



**CONSULTING ENGINEERS, D.P.C.**

MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
LYLE R. SHUTE, P.E., LEED-AP (NY, NJ, PA)  
PATRICK J. HINES

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: [mheny@mhepc.com](mailto:mheny@mhepc.com)

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: NEWBURGH TOWNE CENTER-HOME GOODS**  
**PROJECT NO.: 21-16**  
**PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 29.11**  
**REVIEW DATE: 27 JULY 2021**  
**MEETING DATE: 5 AUGUST 2021**  
**PROJECT REPRESENTATIVE: COLLIERS ENGINEERING & DESIGN**

1. The proposed project does not meet existing side yard 40.9 foot provided where 50 feet is required. Both side yards -91.4 feet is provided where 100 feet is required. Variances will be required for the project.
2. The Applicants representative are requested to discuss the potential future tenant- Well Now, Tax Lot 60-3-32.11 identified in the off street parking spaces.
3. The project is required to operate as a unified site plan and certain agreements/ covenants were filed regarding the use of the property as a unified site plan.
4. Details of the proposed retaining wall, curbing and guide rails should be depicted on future plans. Retaining wall modifications are required to provide 24 foot wide lane width to the rear of the structure.
5. It is requested the Applicants identify the amount of square footage to be added to the building for the construction of the loading dock.
6. Details of the proposed compactor and pad should be depicted on the plans. Will bollards or other protective measures be installed.
7. Concrete pad and transformer are identified to be re-located. The location of these should be depicted on the plans.
8. The project would be considered a Type II Action under SEQRA Regulations, however the Planning Board may wish to submit the project to DOT as site access is a state highway.
9. Orange County Planning Dept. review is required as project is located on state highway.

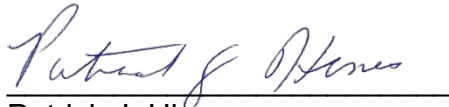
• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •



10. Any proposed changes to the building facades should be identified for the Planning Board. Architectural review may be required.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**



---

Patrick J. Hines  
Principal

PJH/kbw

WHITEMAN  
OSTERMAN  
& HANNA LLP

Attorneys at Law  
[www.woh.com](http://www.woh.com)

One Commerce Plaza  
Albany, New York 12260  
518.487.7600

Thomas A. Shepardson  
Partner  
518.487.7663 phone  
[tshepardson@woh.com](mailto:tshepardson@woh.com)

July 9, 2021

**VIA FEDERAL EXPRESS & EMAIL**

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
Town of Newburgh Town Hall  
1496 Route 300  
Newburgh, New York 12550

***RE: Newburgh Towne Center – Home Goods  
Site Plan & Architectural Review Applications  
Environmental Assessment Form***

Dear Chairman Ewasutyn:

This firm represents Conew, LLC, a Delaware limited liability Company (c/o CoFinance, Inc.) (“CoFinance”), the owner of the Newburgh Towne Center shopping center located at the intersection of Meadow Hill Road and Union Avenue – NYS Route 300 in the Town of Newburgh, New York (the “Project Site”). Together with the applicant, G William Group, LLC, CoFinance is seeking to re-fit approximately 21,969 SF of currently vacant retail space within the shopping center for a new tenant, a Home Goods retail store (the “Project”). To accommodate Home Goods, a new loading dock area is proposed in the rear of the building. A portion of the loading dock area will slightly encroach into the required setback and, therefore, an area variance will be sought from the Zoning Board of Appeals. The Project will require site plan and architectural approval from the Town of Newburgh Planning Board (the “Planning Board”).<sup>1</sup>

We have enclosed the following for the Planning Board’s consideration:

1. Application for Site Plan Review with checklist;

---

<sup>1</sup> The Project Site is located in the Town’s Interchange Business (IB) zoning district. Retail uses are permitted in the IB zoning district, subject to site plan approval from the Planning Board.

2. Application for Architectural Review;
3. Fee Acknowledgement;
4. Proxy;
5. Disclaimer Statement;
6. Disclosure Addendum Statement;
7. Long Form Environmental Assessment Form, Part 1;
8. Project Narrative; and
9. Sketch Site Plan.

We respectfully request that this matter be placed on the next available Planning Board agenda.

If you have any questions on this submission, please feel free to contact me or Justin Dates at Colliers Engineering & Design CT, PC. At your convenience, we are available to discuss this submission with you and the Board' consultants. We look forward to working with the Board and its consultants on completing this exciting project for the Town of Newburgh.

Very truly yours,

*/s/ Thomas A. Shepardson*

Thomas A. Shepardson

Enclosures

Cc: Renat Yusufov (CoFinance) (w/enclosures)  
Justin Dates (Colliers) (w/enclosures)

**TOWN OF NEWBURGH PLANNING BOARD**

**APPLICATION PACKAGE  
for  
SUBDIVISIONS, SITE PLANS,  
LOT LINE CHANGES  
And  
SPECIAL EXCEPTION USE PERMITS**

**Procedures and Requirements**

**July 2013**

**TOWN OF NEWBURGH PLANNING BOARD  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550  
(845) 564-7804  
fax: (845) 564-7802  
[planningboard@hvc.rr.com](mailto:planningboard@hvc.rr.com)**

**JULY 2013**

**TO WHOM IT MAY CONCERN:**

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman  
Town of Newburgh Planning Board

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** 2021-16  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

Home Goods

**2. Owner of Lands to be reviewed:**

**Name** Conew, LLC, a Delaware Limited Liability Company (C/o CoFinance, Inc.)  
**Address** 60 East 42<sup>nd</sup> Street, Suite 1942  
New York, NY 10165  
**Phone** (646) 344-3336

**3. Applicant Information (If different than owner):**

**Name** G William Group LLC  
**Address** 55 Carter Drive #104  
Edison NJ 08817  
**Representative** Sumeet Desai  
**Phone** (732) 494-8370  
**Fax** \_\_\_\_\_  
**Email** sdesai@gwgllc.com

**4. Subdivision/Site Plan prepared by:**

**Name** Colliers Engineering & Design CT, PC  
**Address** 555 Hudson Valley Avenue, Suite 101  
New Windsor, NY 12553  
**Phone/Fax** (845) 564-4495

**5. Location of lands to be reviewed:**

1431 NY-300, Newburgh, NY 12550

**6. Zone** IB **Fire District** Orange Lake  
**Acreage** ~ ±12.91 **School District** Newburgh

**7. Tax Map: Section** 60 **Block** 3 **Lot** 29.11  
**Section** \_\_\_\_\_ **Block** \_\_\_\_\_ **Lot** \_\_\_\_\_

**8. Project Description and Purpose of Review:**



Number of existing lots 1 Number of proposed lots N/A  
Lot line change N/A  
Site plan review Yes  
Clearing and grading N/A  
Other N/A

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

9. Easements or other restrictions on property:  
(Describe generally) Existing: on-site drainage easement; traffic control easement

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Project Manager  
Date: Jul 6, 2021

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  X  Environmental Assessment Form As Required
2.  X  Proxy Statement
3.  X  Application Fees
4.  X  Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  X  Name and address of applicant
2.  X  Name and address of owner (if different from applicant)
3.  X  Subdivision or Site Plan and Location
4.  X  Tax Map Data (Section-Block-Lot)
5.  X  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  X  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  X  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  X  Date of plan preparation and/or plan revisions
9.  X  Scale the plan is drawn to (Max 1" = 100')
10.  X  North Arrow pointing generally up
11.  N/A  Surveyor's Certification

12.  X  Surveyor's seal and signature
13.  X  Name of adjoining owners
14.  X  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  N/A  Flood plain boundaries
16.  N/A  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  X  Metes and bounds of all lots
18.  X  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  X  Show existing or proposed easements (note restrictions)
20.  N/A  Right-of-way width and Rights of Access and Utility Placement
21.  N/A  Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  X  Lot area (in sq. ft. for each lot less than 2 acres)
23.  N/A  Number of lots including residual lot
24.  X  Show any existing waterways
25.  N/A  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  N/A  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  X  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  N/A  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  X  Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number

