



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: NEWBURGH SELF STORAGE-1420 ROUTE 300
PROJECT NO.: 24-6
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 22.222/1420 Route 300
REVIEW DATE: 26 JULY 2024
MEETING DATE: 1 AUGUST 2024
PROJECT REPRESENTATIVE: COLLIERS ENGINEERING/JUSTIN DATES, RLA

1. The project received required zoning variances from the Zoning Board of Appeals.
2. Notice of Intent for Lead Agency was circulated on 1 July 2024. If no objections were received the lead agency will be timed out as of the August meeting.
3. The project is subject to ARB review and approval by the Planning Board.
4. The 239 was submitted to Orange County Planning on 28 June 2024.
5. The Stormwater Facilities Maintenance Agreement is required.
6. Coverage under the NYSDEC Construction Stormwater Permit is required. Coverage should be obtained prior to stamping of the plans.
7. Orange County Health Department approval for water main extension with hydrants is required.
8. Final comments from the Jurisdictional Fire Department should received.
9. Security and inspection fees for stormwater management and landscaping are required.
10. The Planning Board should discuss timing for a Public Hearing.
11. This office would recommend a Negative Declaration for the redevelopment of the site.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/kmm

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

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July 18, 2024

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Newburgh Self-Storage - 1420 Route 300

PB #24-06

Tax Lot: 60-3-22.222

Colliers Engineering & Design Project No. 24000891A

Dear Chairman Ewasutyn,

Below please find our responses to comments received from MHE Engineering dated June 14, 2024. The comments have been repeated here for clarity:

MHE Engineering:

Comment 1: The project received a variance from the Zoning Board of Appeals regarding maximum building height for a storage facility.

Response 1: Comment noted. No further response is required.

Comment 2: The Planning Board should declare its intent for Lead Agency and circulate to all involved and interested agencies. NYSDOT will be an involved agency as the project accesses two state highways, NYS Route 300 and NYS Route 52.

Response 2: The Board declared intent to be SEQRA Lead Agency at the 6/20/24 meeting.

Comment 3: Comments from the Jurisdictional Fire Department should be received.

Response 3: Within our 6/6/24 submission to the Board we responded to a 6/5/24 email from James Campbell, Code Compliance, which identified comments from the Chief of the Orange Lake Fire District. A follow-up response from the Fire District is pending.

Comment 4: Impervious surfaces on the site have been reduced by 1.26 acres.

Response 4: Comment noted. This is the correct area of impervious reduction.

Comment 5: The layout of the conventional self-storage buildings has been modified to move the structures away from the bulk setback areas.

Response 5: Comment noted. No further response is required.

Comment 6: The northerly most structure on the site, a 6,600 square foot storage building continues to be located 1 foot off the side yard setback. Note requiring stakeout of that structure in the field prior to construction should be placed on the plans.

Response 6: As requested, the above note requiring stakeout has been added to the bulk table on the Overall Dimension Plan on Sheet C-3.0.

Comment 7: The project is subject to architectural review by the Planning Board. Future architectural submissions are identified as to provided.

Response 7: Attached with this submission, please find rendered, Architectural Elevations for the project & an updated Architectural Review Form. The applicant will present these items to the Board at the next meeting.

Comment 8: All sections of 185-35 Self Storage Centers A thru G should be specifically addressed.

Response 8: As requested, a table identifying the Self-Storage Center requirements from §185-35 has been added to the Overall Dimension Plan on Sheet C-3.0.

Comment 9: Dimensions between buildings should be labeled to assure 25 foot separation between buildings exists.

Response 9: Additional dimensions between buildings have been added to the Dimension Plans to confirm compliance with the 25-foot minimum separation, see Sheets C-3.0 & C-3.1.

Comment 10: Dominic Cordisco's comments regarding the need to forward the project to County Planning as a Change of Use should be received.

Response 10: At the 6/20/24 meeting, the Planning Board Attorney confirmed the need to refer the project to OC Planning and the Board authorized the referral at the same meeting. A response is still pending as of the date of this letter.

Comment 11: The project has evaluated stormwater management in accordance with the NYSDEC requirements for re-development sites. The applicants have documented a reduction in impervious area exceeding the 25% threshold, eliminating the requirements for water quality and water quantity control. New Stormwater Management Facilities on the site connect to existing stormwater piping which conveys flow from the site. Security for the installation of the new stormwater conveyance system is required. A Stormwater Facilities Maintenance Agreement is required to assure operation and maintenance of the closed pipe drainage system proposed on the site.

Response 11: Comment noted. We request that this be a condition of approval for the project.

Comment 12: Information pertaining to the easement from NYS Route 52 has been provided for the Planning Board Attorney's review.

Response 12: The Planning Board Attorney reviewed the easement information provided within the prior submission of 6/6/24 and had no further comments.

Comment 13: The sprinkler/potable water line to the self-storage structure should be installed pursuant to Town of Newburgh requirements. A sprinkler/potable water detail has been provided. (See attached)

Response 13: The water service to the existing building has been modified per the above comment, refer to Sheet C-5.0.

Comment 14: The provision for additional hydrants on the site requires Health Department approval.

Response 14: Comment noted. The Applicant will seek DOH approval for the modifications to water service. We request that this be a condition of approval for the project.

If you have any questions regarding the above, please do not hesitate to contact me at 845.564.4495. We look forward to discussing the project with the Board at the next meeting.

Sincerely,

Colliers Engineering & Design, Architecture, Landscape Architecture, Surveying, CT P.C.



Justin E. Dates, R.L.A.
Geographic Discipline Leader

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 7/18/2024

NAME OF PROJECT: Newburgh Self-Storage (PB#24-6)

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Metal siding, cementitious siding, masonry wainscot & CMU (existing building)

COLOR OF THE EXTERIOR OF BUILDING:

Gray, beige, and light blue

ACCENT TRIM:

Location:	<u>Coping / Cornice on storage bldgs.</u>	<u>Trim on office bldg.</u>
Color:	<u>Beige</u>	<u>Cream</u>
Type (material):	<u>Metal</u>	<u>Cementitious</u>

PARAPET (all roof top mechanicals are to be screened on all four sides):

None. Existing roof top units on the existing building.

ROOF:

Type (gabled, flat, etc.): Existing: Flat / New: Sloped

Material (shingles, metal, tar & sand, etc.): Metal

Color: Galvalume

WINDOWS/SHUTTERS:

Color (also trim if different): No shutters / Burgundy frame & Cream Trim (office bldg.)

Type: Vinyl, fixed windows; Low-E

DOORS:

Color: Burgundy (on office bldg. & storage bldgs.)

Type (if different than standard door entrée): Overhead, coiling

SIGN:

Color: TBD

Material: Acrylic

Square footage of signage of site: TBD

Justin E. Dates, RLA; Colliers Engineering & Design
Geographic Discipline Leader

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Signature



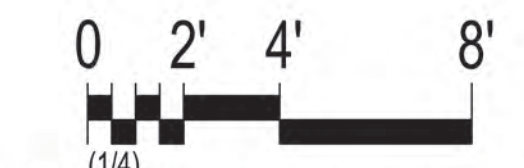
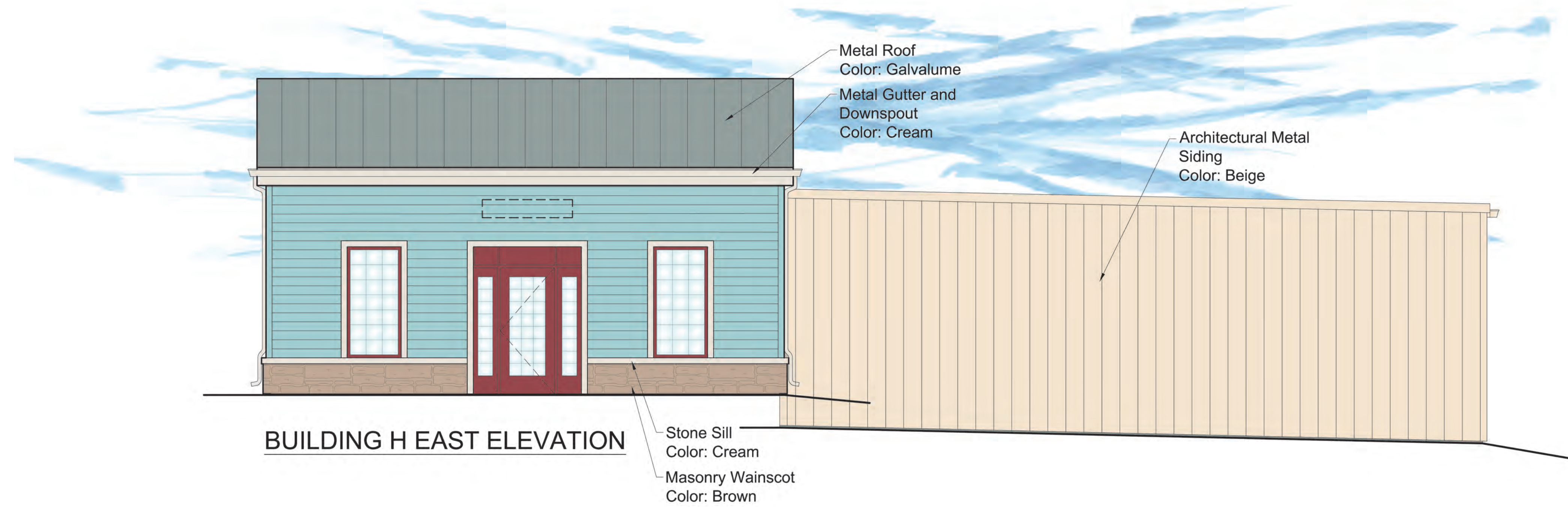
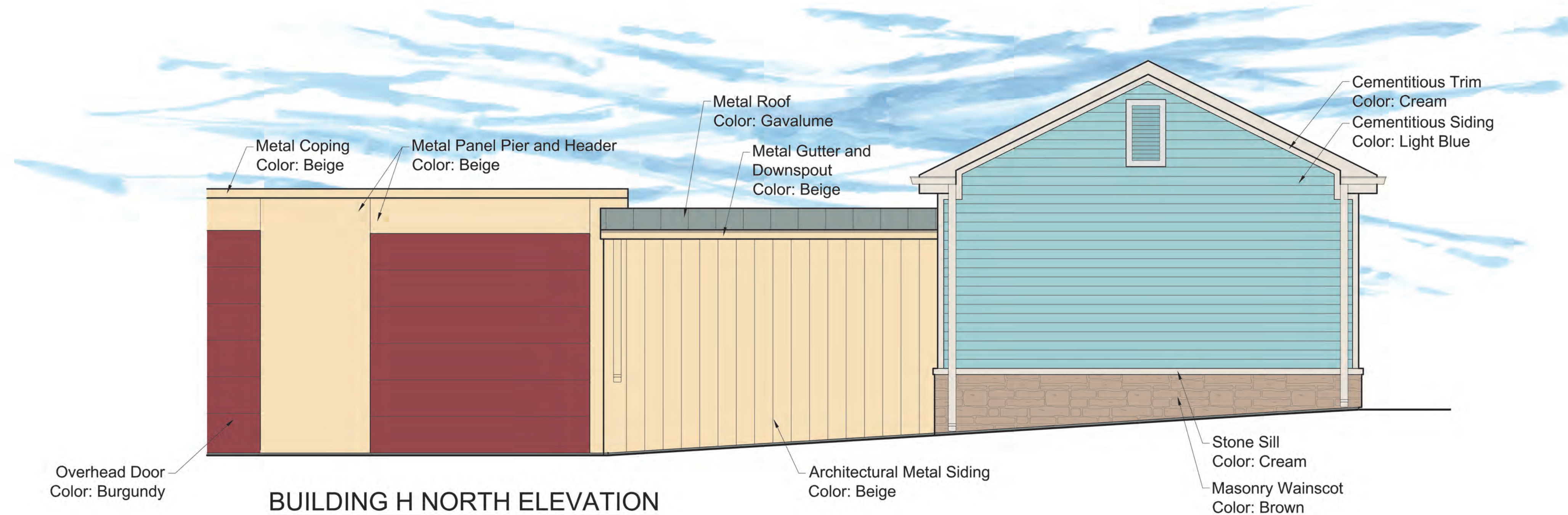
BUILDING ELEVATIONS

