



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: SHOPPES AT UNION SQUARE PHASE III
PROJECT NO.: 23-16
PROJECT LOCATION: 1217 & 1219 ROUTE 300
SECTION 96, BLOCK 1, LOT 6.2 & 11.11
REVIEW DATE: 9 OCTOBER 2024
MEETING DATE: 17 OCTOBER 2024
PROJECT REPRESENTATIVE: KARC PLANNING CONSULTANTS

1. The two access drives to the site require NYSDEC Article 15 Stream Crossing Permits.
2. Confirmation that the Orange Lake Fire District comments have been addressed should be received from the Fire District.
3. The project now proposes a subdivision. Access and maintenance agreements will be required between the newly created lots for the internal access drive from the existing shopping center use to the proposed self-storage facility.
4. The Tree Survey has been prepared utilizing sample plots identify the significant trees. Sample plots have been extrapolated to identify a 74.96% removal of significant trees within the parcel. Details of the tree protection fencing from planting and other details from the Tree Preservation Ordinance should be added to the Tree Preservation Plan.
5. Note the percent removal of specimen trees in the Specimen Tree Chart.
6. Tree Preservation Note #4 should be completed.
7. A note has been placed on the plans that tree removal shall occur between November 1st and March 31st.
8. A City of Newburgh Flow Acceptance letter is required. Calculations for the hydraulic loading from the site should be provided by the applicant's representative for submission to the City of Newburgh.
9. A Stormwater Facilities Maintenance Agreement must be executed with the Town of Newburgh for operation and maintenance of stormwater improvements depicted on the new lot.
10. Health Department approval for water main extension with hydrants is required.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

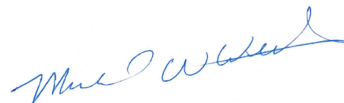
11. Sediment traps are depicted on the Erosion and Sediment Control Plan. Sizing of the temporary sediment traps should be identified based on tributary area.
12. Concrete wash out areas should be depicted on the Erosion and Sediment Control Plan.
13. Confirm that all lighting is dark sky compliant. It is noted that fixture mounting height for pole mounted lights are 20 feet high.
14. Calculations supporting the culvert sizing of the two stream crossings should be provided.
15. Confirmation as to the invert elevation for Manhole #15, the proposed sanitary sewer connection manhole, should be provided. Current plans identify "invert inaccessible".
16. The fire flow water/potable water connection to the climate controlled building should be detailed per the town standard detail where potable water is terminated in fire flow water is terminated. Detail attached.
17. The plans identify an 8 inch PVC sewer lateral. Hydraulic loading from the building should be identified to support the 8 inch sanitary sewer proposed.
18. A detail of the proposed sanitary sewer connection to the existing manhole should be provided. Core drilling with a link seal is the only approved method for connecting to existing town manholes.
19. Limits of disturbance should be identified on the plans. A limit of disturbance line is depicted. Calculated limit of disturbance should be provided.
20. Infiltration testing for all stormwater basins should be provided. Details of the proposed fill within the infiltration basins should be evaluated. Existing grades within the infiltration basin are below proposed bottom of basin.
21. The applicant's representative are asked to evaluate the placement of sediment traps in areas proposed for long term water quantity and quality control. Areas for infiltration basins should not be impacted during construction.
22. Each of the outlet control structures have grate elevations above the emergency spillway elevations.

Respectfully submitted,

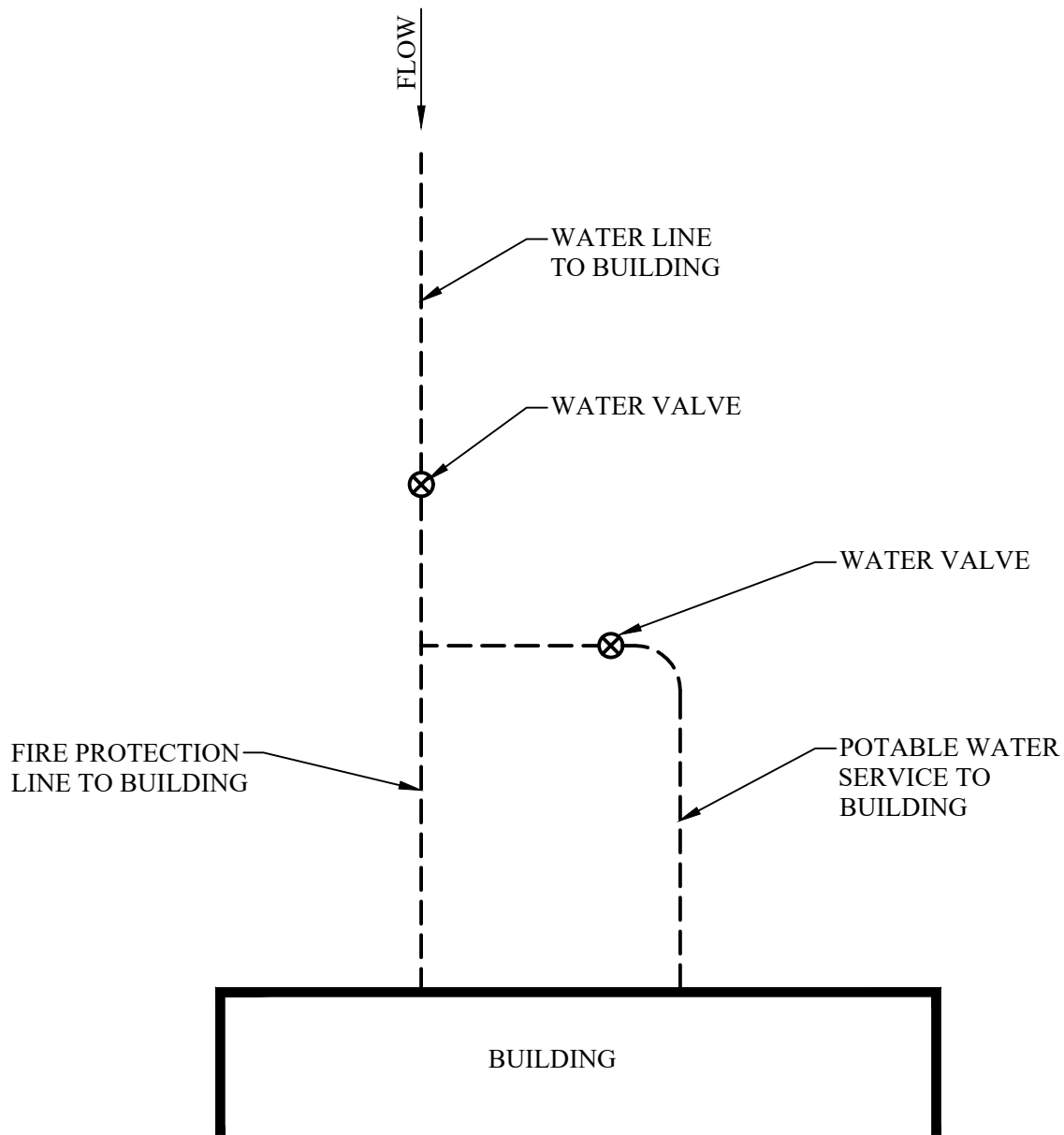
MHE Engineering, D.P.C.



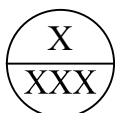
Patrick J. Hines
Principal
PJH/kbw



Michael W. Weeks, P.E.
Principal



NOTE:
VALVING MUST BE ARRANGED SO THAT
POTABLE WATER IS TERMINATED IF
FIRE PROTECTION LINE IS TURNED OFF.



TOWN OF NEWBURGH FIRE PROTECTION FLOW TO BLDG. CONNECTION DETAIL

SCALE: N.T.S.

July 14, 2023

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board & Members
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

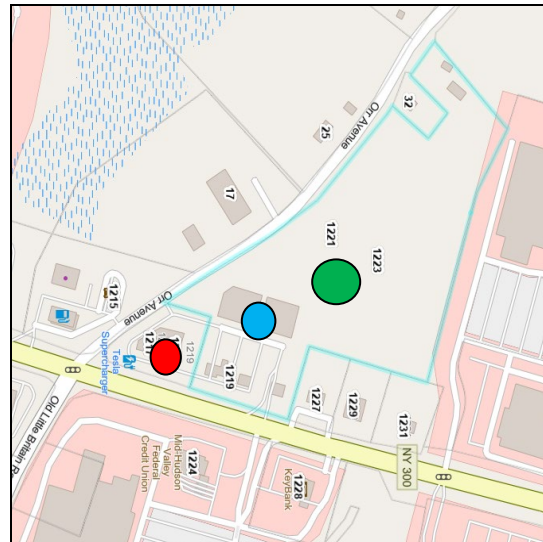
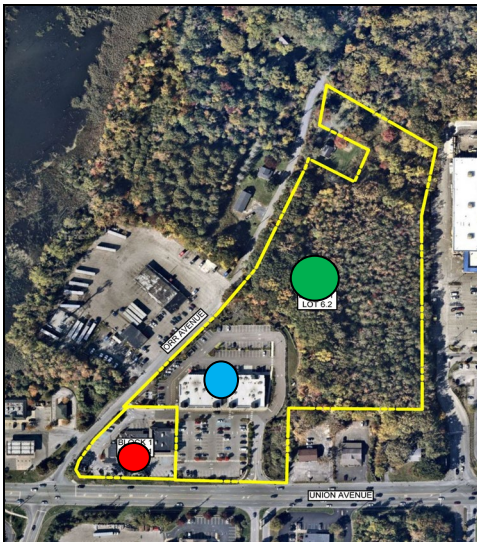
RE: 1217 & 1219 NYS Route 300
Parcel ID# 96-1-6.2 & 96-1-11.1
Newburgh Shoppes Phase III
Conceptual Site Plan Application

Chairman Ewasutyn and Planning Board Members,

We represent the owner of the Shoppes at Union Square located at 1217 & 1219 NYS Route 300 in the I-B District. The Parcels are identified as 96-1-6.2 and 96-1-11.1 and are collectively 11.40 acres in total.

We are seeking an amended Site Plan Approval for Phase III which proposes the construction of ten (10) self-storage buildings and all associated site improvements.

If you recall, Phase I of this property included the approval of Cosimo's Restaurant and associated parking. Phase II of this property was approved for additional commercial retail spaces.



PHASE I
PHASE II
PHASE III

Phase I

Phase II



A Negative Declaration for this property was issued on October 16, 2008 and filed with the Clerk on December 4, 2008. The project that was included as part of this review included all three phases totaling 66,000sf of retail space. We have included an amended Full Environmental Assessment Form dated July 14, 2023 with this application to address the work proposed for Phase III. An analysis has also been prepared to show that Phase III will not promote or produce any adverse impacts to the environment, like in previous Phases.

NEGATIVE DECLARATION TOWN OF NEWBURGH PLANNING BOARD	
THE SHOPS AT UNION SQUARE	
<p>Determination: Please take notice that, according to the provisions of 6NYCRR, Part 617.7, the Town of Newburgh Planning Board, as lead agency, having reviewed and considered an environmental assessment form and plans for the proposed uses, has determined that the actions as cited and described below will not have an adverse impact on the environment and the Planning Board has, therefore, adopted a resolution to this effect.</p>	
Lead Agency:	Town of Newburgh Planning Board
Contact Person:	Mr. John P. Ewasutyn, Chairman Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550 (845) 564-7804
SEQRA Status:	Unlisted, Planning Board became lead agency as of June 21, 2007
Location:	Corner of Union Avenue and Orr Avenue
Tax Map Parcel:	95-1-36, 95-1-37.2, 96-1-7, 96-1-8, 96-1-9
Action:	Site Plan for 66,000 square feet of retail space
<p>Project Description, Background and Reasons Supporting the Negative Declaration:</p> <p>The applicant proposes the development of 11.8 acres of land at the northeast corner of the intersection of Union Avenue and Orr Avenue. The site is zoned IB and will be serviced by municipal sewer and water. The project will consist of development of approximately 66,000 square feet of retail space and restaurants, with a cell phone store and restaurant currently residing at the corner of the intersection of Orr Ave. and Union Ave. The applicant has approximately 440 parking spaces proposed and a bus stop on site. There will be sidewalks throughout the site and it will be connected to the adjoining Lowe's site for vehicular and pedestrian access.</p> <p>Storm drainage will be addressed on site, with detention ponds for water quality and quantity. There is a stream throughout the site, and the applicant will make any mitigation measures necessary to ensure the environmental quality of this stream and the rest of the site.</p> <p>This Negative Declaration is based upon an evaluation of the information provided and site improvements proposed by the applicant and Town of Newburgh Planning Board. Impacts and their mitigation are discussed as follows.</p>	

The current total project area to be disturbed (approx. 6.0 acres) is currently vacant but forested with an existing ACOE stream that runs through the property and eventually drains into Lake Washington. The Negative Declaration issued in 2008 contemplated 11.8 acres of disturbance. In response to the Negative Declaration issued in 2008, the Applicant had proposed and has carried out several mitigation measures to ensure the water was protected and will continue to do so during Phase III. There continues to be no impacts or encroachment into this stream.

Access to the site will be from Orr Avenue, which intersects NYS Route 300 at the northwest corner of the property. Per the Negative Declaration issued in 2008 for Phases I & II, a new traffic signal and lane widening was required at the entrance drive to handle the additional trips. This has since been installed and continues to act as the mitigation measure for potential traffic impacts in Phase III. In 2008, The Town Engineer and DOT representative also determined that air pollution would not be significantly increased by the additional trips generated, nor would traffic levels (noise). As a storage facility Use in Phase III, we do not anticipate the overall traffic and/or noise levels will have any significant increases in trips or impacts.

It was previously determined that there are no threatened or endangered species on the site and has never had agricultural activity. Finally, it was confirmed that there are no archaeological or historical resources of any significance on the site.

Enclosed please find fourteen (14) copies for the Planning Board and one (1) copy for the Town Engineer of the following documents for review:

1. Site Plan Application Package dated July 14, 2023
2. Full Environmental Assessment Form dated July 14, 2023
3. Phase III Concept Plan prepared by Langan Engineering amended January 30, 2023
4. Prior approved Site Plans prepared by Langan Engineering dated December 18, 2018 and signed by Chair on February 4, 2019.
5. Fees:
 - a. Application = \$12,790.00
 - b. Escrow = \$1,000.00

We look forward to discussing this at the next Planning Board meeting.

Thank you.

Sincerely,



Kelly Libolt, Agent for Applicant

TOWN OF NEWBURGH PLANNING BOARD

**APPLICATION PACKAGE
for
SUBDIVISIONS,
SITE PLANS,
LOT LINE CHANGES
And
SPECIAL EXCEPTION USE PERMITS**

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Newburgh Shoppes Phase III

2. Owner of Lands to be reviewed:

Name	N&N Union, LLC / CPK Union, LLC
Address	1089 Little Britain Rd. New Windsor, NY 12553
Phone	c/o 845-594-1055

3. Applicant Information (If different than owner):

Name	same as above
Address	
Representative	Kelly Libolt, Agent for Applicant
Phone	845-594-1055
Fax	
Email	kelly@karcpc.com

4. Subdivision/Site Plan prepared by:

Name	Langan Engineering, DPC
Address	300 Kimball Drive Parsippany, NJ 07054
Phone/Fax	973-560-4900

5. Location of lands to be reviewed:

1217 & 1219 Route 300, Newburgh

6. Zone	IB	Fire District	Newburgh
Acreage	11.40 combined	School District	Newburgh

7. Tax Map: Section 96 **Block** 1 **Lot** 6.2 & 11.1

8. Project Description and Purpose of Review:

Number of existing lots 2 Number of proposed lots 2

Lot line change _____

Site plan review Site Plan Amendment - Change of Use

Clearing and grading _____


Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Nicolas Dibrizzi, Owner

Date: July 14, 2023

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Newburgh Shoppes Phase III

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. ☒ Environmental Assessment Form As Required
2. ☒ Proxy Statement
3. ☒ Application Fees
4. ☒ Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda.

Non-submittal of the checklist will result in application rejection.

1. ____ Name and address of applicant
2. ____ Name and address of owner (if different from applicant)
3. ____ Subdivision or Site Plan and Location
4. ____ Tax Map Data (Section-Block-Lot)
5. ____ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. ____ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ____ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. ____ Date of plan preparation and/or plan revisions
9. ____ Scale the plan is drawn to (Max 1" = 100')
10. ____ North Arrow pointing generally up

To be completed upon further development of Concept Plan.

- 11.____ Surveyor,s Certification
- 12.____ Surveyor's seal and signature
- 13.____ Name of adjoining owners
- 14.____ _Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
- 15.____ Flood plain boundaries
- 16.____ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
- 17.____ Metes and bounds of all lots
- 18.____ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
- 19.____ Show existing or proposed easements (note restrictions)
- 20.____ Right-of-way width and Rights of Access and Utility Placement
- 21.____ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
- 22.____ Lot area (in sq. ft. for each lot less than 2 acres)
- 23.____ Number of lots including residual lot
- 24.____ Show any existing waterways
- 25.____ A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
- 26.____ Applicable note pertaining to owners review and concurrence with plat together with owner's signature
- 27.____ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
- 28.____ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
- 29.____ Show topographical data with 2 or 5 ft. contours on initial submission

- 30.____ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.____ If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32.____ Number of acres to be cleared or timber harvested
- 33.____ Estimated or known cubic yards of material to be excavated and removed from the site
- 34.____ Estimated or known cubic yards of fill required
- 35.____ The amount of grading expected or known to be required to bring the site to readiness
- 36.____ Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____

- 37.____ Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____

- 38.____ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: KLibolt Kelly Libolt, Agent for Applicant
~~—Licensed Professional—~~

Date: July 14, 2023

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): July 14, 2023

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: N&N Union LLC / CPK Union, LLC

Name of owner on premises: N&N Union, LLC / CPK Union, LLC

Address of owner: 1089 Little Britain Rd., New Windsor, NY 12553

Telephone number of owner: c/o 845-594-1055

Telephone number of applicant: c/o 845-594-1055

State whether applicant is owner, lessee, agent, architect, engineer or contractor:
Owner

Location of land on which proposed work will be done: 1217 & 1219 NYS Route 300

Section: 96 **Block:** 1 **Lot:** 6.2 & 11.1 **Sub. Div.:** _____

Zoning District of Property: IB **Size of Lot:** 11.40 combined

Area of lot to be cleared or graded: approximately 7.48 acres

Proposed completion of date: December 2023

Name of contractor/agent, if different than owner: Kelly Libolt, Agent for Applicant

Address: PO Box 924, Poughkeepsie, NY 12602

Telephone number: 845-594-1055

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ **Date:** July 14, 2023

Signature of applicant (if different than owner): KLibolt Agent for Applicant

TOWN ACTION:

Examined: _____ **20** _____

Approved: _____ **20** _____

Disapproved: _____ **20** _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Nicolas Dibrizzi, Owner

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

July 14, 2023

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Nicolas DiBrizzi, **DEPOSES AND SAYS THAT HE/SHE**
RESIDES AT 27 Anchor Drive, Newburgh
IN THE COUNTY OF Orange
AND STATE OF New York
AND THAT HE/SHE IS THE OWNER IN FEE OF 1217 & 1219 NYS Route 300

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND KARC Planning Consultants, Inc. & Langan Engineering **IS AUTHORIZED**
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: July 14, 2023



OWNERS SIGNATURE

Kelly Libolt, Agent for Applicant

Nicolas DiBrizzi

OWNERS NAME (printed)

Jereme Secaras, Project Engineer



WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

Amy Argyrakis

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

July 14, 2023

DATED

Nicolas Dibrizzi, Owner

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X **NONE**

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

 TOWN BOARD
 X **PLANNING BOARD**
 ZONING BOARD OF APPEALS
 ZONING ENFORCEMENT OFFICER
 BUILDING INSPECTOR
 OTHER


July 14, 2023

DATED

Nicolas DiBrizzi

INDIVIDUAL APPLICANT

CORPORATE OR PARTNERSHIP APPLICANT

BY: 
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: N&N Union LLC / CPK Union, LLC
1089 Little Britain Rd., New Windsor, NY 12553

Description of the proposed project: Newburgh Shoppes Phase III

Location of the proposed project: 1217 & 1219 NYS Route 300

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: N/A

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.



APPLICANT'S SIGNATURE

July 14, 2023

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

To be provided upon further development of Concept Plan

DATE: July 14, 2023

NAME OF PROJECT: Newburgh Shoppes Phase III

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:


Color: _____

Material: _____

Square footage of signage of site: _____

Nicolas Dibrizzi, Owner

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need): <div style="text-align: right; padding-top: 100px;">APPENDIX 'A'</div>		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☐ No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☐ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☐ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☐ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned
or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☐ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify:	

iii. If other than water, identify the type of impounded/contained liquids and their source.	