31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed

32. N/A Number of acres to be cleared or timber harvested

33. TBD Estimated or known cubic yards of material to be excavated and removed from the site

34. TBD Estimated or known cubic yards of fill required

35. TBD The amount of grading expected or known to be required to bring the site to readiness

36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

\_\_\_\_\_  
\_\_\_\_\_


37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

\_\_\_\_\_  
\_\_\_\_\_

38. \_\_\_\_\_ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: Justin E. Dates, R.L.A, Colliers Engineering & Design  
Licensed Professional

Date:  7/9/2021

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

## STATEMENT TO APPLICANTS

### RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

Name of applicant: \_\_\_\_\_

Name of owner on premises: \_\_\_\_\_

Address of owner: \_\_\_\_\_

Telephone number of owner: \_\_\_\_\_

Telephone number of applicant: \_\_\_\_\_

State whether applicant is owner, lessee, agent, architect, engineer or contractor: \_\_\_\_\_

Location of land on which proposed work will be done: \_\_\_\_\_

Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_ Sub. Div.: \_\_\_\_\_

Zoning District of Property: \_\_\_\_\_ Size of Lot: \_\_\_\_\_

Area of lot to be cleared or graded: \_\_\_\_\_

Proposed completion of date: \_\_\_\_\_

Name of contractor/agent, if different than owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of applicant (if different than owner): \_\_\_\_\_

**TOWN ACTION:**

Examined: \_\_\_\_\_ 20 \_\_\_\_\_

Approved: \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.


### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

G William Group, LLC (ATTN: Sumeet Desai)  
**APPLICANT'S NAME (printed)**



\_\_\_\_\_  
**APPLICANTS SIGNATURE**

**Jul 6, 2021**

\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).



**PROXY**

**(OWNER)** Conew, LLC, a Delaware Limited Liability Company (C/o CoFinance, Inc.),  
**DEPOSES AND SAYS THAT HE/SHE**

**RESIDES AT** 60 East 42nd Street, Suite 1942

**IN THE COUNTY OF** Manhattan

**AND STATE OF** New York

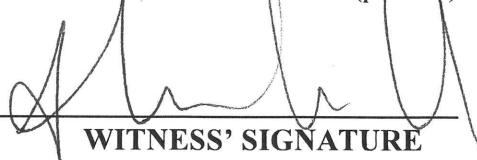
**AND THAT HE/SHE IS THE OWNER IN FEE OF** Tax Lot 60-3-29.11

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND G William Group, LLC & Colliers Engineering & Design CT, PC  
\_ IS AUTHORIZED TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

**DATED:** June 30, 2021

  
\_\_\_\_\_  
**OWNERS SIGNATURE**

Renat Yusufov  
\_\_\_\_\_  
**OWNERS NAME (printed)**

  
\_\_\_\_\_  
**WITNESS' SIGNATURE**

**NAMES OF ADDITIONAL  
REPRESENTATIVES**

ALEXANDRE DE MONTEBELLO  
\_\_\_\_\_  
**WITNESS' NAME (printed)**

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

**Jul 6, 2021**

\_\_\_\_\_  
**DATED**

G William Group, LLC (ATTN: Sumeet Desai)  
**APPLICANT'S NAME (printed)**



\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

    X     **NONE**

\_\_\_\_\_ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

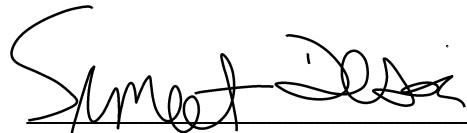
This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_ **TOWN BOARD**  
    X     **PLANNING BOARD**  
\_\_\_\_\_ **ZONING BOARD OF APPEALS**  
\_\_\_\_\_ **ZONING ENFORCEMENT OFFICER**  
\_\_\_\_\_ **BUILDING INSPECTOR**  
\_\_\_\_\_ **OTHER**

Jul 6, 2021

\_\_\_\_\_ **DATED**

\_\_\_\_\_ **INDIVIDUAL APPLICANT**



\_\_\_\_\_ **CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

**AGRICULTURAL NOTE**

**(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)**

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

( 1 ) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

**AGRICULTURAL DATA STATEMENT**

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

**Name and address of the applicant:** \_\_\_\_\_

**Description of the proposed project:** \_\_\_\_\_

**Location of the proposed project:** \_\_\_\_\_

**Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:** \_\_\_\_\_

**A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.**

\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

\_\_\_\_\_  
**DATE**

### **LIST OF ADJACENT PROPERTY OWNERS**

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

## **ARCHITECTURAL REVIEW**

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** 07/01/2021

**NAME OF PROJECT:** Home Goods

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

**Type (steel, wood, block, split block, etc.)**

Brick, E.I.F.S and siding

**COLOR OF THE EXTERIOR OF BUILDING:**

Red brick, white and cream colored E.I.F.S. white siding

**ACCENT TRIM:**

**Location:** underside of canopy/cover over walkway

**Color:** red

**Type (material):** paint applied on E.I.F.S finish

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

there is a parapet on the roof to screen HVAC units. Parapet to match height of existing parapet on the rest of the building

**ROOF:**

**Type (gabled, flat, etc.):** flat

**Material (shingles, metal, tar & sand, etc.):** EPDM

**Color:** Black



**WINDOWS/SHUTTERS:**

**Color (also trim if different):** white framed storefront glazing system

**Type:** Kawneer storefront framing

**DOORS:**

**Color:** white metal frame with glass

**Type (if different than standard door entrée):** automatic sliding door

**SIGN:**

**Color:** Red

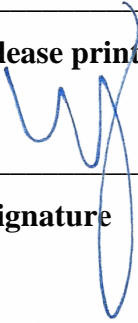
**Material:** red acrylic

**Square footage of signage of site:** 158.1

Michael Busch Jr, Architect

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

**Signature**

A handwritten signature in blue ink, consisting of several loops and a long vertical stroke, is written over a horizontal line.

## Narrative Summary

To: Town of Newburgh Planning Board  
From: Colliers Engineering & Design  
Parcel Info: Tax Lot: 60-3-29.11, Town of Newburgh, Orange County New York  
Date: July 9, 2021  
Project No.: 18006812B – Newburgh Towne Center, Home Goods  
Planning Board No.: 2021-16

---

Colliers Engineering & Design, has developed the attached Planning Board Application, Long Form EAF Part 1 and Sketch Site Plan for the above referenced parcel.

This portion of the Newburgh Towne Center site is ±12.91-acre in size and currently developed with a shopping center. The site is located between NYS Route 300 on the east & I-87 on the west and the site is approx. 900' south of NYS Route 52 from NYS Route 300. Commercial uses exist to the north and south of the property. The existing buildings on-site consists of a ±72,994 sq. ft. mixed retail building and a ±5,011 sq. ft. cellular retail store building. Additional site improvements include, associated parking & loading, stormwater management areas, site landscaping and lighting. The entire Newburgh Towne Center includes a Stop & Shop and a former bank, which are on separate tax lots from the project site. The shopping center is accessed through a curb cut on NYS Route 300 on the east side of the property, and an entrance from Meadow Hill Road to the south. The western portion of the site contains of an Army Corps of Engineers freshwater wetland. The parcel is not located within the 100-year floodplain. The proposed development will not disturb the existing wetlands. Lastly, the site is located within the Town of Newburgh IB (Interchange Business) zoning district and a "shopping center" is a permitted use subject to site plan approval from the Planning Board.

The applicant, G William Group, LLC, proposes interior renovations to the existing retail building for a proposed ±21,969 sq. ft. Home Goods tenant. The Home Goods renovation will also include the construction of two (2) loading dock bays and a proposed trash compactor on the northern side of the building. The project is in substantial compliance with the IB Zoning bulk requirements for a shopping center use except for the side yard (one and both) setback requirements. The minor expansion to the building for the loading dock proposes a minimum side yard setback of 40.99 feet (50 feet is required) and 91.4 feet for the minimum of both side

yards (100 feet is required). The applicant will require an area variance for both of these setbacks.

The building footprint modification for the proposed loading docks will also require an expansion of the adjacent paved drive aisle to maintain a minimum aisle width of 24 feet for two-way circulation on the north side of the building. No additional parking spaces are proposed as the current parking is in excess of the required spaces for the shopping center. Stormwater from these minor building and site modifications will be connected to the existing drainage improvements.