SELF-STORAGE FACILITY

1420 NY-300

NEWBURGH, NY

JULY 16, 2024



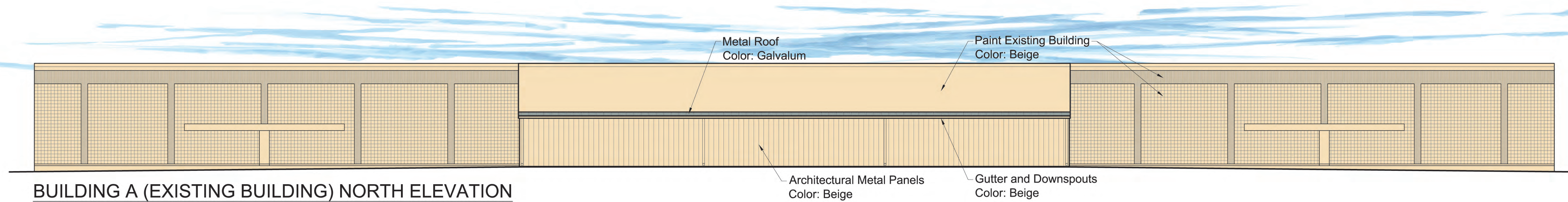
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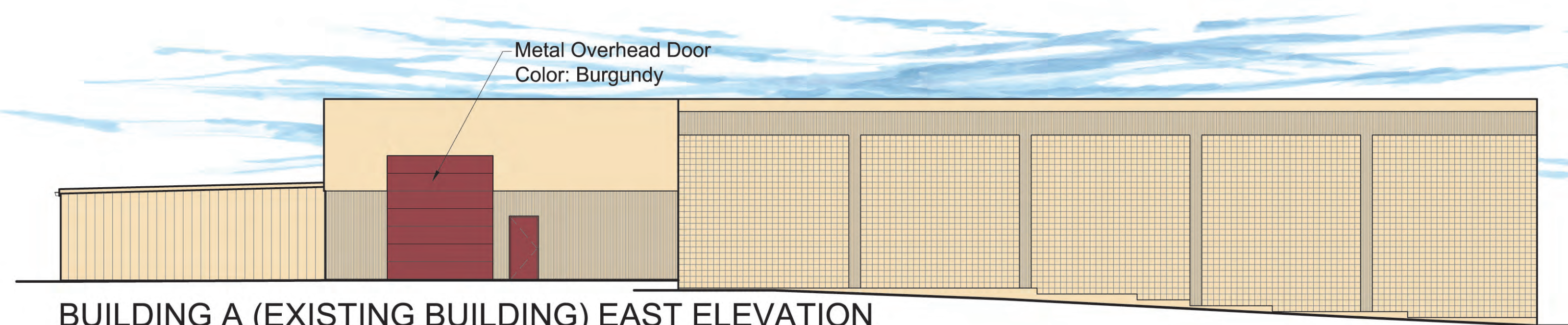
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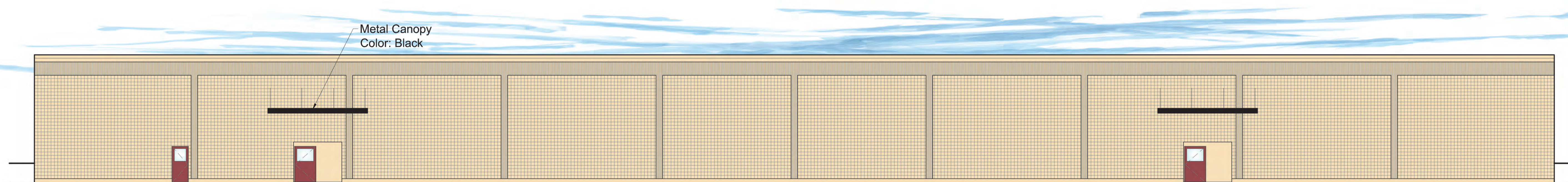
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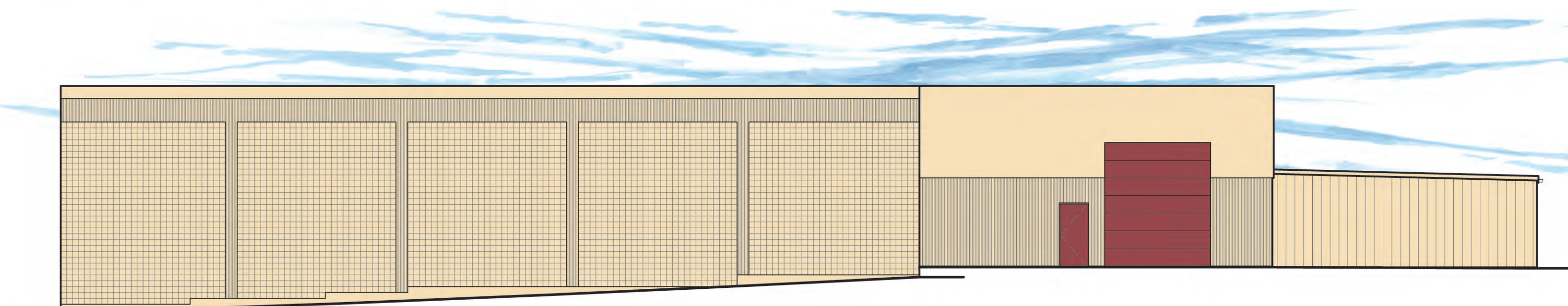
BUILDING A (EXISTING BUILDING) NORTH ELEVATION



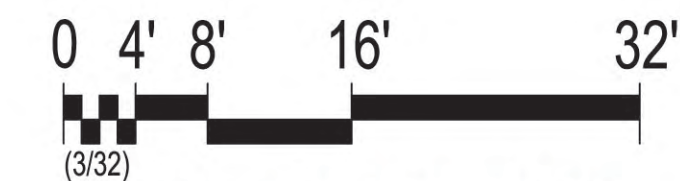
BUILDING A (EXISTING BUILDING) EAST ELEVATION



BUILDING A (EXISTING BUILDING) SOUTH ELEVATION



BUILDING A (EXISTING BUILDING) WEST ELEVATION



BUILDING ELEVATIONS

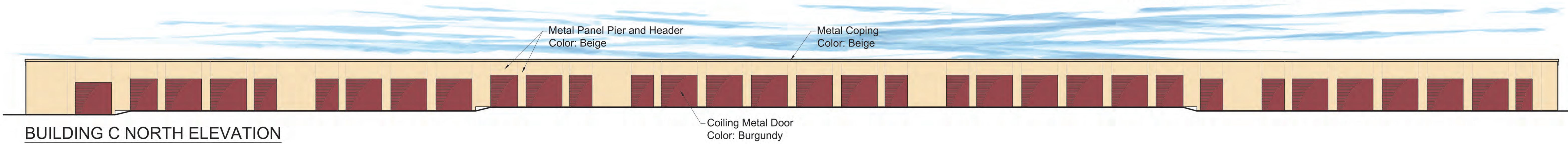
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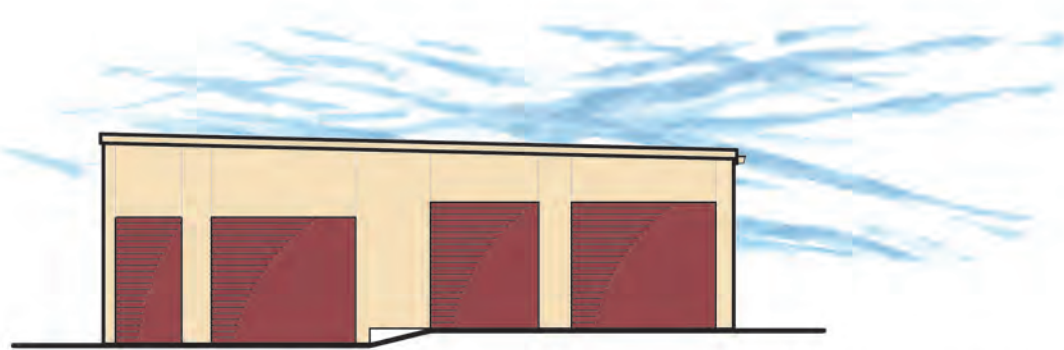
NEWBURGH, NY

