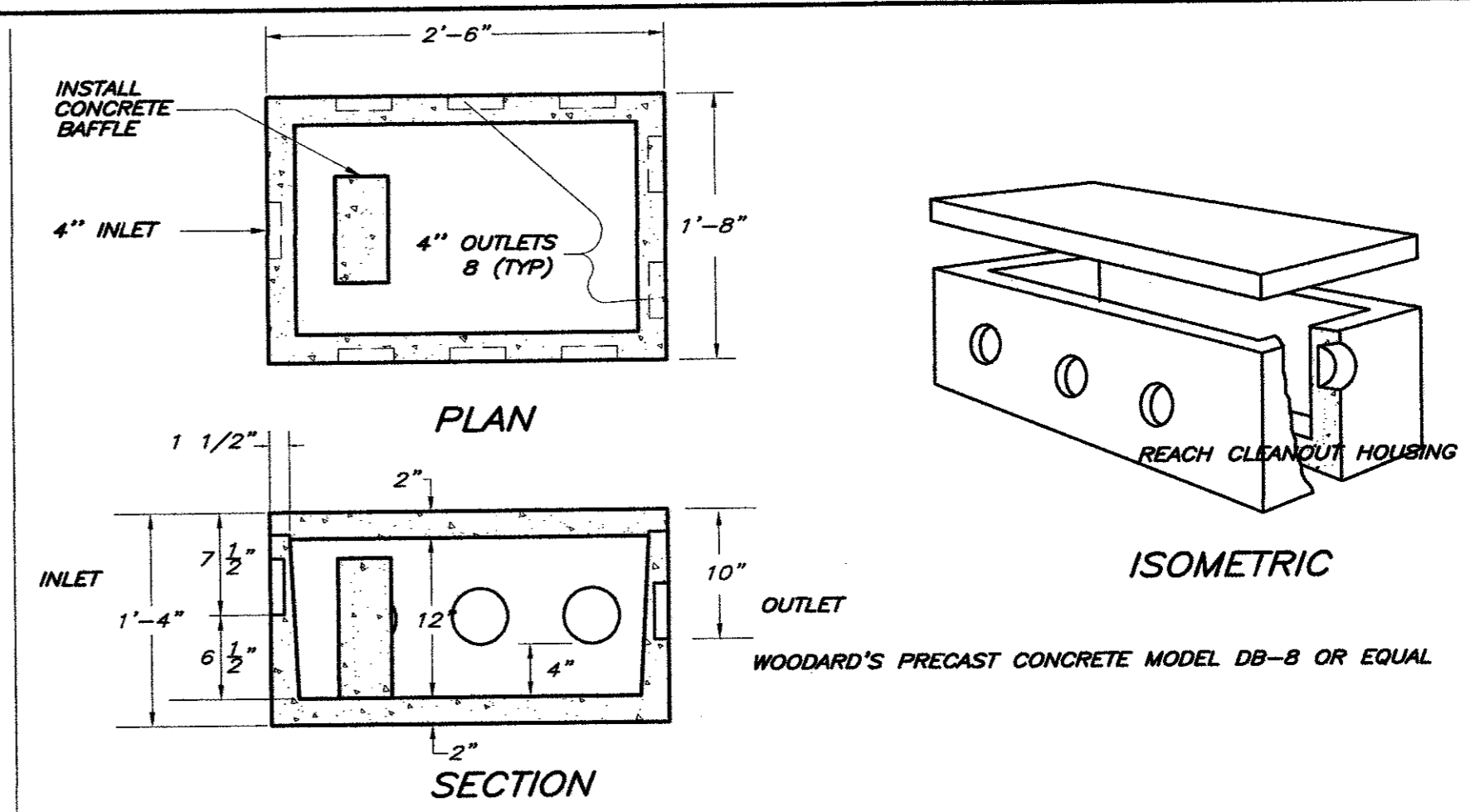
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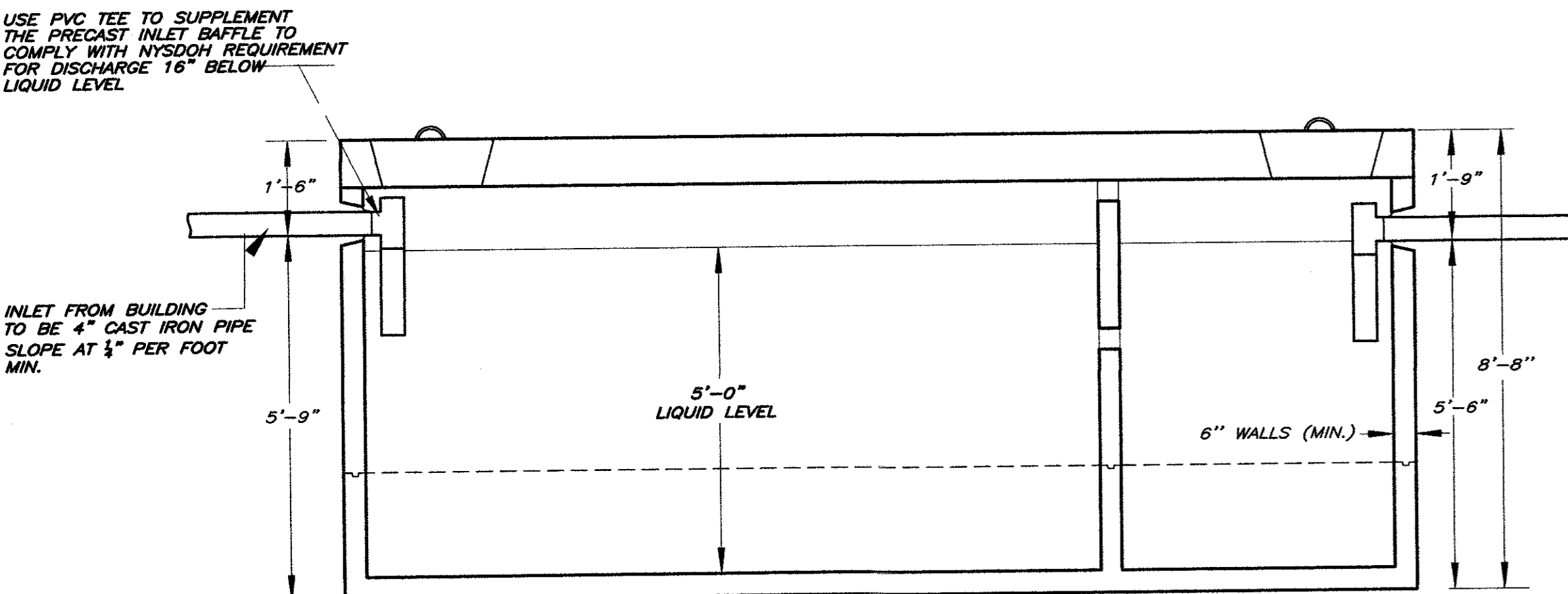
PLAN



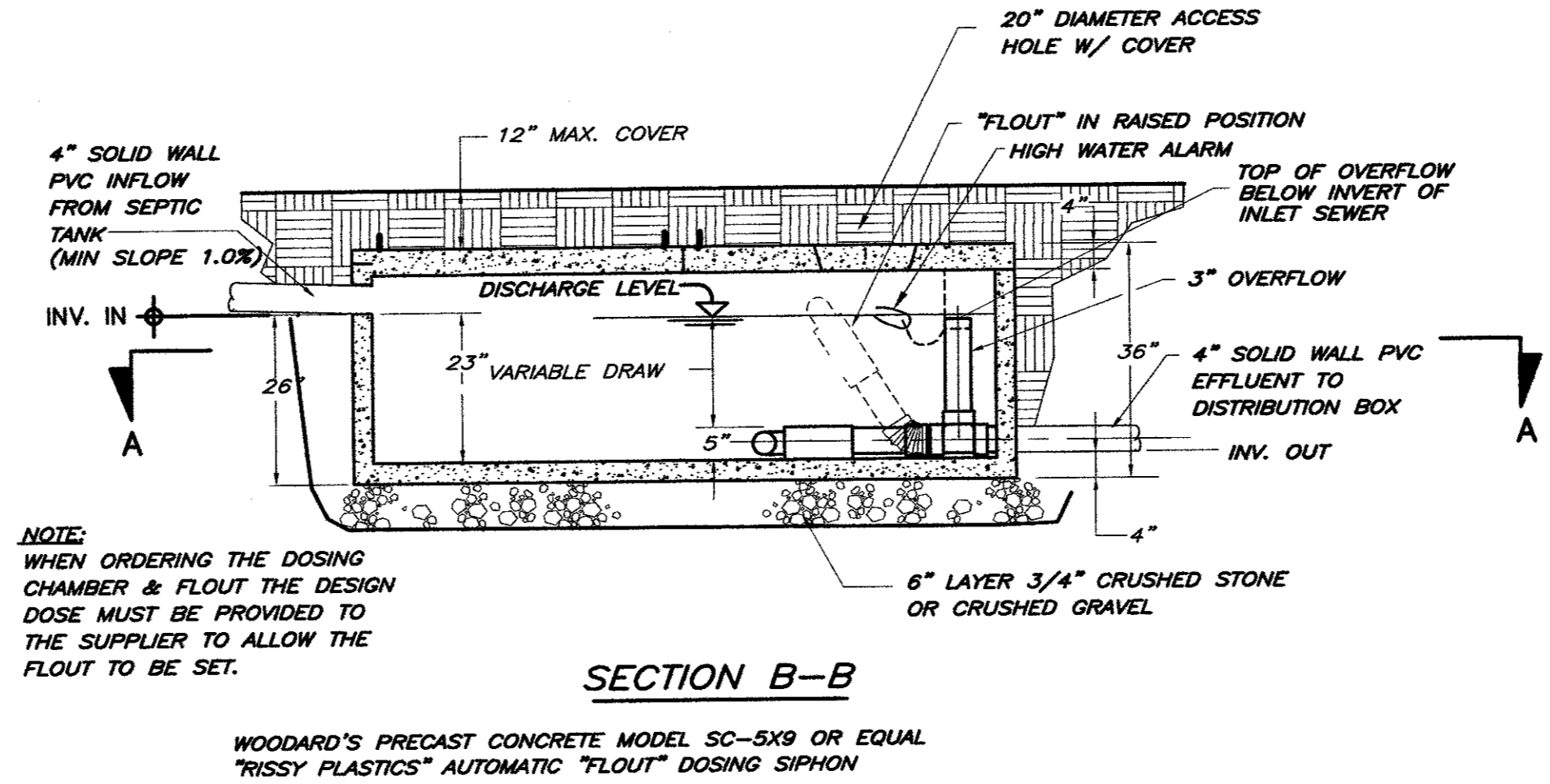
PLAN SECTION A-A



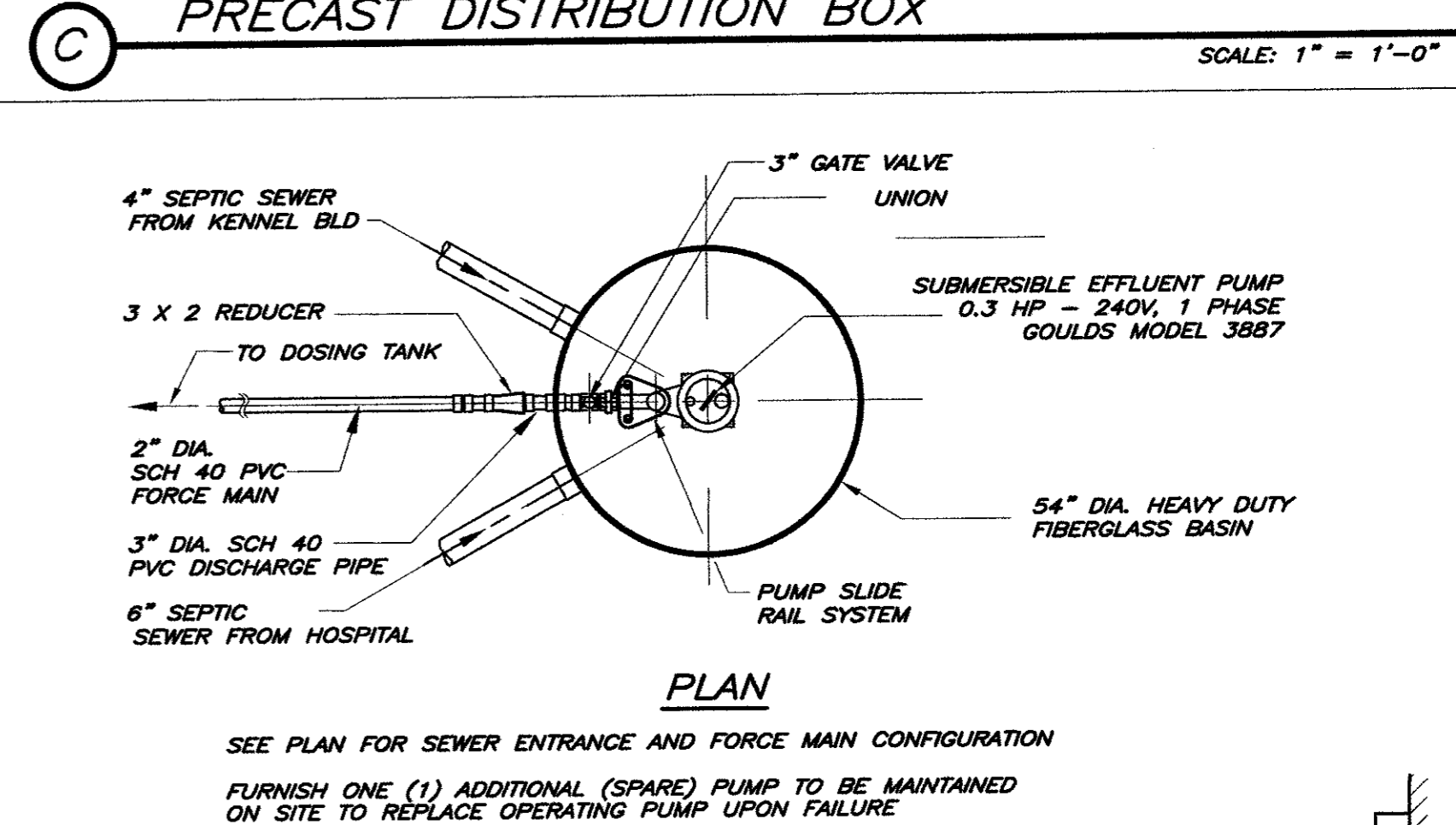
PRECAST DISTRIBUTION BOX



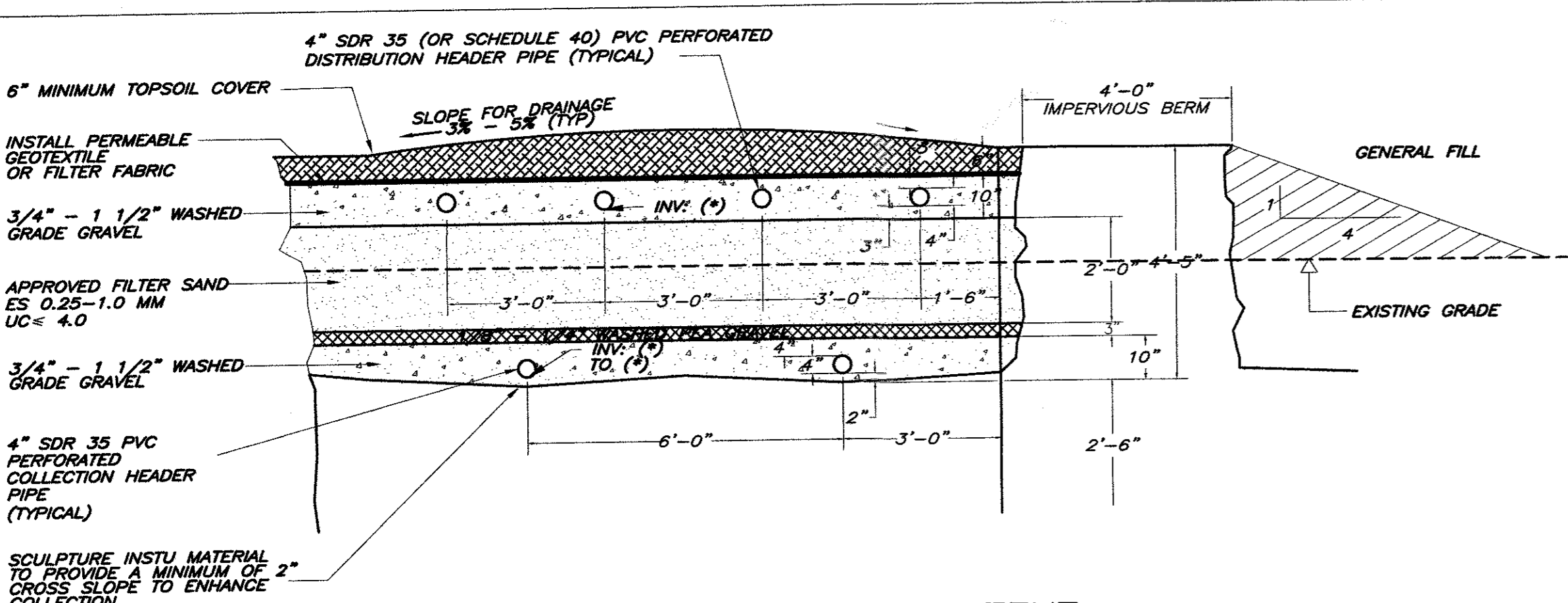
SECTION PRECAST 4,000 GAL. CONC. SEPTIC TANK DETAIL SCALE: 1/2" = 1'-0"



