

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT NAME:SHOPPES AT UNION SQUARE PHASE IIIPROJECT NO.:23-16PROJECT LOCATION:1217 & 1219 ROUTE 300SECTION 96, BLOCK 1, LOT 6.2 & 11.11REVIEW DATE:7 AUGUST 2024MEETING DATE:15 AUGUST 2024PROJECT REPRESENTATIVE:KARC PLANNING CONSULTANTS

- 1. The project appeared before the Zoning Board of Appeals based on the Planning Board's referral 25 June 2024, at which was granted the necessary variances at the 25 July 2024 ZBA meeting.
- 2. The project now contains a minor subdivision to subdivide off the Self Storage Facility from the shopping center use.
- 3. The NYSDEC permit for crossing the Class A stream will be required.
- 4. A Stormwater Pollution Prevention Plan has been submitted and is under review by this office.
- 5. The applicant's have responded to the comments received by the Orange Lake Fire District. Confirmation of the comment response from the Fire District should be received.
- 6. A Habitat Assessment has been submitted identifying mitigation measures for threatened endangered species. Time of year restrictions for tree clearing are to be implemented in order to avoid impacts to protected bat species.
- 7. The City of Newburgh clause acceptance letter is required.
- 8. The tree preservation plan submitted must list the size and species of each identified tree. An abbreviated chart has been provided on the plan.
- 9. The percentage of specimen trees to be removed must be calculated based on the total number of specimen trees on the site.
- 10. The chart does not address Protected Trees as identified in the ordinance.
- 11. The ordinance requires the plan to identify the qualifications of the person performing the tree survey.

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- 12. Applicant's are requested to verify the tree protection legend identifying Tree Protection Planking.
- 13. Limits of disturbance should be identified in the field utilizing orange construction fencing.
- 14. Health Department approval for watermain extension with hydrants is required.
- 15. Refer to Orange County Planning is required due to projects proximity to state highway.
- 16. A Stormwater Facility Maintenance Agreement will be required.

Respectfully submitted,

MHE Engineering, D.P.C. Pater & Determe

Patrick J. Hines Principal PJH/ltm/kmm

August 1, 2024

John P. Ewasutyn, Chairman Town of Newburgh Planning Board & Members 21 Hudson Valley Professional Plaza Newburgh, NY 12550

RE: 1217 & 1219 NYS Route 300
 Parcel ID# 96-1-6.2 & 96-1-11.1
 Newburgh Shoppes Phase III - Site Plan / Subdivision Applications

Chairman Ewasutyn and Planning Board Members,

Enclosed please find eleven (11) copies of the following documents for review:

- 1. Responses to Consultant Comments:
 - a. Review Memo prepared by Creighton Manning Engineering dated May 19, 2024
 - b. Technical Review comments prepared by McGoey Hauser Engineering dated May 16, 2024
 - c. Orange Lake Fire District comments via email dated June 5, 2024
- 2. Habitat Suitability Assessment (Phase III) prepared by Ecological Solutions dated July 16, 2024
- 3. Phase III Site Plan Set prepared by Langan Engineering dated July 26, 2024 and July 30, 2024
- 4. Elevations, Lighting, and Layout Plans prepared by RZA dated July 11, 2024

Also enclosed, please find one (1) of:

 Amended Stormwater Pollution Prevention Plan prepared by Langan Engineering dated July 26, 2024

<u>Fees:</u> The Applicant submitted the following fees on July 14, 2023; please advise if additional fees are required at this time.

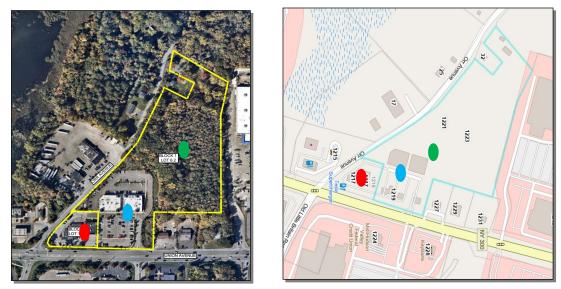
- Application = \$12,790.00
- Escrow = \$1,000.00

If you recall, we represent the owner of the Shoppes at Union Square located at 1217 & 1219 NYS Route 300 in the I-B District. The Parcels are identified as 96-1-6.2 and 96-1-11.1 and are collectively 11.40 acres in total.

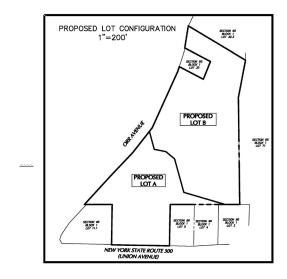
Phase I of this property included the approval of Cosimo's Restaurant and associated parking.

Phase II of this property was approved for additional commercial retail spaces.

Phase III of this property is currently before the Board for Site Plan Approval for Self-Storage facilities.



The Applicant is also applying for a Minor Subdivision; this line will intersect Phases II & III leaving the Phase III parcel with 6.39 acres.



PO Box 924 | Poughkeepsie, NY 12602 | 845.594.1055 | kelly@karcpc.com DBE Certified | WBE Certified in NY and NJ | US SBA WOSB & EDWOSB Certified

A Negative Declaration for this property was issued on October 16, 2008 and was filed with the Clerk on December 4, 2008. The project that was included as part of this review included all three Phases totaling 66,000sf of retail space. We have included an amended Full Environmental Assessment Form with this application to address the work proposed for Phase III. An analysis has also been prepared to show that Phase III will not promote or produce any adverse impacts to the environment, like in previous Phases.

The current total project area to be disturbed (under 5 acres) is currently vacant but forested with an existing ACOE stream that runs through the property and eventually drains into Lake Washington. The Negative Declaration issued in 2008 contemplated 11.8 acres of disturbance. In response to the Negative Declaration issued in 2008, the Applicant had proposed and has carried out several mitigation measures to ensure the water was protected and will continue to do so during Phase III. There continues to be no impacts or encroachment into this stream.

Access to the site will be from Orr Avenue, which intersects NYS Route 300 at the northwest corner of the property. Per the Negative Declaration issued in 2008 for Phases I & II, a new traffic signal and lane widening was required at the entrance drive to handle the additional trips. This has since been installed and continues to act as the mitigation measure for potential traffic impacts in Phase III. In 2008, The Town Engineer and DOT representative also determined that air pollution would not be significantly increased by the additional trips generated, nor would traffic levels (noise). As a storage facility Use in Phase III, we do not anticipate the overall traffic and/or noise levels will have any significant increases in trips or impacts.

It was previously determined that there are no threatened or endangered species on the site and has never had agricultural activity. Finally, it was confirmed that there are no archaeological or historical resources of any significance on the site.

Due to the Minor Subdivision and site constraints, Orr Ave. becomes the Front Yard which resulted in the request of four possible Area Variances.

Since our last submission to and appearance before the Planning Board (meeting held May 6, 2024), we received consultant comments (responses included in this submission) and have made a submission to the Zoning Board of Appeals per the Planning Board re-referral dated June 7, 2024. The ZBA public hearing was opened on June 27th and subsequently adjourned to July 15th due to lack of response from County Planning. We appeared before the Zoning Board again on July 25th at which time all variance requests were granted.

Below please find responses to comments prepared by Creighton Manning Engineering dated May 10, 2024:

1. The plan shows access extending from Lot A to the main entrance with a secondary driveway provided to Orr Avenue. Described the traffic flow operation – will in/out access be provided from the main gate?

Is the Orr Ave in/out access? How will customers access the secured area? Code and keypad? Where is that located?

Response: Controlled in and out access to Lot A will be provided from both RT 300 and Orr Avenue. The access points will be gated and secured with keypads for ingress and egress. Specific access details are still being developed. We will work with the Fire Department to ensure that they have unobstructed access.

2. Truck turning movements should be shown on future plans.

<u>Response</u>: Please see Truck Turning Analysis Plan (Sheet 20.15) and Fire Truck Turning Analysis Plan (Sheet 20.14) prepared by Langan Engineering dated July 26, 2024 included in this submission.

Below please find responses to comments prepared by McGoey, Hauser, Edsall dated May 16, 2024:

1. The applicants have identified that the project will now include a subdivision to separate the proposed self-storage parcel from the shopping center use previously approved.

<u>Response</u>: Comment Noted. Please see Minor Subdivision Plan (Sheet CB101) prepared by Langan Engineering dated June 5, 2024, amended July 30, 2024.

2. The project received a Negative Declaration for the supermarket use on this portion of the property in 2008. In 2008 Bat Species were not protected. A revised EAF identifies two protected species, the Indiana Bat and the Upland Sandpiper. Environmental documents should be updated to address potential habitat for these two species.

<u>Response</u>: Please see the Habitat Suitability Assessment Report for Phase III prepared by Ecological Solutions dated July 16, 2024 included in this submission.

3. An NYSDEC Permit is required for the two access points.

<u>Response</u>: Comment noted; the Applicant will coordinate with NYSDEC.

4. Since the original Negative Declaration, stormwater regulations have become significantly more stringent. A Stormwater Pollution Prevention Plan (SWPPP) must be provided addressing drainage from the site in compliance with current regulations.

<u>Response</u>: A combined stormwater report and SWPPP prepared by Langan Engineering dated July 26, 2024 has been submitted as part of this submission.

5. Status of the Zoning Board of Appeals approval for building height, rear yard and setback for self-storage facility should be received. Proposed rear yard setback is 30 feet where 40 feet is required. Proposed building height is 40 +/- feet where 15 feet is required. Building height should be defined prior to submission to Zoning Board of Appeals.

<u>Response</u>: The Zoning Board of Appeals granted the following variances at their meeting on July 25, 2024.

Per §185 Attachment 13 of the Town of Newburgh Ecode360, Table of Use and Bulk Requirements/I-B District Section 8, the Applicant sought and received the following variances:

BULK REQUIREMENT	REQUIRED	PROPOSED	VARIANCE
Minimum Rear Yard Setback	40 ft	30 ft	10 ft
Maximum Building Height	15 ft	40 ft	30 ft

Per §185-35.C of the Town of Newburgh Ecode360, Self-Storage Centers – Building Locations and Materials, the Applicant sought and received the following variances:

LOCATION/MATERIAL	WHEREVER POSSIBLE	PROPOSED
Long dimension of building is	Perpendicular	Parallel
perpendicular to fronting		
street		
Building facades facing the	Masonry	Aluminum
fronting street to be		or metal
masonry		

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6. The access to the self-storage facility from the shopping center has parking located outside a gated area. Access to the facility should be addressed if this parking is utilized and gated. Is an office area proposed which will have access from the parking?

<u>Response</u>: Unrestricted access to the office is provided outside of the gated area.

7. No outdoor storage areas are depicted on the plans. Notes should be added to the plans that outdoor storage of boats and RV's is not proposed.

Response: Note has been added to the plan.

8. Utilities serving the site should be depicted on future plans.

<u>Response</u>: A Utility Plan (Sheet 22.04) has been prepared by Langan Engineering dated July 26, 2024 and is included in this submission.

9. The applicants are requested to address the location of a hydrant internal to the site.

<u>Response</u>: Hydrants are now shown on the Site Plan (Sheet 20.04), Utility Plan (Sheet 22.04), and Fire Truck Plan (Sheet 20.14) included in this submission package.

10. Revised Adjoiner's Notices must be submitted, due to the addition of the proposed subdivision.

Response: Comment noted; Applicant will coordinate with Town Engineer and Assessor's office.

11. Compliance with the Town's Tree Preservation Law must be documented.

<u>Response:</u> Please refer to Tree Preservation Plan (Sheet 16.04) prepared by Langan Engineering dated July 26 2024 amended July 30, 2024 included in this submission.

Below please find responses to comments from the Chiefs of the Orange Lake Fire District via email dated June 5, 2024:

1. Access to building exposures B, C & D.

<u>Response</u>: A Fire Truck Turning Analysis Plan (Sheet 20.14) has been prepared and is included in this submission. The main building has a 5' relatively flat access path around the building perimeter.

Threatened and Endangered Species Habitat Suitability Assessment Report

The Shoppes at Union Square - Phase 3 1217 Route 300 Town of Newburgh Orange County, NY

July 16, 2024

Prepared by:

<u>Michael Nowicki</u>

Ecological Solutions, LLC 121 Leon Stocker Drive Stratton, VT 05360 (203) 910-4716

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1.0 INTRODUCTION

For Phase III of the Shoppes at Union Square, the Applicant is proposing multiple commercial selfstorage buildings. The largest stand-alone structure is 30,000sf. The remaining nine structures range from 800 - 8,100sf.

A Habitat Suitability Assessment was completed for the Indiana bat (*Myotis sodalis*), Northern longeared bat (*Myotis septentrionalis*), and upland sandpiper (*Bartramia longicauda*) as per the Environmental Assessment Form mapper. Habitat cover types are described below.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
 Roads, buildings, and other paved or impervious surfaces 		*2.89	*+2.89
Forested	*5.88	*0.28	*-5.60
 Meadows, grasslands or brushlands (non- agricultural, including abandoned agricultural) 			
 Agricultural (includes active orchards, field, greenhouse etc.) 			
 Surface water features (lakes, ponds, streams, rivers, etc.) 	*0.03	*0.03	*0
Wetlands (freshwater or tidal)	*0.48	*0.48	0
Non-vegetated (bare rock, earth or fill)			
Other Describe: *Proposed landscaped area		*2.71	*2.71

TABLE 1COVER TYPES IDENTIFIED ON THE SITE

2.0 HABITAT SUITABILITY ASSESSMENT/CONCLUSION

2.1 Indiana bats

There are several hibernacula currently known in Albany, Essex, Warren, Jefferson, Onondaga and Ulster Counties. To date there are three known hibernacula located in the immediate vicinity of Kingston, New York. The hibernacula are critical to the survival of this species because so few are known to exist. With the coming of spring, Indiana bats disperse from their winter homes, known as hibernacula, some going hundreds of miles. They feed solely on flying insects and presumably males spend the summer preparing for the breeding season and winter that follows. Females congregate in nursery colonies, only a handful of which have ever been discovered. These recently found in the lower Hudson Valley vicinity were located along the banks of streams or lakes in forested habitat, or near existing wetlands that also contain some open water, under the loose bark of shagbark hickories and dead trees, and contained from 50-100 females. A single young is born to each female, probably late in June, and is capable of flight within a month.

Outside the hibernation period, Indiana bats are very mobile and use live and dead trees that contain dead wood in a variety of habitats for roosts during the summer months. Although roosts have been documented in a wide array of hardwood and pine species, trees and snags that have exfoliating bark or crevices, such as shagbark hickory and black locust, appear to be most important to this species because females and their young rest under the bark. Trees, equal to or greater than 9 inches dbh with exfoliating bark/crevices, southern or western exposure, and solar exposure appear to be the most important habitat for maternal colonies during the summer months.

Conclusion - The proposed project requires the removal of 5.6 acres of the total of 5.88 acres of forest on the site. Trees are generally 12-36 inches dbh of varying hardwood species including oaks, maples, cottonwood, etc. with some trees observed to posses exfoliating or peeling bark, or holes, or crevices.

The project sponsor proposes to avoid, minimize, and mitigate impacts by:

- Seasonally restricting construction including tree clearing and grubbing to avoid direct mortality of roosting Indiana bats from October 1 to March 31 and utilizing orange snowfencing to demarcate wooded area to remain so these areas are not inadvertently cleared;
- Implementing soil conservation and dust control best management practices, such as watering dry disturbed soil areas to keep dust down, and using staked, recessed silt fence and anti tracking pads to prevent erosion and sedimentation in surface waters on the site, and;
- Minimizing site lighting by having light fixtures only on the buildings that have tops to direct light downward.

These measures will result in avoiding and minimizing impacts that may affect Indiana bats.

2.2 Northern long-eared bat

Winter Habitat: Same as the Indiana bat northern long-eared bats spend winter hibernating in caves and mines, called hibernacula. They typically use large caves or mines with large passages and entrances; constant temperatures; and high humidity with no air currents. Specific areas where they hibernate have very high humidity, so much so that droplets of water are often seen on their fur. Within hibernacula, surveyors find them in small crevices or cracks, often with only the nose and ears visible.

Summer Habitat: During summer, northern long-eared bats roost singly or in colonies underneath bark, in cavities, or in crevices of both live and dead trees. Males and non-reproductive females may also roost in cooler places, like caves and mines. This bat seems opportunistic in selecting roosts, using tree species based on suitability to retain bark or provide cavities or crevices. It has also been found, rarely, roosting in structures like barns and sheds.

Feeding Habits: Northern long-eared bats emerge at dusk to fly through the understory of forested hillsides and ridges feeding on moths, flies, leafhoppers, caddisflies, and beetles, which they catch while in flight using echolocation. This bat also feeds by gleaning motionless insects from vegetation and water surfaces.

Conclusion - The northern long eared bat requires/occupies practically the same habitat niche as the Indiana bat. Impacts to habitat and mitigation measures proposed are similar to that required for the Indiana bat.

2.3 Upland Sandpiper

The upland sandpiper is a grassland bird. Optimal breeding habitat contains a mixture of short grass areas for feeding and courtship, interspersed with taller grasses and forbs for nesting and brood cover. Vegetation height at the time of spring arrival should be 15-20cm. Other important habitat characteristics include fence posts, large expanses of open areas, little forest, and little topography. Upland sandpipers are area-sensitive, preferring grasslands larger than 25 to 40 acres in size. Upland sandpipers can also be found in mowed areas adjacent to airport runways and highways. Airfields appear to be an especially hopeful avenue for providing upland sandpiper habitat.

Conclusion - The Shoppes at Union Square site contains no open meadow areas useful to this species. Typical habitat for this species in this area of Orange County is associated with the open areas associated with Orange County Airport. No likely adverse impact is expected.

3.0 PHOTOGRAPHS

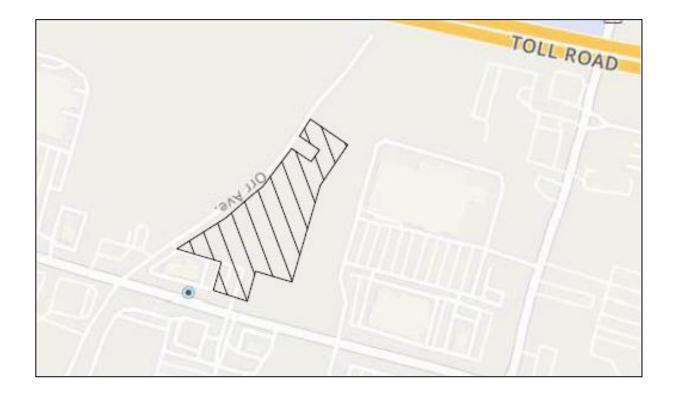
Wooded area on the site





Orr Avenue and The Shoppes at Union Square site

Figure 1 Location Map



2. Hydrant locations.

<u>Response</u>: Hydrants are now shown on the Site Plan (20.04), Utility Plan (Sheet 22.04), and Fire Truck Turning Analysis Plan (Sheet 20.14) included in this submission package.

3. Gate opening? Lift gate?

<u>Response</u>: A Rolling/swing gate is proposed. The access points will be gated and secured with keypads for ingress and egress. Specific access details are still being developed. We will work with the Fire Department to ensure that they have unobstructed access.

4. Loading and unloading zones.

<u>Response</u>: Please Refer to the Site Plan (Sheet 20.04) for the location of loading and unloading zone. A representative of KARC will coordinate a review of the project with the Fire Department to identify any specific questions.

5. FDC location.

Response: A FDC has been proposed for each building. Please refer to the Utility Plan (Sheet 22.04) for the detail.

6. Building egress.

<u>Response</u>: KARC will coordinate a review of the plans with the Fire Department to address their specific questions. The building egress will confirm with all required Building and Fire Code requirements

We kindly request to be placed on the August 15, 2024 Planning Board Meeting agenda.

Please advise if you require anything further to complete your review. Thank you.

Sincerely,

KUBON

*All enclosures submitted electronically *One (1) copy of all enclosures delivered to MHE

Kelly Libolt, Agent for Applicant

PO Box 924 | Poughkeepsie, NY 12602 | 845.594.1055 | kelly@karcpc.com DBE Certified | WBE Certified in NY and NJ | US SBA WOSB & EDWOSB Certified

THE SHOPPES AT UNION SQUARE **APPLICATION FOR AMENDED PHASE III SITE PLAN APPROVAL** SECTION 96, BLOCK 1, LOTS 6.2 (LOT A & LOT B) & 11.1

LIST OF CONTACTS

GAS AND ELECTRI

610 Little Britain Road

Newburgh, NY 12550

449 Broadway, 4th F

Kingston, NY 12401

Town Of Newburgh

Newburgh, NY 12550

PHONE: (845) 564-2180

Town Of Newburgh 308 Gardnertown Road

Newburgh, NY 12550

Time Warner Cable

109-15 14th Avenue

College Point, NY 11356

PHONE: (845) 692-5339

PHONE: (845) 564-7803

343 Route 32

Mr. John Egitto

SEWER

CABLE

PHONE: (845) 340-803

PHONE: (845) 563-4538

Mark Sclafani

TELEPHONI

WATER

Central Hudson Gas & Electric Co

PLANNING BOARD CHAIRMAN John Ewasutyn 21 Hudson Valley Professional Plaza Newburgh, NY 12550 PHONE: (845) 564-7804 FAX: (845) 564-7802

TOWN ENGINEE James W. Osborne 308 Gardnertown Roa Newburgh, NY 12550 PHONE: (845) 564-78 FAX· (845) 566-14

TOWN CLERK isa M. Vance-Ayers 1496 Route 300 Newburgh, NY 12550 PHONE: (845) 564-4554 FAX: (845) 564-8589

ORANGE COUNTY HEALTH DEPARTMENT 124 Main Street Goshen, NY 10924 PHONE: (845) 360-6600

SUPERVISOR Gil Piaquadio 1496 Route 300 Newburgh, NY 12550 PHONE: (845) 564-4552 FAX: (845) 566-9486

ORANGE COUNTY SOIL & WATER CONSERVATION DISTRICT 225 Dolson Avenue, Suite 103 Middletown, NY 10940 PHONE: (914) 343-1873

PROJECT CONTACTS

APPLICANT & OWNER:

TAX LOT: 96-1-6.2 N&N Union, LLC 1089 Little Britain Road New Windsor, NY 12553

TAX LOT: 96-1-11.1 CPK Union, LLC 1089 Little Britain Road New Windsor, NY 12553

SITE/CIVIL ENGINEER: LANGAN

Bryan Waisnor, P.E. 300 Kimball Drive 4th Floor Parsippany, NJ 07054 Phone No.: (973) 560-4900

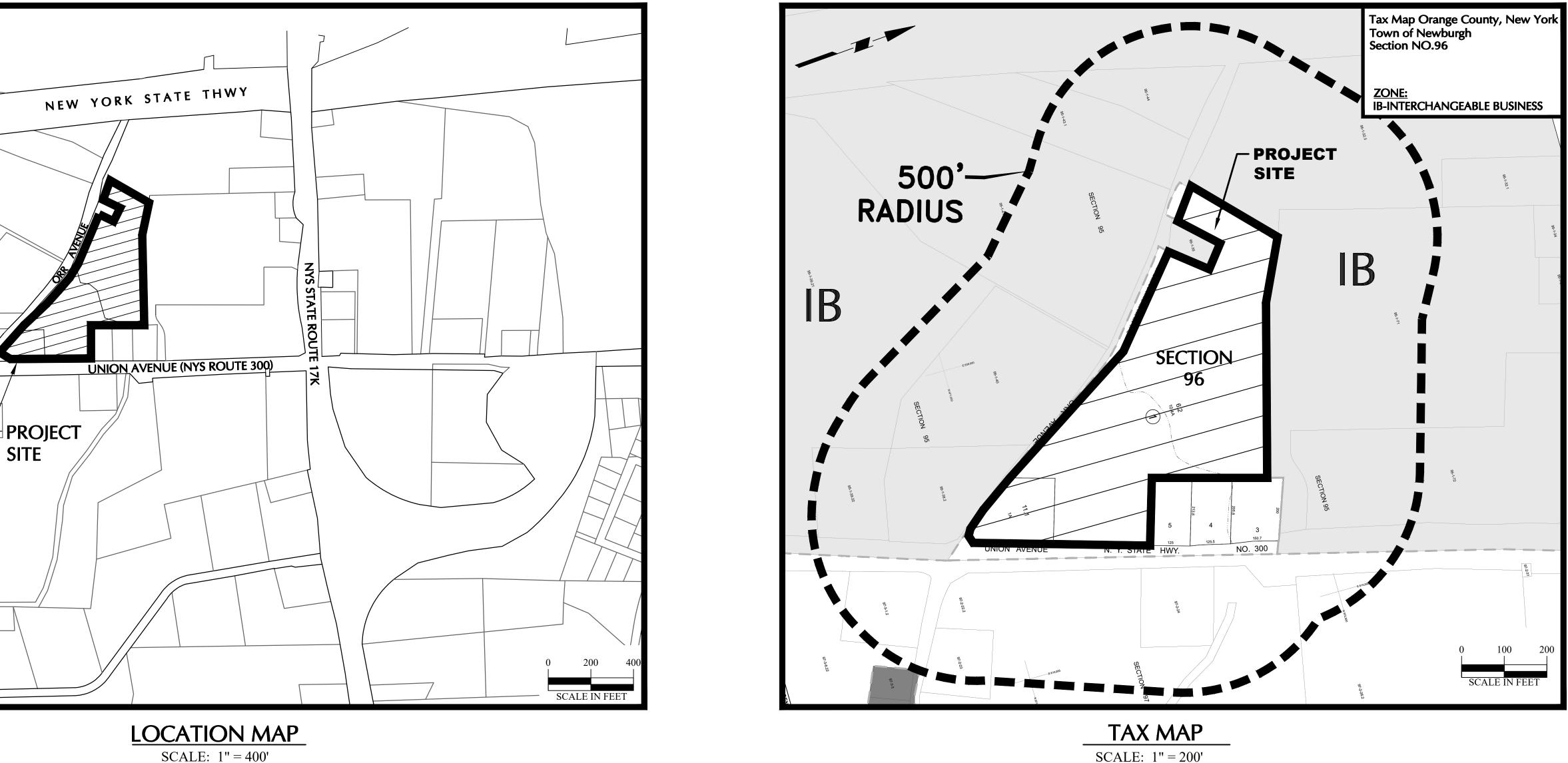
PLANNER:

KARC Planning Consultants, INC

PO Box 924 Poughkeepsie, NY 12602 Phone No.: (845) 594-1055 SITE

NOTE: AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

UNION AVENUE (NYS ROUTE 300) AND ORR AVENUE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK





SCALE: 1" = 200'

DRAWING LIST						
RAWING NO.	DESCRIPTION	SCALE	DATE	REVISION DATE		
00.01	COVER SHEET	NTS	07/26/2024	07/30/2024		
CB101	MINOR SUBDIVISION	1"=50'	06/05/2024	07/30/2024		
TR101	TREE SURVEY	1"=50'	06/05/2024	07/30/2024		
VT101	BOUNDARY AND TOPOGRAPHIC SURVEY	1"=50'	06/05/2024	07/30/2024		
16.04	TREE PLAN	1"=30'	07/26/2024	07/30/2024		
20.01	OVERALL SITE PLAN	1"=50'	05/02/2024	07/30/2024		
20.04	SITE PLAN PHASE III	1"=30'	07/26/2024	07/30/2024		
20.14	FIRE TRUCK TURNING ANALYSIS PLAN PHASE III	1"=50'	07/26/2024	-		
20.15	TRUCK TURNING ANALYSIS PLAN PHASE III	1"=50'	07/26/2024	-		
21.04	GRADING AND DRAINAGE PLAN PHASE III	1"=30'	07/26/2024	-		
22.04	UTILITY PLAN PHASE III	1"=30'	07/26/2024	-		
23.04	SOIL EROSION AND SEDIMENT CONTROL PLAN PHASE III	1"=30'	07/26/2024	-		
23.05	SOIL EROSION AND SEDIMENT CONTROL DETAILS	AS SHOWN	07/26/2024	-		
23.06	STREAM DIVERSION DETAIL	AS SHOWN	07/26/2024	-		
23.07	STREAM DIVERSION DETAIL	AS SHOWN	07/26/2024	-		
24.01	LANDSCAPE PLAN	1"=30'	07/26/2024	-		
24.02	LANDSCAPE NOTES & DETAILS	AS SHOWN	07/26/2024	-		
25.01	LIGHTING PLAN	1"=30'	07/26/2024	-		
25.02	LIGHTING NOTES & DETAILS	AS SHOWN	07/26/2024	-		
28.01	DETAIL SHEET	AS SHOWN	07/26/2024	-		
28.02	DETAIL SHEET	AS SHOWN	07/26/2024	-		
28.03	DETAIL SHEET	AS SHOWN	07/26/2024	-		
28.04	DETAIL SHEET	AS SHOWN	07/26/2024	-		

TOWN OF NEWBURGH APPROVAL BOX TOWN PROJECT

WARNING IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

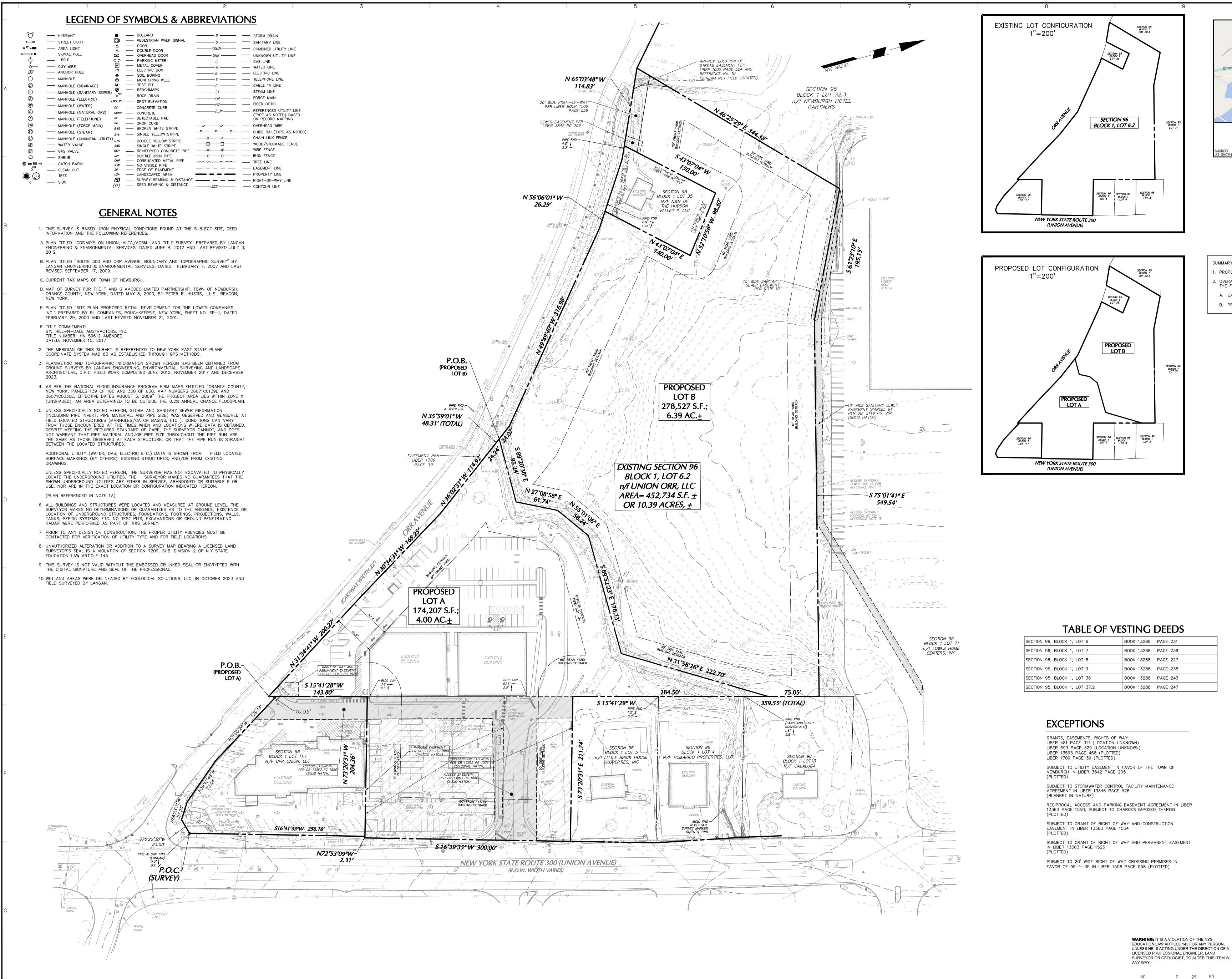
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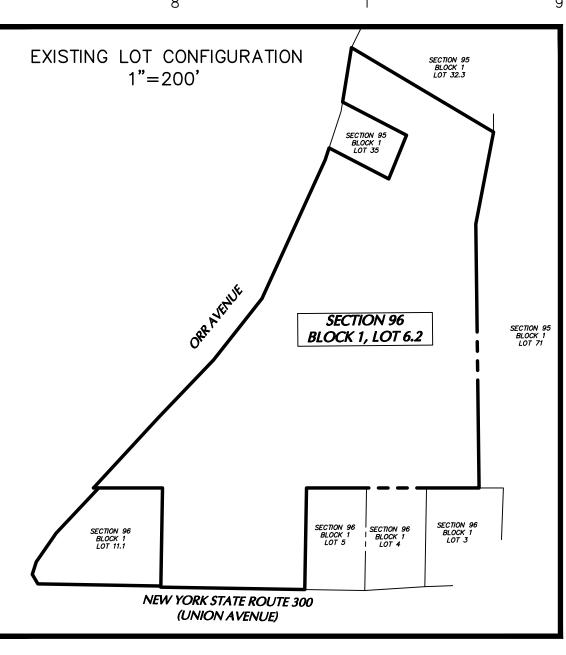
PLANNING BOARD CHAIRPERSON JOHN P. EWASUTYN