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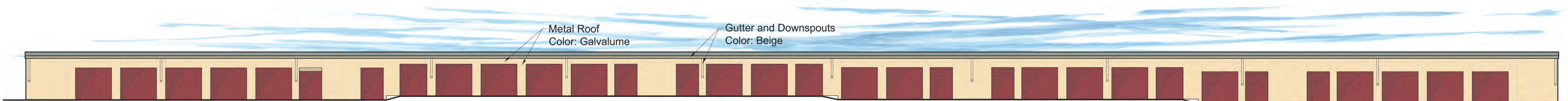
Finishes and colors are typical for Buildings B, C, D, E, F, and G.



BUILDING C NORTH ELEVATION



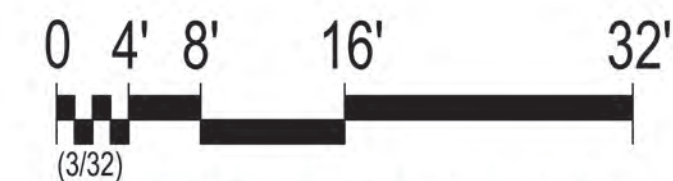
BUILDING C EAST ELEVATION



BUILDING C SOUTH ELEVATION



BUILDING C WEST ELEVATION



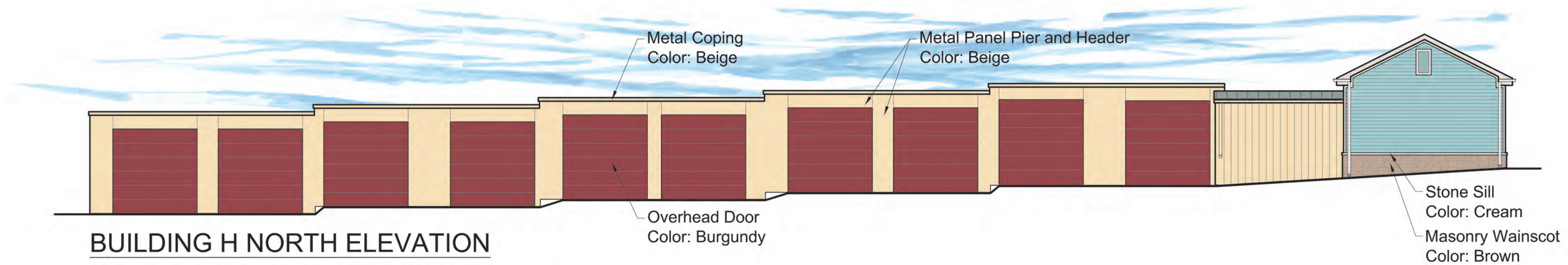
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SELF-STORAGE FACILITY

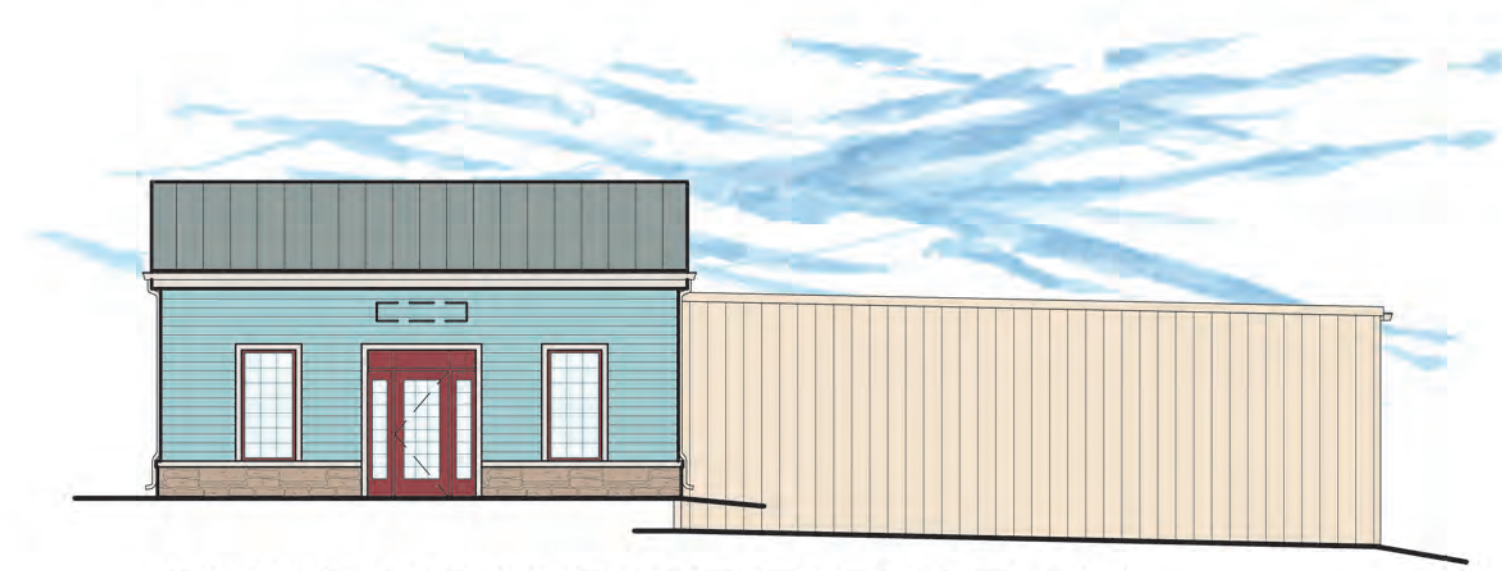
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NEWBURGH, NY