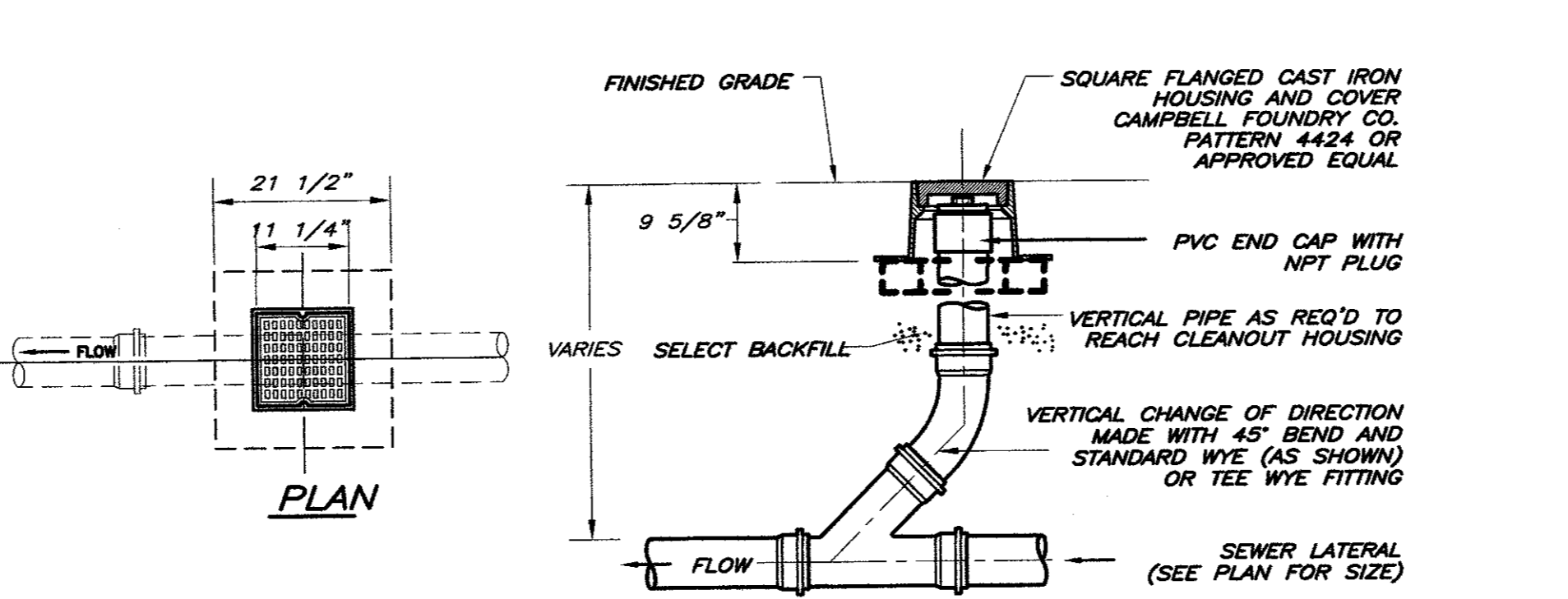
SECTION B-B DOSING CHAMBER DETAIL SCALE: 1/2" = 1'-0"



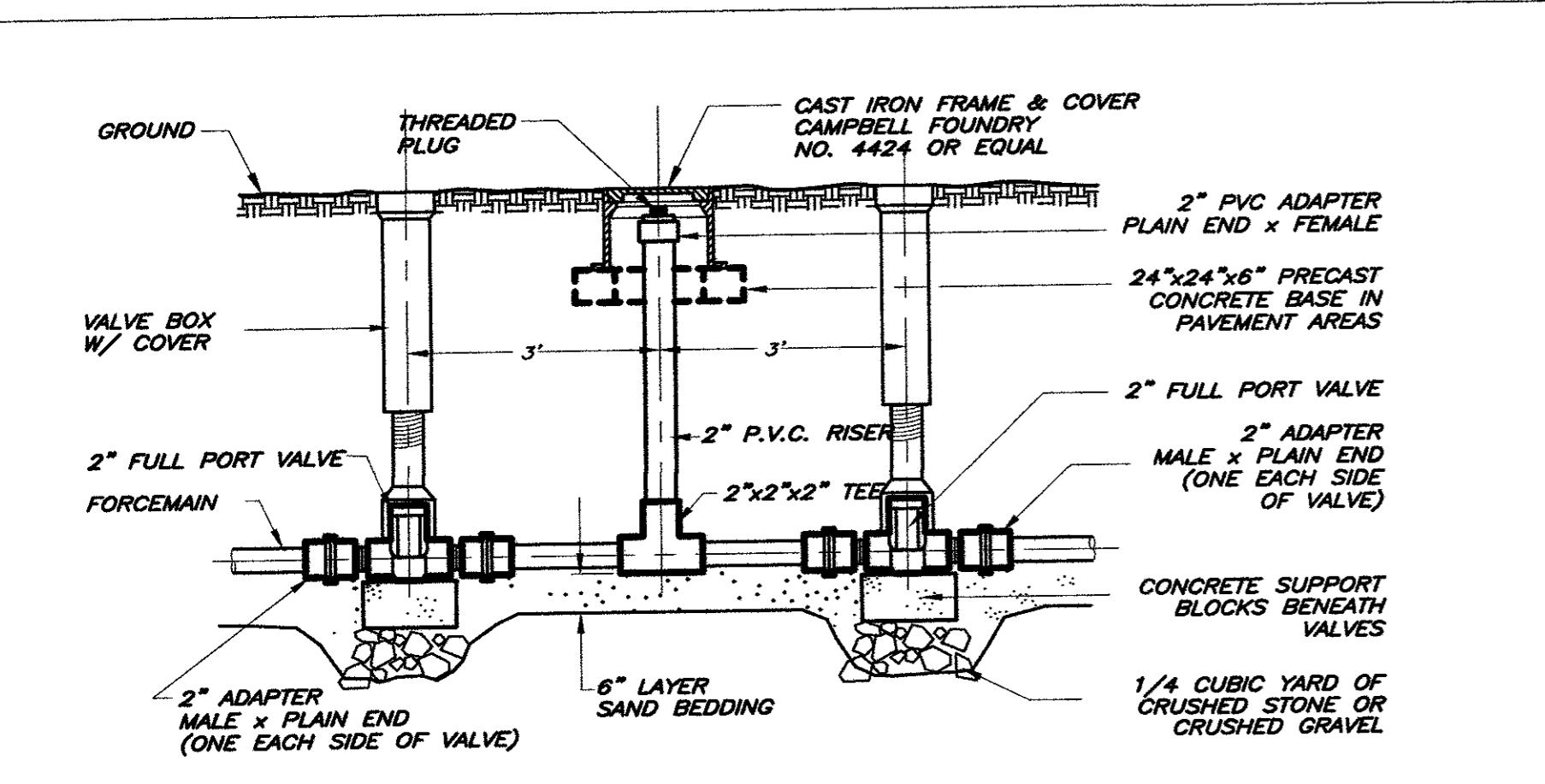
SECTION EFFLUENT PUMP STATION SCALE: NONE



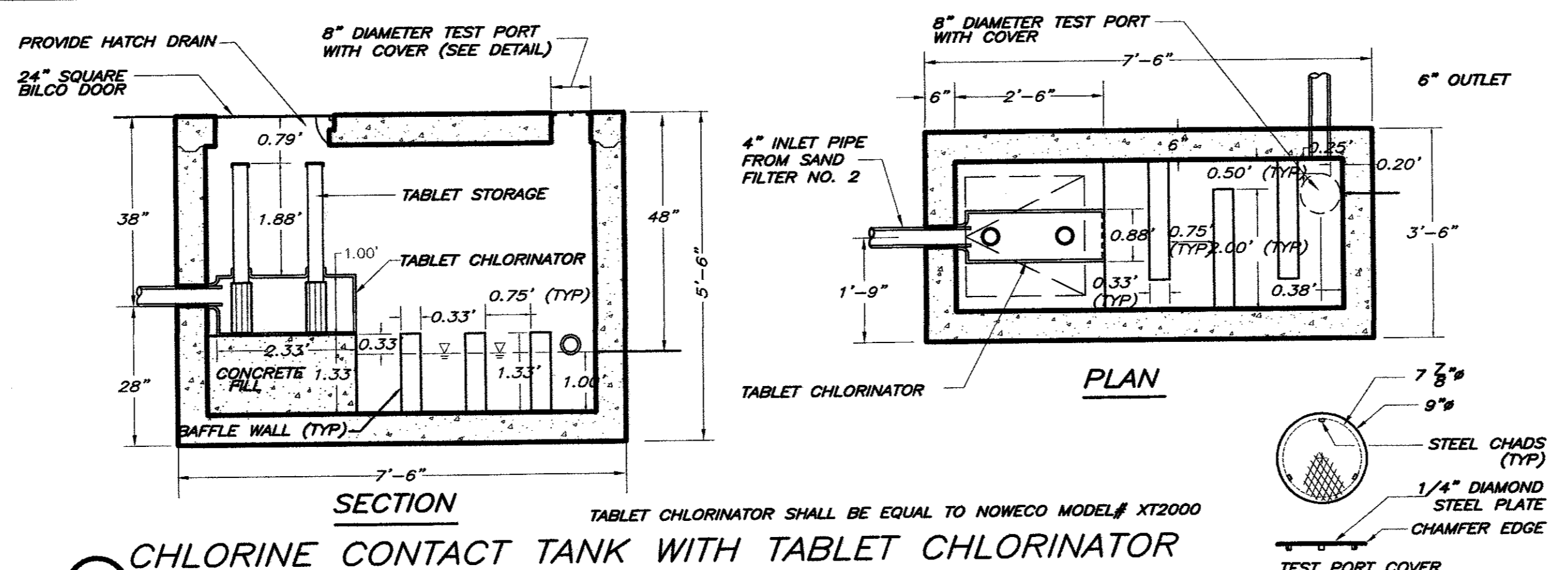
D TYPICAL CROSS SECTION OF INTERMITTENT SUBSURFACE SAND FILTER WITH DOSING SCALE: 1" = 5'



E TYPICAL SANITARY CLEANOUT DETAIL N.T.S.



G FORCEMAIN CLEAN OUT N.T.S.

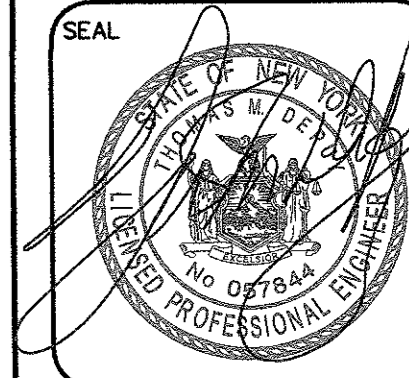


H CHLORINE CONTACT TANK WITH TABLET CHLORINATOR SCALE: 1/2" = 1'-0"

NO.	DATE	DESCRIPTION	BY
1	3/27/17	PLANNING BOARD SUBMISSION 2	DJM

T.M. DEPUY
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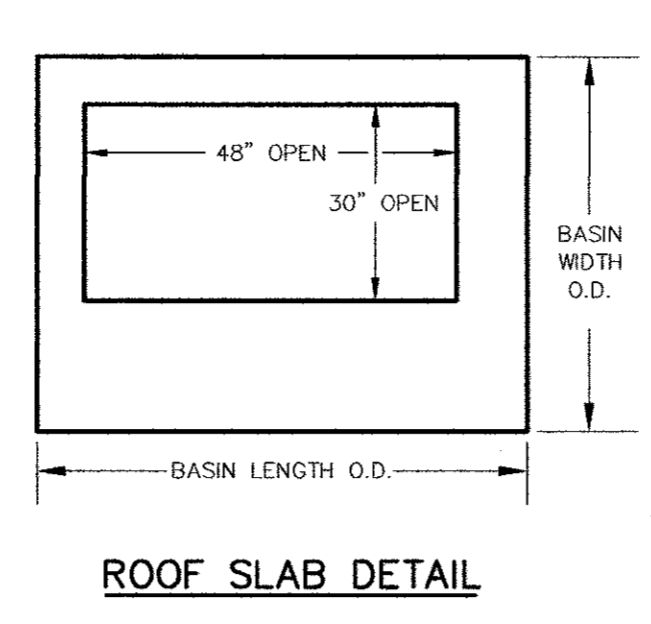
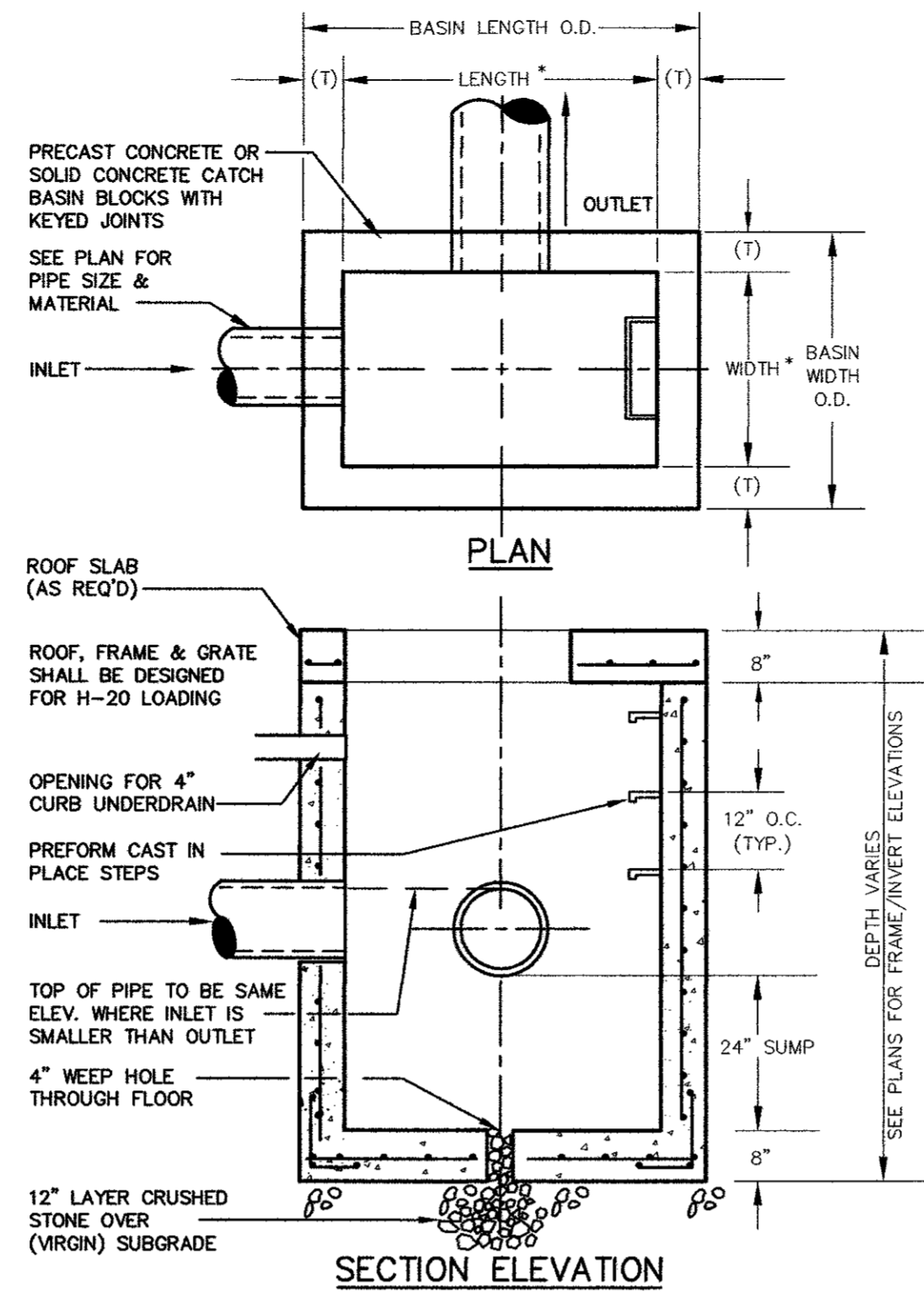
PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	SEPTIC DETAILS 2
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP4
SHEET	4 OF 11