The site is located in the Town of Newburgh Consolidated Water District and the Crossroads Sewer District. Water & sewer lines exist within the site and existing services for the tenant space will be modified for the proposed tenant fit-out as required.

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Home Goods		
Project Location (describe, and attach a general location map): 1431 NY-300, Newburgh, NY 12550 (SBL: 60-3-29.11, Town of Newburgh) on the west side of NYS Rt 300 approx. 900' south of NYS Rt 52		
Brief Description of Proposed Action (include purpose or need): The applicant proposes interior renovations to the existing retail building for a proposed ±21,969 sq. ft. Home Goods tenant. The Home Goods renovation will also include the construction of two (2) loading dock bays and a proposed trash compactor on the northern side of the building. Minor modifications to the existing drive aisle adjacent to the loading docks is also proposed.		
Name of Applicant/Sponsor: G William Group, LLC (Attn: Sumeet Desai)	Telephone: (732)-494-8370	
	E-Mail: sdesai@gwgllc.com	
Address: 55 Carter Drive, #104		
City/PO: Edison	State: NJ	Zip Code: 08817
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Conew LLC, A Delaware limited liability company (c/o CoFinance, Inc.)	Telephone: (646) 344-3336	
	E-Mail: ryusufov@cofinancegroup.com	
Address: 60 East 42nd Street, Suite 1942		
City/PO: New York	State: NY	Zip Code: 10165

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Planning Board - Site Plan Approval	July 2021
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Zoning Board of Appeals - (2) Area Variances	TBD
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Orange Co. Planning: GML 239 Referral	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li><b>If Yes</b>, complete sections C, F and G.</li> <li><b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
IB (Interchange Business) District
- b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No
- c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

- a. In what school district is the project site located? Newburgh
- b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department, New York State Police
- c. Which fire protection and emergency medical services serve the project site?  
Orange Lake Fire District
- d. What parks serve the project site?  
Algonquin Park, Cronomer Hill Park, Chadwick Lake Park

**D. Project Details**

**D.1. Proposed and Potential Development**

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial
- b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 12.91 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.18 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 22.18 acres
- c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_
- d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_
- e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 6 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_ 1  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ 20.5 height; \_\_\_\_\_ 125 width; and \_\_\_\_\_ 190 length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ 21,969 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: ±2,197 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):  
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh Wastewater Treatment Facility
- Name of district: Crossroads Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



Yes  No  
 Yes  No

Do existing sewer lines serve the project site?  
 Will a line extension within an existing district be necessary to serve the project?  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 Delivery vehicles  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 Power generator  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 Structure HVAC

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	_____ 7 am - 7 pm _____	• Monday - Friday:	_____ 9:30 am - 9:30 pm _____
• Saturday:	_____ 7 am - 7 pm _____	• Saturday:	_____ 9:30 am - 9:30 pm _____
• Sunday:	_____ as permitted _____	• Sunday:	_____ 10 am - 8 pm _____
• Holidays:	_____ as permitted _____	• Holidays:	_____ Varies _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
Construction equipment during construction is anticipated to exceed normal ambient noise levels. Normal operations are not expected to exceed existing ambient noise levels.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
The project will seek to utilize LED fixtures for pole and/or building mounted light fixtures as needed to properly light the northern side of the building which is being modified for the proposed loading docks.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ 2.0 tons per \_\_\_\_\_ month (unit of time)  
 • Operation : \_\_\_\_\_ 2.0 tons per \_\_\_\_\_ month (unit of time)

Estimated for 21,969 SF proposed tenant only

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: Recycle excess or scrap construction materials.  
 \_\_\_\_\_  
 • Operation: Recycle glass, plastics, cardboard, etc.  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Local hauling company and solid waste landfill.  
 \_\_\_\_\_  
 • Operation: Local hauling company and solid waste landfill.  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Highway

ii. If mix of uses, generally describe:

Industrial use to the North; commercial uses on-site and to the east and south; I-87 to the west; forested & wetlands area also exist on-site

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	6.49	6.50	+0.01
• Forested	0.79	0.79	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.20	0.20	0
• Wetlands (freshwater or tidal)	4.72	4.72	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>lawn/landscape areas</u>	0.71	0.70	-0.01

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
Unlimited Care, Inc. approx 1,250' southeast of the site (356 Meadow Ave #1, Newburgh NY 12550) is a home health care service.  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ ±3.0 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

SXC (Swartswood & Mardin Soils)	_____	55.5 %
Ca (Canandaigua Silt Loam)	_____	24.3 %
MdB (Mardin Gravelly Silt Loam)	_____	13.4 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ ±1.5 feet

e. Drainage status of project site soils:

Well Drained: \_\_\_\_\_ % of site

Moderately Well Drained: \_\_\_\_\_ % of site

Poorly Drained: 100 % of site

f. Approximate proportion of proposed action site with slopes:

0-10%: 100 % of site

10-15%: \_\_\_\_\_ % of site

15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters Approximate Size 4.72 Acres
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 Typical Suburban Wildlife \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Indiana Bat

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: Algonquin Park (Local), Cronomer Hill Park (Local), Chadwick Lake Park (Local)  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Local Parks (3)  
 iii. Distance between project and resource: 0.9, 1.4, 2.4 respectively miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

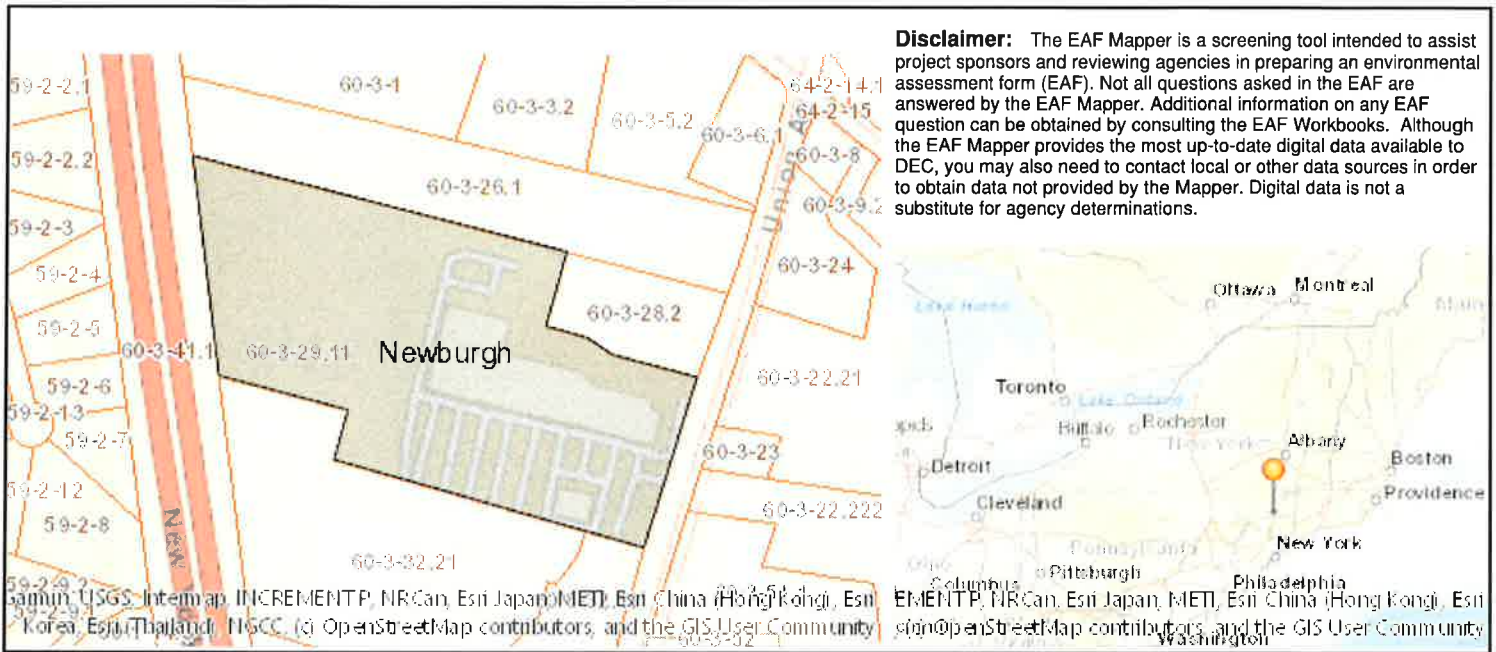
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Justin E. Dates, RLA Date July 9, 2021