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.	

iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	

v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input type="checkbox"/> No	
APPENDIX 'B'	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes ☐ No ☐
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No ☐
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☐ No ☐
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No ☐
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐
- Do existing lines serve the project site? ☐ Yes ☐ No ☐

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No ☐
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No ☐
If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐ Yes ☐ No ☐
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No ☐
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____ _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or _____ acres (impervious surface) _____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____ _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☐ No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☐ No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site			
a. Existing land uses. i. Check all uses that occur on, adjoining and near the project site. <input type="checkbox"/> Urban <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Rural (non-farm) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ ii. If mix of uses, generally describe: _____ _____			
b. Land uses and coverytypes on the project site.			
Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

<p>c. Is the project site presently used by members of the community for public recreation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>i. If Yes: explain: _____</p>	
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes,</p> <p>i. Identify Facilities: _____</p> <p>_____</p>	
<p>e. Does the project site contain an existing dam? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p>ii. Dam's existing hazard classification: _____</p> <p>iii. Provide date and summarize results of last inspection: _____</p> <p>_____</p>	
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Has the facility been formally closed? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <p>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____</p> <p>_____</p> <p>iii. Describe any development constraints due to the prior solid waste activities: _____</p> <p>_____</p>	
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____</p> <p>_____</p>	
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> <p>ii. If site has been subject of RCRA corrective activities, describe control measures: _____</p> <p>_____</p> <p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, provide DEC ID number(s): _____</p> <p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): APPENDIX 'C'</p> <p>_____</p> <p>_____</p>	

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %	APPENDIX 'D'
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained: _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features. <ul style="list-style-type: none"> i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No ii. Do any wetlands or other waterbodies adjoin the project site? APPENDIX 'E' <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <ul style="list-style-type: none"> iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway?	APPENDIX 'F' <input type="checkbox"/> Yes <input type="checkbox"/> No
j. Is the project site in the 100-year Floodplain?	<input type="checkbox"/> Yes <input type="checkbox"/> No
k. Is the project site in the 500-year Floodplain?	<input type="checkbox"/> Yes <input type="checkbox"/> No
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <ul style="list-style-type: none"> i. Name of aquifer: _____ 	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>_____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: APPENDIX 'G'</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? APPENDIX 'H' <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="display: flex; justify-content: space-between; align-items: flex-start; margin-top: 5px;"> <div> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District </div> <div style="text-align: right;">APPENDIX 'I'</div> </div> <div style="margin-top: 5px;"> ii. Name: _____ </div> <div style="margin-top: 5px;"> iii. Brief description of attributes on which listing is based: _____ </div>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Describe possible resource(s): _____ </div> <div style="margin-top: 5px;"> ii. Basis for identification: _____ </div>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Identify resource: _____ </div> <div style="margin-top: 5px;"> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ </div> <div style="margin-top: 5px;"> iii. Distance between project and resource: _____ miles. </div>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Identify the name of the river and its designation: _____ </div> <div style="margin-top: 5px;"> ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No </div>	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature Kubon _____ Title _____

THE SHOPPES AT UNION SQUARE

APPLICATION FOR AMENDED SITE PLAN APPROVAL

SECTION 96, BLOCK 1, LOTS 6.2 & 11.1

UNION AVENUE (NYS ROUTE 300) AND ORR AVENUE
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

LIST OF CONTACTS

PLANNING BOARD CHAIRMAN

John Ewasutin
308 Gardentown Road
Newburgh, NY 12550
PHONE: (845) 564-7804
FAX: (845) 566-7802

TOWN ENGINEER

James W. Osborne
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-7814
FAX: (845) 566-1432

TOWN CLERK

Andrew J. Zanuckie
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-4554
FAX: (845) 566-8589

ORANGE COUNTY HEALTH DEPARTMENT

124 Main Street
Goshen, NY 10924
PHONE: (845) 291-2331

SUPERVISOR

Gil Plaquadro
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-4552
FAX: (845) 566-9486

ORANGE COUNTY SOIL & WATER CONSERVATION DISTRICT

225 Dolson Avenue, Suite 103
Middletown, NY 10940
PHONE: (914) 343-1873/3811
FAX: (914) 344-1341

GAS AND ELECTRIC

Central Hudson Gas & Electric Co.
610 Little Britain Road
Newburgh, NY 12550
Mark Sciafani
PHONE: (845) 563-4538

TELEPHONE

Verizon
449 Broadway, 4th Fl
Kingston, NY 12401
PHONE: (845) 340-8036

WATER

Town Of Newburgh
343 Route 32
Newburgh, NY 12550
Mr. John Egitto
PHONE: (845) 564-2180

SEWER

Town Of Newburgh
311 Route 32,
Newburgh, NY 12550
PHONE: (845) 564-7803

CABLE

Time Warner Cable
109-15 14th Avenue
College Point, NY 11356
PHONE: (845) 692-5339

PROJECT CONTACTS

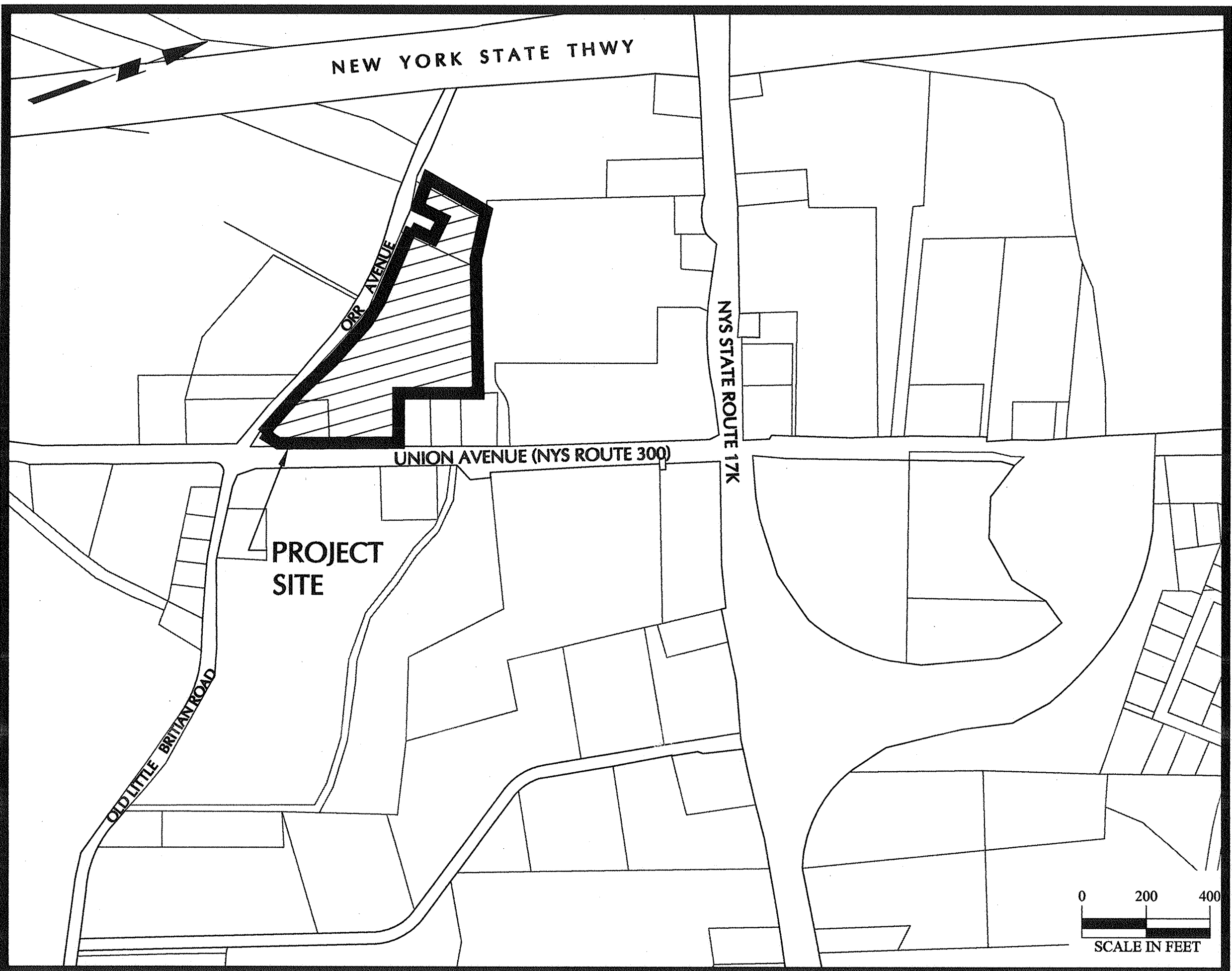
APPLICANT & OWNER:

TAX LOT: 96-1-6.2
N&N Union, LLC
C/O Cosimo's Management
1089 Little Britain Road
New Windsor, NY 12553

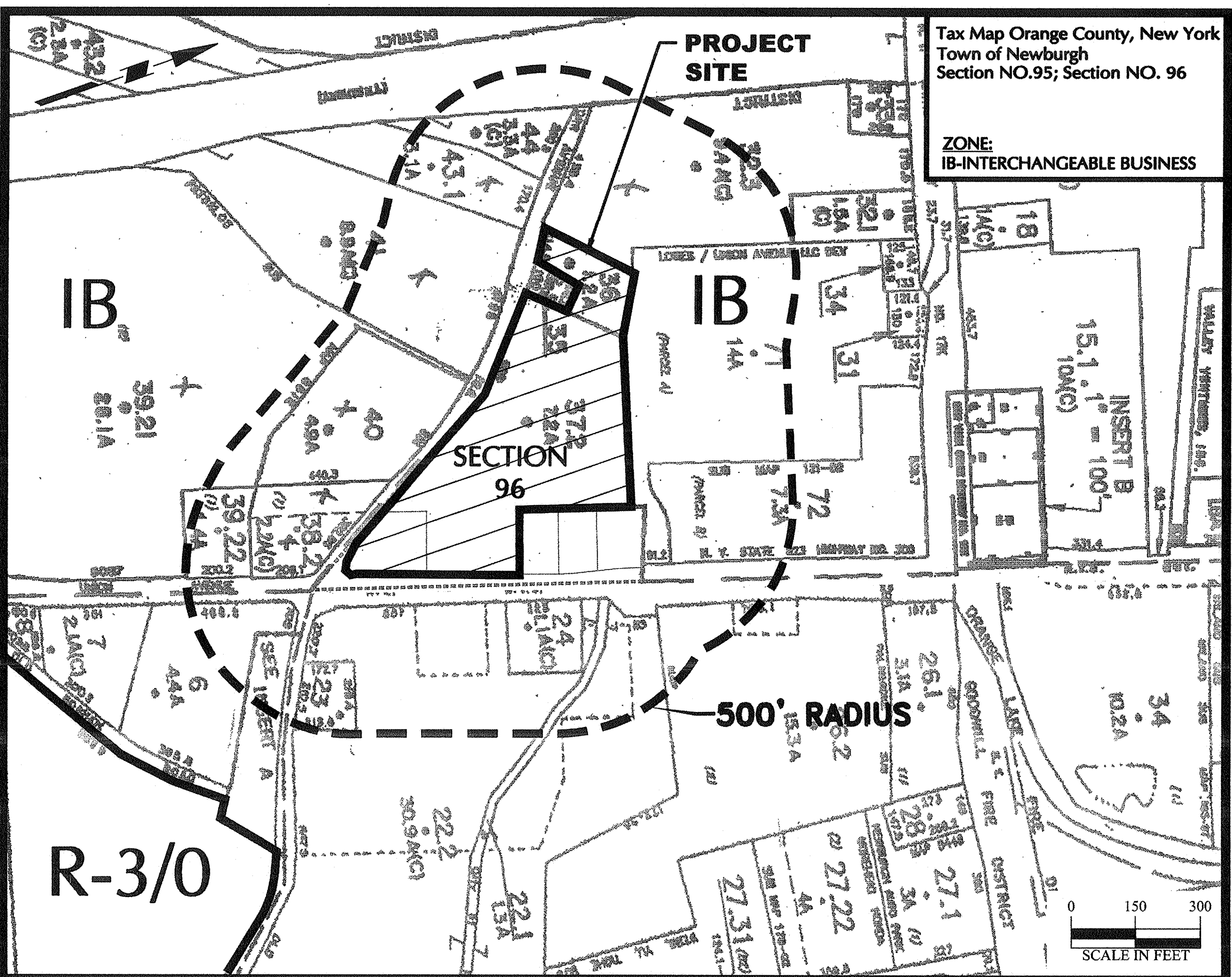
TAX LOT: 96-1-11.1
CPK Union, LLC
C/O Cosimo's Management
1089 Little Britain Road
New Windsor, NY 12553

SITE/CIVIL ENGINEER: **LANGAN**

Bryan Waisnor, P.E.
300 Kimball Drive
4th Floor
Parsippany, NJ 07054
Phone No.: (973) 560-4900



LOCATION MAP
SCALE: 1" = 400'



TAX MAP
SCALE: 1" = 300'

DRAWING LIST				
DRAWING NO.	DESCRIPTION	SCALE	DATED	REVISION DATE
00.01	COVER SHEET	NTS	JULY 18, 2018	DECEMBER 6, 2018
VB101	BOUNDARY SURVEY	1"=50'	DEC 1, 2017	AUGUST 21, 2018
VB101	PARTIAL TOPOGRAPHIC SURVEY	1"=30'	DEC 1, 2017	AUGUST 21, 2018
20.01	OVERALL SITE PLAN	1"=50'	JULY 18, 2018	DECEMBER 6, 2018
20.03	SITE PLAN PHASE II	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
21.03	GRADING AND DRAINAGE PLAN PHASE II	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
22.01	UTILITY PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
23.01	SOIL EROSION AND SEDIMENT CONTROL PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
23.02	SOIL EROSION AND SEDIMENT CONTROL DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
24.01	LANDSCAPE PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
24.04	LANDSCAPE SCHEDULE, NOTES, AND DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
25.01	LIGHTING PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
25.02	LIGHTING SCHEDULE, NOTES, AND DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
28.01	DETAIL SHEET	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
28.02	DETAIL SHEET	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW
ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING
UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

J.P. Ewasutin
PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTIN

3/4/2019
DATE

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	3.
8/31/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Bryan M. Waisnor
BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1
DEC 06 2018

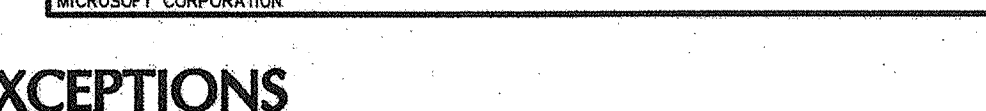
LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 240427996400

Project
**THE SHOPPES AT
UNION SQUARE
PHASE II**
TOWN OF NEWBURGH

ORANGE COUNTY NEW YORK

Drawing Title
**COVER
SHEET**

Project No. 9133101 Drawing No.
Date July 18, 2018
Scale AS SHOWN
Dwn. By AEB
00.01



GRANTS, EASEMENTS, RIGHTS OF WAY:
LIBER 481 PAGE 311 (LOCATION UNKNOWN)
LIBER 603 PAGE 320 (LOCATION UNKNOWN)

- LIBER 953 PAGE 329 (LOCATION UNKNOWN)
LIBER 13595 PAGE 468 (PLOTTED)
LIBER 1709 PAGE 39 (PLOTTED)

1. THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:

- A. PLAN TITLED "COSIMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY" PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012

REVISIONS	
1	hereby state that this plan is based on a field survey made

LANGAN

T: 973.560.4900 F: 973.560.4901 www.langan.com

SECTION 86, BLOCK 1, LOT 62

BOUNDARY

Project No.	Drawing No.
-------------	-------------

Scale	1" = 50'	
Drawn By	Checked By	

3-4-VB101.dwg Date: 8/21/2018 Time: 10:49 User: hvsdalla Style Table: Langan.stb Layout: V3

SECTION 96, BLOCK 1, LOT 6	BOOK 1328B PAGE 231
SECTION 96, BLOCK 1, LOT 7	BOOK 1328B PAGE 239
SECTION 96, BLOCK 1, LOT 8	BOOK 1328B PAGE 227
SECTION 96, BLOCK 1, LOT 9	BOOK 1328B PAGE 235
SECTION 95, BLOCK 1, LOT 36	BOOK 1328B PAGE 243
SECTION 95, BLOCK 1, LOT 37.2	BOOK 1328B PAGE 247

1000

LEGEND (NOT SHOWN TO SCALE)

HYDRANT	BOLLARD	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	SANITARY LINE
AREA LIGHT	DOOR	COMBINED UTILITY LINE
SIGNAL POLE	OVERHEAD DOOR	UNKNOWN UTILITY LINE
POLE	PARKING METER	GAS LINE
GUY WIRE	METAL COVER	WATER LINE
ANCHOR POLE	ELECTRIC BOX	ELECTRIC LINE
MANHOLE	SOIL BORING	TELEPHONE LINE
MANHOLE (DRAINAGE)	MONITORING WELL	CABLE TV LINE
MANHOLE (SANITARY SEWER)	TEST PIT	STEAM LINE
MANHOLE (ELECTRIC)	BENCHMARK	FORCE MAIN
MANHOLE (WATER)	SPOT ELEVATION	FIBER OPTIC
MANHOLE (NATURAL GAS)	CONCRETE CURB	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
MANHOLE (TELEPHONE)	DETECTABLE PAD	OVERHEAD WIRE
MANHOLE (FORCE MAIN)	DROP CURB	GUIDE RAIL (TYPE AS NOTED)
MANHOLE (STEAM)	BROKEN WHITE STRIPE	CHAIN LINK FENCE
MANHOLE (UNKNOWN UTILITY)	SINGLE YELLOW STRIPE	WOOD/STOCKAD FENCE
WATER VALVE	DOUBLE YELLOW STRIPE	WIRE FENCE
GAS VALVE	SINGLE WHITE STRIPE	IRON FENCE
SIRUB	REINFORCED CONCRETE PIPE	TREE LINE
CATCH BASIN	DUCTILE IRON PIPE	EASEMENT LINE
CLEAN OUT	CORRUGATED METAL PIPE	PROPERTY LINE
TREE	NO VISIBLE PIPE	RIGHT-OF-WAY LINE
SIGN	EDGE OF PAVEMENT	CONTOUR LINE
	LANDSCAPED AREA	
	SURVEYED BEARING & DISTANCE	
	DEED BEARING & DISTANCE	

GENERAL NOTES

- THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - PLAN TITLED "COSMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY" PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012.
 - PLAN TITLED "ROUTE 300 AND ORR AVENUE, BOUNDARY AND TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED FEBRUARY 7, 2007 AND LAST REVISED SEPTEMBER 17, 2009.
 - CURRENT TAX MAPS OF TOWN OF NEWBURGH.
 - MAP OF SURVEY FOR THE T AND G AMODEO LIMITED PARTNERSHIP, TOWN OF NEWBURGH/ORANGE COUNTY, NEW YORK, DATED MAY 8, 2000, BY PETER R. HUSTIS, L.L.S., BEACON, NEW YORK.
 - PLAN TITLED "SITE PLAN PROPOSED RETAIL DEVELOPMENT FOR THE LOWE'S COMPANIES, INC." PREPARED BY BL COMPANIES, POKKIPSE, NEW YORK, SHEET NO. SP-1, DATED FEBRUARY 29, 2000 AND LAST REVISED NOVEMBER 21, 2001.
 - TITLE COMMITMENT: BY HILL-N-DALE ABSTRACTORS, INC. TITLE NUMBER: HN 59612 AMENDED DATED: NOVEMBER 15, 2017 (EXCEPTIONS LISTED SEPARATELY)
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. FIELD WORK COMPLETED JUNE 2012 AND UPDATED IN NOVEMBER 2017.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS ENTITLED "ORANGE COUNTY, NEW YORK, PANELS 139 OF 160 AND 330 OF 630, MAP NUMBERS 3807100138E AND 3807100338E, EFFECTIVE DATES AUGUST 3, 2000" THE PROJECT AREA LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE OBSERVED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

(PLAN REFERENCED IN NOTE 1A)
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF N.Y. STATE EDUCATION LAW ARTICLE 145.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR NKED SEAL OF THE PROFESSIONAL.
- WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC, ON AUGUST 6, 2016.



PROJECT LOCATION MAP
SCALE: N.T.S.

EXCEPTIONS

- GRANTS, EASEMENTS, RIGHTS OF WAY:
LIBER 481 PAGE 311 (LOCATION UNKNOWN)
LIBER 693 PAGE 329 (LOCATION UNKNOWN)
LIBER 13595 PAGE 468 (PLOTTED)
LIBER 17089 PAGE 39 (PLOTTED)
- SUBJECT TO UTILITY EASEMENT IN FAVOR OF THE TOWN OF NEWBURGH IN LIBER 3842 PAGE 205 (PLOTTED)
- SUBJECT TO STORMWATER CONTROL FACILITY MAINTENANCE AGREEMENT IN LIBER 13346 PAGE 928 (BLANKET IN NATURE)
- RECIPROCAL ACCESS AND PARKING EASEMENT AGREEMENT IN LIBER 13363 PAGE 1550, SUBJECT TO CHARGES IMPOSED THEREIN (PLOTTED)
- SUBJECT TO GRANT OF RIGHT OF WAY AND CONSTRUCTION EASEMENT IN LIBER 13363 PAGE 1534 (PLOTTED)
- SUBJECT TO GRANT OF RIGHT OF WAY AND PERMANENT EASEMENT IN LIBER 13363 PAGE 1529 (PLOTTED)
- SUBJECT TO 20' WIDE RIGHT OF WAY CROSSING PERMITS IN FAVOR OF 95-1-35 IN LIBER 1508 PAGE 568 (PLOTTED)

TABLE OF VESTING DEEDS

SECTION 96, BLOCK 1, LOT 6	BOOK 13288 PAGE 231
SECTION 96, BLOCK 1, LOT 7	BOOK 13288 PAGE 239
SECTION 96, BLOCK 1, LOT 8	BOOK 13288 PAGE 227
SECTION 96, BLOCK 1, LOT 9	BOOK 13288 PAGE 235
SECTION 96, BLOCK 1, LOT 36	BOOK 13288 PAGE 243
SECTION 96, BLOCK 1, LOT 37.2	BOOK 13288 PAGE 247

Date	Description	No.
8/21/18	updated Topo and Wetland	3
7/17/18	Added Sheet - 2	2
12/06/17	Revised Labels Along Orr Ave.	1

REVISIONS

I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NYSPLS Code of Practice for Land Surveyors, and to the best of my professional knowledge, information and belief, and in my professional opinion, the same conform to the conditions found on the date of this survey and the subject property.