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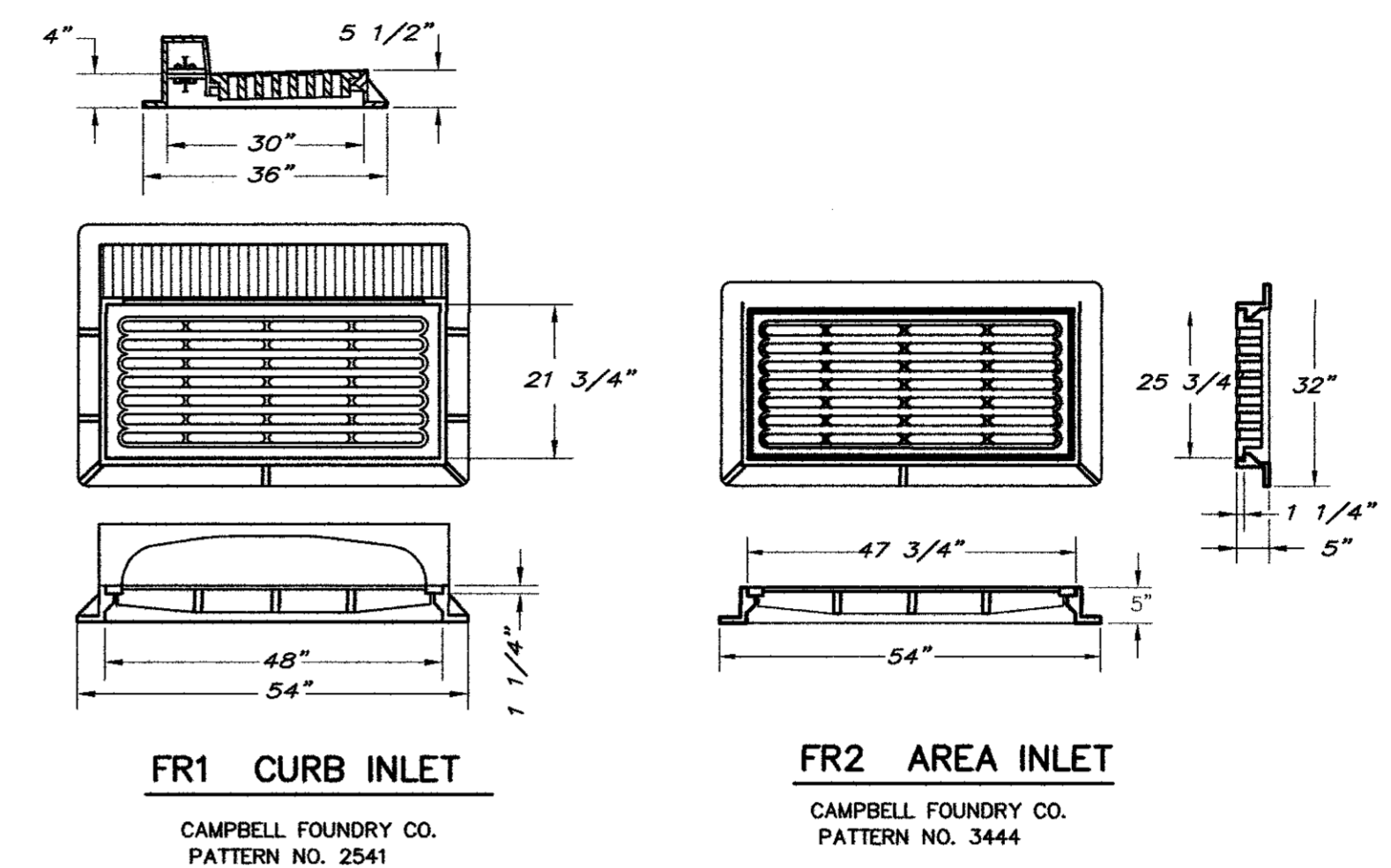
DRAINAGE STRUCTURE SCHEDULE

TYPE	PRECAST TYPE	FRAME TYPE
CB-A	P1	FR1
CB-B	P2	FR1

PRECAST BASIN SCHEDULE

PRECAST	LARGEST PIPE	LENGTH	WIDTH	ROOF
P1	24"	48	30	NO
P2	36"	48	42	YES
P3	18"	24	24	NO

*SEE BASIN TABLE
 WALL THICKNESS (T)
 = 6" FOR 0' TO 7' DEEP
 = 8" FOR >7' DEEP

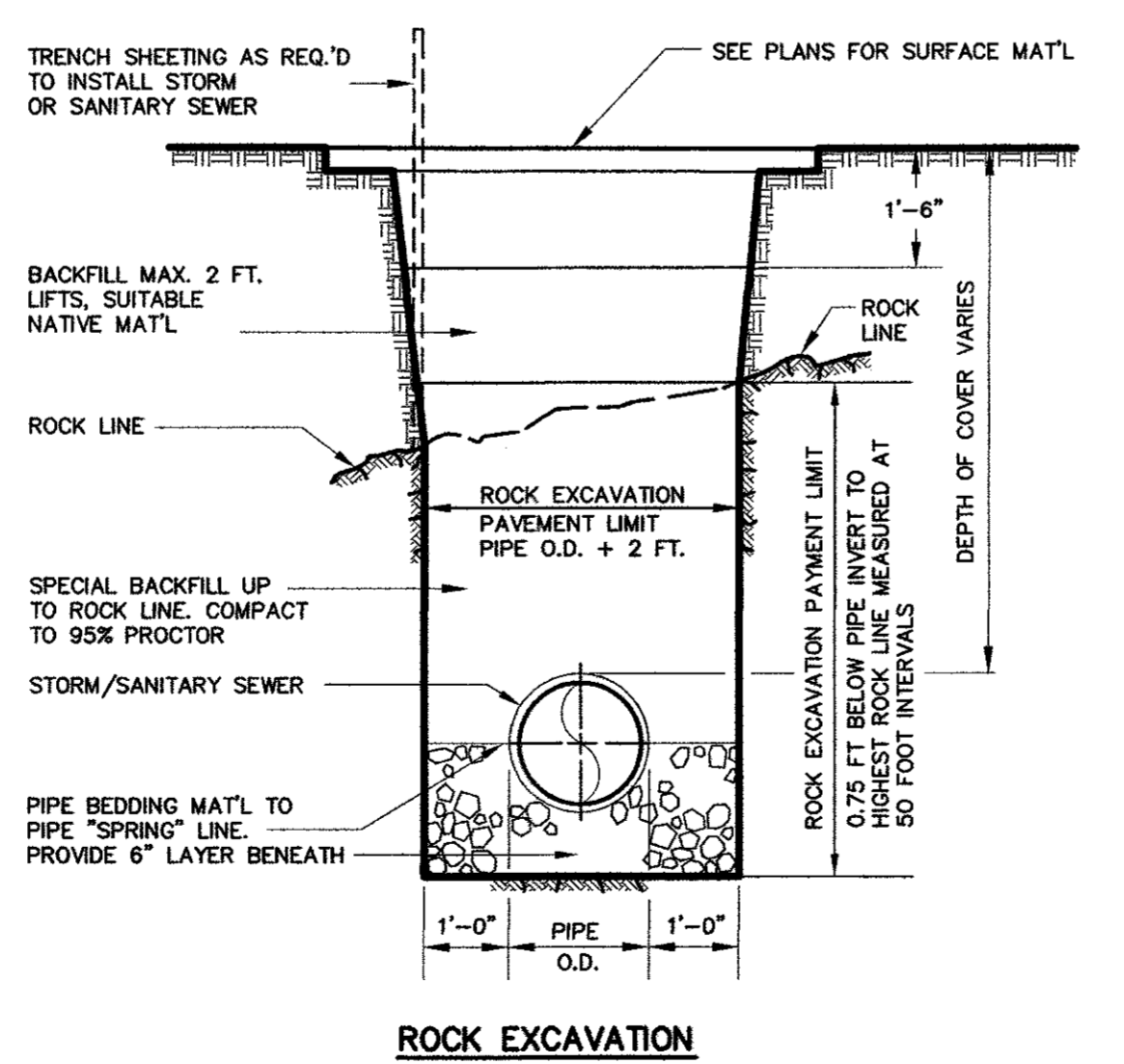
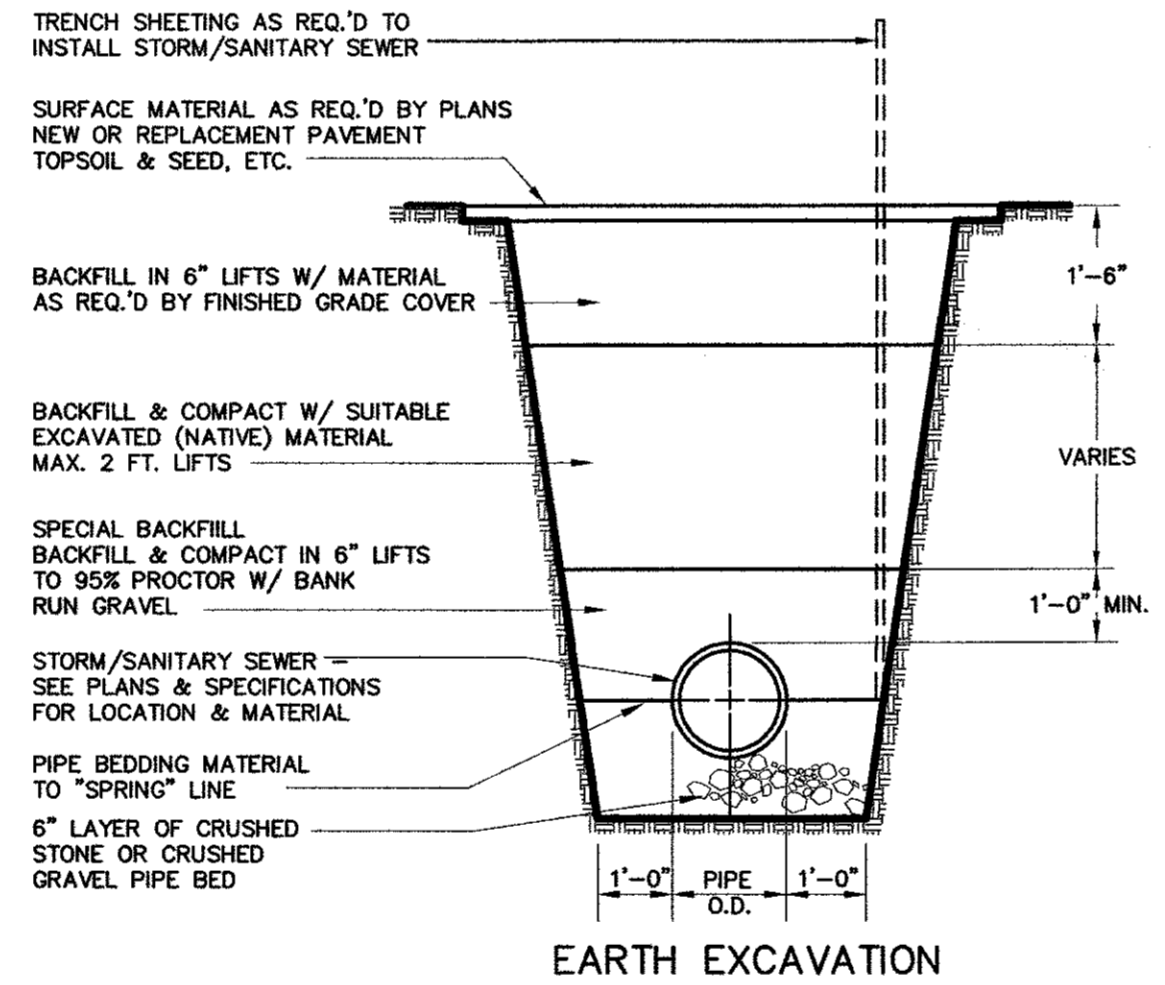


A TYPICAL CATCH BASIN DETAIL

SCALE: 1/2" = 1'-0"

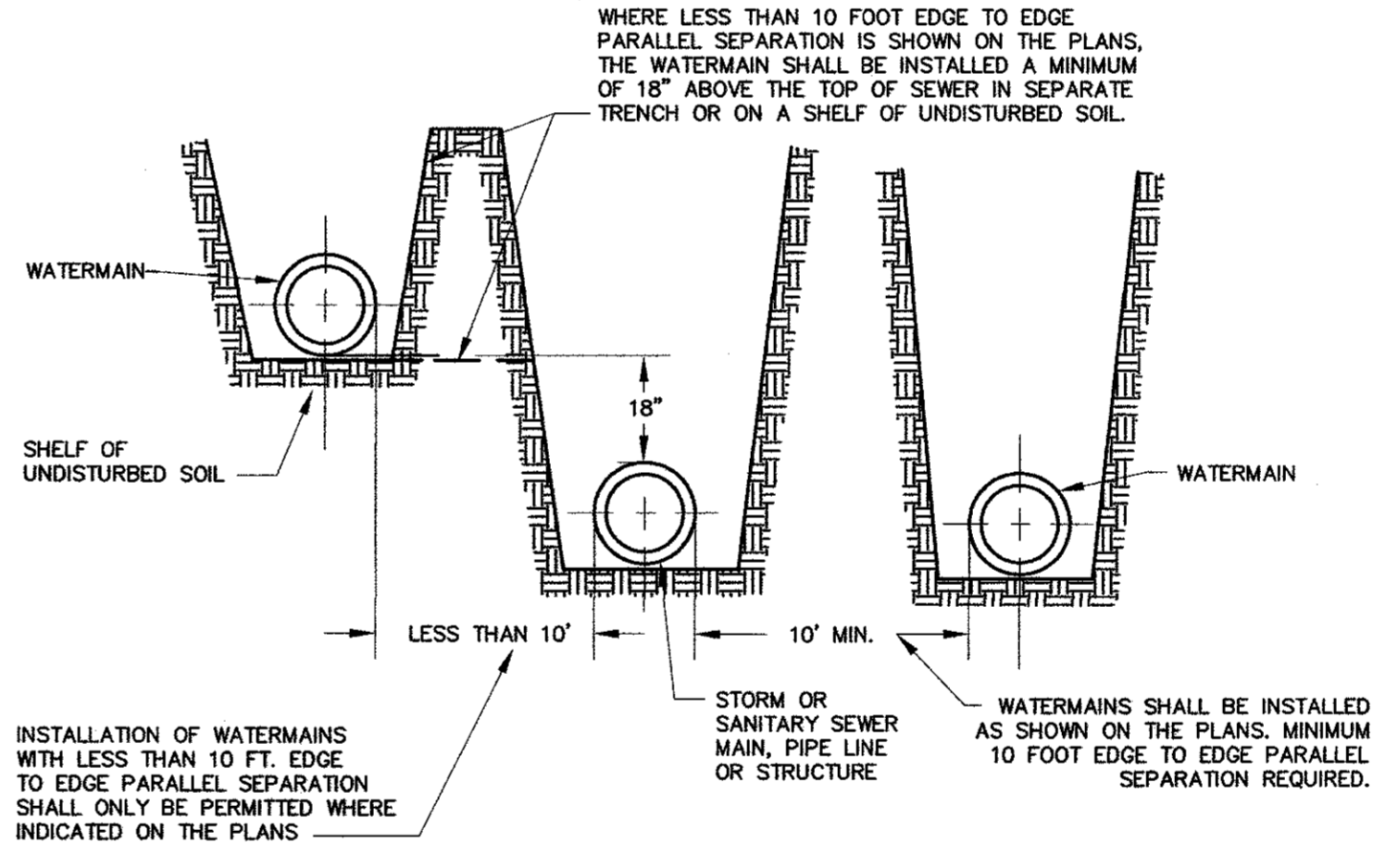
B CATCH BASIN FRAME AND GRATE DETAILS

SCALE: 1/2" = 1'-0"



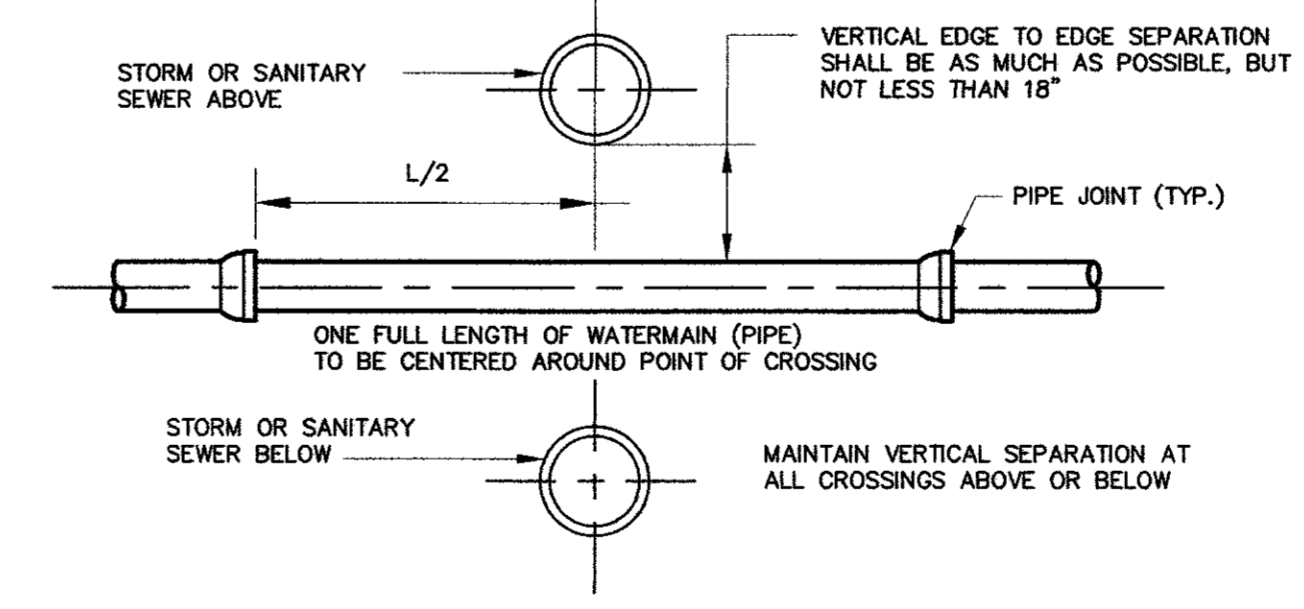
C TYPICAL TRENCH DETAILS

N.T.S.



D HORIZONTAL SEPARATION DETAIL

NOT TO SCALE



NOTE: VERTICAL EDGE TO EDGE OF PIPE SEPARATION REQUIREMENTS APPLY TO ANY WATER LINES (MAINS, AND SERVICES) CROSSING ANY SEWER LINE (SANITARY SEWER MAINS AND LATERALS, STORM SEWERS, ROOF/FOOTING DRAINS).