Signature  Title Senior Associate, Colliers Engineering & Design





B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Indiana Bat Name]

E.2.p. [Rare Plants or Animals] No

E.3.a. [Agricultural District] No

E.3.c. [National Natural Landmark] No

E.3.d [Critical Environmental Area] No

E.3.e. [National or State Register of Historic Places or State Eligible Sites] Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.3.f. [Archeological Sites] No

E.3.i. [Designated River Corridor] No

June 17, 2021

Mr. Sumeet Desai  
 Project Manager  
 G. William Group, LLC  
 55 Carter Drive, # 104  
 Edison, NJ 08817

Newburgh Towne Center - HomeGoods/WellNow  
 Town of Newburgh, Orange County, New York  
 Colliers Engineering & Design Project No. 18006812B/19005844A

Dear Mr. Desai,

The Newburgh Towne Center is an approximately 145,000 square foot existing shopping center consisting of a Stop-N-Shop Supermarket, Marshal's and other retail stores, AT&T store and an unoccupied bank (former Sterling National Bank).

It is our understanding that a new retail tenant (HomeGoods) is proposed to replace some 22,000 square feet of existing/vacant space with no building additions for this tenant except for a minor modification to the northern building wall for a loading dock. The proposed HomeGoods store will generate traffic similar to the previous uses (similar retail rates) and would be considered a re-occupancy of the existing retail space.

In addition to the proposed HomeGoods replacing existing/vacant space within the multi-tenant building, the existing vacant bank (3,645 square feet) is proposed to be replaced with a WellNow Urgent Care facility (3,515 s.f.).

Based on information provided by the Institute of Transportation Engineers (ITE) as contained in their report entitled "Trip Generation", 10<sup>th</sup> Edition, 2017, the re-occupancy of the existing Bank would generate the following:

Bank with Drive-Thru 3,645 Square Feet	Entry		Exit		Total	
	HTGR	Volume	HTGR	Volume	HTGR	Volume
Weekday Peak AM Hour	7.34	27	7.34	27	14.68	54
Weekday Peak PM Hour	10.03	37	10.03	37	20.06	74
Saturday Peak Hour	13.20	48	13.20	48	26.40	96

Based on ITE Land Use 912 – Bank with Drive-Thru

Based on ITE Trip Generation data, the WellNow Urgent Care facility would generate the following:

WellNow Urgent Care 3,515 Square Feet	Entry		Exit		Total	
	HTGR	Volume	HTGR	Volume	HTGR	Volume
Weekday Peak AM Hour	3.03	11	2.19	7	5.22	18
Weekday Peak PM Hour	2.13	7	2.51	9	4.64	16
Saturday Peak Hour <sup>(1)</sup>	3.03	11	2.19	7	5.22	18

Based on ITE Land Use 630 – Clinic

(1) – The “higher” Weekday Peak AM Hour was utilized for the Saturday Peak Hour

As shown above, the proposed WellNow facility would generate significantly fewer trips than a bank during peak hours. A copy of the ITE Trip Generation Rates are contained in Attachment 1.

As summarized above, the proposed HomeGoods store (replacement of existing/vacant space) would result in similar traffic generation as the previous retail uses and the proposed WellNow facility (replacement of the existing bank) would result in less traffic than the re-occupancy of the existing vacant bank.

Sincerely,

Colliers Engineering & Design



Philip Grealy, Ph.D., P.E.  
Geographic Discipline Leader



Ronald P. Rieman  
Project Manager

# ITE Trip Generation Rates

## Attachment 1

# Drive-in Bank (912)

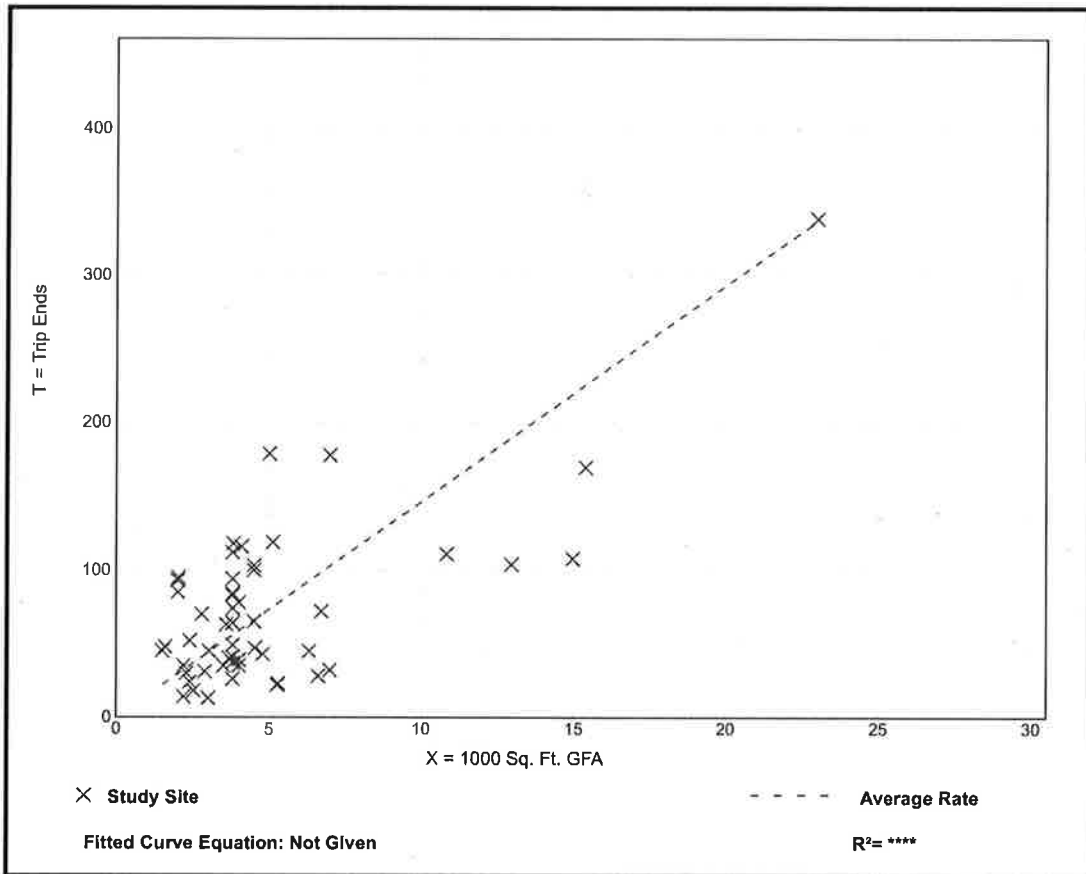
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**AM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 53  
 1000 Sq. Ft. GFA: 5  
 Directional Distribution: 53% entering, 47% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
14.67	4.18 - 47.03	9.06