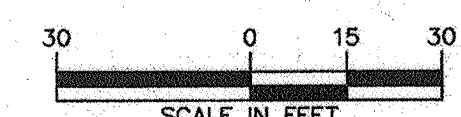
SIGNATURE: JOSEPH E. ROMANO DATE SIGNED: 12/1/2017
PROFESSIONAL LAND SURVEYOR
NY Lic. No. 050130-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054
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Project: **THE SHOPS AT UNION SQUARE**
SECTION 96, BLOCK 1, LOT 6.2
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK
Drawing Title: **PARTIAL TOPOGRAPHIC SURVEY**

Project No. **9133101**
Date **12/1/2017**
Scale **1" = 30'**
Drawn By **KEC/HBV** Checked By **DRA**
Submission Date **07/17/2018**

Drawing No. **VB101**
Sheet 2 of 2



ZONING TABLE				
Zone-B (Interchange Business District)				
Section 96, Block 1, Lots 6.2 & 11.1				
Item	Required / Permitted	Proposed - Lot 96-1-11.1 (Cosimo's)	Proposed - Lots 96-1-6.2	Proposed - Overall Shopping Center
Permitted Principal Uses	Shopping Center	—	—	Shopping Center
Lot Requirements				
Minimum Lot Area (S)	5 acres	—	—	11.39 Ac. C
Minimum Lot Width	150 ft	251 ft	C	300 ft C
Minimum Lot Depth	150 ft	202 ft	C	1,095 ft C
Yards Requirements				
Minimum Front Yard Setback (Route 300)	60 ft	55.7 ft *	V	207.5 ft C
Minimum Front Yard Setback (Orr Ave)	60 ft	36.5 ft *	V	61.2 ft C
Minimum Side Yard Setback (Lowes')	50 ft	—	—	5.0 ft V
Minimum Side Yard Setback (Lot 38)	50 ft	—	—	40.3 ft V
Minimum Side Yard Setback (Cosimo's)	50 ft	0.0 ft	V	3.1 ft V
Minimum Rear Yard Setback	60 ft	60.2 ft	C	143.1 ft C
Building				
Maximum Building Height	40 ft	40 ft	C	40 ft C
Maximum Lot Coverage	30%	28.5%	C	19.1% C
Landscaping				
Maximum Lot Surface Coverage	80%	89.8%	V	64.0% C
Maximum Interior Landscaping	5%	—	—	7.7% C
Minimum Parking Shade Trees	57	—	—	66 C
Signs				
Maximum Number Identification Signs	4	—	—	— C
Maximum Identification Sign Area	3 sf	—	—	— V
Maximum Freestanding Sign Height	40 ft	—	—	25 ft C
Maximum Number Freestanding Signs	1 per lot	1	C	1 C
Sign Setback	15 ft	—	—	15 ft C
Maximum Total Sign Area (A)	904 sf	—	—	±943 sf ± V

* - EXISTING CONDITIONS
** - SEE SIGNAGE SCHEDULE BELOW
VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-11.1 COSIMO'S (FORMERLY LOT 96-1-11.1):
1. Minimum Front Yard Setback (Route 300)= 65.7 ft
2. Minimum Front Yard Setback (Orr Ave)= 36.5 ft
3. Minimum Side Yard Setback (Cosimo's)= 0.0 ft
4. Maximum Lot Surface Coverage= 89.8%

VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-6.2 (FORMERLY LOTS 95-1-36 & 37.2 AND 96-1-6 THRU 9 (AMODEO)):
1. Minimum Side Yard Setback (Lowes')= 5.0 ft
2. Minimum Side Yard Setback (Lot 35)= 40.3 ft

VARIANCES PREVIOUSLY APPROVED FOR OVERALL SHOPPING CENTER:
1. Maximum Identification Sign Area= 1333.5 sf
2. Maximum Total Sign Area = 1333.5 sf

PARKING REQUIREMENTS ⁽¹⁾					
Section 96, Block 1, Lots 6.2 & 11.1					
TENANTS SHOWN	SIZE (S.F.)	NUMBER OF SEATS	NUMBER EMPLOYEES	NUMBER OF PARKING SPACES REQUIRED	NUMBER OF PARKING SPACES PROPOSED
EXISTING					
Existing Building	12,263	110	N/A		
PROPOSED					
Supermarket	71,000	N/A	N/A		
Proposed Retail 'D'	10,040	N/A	N/A		
Proposed Retail 'E'	9,150	N/A	N/A		
Total	102,453			456	456
SHOPPING CENTER TOTAL				456	456

LOADING SPACE REQUIREMENTS ⁽²⁾			
TENANTS SHOWN	SIZE (S.F.)	NUMBER OF LOADING SPACES REQUIRED	NUMBER OF LOADING SPACES PROPOSED
EXISTING			
Existing Building	12,263	1	1
PROPOSED			
Supermarket	71,000	3	8
Proposed Retail 'D'	10,040	1	1
Proposed Retail 'E'	9,150	1	1
TOTALS		6	11

Notes:
(1) Shopping Center (> 25,000 square feet): 1 space per 225 square feet of gross leasable floor area.
(2) Loading space requirement based on floor areas:
Under 25,000 square feet = 1 space
25,000 to 39,999 square feet = 2 spaces
>40,000 square feet = 1 additional space for each 40,000 square feet in addition to first 40,000 square feet.
(3) Project site encompasses ±11.39 acres including the following parcels:
Section 96, Block 1, Lots 6.2 & 11.1
(4) The total area of all such signs on a lot shall not exceed 1/2 of the total length of street frontage of the lot in linear feet. See chart below for calculations.

Signage Schedule

Existing:	Total S.F.
Location	28 S.F.
Cosimo's Building Signage	86 S.F.
Cosimo's Pylon Sign	24 S.F.
Sprint Building Signage	30 S.F.
Vitamin Shoppe East Elevation	81 S.F.
Vitamin Shoppe North Elevation	26 S.F.
Tenant Signage (located on Proposed Retail C Building)	14 S.F.
Proposed:	Total S.F.
Retail 'D' and Retail 'E' (All building elevations combined.)	2250 S.F.
Supermarket East Elevation	159.3 S.F.
Supermarket North Elevation	50.25 S.F.
Supermarket South Elevation	50.25 S.F.
Main Pylon Sign (53 square feet per side)	106 S.F.
Directional Signage (located near Supermarket entrance from Lowes')	35 S.F.
Identification Signage (located at Orr Avenue Entrance to Cosimo's)	3 S.F.
Frontage	1808 S.F.
Square Footage Allowed:	904 S.F.
Total Square Footage:	±943 S.F.

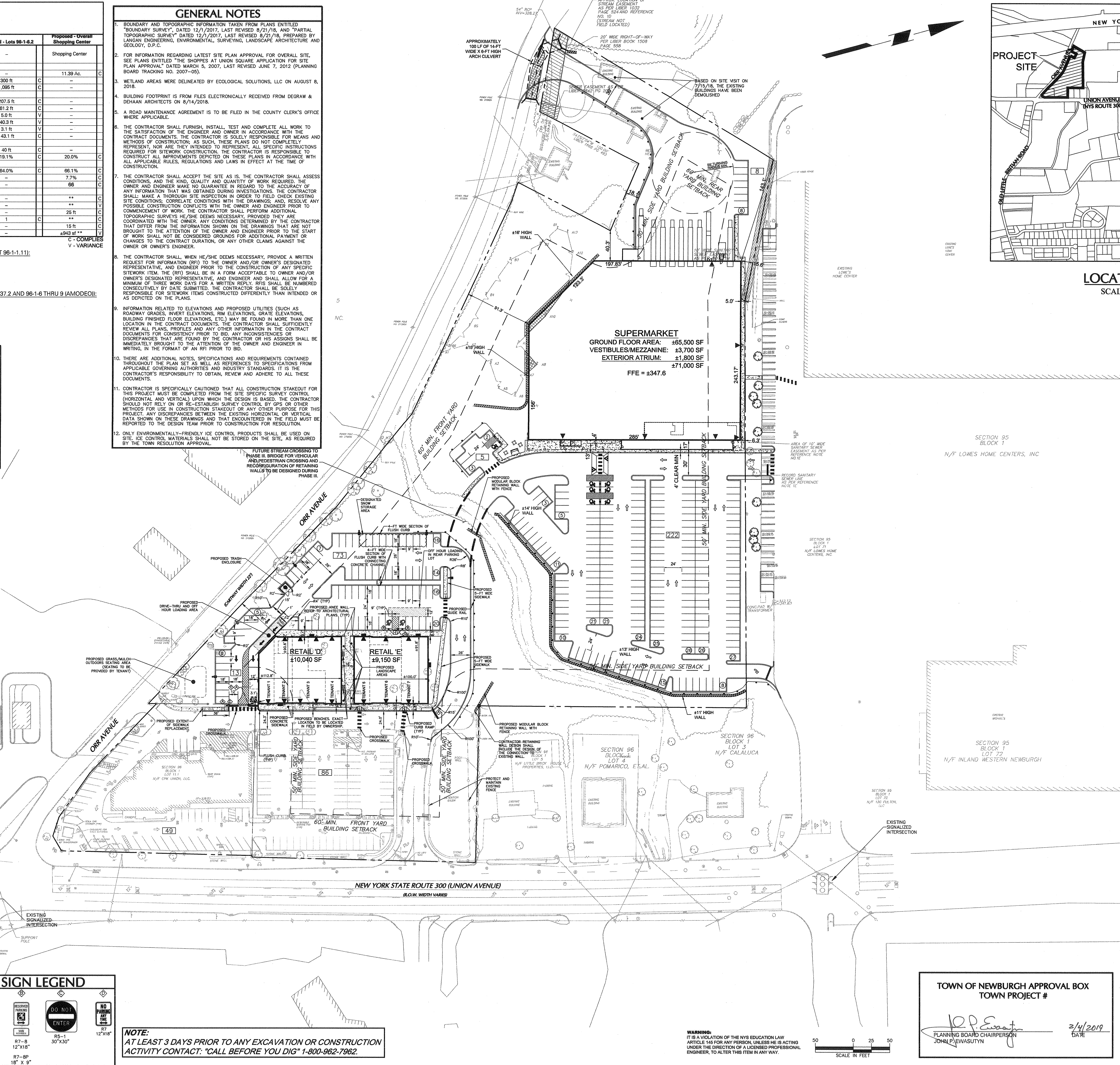
NOTE: VARIANCE PREVIOUSLY APPROVED FOR TOTAL PROPOSED SIGN SQUARE FOOTAGE OF 1333.5 SF, WHICH IS GREATER THAN ± 943 S.F. PROPOSED

LEGEND	
PROPERTY LINE	---
PROPOSED BUILDING LINE	---
CURB	⑦ OR ⑧1
PARKING COUNT	⑦ OR ⑧1
PROPOSED RAMP	⑦ OR ⑧1
CONCRETE PAVEMENT	⑦ OR ⑧1
PROPOSED PAVEMENT MARKINGS	⑦ OR ⑧1
TRAFFIC DIRECTION HOLLOW ARROWS (FOR INFORMATIONAL PURPOSE ONLY) DO NOT PAINT	⑦ OR ⑧1
BENCH	⑦ OR ⑧1
PROPOSED BUILDING ENTRANCE	⑦ OR ⑧1
GUIDELINE	⑦ OR ⑧1
MODULAR BLOCK RETAINING WALL WITH FENCE	⑦ OR ⑧1

SIGN LEGEND	
STOP	R1-1 30"x30"
RESERVED PARKING	R7-8 12"x18"
NO NOT ENTER	R5-1 30"x30"
NO PARKING ANY TIME	R7-8P 18" X 9"

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "BOUNDARY SURVEY", DATED 12/1/2017, LAST REVISED 8/21/18, AND "PARTIAL TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.
- FOR INFORMATION REGARDING LATEST SITE PLAN APPROVAL FOR OVERALL SITE, SEE PLANS ENTITLED "THE SHOPPES AT UNION SQUARE APPLICATION FOR SITE PLAN APPROVAL" DATED MARCH 5, 2007, LAST REVISED JUNE 7, 2012 (PLANNING BOARD TRACKING NO. 2007-05).
- WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON AUGUST 8, 2018.
- BUILDING FOOTPRINT IS FROM FILES ELECTRONICALLY RECEIVED FROM DEGRAU & DEHAAN ARCHITECTS ON 8/14/2018.
- A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
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- ONLY ENVIRONMENTALLY-FRIENDLY ICE CONTROL PRODUCTS SHALL BE USED ON SITE. ICE CONTROL MATERIALS SHALL NOT BE STORED ON THE SITE, AS REQUIRED BY THE TOWN RESOLUTION APPROVAL.



TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #
J.P. Egan
PLANNING BOARD CHAIRPERSON
JOHN P. WASUTYN
2/4/2019
DATE

12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	3.
8/9/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.
Revisions		
BRYAN M. WAINOR PROFESSIONAL ENGINEER NY LIC NO. 080661-1		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA2796400 NJ Certificate of Authorization No. 24GA2796400		
Project THE SHOPPES AT UNION SQUARE PHASE II TOWN OF NEWBURGH ORANGE COUNTY NEW YORK		
Drawing Title OVERALL SITE PLAN		
Project No.	9133101	Drawing No.
Date	July 18, 2018	
Scale	1"=50'	20.01
Dwn. By	AEB	

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

50 0 25 50
SCALE IN FEET

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LIMITS OF WORK NOTES

- ADJACENT ON-SITE FACILITIES ARE OPEN AND OPERATING. NEGATIVE IMPACTS ON THE OPERATIONS OF ANY OF THESE FACILITIES STEMMING FROM THESE CONSTRUCTION ACTIVITIES ARE NOT ACCEPTABLE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVES TO RECEIVE WRITTEN PERMISSION TO PROCEED WITH ANY CONSTRUCTION ACTIVITY AFFECTING THESE FACILITIES, LOADING AREAS, PARKING AREAS OR TRAFFIC CIRCULATION PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS FOR PUBLIC VEHICLES AND PEDESTRIANS ADJACENT TO THE CONSTRUCTION ACTIVITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND PROPOSED BUILDINGS AND APPURTENANCES.
- APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO STRUCTURAL DRAWINGS), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STOOPS, CONCRETE APRONS, TRANSFORMER PAD, ETC.

DIVISION OF WORK WITHIN BUILDING WORK LIMITS

WITHIN BUILDING WORK LIMITS, THE SITE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:

- PREPARATION OF A "FINAL PAD" FOR THE BUILDING FOOTPRINT. THIS PAD SHALL BE PREPARED TO A FINISHED ELEVATION OF 9 INCHES BELOW FINISHED FLOOR ELEVATION.
- PREPARATION OF SUBGRADE FOR EXTERIOR SLABS, WALKS, GARAGE LOWER LEVEL, RAMPS, ETC.
- DISPOSAL/DISPERSION OF FOUNDATION EXCAVATION SPOILS STOCKPILED BY THE BUILDING CONTRACTOR.
- UTILITY SERVICES TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE REDUCERS TO BE PROVIDED AT POINT OF CONNECTION AS NECESSARY.
- STORMWATER CONNECTIONS TO THE BUILDING TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE SIZE REDUCERS TO BE PROVIDED AS NECESSARY.
- COORDINATION WITH OTHER CONTRACTORS REGARDING WORK WITHIN THE BUILDING WORK LIMITS.

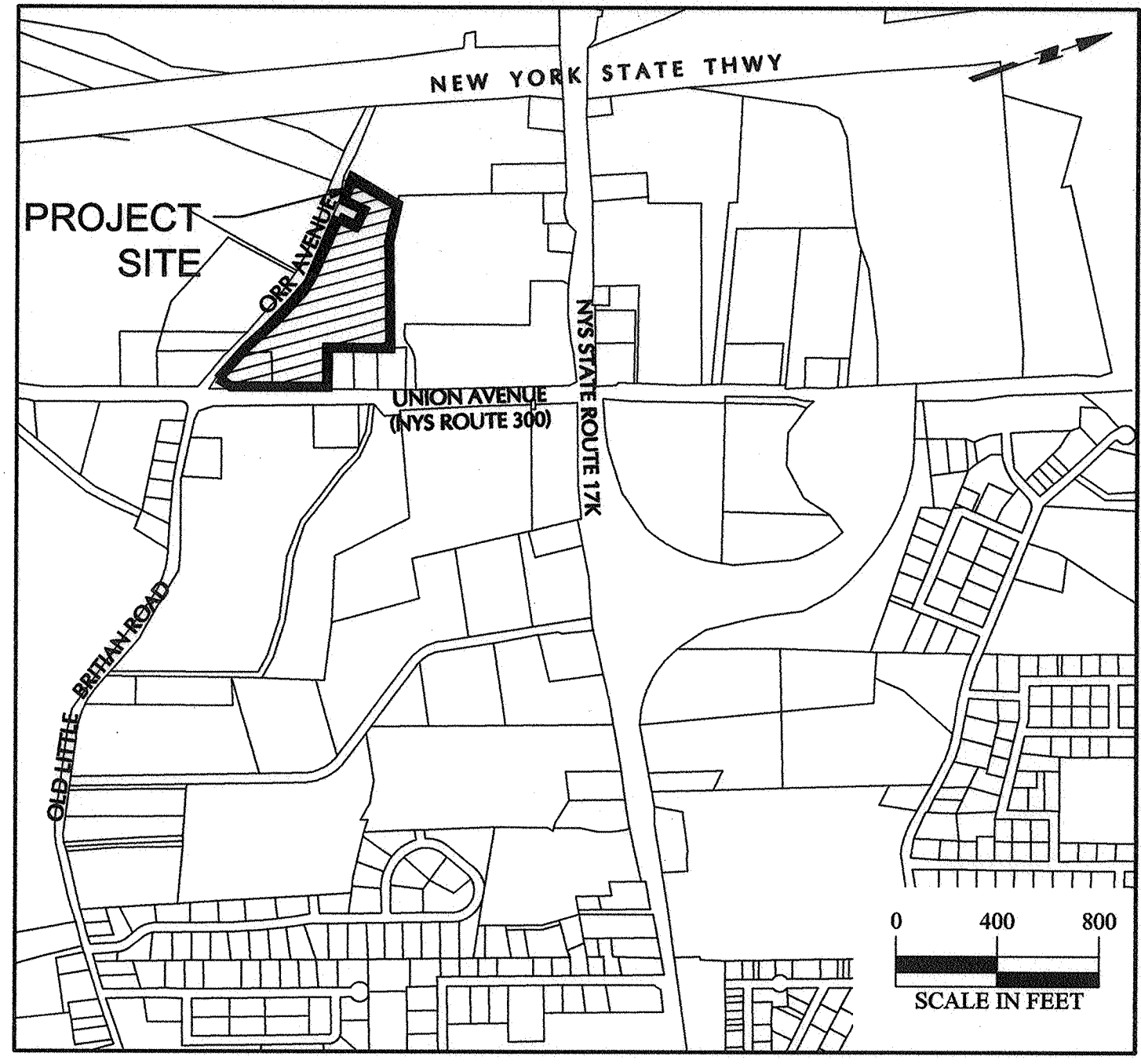
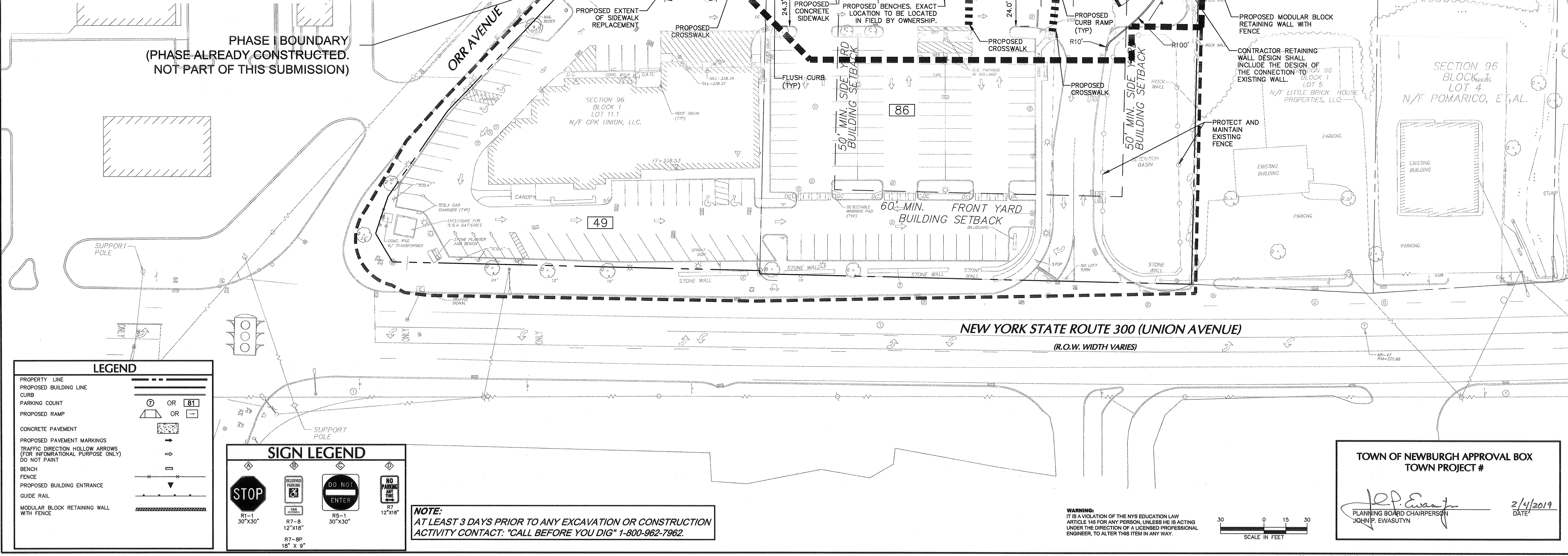
WORK BY OTHERS WITHIN THE BUILDING WORK LIMITS WILL INCLUDE:

- BUILDING CONSTRUCTION.
- SIDEWALKS, SIGNAGE, BOLLARDS, ETC. ADJACENT TO THE BUILDING.
- STOCKPILED OF FOUNDATION EXCAVATION SPOILS IN ONE AREA FOR DISPOSAL BY THE SITEWORK CONTRACTOR.
- COORDINATION WITH SITE CONTRACTOR.
- BACKFILL AND COMPACT AREA ADJACENT TO THE BUILDING IN PROPOSED ASPHALT AREAS FOR STONING AND PAVING BY SITE CONTRACTOR.
- CONNECTION OF UTILITIES AND STORMWATER DRAINAGE BETWEEN BUILDING AND POINT OF CONNECTION AS PROVIDED BY SITE CONTRACTOR. REFER TO UTILITY AND DRAINAGE PLANS.
- SITE GREASE TRAP AND PIPING BY BUILDING CONTRACTOR.
- BACKFLOW PREVENTION, INCLUDING ANY REQUIRED VAULTS EXTERIOR TO THE BUILDING, TRANSFORMERS, AND GAS METERS BY BUILDING CONTRACTOR.