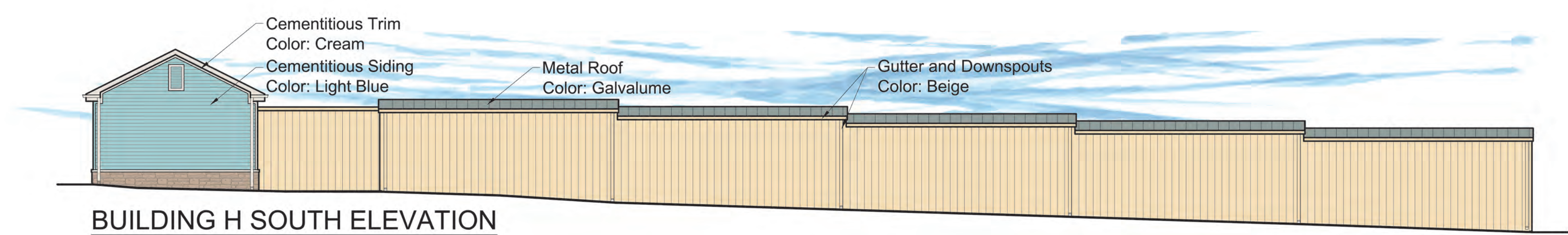
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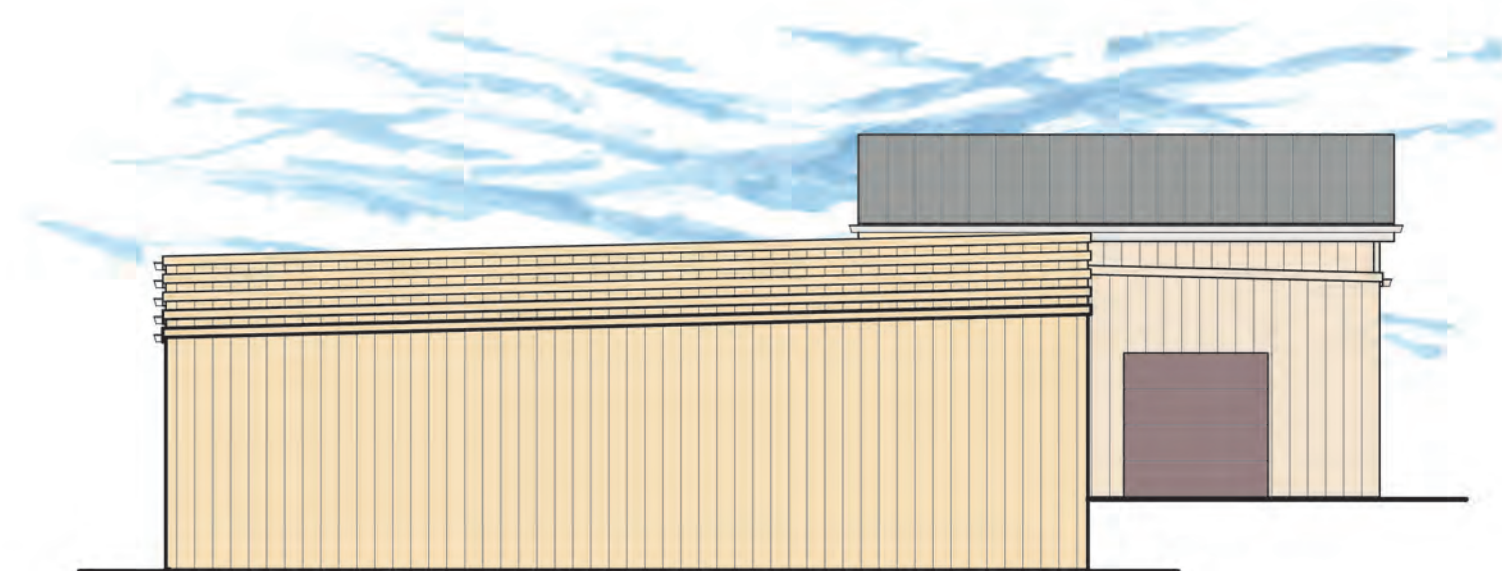
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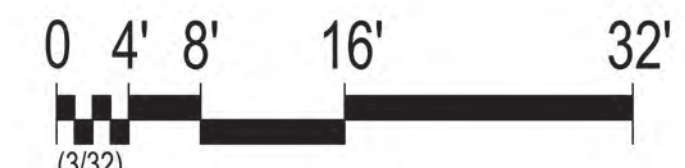
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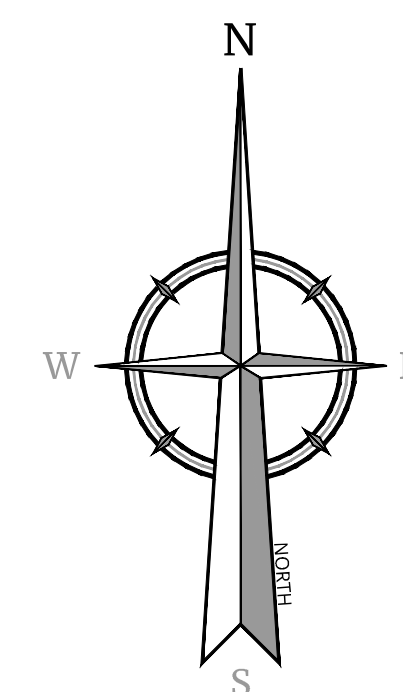
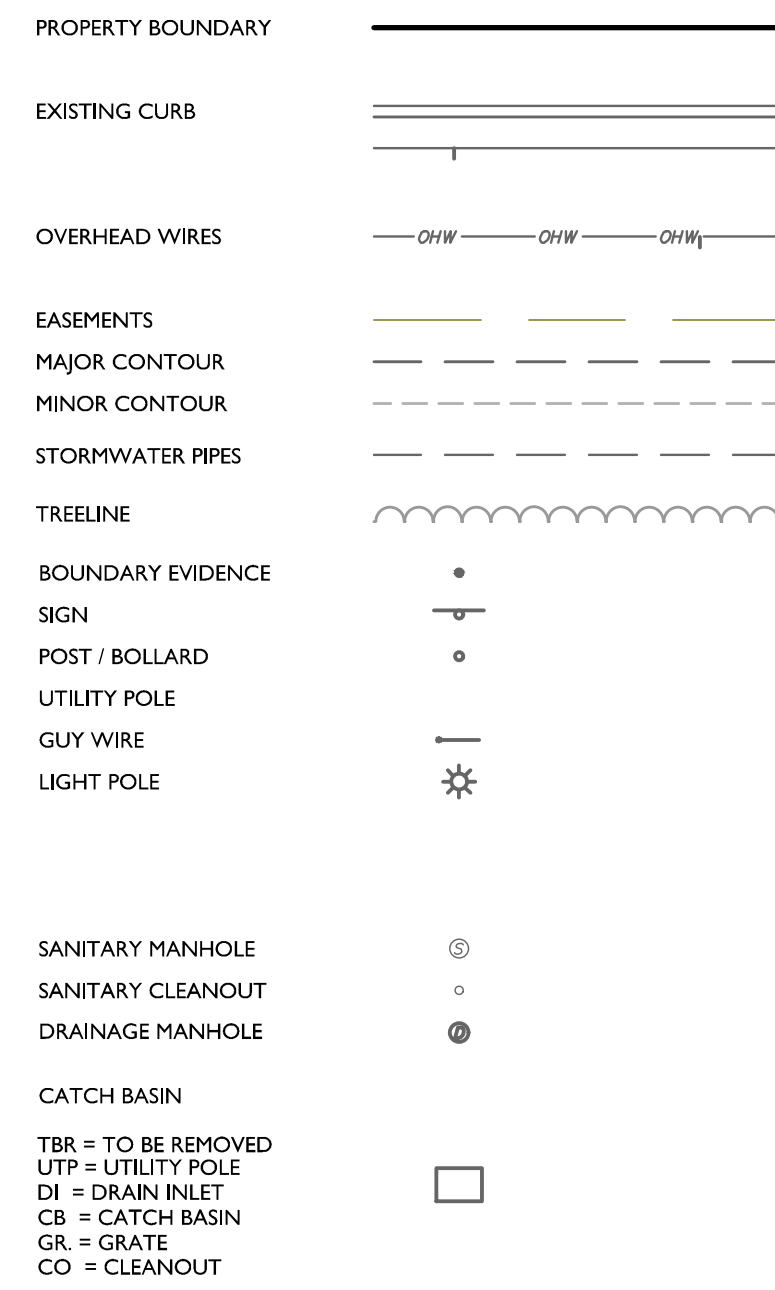
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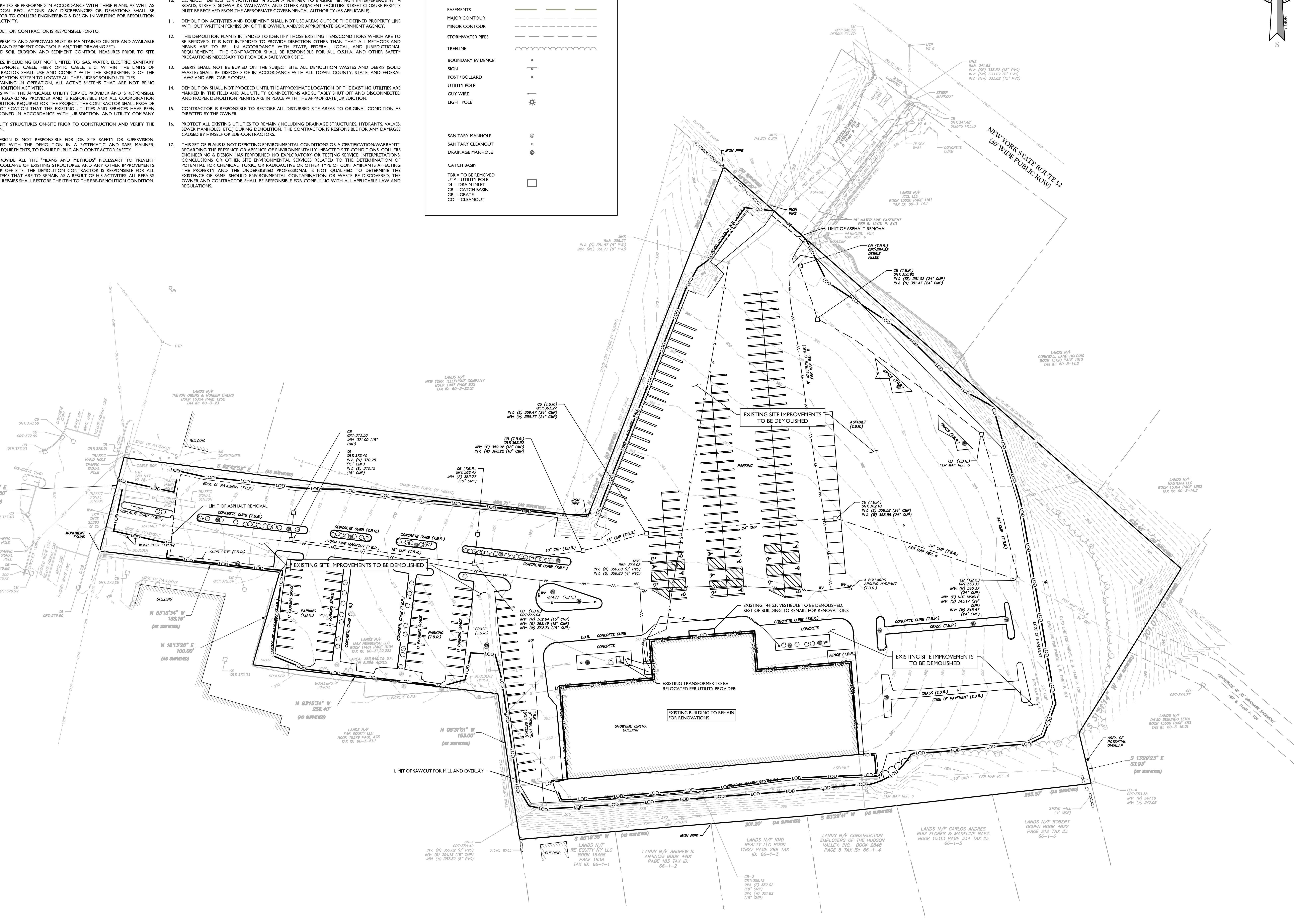
DEMOLITION NOTES:

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. DIG SAFELY, NEW YORK, L-800-662-7962 OR 811. A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO COLLIER'S ENGINEERING & DESIGN IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
 - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL PLAN," THIS DRAWING SET).
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEPOSITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - CLEAN THE EXISTING UTILITY STRUCTURES ON-SITE PRIOR TO CONSTRUCTION AND VERIFY THE INVERTS FOR CONNECTION.
- COLLIERS ENGINEERING & DESIGN IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- ROCK EXCAVATIONS (AS APPLICABLE) WILL BE PERFORMED BY MECHANICAL MEANS ONLY. USE OF EXPLOSIVES IS PROHIBITED. ALL THE REQUIRED PERMITS AND CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY (AS APPLICABLE).
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- DEMOLITION SHALL NOT PROCEED UNTIL THE APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLY SHUT OFF AND DISCONNECTED, AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE APPROPRIATE JURISDICTION.
- CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED SITE AREAS TO ORIGINAL CONDITION AS DIRECTED BY THE OWNER.
- PROTECT ALL EXISTING UTILITIES TO REMAIN (INCLUDING DRAINAGE STRUCTURES, HYDRANTS, VALVES, SEWER MANHOLES, ETC.) DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.
- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. COLLIER'S ENGINEERING & DESIGN HAS PERFORMED AN EXPLORATORY OR TESTING SERVICE. INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF POTENTIAL FOR CHEMICAL, TOXIC, OR RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAW AND REGULATIONS.