## Data Plot and Equation



# Drive-in Bank (912)

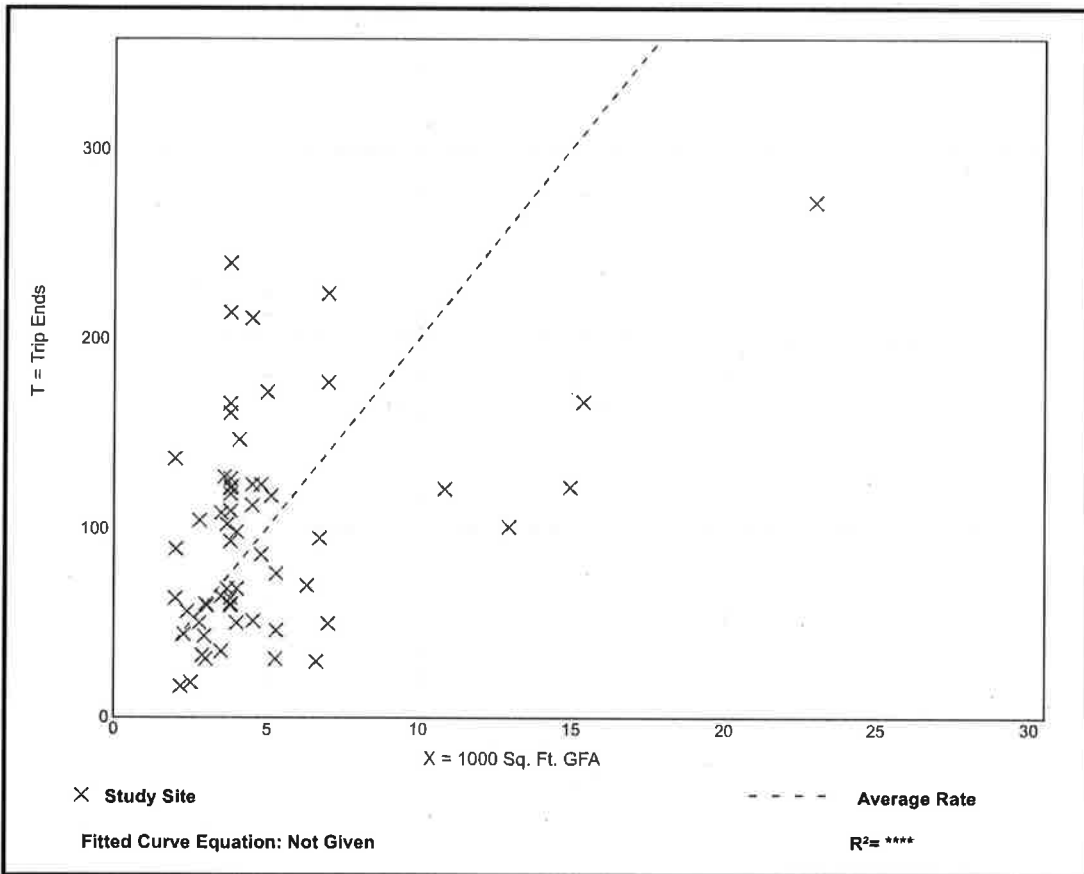
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 59  
 1000 Sq. Ft. GFA: 5  
 Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
20.06	4.54 - 68.50	13.13

## Data Plot and Equation



# Drive-in Bank (912)

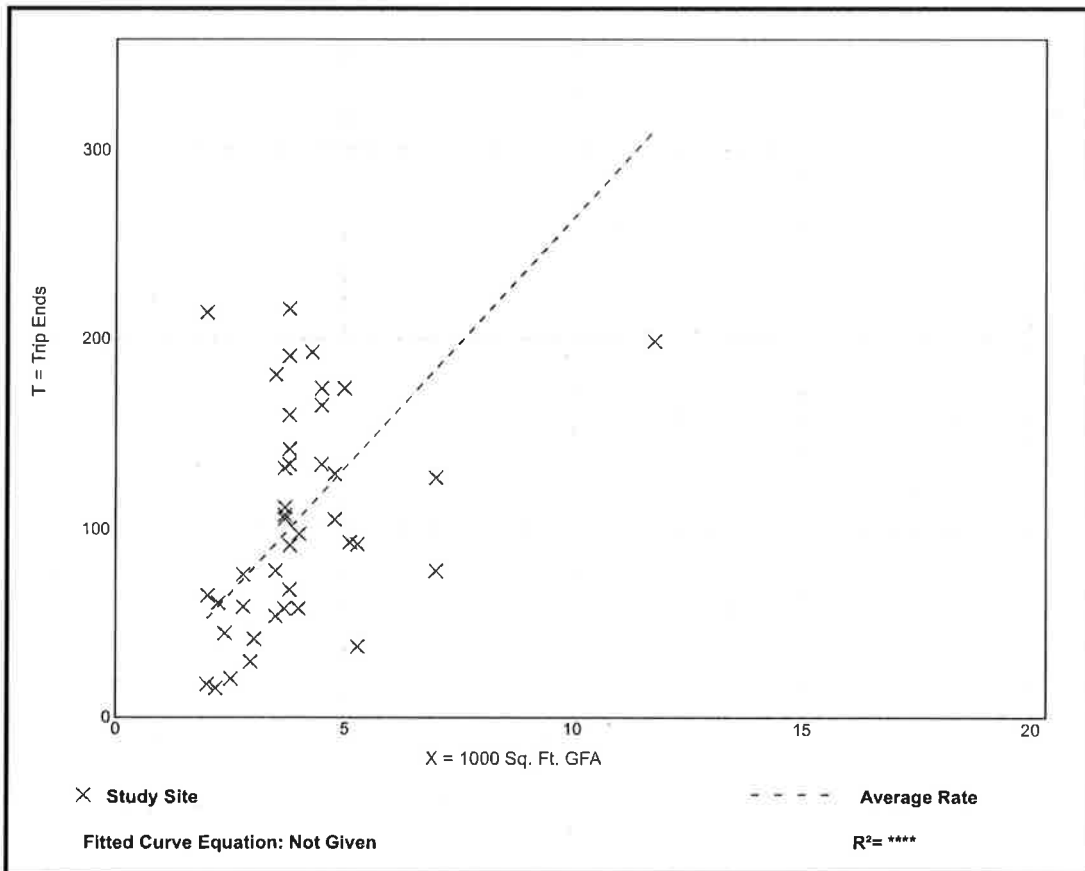
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban  
Number of Studies: 41  
1000 Sq. Ft. GFA: 4  
Directional Distribution: 51% entering, 49% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
26.35	7.18 - 107.00	15.32

## Data Plot and Equation





# Clinic (630)

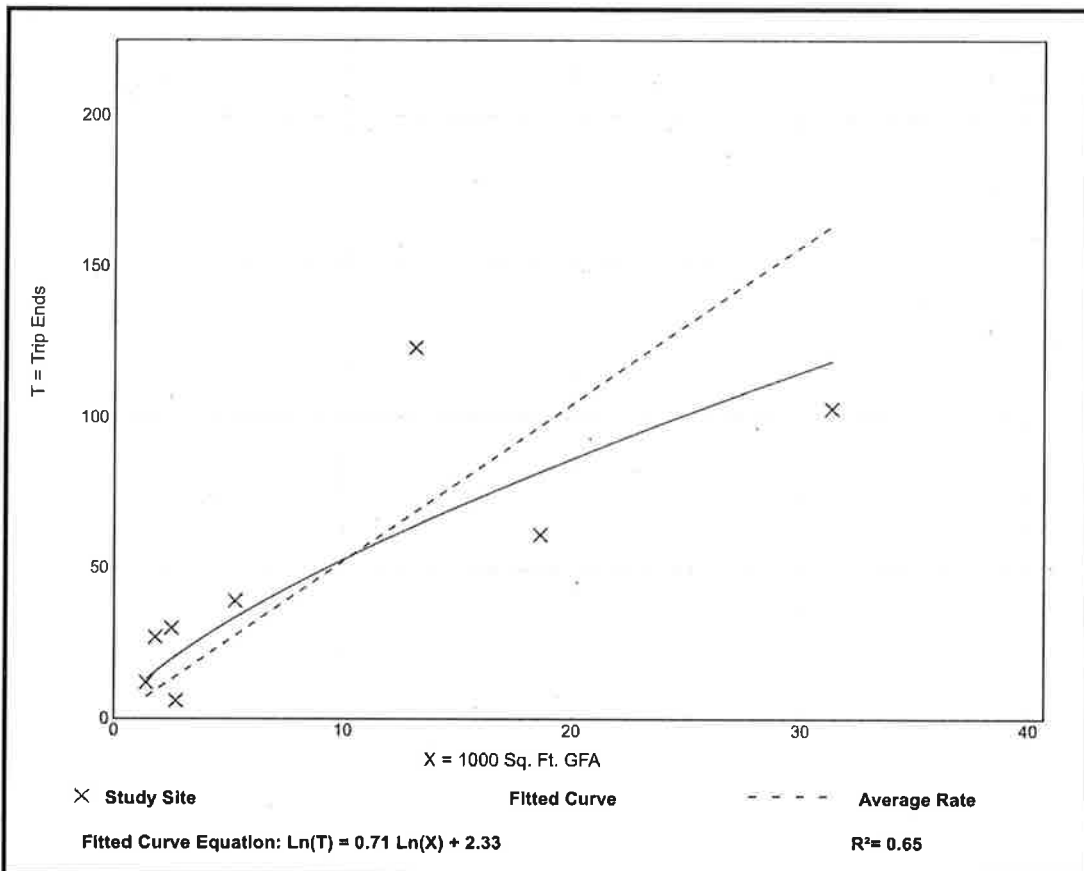
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**AM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 8  
 1000 Sq. Ft. GFA: 10  
 Directional Distribution: 58% entering, 42% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
5.22	2.22 - 15.00	3.37