BUILDING SUMMARY PHASE III		
TENANTS SHOWN	SIZE (S.F.)	
EXISTING Existing Building	12,263	
PROPOSED Proposed Retail 'D' Proposed Retail 'E'	10,040 9,150 19,190	
Overall Total	31,453	
PARKING SUMMARY		
REQUIRED: 140 SPACES*		
PROPOSED: 221 SPACES		

SIGNAGE SUMMARY PHASE II		
PROPOSED Proposed Retail 'D' & Retail 'E' (Combined on all Elevations)	SIZE (S.F.)	
PROPOSED Proposed Retail 'D' & Retail 'E' (Combined on all Elevations)	±250	
PREVIOUSLY APPROVED Staples (Combined on all Elevations)	640.7	

* At 1 space per 225 sq ft of GLA for overall shopping center



LOCATION MAP
SCALE: 1" = 800'

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

John P. Ewasutin
PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN

2/4/2019
DATE

Date	Description	No.
12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	3.
8/31/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

DEC 6 2018
BRYAN M. WAGNER
PROFESSIONAL ENGINEER NY LIC NO. 080661-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054

T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 240A27696400
NJ Certificate of Authorization No. 240A27696400

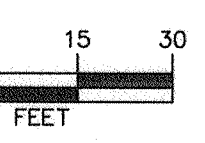
Project **THE SHoppes AT UNION SQUARE**
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title **SITE PLAN**
PHASE II

Project No. 9133101	Drawing No. 20.03
Date July 18, 2018	
Scale 1"=30'	
Dwn. By AEB	

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW
ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING
UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS ITEM IN ANY WAY.



GRADING AND DRAINAGE NOTES

- ALL EXISTING STRUCTURES, (UNLESS OTHERWISE NOTED TO REMAIN), FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND SHALL ONLY BE PERMITTED WITH PRIOR OWNER APPROVAL.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE SHEET 23.01 FOR EROSION CONTROL MEASURES.
- ABBREVIATIONS
HDPE = HIGH DENSITY POLYETHYLENE
INV = INVERT
LF = LINEAR FEET
GR = GRATE ELEVATION
RM = RM ELEVATION
MH = MANHOLE
CB = CATCH BASIN
RCP = REINFORCED CONCRETE PIPE
DIV = DIVERSION STRUCTURE
X:X SLOPE = HORIZONTAL:VERTICAL SLOPE
- SPOT ELEVATIONS ALONG PROPOSED CURB LINES INDICATE THE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS AND SIZES OF ALL ROOF LEADERS AND COORDINATE WITH PROPOSED STORMWATER SYSTEM PRIOR TO INSTALLATION.
- ALL ROOF DRAINS TO BUILDING SHALL BE BROUGHT TO FIVE FEET OUTSIDE THE BUILDING LIMITS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
- CLEANOUTS SHALL BE PROVIDED FLUSH AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENS AND UPSTREAM ENDS.
- PROPOSED STORM DRAINAGE PIPING SHALL BE TEMPORARILY PROTECTED WITH A MINIMUM OF TWO FEET OF COVER DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE OR ABANDON EXISTING UTILITIES PER THE FOLLOWING UNLESS OTHERWISE NOTED:
• PIPING LESS THAN 12" IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND LEFT IN PLACE.
• PIPING 12" AND LARGER IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND FILLED WITH A LEAN CEMENT GROUT.
• STRUCTURES SHALL HAVE ALL OPENINGS BLOCKED OFF AND FILLED WITH A LEAN CEMENT GROUT.

SECTION 95
BLOCK 1
LOT 41
N/F N.F.I. INC.

CB-309
(CURB TYPE GRATE)
GR: 332.90
INV. IN (15" SW): 329.43
INV. OUT: 329.43

PHASE II
BOUNDARY

MH-305
RIM: 334.47
INV. IN (15" E): 330.63
INV. OUT: 330.43

12 LF 15" HDPE @ 1.00%
RL-302
INV. OUT: 330.75

REMOVE OR
ABANDON IN
PLACE
EXISTING
STORM PIPE

RETAIL 'D'
±10,040 SF
FFE = 335.14

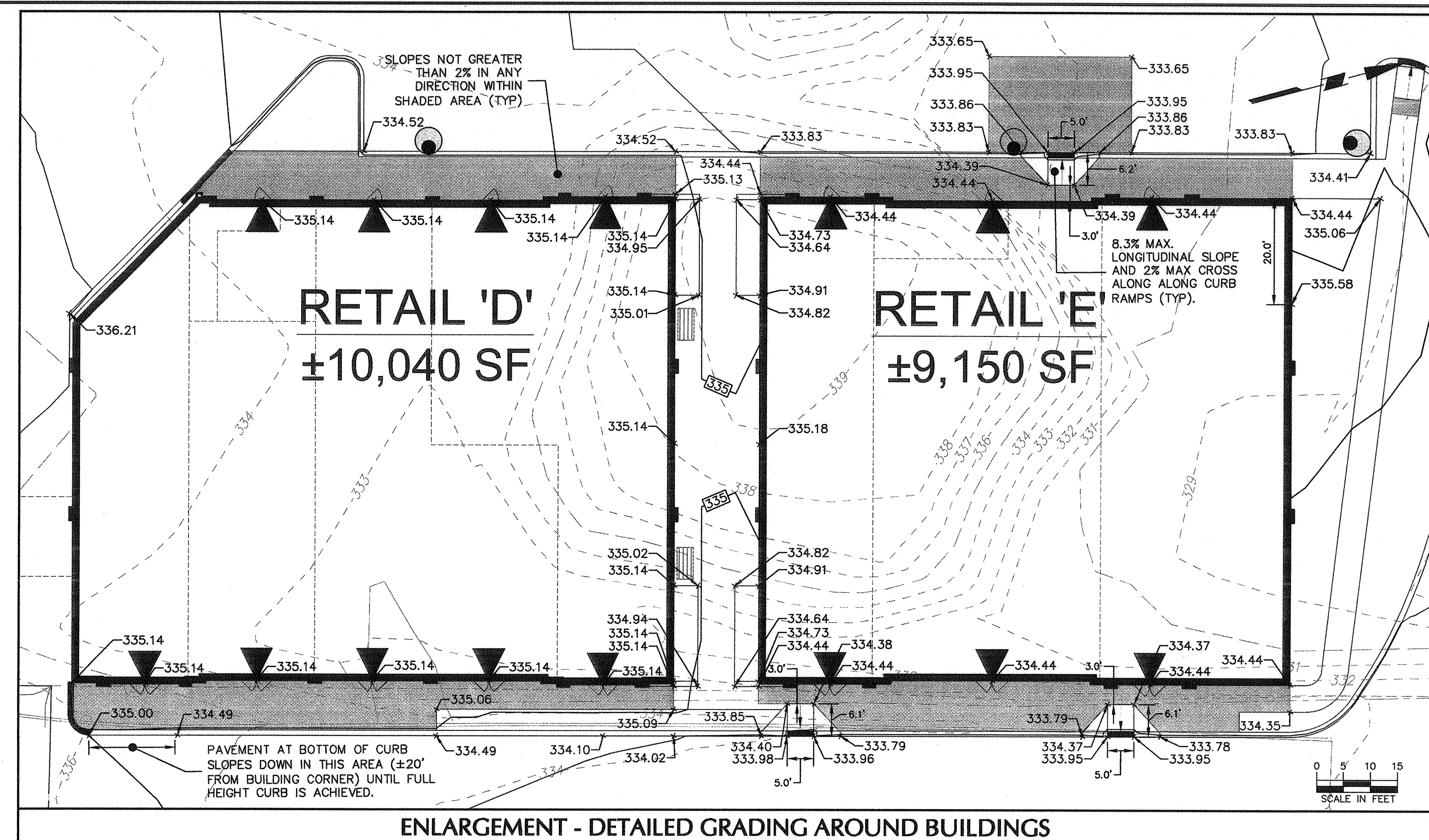
RETAIL 'E'
±9,150 SF
FFE = 334.44

ALL STORMWATER
INFRASTRUCTURE SHALL BE
PROTECTED AND MAINTAINED
UNLESS SPECIFICALLY
IDENTIFIED TO BE REMOVED
OR ABANDONED

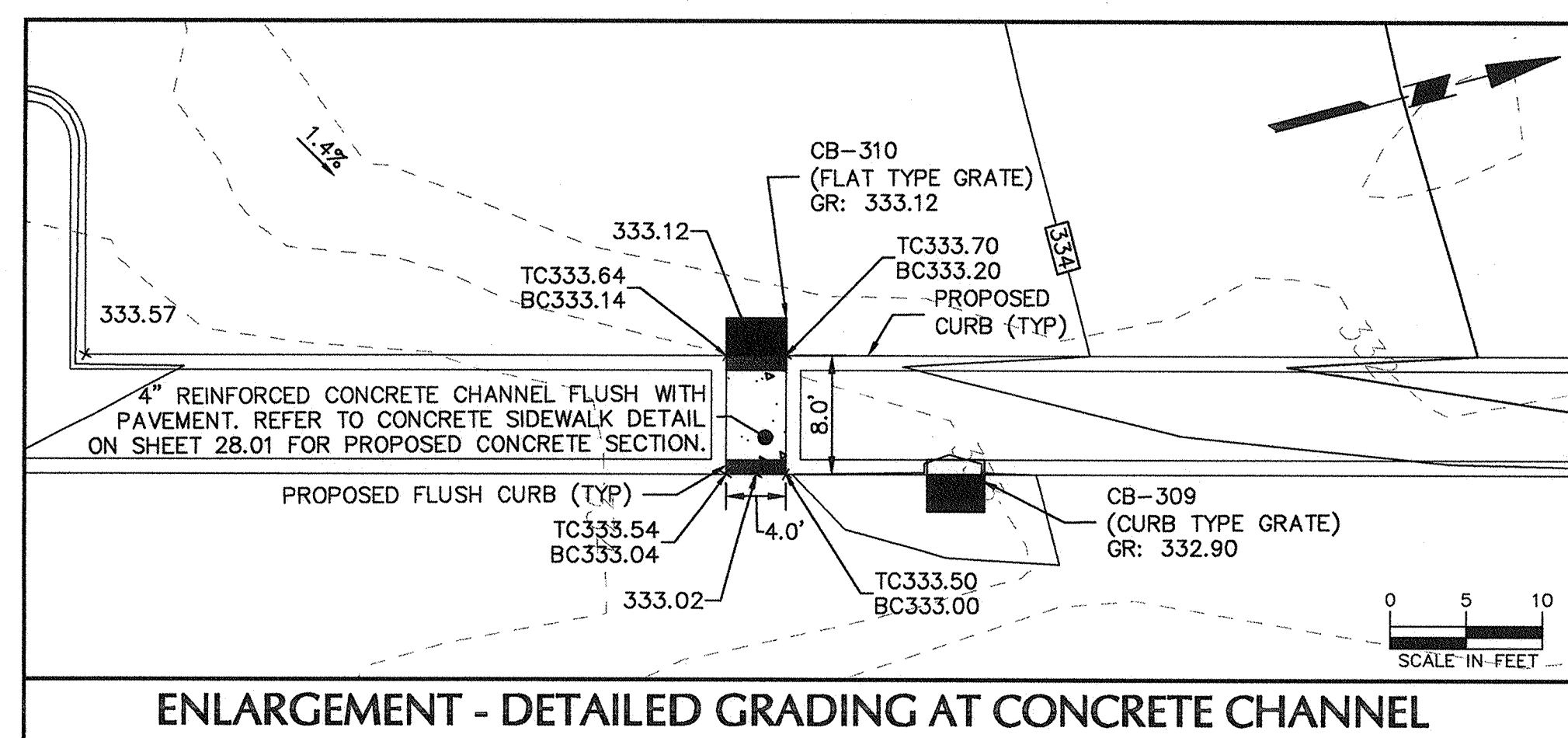
EXISTING UNDERGROUND
STORMWATER MANAGEMENT
SYSTEM INSTALLED DURING
PHASE I

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

NEW YORK STATE ROUTE 300 (UNION AVENUE)
(R.O.W. WIDTH VARIES)



ENLARGEMENT - DETAILED GRADING AROUND BUILDINGS



ENLARGEMENT - DETAILED GRADING AT CONCRETE CHANNEL

Date	Description	No.
12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS.	3
8/31/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING.	2
8/22/2018	REVISED PER TOWN COMMENTS	1

Revisions

12/8/2018
BRYAN M. WALSOR
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NJ CERTIFICATE OF AUTHORIZATION No. 24027896400

Project
**THE SHOPPES AT
UNION SQUARE
PHASE II**
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
**GRADING AND
DRAINAGE PLAN
PHASE II**

Project No. 9133101 Drawing No.
Date July 18, 2018
Scale 1"=30'
Dn. By AEB
21.03

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

JOE Ewasuth
PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTH
DATE 2/1/2019

TOWN OF NEWBURGH NOTES WATER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINE FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C508 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTERCLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-1502ON FOR 1/2 INCH, MUELLER H-1500ON OR -2500ON FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 1/2 INCH AND MUELLER H-2500AN FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 1/2 INCH AND MUELLER H-1031ON FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

ORANGE COUNTY DEPT. OF HEALTH NOTE

THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS. AS IS, THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.

LEGEND

PROPOSED SANITARY MANHOLE	●
PROPOSED SANITARY PIPE	—
PROPOSED WATER MAIN	—
PROPOSED GATE VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
PROPOSED BEND OR TEE	⊕
EXISTING WATER	—
EXISTING GAS	—
EXISTING SANITARY	—
EXISTING STORM	—

UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- ALL REQUIRED UTILITIES (UNLESS OTHERWISE NOTED) SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE (LOCATION NOTED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
- ALL ON-SITE UTILITIES SHALL BE UNDERGROUND OR AS DICTATED BY SERVICE PROVIDERS.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
- PRESSURE AND LEAKAGE TEST SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WATER MAINS SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 (YEAR OF LATEST REVISIONS) TO MEET OGDH REQUIREMENTS. REFER TO TOWN OF NEWBURGH NOTES FOR ADDITIONAL LOCAL TESTING/DISINFECTION/INSPECTION REQUIREMENTS.
- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOMESTIC AND FIRE SERVICE ENTRANCES.
- ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE JURISDICTIONAL AUTHORITY. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERAL ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (I.E., DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
- ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4'-6" FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION AND A MAXIMUM COVER OF 6'-0".
- THE CONTRACTOR SHALL REMOVE OR ABANDON EXISTING UTILITIES PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - PIPE LESS THAN 12" IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND LEFT IN PLACE.
 - PIPE 12" AND LARGER IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND FILLED WITH A LEAN CEMENT GROUT.
 - STRUCTURES SHALL HAVE ALL OPENINGS BLOCKED OFF AND FILLED WITH A LEAN CEMENT GROUT.
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THEN NYSDOH AND THE TOWN OF NEWBURGH.
- CONSTRUCTION OF SANITARY SEWER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF "AS-BUILT" RECORD DRAWINGS OF THE SEWER SYSTEM. SUBMITTAL OF THESE DRAWINGS IS A CONDITION OF DEDICATION AND RELEASE OF THE PERFORMANCE SECURITY.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.

TELEPHONE NOTES:

- ALL UNDERGROUND TELEPHONE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE TELEPHONE COMPANY.
- TELEPHONE CONDUIT SHALL BE SCH. 40 PVC OR AS REQUIRED BY THE TELEPHONE COMPANY.
- MINIMUM TELEPHONE CONDUIT BURIAL DEPTH SHALL BE TWO FEET, OR GREATER IF REQUIRED BY THE TELEPHONE COMPANY.
- BUILDING CONTRACTOR SHALL ROUTE TELEPHONE SERVICE INSIDE OF THE BUILDING TO ONE COMMON FOR CONNECTION TO THE SITE TELEPHONE CONDUIT AS SHOWN ON THE PLANS.

ELECTRICAL SERVICE NOTES:

- ALL UNDERGROUND ELECTRICAL SERVICE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE ELECTRIC COMPANY.
- ELECTRICAL CONDUIT SHALL BE SCH. 40 PVC OR AS REQUIRED BY THE ELECTRIC COMPANY.
- MINIMUM ELECTRICAL CONDUIT BURIAL DEPTH SHALL BE THREE FEET, OR GREATER IF REQUIRED BY THE ELECTRIC COMPANY.
- PROVIDE (2) 4" SCHEDULE 80 PLASTIC ELECTRIC CONDUITS FOR PRIMARY ELECTRIC FEED.
- CENTRAL HUDSON REQUIRES PRECAST MANHOLES 12" X 7' X 7' FOR TRANSFORMERS AND SWITCH.

GAS NOTES:

- ALL UNDERGROUND GAS RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE GAS COMPANY.
- GAS PIPING (SIZE AND MATERIAL) SHALL BE AS REQUIRED BY THE GAS COMPANY.
- MINIMUM GAS PIPING BURIAL DEPTH SHALL BE THREE FEET OR AS REQUIRED BY THE GAS COMPANY.