E WATER LINE CROSSING SEWER LINE DETAILS

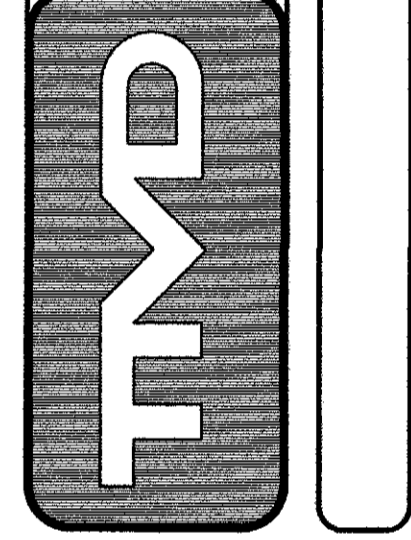
NOT TO SCALE



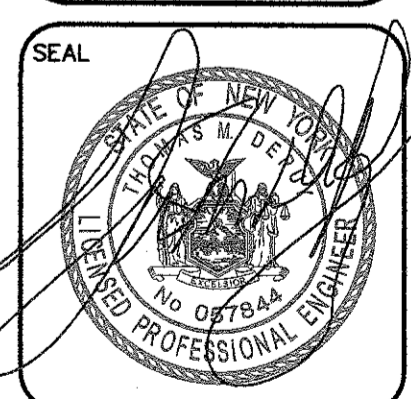
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NO.	DATE	DESCRIPTION	BY
1.	5/21/17	PLANNING BOARD SUBMISSION 2	DJW

T.M. DEPUY
 ENGINEERING & LAND SURVEYING, P.C.
 2656 ROUTE 302, MIDDLETOWN, NY 10941
 PHONE: (845) 361-5421 FAX: (845) 361-5229



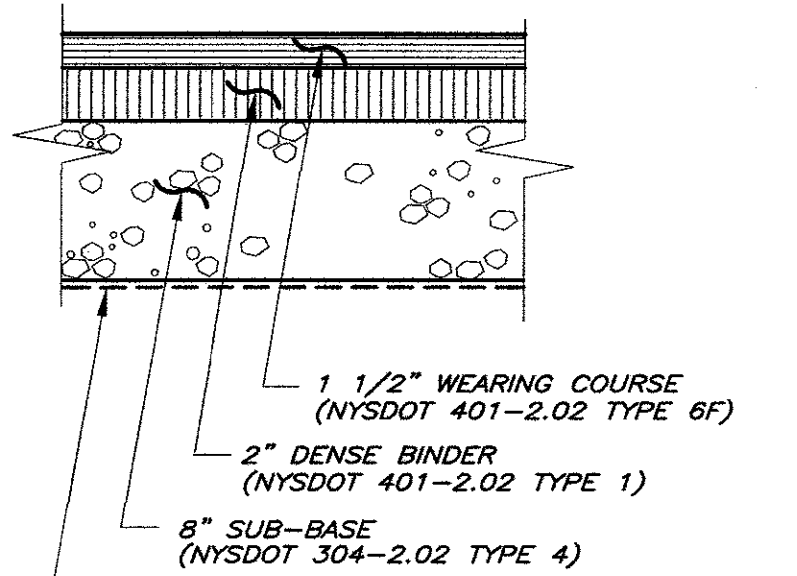
PROPOSED PET HOTEL
 AND DAY CARE FACILITY
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK



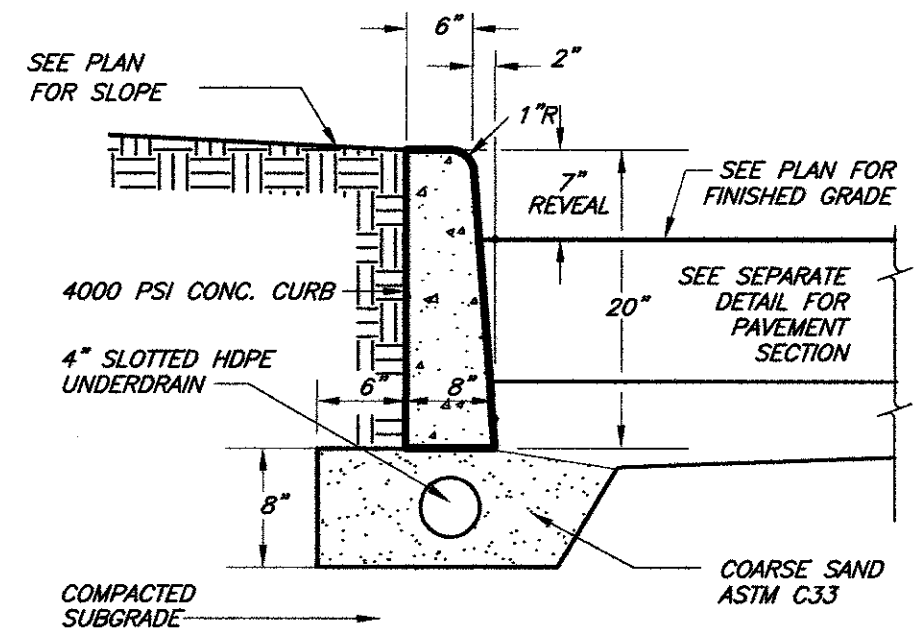
TITLE
STORM UTILITY DETAILS

JOB
 12003.1
 DATE
 MARCH 21, 2017
 SCALE
 AS NOTED

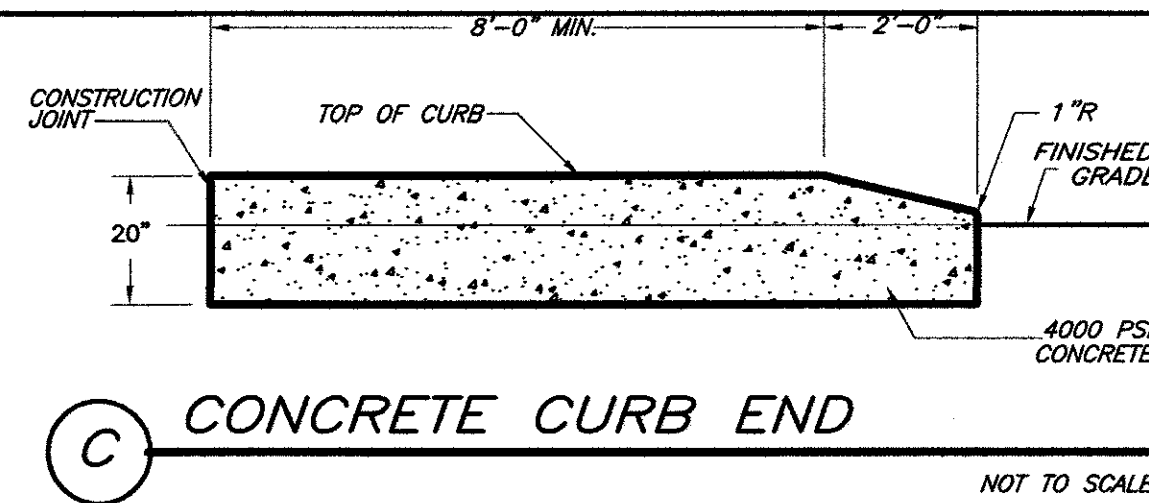
DWG.
SP5
 SHEET 5 OF 11



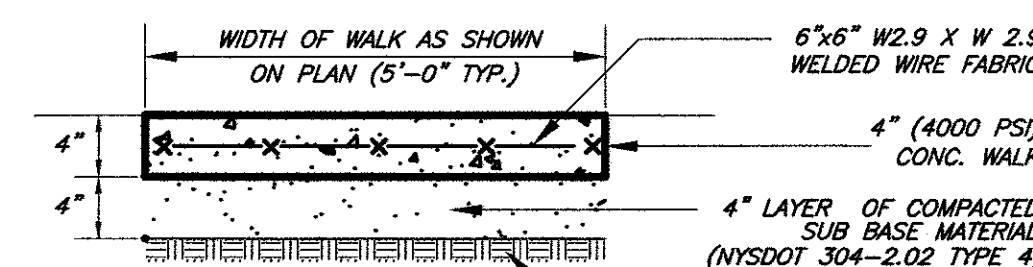
A PARKING LOT PAVEMENT SECTION
NOT TO SCALE