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SUMMARY TABLE

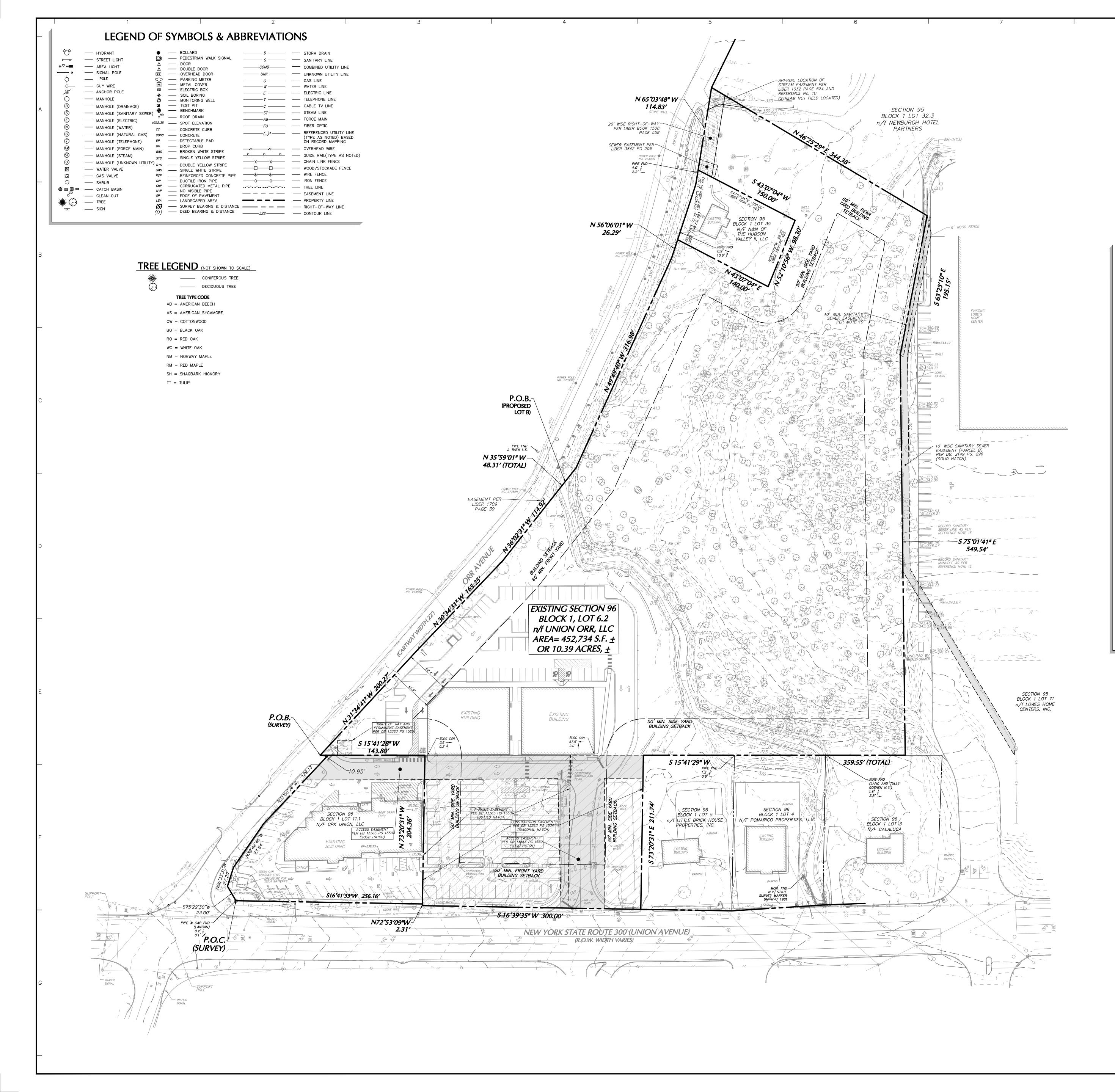
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- THE FOLLOWING A. EXISTING L
- B. PROPOSED

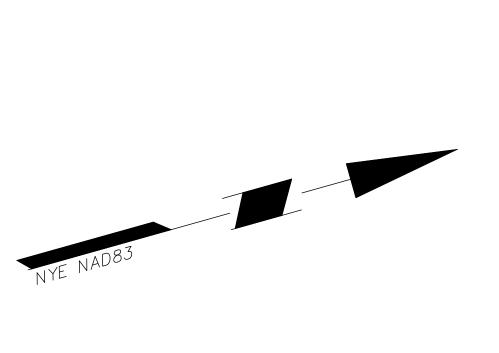
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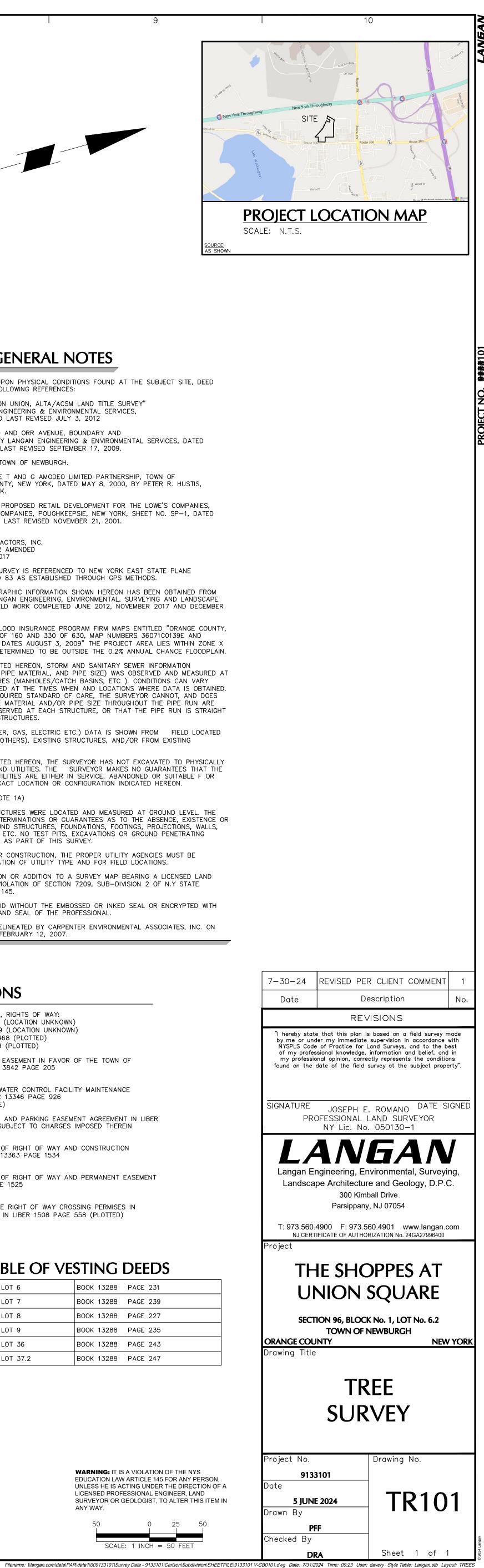
SECTION 96, BLOCK 1, LOT 6	BOOK 13288 PAGE 231
SECTION 96, BLOCK 1, LOT 7	BOOK 13288 PAGE 239
SECTION 96, BLOCK 1, LOT 8	BOOK 13288 PAGE 227
SECTION 96, BLOCK 1, LOT 9	BOOK 13288 PAGE 235
SECTION 95, BLOCK 1, LOT 36	BOOK 13288 PAGE 243
SECTION 95, BLOCK 1, LOT 37.2	BOOK 13288 PAGE 247

Filename: \llangan.com\data\PAR\data1\009133101\Survey Data - 9133101\Carlson\Subdivision\SHEETFILE\9133101 V-CB0

Image: line state	LANGAN
I B SELF-STORAGE 6.39 ACRES. PING CENTER ENCOMPASSED ±5.00 ACRES INCLUDING S PARCELS: OT 11.1 RETAIL/RESTAURANT (COSIMO'S) (1.00 ACRES) LOT A RETAIL (4.00 ACRES)	PROJECT NO. 9133101
7-30-24 REVISED PER CLIENT COMMENT 1 Date Description No. REVISIONS *I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with by more or under my immediate supervision in accordance with by my professional knowledge. Information and based, and in my professional knowledge. Information the date of the field survey at the subject property". SIGNATURE JOSEPH E. ROMANO DATE SIGNED PROFESSIONAL LAND SURVEYOR NY LIC. No. 050130-1 DECENSIONAL LAND SURVEYOR NY LIC. No. 050130-1 NEW DECENSIONAL LAND SURVEYOR NY LIC. No. 050130-1 Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T 1973.560.4901 www.langan.com N 0 CERTIFICATE OF AUTHORIZATION No. 240427984400 Project MEW YORK Drawing Title Drawing No. Project No. Project No.	







GENERAL NOTES

- I. THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES: A. PLAN TITLED "COSIMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY"
- PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012
- B. PLAN TITLED "ROUTE 300 AND ORR AVENUE, BOUNDARY AND TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED FEBRUARY 7, 2007 AND LAST REVISED SEPTEMBER 17, 2009. CURRENT TAX MAPS OF TOWN OF NEWBURGH.
- MAP OF SURVEY FOR THE T AND G AMODEO LIMITED PARTNERSHIP, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED MAY 8, 2000, BY PETER R. HUSTIS, L.L.S., BEACON, NEW YORK.
- E. PLAN TITLED "SITE PLAN PROPOSED RETAIL DEVELOPMENT FOR THE LOWE'S COMPANIES, INC." PREPARED BY BL COMPANIES, POUGHKEEPSIE, NEW YORK, SHEET NO. SP-1, DATED FEBRUARY 29, 2000 AND LAST REVISED NOVEMBER 21, 2001. TITLE COMMITMENT:
- BY: HILL-N-DALE ABSTRACTORS, INC. TITLE NUMBER: HN 59612 AMENDED DATED: NOVEMBER 15, 2017
- 2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- 3. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. FIELD WORK COMPLETED JUNE 2012, NOVEMBER 2017 AND DECEMBER
- 4. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS ENTITLED "ORANGE COUNTY. NEW YORK, PANELS 139 OF 160 AND 330 OF 630, MAP NUMBERS 36071C0139E AND 36071C0330E, EFFECTIVE DATES AUGUST 3, 2009" THE PROJECT AREA LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- 5. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED
- SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE
- SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE F OR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON. (PLAN REFERENCED IN NOTE 1A)
- 6. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- 7. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- 3. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF N.Y STATE
- EDUCATION LAW ARTICLE 145. 9. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OR ENCRYPTED WITH THE DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL.
- 10. WETLAND AREAS WERE DELINEATED BY CARPENTER ENVIRONMENTAL ASSOCIATES, INC. ON OCTOBER 10, 2006 AND FEBRUARY 12, 2007.

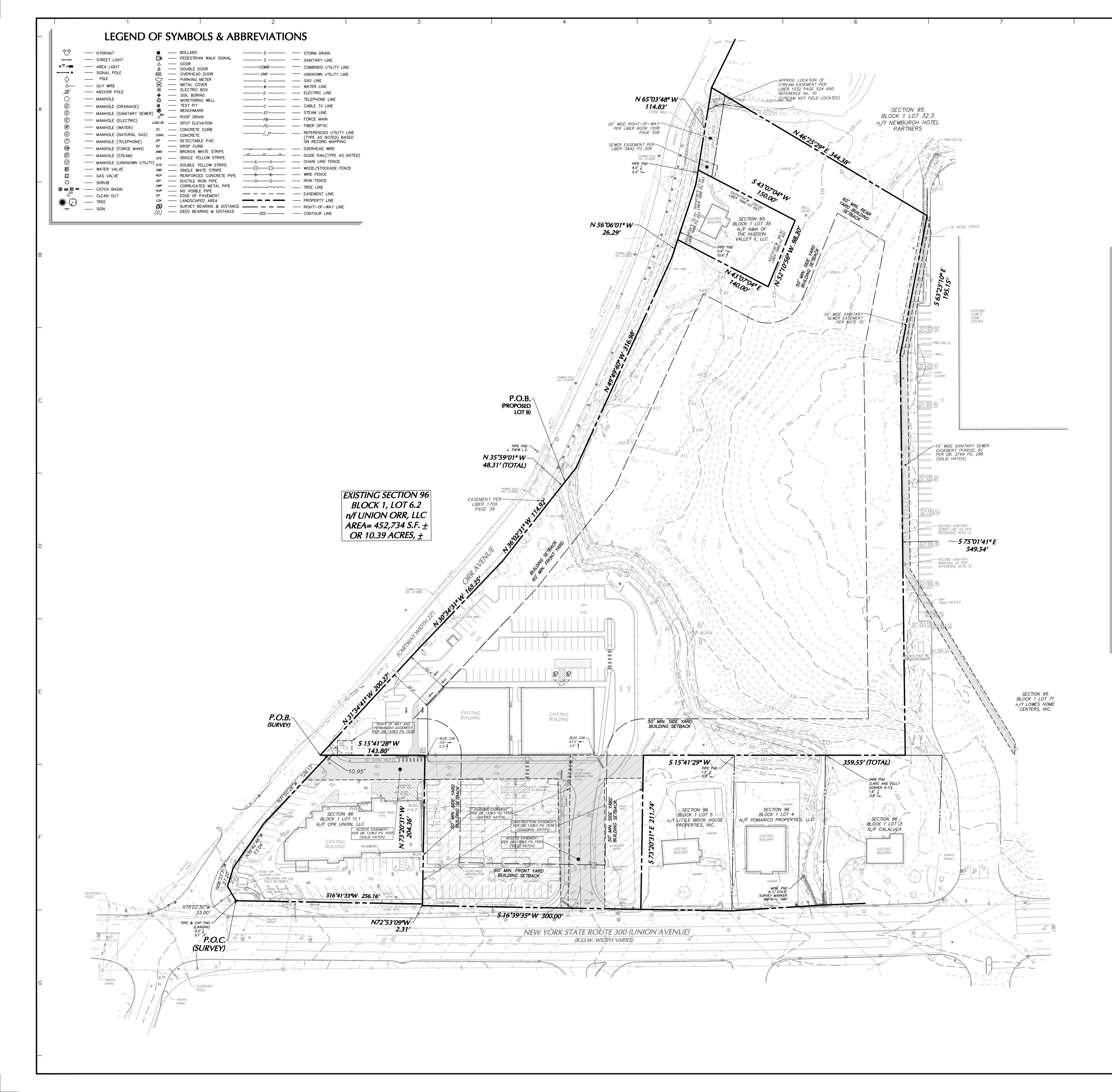
EXCEPTIONS

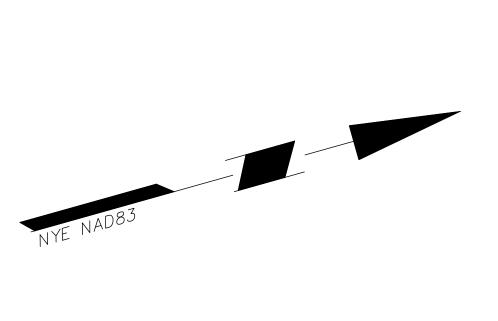
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- SUBJECT TO STORMWATER CONTROL FACILITY MAINTENANCE AGREEMENT IN LIBER 13346 PAGE 926 (BLANKET IN NATURE)
- RECIPROCAL ACCESS AND PARKING EASEMENT AGREEMENT IN LIBER 13363 PAGE 1550, SUBJECT TO CHARGES IMPOSED THEREIN
- (PLOTTED) SUBJECT TO GRANT OF RIGHT OF WAY AND CONSTRUCTION
- EASEMENT IN LIBER 13363 PAGE 1534 (PLOTTED)
- SUBJECT TO GRANT OF RIGHT OF WAY AND PERMANENT EASEMENT IN LIBER 13363 PAGE 1525 (PLOTTED)
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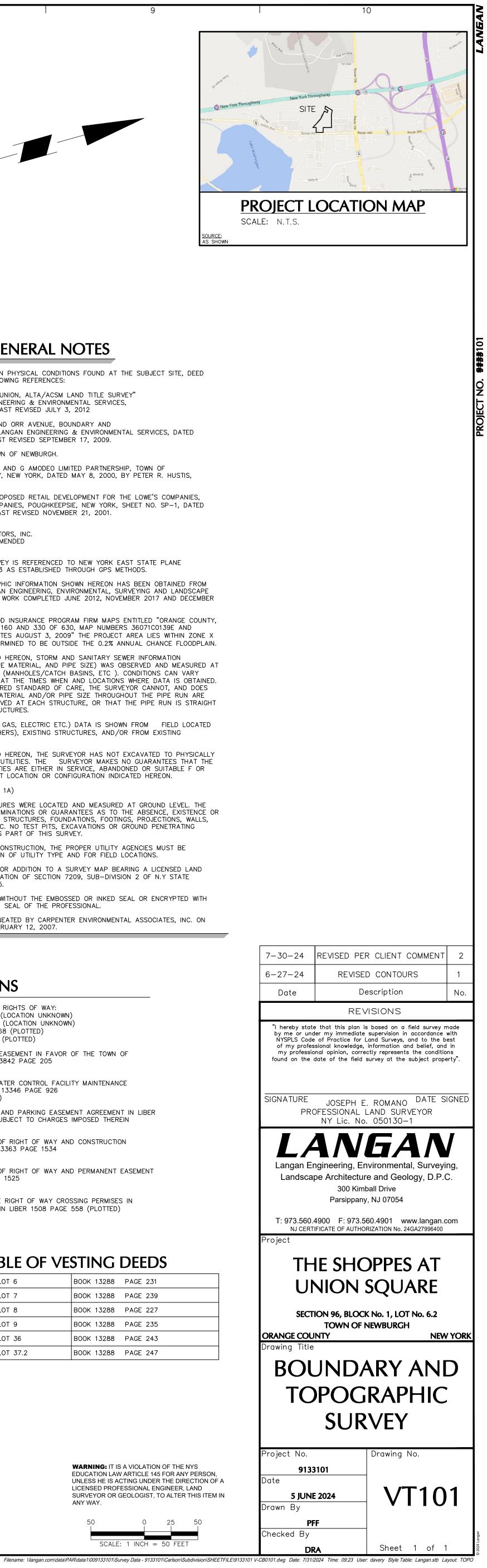
TABLE OF VESTING DEEDS

SECTION 96, BLOCK 1, LOT 6	BOOK 13288 PAGE 231
SECTION 96, BLOCK 1, LOT 7	BOOK 13288 PAGE 239
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SECTION 96, BLOCK 1, LOT 9	BOOK 13288 PAGE 235
SECTION 95, BLOCK 1, LOT 36	BOOK 13288 PAGE 243
SECTION 95, BLOCK 1, LOT 37.2	BOOK 13288 PAGE 247

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON. UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY







GENERAL NOTES

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EXCEPTIONS

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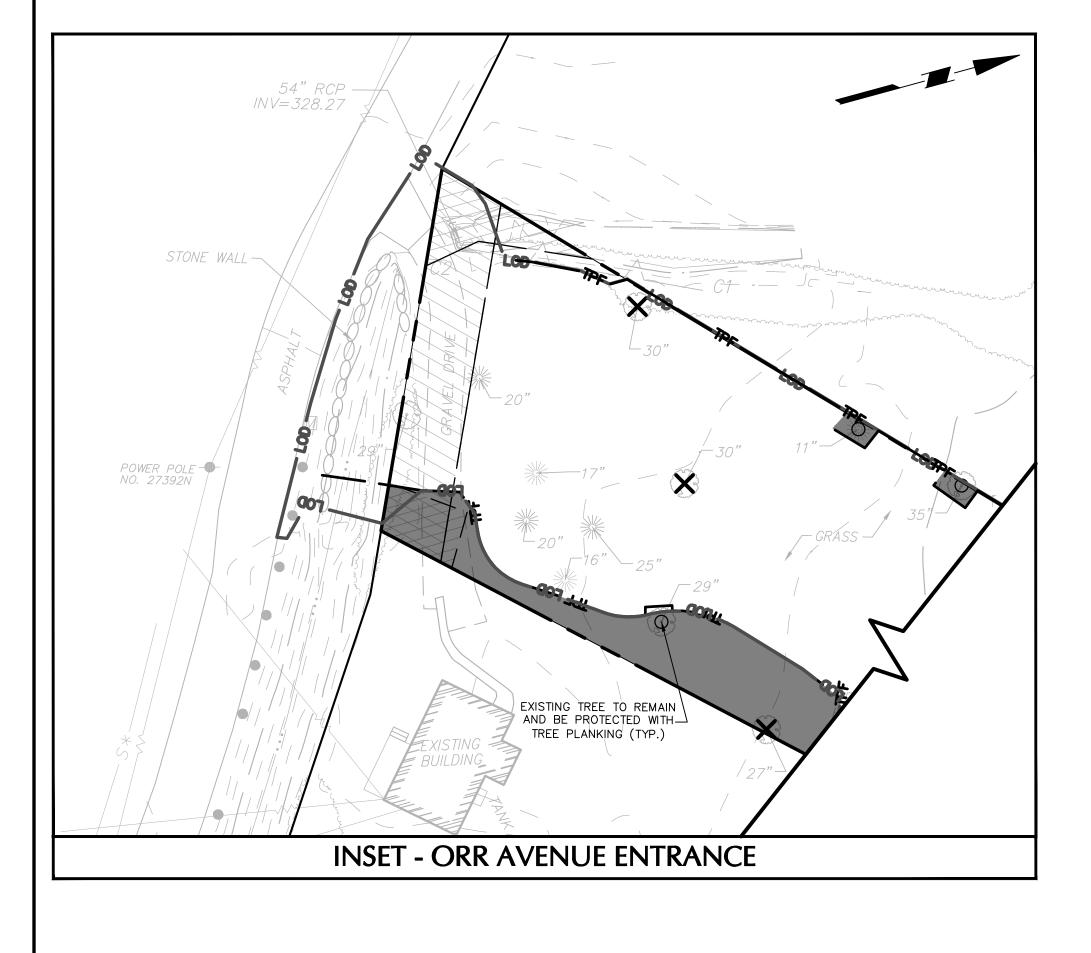
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Signficant Tree Removal/Disturbance Calculations				
		# of Trees	Inches in Diameter	
Total Existing Significant Trees on S	ite	455	7218"	
Significant Trees to be Removed		327	5178"	
Percent Removal/Disturbance of Significant Trees		-	72 %	
Specimen Tree Removal/Disturba	nce Cal	culations		
	7	# of Trees		
Total Existing Specimen Trees on Site		210		
Specimen Trees to be Removed		154		

NOTE: SEVENTEEN (17) DEAD TREES ARE NOT INCLUDED IN ABOVE NUMBERS OF TREES.



NOTE:



LANGAN
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Project No. 009133114

	Zone-IB (In Section 96, Blo	IING TABLE ⁴ nterchange Business pck 1, Lots 11.1 & Pro ng Shopping Center I	Dis [.] pos	trict) ed Lot A				Zon Section 96, Bl
ltem	Required / Permitted	Previously Approved Lot 96-1-11.1 (Cosimo		Previously Approved - Proposed Lot A		Post-Proposed Subdivisio Overall Shopping Center		ltem
Permitted Principal Uses	Shopping Center	-		-		Shopping Center		Permitted Principal Uses
Lot Requirements			-					Lot Requirements
Minimum Lot Area	5 acres	-				5.00 Ac. ⁽⁵⁾	С	Minimum Lot Area
Minimum Lot Width	150 ft	251 ft	С	300 ft	С			Minimum Lot Width
Minimum Lot Depth	150 ft	202 ft	С	324 ft	С	-		Minimum Lot Depth
Yards Requirements								Yards Requirements
Minimum Front Yard Setback (Route 300)	60 ft	55.7 ft *	V	207.5 ft	С	-		Minimum Front Yard Setback
Minimum Front Yard Setback (Orr Ave)	60 ft	36.5 ft *	V	61.2 ft	С	-		Minimum Side Yard Setback (1 Side
Minimum Side Yard Setback (Cosimo's)	50 ft	0.0 ft	V	3.1 ft	V	-		Minimum Side Yard Setback (Both S
Minimum Rear Yard Setback	60 ft	60.2 ft	С					Minimum Rear Yard Setback
Building								Building
Maximum Building Height	40 ft	40 ft	С	40 ft	С	-		Maximum Building Height ⁽¹⁾
Maximum Lot Building Coverage	30%	28.5%	С	11.1%	С	14.5%	С	
Landscaping								Building Orientation
Maximum Lot Surface Coverage	80%	89.8%	V	61.6%	С	67.3%	С	
Minimum Interior Landscaping	5%					7.7%	С	Coverage
Signs								Maximum Lot Building Coverage
Maximum Number Identification Signs	4					* *	С	Maximum Lot Surface Coverage
Maximum Identification Sign Area	3 sf					* *	V	Off Street Parking/Loading
Maximum Freestanding Sign Height	40 ft	-				25 ft	С	Off-Street Parking
Maximum Number Freestanding Signs	1 per lot	1	С	1	С	* *	С	Off-Street Loading ⁽³⁾
Sign Setback	15 ft	-				15 ft	С	
Maximum Total Sign Area ⁽³⁾	663 sf					648 sf **	С	Table 2 Notes
* - Existing Conditions					-			 The building height is defined as the the structure fronting the nearest stree

* * - See Signage Schedule Below

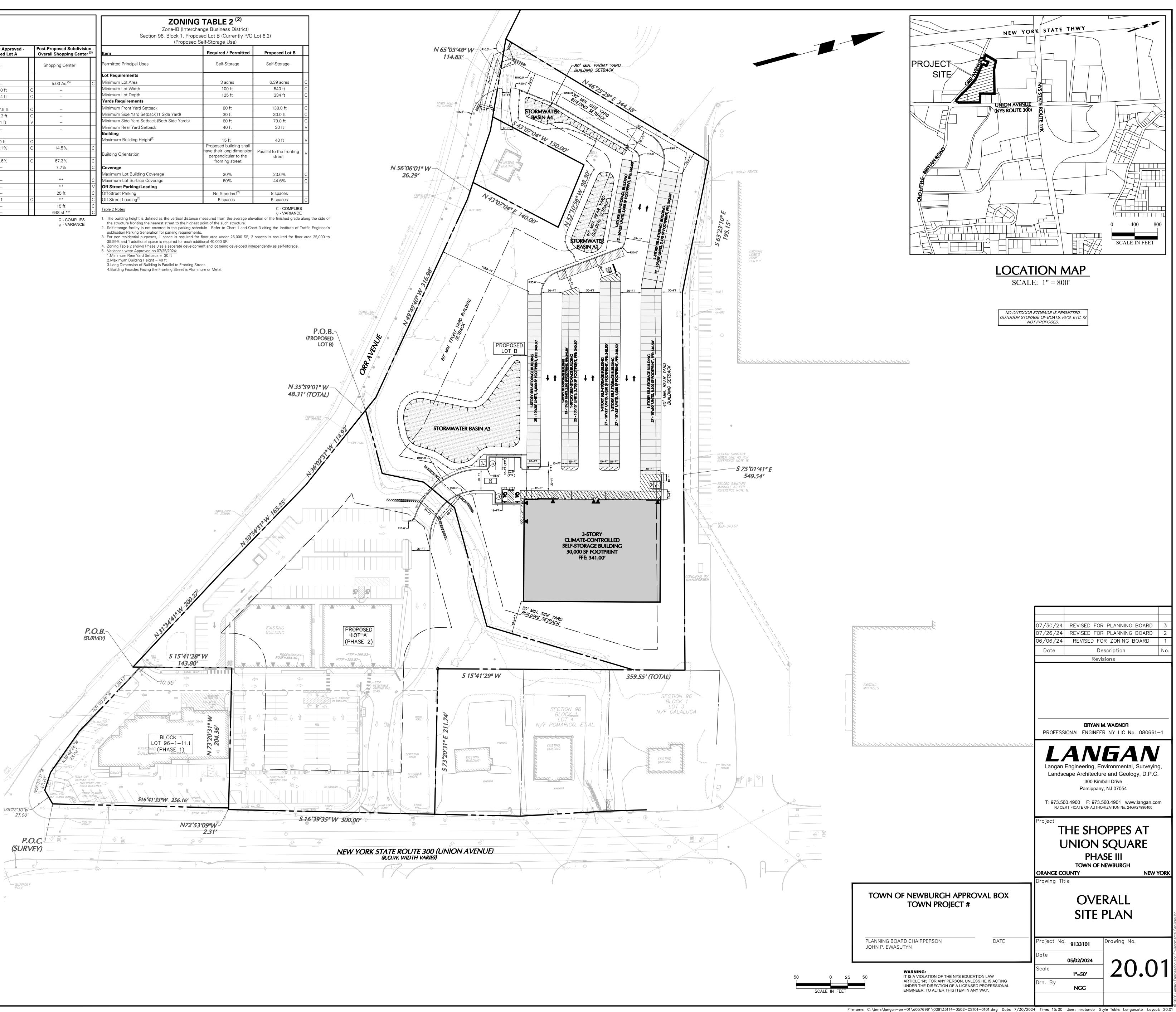
Table 1 Notes

- 1. Zoning Table 1 reflects the improvements previously approved for the shopping center after the proposed subdivision. This includes Phase 1 and 2, and excludes Phase 3.
- 2. No improvements are proposed within the Phase 1 or Phase 2 areas. This Zoning table is only updated to reflect the post-subdivision condition.
- 3. The total area of all such signs on a lot shall not exceed $\frac{1}{2}$ of the total length of street frontage of the lot in linear feet. See chart below for calculations.
- 4. Overall shopping center encompassed ±5.00 acres including the following parcels: Previously Approved - Lot 96-1-11.1 (Cosimo's) (1.00 acres)
- Previously Approved Proposed Lot A (4.00 acres) <u>Variances Previously Approved for Lot 96-1-11.1 Cosimo's (Formerly Lot 96-1-1.11):</u>
 1. Minimum Front Yard Setback (Route 300)= 55.7 ft
- 2. Minimum Front Yard Setback (Orr Ave)= 36.5 ft
- 3. Minimum Side Yard Setback (Cosimo's)= 0.0 ft 4. Maximum Lot Surface Coverage= 89.8%
- 6. Variances Previously Approved for Overall Shopping Center: I. Maximum Identification Sign Area= 1333.5 sf 2. Maximum Total Sign Area = 1333.5 sf

Signage Schedule	
Existing:	
Location	Total S.F.
Cosimo's Building Signage	28 S.F.
Cosimo's Pylon Sign	86 S.F.
Sprint Building Signage	24 S.F.
Sprint Pylon	30 S.F.
Vitamin Shoppe East Elevation	81 S.F.
Vitamin Shoppe North Elevation	26 S.F.
Tenant Signage (location on Proposed Retail C Building)	14 S.F.
Retail 'D' and Retail 'E' (All building elevations combined.)	±250 S.F.
Main Pylon Sign (53 square feet per side)	106 S.F.
Identification Signage (located at Orr Avenue Entrance to Cosimo's)	3 S.F.
Frontage:	1326 L.F.
Square Footage Allowed:	663 S.F.
Total Existing Square Footage:	648 S.F.