Date	Description	No.
12/8/2018	REVISED FOR FINAL TOWN SIGNOFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

DEC 06 2018
BRYAN M. WAINOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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NY CERTIFICATE OF AUTHORIZATION No. 24627990400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK
Drawing Title

UTILITY PLAN

Project No.	9133101	Drawing No.	
Date	July 18, 2018	Scale	1"=30'
Drn. By	AEB		

22.01

TOWN OF NEWBURGH APPROVAL BOX TOWN PROJECT

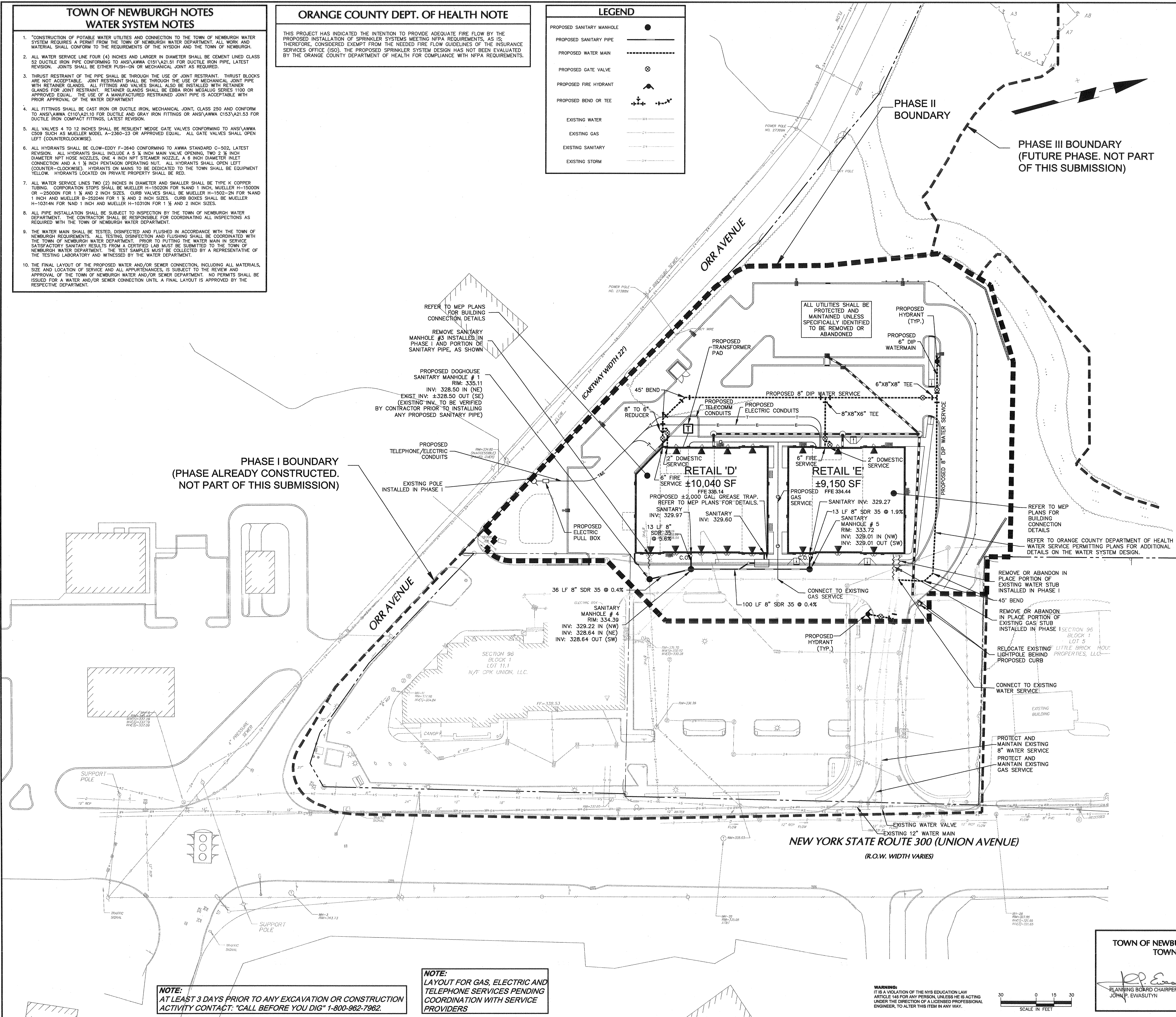
DATE 7/4/2019
PLANNING BOARD CHAIRPERSON JOHN P. EVASUTYN

SCALE IN FEET
0 15 30

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

NOTE:
LAYOUT FOR GAS, ELECTRIC AND TELEPHONE SERVICES PENDING COORDINATION WITH SERVICE PROVIDERS

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

DATE 7/4/2019
PLANNING BOARD CHAIRPERSON JOHN P. EVASUTYN

SCALE IN FEET
0 15 30

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**SEDIMENT AND EROSION CONTROL NOTES
AND CONSTRUCTION SEQUENCING**

1. CONSTRUCT STABILIZED CONSTRUCTION ACCESSES WHERE SHOWN ON THE PLAN. STAKE AND DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON PLAN.
2. INSTALL ALL SOIL EROSION CONTROL MEASURES AS SHOWN PRIOR TO ANY LAND DEVELOPMENT ACTIVITIES. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS.
3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT. NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME WITHOUT NYSDOC CONSENT. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED.
4. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS AS DIRECTED IN THE FIELD WITH PLANKING PLACED AROUND THE TREE TRUNK. PLACE SNOW FENCING AT THE DRIP LINE SURROUNDING TREES, IF POSSIBLE, OR TO MAINTAIN A MINIMUM DIAMETER OF 10 FEET AROUND TREES. WHERE FENCING MUST BE PLACED CLOSER THAN THE DRIP LINE, PLACE 4 INCHES OF WOOD CHIPS OVER ROOT ZONE TO EXTEND TO THE DRIP LINE. MAINTAIN THIS WOOD CHIP PROTECTION FOR THE DURATION OF CONSTRUCTION. WOODED AREAS TO BE PROTECTED BY INSTALLING TREE PROTECTION FENCING ALONG THE DISTURBANCE LIMIT LINE PRIOR TO CONSTRUCTION. ALL TREE PROTECTION FENCING TO BE MAINTAINED IN GOOD CONDITION UNTIL COMPLETION OF ALL CONSTRUCTION OPERATIONS. EXISTING VEGETATION IS TO BE MAINTAINED WHEREVER POSSIBLE.
5. INSTALL TEMPORARY SWALES AND TEMPORARY SEDIMENT BASINS.
6. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 12), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
7. INITIAL CONSTRUCTION OF RETAINING WALLS AND STORM DRAINAGE SYSTEM. INSTALL UTILITIES/ SLEEVES UNDER THE WALLS PRIOR TO WALL CONSTRUCTION.
8. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
9. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS AS THEY ARE INSTALLED, OR MOPEY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
10. INITIATE INSTALLATION OF UTILITIES, FOUNDATIONS AND BUILDINGS.
11. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - B. SEED WITH 6 LB. PER ACRE PERENNIAL OR ANNUAL RYEGRASS.
 - C. MULCH WITH 100-200 BALES PER ACRE OF BLOWN AND CHOPPED HAY BOUND IN PLACE WITH 2000 LB. PER ACRE CELLULOSE FIBER MULCH, AND WITH AN APPROVED TACKIFIER BINDER.
12. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
13. INSTALL CURBS, CURBED ISLANDS AND COMPLETE FINAL GRADING OF AREAS TO BE PAVED.
 - A. A MINIMUM OF 6" OF TOPSOIL SHOULD BE SPREAD ON ALL DISTURBED AREAS. B. LIME TOPSOIL TO pH 6.0.
 - C. FERTILIZE WITH 20 LB. PER 1000 SQ. FT. OF 5-10-10, 50% WATER SOLUBLE NITROGEN FERTILIZER.
 - D. SEED WITH 5 LB. PER 1000 SQ. FT. OF THE FOLLOWING MIXTURE, OR OTHER MIXTURE APPROVED BY THE LANDSCAPE ARCHITECT: 40% JAMESTOWN CHEWINGS FESCUE, 40% BARON KENTUCKY BLUEGRASS AND 20% YORKTOWN PERENNIAL RYEGRASS.
 - E. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 12 ABOVE).
 - F. FERTILIZE 4 WEEKS AFTER GERMINATION WITH 10 LB. 20-10-10 FERTILIZER PER 1000 SQ. FT.
15. COMPLETION OF ALL SITE AND OFF-SITE IMPROVEMENTS.
16. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
17. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THE DISTURBED AREAS. UPON PERMANENT STABILIZATION THE STORMWATER DETENTION SYSTEMS MUST BE CLEANED OF SEDIMENT AND THEN THE WEIRS AND INLETS TO THE WATER QUALITY SAND FILTERS SHOULD BE UNBLOCKED.
18. MAINTAIN ALL SEED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
19. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
20. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
21. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMIANNUALLY AND AFTER EVERY RAIN.
22. NO STOCKPILE SHALL REMAIN OF MATERIALS THAT WILL NOT BE USED IN FUTURE ON-SITE CONSTRUCTION ACTIVITIES.
23. IF NECESSARY TO STOCKPILE UNSIGHTLY MATERIALS, A LOCATION FOR THESE STOCKPILES SHOULD BE SELECTED THAT IS SCREENED BY TOPOGRAPHY, LOCATION, AND/OR VEGETATION.
24. THE APPLICANT SHALL BE RESPONSIBLE FOR DIRECTING AND MAINTAINING ALL STORMWATER RUNOFF FROM DISTURBED AREAS TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

**PHASE I BOUNDARY
(PHASE ALREADY
CONSTRUCTED. NOT
PART OF THIS
SUBMISSION)**

**PHASE II
BOUNDARY**

**PHASE III BOUNDARY
(FUTURE PHASE. NOT PART
OF THIS SUBMISSION)**

NEW YORK STATE ROUTE 300 (UNION AVENUE)
(R.O.W. WIDTH VARIES)

**THIS EROSION CONTROL PLAN DEPICTS
THE EROSION CONTROL METHODS AND
LOCATIONS ONLY. SEE SITE, GRADING &
DRAINAGE, UTILITY PLANS, ETC. FOR
REMAINDER OF SITEWORK BUILDING, PAVED
AREA, UTILITY LOCATIONS, ETC.**

**THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE
CONSTRUCTION AND MAINTENANCE OF THE MEASURES AS
DETAILED ON THIS SOIL EROSION & SEDIMENT CONTROL
PLAN.**

LEGEND

PROPOSED INLET PROTECTION	
STABILIZED CONSTRUCTION ACCESS PAD	
SILT FENCE	
LIMIT OF DISTURBANCE AND TREE PROTECTION FENCING	
RIP RAP OUTLET PROTECTION	
HAY BALE	

NOTE:
**AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.**

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW
ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING
UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

0 15 30
SCALE IN FEET

**TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #**

PLANNING BOARD CHAIRPERSON
JOHN P. EVASUTYN

2/4/2019
DATE

12/2/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.

Revisions

DEC 06 2018
BRYAN M. WAINOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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Parsippany, NJ 07054

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NJ CERTIFICATE OF AUTHORIZATION No. 240427995400

Project

**THE SHOPPES AT
UNION SQUARE
PHASE II**
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title

**SOIL EROSION AND
SEDIMENT CONTROL
PLAN**

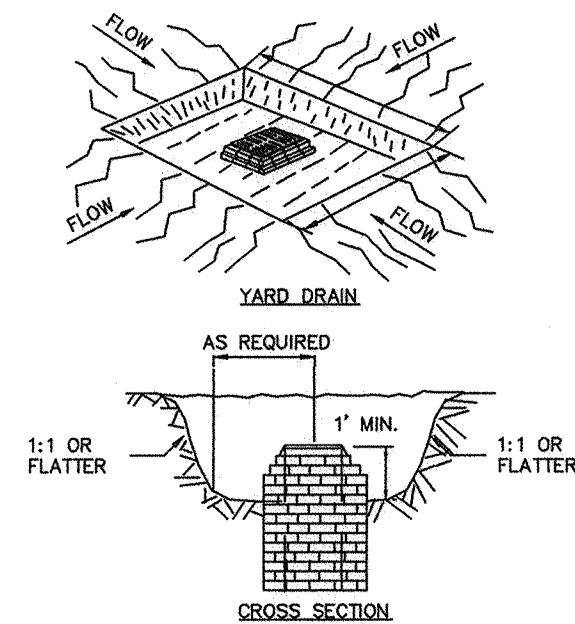
Project No. 9133101 Drawing No.

Date July 18, 2018

Scale 1"=30'

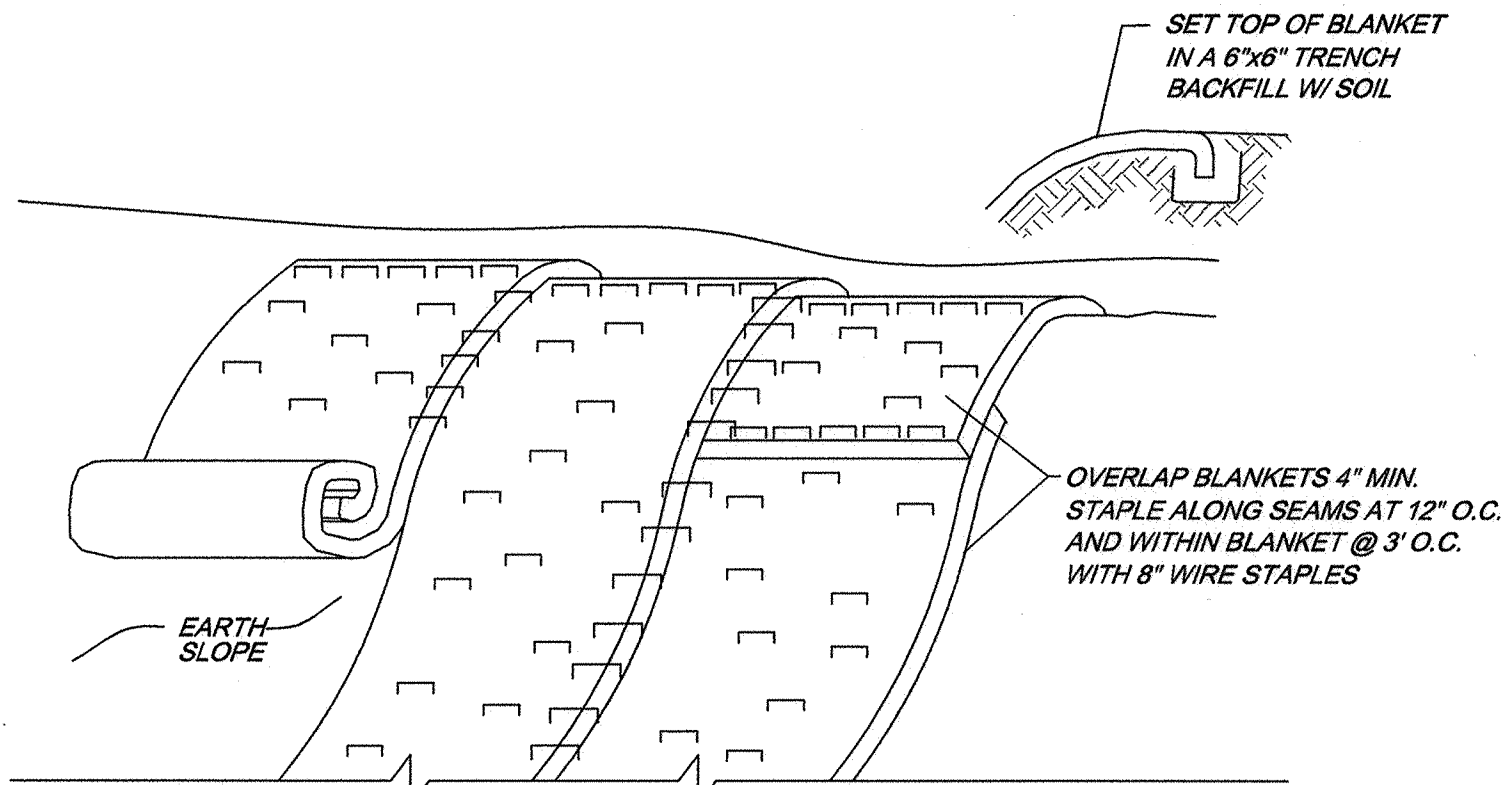
Drn. By AEB

23.01



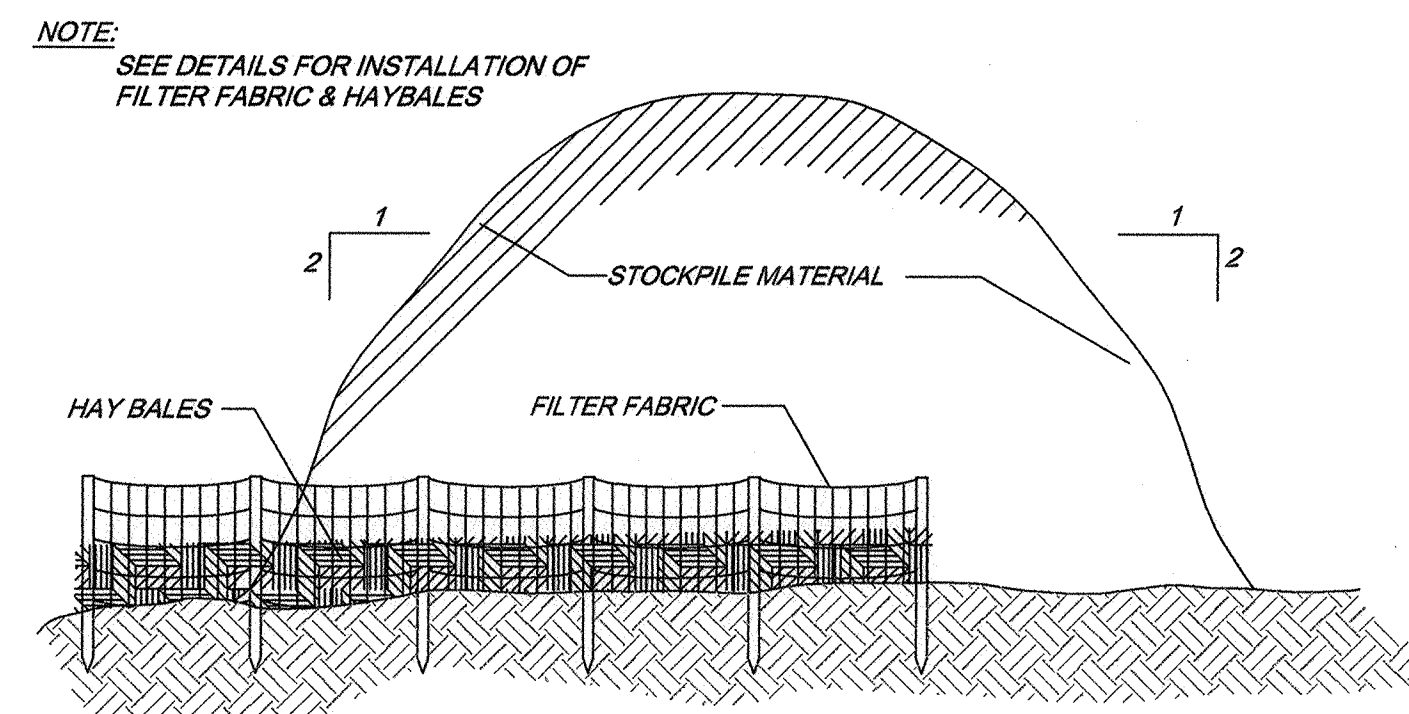
- CONSTRUCTION SPECIFICATIONS**
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 3. WEED HOLES SHALL BE PROTECTED BY GRAVEL.
 4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
- MAXIMUM DRAINAGE AREA 1 ACRE

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

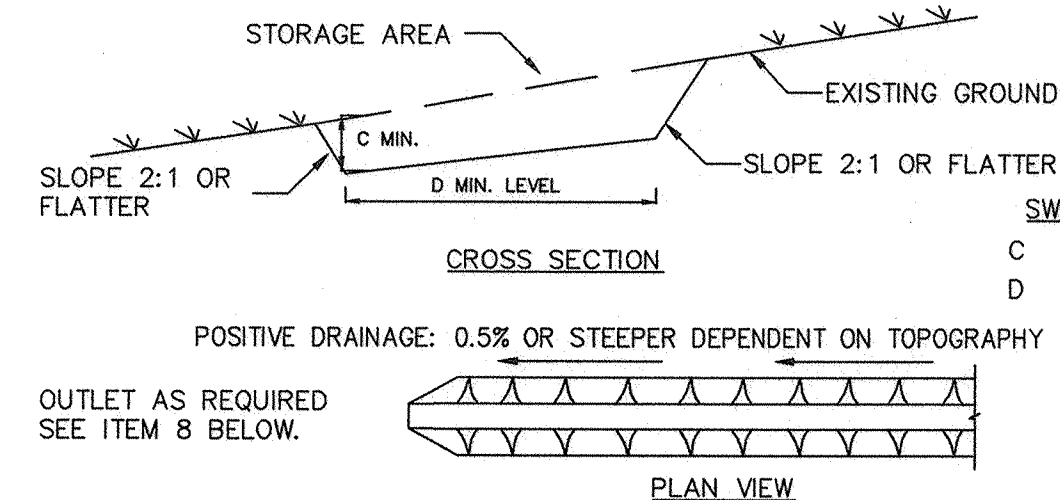


- CONSTRUCTION SPECIFICATIONS**
1. STABILIZE PREPARED EARTHEN SLOPE OF 3:1 WITH LANDLOK CS2 EROSION CONTROL BLANKET OR APPROVED EQUAL.
 2. TOPSOIL AND SEED SLOPE PRIOR TO INSTALLING EROSION CONTROL NETTING.
 3. AFTER NETTING IS INSTALLED, PLANT PROPOSED PLANTINGS THROUGH SLITS CUT IN FABRIC.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL



- CONSTRUCTION SPECIFICATIONS**
1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 8. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:



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 8. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:
- | TREATMENT | CHANNEL GRADE | 1/5 AC. OR LESS | 1/5 AC. - 10 AC. |
|-----------|---------------|----------------------------------|------------------------------|
| 1 | 0.5-3.0% | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 3.1-5.0% | SEED AND STRAW MULCH | SEED USING JUTE OR EXCELSIOR |
| 3 | 5.1-8.0% | SEED WITH JUTE OR EXCELSIOR, 500 | RECYCLED CONCRETE EQUIVALENT |
| 4 | 8.1-20.0% | LINED WITH 4-8" RPP-RAP | ENGINEERED DESIGN |
9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