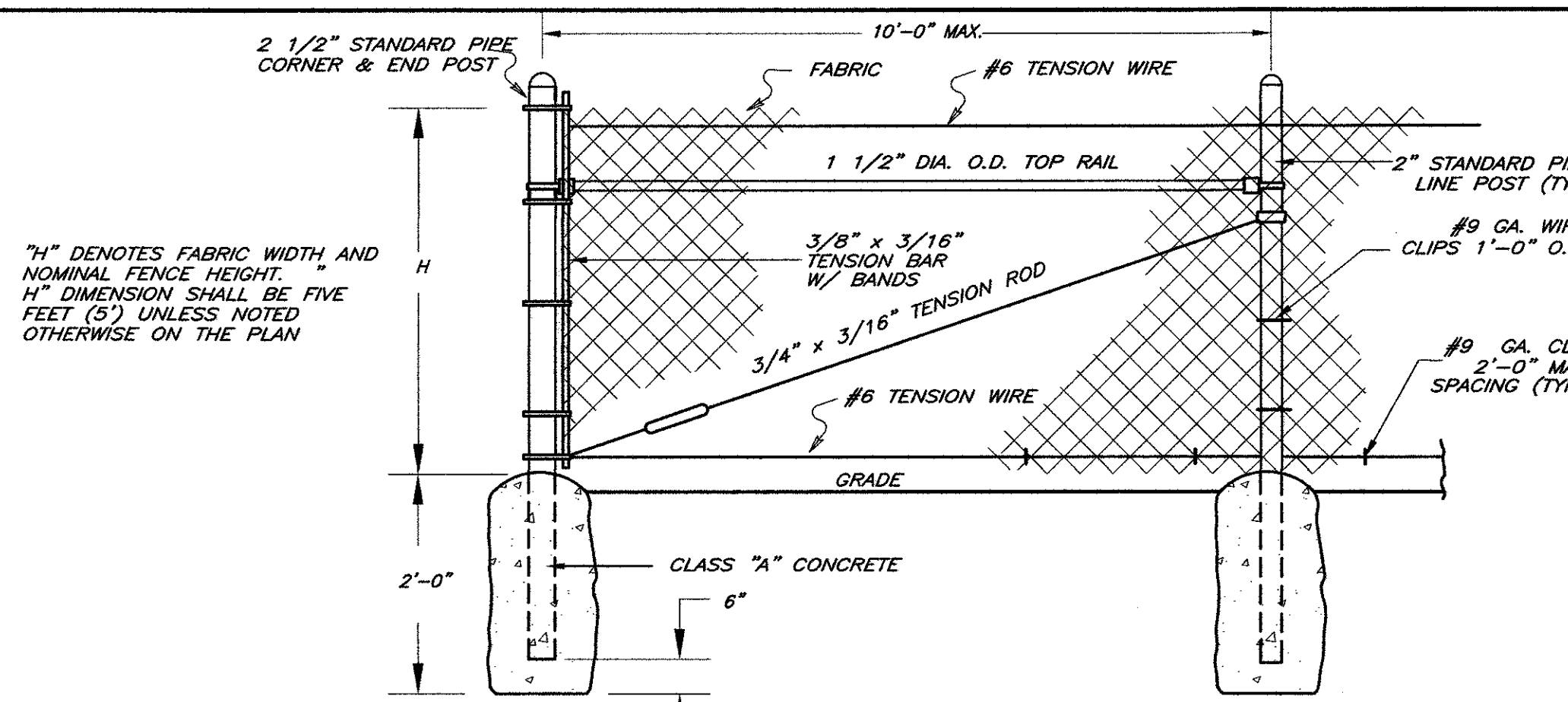
B CONCRETE CURB SECTION
NOT TO SCALE



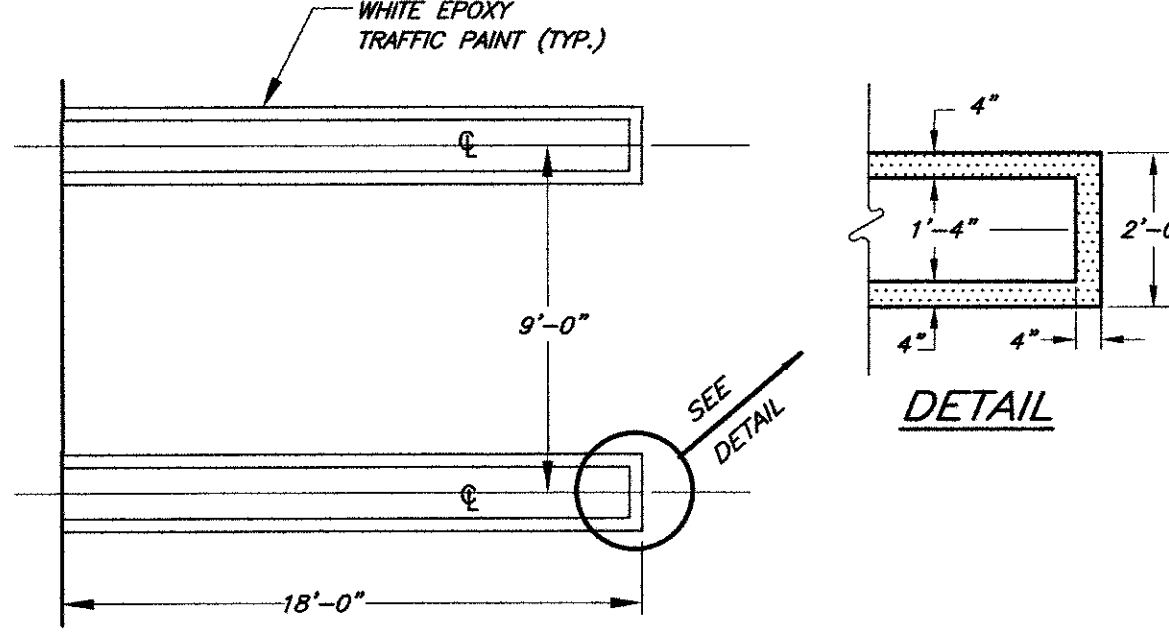
C CONCRETE CURB END
NOT TO SCALE



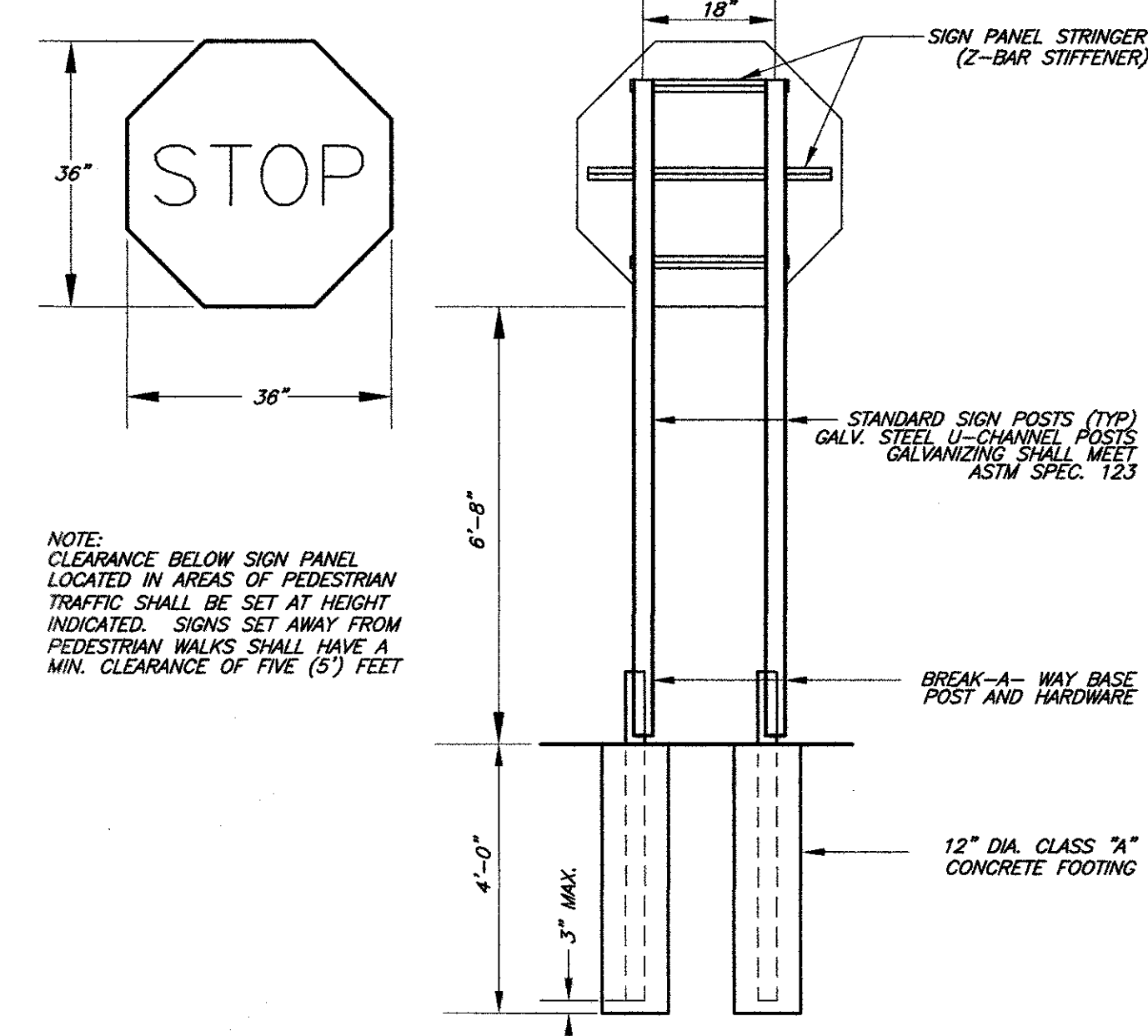
D 4" CONCRETE WALK
NOT TO SCALE



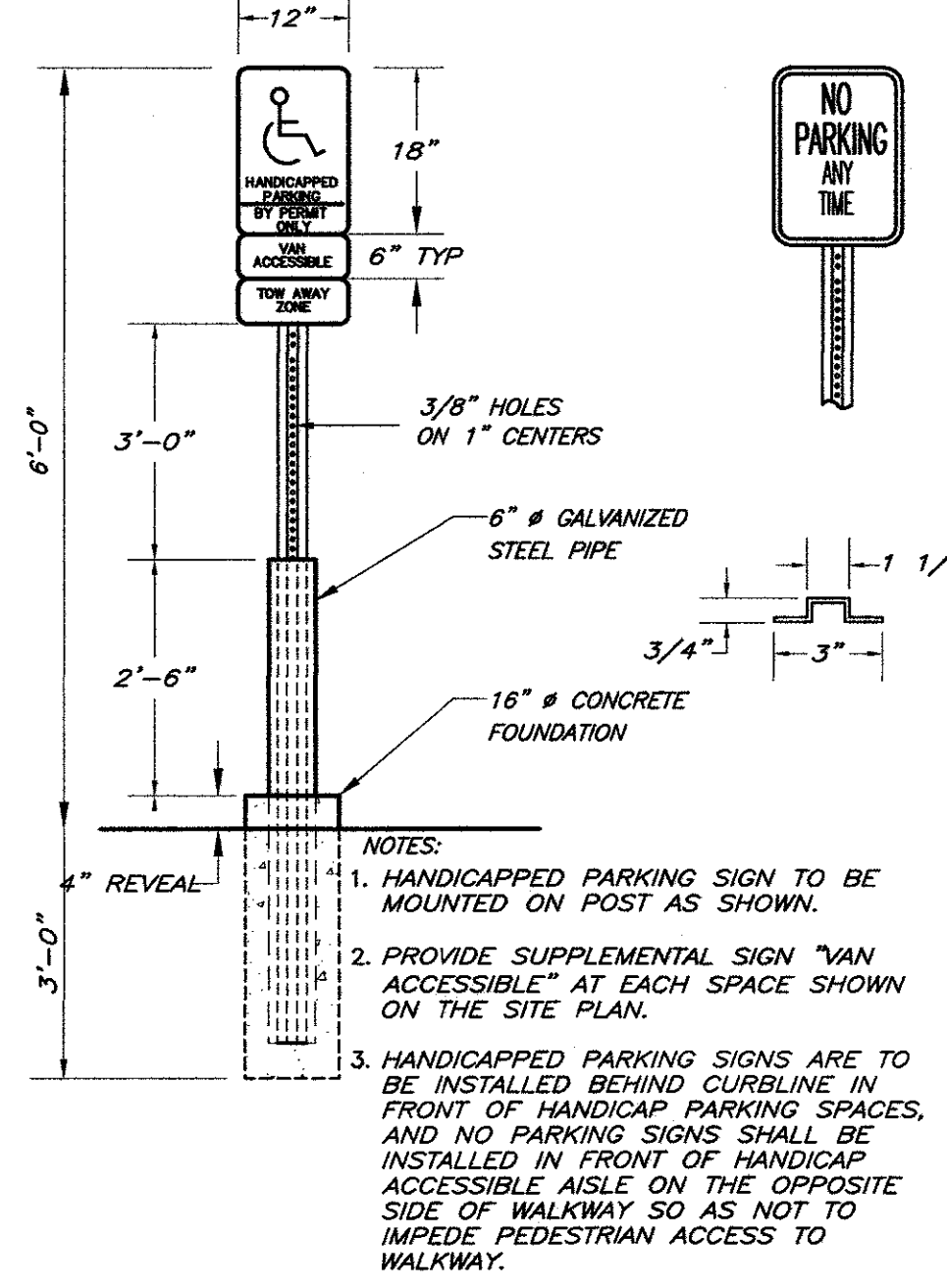
E CHAIN LINK FENCE
N.T.S.



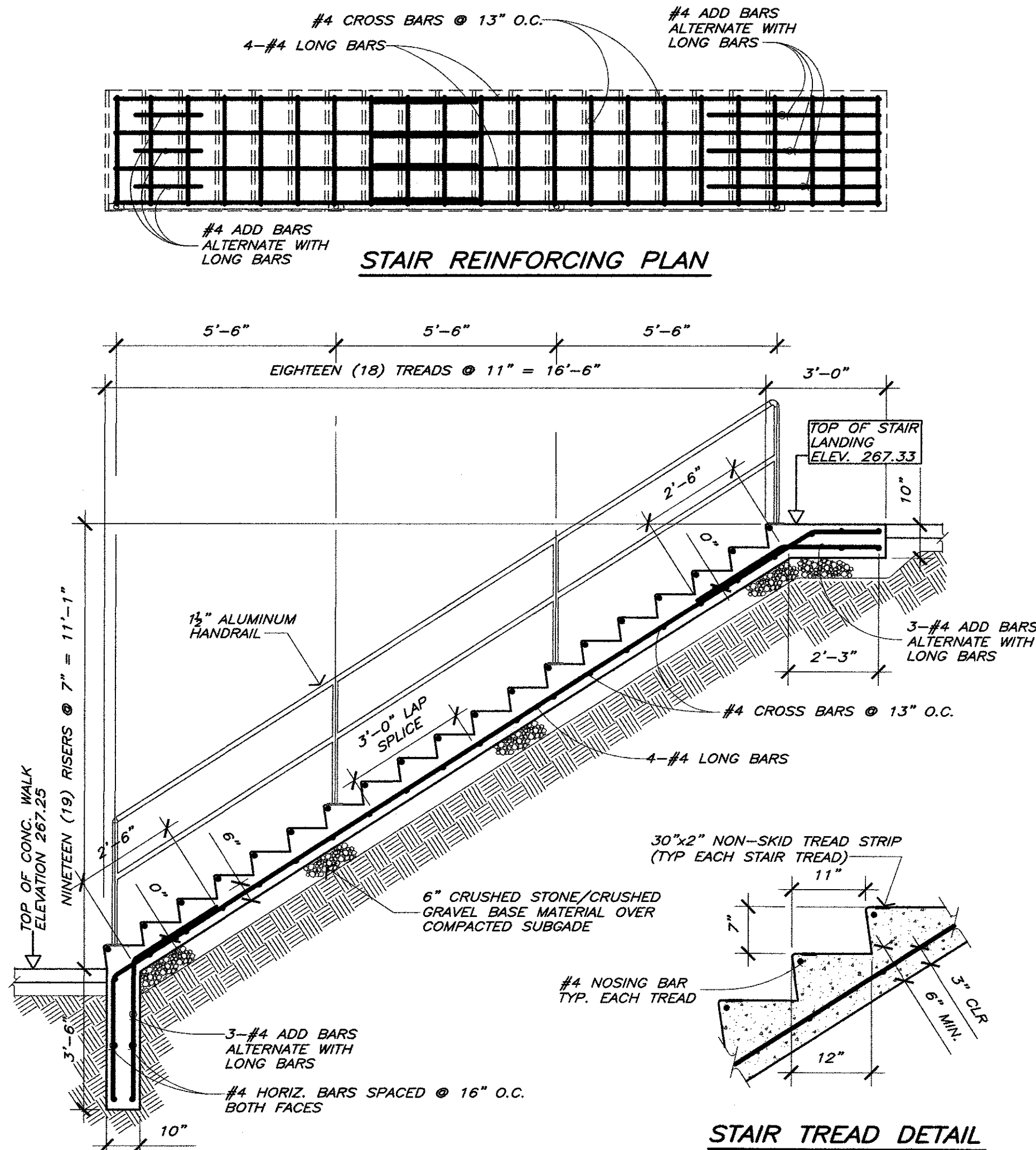
F TYPICAL PARKING STALL MARKING
NOT TO SCALE



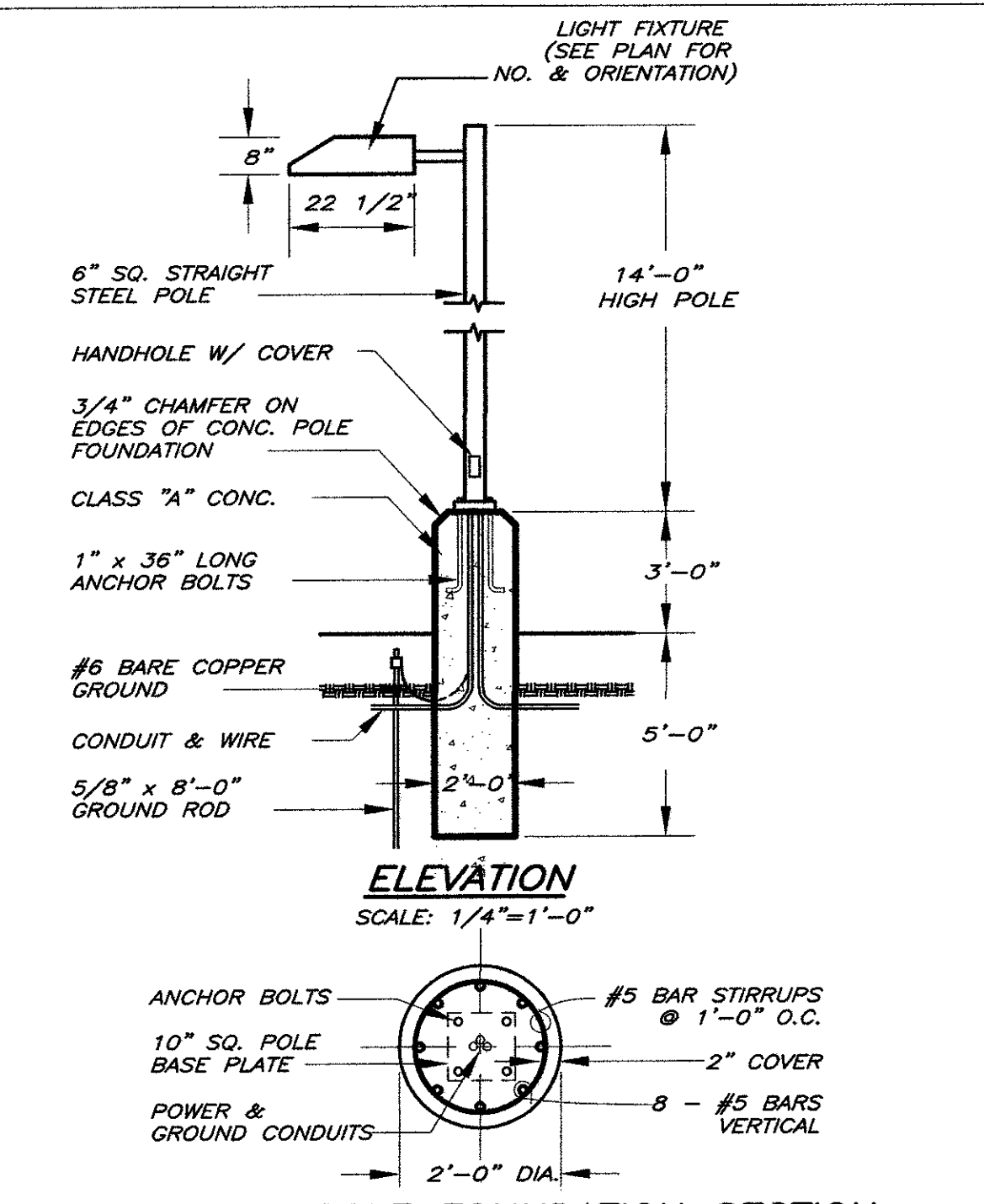
G TRAFFIC SIGN INSTALLATION
SCALE: 1/2" = 1'-0"



HANDICAP PARKING SIGN DETAIL



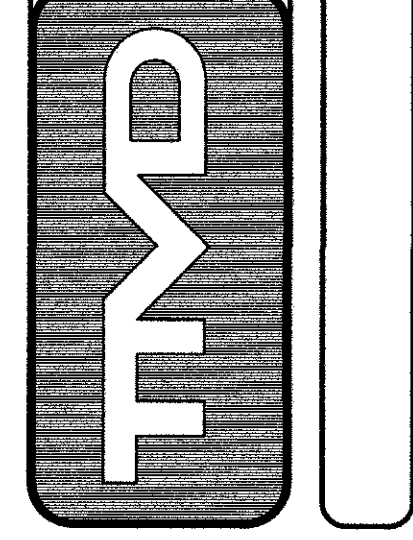
H EXTERIOR CONCRETE STAIR DETAIL
SCALE: 3/8" = 1'-0"



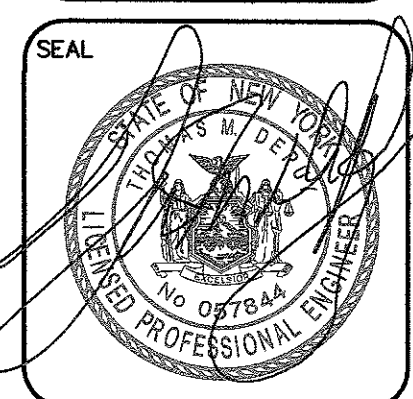
I PARKING AREA LIGHTING
SCALE: AS NOTED

NO.	DATE	DESCRIPTION	BY
1.	1/21/17	PLANNING BOARD SUBMISSION 2	D/W

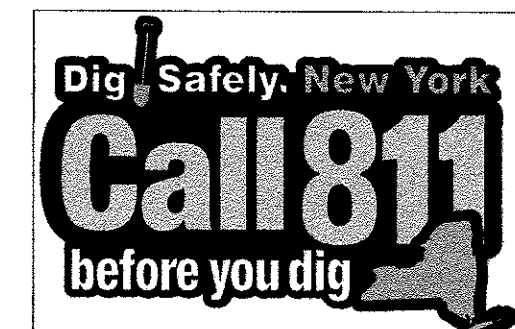
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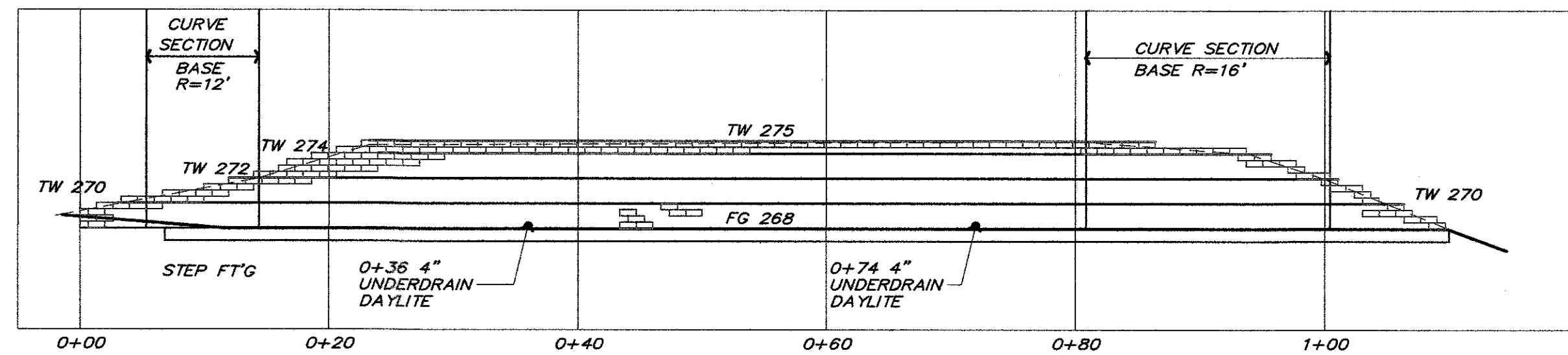