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "BOUNDARY SURVEY", DATED 12/1/2017, LAST REVISED 8/21/18, "PARTIAL TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, AND BOUNDARY AND TOPOGRAPHIC SURVEY DATED 06/27/24 PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCÁPE ARCHITECTURE AND GEOLOGY, D.P.C.
- FOR INFORMATION REGARDING LATEST SITE PLAN APPROVAL FOR OVERALL SITE, SEE PLANS ENTITLED "THE SHOPPES AT UNION SQUARE APPLICATION FOR SITE PLAN APPROVAL" DATED MARCH 5, 2007, LAST REVISED JUNE 7, 2012 (PLANNING BOARD TRACKING NO. 2007–05).
- . WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC IN OCTOBER 2023 AND SUBSEQUENTLY SURVEYED BY LANGAN.
- . BUILDING FOOTPRINT IS FROM FILES ELECTRONICALLY RECEIVED FROM RZ ARCHITECT ON 07/11/2024.
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ÈLEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
-). THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- . CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST B REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
- 2. ONLY ENVIRONMENTALLY-FRIENDLY ICE CONTROL PRODUCTS SHALL BE USED ON SITE. ICE CONTROL MATERIALS SHALL NOT BE STORED ON THE SITE.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL DOORS, STAIRS, RAMPS, CANOPIES, SIDEWALKS AND ARCHITECTURAL ELEMENTS AROUND THE BUILDING, AND SHALL COORDINATE INSTALLATION OF THESE ELEMENTS WITH THE SITE LAYOUT PRIOR TO INSTALLATION.
- 4. THE SITE IS TO BE MAINTAINED IN A CLEAN AND SAFE CONDITION. PEDESTRIAN AND TRAFFIC SAFETY SHALL BE PROTECTED AT ALL TIMES.
- 5. UPON COMPLETION OF WORK, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL INSTALLATIONS TO THE ENGINEER AND OWNER.



TIDEAGE APPROVITED ADDITION MAP E: 1" = 800' TIDEAGE APPROVITED ADDITION SUBJECT S	
07/30/24REVISED FOR PLANNING BOARD07/26/24REVISED FOR PLANNING BOARD06/06/24REVISED FOR ZONING BOARD	3 2 1
	10.
BRYAN M. WAISNOR PROFESSIONAL ENGINEER NY LIC No. 080661–1 EXAMPLE AND ENGINEER NY LIC No. 080661–1 EXAMPLE AND ENGINEER NY LIC No. 080661–1 Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400 Project THE SHOPPES AT UNION SQUARE PHASE III TOWN OF NEWBURGH ORANGE COUNTY NEW YOU Drawing Title OVERALL SITE PLAN	DRK
Project No. 9133101 Date 05/02/2024 Scale 1"=50' Drn. By NGG	© 3006 Landrese Indicate Landrese Landr

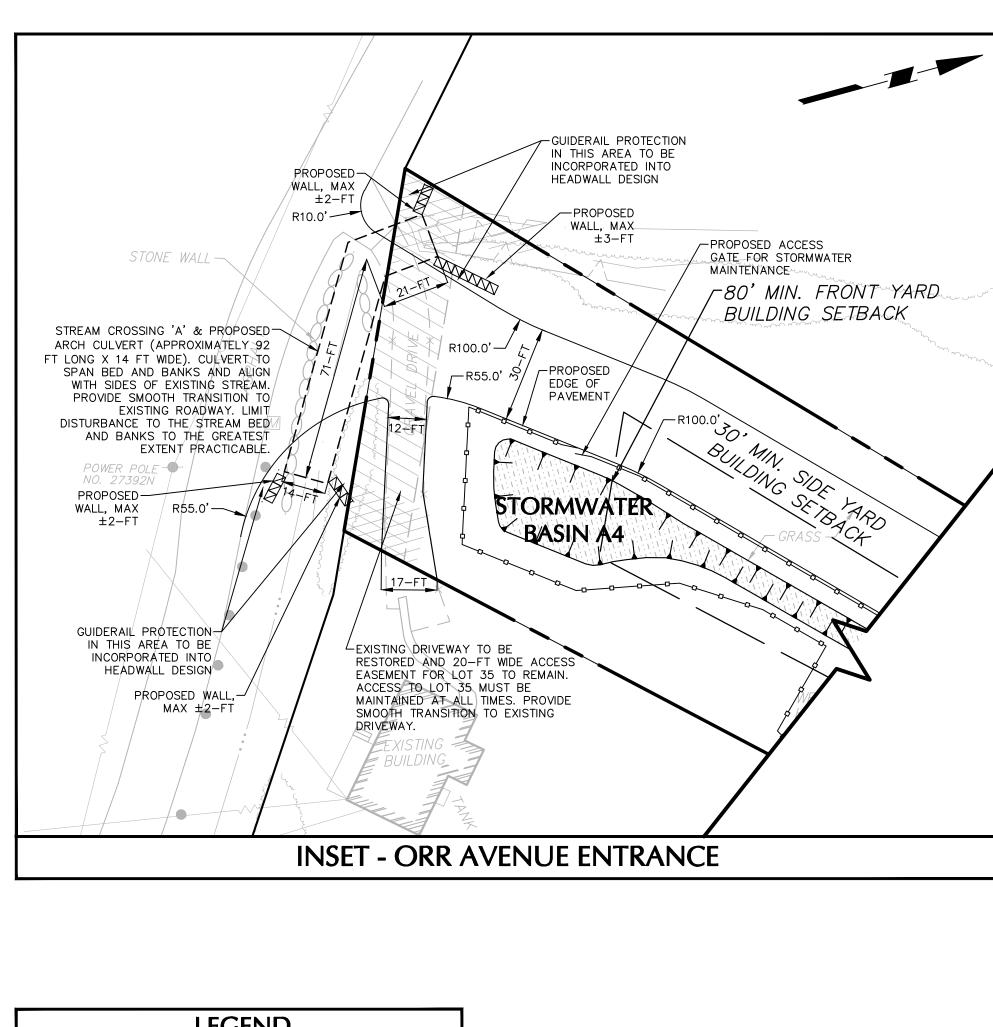
LIMITS OF WORK NOTES

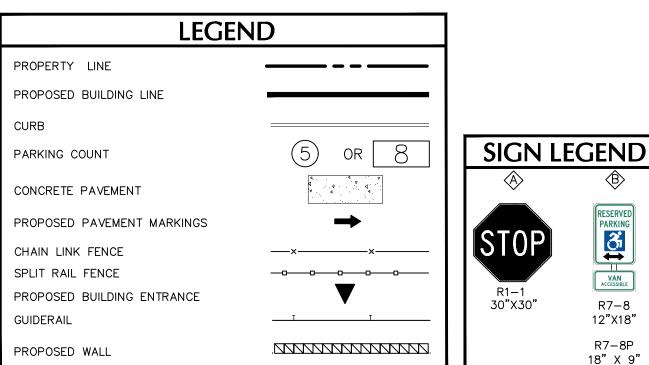
- ADJACENT ONSITE FACILITIES ARE OPEN AND OPERATING. NEGATIVE IMPACTS ON THE OPERATIONS OF ANY OF THESE FACILITIES STEMMING FROM THESE CONSTRUCTION ACTIVITIES ARE NOT ACCEPTABLE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVES TO RECEIVE WRITTEN PERMISSION TO PROCEED WITH ANY CONSTRUCTION ACTIVITY AFFECTING THESE FACILITIES, LOADING AREAS, PARKING AREAS OR TRAFFIC CIRCULATION PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS FOR PUBLIC VEHICLES AND PEDESTRIANS ADJACENT TO THE CONSTRUCTION ACTIVITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- REFER TO BUILDING DESIGN PLANS FOR SCOPE WITHIN BUILDING AND WITHIN 5' OF THE BUILDING LINE. REFER TO SITEWORK PLAN SET FOR THE AREAS BEYOND 5' FROM THE BUILDING.
- APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS). TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, CANOPIES, ETC.

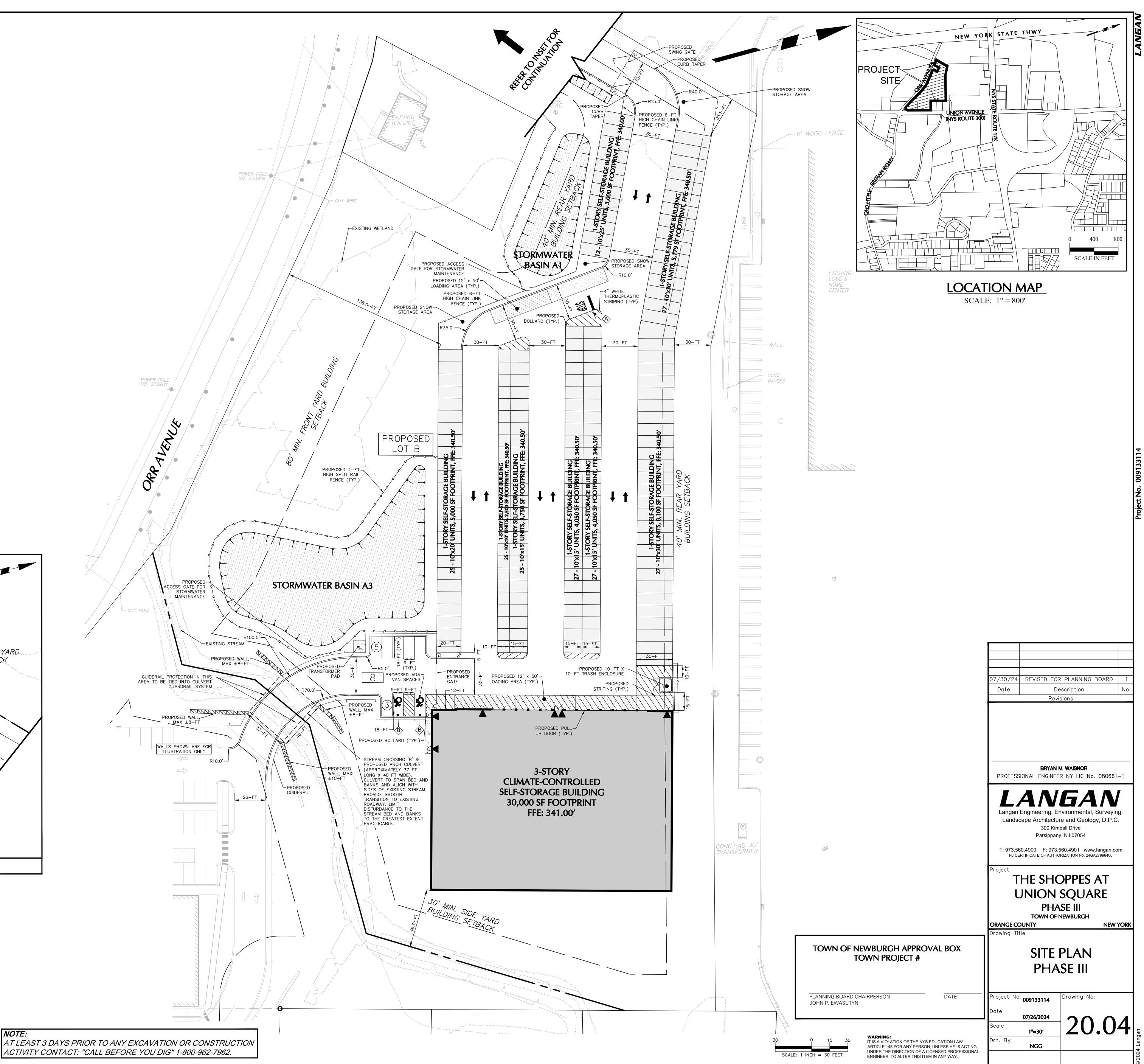
DIVISION OF WORK WITHIN BUILDING WORK LIMITS

WITHIN BUILDING WORK LIMITS, THE SITE CONTRACTOR IS RESPONSIBLE FOR THE <u> OLLOWING:</u>

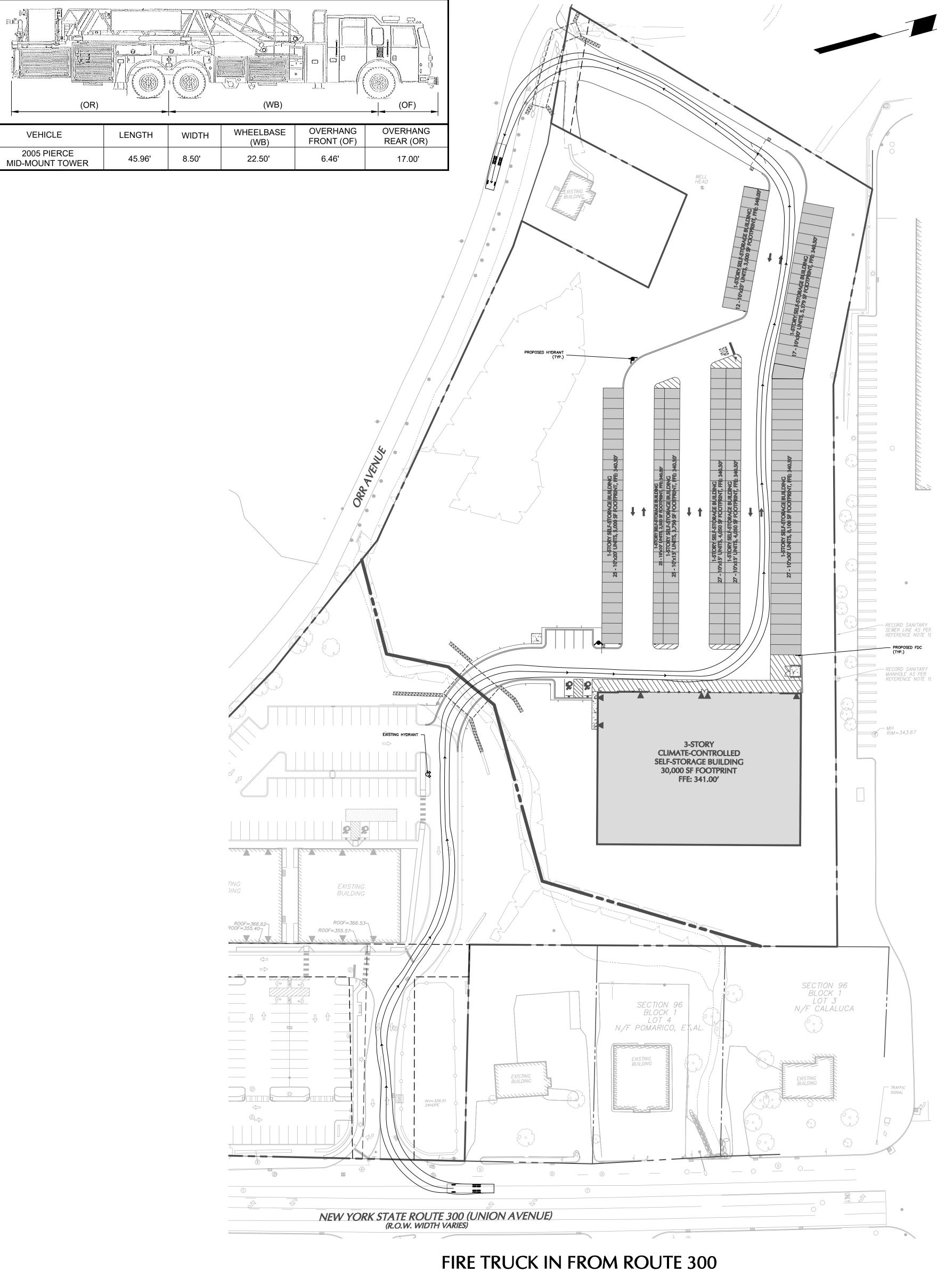
- PREPARATION OF A "FINAL PAD" FOR THE BUILDING FOOTPRINT. THIS PAD SHALL BE PREPARED TO A FINISHED ELEVATION OF 9 INCHES BELOW FINISHED FLOOR ELEVATION.
- PREPARATION OF SUBGRADE FOR EXTERIOR SLABS, WALKS, ETC.
- DISPOSAL/DISPERSION OF FOUNDATION EXCAVATION SPOILS STOCKPILED BY THE BUILDING CONTRACTOR.
- . UTILITY SERVICES TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE REDUCERS TO BE PROVIDED AT POINT OF CONNECTION AS NECESSARY.
- STORMWATER CONNECTIONS TO THE BUILDING TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE SIZE REDUCERS TO BE PROVIDED AS NECESSARY.
- COORDINATION WITH OTHER CONTRACTORS REGARDING WORK WITHIN THE BUILDING WORK LIMITS. WORK BY OTHERS WITHIN THE BUILDING WORK LIMITS WILL INCLUDE:
- BUILDING CONSTRUCTION.
- . SIDEWALKS, SIGNAGE, BOLLARDS, ETC. ADJACENT TO THE BUILDING. . STOCKPILING OF FOUNDATION EXCAVATION SPOILS IN ONE AREA FOR DISPOSAL BY THE SITEWORK CONTRACTOR.
- 4. COORDINATION WITH SITE CONTRACTOR.
- BACKFILL AND COMPACT AREA ADJACENT TO THE BUILDING IN PROPOSED ASPHALT AREAS FOR STONING AND PAVING BY SITE CONTRACTOR.
- 6. CONNECTION OF UTILITIES AND STORMWATER DRAINAGE BETWEEN BUILDING AND POINT OF CONNECTION AS PROVIDED BY SITE CONTRACTOR. REFER TO UTILITY AND DRAINAGE PLANS.

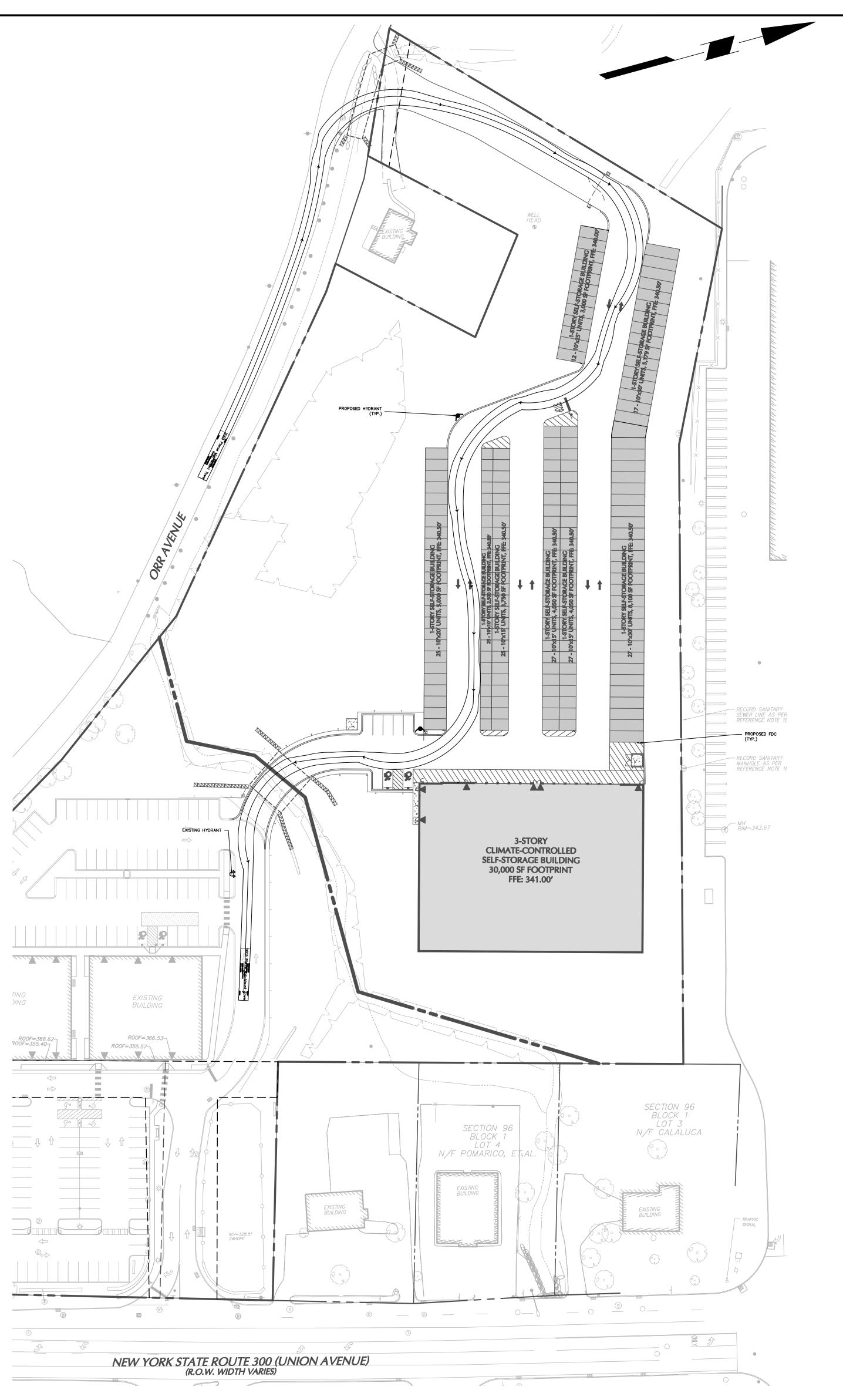






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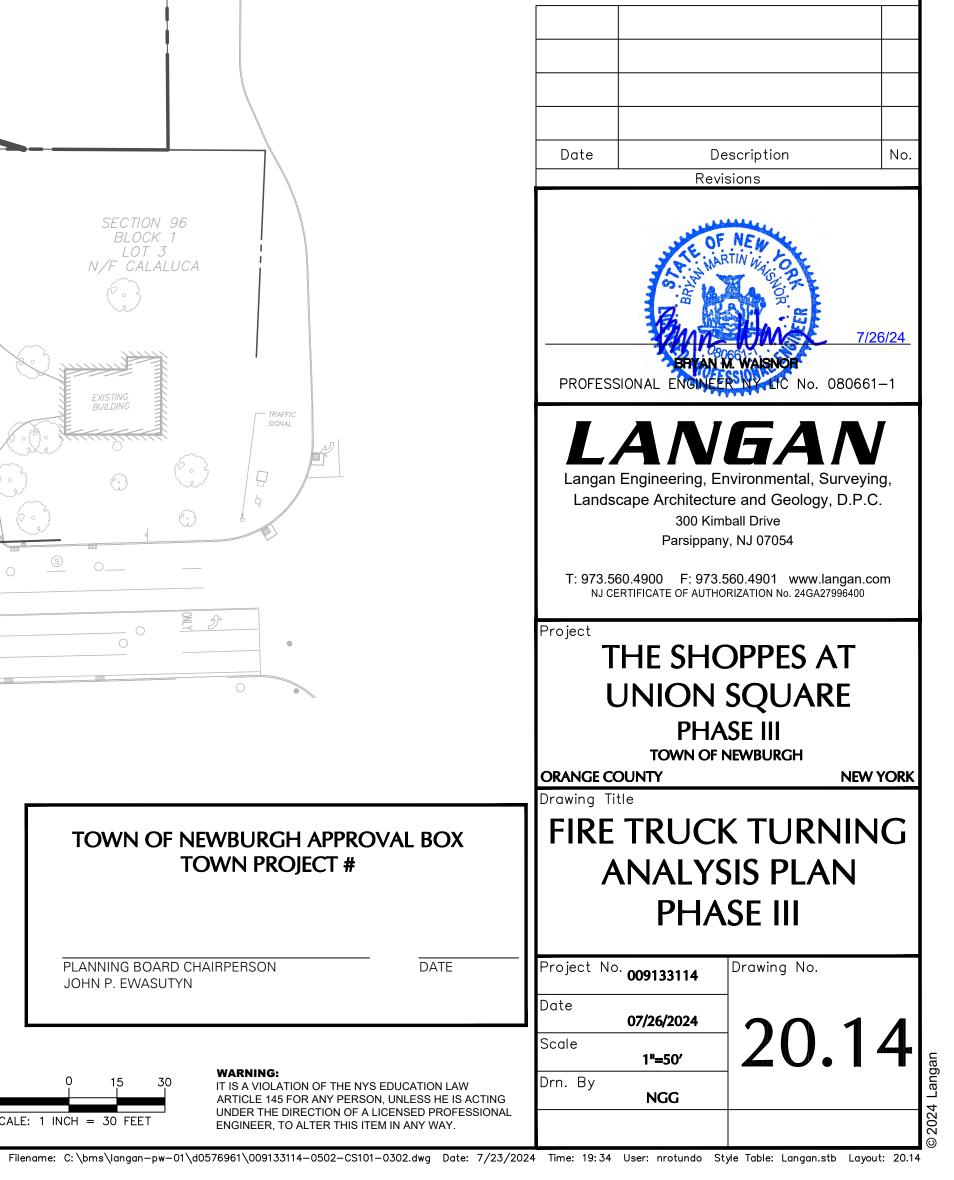
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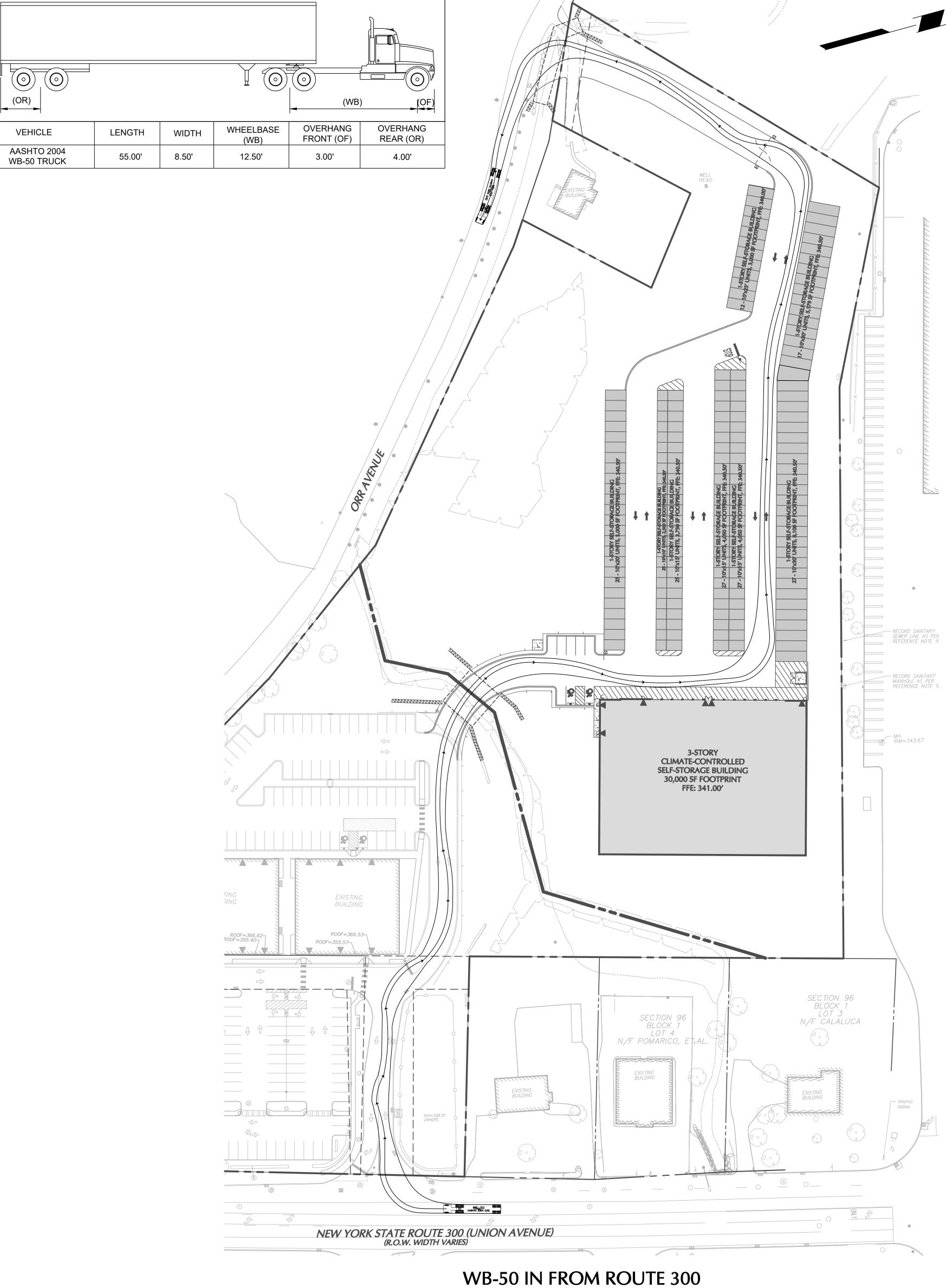
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PLANNING BOARD CHAIRPERSON JOHN P. EWASUTYN	DATE
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SCALE: 1 INCH = 30 FEE

IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

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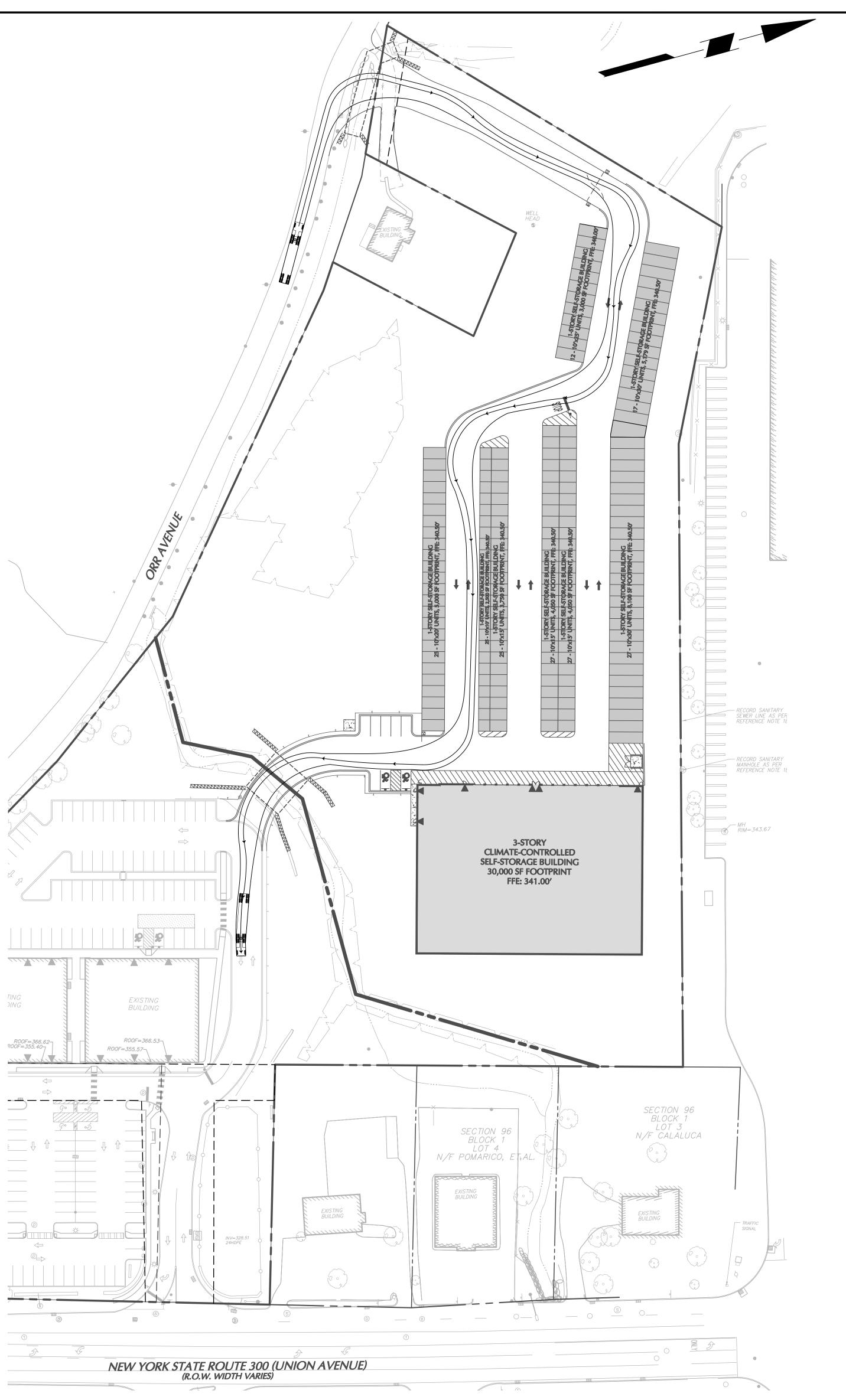