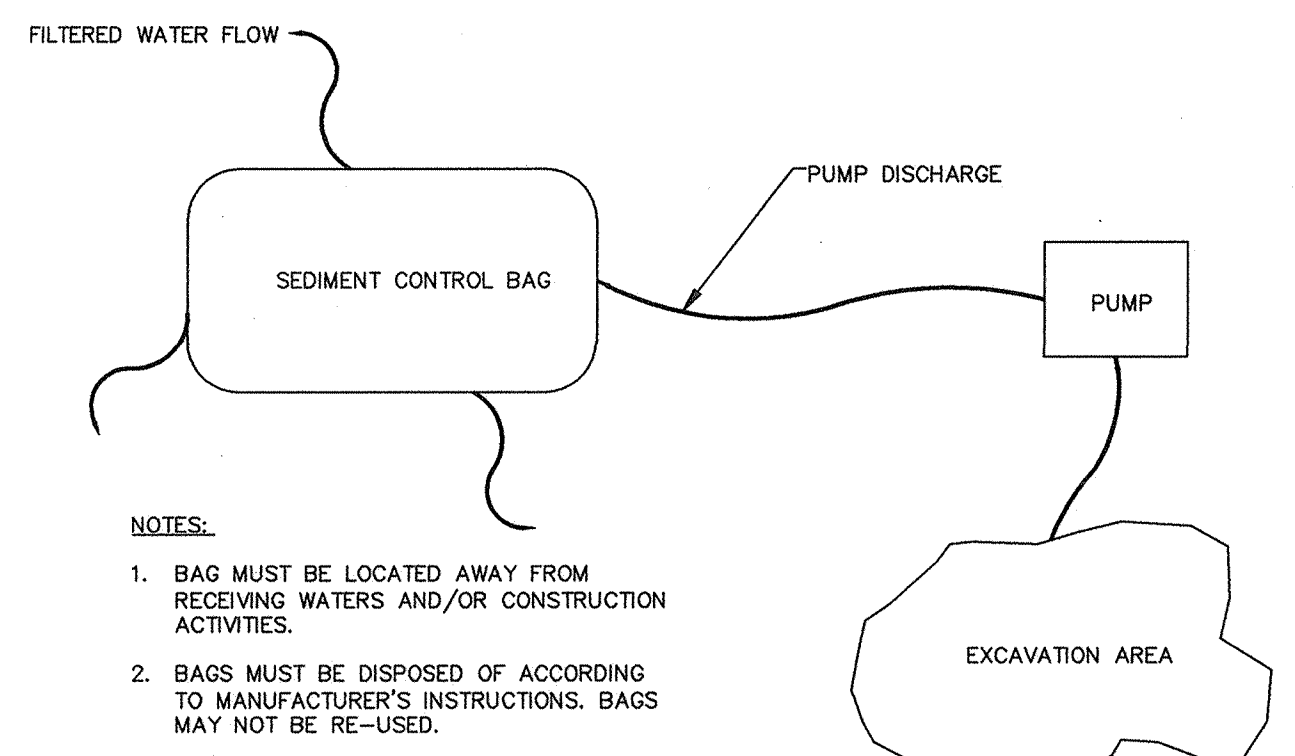
ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

INLET PROTECTION

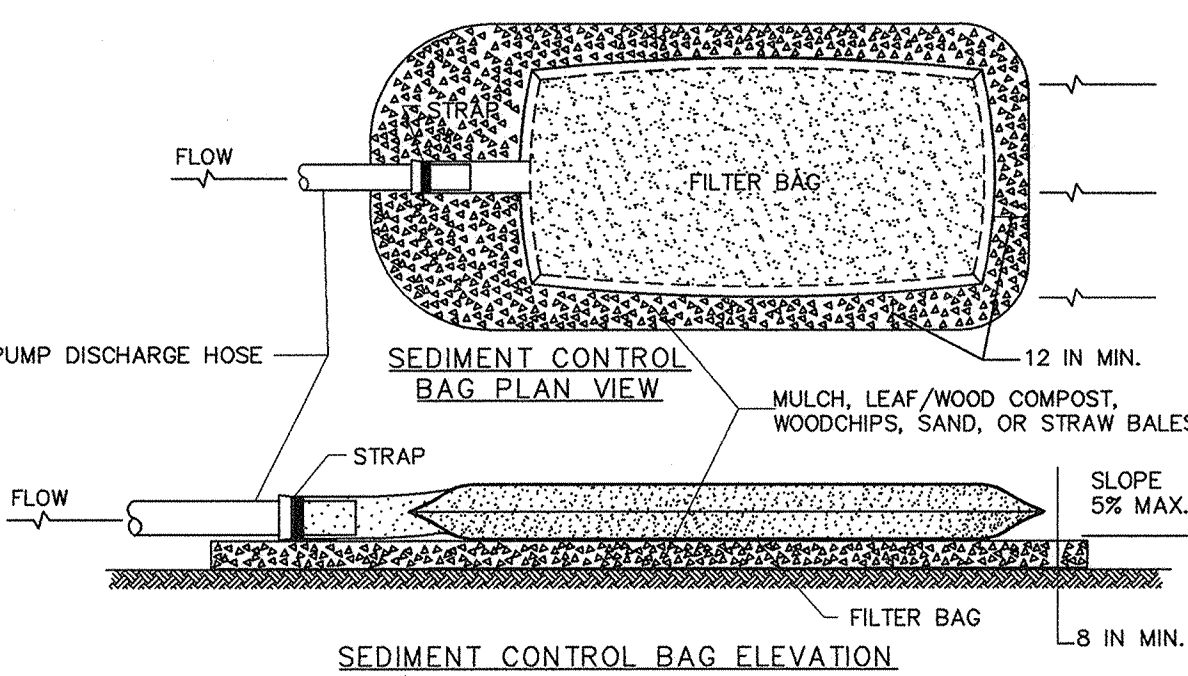
SLOPE STABILIZATION DETAIL

STOCKPILE DETAIL

TEMPORARY SWALE

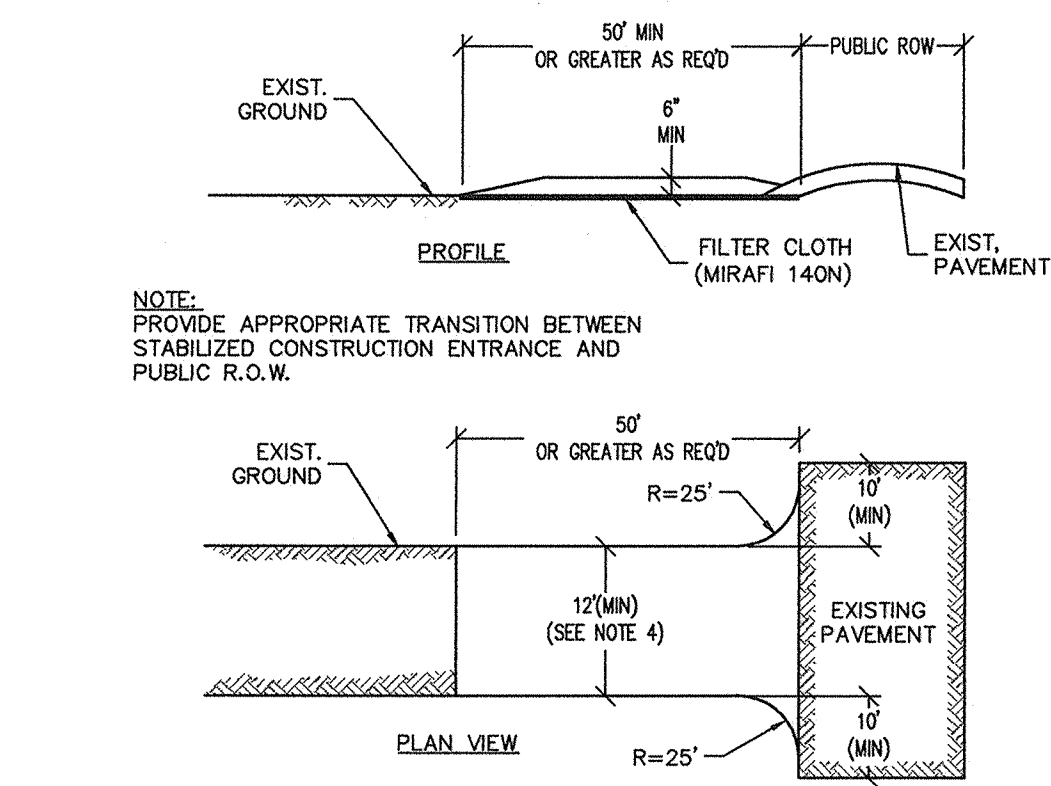


- NOTES:**
1. BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
 2. BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE RE-USED.



- CONSTRUCTION SPECIFICATIONS**
1. TIGHTLY SEAL SLEEVE AROUND THE PUMP DISCHARGE HOSE WITH A STRAP OR SIMILAR DEVICE.
 2. PLACE FILTER BAG ON SUITABLE BASE (E.G., MULCH, LEAF/WOOD COMPOST, WOODCHIPS, SAND, OR STRAW BALES) LOCATED ON A LEVEL, OR 5% MAXIMUM SLOPING SURFACE. DISCHARGE TO A STABILIZED AREA. EXTEND BASE A MINIMUM OF 12 INCHES FROM EDGES OF BAG.
 3. CONTROL PUMPING RATE TO PREVENT EXCESSIVE PRESSURE WITHIN THE FILTER BAG IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS. AS THE BAG FILLS WITH SEDIMENT, REDUCE PUMPING RATE.
 4. REMOVE AND PROPERLY DISPOSE OF FILTER BAG UPON COMPLETION OF PUMPING OPERATIONS OR AFTER BAG HAS REACHED CAPACITY, WHICHEVER OCCURS FIRST. SPREAD THE DRAINAGE SEDIMENT FROM THE BAG IN AN APPROVED UP-AND AREA AND STABILIZE WITH SEED AND MULCH BY THE END OF THE WORK DAY. RESTORE THE SURFACE AREA BENEATH THE BAG TO ORIGINAL CONDITION UPON REMOVAL OF THE DEVICE.
 5. USE NONWOVEN GEOTEXTILE WITH DOUBLE STITCHED SEAMS USING HIGH STRENGTH THREAD. SIZE SLEEVE TO ACCOMMODATE A MAXIMUM 4 INCH DIAMETER PUMP DISCHARGE HOSE. THE BAG MUST BE MANUFACTURED FROM A NONWOVEN GEOTEXTILE THAT MEETS OR EXCEEDS MINIMUM AVERAGE ROLL VALUES (MARV) FOR THE FOLLOWING:
- | GRAB TENSILE | 250 LB | ASTM D-4632 |
|---|---|-------------|
| PUNCTURE <td>150 LB <td>ASTM D-4633</td> </td> | 150 LB <td>ASTM D-4633</td> | ASTM D-4633 |
| FLOW RATE <td>70 GAL/MIN/FT² <td>ASTM D-4491</td> </td> | 70 GAL/MIN/FT ² <td>ASTM D-4491</td> | ASTM D-4491 |
| PERMITTIVITY (SEC ⁻¹) <td>1.2 SEC⁻¹ <td>ASTM D-4491</td> </td> | 1.2 SEC ⁻¹ <td>ASTM D-4491</td> | ASTM D-4491 |
| UV RESISTANCE <td>70% STRENGTH @ 500 HOURS <td>ASTM D-4355</td> </td> | 70% STRENGTH @ 500 HOURS <td>ASTM D-4355</td> | ASTM D-4355 |
| APPERT OPENING SIZE (AOS) <td>0.15-0.18 MM <td>ASTM D-4751</td> </td> | 0.15-0.18 MM <td>ASTM D-4751</td> | ASTM D-4751 |
| SEAM STRENGTH <td>90% <td>ASTM D-4632</td> </td> | 90% <td>ASTM D-4632</td> | ASTM D-4632 |
6. REPLACE FILTER BAG IF BAG CLOSOS OR HAS RIPS, TEARS, OR PUNCTURES. DURING OPERATION KEEP CONNECTION BETWEEN PUMP HOSE AND FILTER BAG WATER TIGHT. REPLACE BEDDING IF IT BECOMES DISPLACED.

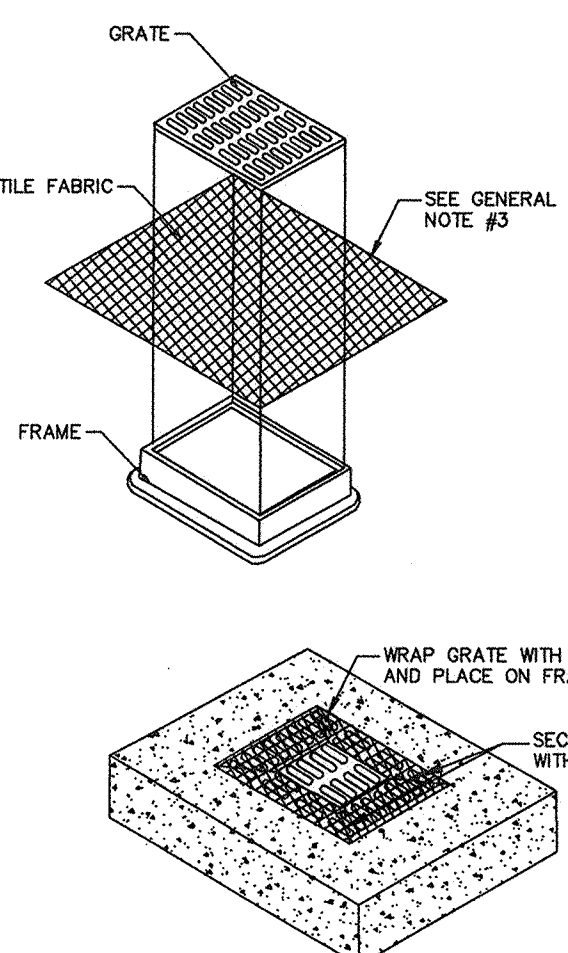
SEDIMENT CONTROL FILTER BAG



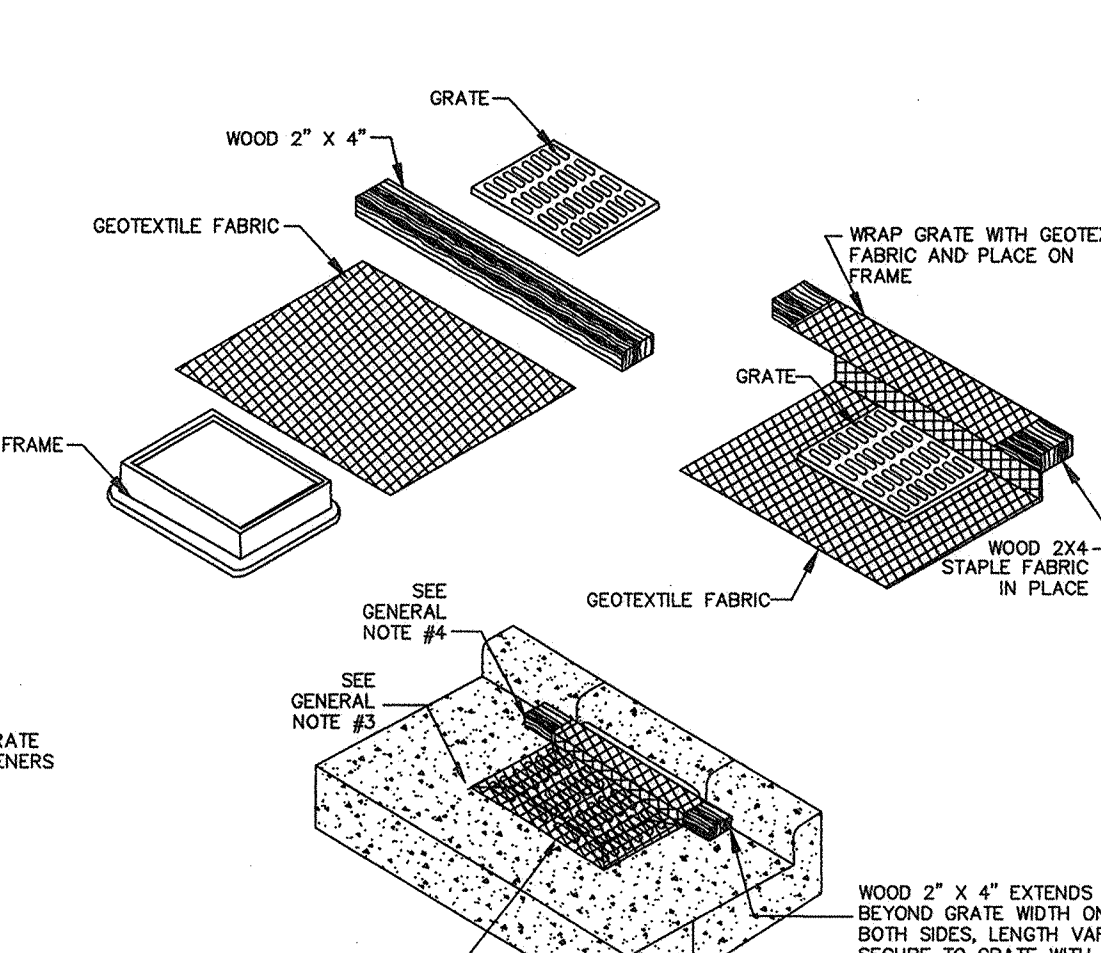
- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE - USE 3" STONE (NYS DOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT).
 2. LENGTH - NOT LESS THAN 50 FEET
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS

STABILIZED CONSTRUCTION ACCESS

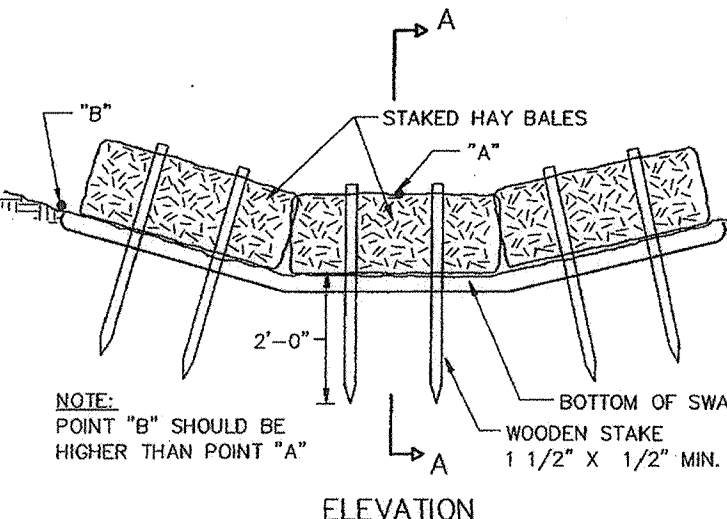
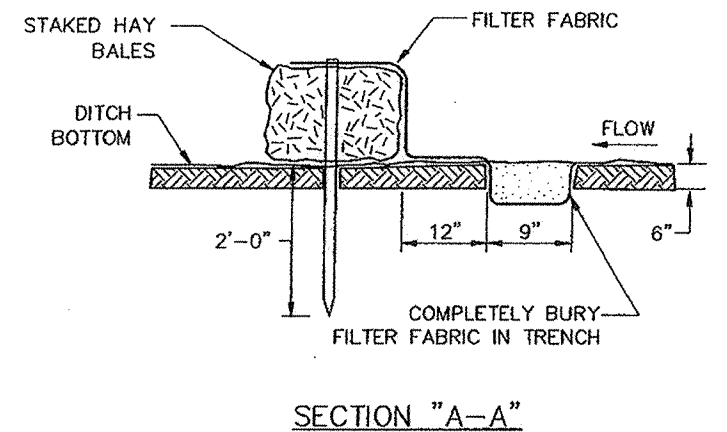


YARD INLET PROTECTION
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



CURB INLET PROTECTION

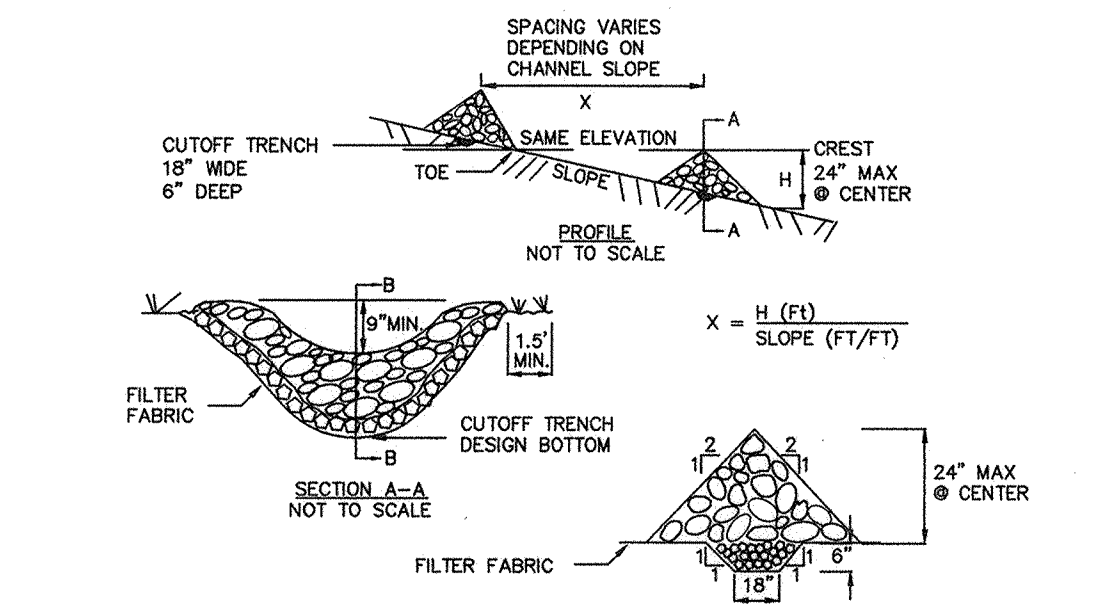
EXISTING FABRIC INLET PROTECTION



TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER
STANDARD WATER DISTRIBUTION DETAILS
HAY BALE SILTATION CONTROL
DATE: NOVEMBER 2001 BY: CLO NO SCALE

CONTRACTOR SHALL SUBMIT
SHOP DRAWINGS FOR ALL
DETAILS TO THE OWNER'S
ENGINEER FOR REVIEW.