### Data Plot and Equation



# Clinic (630)

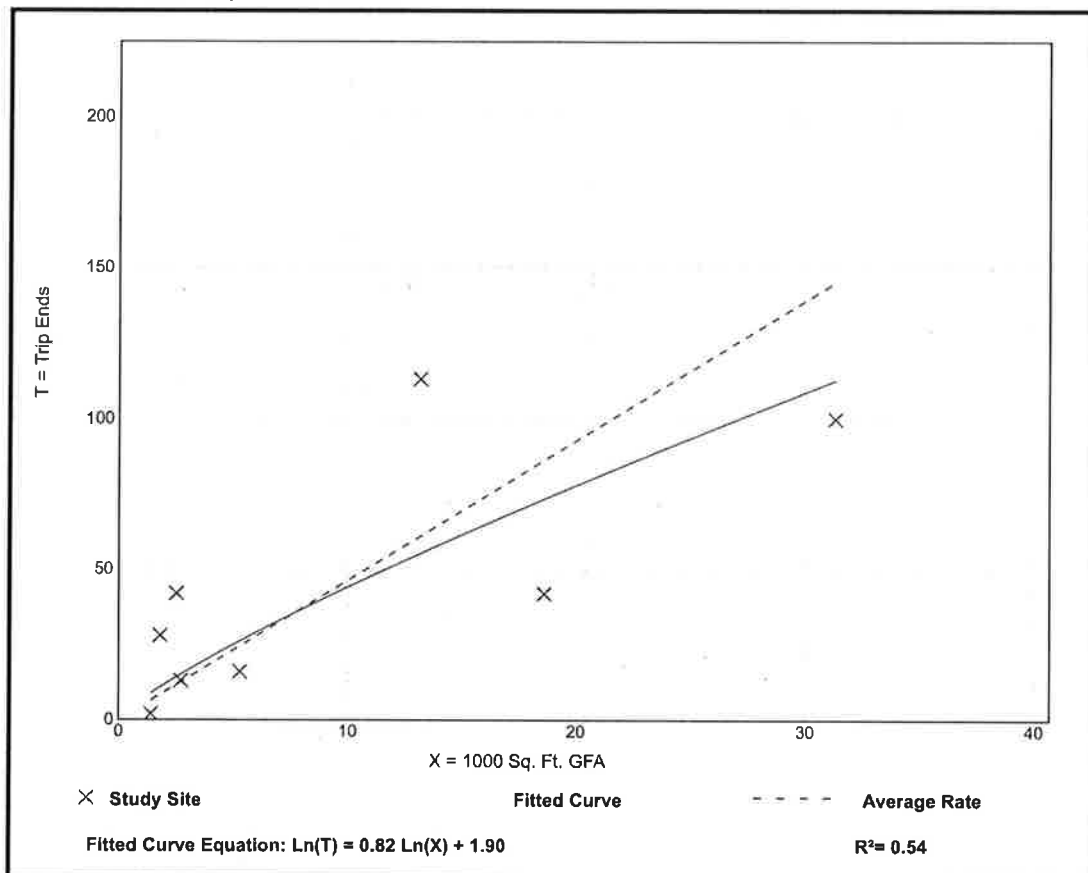
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 8  
 1000 Sq. Ft. GFA: 10  
 Directional Distribution: 46% entering, 54% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.64	1.43 - 16.80	3.84