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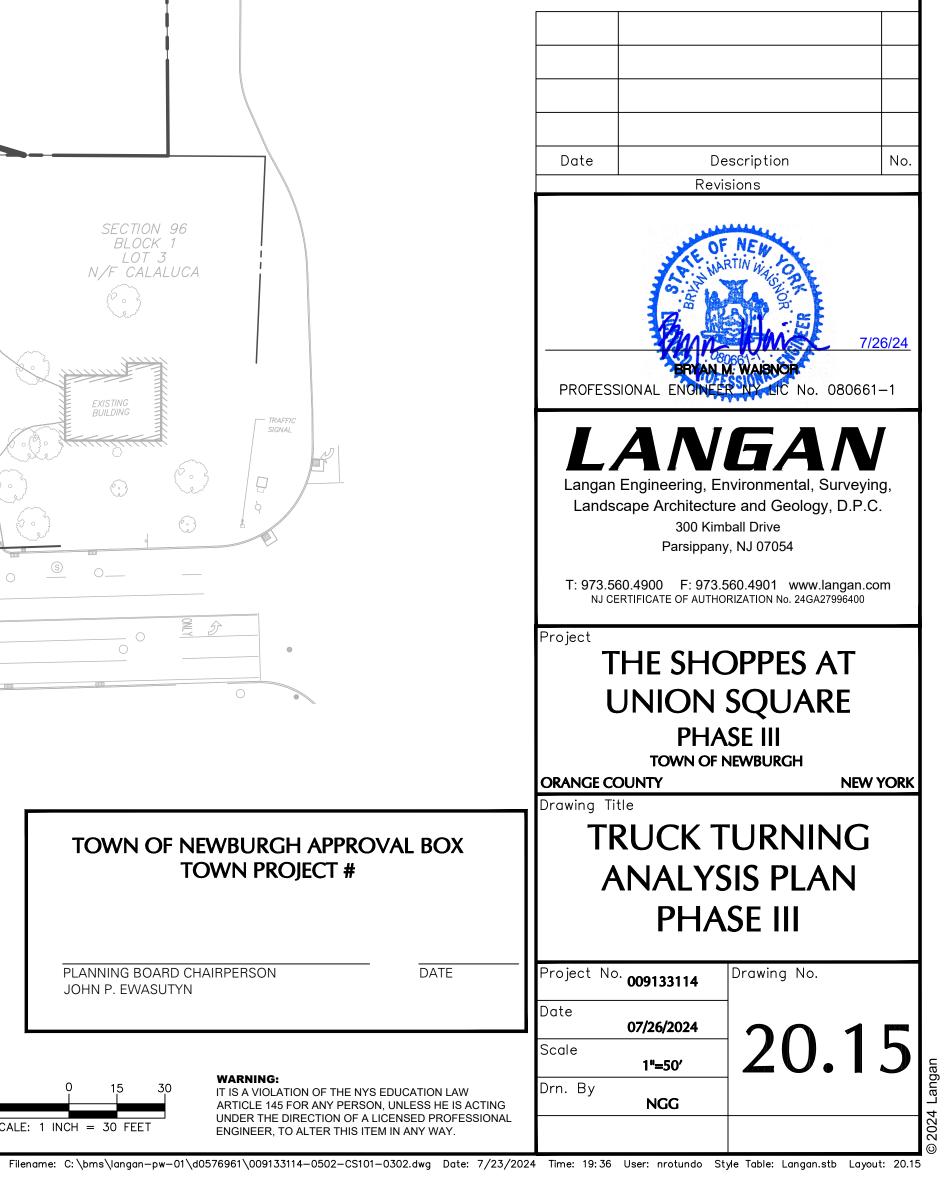
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WARNING:	

SCALE: 1

INCH = 30 FEE

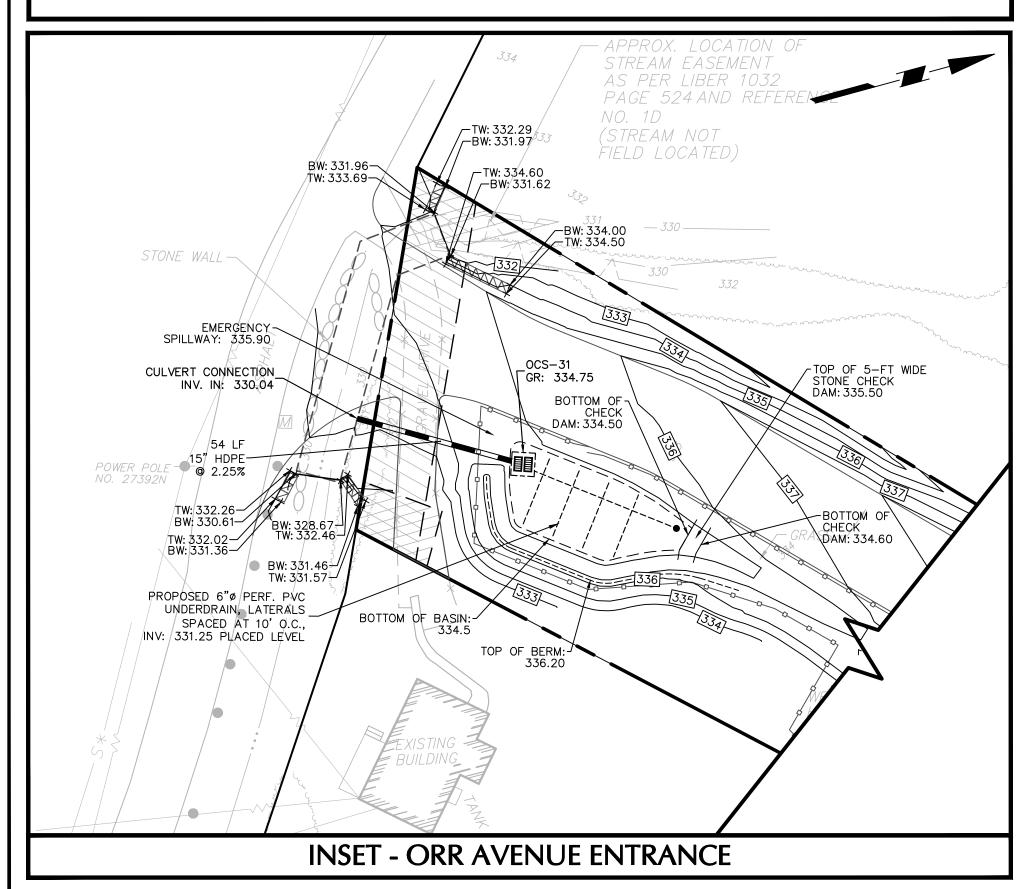
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

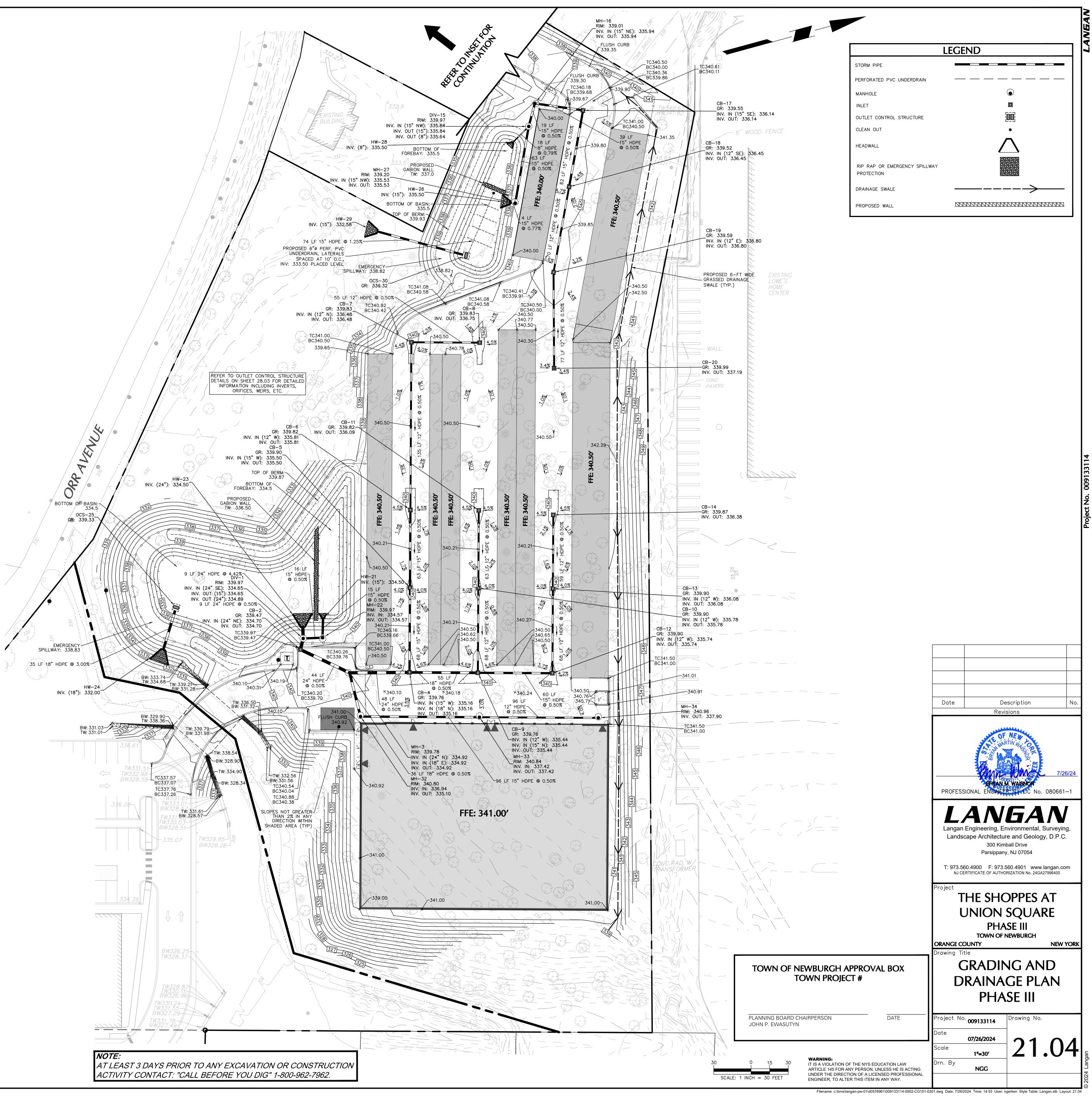
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GRADING AND DRAINAGE NOTES

- 1. ALL EXISTING STRUCTURES, (UNLESS OTHERWISE NOTED TO REMAIN,) FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND SHALL ONLY BE PERMITTED WITH PRIOR OWNER APPROVAL.
- 2. ALL DRAINAGE STRUCTURES SHALL BE PRECAST.
- 3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 5. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO START OF GRADING.
- 6. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE SHEET 23.04 FOR EROSION CONTROL MEASURES.
- 7. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR & PERIMETER FOOTINGS.
- 8. ABBREVIATIONS HDPE = HIGH DENSITY POLYETHYLENE
 - INV = INVERT
 - LF = LINEAR FEETGR = GRATE ELEVATION
 - RIM = RIM ELEVATIONMH = MANHOLE
 - OCS = OUTLET CONTROL STRUCTURE TC = TOP OF CURB
 - BC = BOTTOM OF CURB
 - FFE = FINISHED FLOOR ELEVATIONCB = CATCH BASIN
 - DIV = DIVERSION STRUCTURE
 - X: X SLOPE = HORIZONTAL: VERTICAL SLOPE
- 9. SPOT ELEVATIONS ALONG PROPOSED CURB LINES INDICATE THE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- 10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS AND SIZES OF ALL ROOF LEADERS AND COORDINATE WITH PROPOSED STORMWATER SYSTEM PRIOR TO INSTALLATION.
- 11. ALL ROOF DRAINS TO BUILDING SHALL BE BROUGHT TO FIVE FEET OUTSIDE THE BUILDING LIMITS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
- 12. CLEANOUTS SHALL BE PROVIDED FLUSH AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
- 13. PROPOSED STORM DRAINAGE PIPING SHALL BE TEMPORARILY PROTECTED WITH A MINIMUM OF TWO FEET OF COVER DURING CONSTRUCTION.
- 14. THE ARTIFICIAL DEBRIS (TRASH, FALLEN TREES, ETC.) IN THE STREAM CROSSING THE SITE SHALL BE REMOVED TO RESTORE CAPACITY OF THE STREAM CHANNEL AS PART OF THE NYSDEC PROTECTION OF WATERS PERMIT.
- 15. BACKFILL AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS OR AS DIRECTED BY GEOTECHNICAL ENGINEER IN FIELD.
- 16. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- 17. ALL STORM DRAINAGE PIPES ARE TO BE AS SPECIFIED ON THE PLANS: a. HIGH-DENSITY POLYETHYLENE PIPE (HDPE): AASHTO M294 TYPE S FOR PIPE AND FITTINGS. MATERIAL SHALL MEET ASTM 01298 TYPE III, CATEGORY 4, GRADE P33, CLASS C, OR ASTM D3350 CELL CLASSIFICATION 324420C. PIPE SHALL BE SURE-LOK 10.8 PIPE MANUFACTURED BY HANCOR, INC. WITH WATERTIGHT JOINTS ACCORDING TO THE REQUIREMENTS OF ASTM D3212 OR APPROVED EQUIVALENT. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM 02321.
- 18. CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS/STANDARDS OF APPENDIX C OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, INCLUDING SPECIFICATIONS FOR UNDERDRAINS AND COMPACTION.
- 19. PIPE LENGTHS SHOWN REPRESENT PLANAR LENGTHS MEASURED FROM CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
- 20. PIPE INVERT ELEVATION AT A STRUCTURE REPRESENTS THE PIPE INVERT PROJECTED TO THE CENTER OF THAT STRUCTURE.
- 21. PLAN AND PROFILE STRUCTURES ARE SYMBOLS THAT ARE PROVIDED FOR REFERENCE, AND ARE NOT TO BE USED AS THE BASIS OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL DRAINAGE, SANITARY, AND UTILITY STRUCTURES TO THE ENGINEER.
- 22. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS WITH NO PONDING.
- 23. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- $_{
 m 24.}$ CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WHEN TRANSITIONING FROM EXISTING TO NEW PAVEMENT.





UTILITY NOTES THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. PRIOR APPROVAL OF THE WATER DEPARTMENT ALL REQUIRED UTILITIES (UNLESS OTHERWISE NOTED) SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE LOCATION AT THE INVERTS NOTED. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.

- ALL ON-SITE UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED, OR AS DICTATED BY SERVICE PROVIDERS.
- 5. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- 6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING. . ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA
- REGULATIONS. 8. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
- 9. PRESSURE AND LEAKAGE TEST SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- 10. DISINFECTION OF ALL NEW WATER MAINS SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 (YEAR OF LATEST REVISIONS) TO MEET OCDOH REQUIREMENTS. REFER TO TOWN OF NEWBURGH NOTES FOR ADDITIONAL LOCAL TESTING/DISINFECTION/INSPECTION REQUIREMENTS.
- 11. ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE JURISDICTIONAL AUTHORITY. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERAL ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (I.E., DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
- 12. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4'-6" FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION AND A MAXIMUM COVER OF 6'-0".
- 13. THE CONTRACTOR SHALL REMOVE OR ABANDON EXISTING UTILITIES WITHIN LIMIT OF DISTURBANCE PER THE FOLLOWING UNLESS OTHERWISE NOTED: •• PIPING LESS THAN 12" IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND LEFT IN PLACE. •• PIPING 12" AND LARGER IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND FILLED WITH A LEAN CEMENT GROUT. • STRUCTURES SHALL HAVE ALL OPENINGS BLOCKED OFF AND FILLED WITH A LEAN CEMENT GROUT.
- 14. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THEN NYSDOH AND THE TOWN OF NEWBURGH.
- 15. CONSTRUCTION OF SANITARY SEWER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FORM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF "AS-BUILT" RECORD DRAWINGS OF THE SEWER SYSTEM. SUBMITTAL OF THESE DRAWINGS IS A CONDITION OF DEDICATION AND RELEASE OF THE PERFORMANCE SECURITY.
- 17. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 8 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- 18. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- 19. THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT. ELECTRICAL SERVICE NOTES:
- . ALL UNDERGROUND ELECTRICAL SERVICE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE ELECTRIC COMPANY.
- ELECTRICAL CONDUIT SHALL BE SCH. 80 PVC OR AS REQUIRED BY THE ELECTRIC COMPANY.
- 5. MINIMUM ELECTRICAL CONDUIT BURIAL DEPTH SHALL BE THREE FEET, OR GREATER IF REQUIRED BY THE ELECTRIC COMPANY.
- 4. PROVIDE (2) 4"SCHEDULE 80 PLASTIC ELECTRIC CONDUITS FOR PRIMARTY ELECTRIC FEED. 5. CENTRAL HUDSON REQUIRES PRECAST MANHOLES 12' X 7' X 7' FOR TRANSFORMERS AND SWITCH.

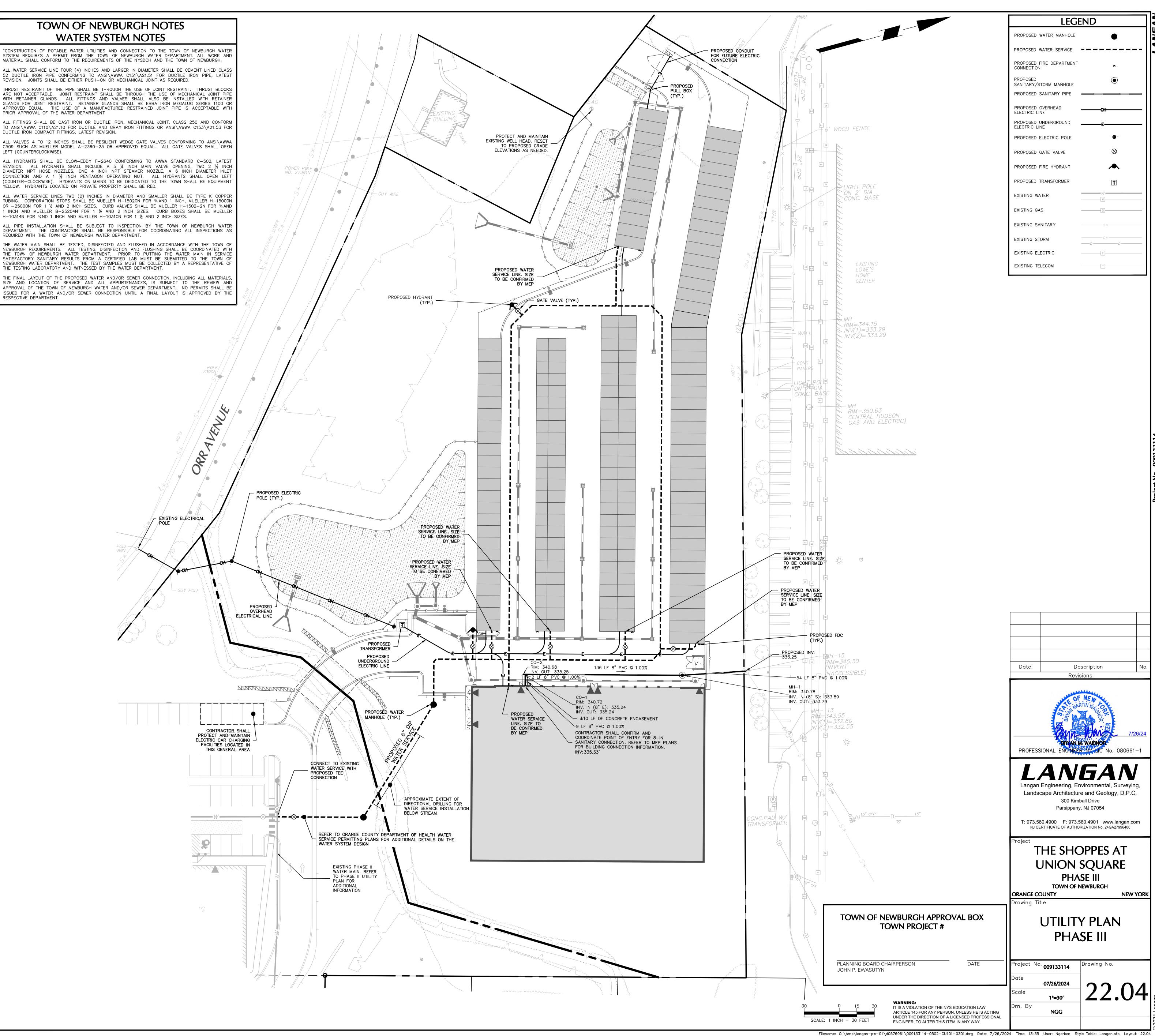
TOWN OF NEWBURGH NOTES WATER SYSTEM NOTES

- SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINE FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF BUINT RESTRAINT. THROUT BLOCKS WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM
- DUCTILE IRON COMPACT FITTINGS, LATEST REVISION. ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI\AWWA
- LEFT (COUNTERCLOCKWISE). ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/4 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 ½ INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 34 AND 1 INCH, MUELLER H-15000N OR -25000N FOR 1 ½ AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 3/ AND 1 INCH AND MUELLER B-25204N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR ¾ND 1 INCH AND MUELLER H-10310N FOR 1 ½ AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- 9. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- 10. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

NOTE: LAYOUT FOR ELECTRIC AND TELEPHONE SERVICES PENDING COORDINATION WITH SERVICE PROVIDERS

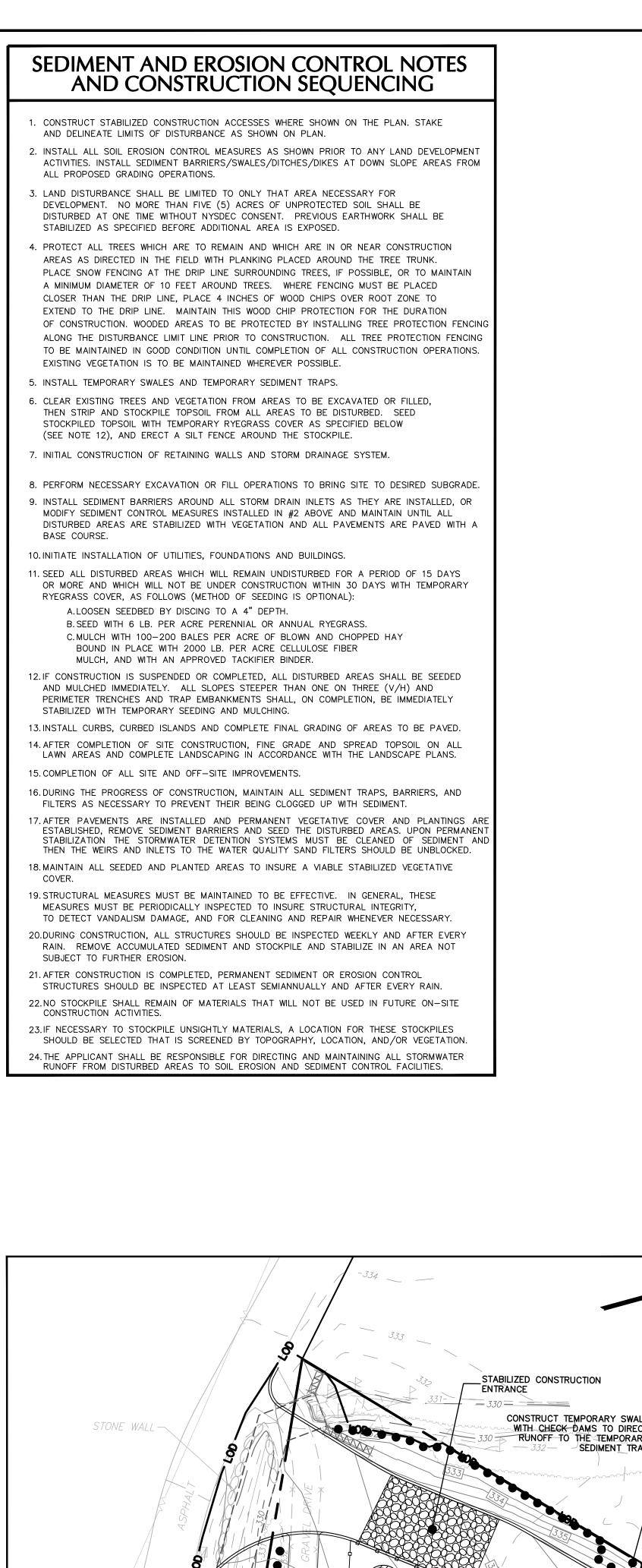
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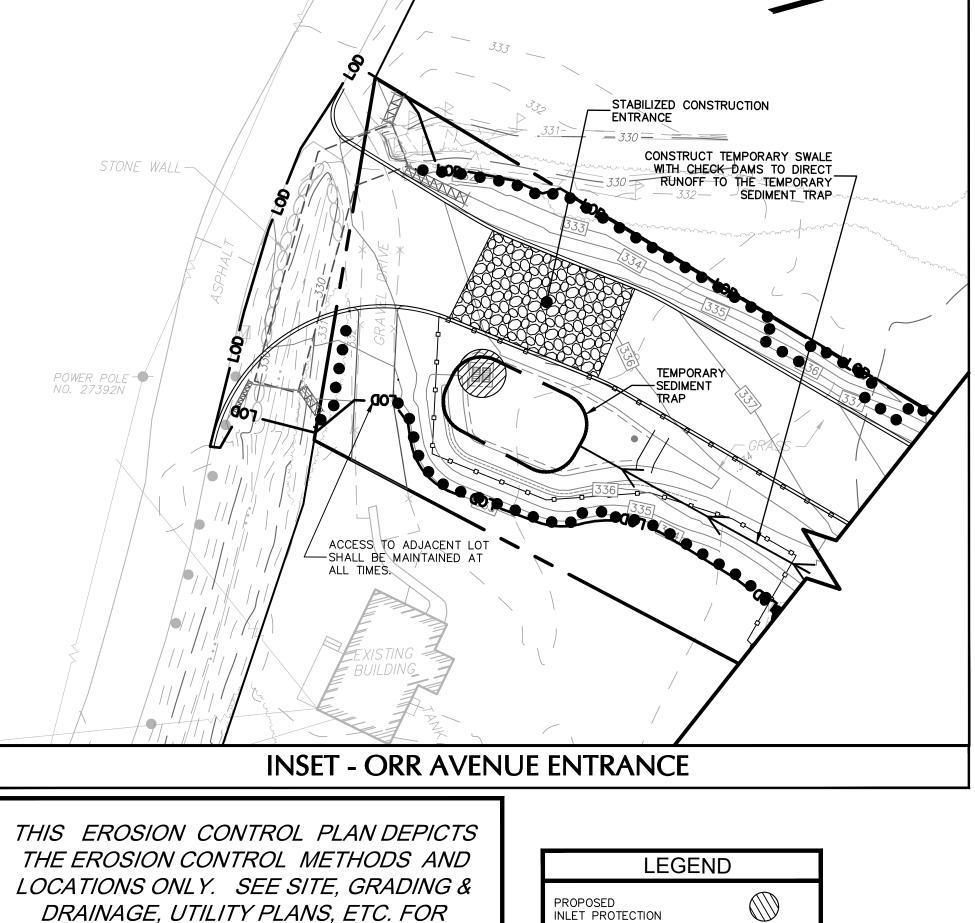
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



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PROPOSED WATER SERVICE		LA
PROPOSED FIRE DEPARTMENT CONNECTION	^	
PROPOSED SANITARY/STORM MANHOLE	۲	
PROPOSED SANITARY PIPE	<u> </u>	
PROPOSED OVERHEAD ELECTRIC LINE	OH	
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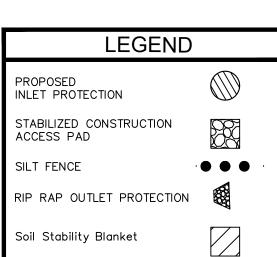
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LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054						
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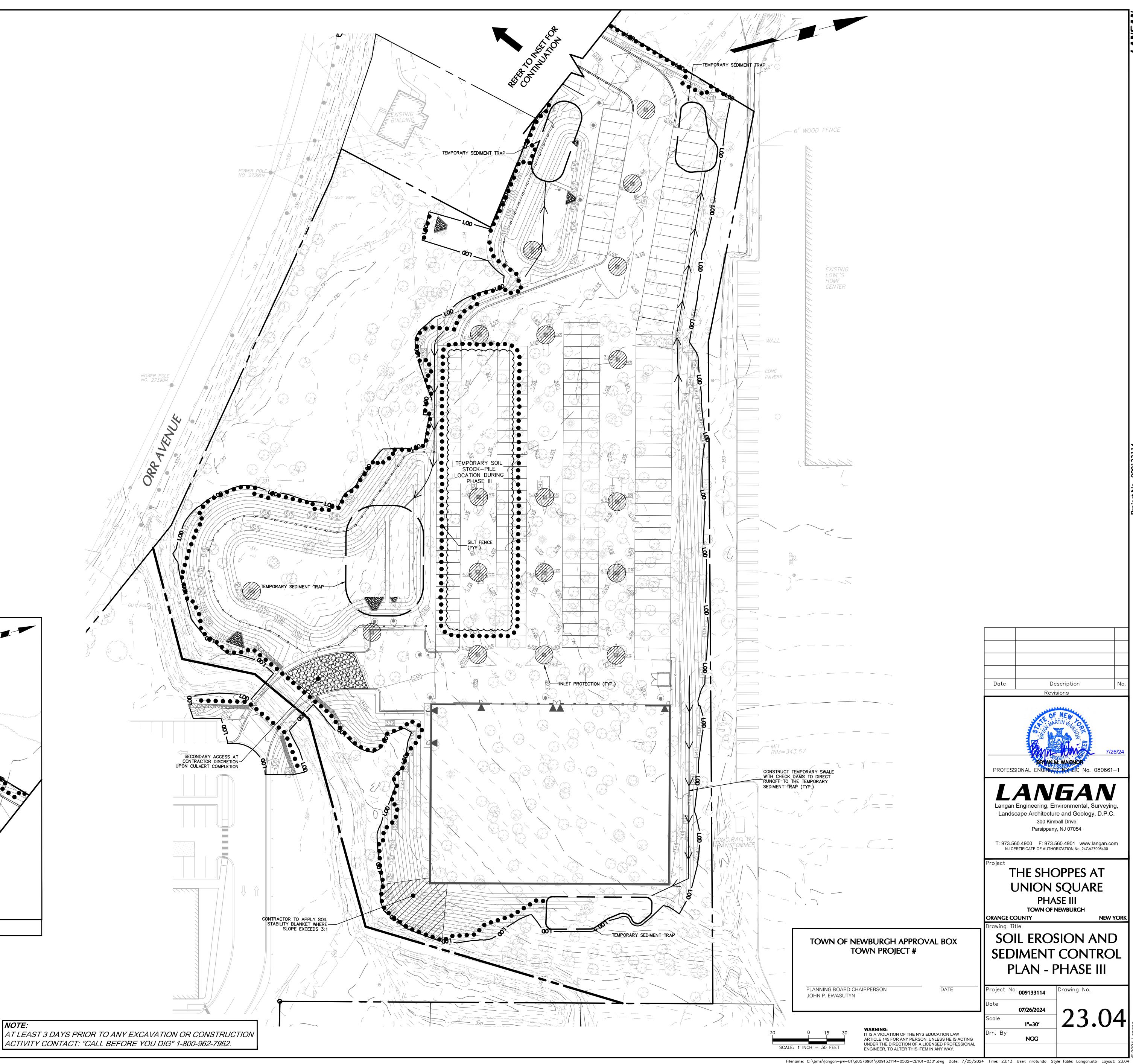


AREA, UTILITY LOCATIONS, ETC. THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE CONSTRUCTION AND MAINTENANCE OF THE MEASURES AS DETAILED ON THIS SOIL EROSION & SEDIMENT CONTROL PLAN.