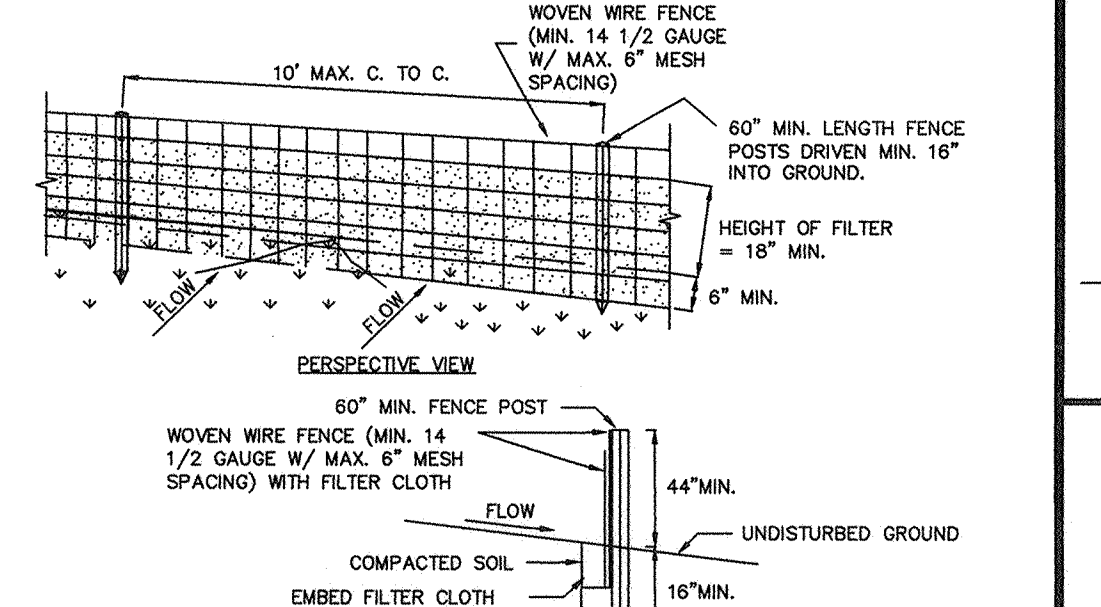
CONTRACTOR SUBMITTAL NOTE



- CONSTRUCTION SPECIFICATIONS**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
- MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

ROCK CHECK DAM



- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1/2" TYPE.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACING EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, WRAP1 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

SILT FENCE (REINFORCED)

TOWN OF NEWBURGH APPROVAL BOX

TOWN PROJECT #

DATE: 2/1/2019
DATE

12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.
Revisions		

DEC 0 6 2018
BRYAN M. WAGNER
PROFESSIONAL ENGINEER NY LIC NO. 080661-1

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NJ CERTIFICATE OF AUTHORIZATION NO. 26042796600

Project
**THE SHOPPES AT
UNION SQUARE
PHASE II**
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
**SOIL EROSION AND
SEDIMENT CONTROL
DETAILS**

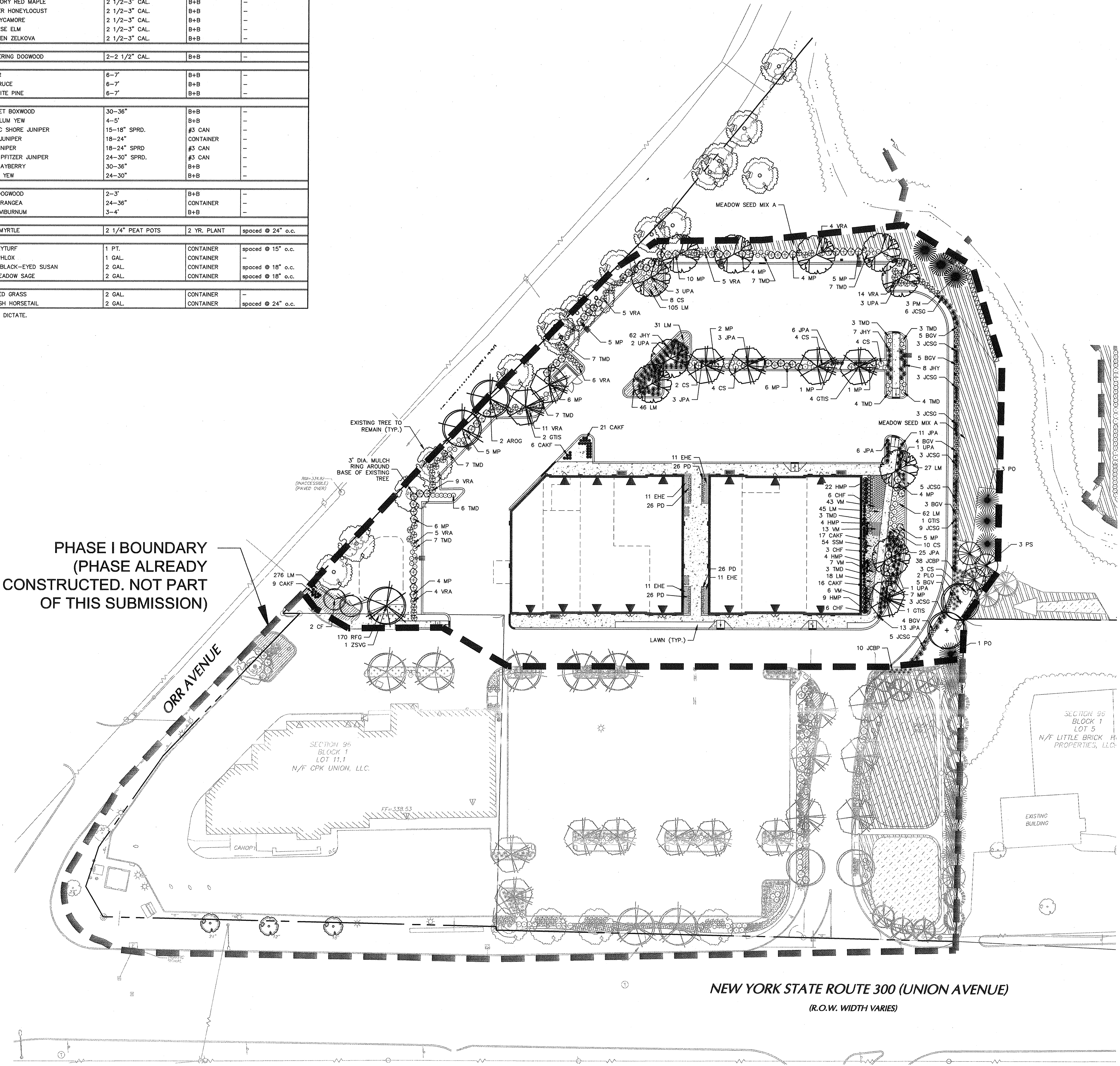
Project No. 9133101
Date July 18, 2018
Scale AS SHOWN
Dwn. By AEB
Drawing No. 23.02

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
GTIS	7	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B	-
PLO	2	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2 1/2-3" CAL.	B+B	-
UPA	10	ULMUS PARVIFOLIA 'ALLEE'	ALLEE CHINESE ELM	2 1/2-3" CAL.	B+B	-
ZSVG	1	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2 1/2-3" CAL.	B+B	-
ORNAMENTAL TREE(S)						
CF	2	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	2-2 1/2" CAL.	B+B	-
EVERGREEN TREE(S)						
PM	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7'	B+B	-
PO	4	PICEA OMORICA	SERBIAN SPRUCE	6-7'	B+B	-
PS	3	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	-
EVERGREEN SHRUB(S)						
BGV	34	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	30-36"	B+B	-
CHF	15	CEPHALOTAXUS HARRINGTONIA 'FASTIGIATA'	JAPANESE PLUM YEW	4-5'	B+B	-
JCBP	37	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	15-18" SPRD.	#3 CAN	-
JCSG	40	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18-24"	CONTAINER	-
JHY	77	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD.	#3 CAN	-
JPA	67	JUNIPERUS X PRITZERIANA 'ARMSTRONGII'	ARMSTRONG PRITZER JUNIPER	24-30" SPRD.	#3 CAN	-
MP	77	MYRICA PENSYLVANICA 'SILVER SPRITE'	NORTHERN BAYBERRY	30-36"	B+B	-
TMD	68	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B	-
DECIDUOUS SHRUB(S)						
CS	35	CORNUS SERICEA 'ALLEMANS'	RED OSIER DOGWOOD	2-3'	B+B	-
HMP	39	HYDRANGEA MACROPHYLLA 'PIA'	BIGLEAF HYDRANGEA	24-36"	CONTAINER	-
VRA	63	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	3-4'	B+B	-
GROUND COVER						
WM	69	VINCA MINOR	PERIWINKLE/MYRTLE	2 1/4" PEAT POTS	2 YR. PLANT	spaced @ 24" o.c.
PERENNIAL(S)						
LM	610	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 PT.	CONTAINER	spaced @ 15" o.c.
PD	104	PHLOX DIVARICATA 'LONDON BLUE MOON'	WOODLAND PHLOX	1 GAL.	CONTAINER	-
RFG	108	RUDEBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM/BLACK-EYED SUSAN	2 GAL.	CONTAINER	spaced @ 18" o.c.
SSM	54	SALVIA SUPERBA 'MAYNIGHT'	MAYNIGHT MEADOW SAGE	2 GAL.	CONTAINER	spaced @ 18" o.c.
ORNAMENTAL GRASS(S)						
CAKF	69	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER	-
EHE	44	EQUISETUM HYEMALE	SCOURINGRUSH HORSETAIL	2 GAL.	CONTAINER	spaced @ 24" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



NOTE: REFER TO SHEET 24.04 FOR LANDSCAPE NOTES AND DETAILS

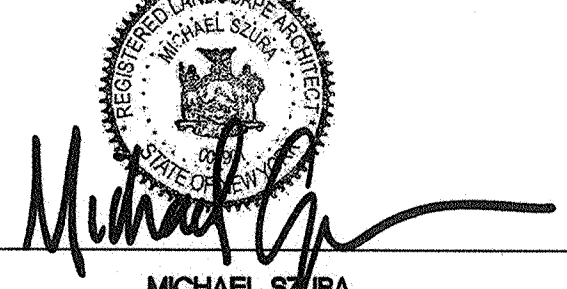
PLANNING BOARD TRACKING NO. 2007-05

SCALE IN FEET
30 0 15 30

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
8/22/2018
Chairman

12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.

Revisions


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NJ CERTIFICATE OF AUTHORIZATION NO. 2463796400

Project
**THE SHOPPES AT
UNION SQUARE
PHASE II**
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK
Drawing Title

LANDSCAPE PLAN

Project No.	9133101	Drawing No.	
Date	JULY 18, 2018		
Scale	1"=30'		
Drn. By	GR		
	DB		

24.01

SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
1	A	3	PHILIPS GARDCO	GULLWING LED GLB	POLE MOUNTED SINGLE AREA LIGHT FIXTURE COLOR - BLACK	20'-0"	160W LED 3000K	TYPE III	10,533	0.90	GLB-3-100LA-481A-WW-HS-IES	GLB-SW-1-3-160LA-481A-WW-VOLTS-BLP-HS	PHILIPS GARDCO	ROUND TAPERED ALUMINUM COLOR: BLACK	20'-0"	TRA-CB-20H-01-BLP
2	B	3	PHILIPS GARDCO	GULLWING LED GLB	POLE MOUNTED SINGLE AREA LIGHT FIXTURE COLOR - BLACK	20'-0"	100W LED 3000K	TYPE IV	8,316	0.90	GLB-4-100LA-4870-WW-HS-IES	GLB-SW-1-4-100LA-4870-WW-VOLTS-BLP-HS	PHILIPS GARDCO	ROUND TAPERED ALUMINUM COLOR: BLACK	20'-0"	TRA-CB-20H-01-BLP
3	C	3	PHILIPS GARDCO	GULLWING LED GLB	WALL MOUNTED SINGLE AREA LIGHT FIXTURE COLOR - BLACK	16'-0" COORDINATE EXACT HEIGHT WITH ARCHITECT	200W LED 3000K	TYPE IV	15,967	0.90	GLB-4-200LA-9670-WW-HS-IES	GLB-SW-W-4-200LA-9670-WW-VOLTS-BLP-HS	-	-	-	-
4	D	2	PHILIPS GARDCO	GULLWING LED GLB	WALL MOUNTED SINGLE AREA LIGHT FIXTURE COLOR - BLACK	16'-0" COORDINATE EXACT HEIGHT WITH ARCHITECT	100W LED 3000K	TYPE IV	8,316	0.90	GLB-4-100LA-4870-WW-HS-IES	GLB-SW-W-4-100LA-4870-WW-VOLTS-BLP-HS	-	-	-	-

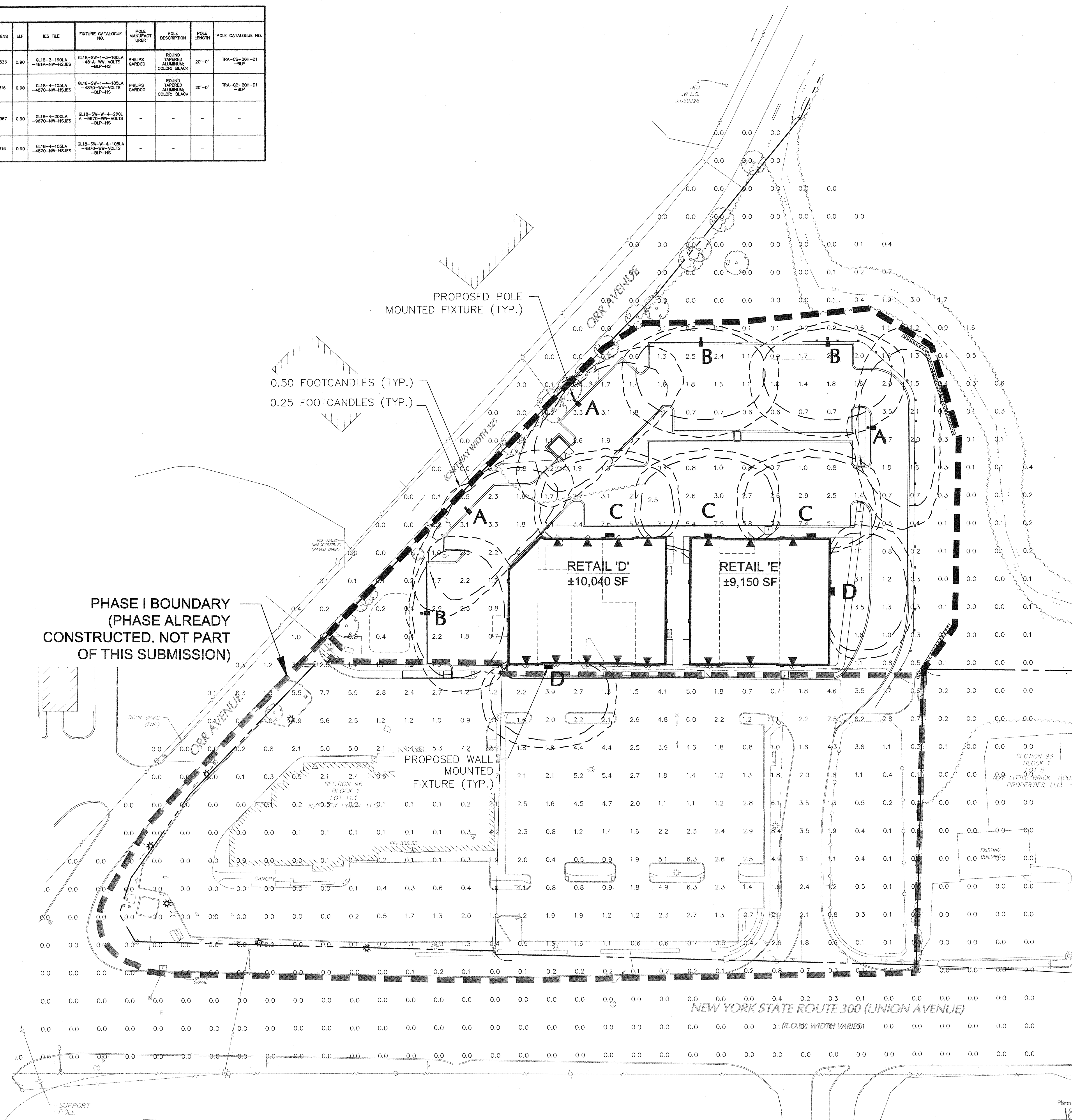
NOTES:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
2. ALL FIXTURES SHALL BE FULL CUT OFF, EMISSION ZERO UP-LIGHT ABOVE THE SO-PLANE.
3. ALL POLES 20' OR MORE FEET TALL SHALL HAVE FACTORY INSTALLED VIBRATION DAMPENERS.

STATISTICS

DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
PHASE 2 CAR PARKING	2.2%	7.6%	0.6%	12.7:1	3.7:1
PROPERTY LINE	0.1%	0.4%	0.0%	N/A	N/A

NOTES:
LIGHTING PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION
ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



NOTE: REFER TO SHEET 25.02 FOR LIGHTING SCHEDULE, NOTES, AND DETAILS

PLANNING BOARD TRACKING NO. 2007-05

SCALE IN FEET
0 15 30

12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.

Michael Surra
MICHAEL SURRA
NY Registered Landscape Architect No. 001901-1

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054

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NJ CERTIFICATE OF AUTHORIZATION NO. 24042796400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
LIGHTING PLAN

Project No.	9133101	Drawing No.	
Date	JULY 18, 2018		
Scale	1"=30'		25.01
Drn. By	YZ		
	DB		

LIGHTING NOTES:

GENERAL

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS. NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.

2. LIGHT LEVEL POINT SPACING IS 20 FT. LEFT TO RIGHT AND 20 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.

6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.

7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.

8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.

9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.

11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.

12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.

13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.

15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.

17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:

A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR

B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.

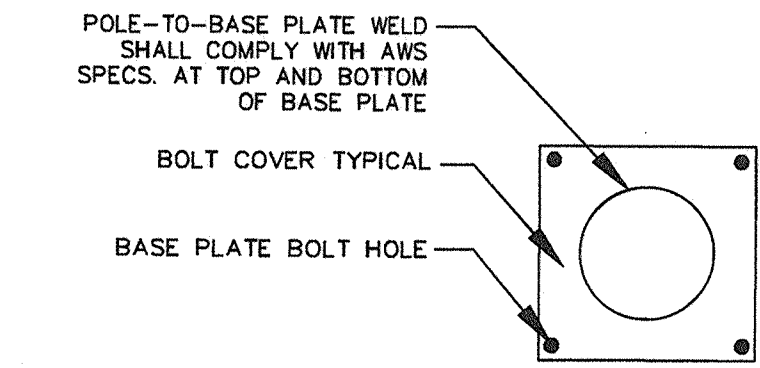
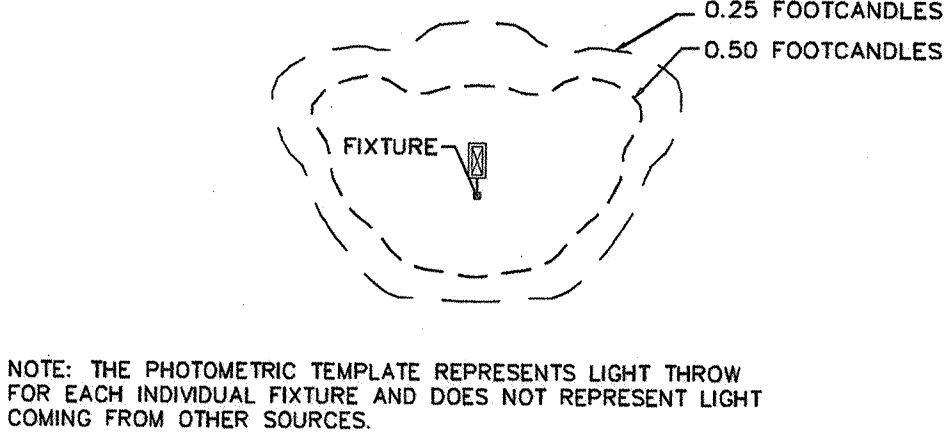
C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, RES CALCULATION POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOFLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.