DRAWING LEGEND



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Engineering & Design
www.colliersengineering.com
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Doing Business as **MASER**
811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATION. DISREGARDING ANY PREVIOUS PREPARING TO DIGGING THE EARTH'S SURFACE MAY BE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM



REV	DATE	DRAWN BY	DESCRIPTION
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Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

SITE PLAN
FOR
BUDGET STORE & LOCK SELF STORAGE

SECTION 60
BLOCK 3
LOT 22.222

TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

Colliers
Engineering & Design
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New Windsor, NY 12553
Phone: 945.564.4495
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SCALE: 1" = 40'
Linear unit of measure: US Survey Feet (1 ft = 1200/997 mm)

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

SELF-STORAGE CENTER REQUIREMENTS (PER §185-35)			
SUBSECTION	EXISTING	PROVIDED	REMARKS
A	PERMITTED ACTIVITIES ONLY DEAD STORAGE ACTIVITIES SHALL BE PERMITTED. FOR THE PURPOSES OF THIS SECTION, "DEAD STORAGE" SHALL MEAN THE KEEPING OF GOODS NOT IN USE AND NOT ASSOCIATED WITH ANY OFFICE, RETAIL, OR OTHER BUSINESS ACTIVITY CONDUCTED ON THE PREMISES. CONDUCTING AN OFFICE, RETAIL, OR OTHER BUSINESS USE OR SALES FROM A STORAGE UNIT SHALL BE PROHIBITED. ONE OFFICE FACILITY AND ONE ACCESSORY DWELLING UNIT FOR A RESIDENT MANAGER SHALL BE PERMITTED WITHIN THE SITE IN APPROPRIATELY DESIGNED STRUCTURES. IF INCLUDED, ANY DWELLING UNIT MUST BE AN INTEGRAL PART OF A PRINCIPAL BUILDING AND SHALL NOT BE A MOBILE HOME OR OTHER FREESTANDING STRUCTURE.	SHALL COMPLY	OK
B	INSIDE STORAGE REQUIRED. OUTSIDE STORAGE SHALL BE PROHIBITED EXCEPT FOR BOATS AND CAMPER, WHICH MAY BE STORED IN A SPECIAL PARKING AREA NOT IN A REQUIRED FRONT YARD. STORAGE OF ALL OTHER PROPERTY SHALL BE INSIDE A BUILDING. VEHICLE PARKING SHALL BE PROVIDED FOR TENANTS AND EMPLOYEES ONLY WHILE THEY ARE ON THE PREMISES. EXCEPT FOR STORAGE OF BOATS AND CAMPER, MOTOR VEHICLES SHALL NOT BE PARKED OVERNIGHT OR OTHERWISE STORED OUTDOORS ON THE SITE.	SHALL COMPLY	OK
C	BUILDING LOCATIONS AND MATERIALS. WHEREVER POSSIBLE, ANY NEW BUILDINGS SHALL BE LOCATED SO THAT THEIR LONG DIMENSION IS PERPENDICULAR TO THE FRONTING STREET. BUILDING FACADES FACING THE FRONTING STREET SHALL BE OF MASONRY CONSTRUCTION. MINIMUM DISTANCE BETWEEN BUILDINGS SHALL BE 25 FEET.	BUILDING LOCATIONS ≥ 25 FT. BUILDING SEPARATION PROVIDED	OK
D	DRIVES. MINIMUM WIDTH OF DRIVES SHALL BE 20 FEET. DRIVES SHALL BE SET BACK FROM THE ENDS OF BUILDINGS BY A MINIMUM OF FIVE FEET. DRIVES SHALL BE SURFACED WITH ASPHALT OR OIL AND CHIP. TRAFFIC DIRECTION AND PARKING SHALL BE INDICATED BY SIGNS, EITHER FREESTANDING OR PAINTED ON THE PAVEMENT.	2 25 FEET (DRIVE WIDTH) 5 FEET (DRIVE SETBACK)	OK
E	HAZARDOUS MATERIALS PROHIBITED. STORAGE OF GASOLINE OR OTHER VOLATILE PETROLEUM PRODUCTS, RADIOACTIVE MATERIALS, EXPLOSIVES AND FLAMMABLE OR HAZARDOUS CHEMICALS SHALL BE PROHIBITED, AND THE OPERATOR OF THE SELF-STORAGE CENTER SHALL INCLUDE A PROVISION TO THAT EFFECT IN ANY LEASE USED TO RENT THE STORAGE UNITS.	SHALL COMPLY	OK
F	LANDSCAPING AND SECURITY. PLANTINGS SHALL BE PROVIDED IN ALL YARDS FACING PUBLIC ROADWAYS. THESE AND OTHER PLANTINGS SHALL BOTH SCREEN AND VISUALLY INTERRUPT THE LINEAR EXTENT OF THE BUILDINGS SO AS TO REDUCE THE APPEARANCE OF MASSIVE STRUCTURES. WHEN UTILIZED, AN EFFECTIVE LIVING SCREEN OF EVERGREEN TYPE SHALL CONSIST OF NURSERY STOCK A MINIMUM OF EIGHT FEET IN HEIGHT AT THE TIME OF INSTALLATION. THE ENTIRE SITE SHALL BE FENCED TO PREVENT VANDALISM OR CRIMINAL ACTIVITY. ANY FENCING FOR SECURITY OR AESTHETIC PURPOSES SHALL BE APPROVED BY THE PLANNING BOARD AS TO MATERIAL, HEIGHT AND COLOR. SITE LIGHTING SHALL BE PROVIDED AND SHALL BE DIRECTED OR SHIELDED TO PREVENT GLARE ON ADJACENT PROPERTIES OR ROADWAYS. ALL SCREENING SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS CONTAINED IN §185-21.	COMPLIES (REFER TO SHEET C-7.0)	OK
G	DRAINAGE. ALL AREAS BETWEEN BUILDINGS SHALL BE DRAINED BY STORM SEWERS. ANY SUCH STORM SEWER DISCHARGING TO A SURFACE SWALE OR DRAINAGEWAY SHALL DISCHARGE INTO A DETENTION BASIN WITH A MINIMUM STORAGE CAPACITY OF 14 ACRE FEET PER ACRE OF IMPERVIOUS SITE COVER.	COMPLIES (NOTE: PROJECT SITE COMPLIES WITH NYSDEC REDEVELOPMENT REQUIREMENTS. NO WATER QUALITY OR QUANTITY CONTROL REQUIRED)	OK

BULK TABLE:
ZONING DISTRICT: B (INTERCHANGE BUSINESS)
USE SUBJECT TO SITE PLAN REVIEW BY PLANNING BOARD: SELF-STORAGE CENTERS

TABLE OF BULK REQUIREMENTS			
MINIMUM	REQUIRED	PROPOSED	REMARKS
LOT AREA	3.0 ACRES	8.35 ACRES	OK
LOT WIDTH	100 FEET	100.3 FEET	OK
LOT DEPTH	125 FEET	1,032 FEET	OK
FRONT YARD	80 FEET	217.2 FEET	OK
REAR YARD	40 FEET	50.5 FEET	OK
1 SIDE YARD	30 FEET	31.0 FEET (1)	OK
BOTH SIDE YARDS	40 FEET	74.0 FEET	OK
DISTANCE BETWEEN BUILDINGS (1)	25 FEET	25 FEET	OK
DRIVE WIDTH (2)	20 FEET	25 FEET	OK
MAXIMUM			
LOT BUILDING COVERAGE	30%	36.5%	OK
LOT SURFACE COVERAGE	60%	59.6% (EXISTING = 68.0%)	OK
BUILDING HEIGHT			
STORAGE BUILDINGS	15 FEET	15 FEET (PROPOSED STRUCTURES)	VARIANCE GRANTED (1)
OFFICE	40 FEET	18 FEET (PROPOSED STRUCTURE)	OK

1. STAKEOUT OF BUILDING (G) REQUIRED IN THE FIELD PRIOR TO CONSTRUCTION.
2. PER ZONING CODE 185-35, FOR SELF-STORAGE CENTERS.
3. VARIANCE WAS GRANTED AT ZONING BOARD OF APPEALS MEETING ON MAY 23, 2024.