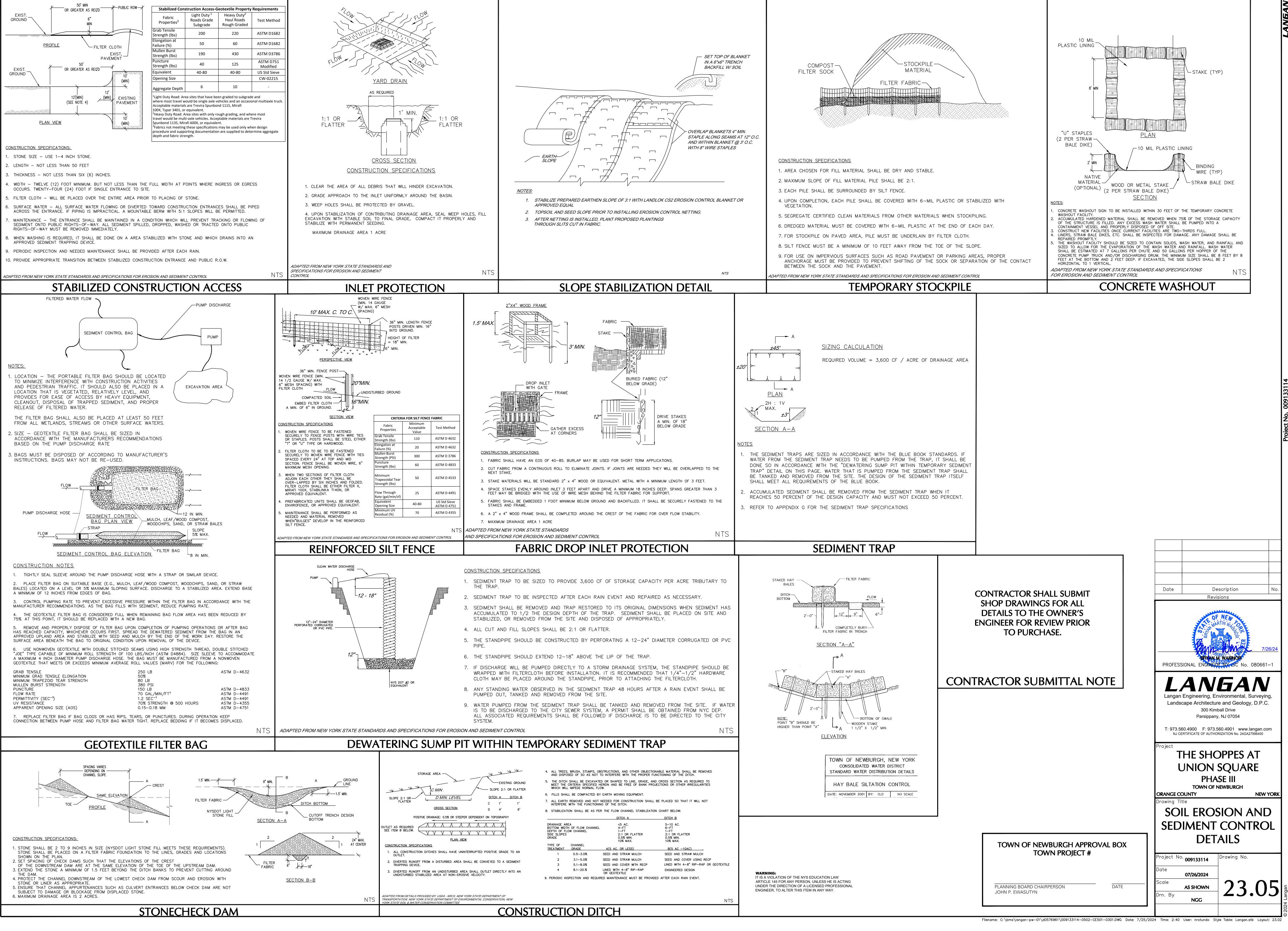
REMAINDER OF SITEWORK BUILDING, PAVED

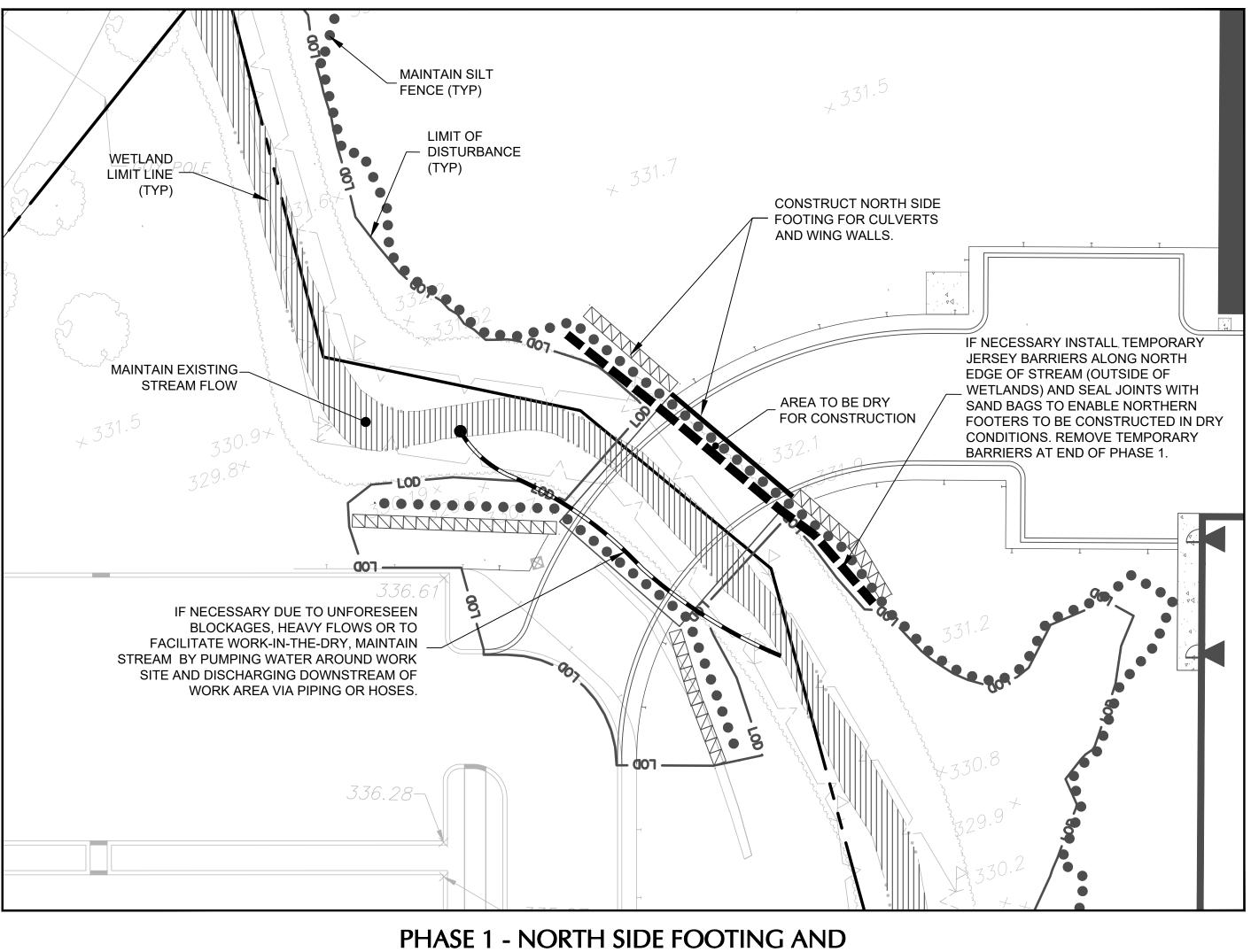


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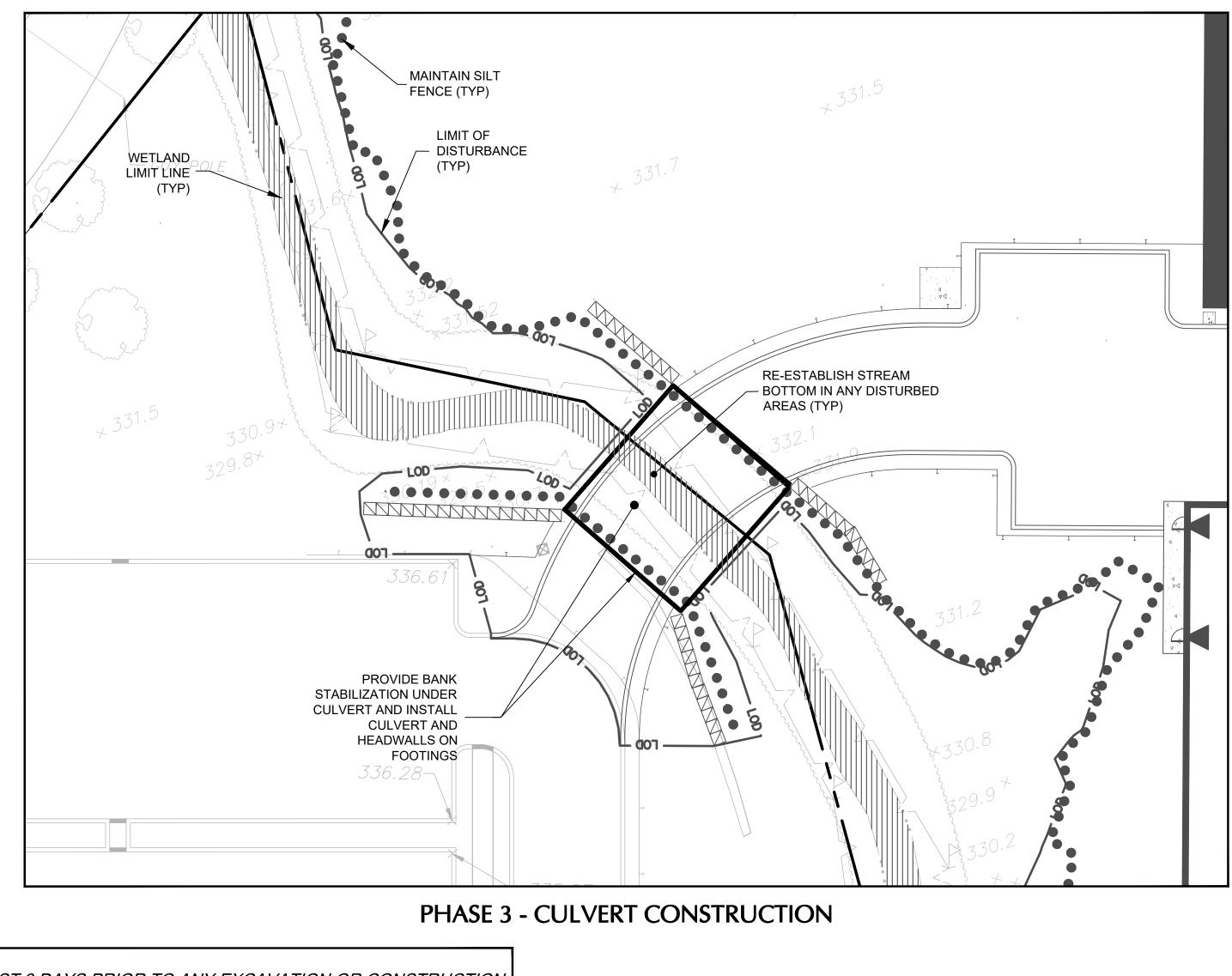


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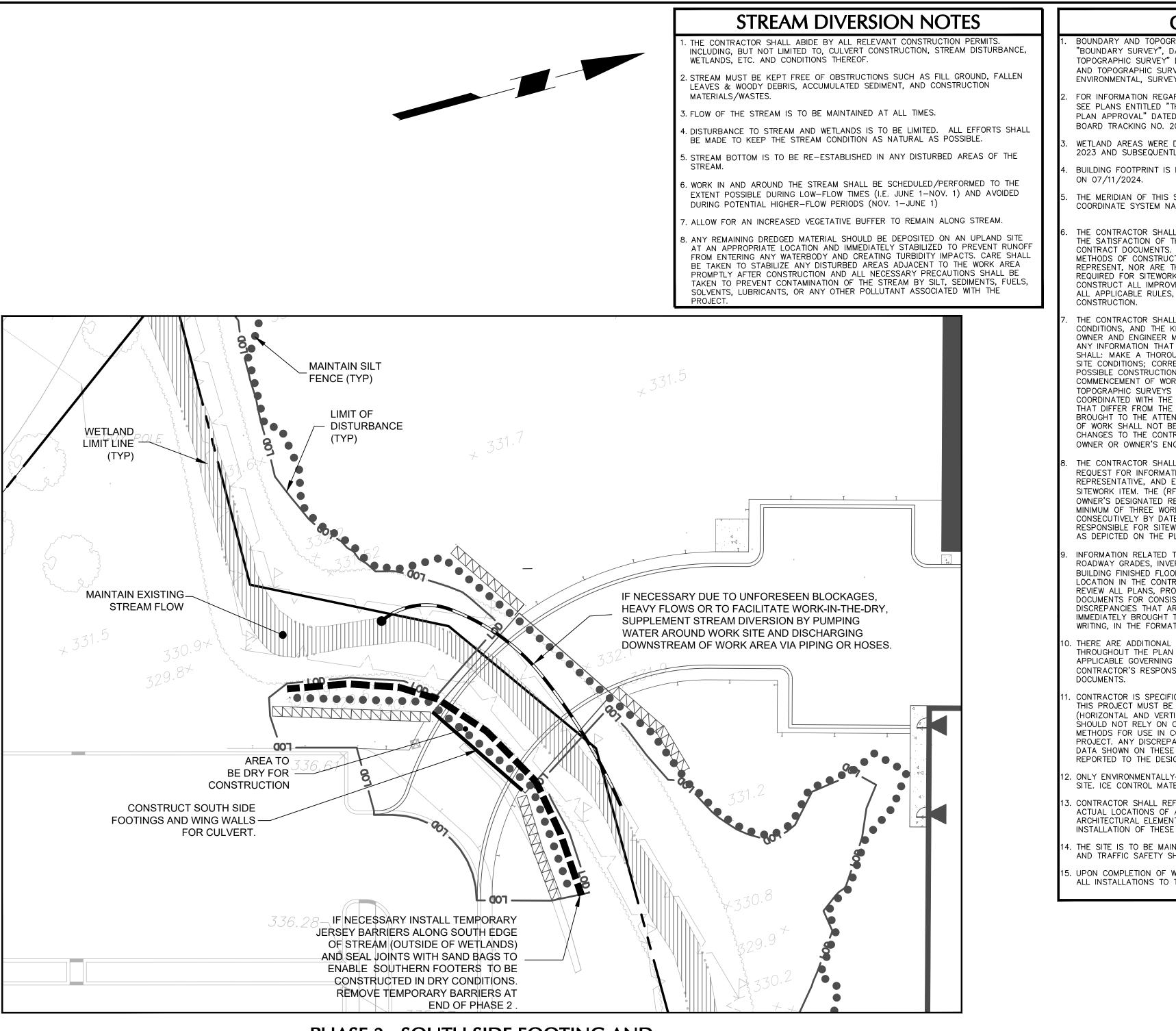


WINGWALL CONSTRUCTION

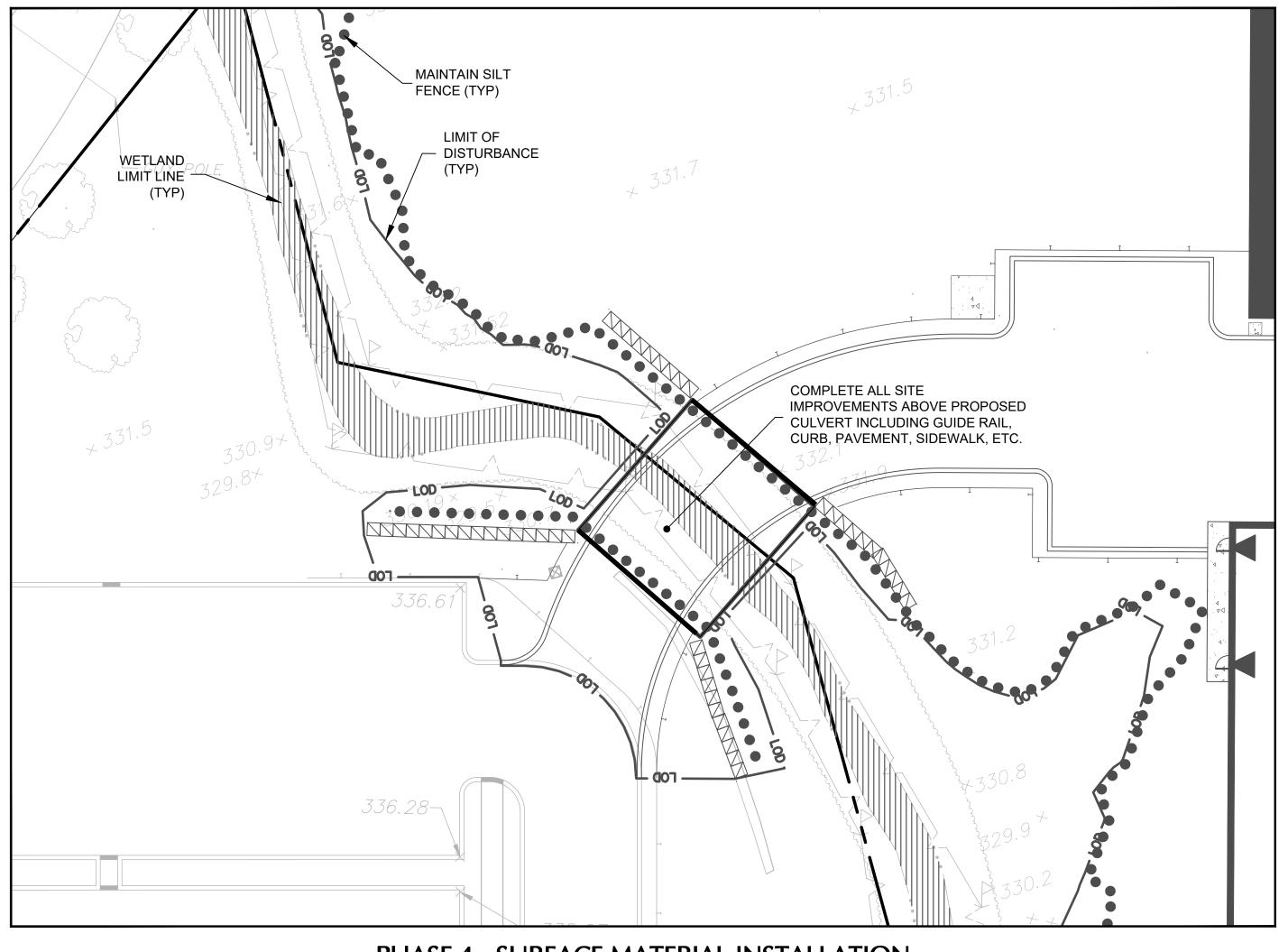


AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

NOTE:



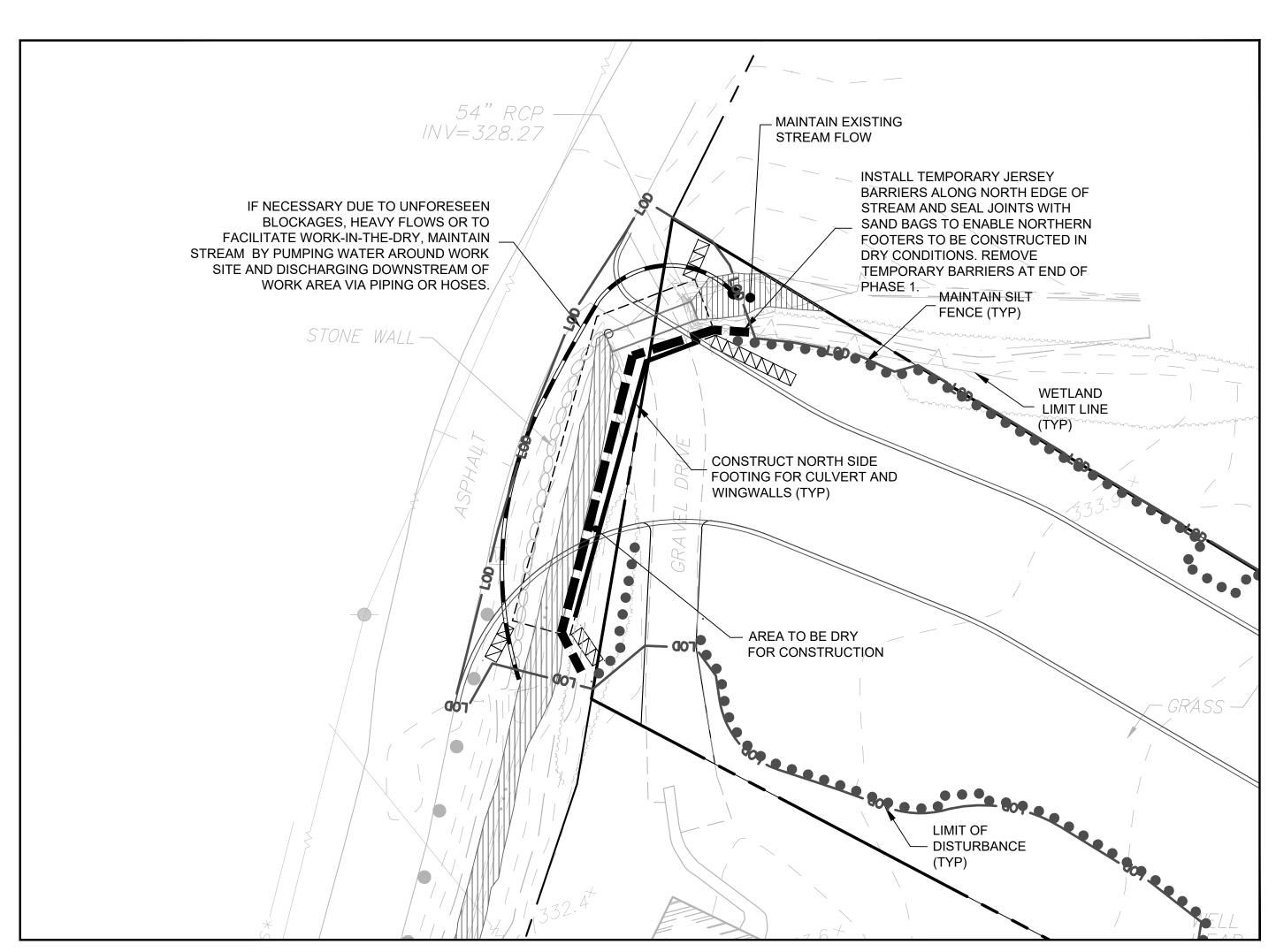
PHASE 2 - SOUTH SIDE FOOTING AND WINGWALL CONSTRUCTION



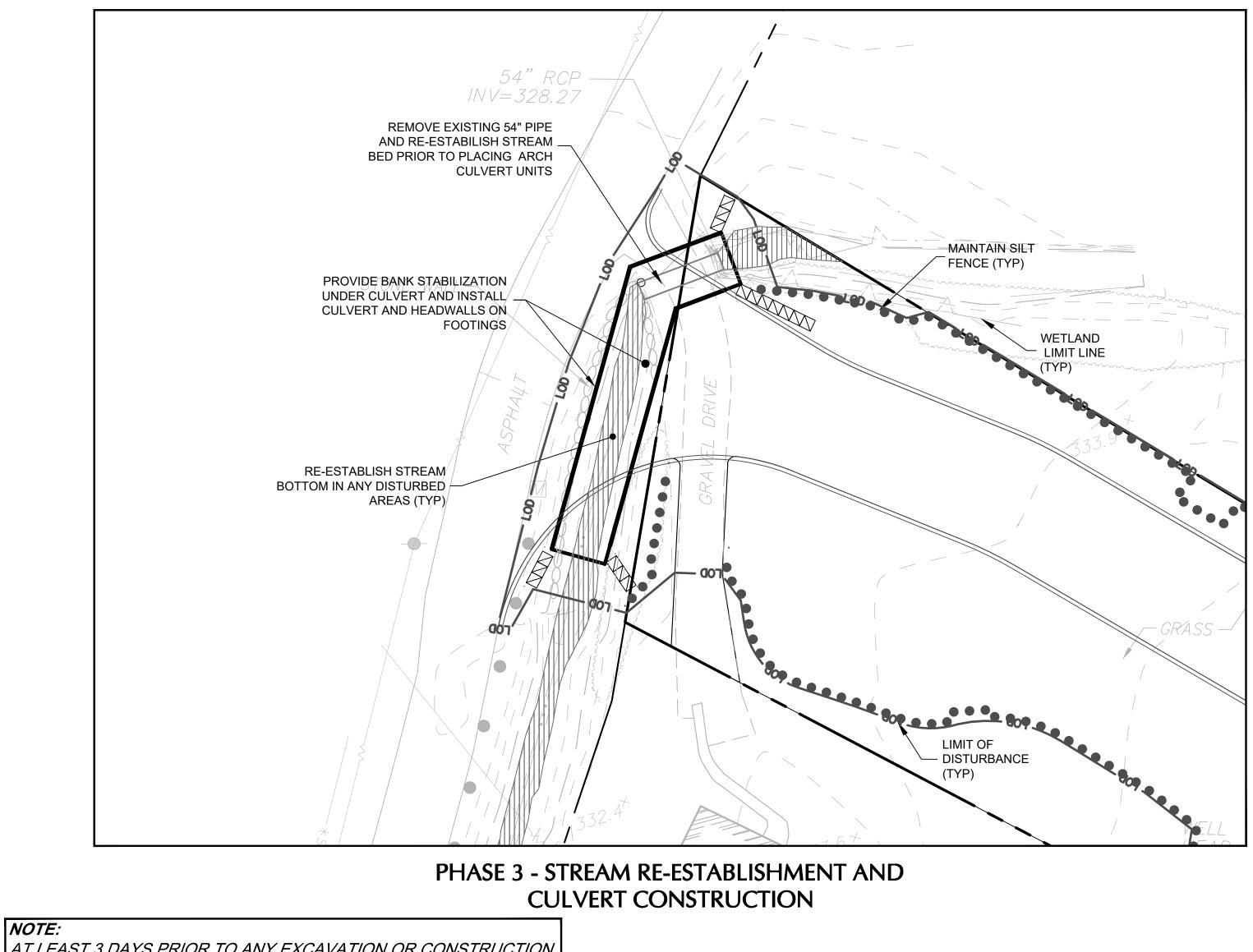
PHASE 4 - SURFACE MATERIAL INSTALLATION

WARNING IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING

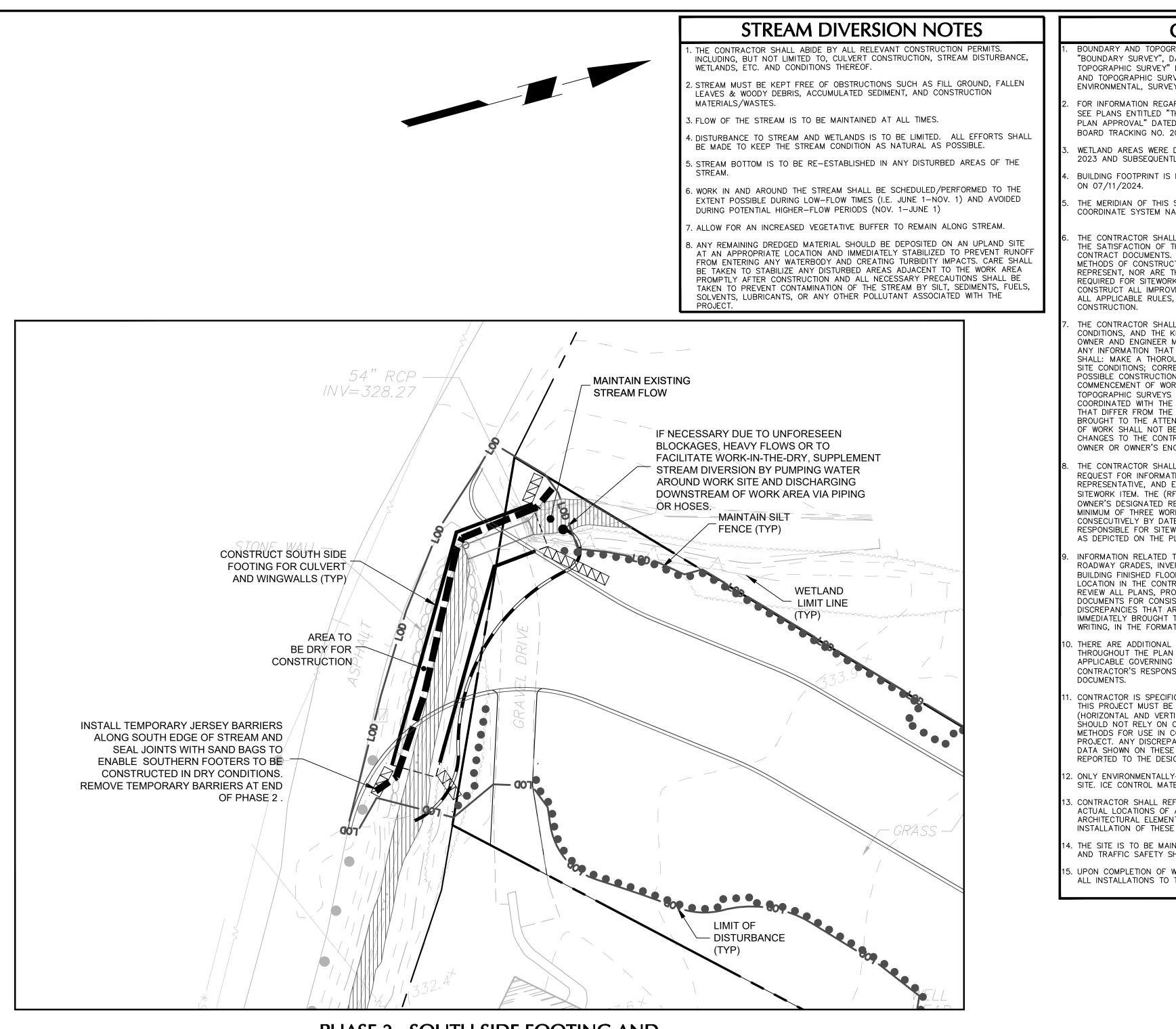
DIVERSION NOTES	GENERAL NOTES
BY ALL RELEVANT CONSTRUCTION PERMITS. CULVERT CONSTRUCTION, STREAM DISTURBANCE, S THEREOF. OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN MULATED SEDIMENT, AND CONSTRUCTION	 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "BOUNDARY SURVEY", DATED 12/1/2017, LAST REVISED 8/21/18, "PARTIAL TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, AND BOUNDARY AND TOPOGRAPHIC SURVEY DATED 06/27/24 PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C. FOR INFORMATION REGARDING LATEST SITE PLAN APPROVAL FOR OVERALL SITE,
MAINTAINED AT ALL TIMES. WETLANDS IS TO BE LIMITED. ALL EFFORTS SHALL CONDITION AS NATURAL AS POSSIBLE. ESTABLISHED IN ANY DISTURBED AREAS OF THE	 SEE PLANS ENTITLED "THE SHOPPES AT UNION SQUARE APPLICATION FOR SITE PLAN APPROVAL" DATED MARCH 5, 2007, LAST REVISED JUNE 7, 2012 (PLANNING BOARD TRACKING NO. 2007-05). 3. WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC IN OCTOBER 2023 AND SUBSEQUENTLY SURVEYED BY LANGAN.
EAM SHALL BE SCHEDULED/PERFORMED TO THE FLOW TIMES (I.E. JUNE 1–NOV. 1) AND AVOIDED V PERIODS (NOV. 1–JUNE 1)	 BUILDING FOOTPRINT IS FROM FILES ELECTRONICALLY RECEIVED FROM RZ ARCHITECT ON 07/11/2024. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
TATIVE BUFFER TO REMAIN ALONG STREAM. RIAL SHOULD BE DEPOSITED ON AN UPLAND SITE AND IMMEDIATELY STABILIZED TO PREVENT RUNOFF Y AND CREATING TURBIDITY IMPACTS. CARE SHALL STURBED AREAS ADJACENT TO THE WORK AREA N AND ALL NECESSARY PRECAUTIONS SHALL BE TION OF THE STREAM BY SILT, SEDIMENTS, FUELS, Y OTHER POLLUTANT ASSOCIATED WITH THE	6. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
	 THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN
	REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
OCKAGES, -IN-THE-DRY, JMPING ARGING IG OR HOSES.	 ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ÈLEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID. 10. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM
	 APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS. 11. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE
	REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION. 12. ONLY ENVIRONMENTALLY-FRIENDLY ICE CONTROL PRODUCTS SHALL BE USED ON SITE. ICE CONTROL MATERIALS SHALL NOT BE STORED ON THE SITE. 13. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL DOORS, STAIRS, RAMPS, CANOPIES, SIDEWALKS AND ARCHITECTURAL ELEMENTS AROUND THE BUILDING, AND SHALL COORDINATE INSTALLATION OF THESE ELEMENTS WITH THE SITE LAYOUT PRIOR TO INSTALLATION. 14. THE SITE IS TO BE MAINTAINED IN A CLEAN AND SAFE CONDITION. PEDESTRIAN AND TRAFFIC SAFETY SHALL BE PROTECTED AT ALL TIMES. 15. UPON COMPLETION OF WORK, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL INSTALLATIONS TO THE ENGINEER AND OWNER.
	Date Description No.
	7/26/24 PROFESSIONAL ENGINEER NY LIC No. 080661–1 LAADGAAD Langan Engineering, Environmental, Surveying,
	Landscape Architecture and Geology, D.P.C. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400 Project
	THE SHOPPES AT UNION SQUARE PHASE III TOWN OF NEWBURGH ORANGE COUNTY NEW YORK
	Drawing Title STREAM DIVERSION DETAIL
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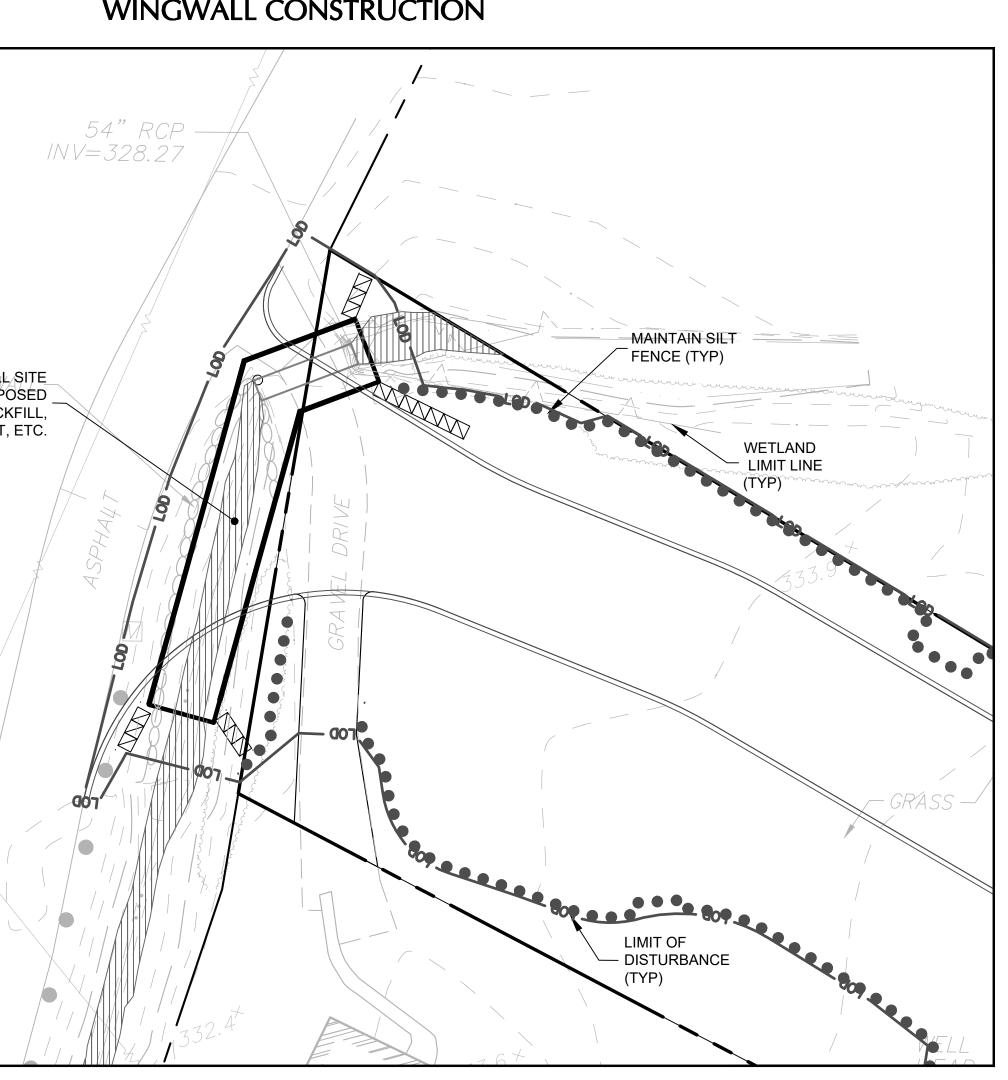


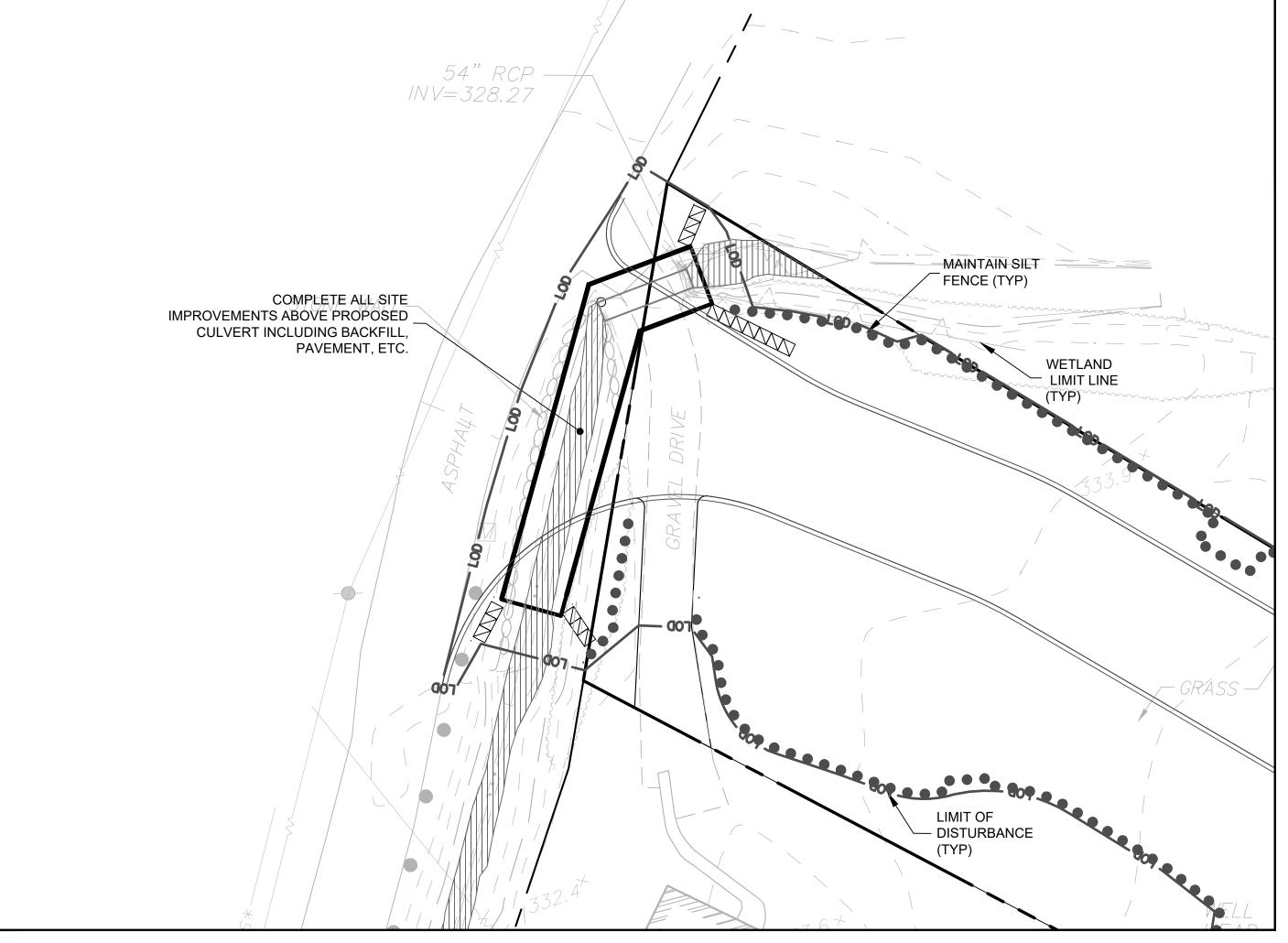
PHASE 1 - NORTH SIDE FOOTING AND WINGWALL CONSTRUCTION



AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.







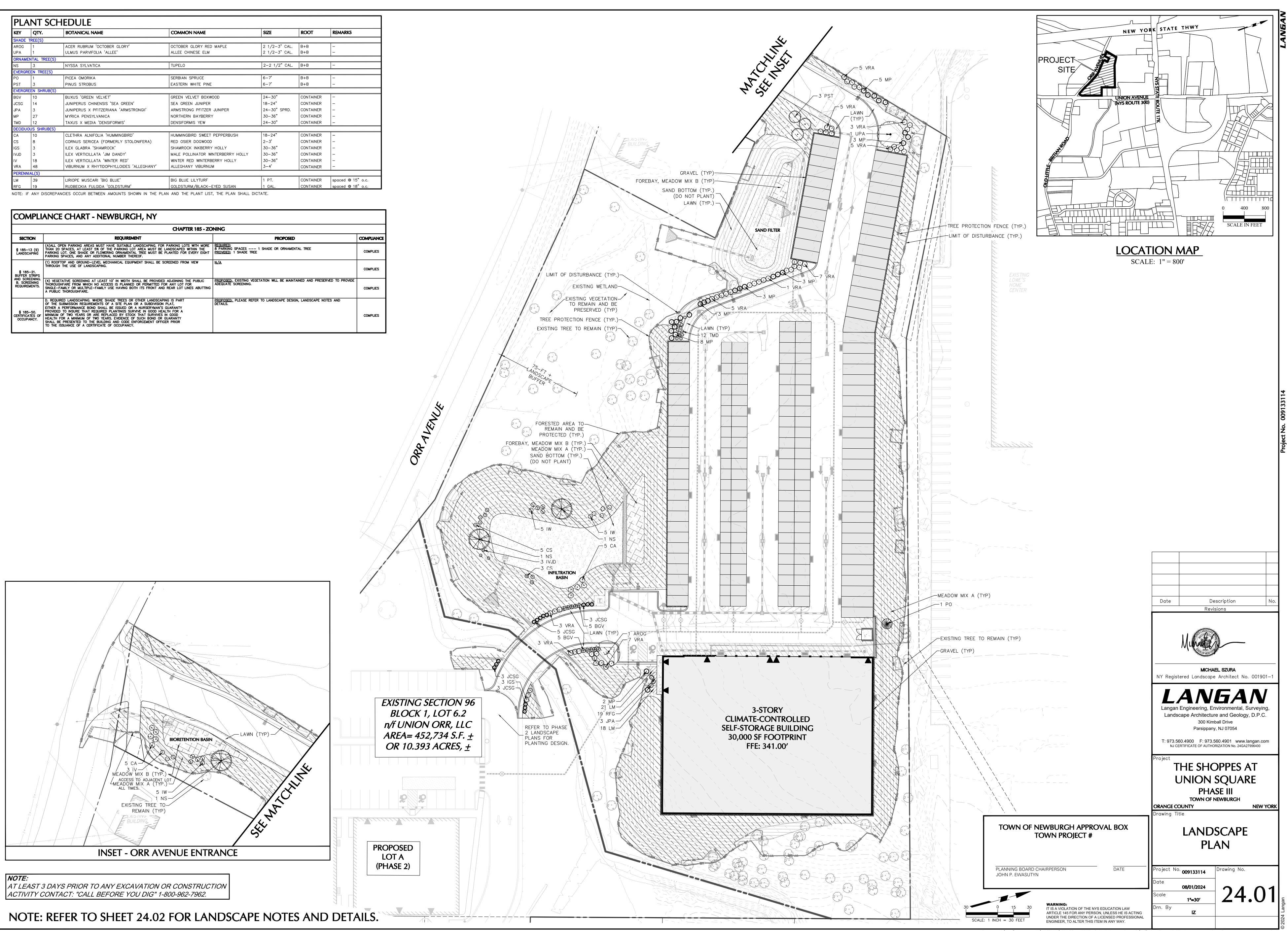
PHASE 2 - SOUTH SIDE FOOTING AND WINGWALL CONSTRUCTION

PHASE 4 - BACKFILL AND ROADWAY CONSTRUCTION

DIVERSION NOTES	GENERAL NOTES	
DE BY ALL RELEVANT CONSTRUCTION PERMI TO, CULVERT CONSTRUCTION, STREAM DISTU IONS THEREOF. OF OBSTRUCTIONS SUCH AS FILL GROUND,	TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, AND BOUNDARY	
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	9. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT	
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	300 Kimball Drive Parsippany, NJ 07054	
	T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400 Project	
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KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE	TREE(S)					
AROG	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
UPA	1	ULMUS PARVIFOLIA 'ALLEE'	ALLEE CHINESE ELM	2 1/2-3" CAL.	B+B	-
ORNAM	ENTAL TREE(S)				
NS	3	NYSSA SYLVATICA	TUPELO	2-2 1/2" CAL.	B+B	-
EVERG	REEN TREE(S)			·		
PO	1	PICEA OMORIKA	SERBIAN SPRUCE	6-7'	B+B	-
PST	3	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	-
EVERGF	REEN SHRUB(S			•		
BGV	10	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	24-30"	CONTAINER	-
JCSG	14	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18–24"	CONTAINER	-
JPA	3	JUNIPERUS X PFITZERIANA 'ARMSTRONGII'	ARMSTRONG PFITZER JUNIPER	24-30" SPRD.	CONTAINER	-
MP	27	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	30-36"	CONTAINER	-
TMD	12	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	CONTAINER	-
DECIDU	OUS SHRUB(S)				
СА	10	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SWEET PEPPERBUSH	18–24"	CONTAINER	-
CS	8	CORNUS SERICEA (FORMERLY STOLONIFERA)	RED OSIER DOGWOOD	2-3'	CONTAINER	-
IGS	3	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	30-36"	CONTAINER	-
IVJD	3	ILEX VERTICILLATA 'JIM DANDY'	MALE POLLINATOR WINTERBERRY HOLLY	30-36"	CONTAINER	-
IV	18	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY HOLLY	30-36"	CONTAINER	-
VRA	48	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	3-4'	CONTAINER	-
PEREN	NIAL(S)	· · · ·				
LM	39	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 PT.	CONTAINER	spaced @ 15'
RFG	19	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM/BLACK-EYED SUSAN	1 GAL.	CONTAINER	spaced @ 18'

CHAPTER 185 - ZONING								
SECTION	REQUIREMENT	PROPOSED	0					
§ 185–13 (9) LANDSCAPING	(A)ALL OPEN PARKING AREAS MUST HAVE SUITABLE LANDSCAPING. FOR PARKING LOTS WITH MORE THAN 20 SPACES, AT LEAST 5% OF THE PARKING LOT AREA MUST BE LANDSCAPED WITHIN THE PARKING LOT. ONE SHADE OR FLOWERING ORNAMENTAL TREE MUST BE PLANTED FOR EVERY EIGHT PARKING SPACES, AND ANY ADDITIONAL NUMBER THEREOF.	REQUIRED: 8 PARKING SPACES 1 SHADE OR ORNAMENTAL TREE PROVIDED: 1 SHADE TREE						
§ 185–21. BUFFER_STRIPS	(1) ROOFTOP AND GROUND-LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW THROUGH THE USE OF LANDSCAPING.	N/A						
AND SCREENING. B. SCREENING REQUIREMENTS.	(4) VEGETATIVE SCREENING AT LEAST 10' IN WIDTH SHALL BE PROVIDED ADJOINING THE PUBLIC THOROUGHFARE FROM WHICH NO ACCESS IS PLANNED OR PERMITTED FOR ANY LOT FOR SINGLE-FAMILY OR MULTIPLE-FAMILY USE HAVING BOTH ITS FRONT AND REAR LOT LINES ABUTTING A PUBLIC THOROUGHFARE.	PROPOSED: EXISTING VEGETATION WILL BE MAINTAINED AND PRESERVED TO PROVIDE ADEQUATE SCREENING.						
§ 185–50. CERTIFICATES OF OCCUPANCY.	D. REQUIRED LANDSCAPING. WHERE SHADE TREES OR OTHER LANDSCAPING IS PART OF THE SUBMISSION REQUIREMENTS OF A SITE PLAN OR A SUBDIVISION PLAT, EITHER A PERFORMANCE BOND SHALL BE ISSUED OR A NURSERYMAN'S GUARANTY PROVIDED TO INSURE THAT REQUIRED PLANTINGS SURVIVE IN GOOD HEALTH FOR A MINIMUM OF TWO YEARS OR ARE REPLACED BY STOCK THAT SURVIVES IN GOOD HEALTH FOR A MINIMUM OF TWO YEARS. EVIDENCE OF SUCH BOND OR GUARANTY SHALL BE PRESENTED TO THE BUILDING AND CODE ENFORCEMENT OFFICER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.	PROPOSED: PLEASE REFER TO LANDSCAPE DESIGN, LANDSCAPE NOTES AND DETAILS.						



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GENERAL LANDSCAPE PLANTING NOTES

- 1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES" 1942 FDITION PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- 2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- 3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE. COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
- 4. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS. 5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
- 6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER. 7. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER
- 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING 8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE
- PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK. 9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- 10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES. ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- 11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- 12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- 13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES AND LATENT DEFECTS. AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- 14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING, 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD. OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS. 16. DELIVERY, STORAGE, AND HANDLING
- A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS. AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
- B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
- C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF $^{-1}$ PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS. D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING
- HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE
- 17. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING
- 18. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- 19. CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER
- 20. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- 21. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24- HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- 22. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- 23. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS SHREDDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- 25. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED. OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST REPORT HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS. 26. CONTRACTOR SHALL ASSESS THE NEED FOR DEER PROTECTION ON SITE. IF DEEMED NECESSARY, SHADE AND
- ORNAMENTAL TREES SHALL BE PROTECTED THROUGH WINTER WITH SPIRAL WRAP TREE GUARDS, OR APPROVED EQUAL. PROTECTION LENGTH TO BE FROM BELOW THE LOWEST BRANCH AND DOWN TO WITHIN A FEW INCHES OF THE GROUND. THE GUARDS CAN BE REMOVED IN SPRING AND SAVED FOR RE-INSTALLATION DURING FOLLOWING WINTERS AS PART OF A MAINTENANCE PROGRAM. ANY TREE REPLACEMENT REQUIRED BASED ON ANIMAL DAMAGE WILL BE COMPLETED AT NO ADDITIONAL COST TO THE OWNER.
- 27. CONTRACTOR SHALL ASSESS THE NEED FOR DEER PROTECTION ON SITE. IF DEEMED NECESSARY, SHADE AND ORNAMENTAL TREES SHALL BE PROTECTED THROUGH WINTER WITH BREATHABLE SPIRAL WRAP TREE GUARDS, OR APPROVED EQUAL. PROTECTION LENGTH TO BE FROM BELOW THE LOWEST BRANCH AND DOWN TO WITHIN A FEW INCHES OF THE GROUND. THE GUARDS CAN BE REMOVED IN SPRING AND SAVED FOR RE-INSTALLATION DURING FOLLOWING WINTERS AS PART OF A MAINTENANCE PROGRAM.
- 28. ALL SLOPES 3:1 OR GREATER AND ALL SIDE SLOPES OF BASINS SHALL REQUIRE AN EROSION CONTROL BLANKET: ERONET SC150 BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

LANDSCAPE MAINTENANCE NOTES

- MAINTENANCE OPERATIONS BEFORE APPROVAL: A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE HROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT. B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS
- ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION. C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
- MAINTENANCE DURING CONSTRUCTION:
- A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON
- B. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE CRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE ANDSCAPE ARCHITEC
- C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE
- D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
- E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON. . LAWN MAINTENANCE:
- A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED. B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING,
- FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

PLANTING SOIL SPECIFICATIONS

- 1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS. 2. PLANTING SOIL:
- REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOE AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS. SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND
- MARSHES OR CONTAMINATED SITES. AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM WECARE DENALI, P:888-325-1522, OR APPROVED EQUAL. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE
- PRODUCER MATERIAL COMPOSITION MANUFACTURER'S CERTIFIED ANALYSIS. AND THE WEIGHT OF TH MATERIALS, SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPAULIN UNTIL TIME OF ACTUAL USE
- ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL. PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
- THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION: A. WHERE A PERMANENT IRRIGATION SYSTEM IS PLANNED: a. PARTICLE SIZE ANALYSIS - SANDY LOAM: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY. b. GRAVEL CONTENT (2mm): LESS THAN 10%
- PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS e. TOXIC SUBSTANCE ANALYSIS f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE
- B. WHERE NO PERMANENT IRRIGATION IS PLANNED a. PARTICLE SIZE ANALYSIS - LOAM: 40-65% SAND, 25-60% SILT, AND 5-20% CLAY. b. GRAVEL CONTENT (2mm): LESS THAN 10% c. FERTILITY ANALYSIS: pH (6.0-6.8), SOLUBLE SALTS (0.2 to 1.0 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS e. TOXIC SUBSTANCE ANALYSIS
- f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE C. SOILS FOR BASINS (BIO-RETENTION, INFILTRATION, ETC.) AND BIOSWALES SHALL BE TESTED FOR
- PRACTICES MANUAL FOR THE RESPECTIVE STATE IN WHICH THE PROJECT IS LOCATED. 5. <u>SOIL AMENDMENT FOR PLANT MATERIAL:</u> IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE. WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8;
- MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL. A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS,
- STONES OVER 1/2", WOOD CHIPS OVER 1". B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE
- C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS: a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS. - BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
- c. MYCOR-ROOT SAVER BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES. 4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE
- EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
- . <u>CLEAN SOIL FILL IN LANDSCAPE AREAS:</u> LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7
- 6. <u>SOIL PLACEMENT</u> A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
- 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT HE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION. C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
- SOIL CONDITIONI A. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE
- CONTRACTOR'S EXPENSE. C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS): a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST
- PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT. b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE
- DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES. DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

SEEDING NOTES

<u>LAWN AREAS</u>

- 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
- 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. 3. SCD SEED MIX #14 SEEDING RATE AT 305 POUNDS PER ACRE: 10% DEEPBLUE KENTUCKY BLUEGRASS 40% DAKOTA TALL FESCUE
- 40% TAOS TALL FESCUE 10% FRONTIER PERENNIAL RYEGRASS
- NOVEMBER 1ST AREA UNTIL A STAND OF COVER IS ESTABLISHED AND FOUND ACCEPTABLE TO THE OWNER. SEE LAWN WATERING SCHEDULE NOTES.
- MEADOW SEED MIX A ERNST SEED MIX ERNMX-153 "SHOWY NORTHEAST NATIVE WILDFLOWER & GRASS MIX" ELYMUS VIRGINICUS. PA ECOTYPI BOUTELOUA CURTIPENDULA, BUTTE ECHINACEA PURPUREA CHAMAECRISTA FASCICULATA, PA ECOTYPE
- COREOPSIS LANCEOLATA RUDBECKIA HIRTA ASCLEPIAS TUBEROSA, PA ECOTYPE HELIOPSIS HELIANTHOIDES, PA ECOTYPE
- ZIZIA AUREA. PA ECOTYPI PENSTEMON DIGITALIS, PA ECOTYPE LIATRIS SPICATA
- ERAGROSTIS SPECTABILIS, RI ECOTYPE RUDBECKIA TRILOBA, WV ECOTYPE LESPEDEZA CAPITATA, RI ECOTYPE
- BAPTISIA AUSTRALIS, SOUTHERN WV ECOTYPE PYCNANTHEMUM TENUIFOLIUM LESPEDEZA VIRGINICA, VA ECOTYPI
- SENNA HEBECARPA. VA & WV ECOTYPE ASTER LAEVIS. NY ECOTYPE ASTER NOVAE-ANGUAE PA ECOTYPE ASTER OBLONGIFOLIUS, PA ECOTYPI
- MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE ASTER PILOSUS, PA ECOTYPE SENNA MARILANDICA
- SOLIDAGO BICOLOR, PA ECOTYPE SOLIDAGO NEMORALIS, PA ECOTYPE TRADESCANTIA OHIENSIS, PA ECOTYPE
- OENOTHERA FRUTICOSA VAR PENSTEMON HIRSUTUS SOLIDAGO ODORA, PA ECOTYPE
- APPLY SEED AT THE RATES RECOMMENDED BY THE SEED SUPPLIER. USDA ZONE, AND SEEDING DATES.

PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS,

UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE

c. FERTILITY ANALYSIS: pH (6.0-6.8), SOLUBLE SALTS (0.2 to 1.0 MMHO/CM), NITRATE,

COMPLIANCE WITH THE CIVIL ENGINEERING SPECIFICATIONS. OR OTHERWISE THE BEST MANAGEMENT

FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

b. TERRA-SORB BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS)

B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN

GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF

PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX IMPROVE

c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR

4. SEEDING DATES FOR THIS MIXTURE SHALL BE BETWEEN APRIL 1ST TO JUNE 1ST OR SEPTEMBER 1ST TO 5. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED

VIRGINIA WILDRYF PA ECOTYPE SCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP-PA ECOTYPE LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE SIDEOATS GRAMA, BUTTE PURPLE CONEFLOWER PARTRIDGE PEA. PA ECOTYPE LANCELEAF COREOPSIS BLACKEYED SUSAN BUTTERFLY MILKWEED, PA ECOTYPE SUNFLOWER, PA ECOTYPE GOLDEN ALEXANDERS. PA ECOTYPE TALL WHITE BEARDTONGUE, PA ECOTYPE MARSH BLAZING STAR PURPLE LOVEGRASS, RI ECOTYPE BROWNEYED SUSAN, WV ECOTYPE ROUNDHEAD LESPEDEZA, RI ECOTYPE BLUE FALSE INDIGO, SOUTHERN WV ECOTYPE NARROWLEAF MOUNTAINMINT LESPEDEZA, VA ECOTYPE WILD SENNA, VA & WV ECOTYPE SMOOTH BLUE ASTER. NY ECOTYPE ENGLAND ASTER, PA ECOTYPE AROMATIC ASTER, PA ECOTYPE WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE HEATH ASTER, PA ECOTYPE MARYLAND SENNA WHITE GOLDENROD. PA ECOTYPE GRAY GOLDENROD. PA ECOTYPE OHIO SPIDERWORT PA ECOTYPE FRUTICOSA SUNDROPS HAIRY BEARDTONGUE

LICORICE SCENTED GOLDENROD, PA ECOTYPE

2. SEED WITH NURSE CROP(S) SPECIES AS RECOMMENDED BY THE SEED SUPPLIER FOR THE INTENDED USE,

SEEDING NOTES (CONT.)

MEADOW SEED MIX B ERNST SEED MIX ERNMX-127 "RETENTION BASIN WILDLIFE MIX" PANICUM CLANDESTINUM. TIOGA CAREX VULPINOIDEA, PA ECOTYE ELYMUS VIRGINICUS, MADISON-NY ECOTYPE CAREX LURIDA, PA ECOTYPE CAREX SCOPARIA, PA ECOTYPI VERBENA HASTATA, PA ECOTYPE JUNCUS EFFUSUS AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE ASCLEPIAS INCARNATA, PA ECOTYPE SCIRPUS CYPERINUS, PA ECOTYPE HELENIUM AUTUMNALE. PA ECOTYPE ASTER NOVAE-ANGUAE, PA ECOTYPE ASTER PUNICEUS. PA ECOTYPE ASTER UMBELLATUS, PA ECOTYPE EUPATORIUM PERFOLIATUM, PA ECOTYPE LOBELIA SIPHILITICA. PA ECOTYPE

DEERTONGUE. TIOGA FOX SEDGE, PA ECOTYPE VIRGINIA WILDRYE, MADISON-NY ECOTYPE LURID SEDGE, PA ECOTYPE BLUNT BROOM SEDGE, PA ECOTYPE BLUE VERVAIN, PA ECOTYPE AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE SWAMP MILKWEED, PA ECOTYPE WOOLGRASS. PA ECOTYPE COMMON SNEEZEWEED, PA ECOTYPE NEW ENGLAND ASTER PA ECOTYPE PURPLESTEM ASTER. PA ECOTYPE FLAT TOPPED WHITE ASTER, PA ECOTYPE BONESET, PA ECOTYPE GREAT BLUE LOBELIA, PA ECOTYPE

1. APPLY SEED AT THE RATES RECOMMENDED BY THE SEED SUPPLIER. 2. SEED WITH NURSE CROP(S) SPECIES AS RECOMMENDED BY THE SEED SUPPLIER FOR THE INTENDED USE, USDA ZONE, AND SEEDING DATES.