D. POLE MANUFACTURER HASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

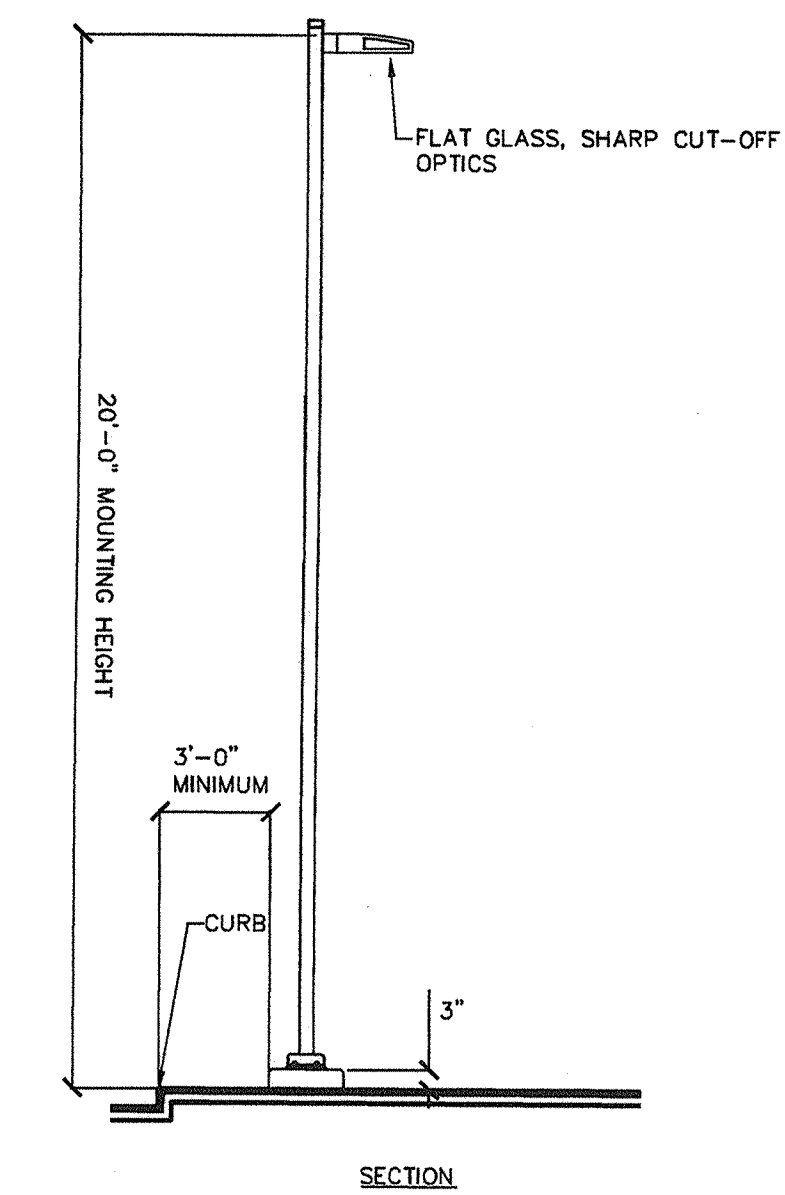
E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.

F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

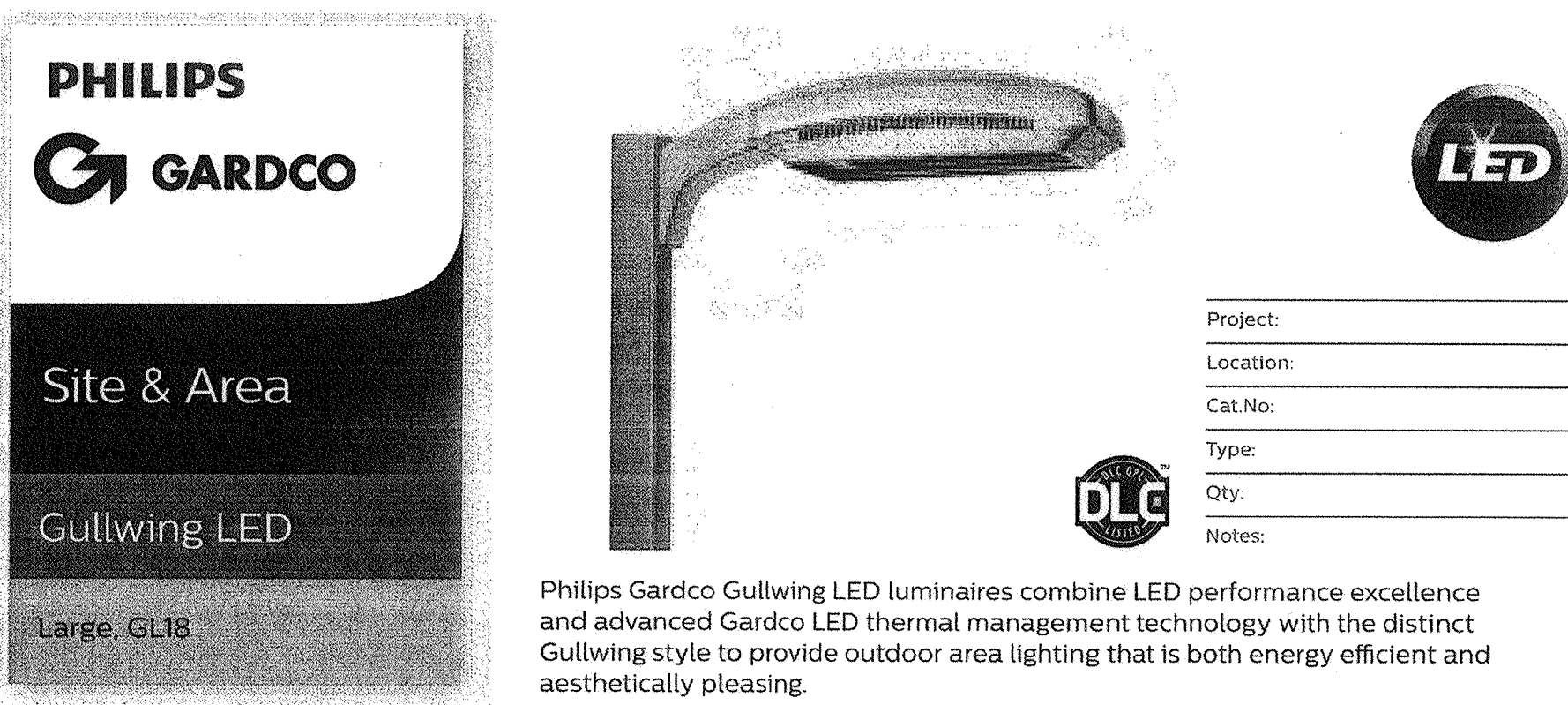
PHOTOMETRIC LIGHTING TEMPLATE



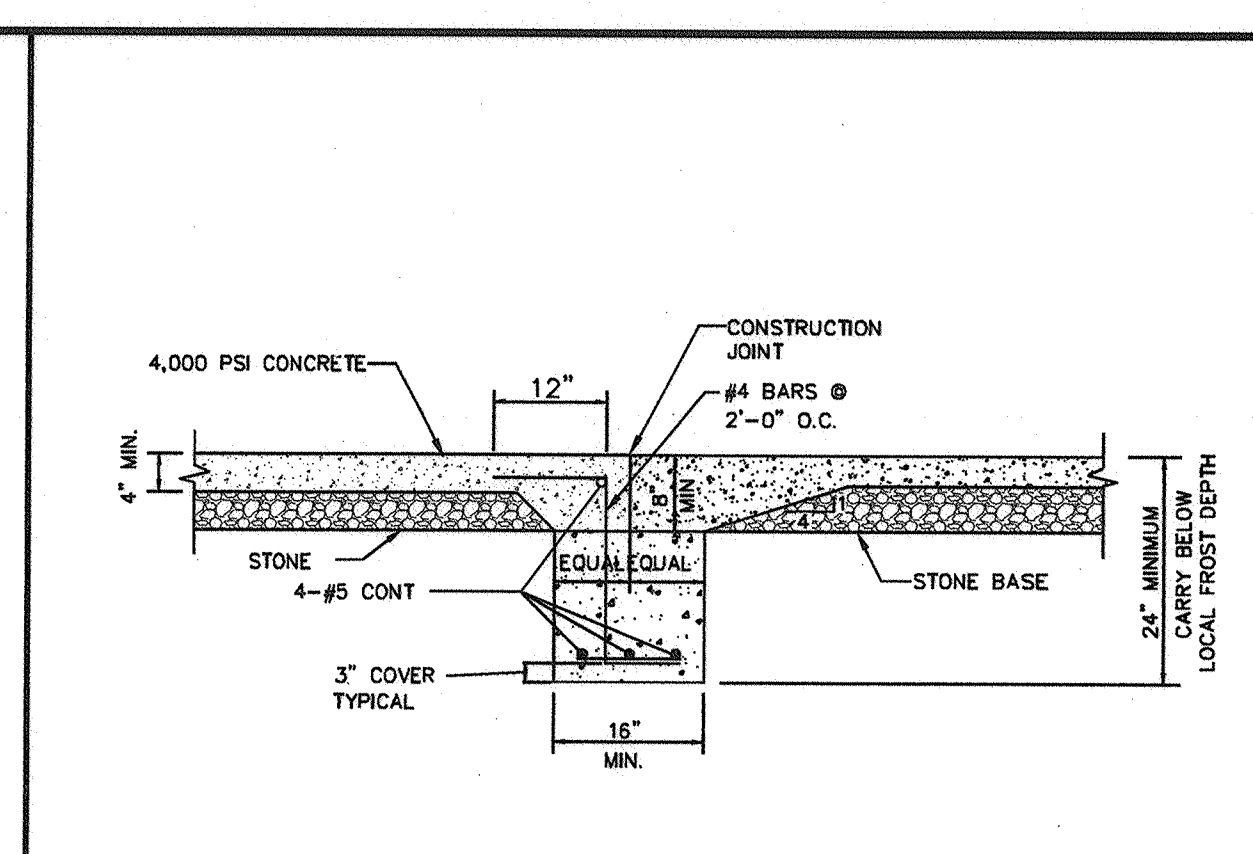
PLAN



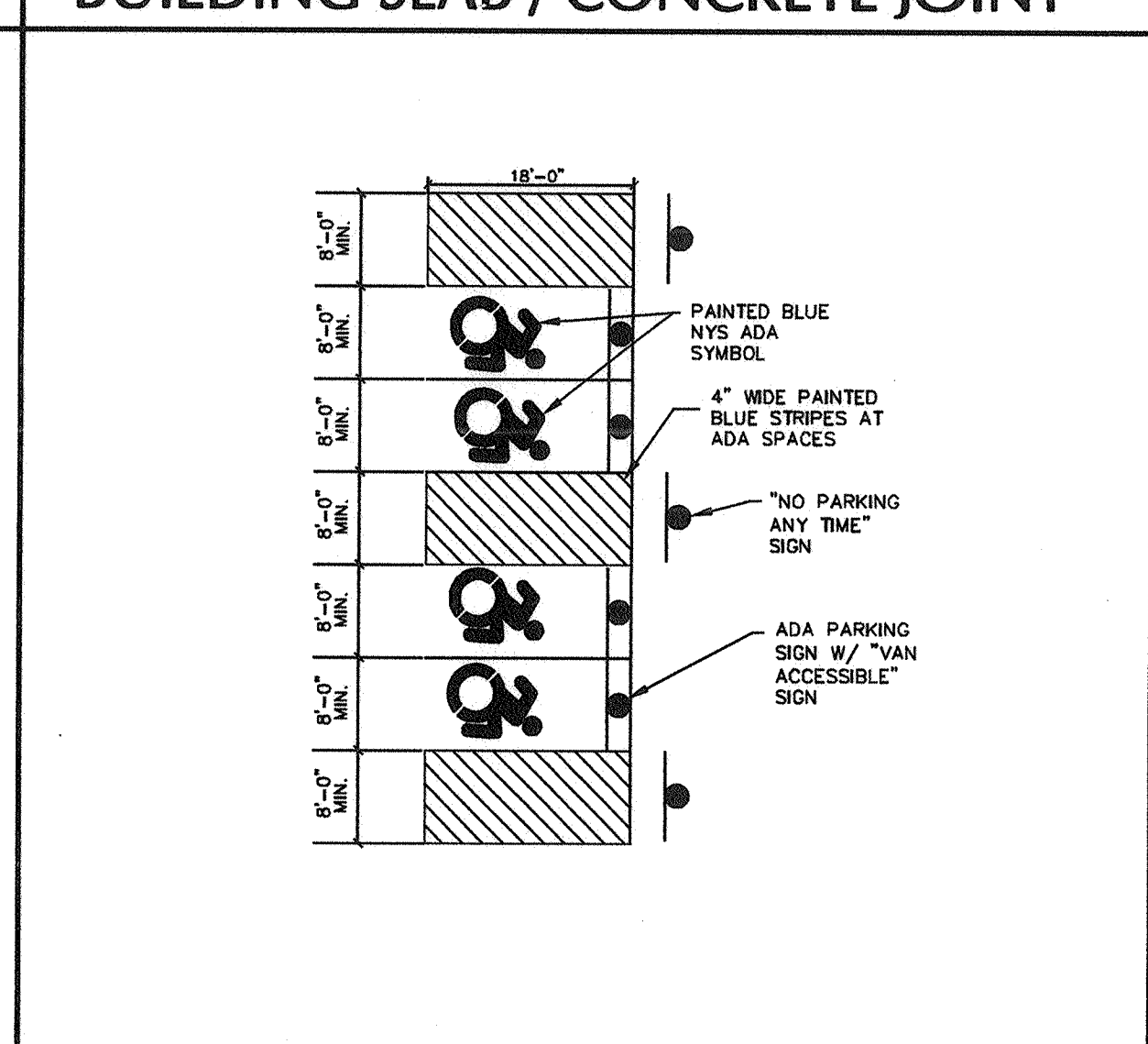
LIGHT FIXTURE AND POLE



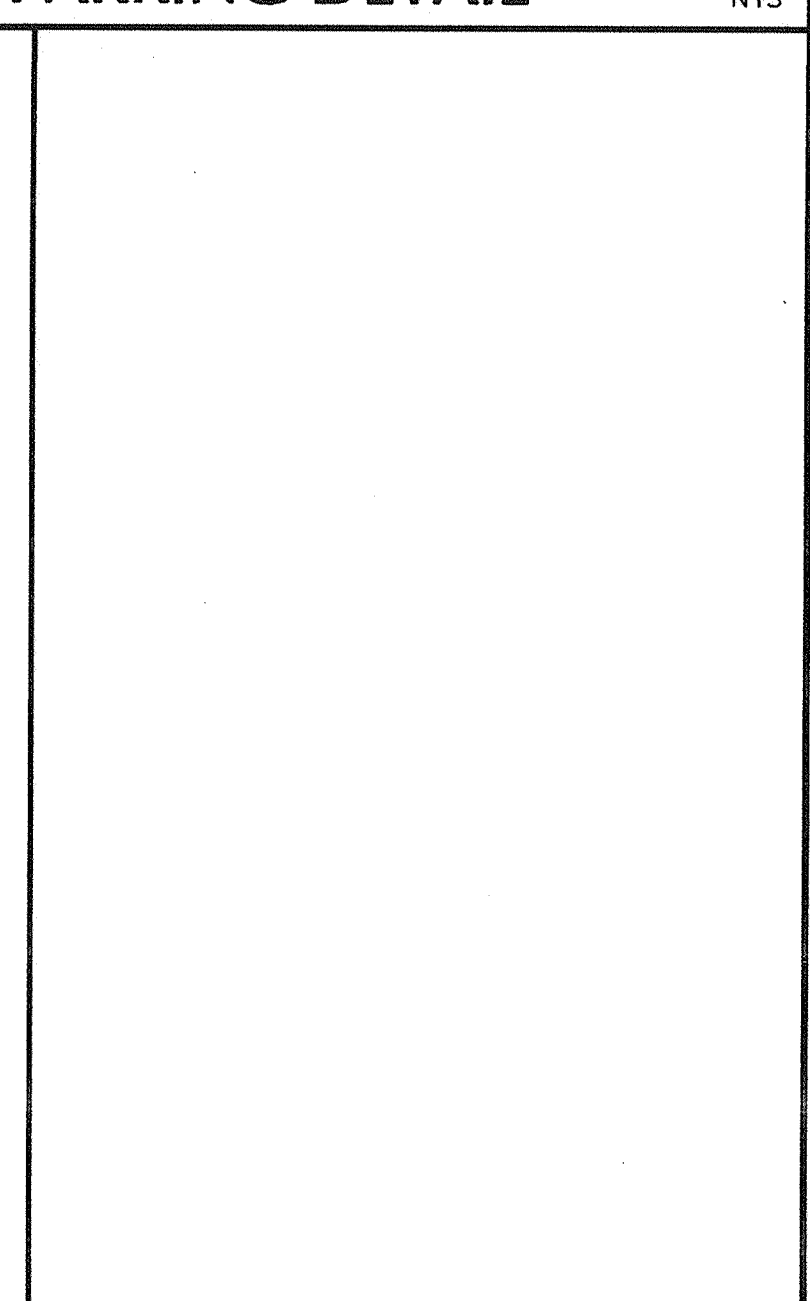
Ordering guide				Example: GL18-APD-1-4-80LA-4853-NW-120-BRP-LF					
Prefix	Controls	Mounting	Optical System ¹	Wattage	LED Color	Voltage	Finish	Options	
<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	
GL18 18" Gullwing LED Luminaire Constant Wattage		1 Single	2 Type 2	50LA-4835 40 LEDs, 350mA	NW Neutral White 4000K, 70 mm. CR	120	BLP Black Paint	F ¹ Fusing	
	GL18-DIM	2 2-180°	2 2-90° Type 2090 ²	80LA-4853 48 LEDs, 530mA	CW Cool White 5000K, 70 mm. CR	240	WP White Paint	PC ¹⁴³ Photocontrol and Receptacle (includes PCRS)	
	GL18-RK	2 @ 90°	2 2-90° Type 2090 ²	105LA-4870 48 LEDs, 700mA	CW Cool White 5000K, 70 mm. CR	277	BRP Bronze Paint	PCRS ¹⁴⁴ Photocell Receptacle only with 2 dimming connections	
	GL18-APD	3 3 @ 90°	3 Type 3	100LA-481A 48 LEDs, 1A	WW Warm White 3000K	480	NP Natural Aluminum Paint	PCRS ¹⁴⁴ Photocell Receptacle only with 2 dimming and 2 auxiliary connections	
	GL18-MR10	3 @ 120°	3 Type 3	100LA-4840 64 LEDs, 550mA	WW Warm White 3000K, 70 mm. CR	480 (120-277V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
	GL18-APD-MR10	4 4 @ 90°	4 3-270° Type 3070 ²	200LA-9670 96 LEDs, 900mA	WW Warm White 3000K, 90 mm. CR	480 (347-480V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
	GL18-MR10	4 4 @ 90°	4 3-270° Type 3070 ²	200LA-9670 96 LEDs, 900mA	WW Warm White 3000K, 90 mm. CR	480 (347-480V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
	GL18-APD-MR10	5 5 @ 90°	5 5 @ 90° Type 4090 ²	300LA-9600 96 LEDs, 900mA	WW Warm White 3000K, 90 mm. CR	480 (347-480V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
	GL18-MR10	5 5 @ 90°	5 5 @ 90° Type 4090 ²	300LA-9600 96 LEDs, 900mA	WW Warm White 3000K, 90 mm. CR	480 (347-480V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
	GL18-APD-MR10	5 5 @ 90°	5 5 @ 90° Type 4090 ²	300LA-9600 96 LEDs, 900mA	WW Warm White 3000K, 90 mm. CR	480 (347-480V)	NP Natural Aluminum Paint	OC Optional Color Specify optional color or RAL ex: OC-GIP or OC-RAL7024	
Wireless systems (if mounting heights controller available)									
LLC ¹⁴¹ 1" #2 lens for 8-20" mounting heights									
LLC ¹⁴¹ 1" #3 lens for 8-20" mounting heights									
LLC ¹⁴¹ 4" #4 lens for 21-40" mounting heights									
Network system (StarLine) ¹⁴²									
SW-TR700 module ¹⁴³									
SW-MR30 Luminaire mounted sensor option Type 3									
SW-MR37 Luminaire mounted sensor option Type 7									
SW-MR30 Luminaire mounted sensor option									



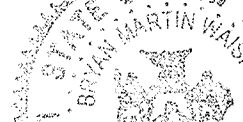

BUILDING SLAB / CONCRETE JOINT



ADA PARKING DETAIL



TYPICAL TRAFFIC SIGN

12/8/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.
Date	Description	No.
Revisions		
 		
DEC 06 2018 BY BRYAN M. WAINIOR EPLKIMFHX-WX-HCH-NC OR06651 1		



STEEL GUIDE RAIL

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