PARKING REQUIREMENTS:

OFFICE (774 S.F.)
1 SPACE PER 200 S.F. OF FLOOR AREA
774 / 200 = 4 SPACES REQUIRED

TOTAL PARKING
TOTAL PARKING REQUIRED = 4 SPACES
TOTAL PARKING PROVIDED = 8 SPACES

SITE BUILDINGS:

EXISTING STRUCTURE (RENOVATED): 43,400 S.F. OF GFA
PROPOSED STORAGE BUILDINGS: 61,310 S.F. OF GFA
PROPOSED OFFICE BUILDING: 774 S.F. OF GFA

OWNER:

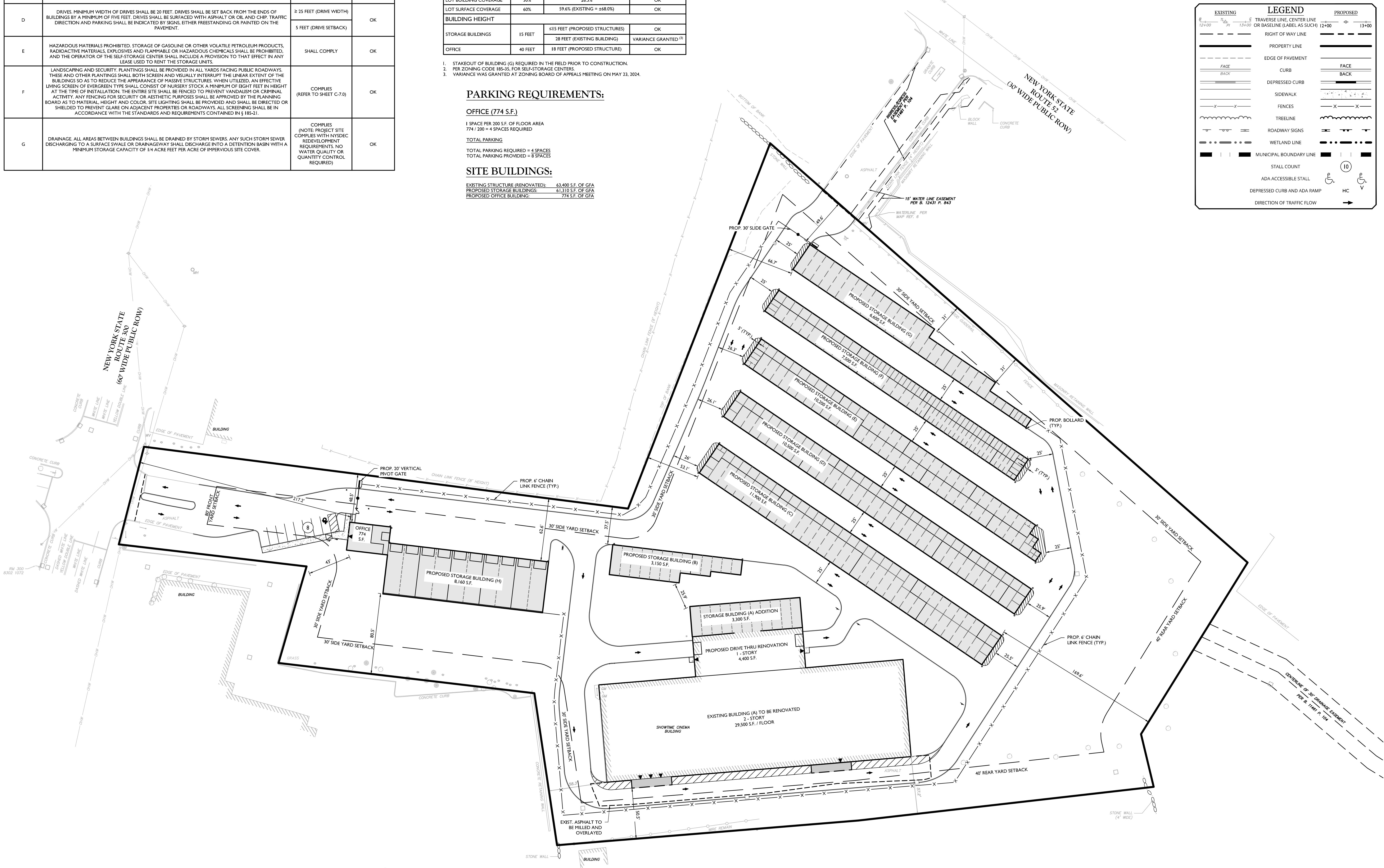
SAM NEWBURGH, LLC
157 DOVE HILL DRIVE
MANHASSET, NY 11030

APPLICANT:

MICHAEL MOYER
1090 MACARTHUR ROAD
WHITEHALL, PA 15852

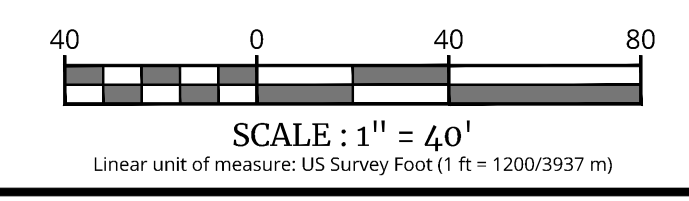
TAX LOT:

SBL: 60-3-22-222
48.35 ACRES



EXISTING		LEGEND		PROPOSED	
12+00	13+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00	13+00	
---	---	RIGHT OF WAY LINE	---	---	
---	---	PROPERTY LINE	---	---	
---	---	EDGE OF PAVEMENT	---	---	
---	---	CURB	---	---	
---	---	DEPRESSED CURB	---	---	
---	---	SIDEWALK	---	---	
---	---	FENCES	---	---	
---	---	TREELINE	---	---	
---	---	ROADWAY SIGN	---	---	
---	---	WETLAND LINE	---	---	
---	---	MUNICIPAL BOUNDARY LINE	---	---	
---	---	STALL COUNT	---	---	
---	---	ADA ACCESSIBLE STALL	---	---	
---	---	DEPRESSED CURB AND ADA RAMP	---	---	
---	---	DIRECTION OF TRAFFIC FLOW	---	---	

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REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	07/24/24	ISSUE FOR PERMITTING	KAS		

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	07/24/24	ISSUE FOR PERMITTING	KAS		

Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

SITE PLAN
FOR
BUDGET STORE & LOCK SELF STORAGE
SECTION 60
BLOCK 3
LOT 22.222
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

Colliers Engineering & Design
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING, P.E., CIVIL ENGINEERING, ASBESTOS CONSULTING, INTERIORS & DESIGN SERVICES

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	06/06/2024	KAS	CPM
PROJECT NUMBER:	DRAWING NAME:		
24000891A	C-LAY1		

SHEET TITLE:
OVERALL LAYOUT PLAN

SHEET NUMBER:
C-3.0

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

UTILITY NOTES

- 1. LOCATION OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER OF RECORD... 2. THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED... 3. THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES... 4. ALL NEW UTILITIES/SERVICES TO BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS... 5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON SITE WITHIN THE EXISTING PARKING LOT... 6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SEWER MANHOLE ON SITE... 7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET... 8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN... 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION... 10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND... 11. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS...

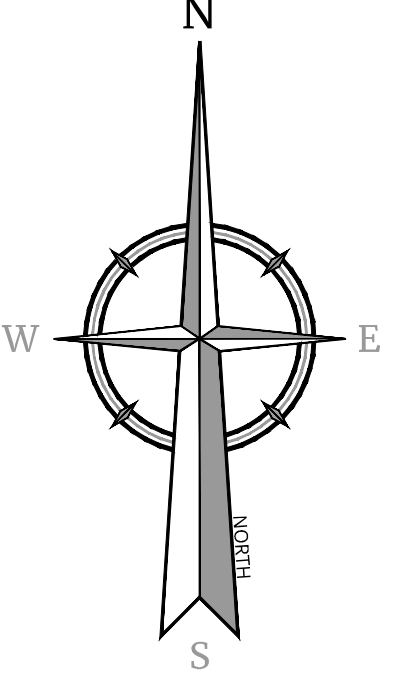
TOWN OF NEWBURGH WATER & SEWER NOTES:

- 1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT... 2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT... 3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-09... 4. THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS... 5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT...

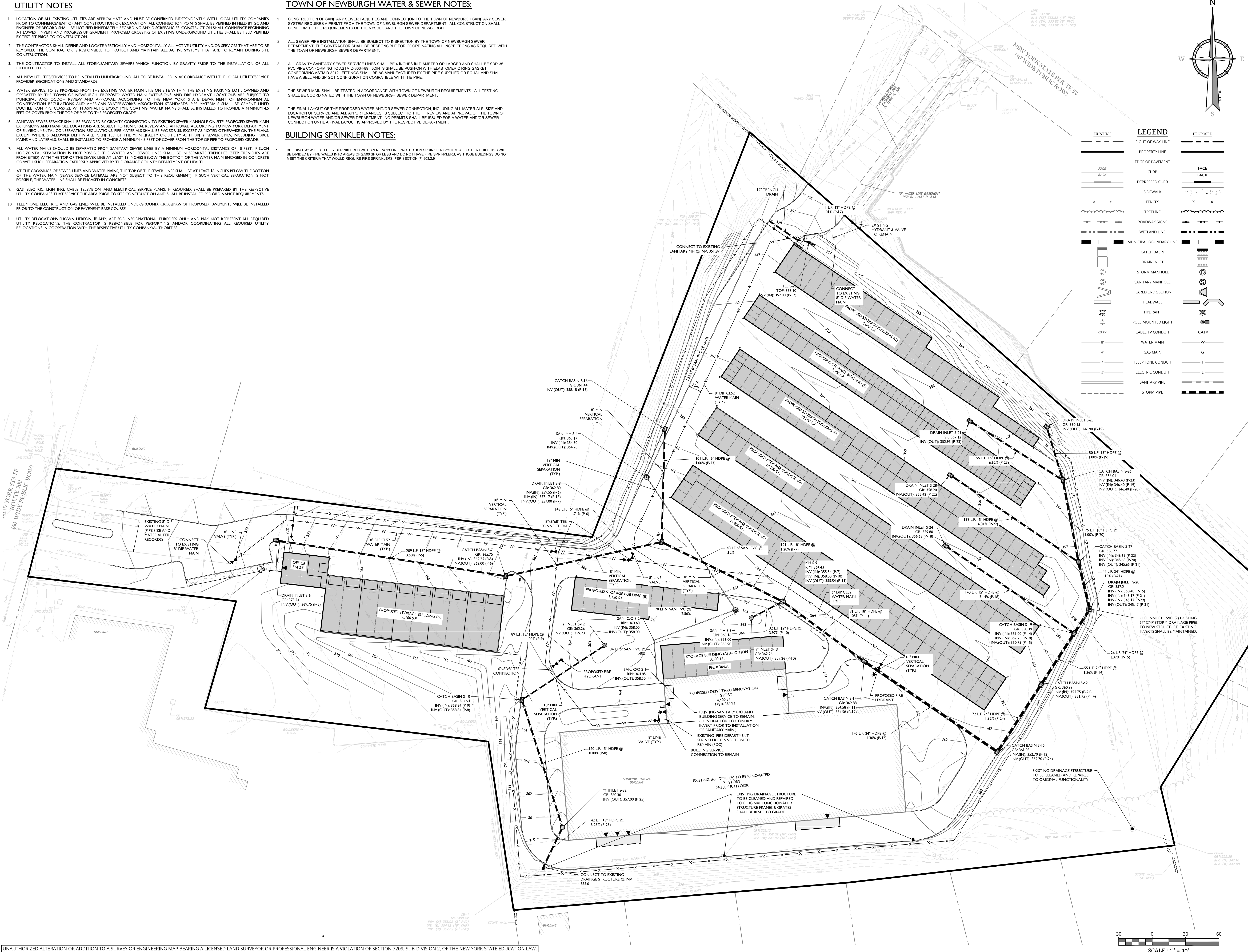
BUILDING SPRINKLER NOTES:

- 1. BUILDING 'A' WILL BE FULLY SPRINKLERED WITH AN NFPA 13 FIRE PROTECTION SPRINKLER SYSTEM. ALL OTHER BUILDINGS DO NOT MEET THE CRITERIA THAT WOULD REQUIRE FIRE SPRINKLERS, PER SECTION 7103.2.9

Colliers Engineering & Design logo and contact information. Project title: UTILITIES PLAN. Section: SECTION 60, BLOCK 3, LOT 22.222. Drawing number: 24000891A. Scale: 1" = 30'. Includes a table for revision history.



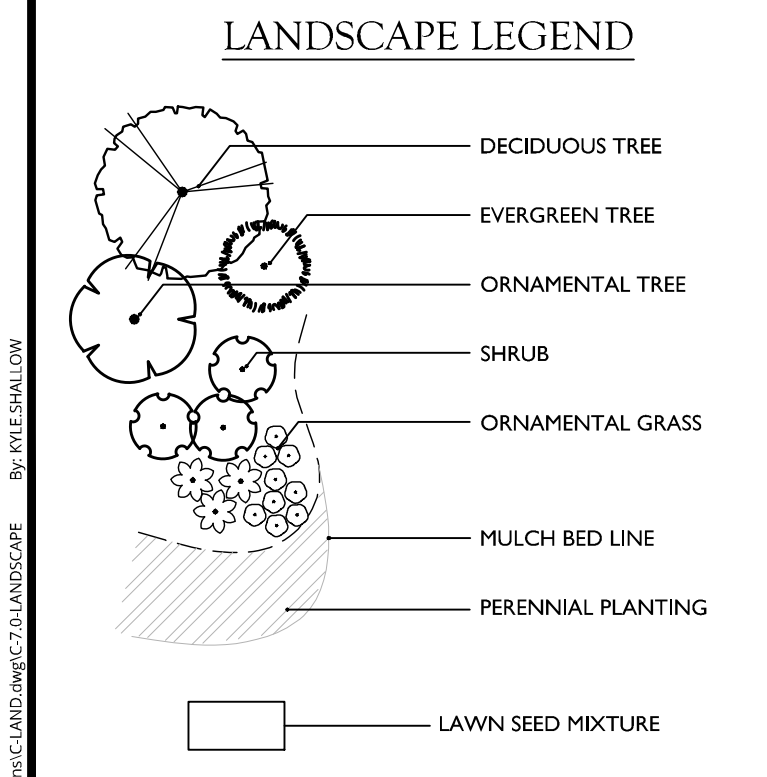
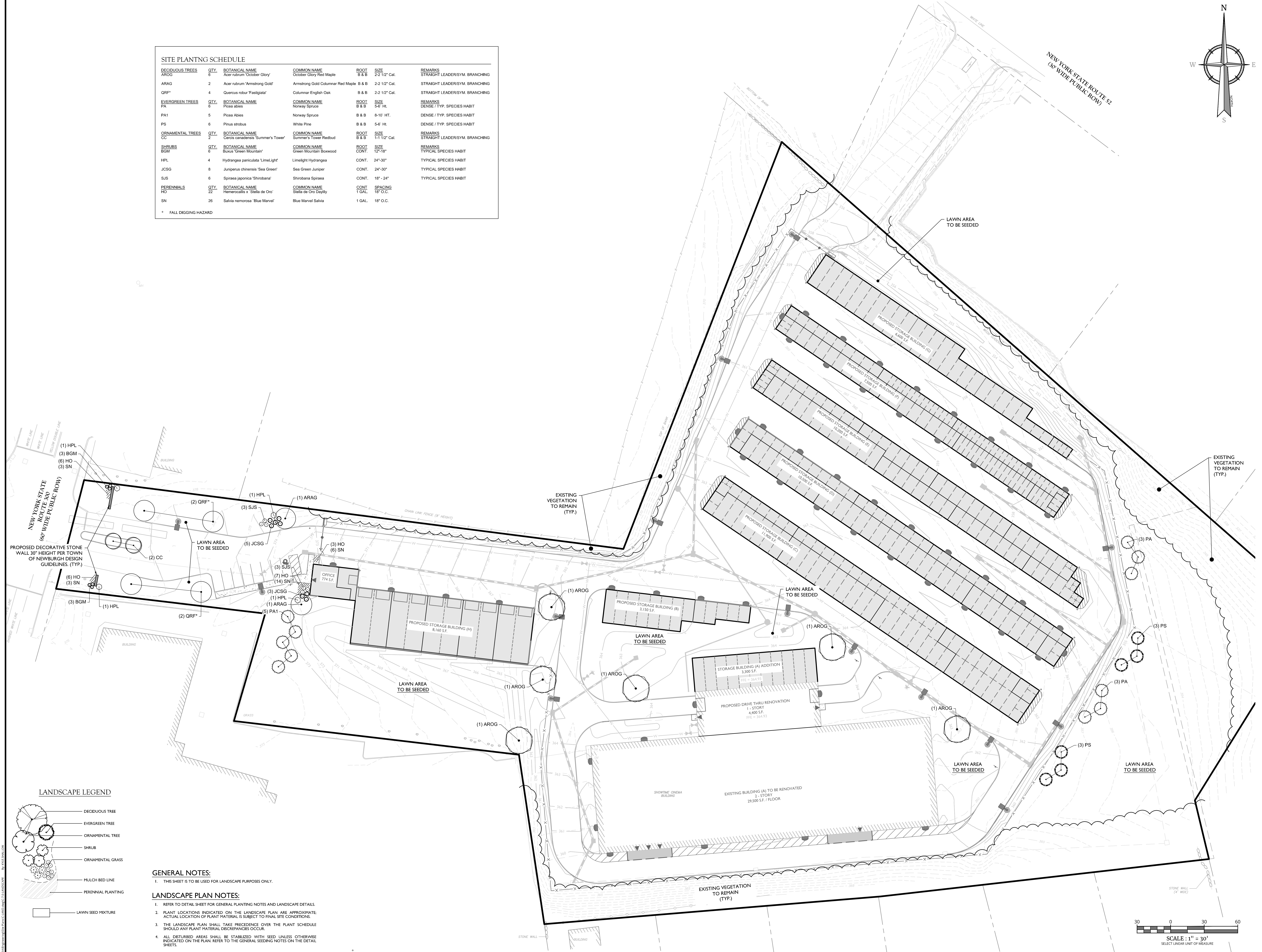
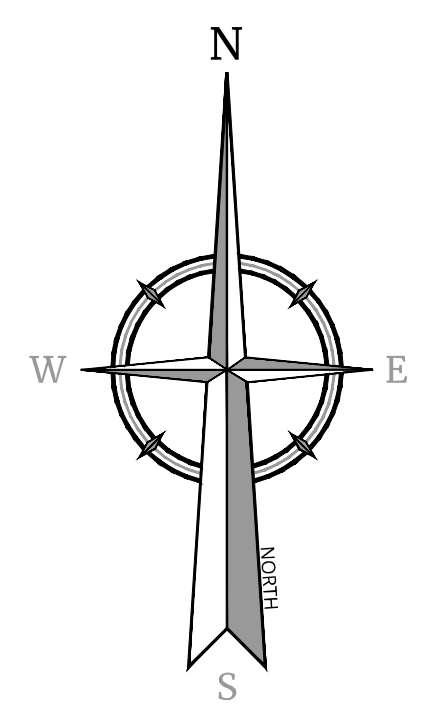
LEGEND table with columns for EXISTING and PROPOSED symbols. Symbols include lines for utility types (water, sewer, gas, electric), shapes for manholes and catch basins, and various pipe configurations.