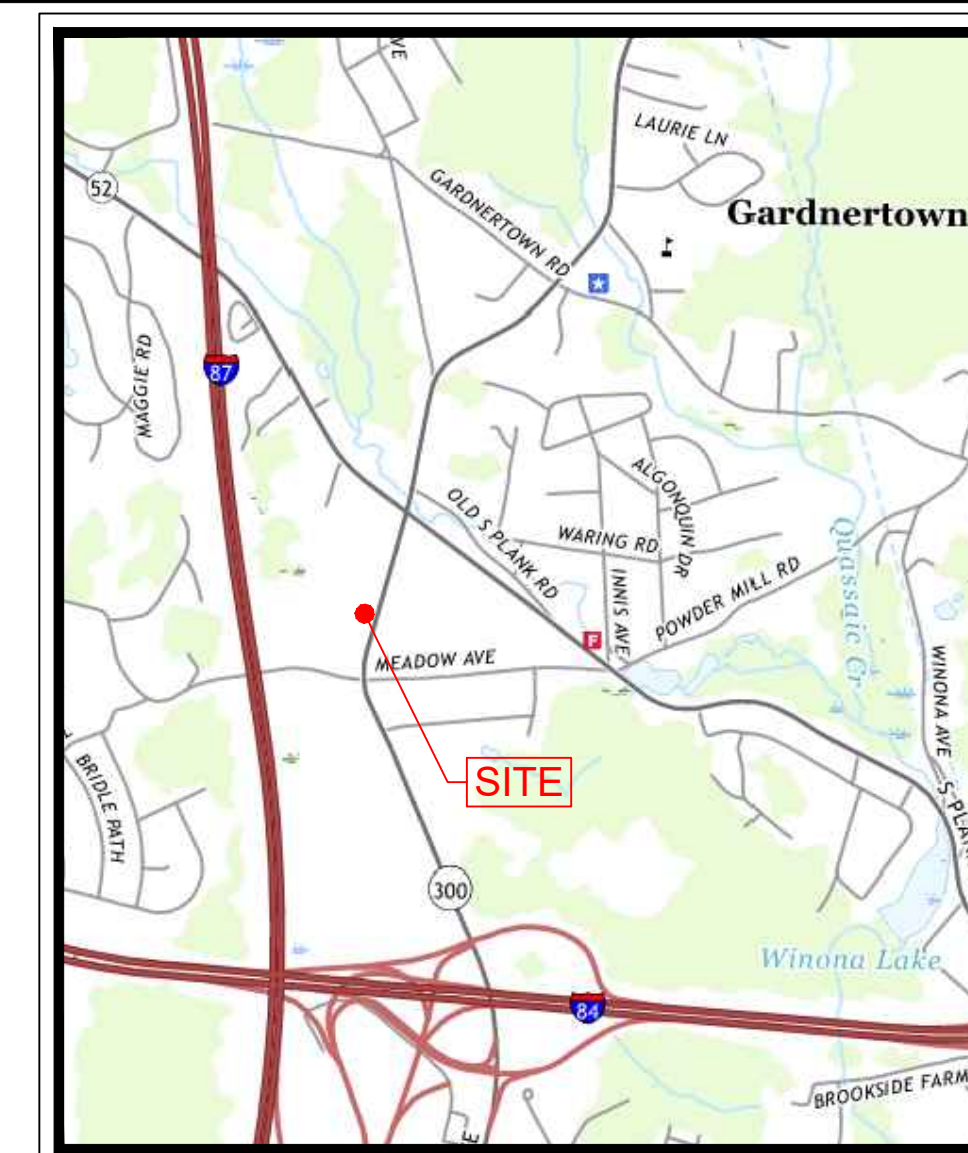
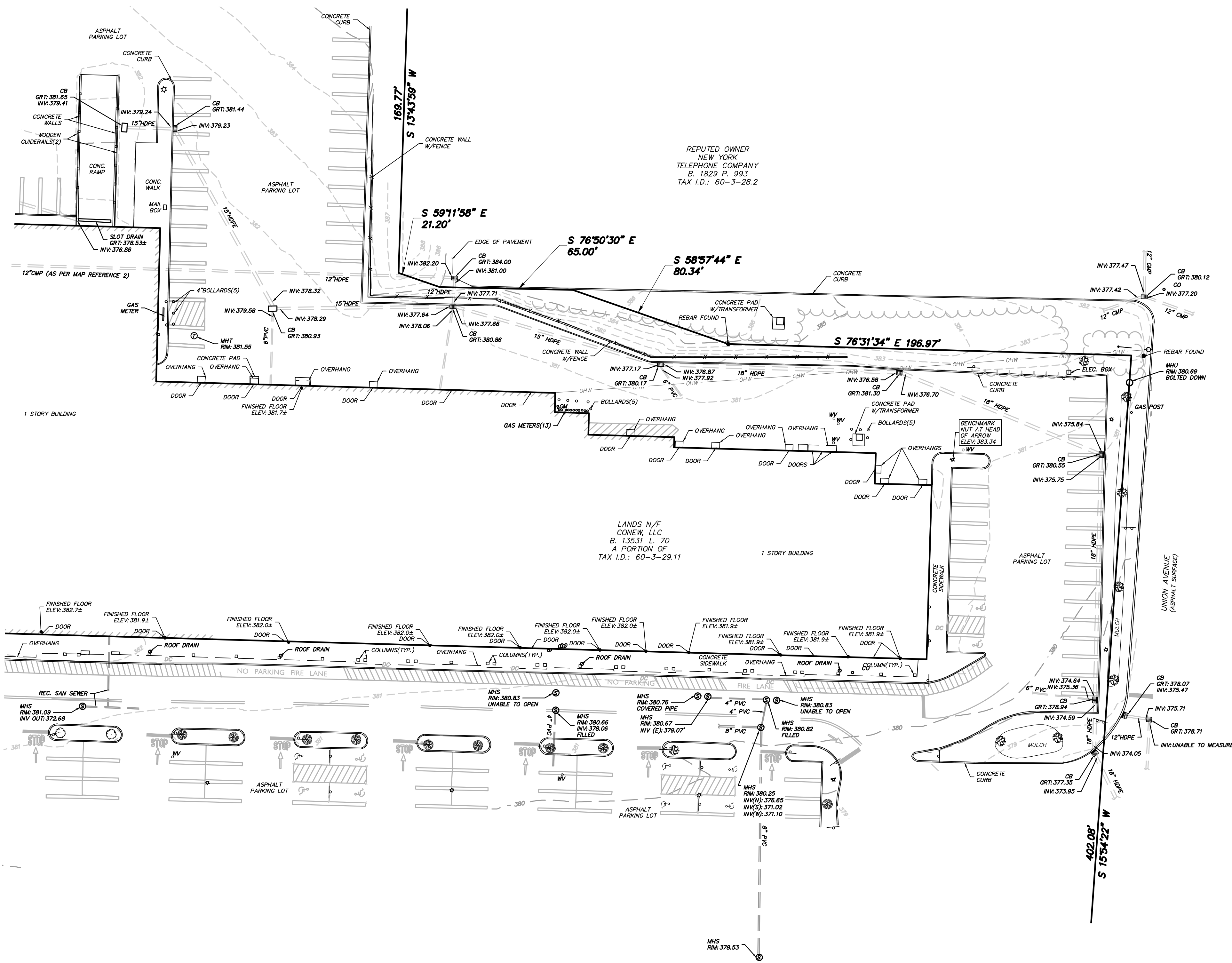
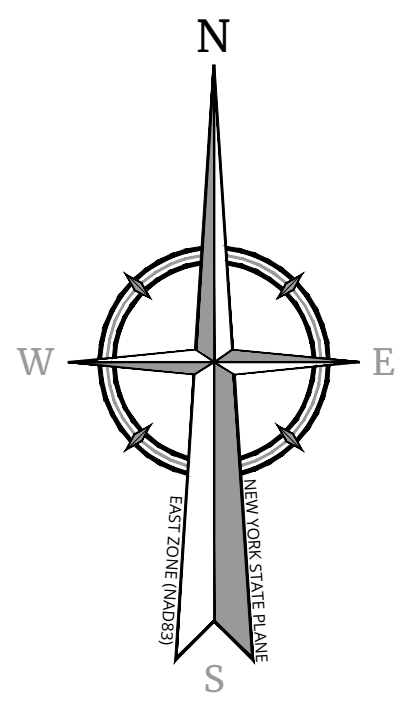
## Data Plot and Equation











VICINITY MAP  
U.S.G.S. QUADRANGLE MAP  
NEWBURGH, NY  
USGS

**Colliers**

Engineering & Design

www.colliersengineering.com

Copyright © 2021, Colliers Engineering & Design. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the service was contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

Doing Business as **MASER**

**811** PROTECT YOURSELF  
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.  
Know what's below.  
Call before you dig.  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV.	DATE	DRAWN BY	DESCRIPTION

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.  
ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

**Donald Philip Schel**  
NEW YORK LICENSED LAND SURVEYOR  
LICENSE NUMBER 050820  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A. # 0017608

**PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY**  
FOR  
**NEWBURGH TOWNE CENTER**

SECTION 60  
BLOCK 3  
LOT 29.11

TOWN OF NEWBURGH  
COUNTY OF ORANGE  
STATE OF NEW YORK

**Colliers** NEWBURGH  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Engineering & Design COLLIERS ENGINEERING & DESIGN CT, P.C.  
DOING BUSINESS AS MASER CONSULTING ENGINEERING & LAND SURVEYING

SCALE: AS SHOWN DATE: 05/19/2021 DRAWN BY: JHM CHECKED BY: DPS  
PROJECT NUMBER: 180068128 DRAWING NAME: V-SURV

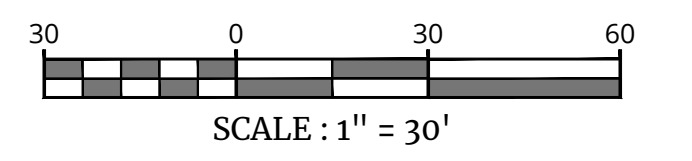
**PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY**

**LEGEND**

12+00	TRAVERSE LINE, CENTER LINE OR BASELINE	WETLAND MARKER
13+00	RIGHT OF WAY LINE	TREE
	PROPERTY LINE	ROADWAY SIGNS
	EDGE OF PAVEMENT	TRAFFIC FLOW
FACE	CURB LINE	MAILBOX
D.C. BACK	DEPRESSED CURB	TRAFFIC SIGNAL POLE
	CHAIN FENCE	POLE MOUNTED LIGHT
	EDGE OF WATER	UTILITY POLE
	MUNICIPAL BOUNDARY	GUY WIRE
	TREELINE	TRANSFORMER
	ELECTRICAL MANHOLE	FIRE DEPT. CONNECTION
	WATER MANHOLE	FIRE HYDRANT
	TELEPHONE MANHOLE	WATER VALVE
	UNMARKED MANHOLE	GAS VALVE
	SANITARY MANHOLE	SANITARY CLEANOUT
	DRAINAGE MANHOLE	CONCRETE MONUMENT
	MAJOR CONTOUR	CAPPED REBAR/IRON PIPE
	MINOR CONTOUR	STORM INLET TYPE "A"
x G 29.0	SPOT ELEVATION	STORM INLET TYPE "B"
x TC 29.0	TOP OF CURB ELEV.	STM. DBL. INLET TYPE "D"
x BC 29.0	BOTTOM OF CURB ELEV.	STORM INLET TYPE "E"
CATV	U/G CABLE TV LINE	STM. DBL. INLET TYPE "E"
FO	U/G FIBER OPTIC LINE	FLARED END SECTION
T	U/G TELEPHONE LINE	HEADWALL
E	U/G ELECTRIC LINE	
OHW	OVERHEAD WIRE	
W	WATER MAIN	
G	GAS MAIN	
S	SAN. SEWER LATERAL	
SM	SAN. SEWER MAIN	
SP	STORM PIPE	

**ABBREVIATIONS**

D.C. = DEPRESSED CURB	FT = FINISH FLOOR	MHWL = MEAN HIGH WATERLINE
BC = BOTTOM OF CURB	UV = UNKNOWN VALVE	MLWL = MEAN LOW WATERLINE
TC = TOP OF CURB	MH = MANHOLE	ML = MEAN LOW
BOL = BOLLARD	DBP = DEPRESSED WATERLINE	CL = CENTERLINE
GR = GRATE	CL = CENTERLINE	TW = TOP OF WALL
MB = MAILBOX	PM = PARKING METER	BW = BOTTOM WALL