TITLE	SITE DETAILS 1
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED



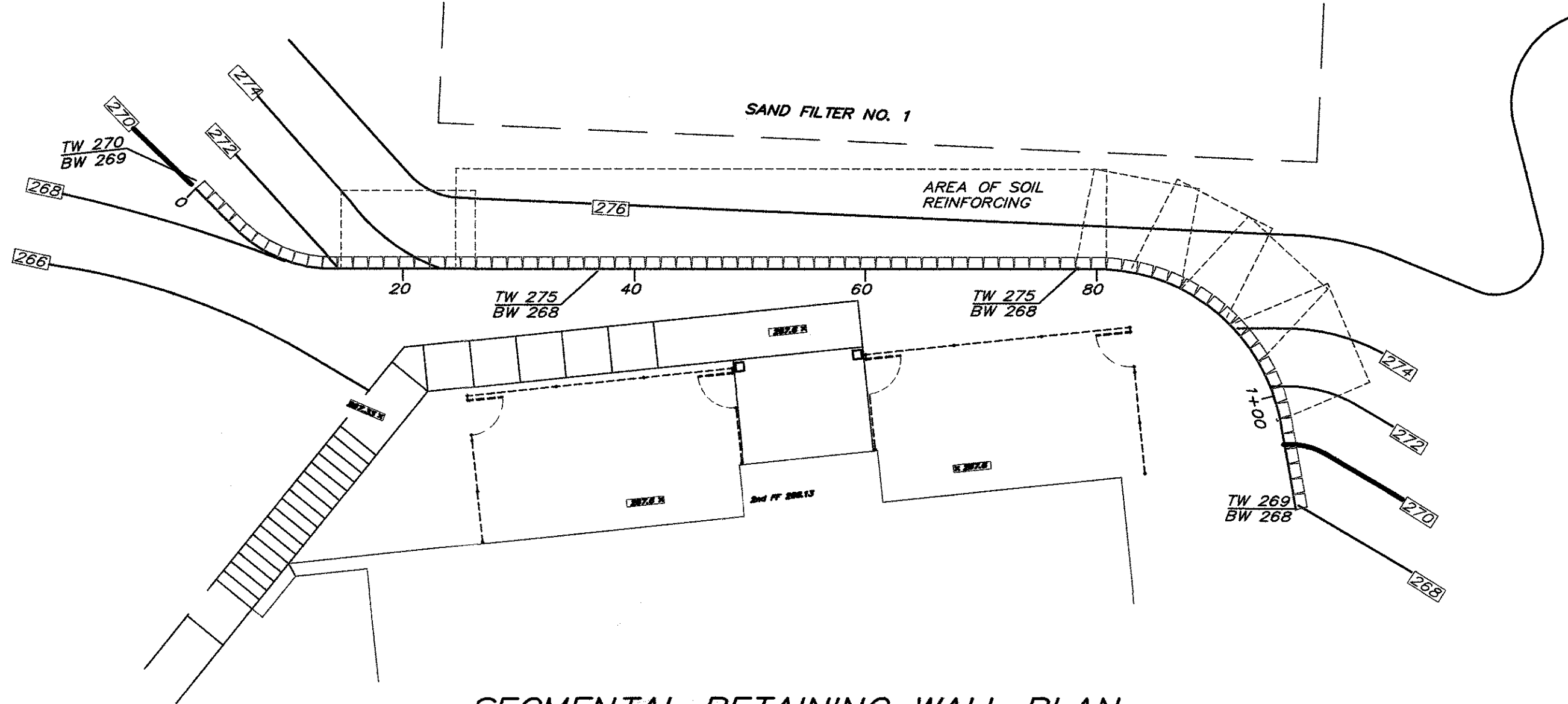
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DWG. **SP6**
SHEET 6 OF 11



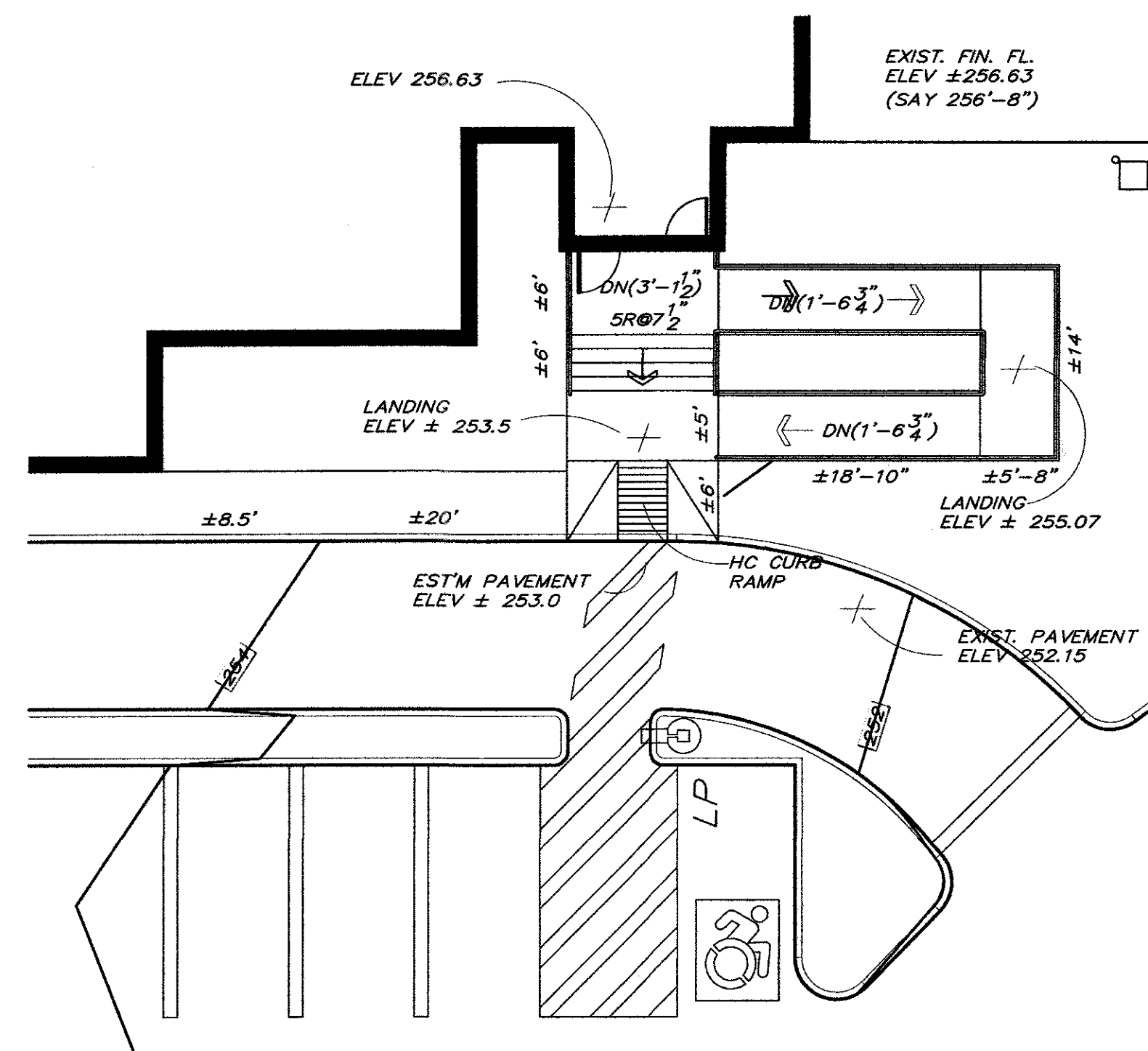
SEGMENTAL RETAINING WALL ELEVATION

SCALE: 1" = 10'



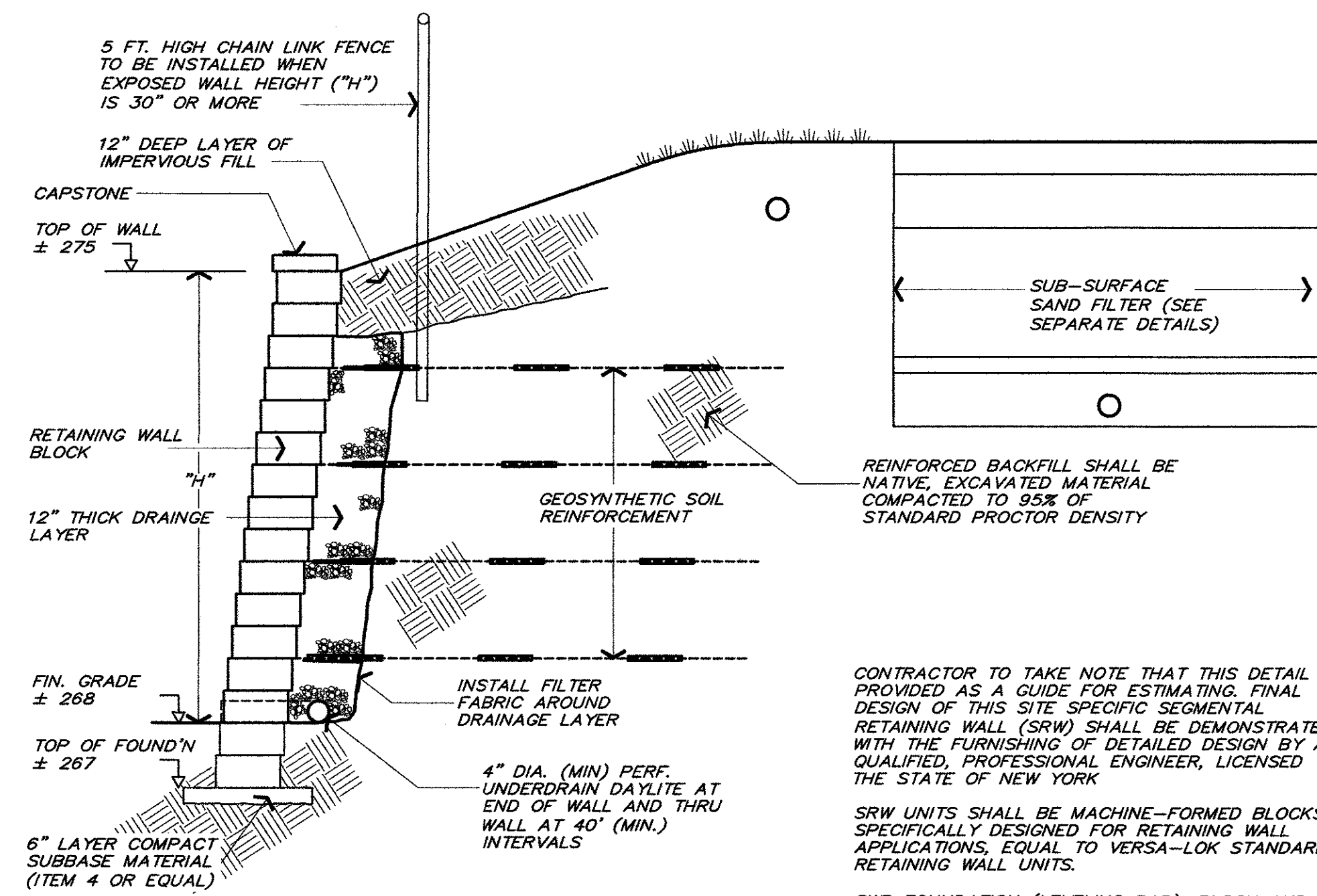
SEGMENTAL RETAINING WALL PLAN

SCALE: 1" = 10'



ACCESSIBLE ENTRY PLAN

SCALE: 1" = 10'



SEGMENTAL RETAINING WALL (SRW) DETAIL

SP7

REINFORCED BACKFILL SHALL BE NATIVE, EXCAVATED MATERIAL COMPACTED TO 95% OF STANDARD PROCTOR DENSITY

CONTRACTOR TO TAKE NOTE THAT THIS DETAIL IS PROVIDED AS A GUIDE FOR ESTIMATING. FINAL DESIGN OF THIS SITE SPECIFIC SEGMENTAL RETAINING WALL (SRW) SHALL BE DEMONSTRATED WITH THE FURNISHING OF DETAILED DESIGN BY A QUALIFIED, PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW YORK

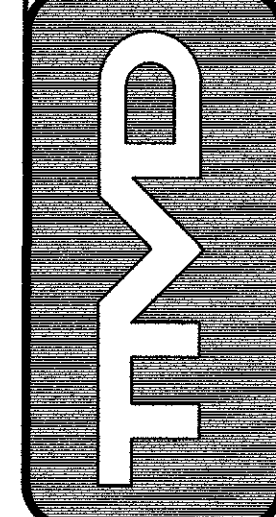
SRW UNITS SHALL BE MACHINE-FORMED BLOCKS, SPECIFICALLY DESIGNED FOR RETAINING WALL APPLICATIONS, EQUAL TO VERSA-LOK STANDARD RETAINING WALL UNITS.

SRW FOUNDATION (LEVELING PAD), BLOCK AND APPURTENANCES, GEOSYNTHETIC FABRIC AND REINFORCED BACKFILL SHALL BE INSTALLED AS PER MANUFACTURERS REQUIREMENTS TO PROVIDE A COMPLETE, FUNCTIONAL, NEAT AND ATTRACTIVE WALL.

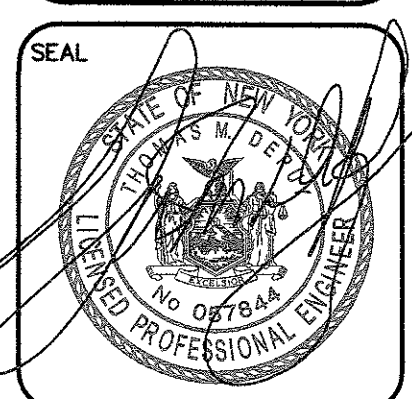
SRW CAP STONED SHALL BE GLUED TO UNDERLYING WALL UNITS WITH ADHESIVE REQUIRED/APPROVED BY THE MANUFACTURER OF THE BLOCK.

NO.	DATE	DESCRIPTION	BY

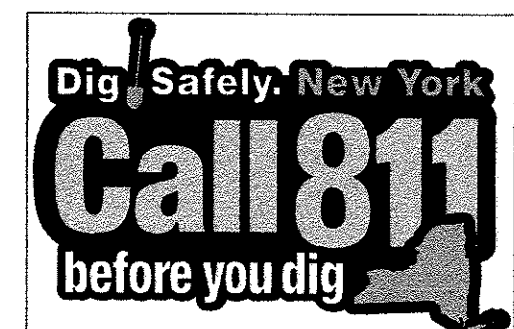
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PROPOSED PET HOTEL
 AND DAY CARE FACILITY
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK



TITLE	SITE DETAILS 2
JOB	12003.1
DATE	MARCH 21, 2017
SCALE	AS NOTED
DWG.	SP7
SHEET	7 OF 11



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EXISTING TREE PROTECTION NOTES:

- EXISTING TREES WITHIN THE PROPERTY BEYOND THE LIMIT OF WORK SHALL BE SAVED AND ARE TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT THE EXISTING TREES LOCATED ON ADJOINING PROPERTIES NEAR THE PROPERTY BOUNDARY. INJURED TREES SHALL BE REPLACED WITH THE CONSENT OF THE ADJOINING OWNER.
- THE EXISTING MATURE TREE LOCATED IN THE OUTDOOR EXERCISE YARD NEAR THE BUILDING REAR EXIT RAMP SHALL BE PROTECTED FROM DAMAGE RESULTING FROM CONSTRUCTION. CONTRACTORS SHALL MAKE EVERY EFFORT NOT TO DAMAGE THIS TREE.

LANDSCAPE NOTES

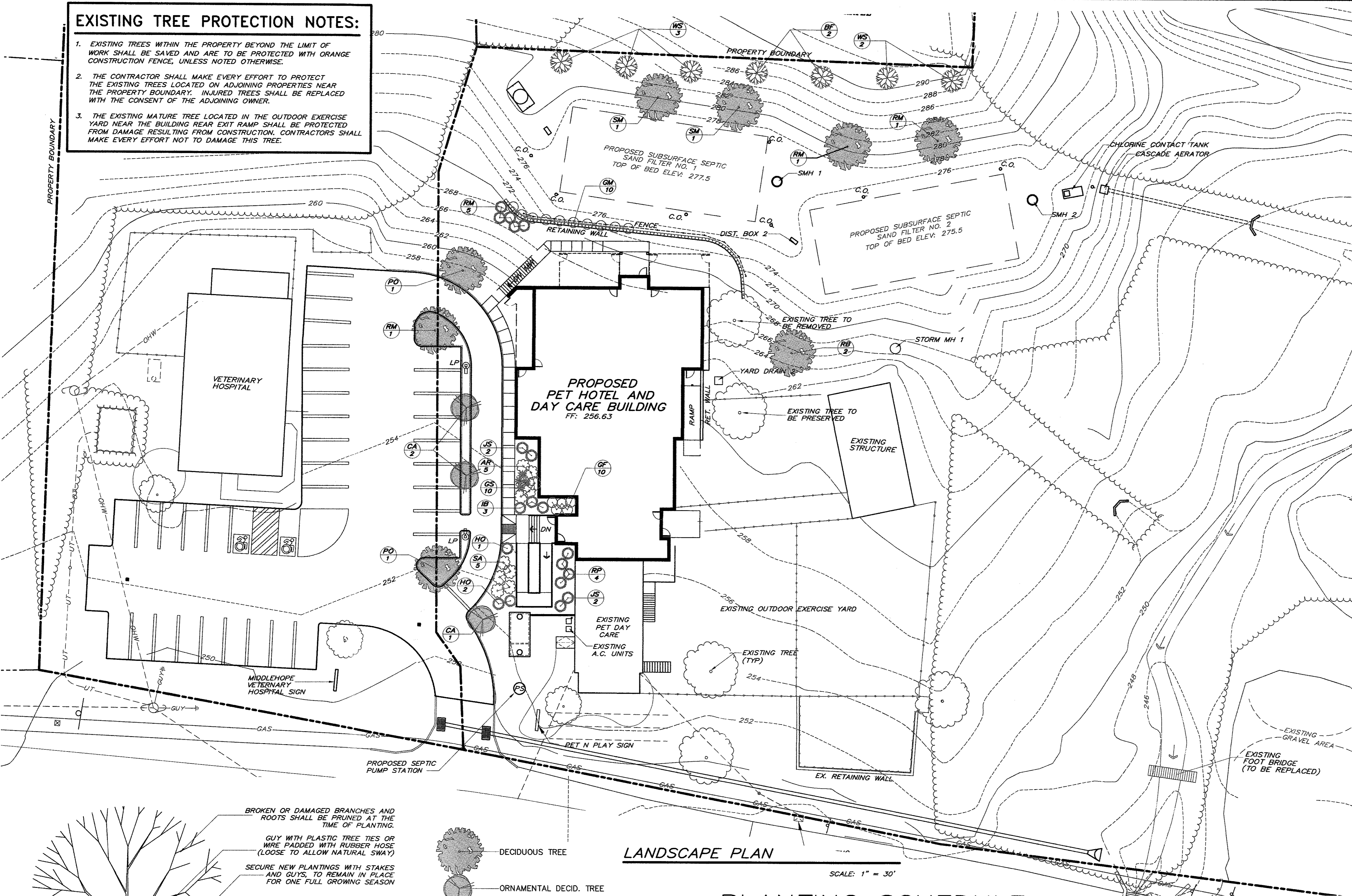
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT, UNDERGROUND AND ABOVE GROUND UTILITIES THAT WILL BE PRESENT WHEN THE PLANTING WORK IS CONDUCTED. CONFLICTS WITH PLANTING LOCATIONS AND UTILITIES OR STRUCTURES THAT REQUIRE THE RELOCATION OF PLANTINGS SHALL BE AT THE DIRECTION OF THE ENGINEER.
- UNLESS NOTED OTHERWISE, NEW PLANT MATERIAL SHALL BE NURSERY GROWN AND CONFORMING WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- PLANT MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S REVIEW AND ACCEPTANCE PRIOR TO COMMENCING PLANT INSTALLATION.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE PLANT WAS DEEMED UNACCEPTABLE BY THE ENGINEER. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH INSTALLATION.
- NEW PLANTINGS REMOVED FROM CANS SHALL HAVE THEIR ROOT BALLS SCARIFIED PRIOR TO PLACEMENT AND BACKFILL.
- NEW PLANTING ROOT BALLS SHALL HAVE ANY PLASTIC OR BURLAP WRAPPING REMOVED FROM THE ROOT BALL AND PLANT EXCAVATION PRIOR TO INSTALLATION.
- REFER TO PLANTING DETAIL FOR INSTALLATION OF NEW TREES AND SHRUBS.
- EXISTING GRASS AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF ACTIVITY.
- ALL NON-LANDSCAPED AND UNPAVED AREAS SHALL RECEIVE TOPSOIL SEED AND MULCH.
- PLANTING BEDS, TREE SAUCERS, AND GROUPS OF SHRUBS SHALL RECEIVE THREE (3") OF MULCH.
- THIS PLAN IS TO BE UTILIZED FOR LOCATION OF PROPOSED PLANT MATERIALS AND PLANTING DETAILS ONLY.