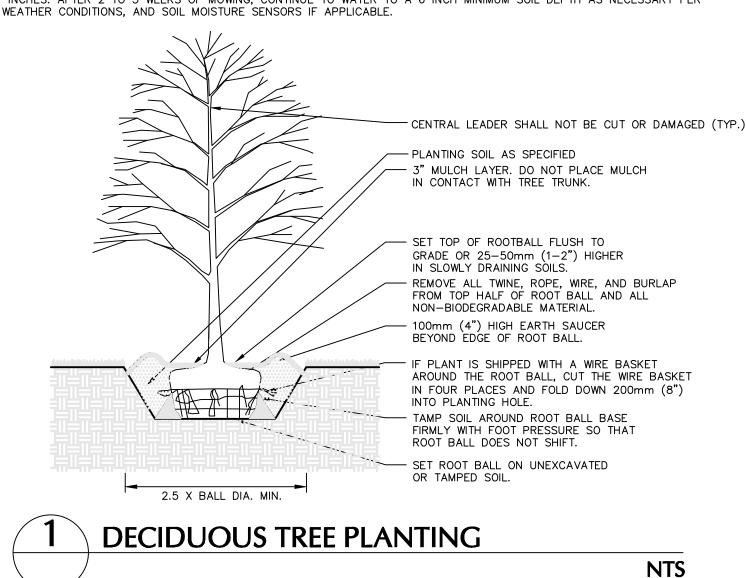
<u>MEADOW MIX</u>

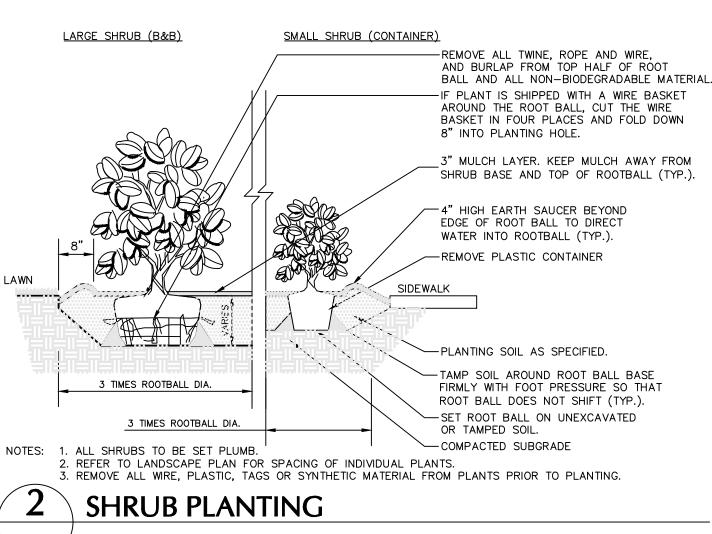
- 1. MOWING MEADOW AREAS SHALL BE DONE VIA STRING TRIMMER, WHERE LARGER MACHINES CANNOT REASONABLY BE USED AND WHERE DAMAGE OR RUTTING COULD OCCUR. 2. DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT
- A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE DAMAGED. 3. AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED. THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.
- 4. MOW IN BASINS, WETLAND AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR WETLAND AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 15 -AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN WETLAND OR WETLAND
- TRANSITION AREAS AFTER ESTABLISHMENT OF MEADOW MIX. 5. DURING THE FIRST 2-4 YEARS OF ESTABLISHMENT, AND AFTER ESTABLISHMENT DEPENDING ON THE LOOK DESIRED, SELECTIVE WEEDING WITH A BROADLEAF WEED-CONTROL HERBICIDE, OVER-SEEDING BARE SPOTS AND WATERING TO PROMOTE A UNIFORM DROUGHT-TOLERANT STAND OF PLANTS MAY BE NECESSARY
- 6. FERTILIZERS ARE NOT GENERALLY NEEDED OR RECOMMENDED FOR NATIVE MEADOWS UNLESS SOIL TEST RESULTS SHOW A SIGNIFICANT LACK OF NUTRIENTS. USE ONLY SLOW-RELEASE FERTILIZERS WITH LITTLE TO NO NITROGEN IN APRIL OR SEPTEMBER. GENERAL SEEDING NOTES:
- 1. MEADOW SEED MIXTURES ARE SUBJECT TO CHANGE BY THE SUPPLIER DEPENDING ON AVAILABILITY OF EXISTING AND NEW PRODUCTS, CHANGES WILL NOT AFFECT THE FUNCTION OF THE MIX 2. FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON SCD REVIEW.
- 3. SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 1) OR THE FALL (SEPTEMBER 1 TO OCTOBER 1) 4. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A BROAD-SPECTRUM NON-SELECTIVE HERBICIDE PER
- MANUFACTURER'S SPECIFICATIONS 5. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE. 6. MULCHING/TACKING IS REQUIRED ON ALL SEEDING IN ACCORDANCE WITH THE STANDARDS. AN EROSION CONTROL BLANKET WITH A
- MINIMUM 12-MONTH DEGRADABLE LIFE SPAN MAY BE USED IN LIEU OF STANDARD MULCHING/TACKING. PERMANENT BLANKETS WILL NOT BE ACCEPTED UNLESS OTHERWISE NOTED. 7. CONTRACTOR SHALL USE ANIMAL CONTROL MEASURES AS NECESSARY FOR BASIN SEEDING, INCLUDING BUT NOT LIMITED TO
- GOOSE NETTING. TO PROTECT PLANTS DURING ESTABLISHMENT 8. CONTINUOUS MOISTURE MUST BE INSURED DURING ESTABLISHMENT TO ALLOW PROPER GERMINATION. SOIL WILL REMAIN CONTINUOUSLY MOIST FOR THE TOP 4 INCHES OF TOPSOIL. DO NOT SATURATE OR WATER TO THE POINT OF RUNOFF OR THE
- DISPLACEMENT OF SEED 9. DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED
- ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF GROWTH THROUGHOUT. 10. AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.

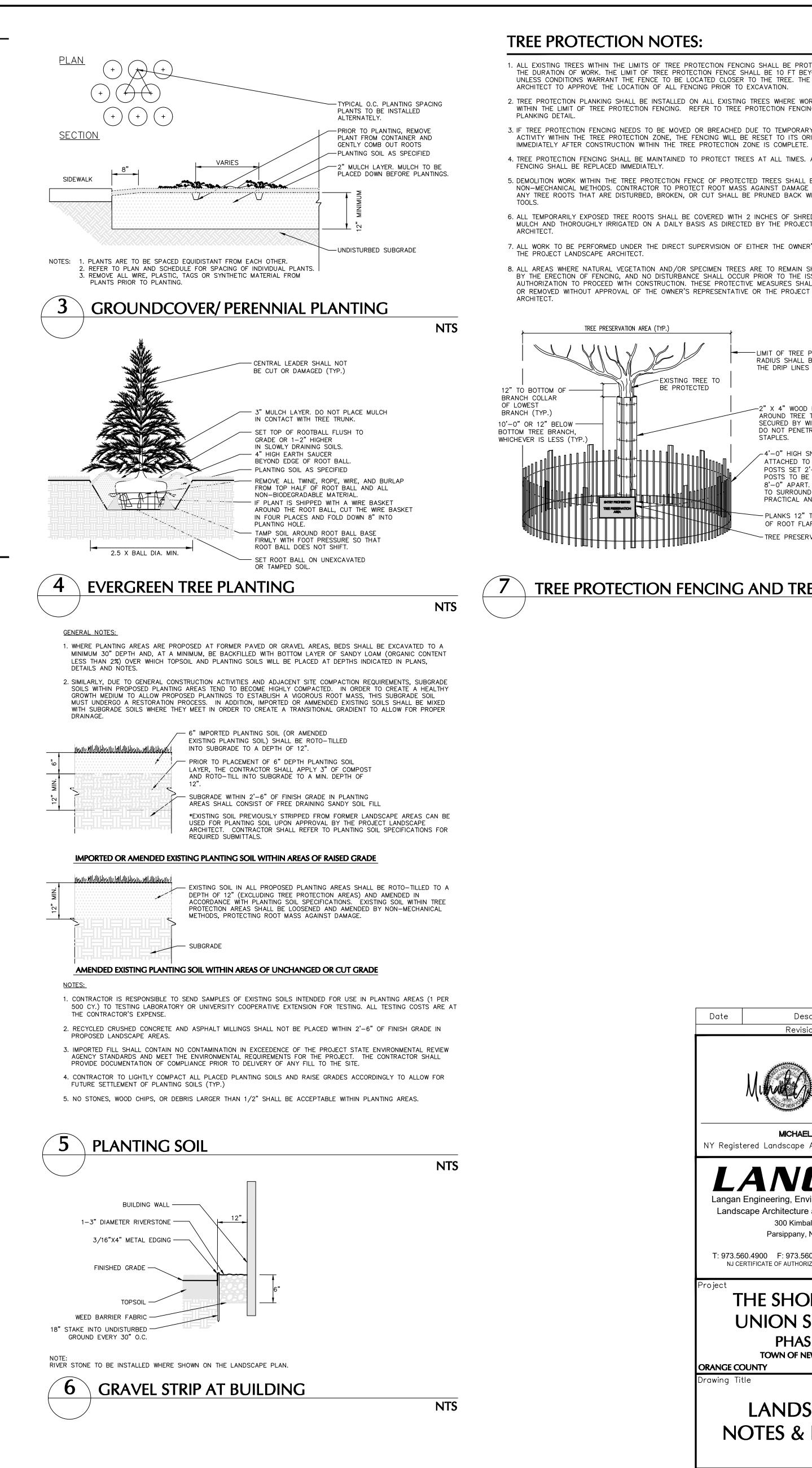
LAWN WATERING SCHEDULE (seed)

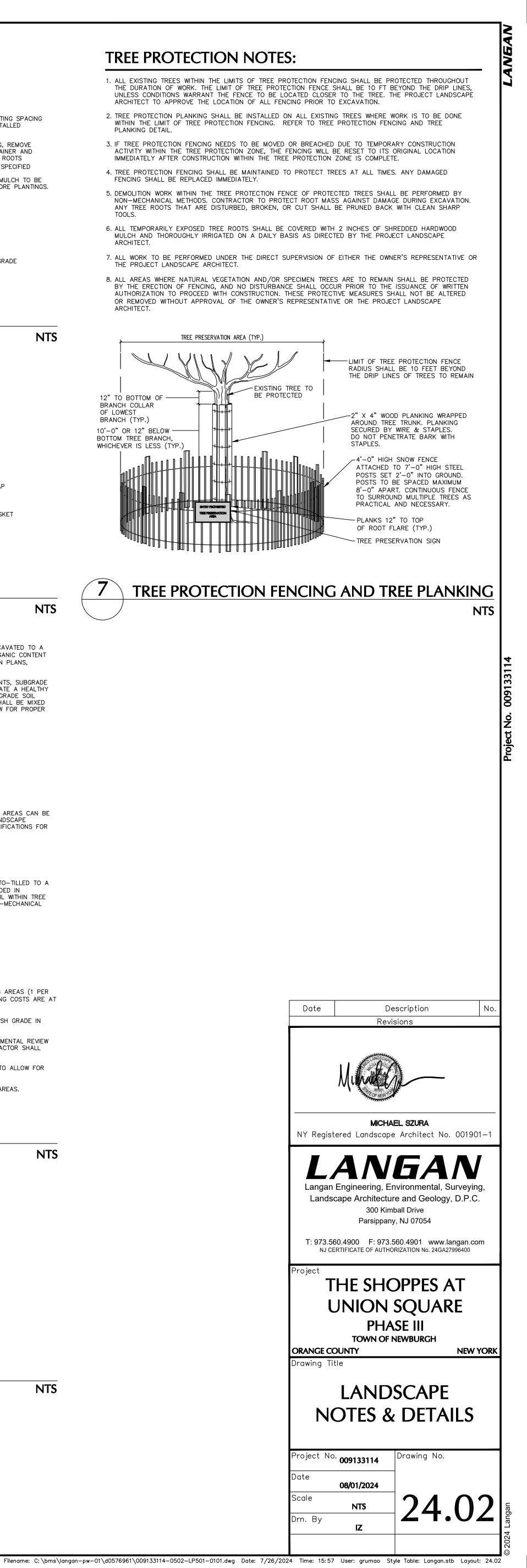
THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS FROM SEED. THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF THE MAINTENANCE/BOND PERIOD. ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER. IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF TOPSOIL, SEED BED PREPARATION, ATTAINING OPTIMAL pH FOR THE INTENDED PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.

- 1. SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR PROJECT SPECIFICATIONS. 2. AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF TENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE POINT OF RUNOFF OR THE
- DISPLACEMENT OF SEED. 3. DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING. AS DESCRIBED
- ABOVE. UNTIL THERE IS AT LEAST 2 INCHES OF GROWTH THROUGHOUT. 4. AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH
- MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS. 5. BEGIN MOWING ONCE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT. MOW TO A HEIGHT OF NO LESS THAN 2-1/2 INCHES. AFTER 2 TO 3 WEEKS OF MOWING, CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER









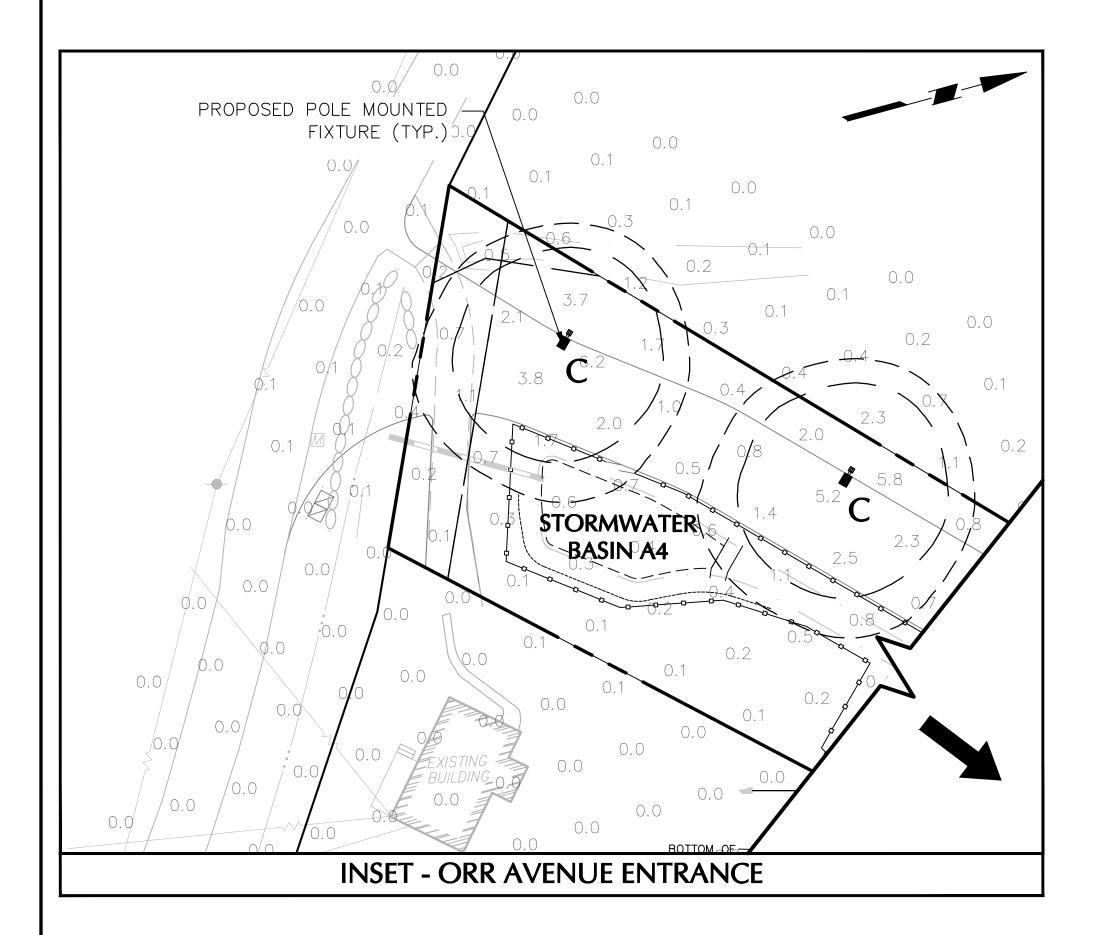
SITE	LIGI	HTI	NG SCHE	DULE												
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	Fixture Mounting Height	LAMP	OPTICS	LUMENS	ШF	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE N
	A	22	US LED	QubePAK REGAL 3	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BRONZE	10'-0" (COORDINATE EXACT HEIGHT WITH ARCHITECT)	58W LED 3000K	type iv	7,693	0.90	WPR3-UNVL-58-4- 30-BZ.IES	WPR3-VOLTS-58W- 4-30-BZ				
-	в	10	US LED	QubePAK REGAL 3	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BRONZE	16'-0" (COORDINATE EXACT HEIGHT WITH ARCHITECT)	58W LED 3000K	type iv	7,693	0.90	WPR3-UNVL-58-4- 30-BZ.IES	WPR3-VOLTS-58W- 4-30-BZ		-	-	
Ţ	с	8	US LED	RCAL1	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BRONZE	20'-0"	100W LED 3000K	TYPE IV	15,129	0.90	RCAL1-15-SCCT- UNVL-1-4-10- Z5 100.IES	RCAL1-15-SCCT- VOLTS-1-4-10-Z5- 100-N	PHILIPS GARDCO	ROUND TAPERED ALUMINUM; COLOR: BRONZE	20'–0"	TRA-CA-5/3-125 20-D1-BZ-VDA

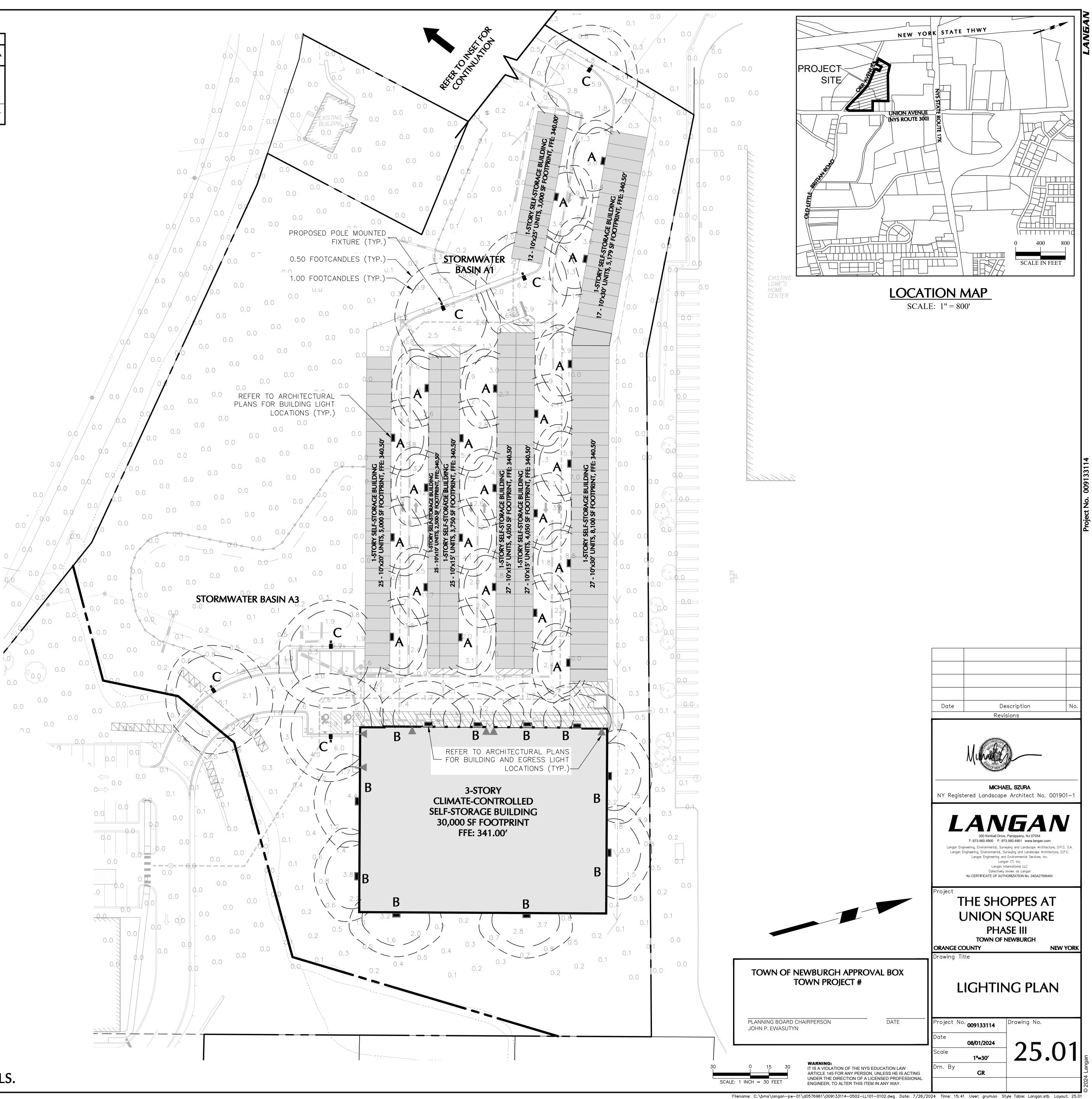
NOTES: 1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES. 2. ALL FIXTURES SHALL BE FULL CUT OFF, EMITTING ZERO UP-LIGHT ABOVE THE 90°PLANE. 3. ALL POLES 20 OR MORE FEET TALL SHALL RECEIVE FACTORY INSTALLED VIBRATION DAMPENERS.

 DESCRIPTION
 AVG.
 MAX.
 MIN.
 MAX./MIN.
 AVG./MIN.

 CAR PARKING
 3.0fc
 12.7fc
 0.5fc
 25.4:1
 6.0:1

 NOTES:
 LIGHTING PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.





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LIGHTING NOTES:

GENERAL

- 1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS.NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
- 2. LIGHT LEVEL POINT SPACING IS 20 FT. LEFT TO RIGHT AND 20 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

COMPLIANCE

- 3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- 4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

- 5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
- 6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
- 7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- 8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
- 9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

- 10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
- 11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
- 12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA. 13. ALL POLES SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

ADJUSTMENT AND INSPECTION

- 14. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
- 15. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- 16. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

NO ALTERNATES WILL BE ACCEPTED



LIGHT FIXTURE AND POLE

LED

NOTE: REFER TO 28.03 SHEET FOR LIGHT POLE BASE DETAILS.

RCAL1 | LED Area/Site Lighting with Selectable CCT CCT Key Features Construction Best-in-class outdoor lighting solution that Die-cast aluminum housing protects integral ensures outstanding performance and value. components from harsh environments and optimizes thermal management. Sleek aesthetic presents a modern appearance for sites and is night sky friendly. • Housing is protected by a corrosion resistant powder coat available in standard • Easy installation by one person in the field. bronze, white or black finish. Consult Optional rotatable optics provide design factory for custom color options. flexibility for unique aspects of a site plan to IP65 rated enclosure prevents intrusion from deliver light exactly where it's needed. environmental elements that could degrade Selectable correlated color temperature performance. (CCT) with integrated switch. Electrical Optics • 120-277VAC or 277-480VAC; 50/60Hz input. • IP65 rated LED light engine prevents dust or moisture from degrading performance. IP65 rated Class 2 driver; 0-10V dimming Precision molded optics: IES Type II, Type standard. III, Type IV, or Type V distributions. Optional 10kV surge protection standard; 20kV option rotatable optics available (consult factory). also available. • Industry-leading LEDs with selectable CCT: System power factor >90% and THD ≤20%. 3000K, 4000K, and 5000K CCT (min. 80 CRI). Operating temperature: -40°C to 50°C Lumen Maintenance: ≥167,000 hours (L70)¹ (-40°F to 122°F). Mounting -Warrantv Slip fitter, pole mount, or trunnion mounting Backed by US LED's industry-leading options available. Ten-Year Warranty.

Series Size² Selectable CCT Input Voltage Finish Optics Surge Protect Product Code

277V 2 White 3 Type 3 20SP 20kV

5 Type 5

480V **3** Black **4** Type 4

degradation and not a warranty or predictive of their actual life, which can be affected by ambient temperatures and other factors.

15 SCCT Selectable UNVL 120- 1 Bronze 2 Type 2 10SP 10kV

CCT: 277V 3000K, 4000K, & UNVH 277-5000K 480V

SLED

Always the Right Choice!

Ordering Information

30

01052

Date

WALL MOUNTED LIGHT FIXTURE

AREA LIGHT FIXTURE

2. Size 15 (100W/120W/150W) and Size 30 (200W/250W/300W).

Project Date atalog Number Туре

Product Performance Summary

utput	Up to 47,318 lumens
	Up to 158 LPW
	≥ 80 CRI
OOT	Selectable CCT

Available CCT Selectable CCT 3000K, 4000K & 5000K Warranty Ten-Year Warranty

Product Overview

Lumen O

Efficacy

CRI

The contemporary styling of the Right Choice Series (RCAL1) presents an attractive aesthetic that incorporates seamlessly with the existing architecture. It provides all the benefits of advanced LED technology, including selectable CCT, into a high-performing, ultra-long-life outdoor luminaire. Best-in-class photometric performance ensures exceptional uniformity and optimal pole spacing. With multiple lumen packages and mounting

options, the RCAL can be a complete lighting solution for any outdoor application. **Product Applications**

 Auto Dealerships
 Recreational Areas Retail Parking Lots
 Industrial Facilities Educational Facilities
 Security Areas Business Campuses
 Site Pathway Areas

Product Certifications

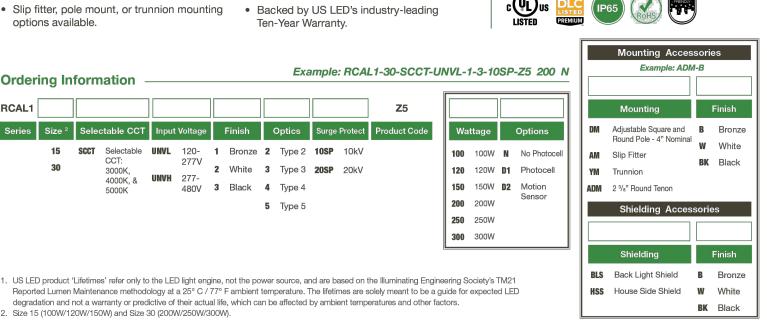
200 200W

250 250W

300 300W

 UL Listed • Complies with UL1598 and CSA C22.2 DLC Premium Listed

 Suitable for Wet Locations (IP65 Rated) RoHS Compliant



www.usled.com | 866-972-9191 | customerservice@usled.com Due to continued product improvements, product specifications are subject to change without notice. Please visit www.usled.com for the most updated product specifications.



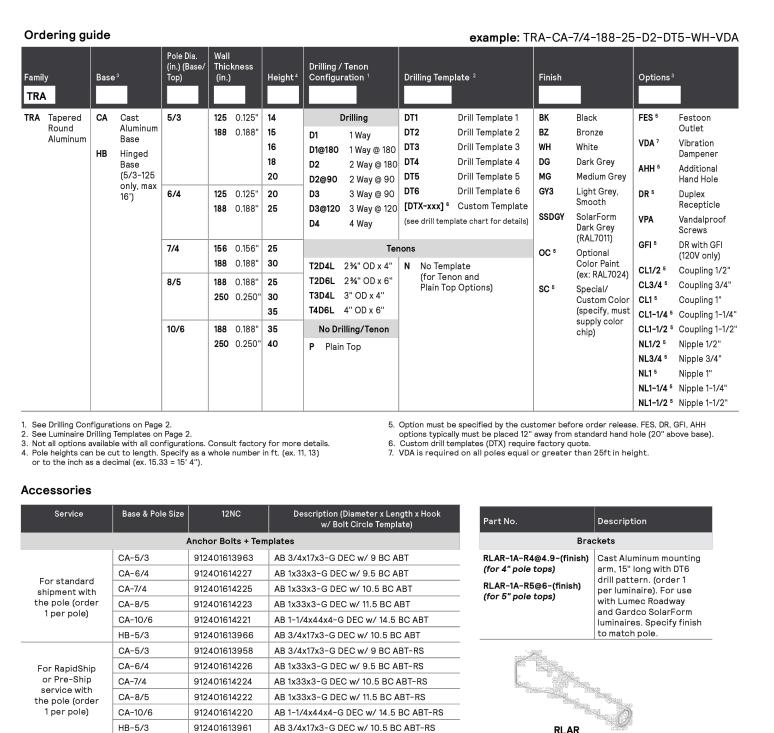
Poles & Brackets Site and Area Poles

red Round Alu

Project:

RLAR

Gardco TRA Tapered Round Aluminum pole consists of a single piece of extruded 6063-T6 series aluminum providing excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured polyester powdercoat. All poles include a base cover or nut covers, hand hole, ground lug, and top cap. Anchor bolts and templates are ordered as a separate accessory.



TRA_Spec_Sheet 10/22 page1of7

HB-5/3

LIGHT POLE

			Project No. 009133114
Date	Description	No.	
NY Regist	MICHAEL SZURA ered Landscape Architect No. 00190		
Langan Landso	Engineering, Environmental, Surveyin cape Architecture and Geology, D.P.C 300 Kimball Drive Parsippany, NJ 07054	g,	
NJ CE Project T	HE SHOPPES AT	711 711	