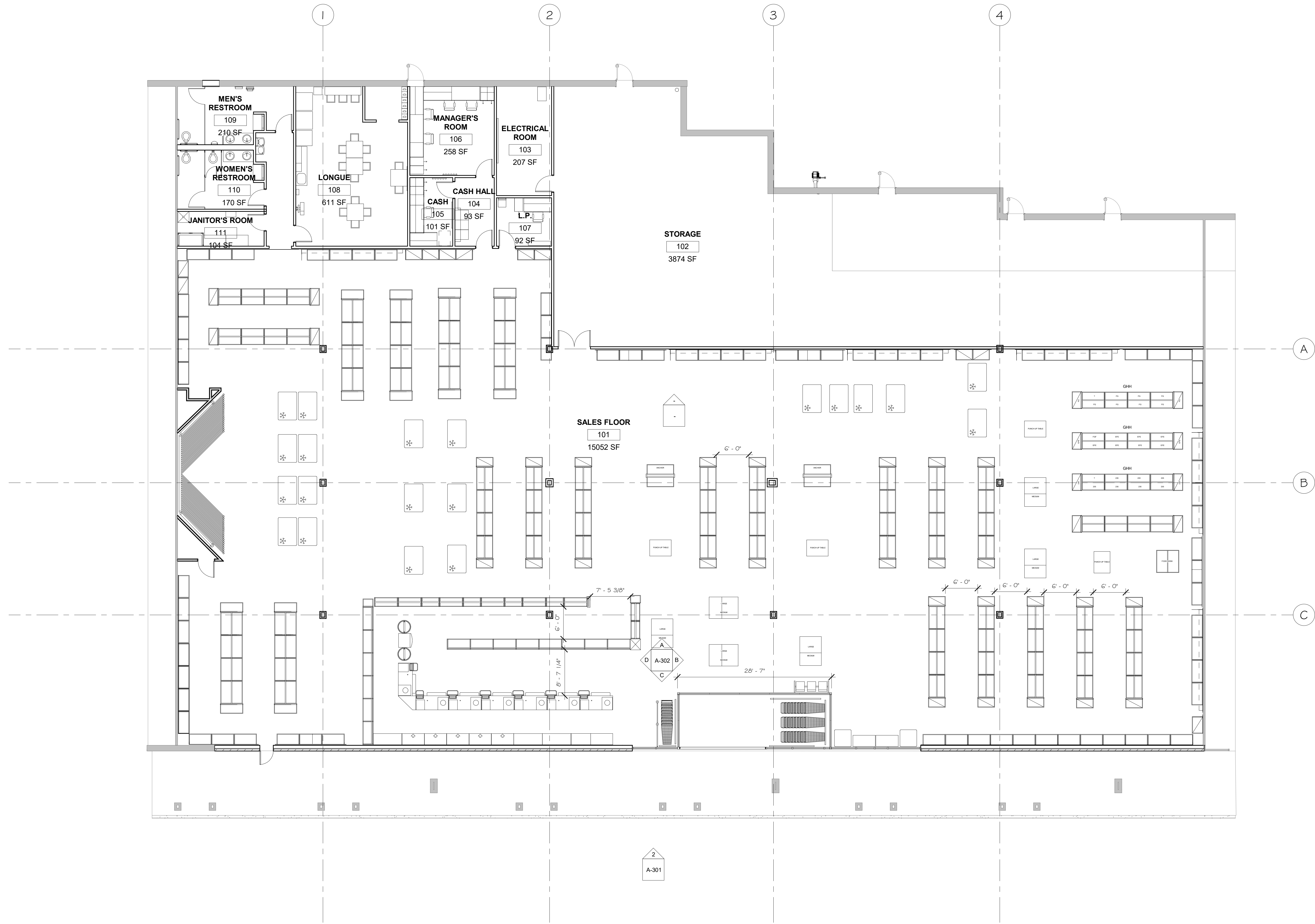
- GENERAL NOTES:**
- UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
  - THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES, ARE FOR A SPECIFIC PURPOSE AND USE; THEREFORE, THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR ANY OTHER IMPROVEMENTS.
  - EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY.
  - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.
  - SUBJECT TO ANY STATE OF FACTS AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
  - BASIS OF BEARING IS NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE. CONTROL WAS ESTABLISHED USING NYSNET VRS SYSTEM. THE HORIZONTAL DATUM IS RELATIVE TO NAD83.
  - THE VERTICAL POSITION OF THE HEREIN SURVEY IS BASED ON THE NYSNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- MAP REFERENCES:**
- MAP ENTITLED "SURVEY OF 1437 ROUTE 300, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK", PREPARED BY KC ENGINEERING AND LAND SURVEYING, P.C., DATED 12/22/14.
  - MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY OF NEWBURGH TOWNE CENTER, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK", PREPARED BY KC ENGINEERING AND LAND SURVEYING, P.C., DATED 12/14/12.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



THESE DOCUMENTS ARE PROPRIETARY AND OWNED BY MBARCHITECTURE # DESIGN, LLC OR ITS AFFILIATED ENTITIES. ANY USE OR REPRODUCTION OF THESE DOCUMENTS OR THE INFORMATION CONTAINED THEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF MBARCHITECTURE # DESIGN IS STRICTLY PROHIBITED.

CONSULTANTS



① FIXTURE PLAN  
 1/8" = 1'-0"

ADD ALTERNATE	
G.C.	TO PROVIDE PRICING FOR RE-ROOFING THE EXISTING ROOF AS WELL AS INSTALLING NEW ROOFING ON THE EXPANSION.

KEY NOTES	
SYMBOL	NOTES
①	HATCHED AREA REPRESENTS NEW ROOFING. FIRESTONE FULLFORCE EPDM MEMBRANE ROOFING ASSEMBLY. SEE DETAILS AND NOTES ON SHEET A-304 FOR ADDITIONAL INFORMATION. ROOF TO HAVE AN R-VALUE OF 30
②	EXISTING BROKEN DOWN SPOUT TO BE REPLACED. NEW DOWN SPOUT SIZE TO MATCH EXISTING TO ENSURE PROPER DRAINAGE IS MAINTAINED.
③	APPROXIMATE LOCATION OF EXISTING DOWN SPOUTS AND SCUPPERS FOR REFERENCE. DOWN SPOUTS AND SCUPPERS TO REMAIN UNDISTURBED U.N.O.
④	SEE ENGINEERING DRAWINGS FOR NEW DOWN SPOUT AND SCUPPER SIZES AND LOCATIONS
⑤	LOADING DOCK ROOF ASSEMBLY TO MATCH EXPANSION ROOFING. DOCK ROOFS TO PITCH TOWARDS BOTTOM LEFT CORNER OF THE DOCK TO A DOWN SPOUT. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. SLOPE AT DOCK ROOF TO BE ADDRESSED IN INSULATION WHILE MAINTAINING AN R-VALUE OF 30
⑥	IN THE AREA WHERE THE NEW ROOF AND THE EXISTING ROOF MEET, ROOFS ARE TO BE THE SAME HEIGHT AND PITCH TO ENSURE NO WATER CAN ACCUMULATE AND PROPER DRAINAGE TO THE SCUPPERS AND DOWN SPOUTS IS MAINTAINED
⑦	ROOF OVER THE EXISTING PARAPET TO ENSURE NO WATER INFILTRATION INTO THE SPACE.
⑧	---
⑨	---

PROFESSIONAL LICENSE NUMBER  
 NY-20198  
 EXPIRATION DATE: 1/03/22

VERSIONS		
NO.	DATE	DESCRIPTION
XX.XX.XXXX		ISSUE NAME

PROJECT

1431 ROUTE 300  
 NEWBURGH, NY 12550

SHEET TITLE

FIXTURE PLAN

SQUARE FT.	DRAWN BY
21,888	TJP
SCALE	CHECKED BY
AS NOTED	MB
SHEET NO.	PROJECT #
	21-033

A-161