PERMANENT TURF GRASS SEEDING

- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 20 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT. (850 LBS/AC)
- TURF GRASS SEEDING SHALL BE INSTALLED AT 4-5 LBS./1000 SQ. FT. OF 100% TALL FESCUE, TURF TYPE, FINE LEAF, OR 2.4-3.2 LBS./1000 SF OF 80% KENTUCKY BLUEGRASS BLEND, AND 0.6-0.8 LBS./1000 SF OF PERENNIAL RYEGRASS

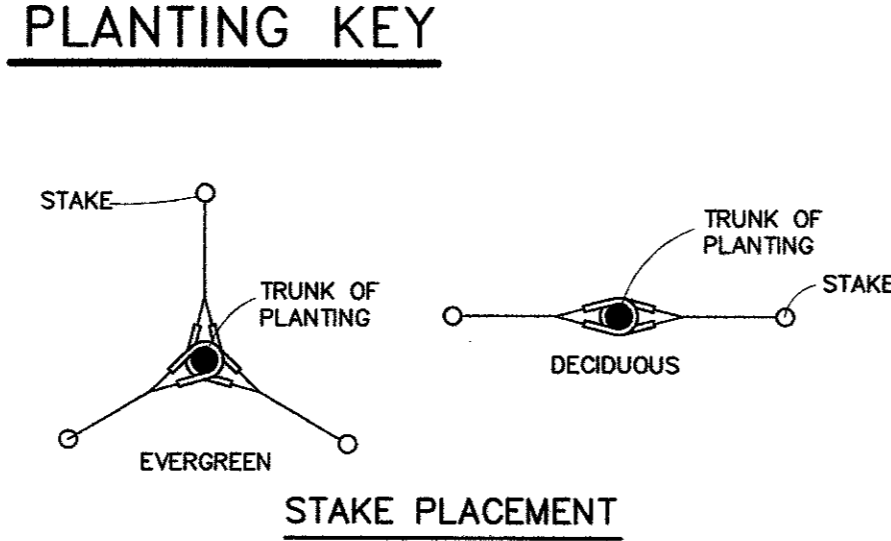
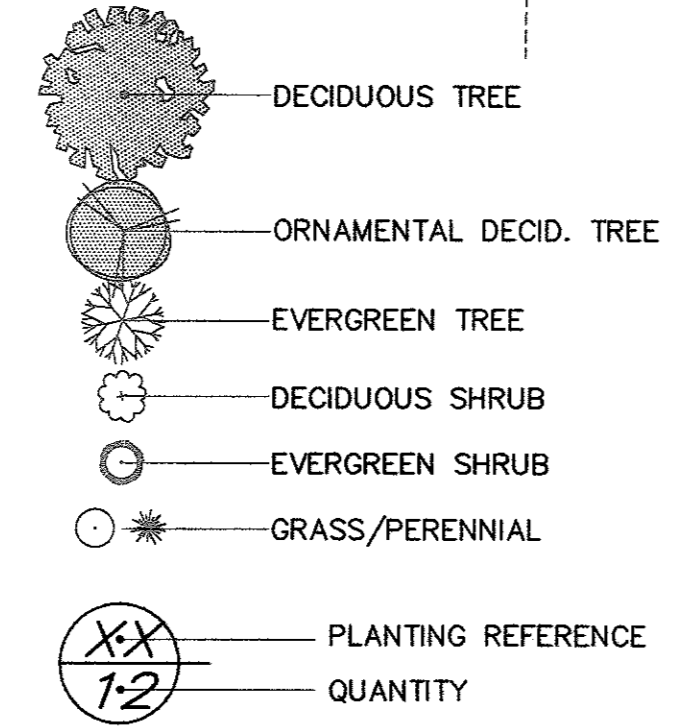
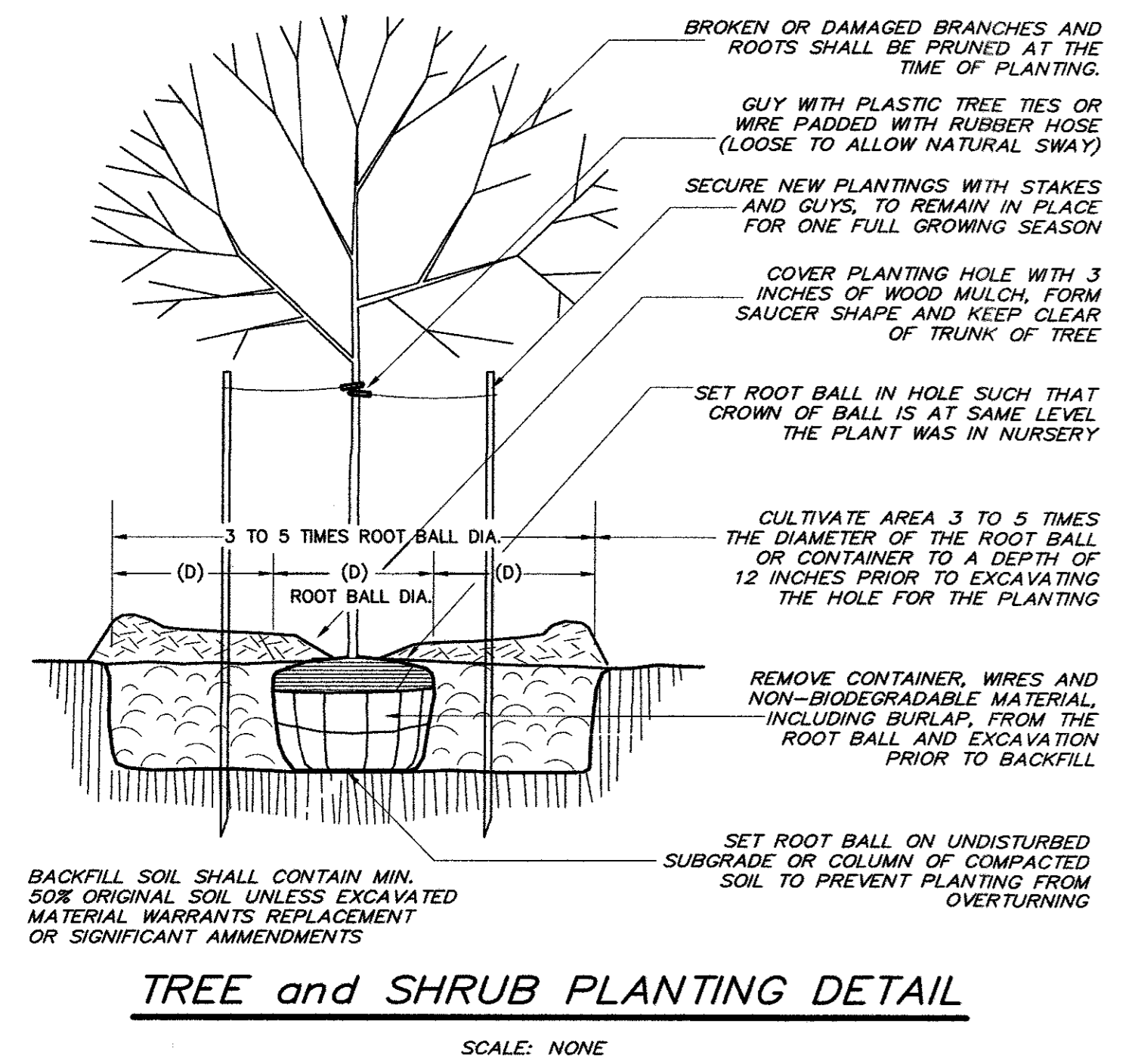
PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 1	SEPT. 1 - OCT. 1
DECIDUOUS	MARCH 1 - JUNE 1	OCT. 15 - DEC. 1
GROUND COVER	APRIL 1 - JUNE 1	NOT RECOMMENDED



LANDSCAPE PLAN

SCALE: 1" = 30'



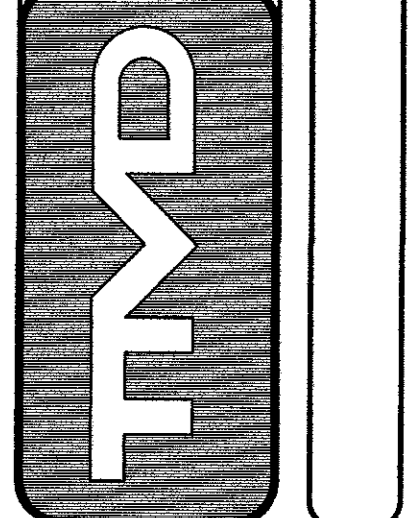
PLANTING SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/CALIPER	REMARKS
TREES					
BF	2	BALSAM FIR	ABIES BALSAMEA	6' TO 7' HEIGHT.	BALLED & BURLAP (B & B)
CA	3	SARGENT'S CRABAPPLE	MALUS SARGENTII	2"-2 1/2" CAL	(B & B)
PO	2	PIN OAK	QUERCUS PALUSTRIS	2"-2 1/2" CAL	(B & B)
RB	2	HERITAGE RIVER BIRCH	BETULA NIGRA HERITAGE	10"-12" HEIGHT	CLUMP
RM	3	OCTOBER GLORY RED MAPLE	ACER RUBRUM "OCTOBER GLORY"	2"-2 1/2" CAL	(B & B)
SM	2	SUGAR MAPLE	ACER SACCHARUM	2"-3 1/2" CAL	(B & B)
WS	5	WHITE SPRUCE	PICEA GLAUCA	6' TO 7' HEIGHT.	(B & B), HEAVY
SHRUBS					
AR	5	APPLE BLOSSOM ROSE	ROSA NOAMEL "APPLEBLOSSOM"	#2 CAN	
HO	3	WINTERBERRY HOLLY	ILEX VERTICILLATA "WINTERBERRY"	2'-3" HGT	
IB	3	NORDIC INKBERRY	ILEX GLABRA "CHAMZIN"	24"-30" HGT	
JS	4	SARGENT'S JUNIPER	JUNIPERUS CHINENSIS "SARGENTII"	15"-18" HGT.	
JW	4	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS "WILTONII"	#3 CAN	
SA	5	ALPINE SPIREA	SPIREA JAPONICA ALPILA	#3 CAN	
RP	4	PJM RHODODENDRON	RHODODENDRON "PJM"	30"-34" HGT.	(B & B)
GRASSES AND PERENNIALS					
GM	10	MOONBEAM COREOPSIS	COREOPSIS VERTICILLATA "MOONBEAM"	#2 CAN	
GF	10	SILVER POINTED FERN	ANTHYRIUM NIPPONICUM PICTUM	#2 CAN	
GS	10	STELLO D'ORO DALLY	HEMEROCALLIS STELLO D'ORO	#2 CAN	

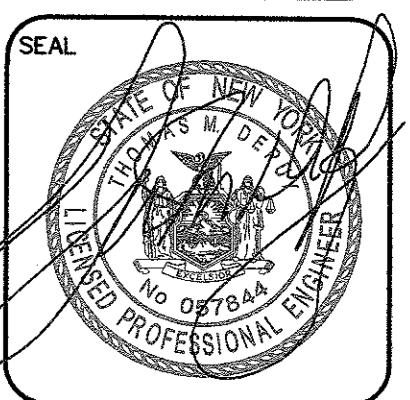
SUBSTITUTIONS OF INDIVIDUAL VARIETIES SPECIFIED ABOVE WILL BE CONSIDERED BASED ON PLANT AVAILABILITY AND ACTUAL FIELD PLANTING CONDITIONS.

NO.	DATE	DESCRIPTION	BY

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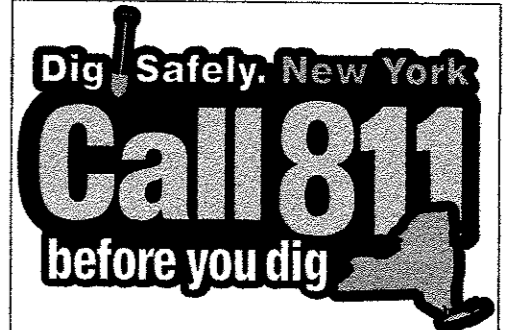


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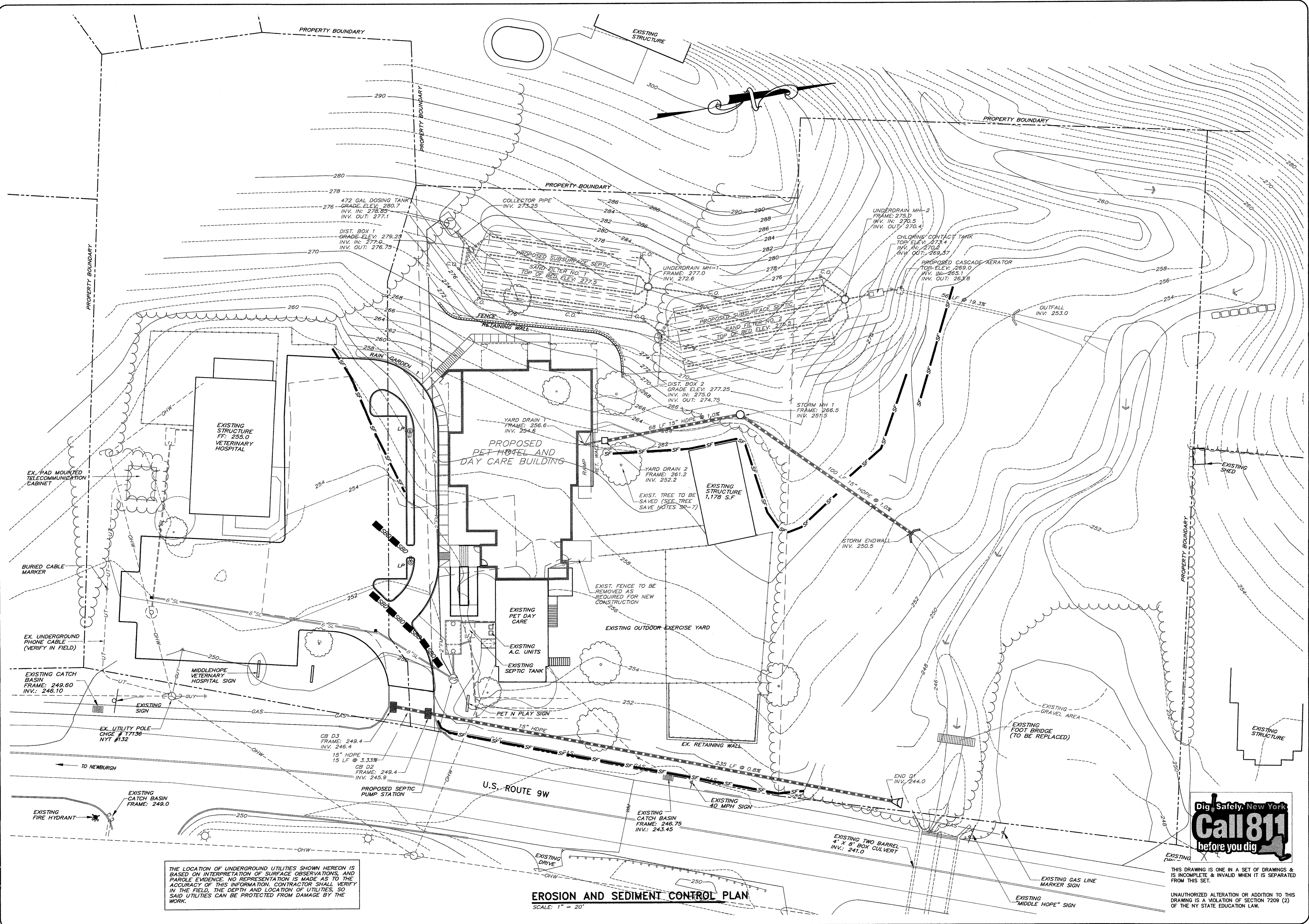