Project

ORANGE COUNTY

, Project No. 009133114

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Drn. By

08/01/2024

NTS

GR

Drawing Title

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PHASE III

TOWN OF NEWBURGH

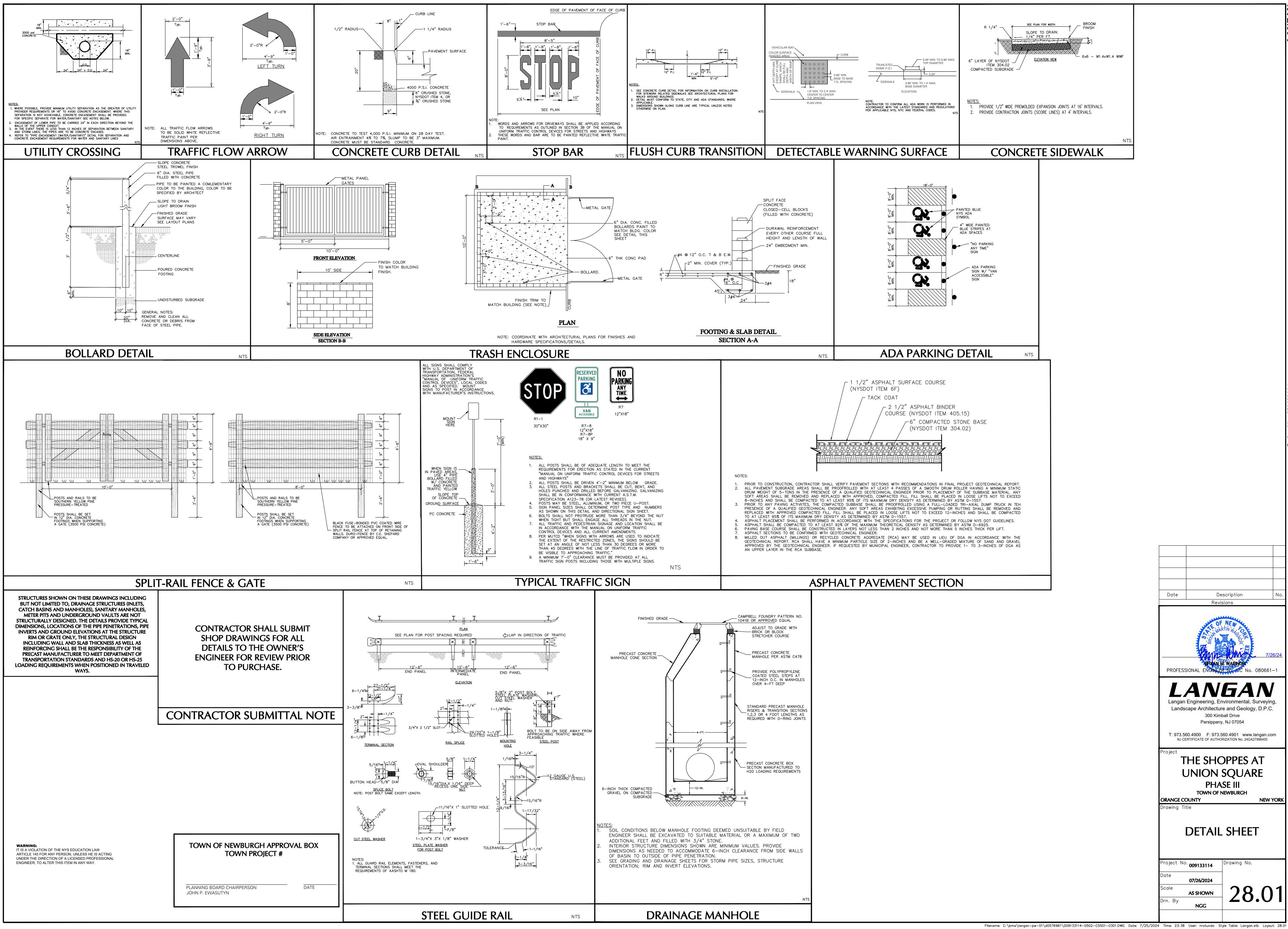
LIGHTING

NOTES & DETAILS

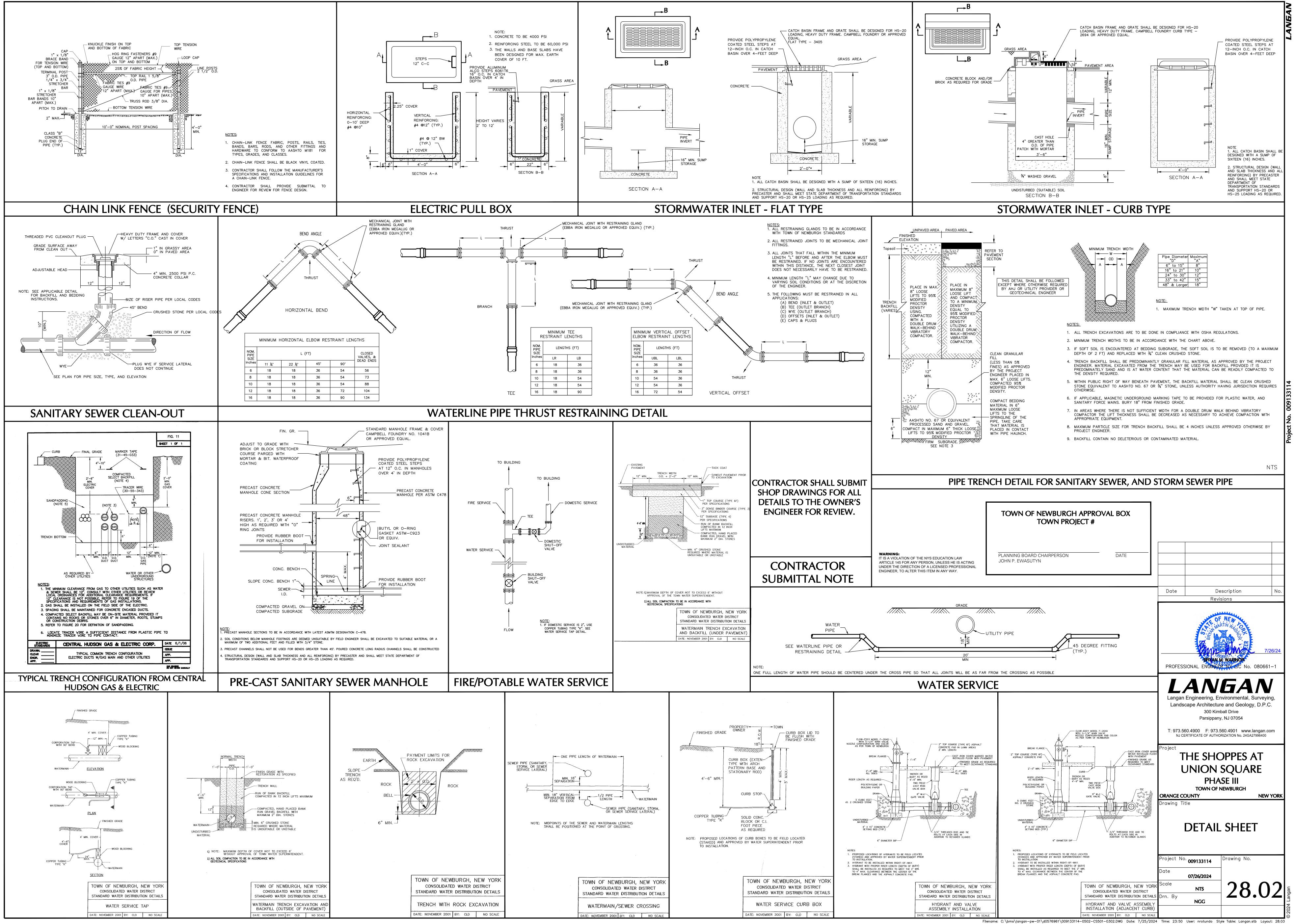
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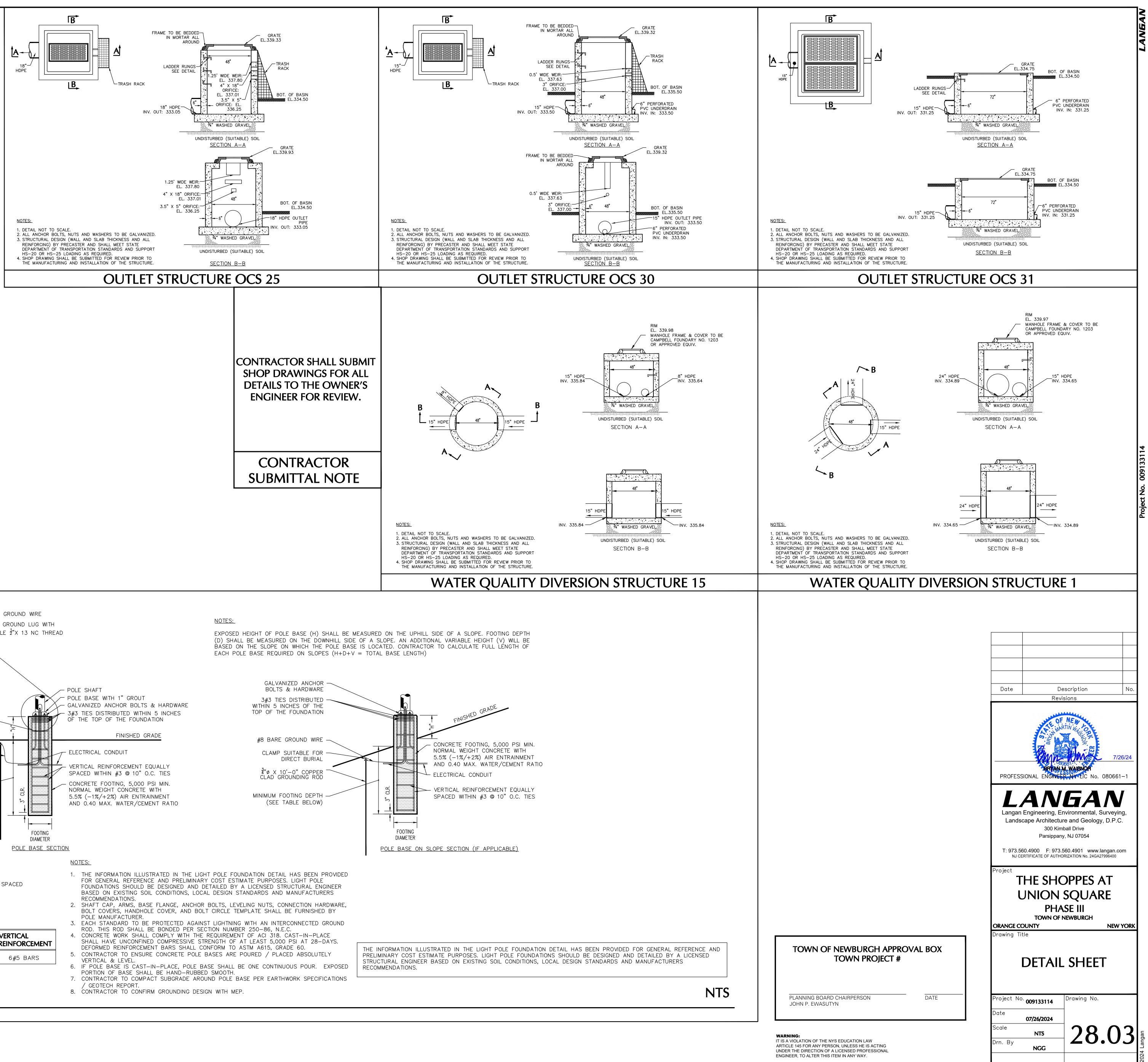
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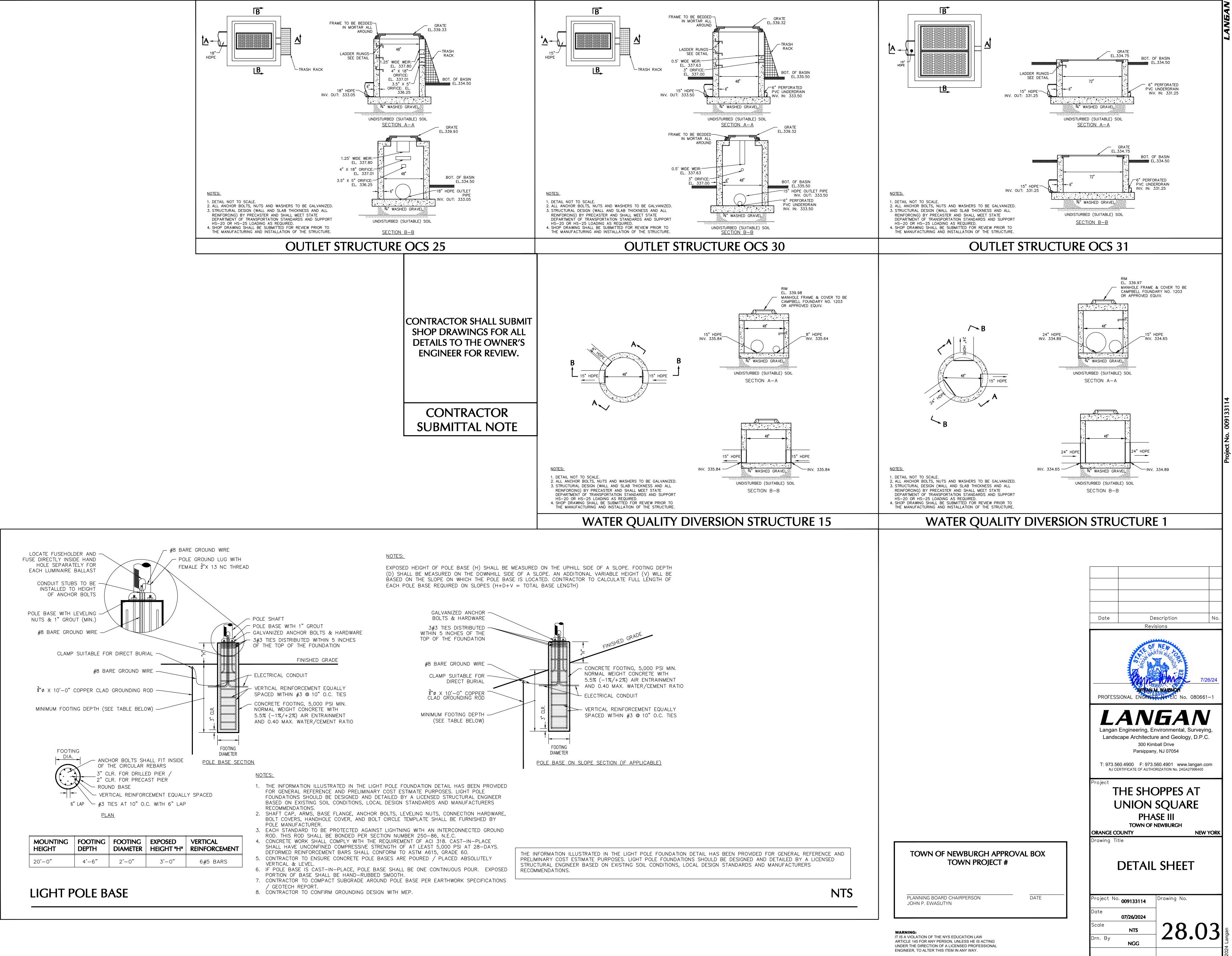
NEW YORK



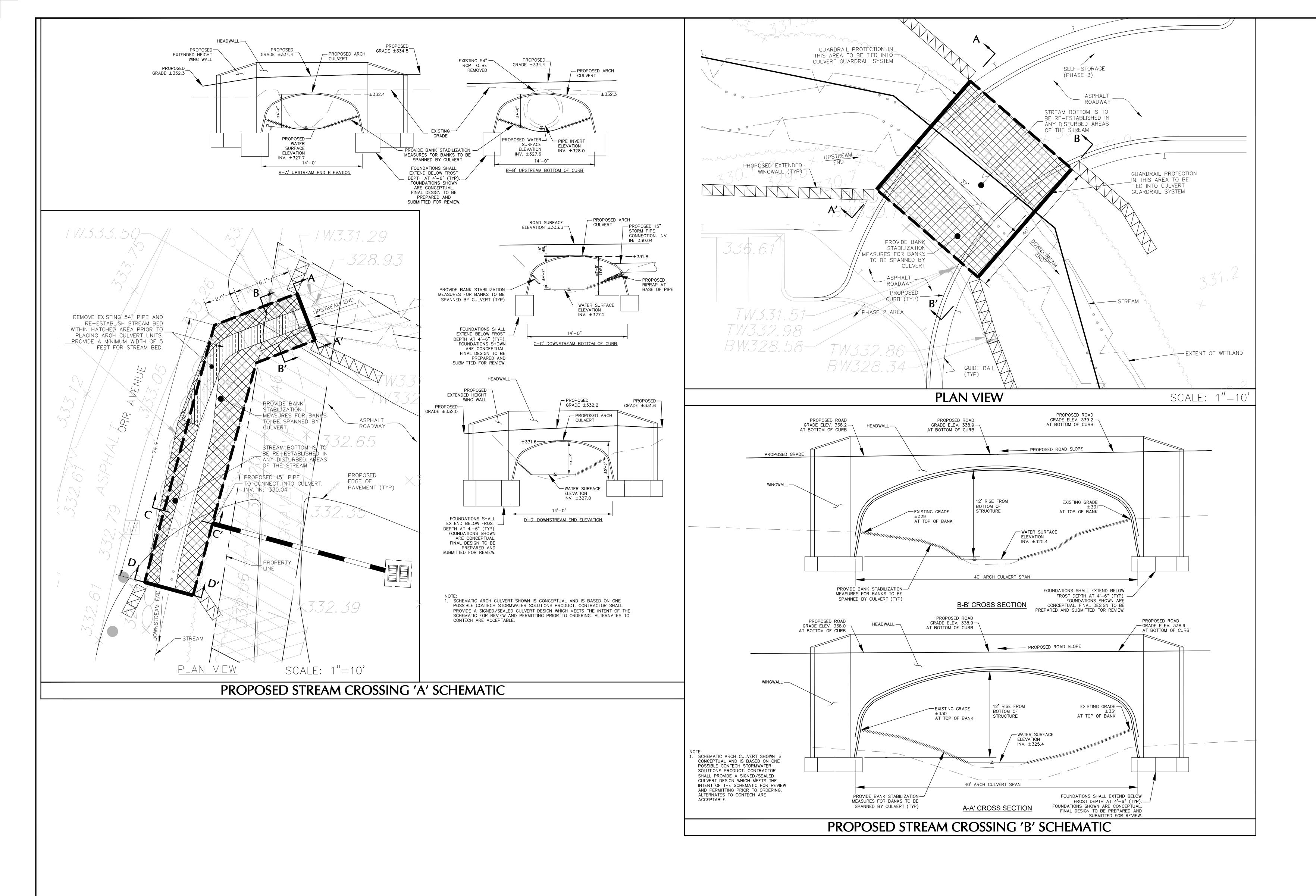








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ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

PLANNING BOARD CHAIRPERSON

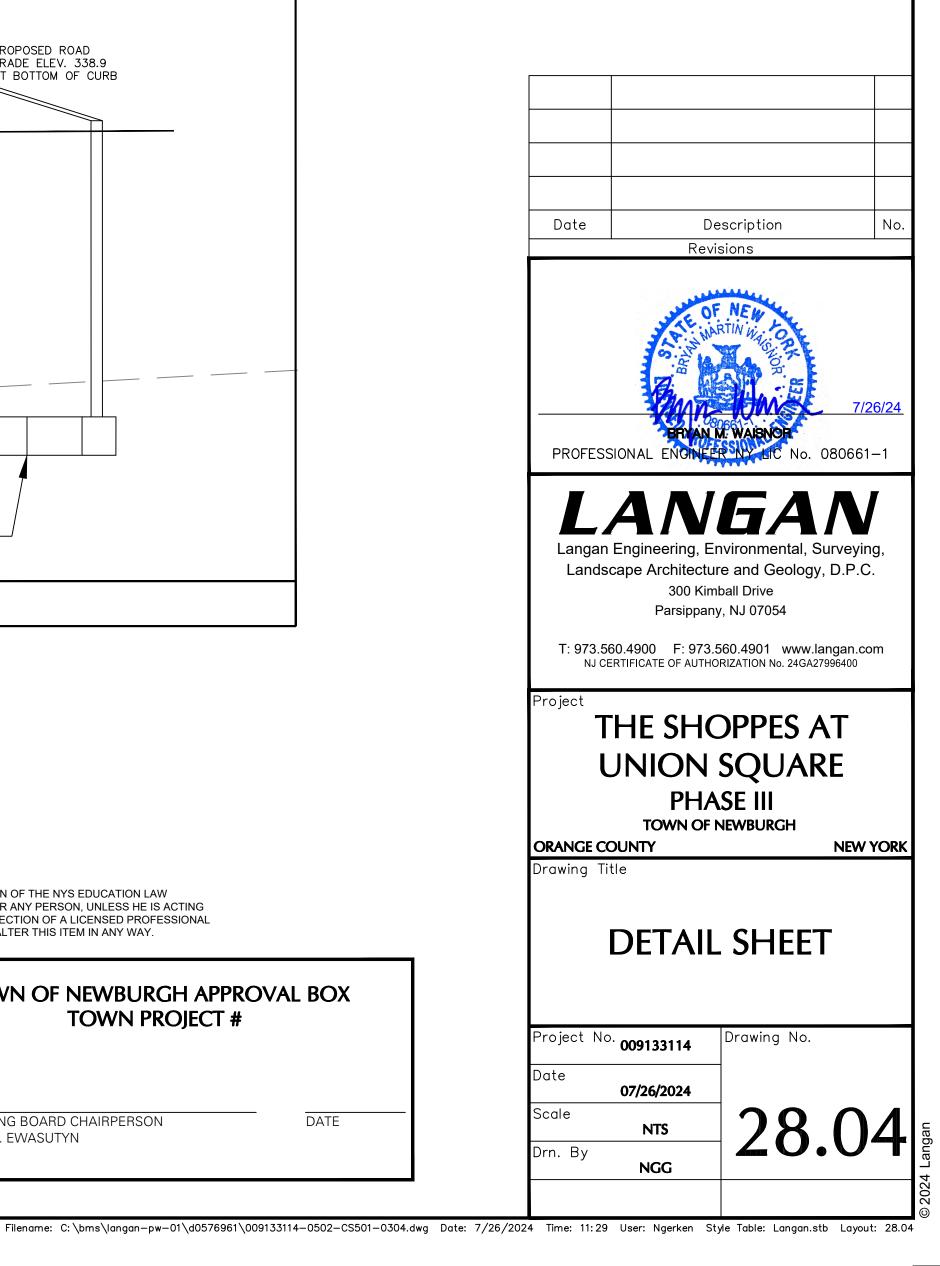
JOHN P. EWASUTYN

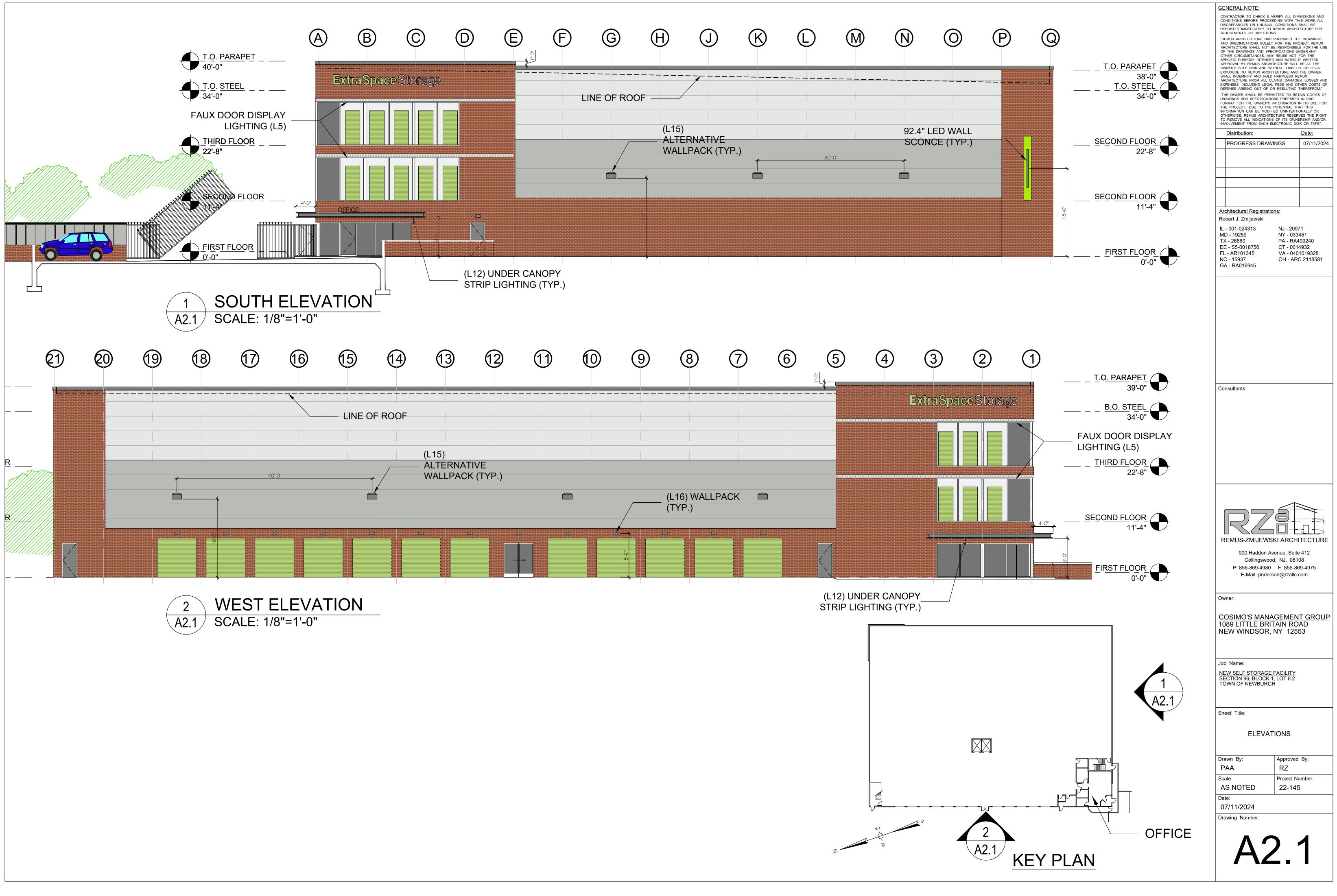
IT IS A VIOLATION OF THE NYS EDUCATION LAW

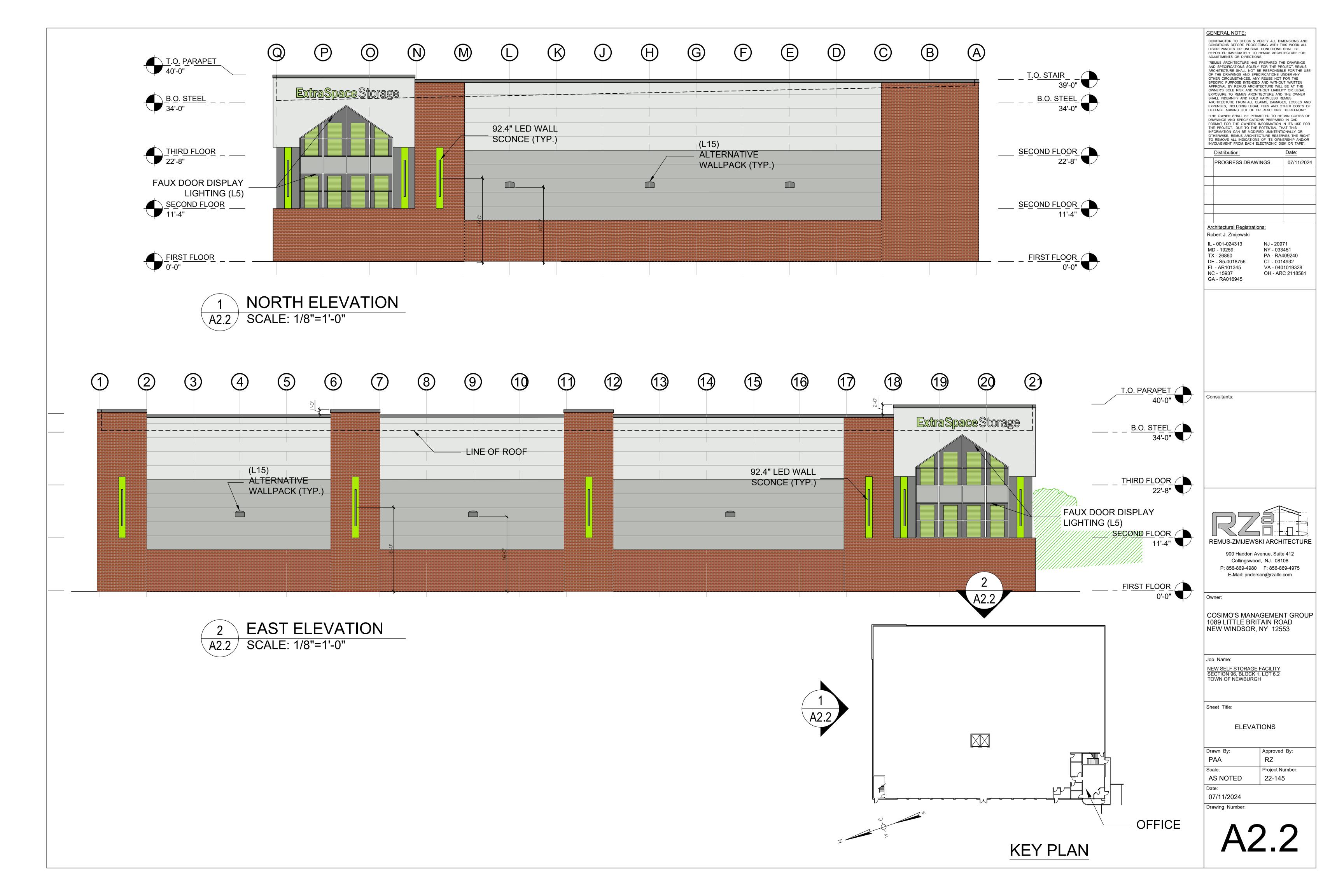
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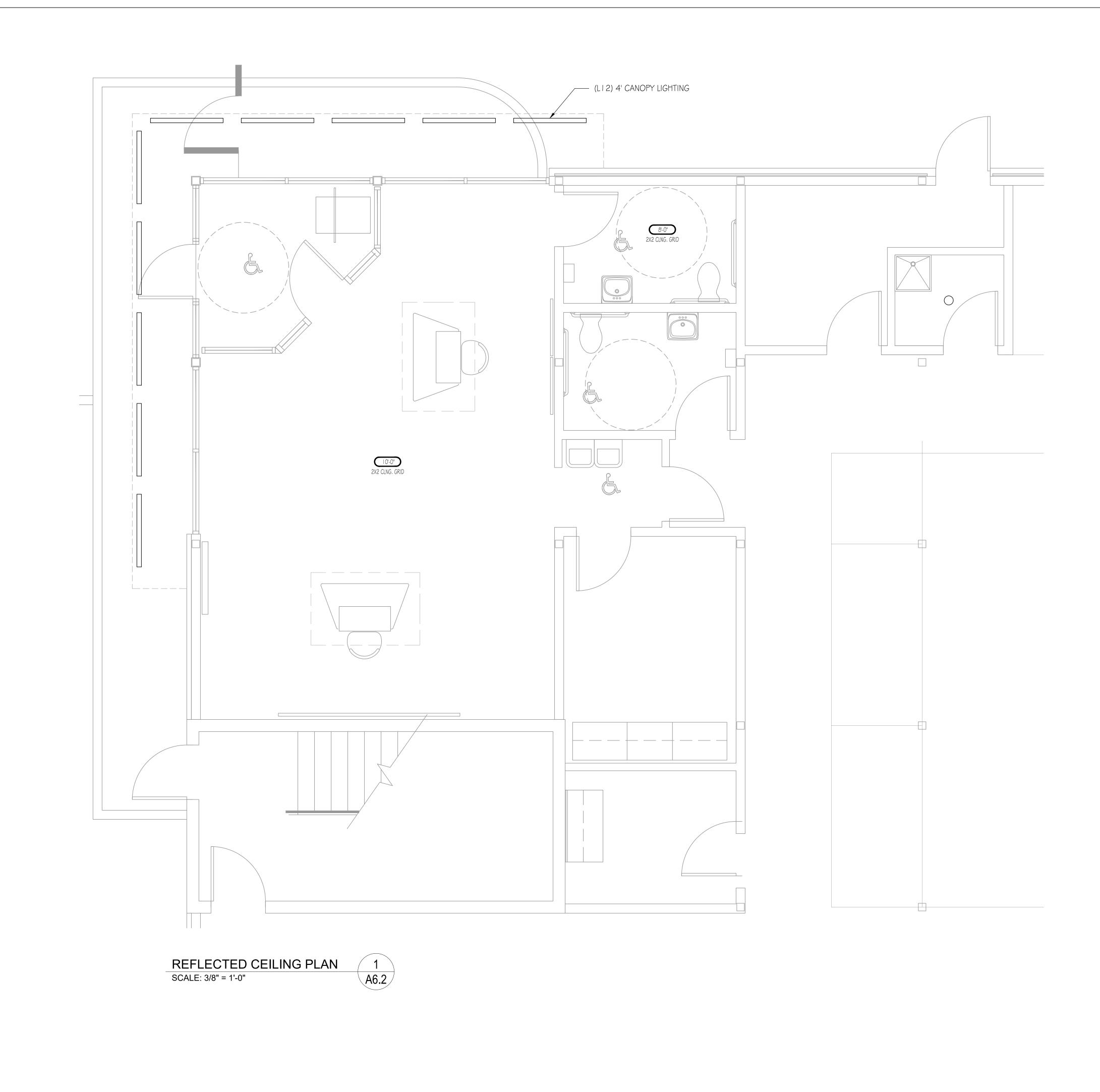
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 (([F	GENERAL NOTE: CONTRACTOR TO CHECK & VERIFY ALL DIM CONDITIONS BEFORE PROCEEDING WITH TI DISCREPANCIES OR UNUSUAL CONDITIONS REPORTED IMMEDIATELY TO REMUS ARCHI ADJUSTMENTS OR DIRECTIONS.	HIS WORK. ALL SHALL BE
	REMUS ARCHITECTURE HAS PREPARED TH AND SPECIFICATIONS SOLELY FOR THE PR ARCHITECTURE SHALL NOT BE RESPONSIB OF THE DRAWINGS AND SPECIFICATIONS L OTHER CIRCUMSTANCES, ANY REUSE NOT SPECIFIC PURPOSE INTENDED AND WITHOU	OJECT. REMUS LE FOR THE USE INDER ANY FOR THE
E S E	APPROVAL BY REMUS ARCHITECTURE WILL OWNER'S SOLE RISK AND WITHOUT LIABILI EXPOSURE TO REMUS ARCHITECTURE AND SHALL INDEMNIFY AND HOLD HARMLESS R ARCHITECTURE FROM ALL CLAIMS, DAMAG EXPENSES, INCLUDING LEGAL FEES AND O DEFENSE ARISING OUT OF OR RESULTING	TY OR LEGAL THE OWNER EMUS ES, LOSSES AND THER COSTS OF
[-	"THE OWNER SHALL BE PERMITTED TO RE DRAWINGS AND SPECIFICATIONS PREPAREL FORMAT FOR THE OWNER'S INFORMATION THE PROJECT. DUE TO THE POTENTIAL TH INFORMATION CAN BE MODIFIED UNINTENT OTHERWISE. REMUS ARCHITECTURE RESEF	TAIN COPIES OF D IN CAD IN ITS USE FOR IAT THIS IONALLY OR
-	TO REMOVE ALL INDICATIONS OF ITS OWN INVOLVEMENT FROM EACH ELECTRONIC DI Distribution:	ership and/or sk or tape". Date:
_	PROGRESS DRAWINGS	04/29/2024
	Architectural Registrations: Robert J. Zmijewski	
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F	FL - AR101345 VA - 040	4932 01019328 C 2118581
С	Consultants:	
	REMUS-ZMIJEWSKI ARCH	
	900 Haddon Avenue, Suit Collingswood, NJ. 081	e 412
	P: 856-869-4980 F: 856-8 E-Mail: pnderson@rzallc.	
1	COSIMO'S MANAGEMEN 1089 LITTLE BRITAIN RC NEW WINDSOR, NY 125	AD
	ob Name:	
N S	NEW SELF STORAGE FACILITY SECTION 96, BLOCK 1, LOT 6.2 TOWN OF NEWBURGH	
	Sheet Title:	
		PLAN
	Drawn By: Approved	I By:
S	PAA RZ Scale: Project N	umber:
D	AS NOTED 22-145 Date: 04/29/2024	D
	Drawing Number:	
	A6.	2