TITLE
LANDSCAPE PLAN

JOB 12003.1
DATE MARCH 21, 2017
SCALE AS NOTED
DWG. **SP8**
SHEET 8 OF 11



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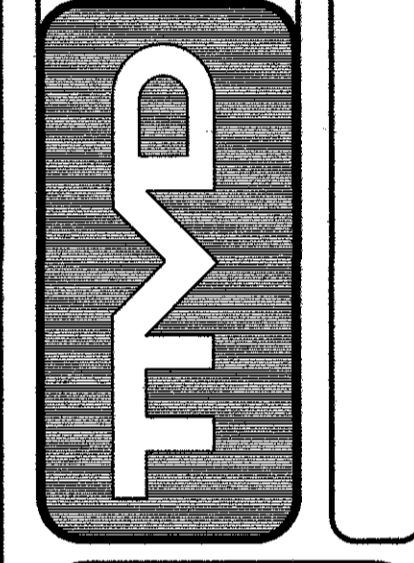
EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



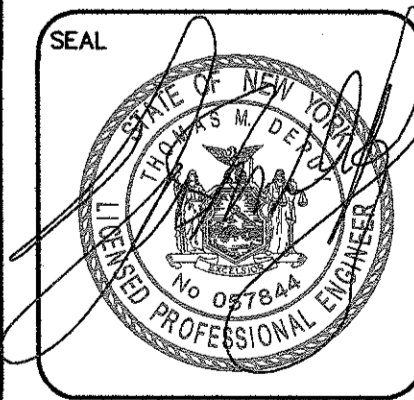
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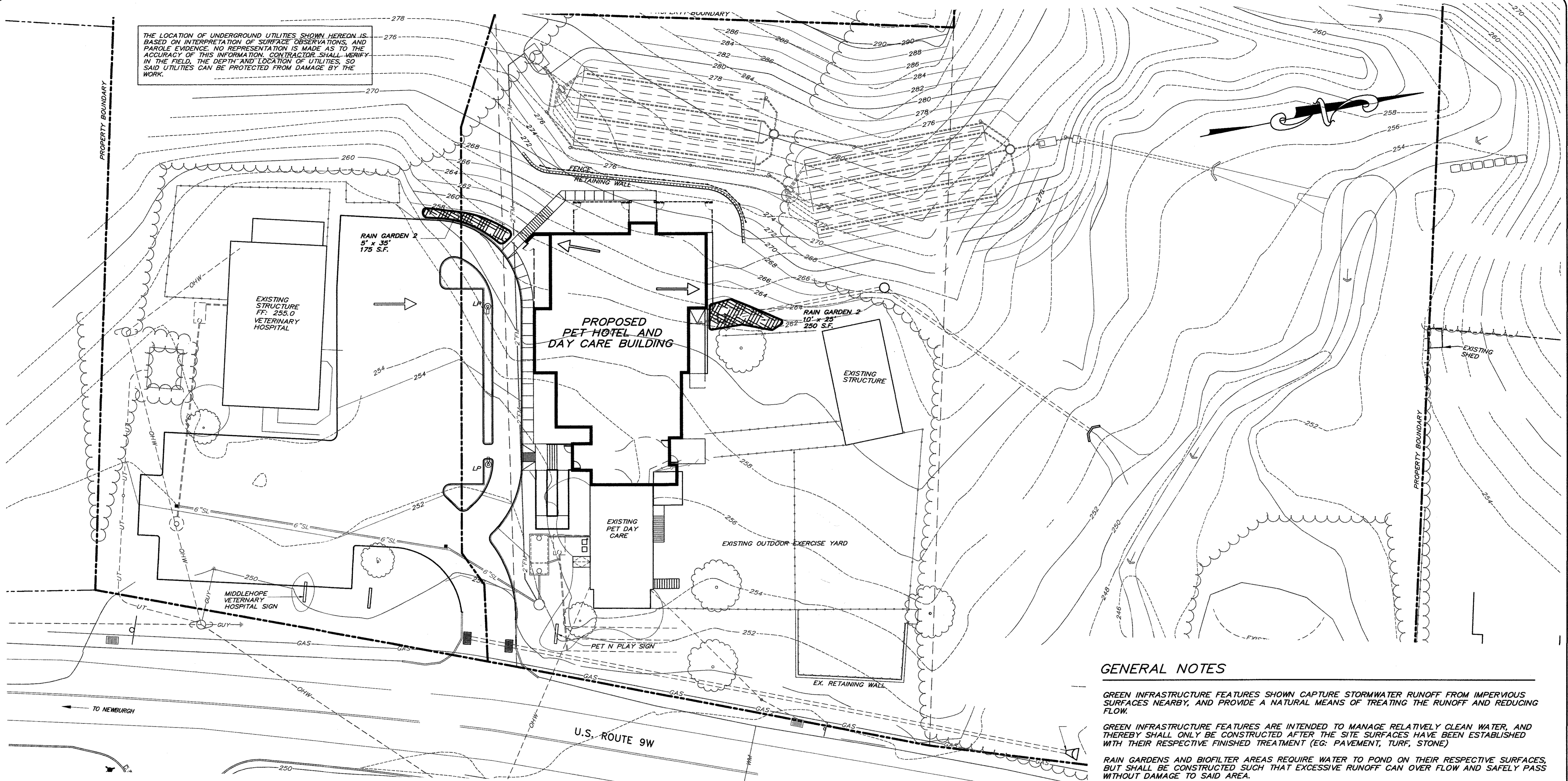


PROPOSED PET HOTEL AND DAY CARE FACILITY
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ORANGE COUNTY, NEW YORK



TITLE	SOIL EROSION AND SEDIMENT CONTROL PLAN
JOB	12003.1
DATE	MARCH 21, 2017
SCALE	AS NOTED
DWG.	SWPP-2
SHEET	10 OF 11

THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.



GENERAL NOTES

GREEN INFRASTRUCTURE FEATURES SHOWN CAPTURE STORMWATER RUNOFF FROM IMPERVIOUS SURFACES NEARBY, AND PROVIDE A NATURAL MEANS OF TREATING THE RUNOFF AND REDUCING FLOW.

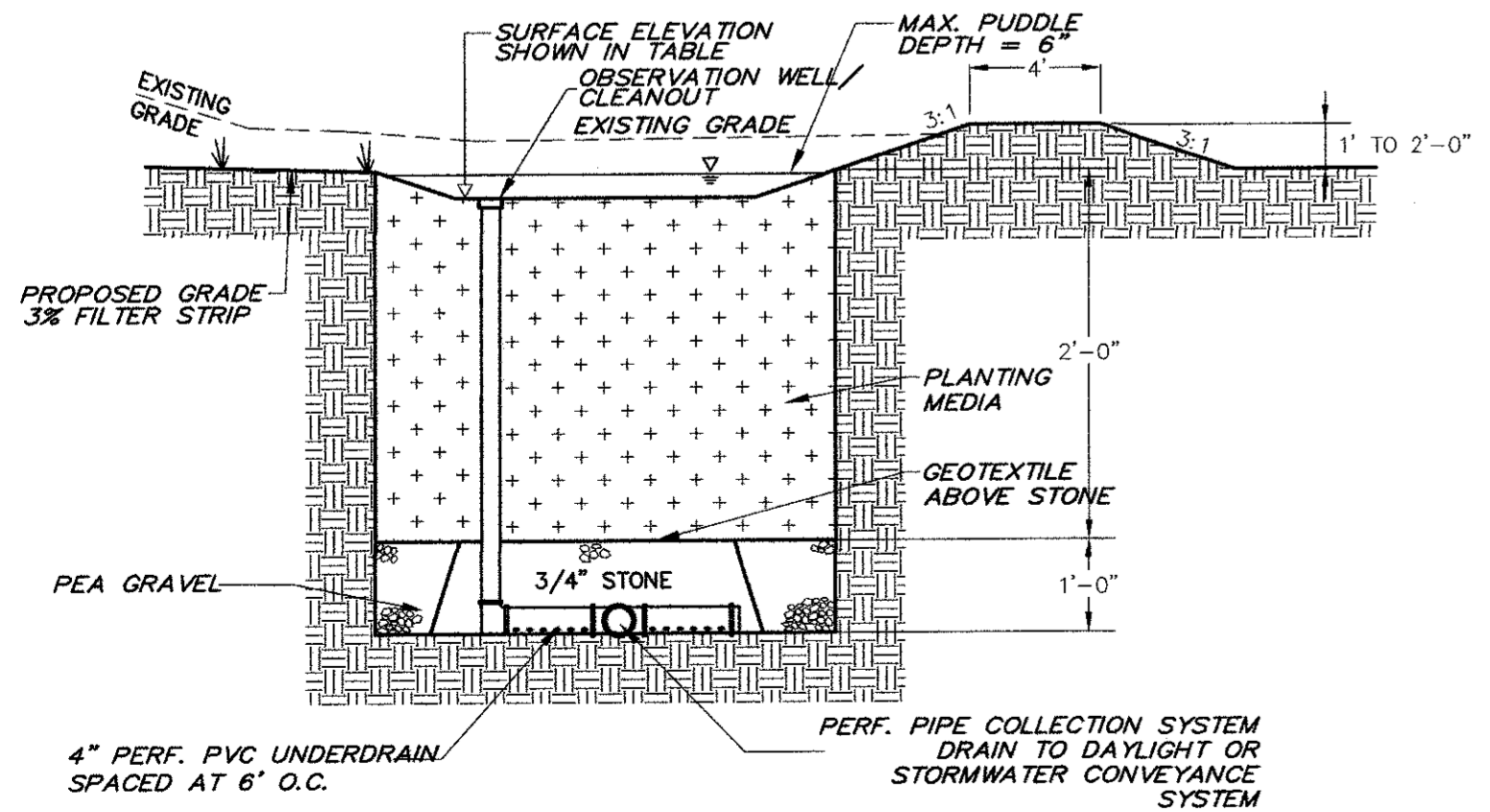
GREEN INFRASTRUCTURE FEATURES ARE INTENDED TO MANAGE RELATIVELY CLEAN WATER, AND THEREBY SHALL ONLY BE CONSTRUCTED AFTER THE SITE SURFACES HAVE BEEN ESTABLISHED WITH THEIR RESPECTIVE FINISHED TREATMENT (EG. PAVEMENT, TURF, STONE)

RAIN GARDENS AND BIOFILTER AREAS REQUIRE WATER TO POND ON THEIR RESPECTIVE SURFACES, BUT SHALL BE CONSTRUCTED SUCH THAT EXCESSIVE RUNOFF CAN OVER FLOW AND SAFELY PASS WITHOUT DAMAGE TO SAID AREA.

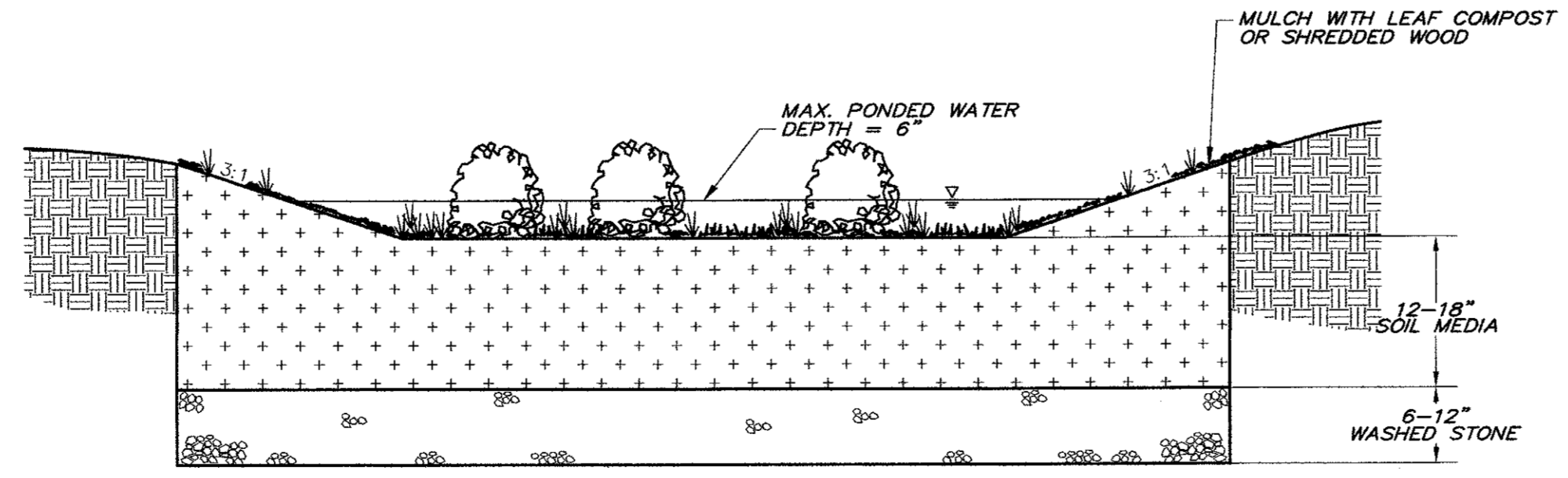
RAIN GARDENS AND BIOFILTER AREAS SHALL BE CONSTRUCTED WITH RELATIVELY FLAT SURFACE SLOPES (LEVEL IN ONE DIRECTION, NO MORE THAN 1/8 INCH PER FOOT IN THE DIRECTION OF FLOW)

GREEN INFRASTRUCTURE LOCATION PLAN

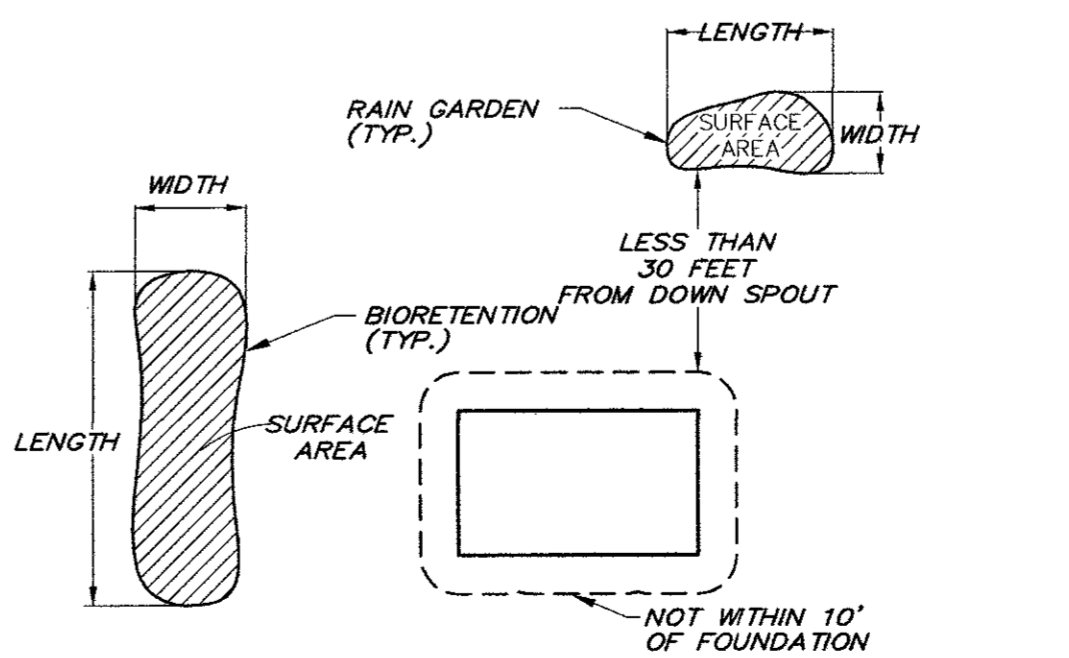
SCALE: 1" = 80'



BIORETENTION FACILITY CROSS-SECTION (TYP.)
N.T.S.



RAIN GARDEN CROSS-SECTION (TYPICAL)
N.T.S.
EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



TYPICAL GREEN INFRASTRUCTURE LAYOUT
N.T.S.

LEGEND

- RG RAIN GARDEN
- STREET TREE (SEE LANDSCAPE PLAN)
- BIO BIORETENTION AREA
- ROOF LEADER DISCHARGE

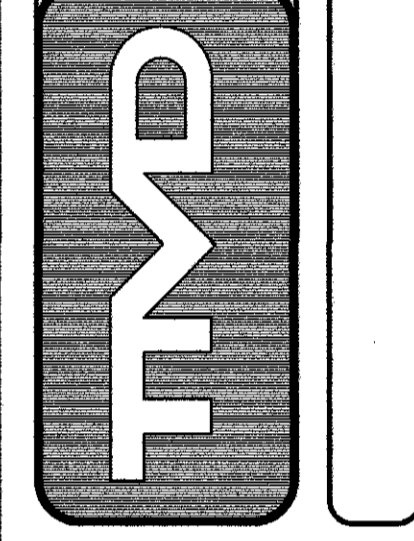


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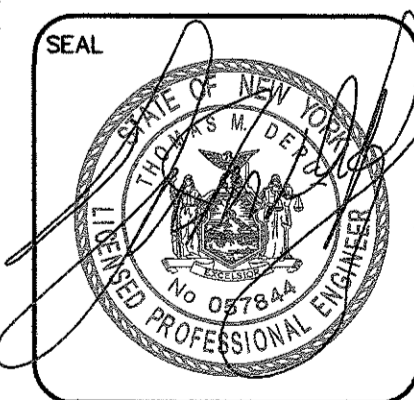
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JOB	12003.1
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DWG.	SWPP-3
SHEET	11 OF 11