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SITE PLANTING SCHEDULE						
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
ARAG	2	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	2-2 1/2' Cal.	STRAIGHT LEADER/SYM. BRANCHING
QRF*	4	Quercus robur 'Fastigiata'	Columnar English Oak	B & B	2-2 1/2' Cal.	STRAIGHT LEADER/SYM. BRANCHING
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
PA1	5	Picea abies	Norway Spruce	B & B	6-10' HT.	DENSE / TYP. SPECIES HABIT
PS	6	Pinus strobus	White Pine	B & B	5-4' HT.	DENSE / TYP. SPECIES HABIT
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
CC	2	Cercis canadensis 'Summer's Tower'	Summer's Tower Redbud	B & B	1-1 1/2' Cal.	STRAIGHT LEADER/SYM. BRANCHING
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
BGM	6	Buxus 'Green Mountain'	Green Mountain Boxwood	CONT.	12"-18"	TYPICAL SPECIES HABIT
HPL	4	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	CONT.	24"-30"	TYPICAL SPECIES HABIT
JCSG	8	Juniperus chinensis 'Sea Green'	Sea Green Juniper	CONT.	24"-30"	TYPICAL SPECIES HABIT
SJS	6	Spiraea japonica 'Shirobana'	Shirobana Spiraea	CONT.	18" - 24"	TYPICAL SPECIES HABIT
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	REMARKS
HO	22	Hemerocallis x 'Sollis de Oro'	Sollis de Oro Daylily	1 GAL.	18" O.C.	
SN	26	Salvia nemorosa 'Blue Marvel'	Blue Marvel Salvia	1 GAL.	18" O.C.	

* FALL DIGGING HAZARD



GENERAL NOTES:
1. THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.

LANDSCAPE PLAN NOTES:
1. REFER TO DETAIL SHEET FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.
2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FINAL SITE CONDITIONS.
3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
4. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE GENERAL SEEDING NOTES ON THE DETAIL SHEETS.

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION

Justin Eric Dates
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LICENSE NUMBER: 001964-01
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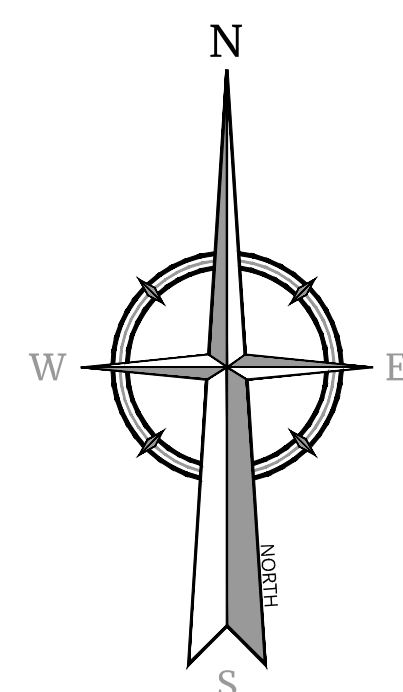
SITE PLAN
FOR
BUDGET
STORE & LOCK
SELF STORAGE
SECTION 60
BLOCK 3
LOT 22.222
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

Colliers 555 Hudson Valley Avenue
Suite 101
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Engineering & Design
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ARCHITECTURE, LANDSCAPE ARCHITECTURE
SURVEYING, P.E., CIVIL ENGINEERING, GEOTECHNICAL ENGINEERING & EROSION CONTROL

SCALE: AS SHOWN DATE: 06/06/2024 DRAWN BY: KAS CHECKED BY: CPM
PROJECT NUMBER: 24000891A DRAWING NAME: C-LAND

SHEET TITLE: **LANDSCAPE PLAN**
SHEET NUMBER: **C-7.0**

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NEW YORK STATE ROUTE 52
(60' WIDE PUBLIC ROW)

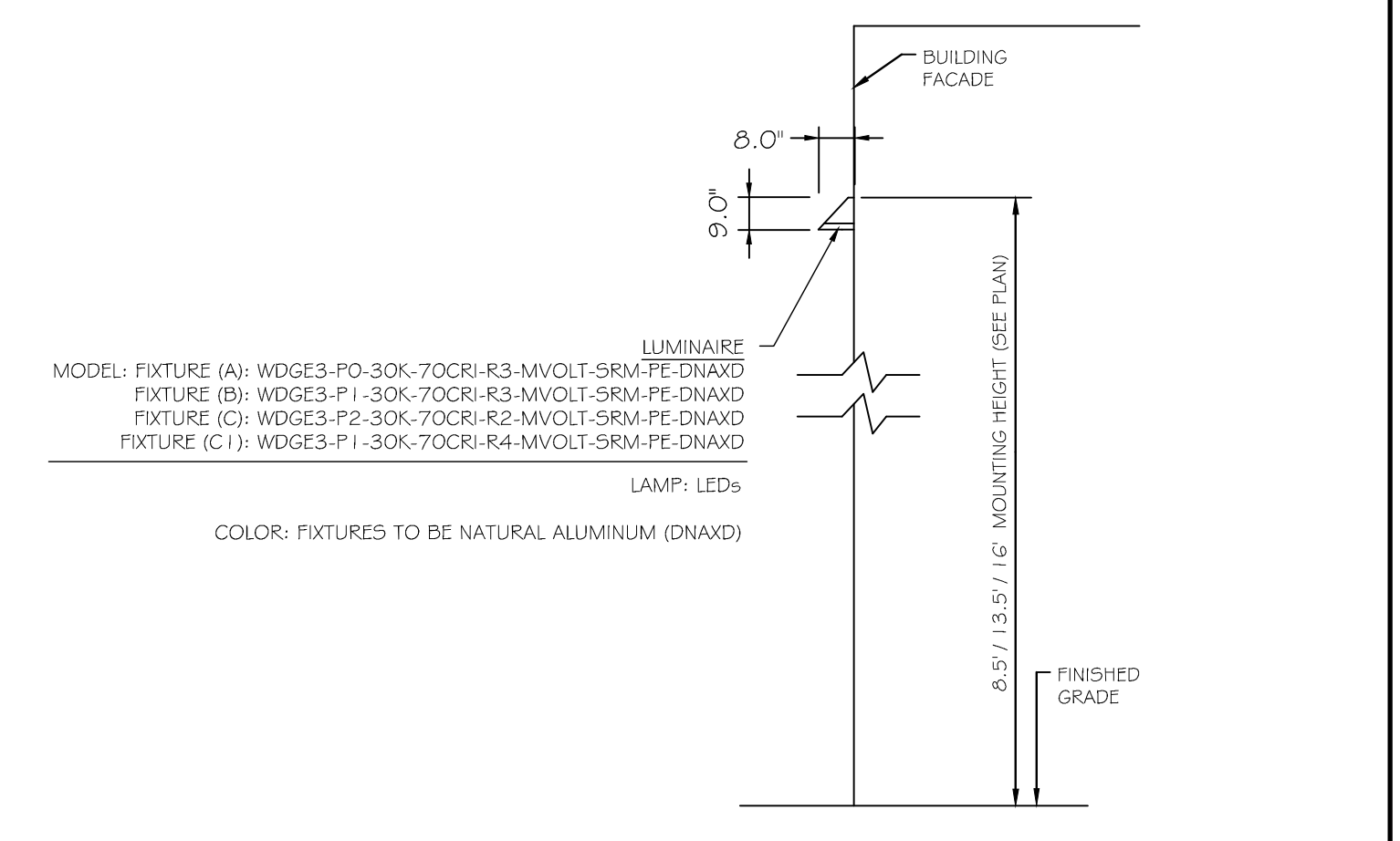
LIGHTING LEGEND:

- ☐ SINGLE FIXTURE POLE LIGHT
- ☐ WALLPACK
- 0.0 LIGHT LEVEL AT GRADE (IN FOOT CANDLES)

LIGHTING NOTES:

1. THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
2. POLES AND FIXTURES AS SUPPLIED BY:
POLE & WALL FIXTURES - LITHONIA LIGHTING
POLES - HOLOPHANE
3. LAMPS ARE TO BE LED. A LIGHT LOSS FACTOR (LLF) WAS USED AS SHOWN IN THE LUMINAIRES
SCHEDULE.
4. FIXTURES AND POLES ARE TO BE NATURAL ALUMINUM.
5. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF TWO (2) FEET BEHIND CURBS, EDGE OF
PAVEMENT OR RETAINING WALLS IN CAR PARKING AREAS.
6. PROPOSED LIGHT FIXTURE LOCATIONS ARE CRITICAL TO PROVIDE THE LIGHTING LEVELS DIRECTED
ON THIS PLAN. THE LIGHTING CONTRACTOR SHALL VERIFY FIXTURE LOCATIONS PRIOR TO
INSTALLATION. IF ADJUSTMENT TO ANY LIGHT FIXTURE LOCATION IS REQUIRED DUE TO FINAL
CONSTRUCTION OF UTILITIES AND SITE IMPROVEMENTS, THE LIGHTING CONTRACTOR SHALL
NOTIFY THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
7. LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
8. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY
THE OWNER OR PROJECT LANDSCAPE ARCHITECT.
9. ELECTRICAL PLANS FOR WIRING LAYOUT BY OTHERS.
10. POLE BASE INSTALLATION SHALL INCLUDE A SUPPLEMENTARY GROUND ROD AND WIRE LEAD TO
BASE FOR POWER CONNECTION. DETAILS PER PROJECT ELECTRICAL ENGINEER.
11. ALL LIGHTING FIXTURES WILL BE DARK SKY COMPLIANT.

WALL MOUNTED FIXTURE DETAIL



MODEL: FIXTURE (A) WDGES-P0-30K-70CRI-R3-MVOLT-SRM-PE-DNAXD
FIXTURE (B) WDGES-P1-30K-70CRI-R3-MVOLT-SRM-PE-DNAXD
FIXTURE (C) WDGES-P2-30K-70CRI-R2-MVOLT-SRM-PE-DNAXD
FIXTURE (D) WDGES-P3-30K-70CRI-R4-MVOLT-SRM-PE-DNAXD
LAMP: LED's
COLOR: FIXTURES TO BE NATURAL ALUMINUM (DNAXD)

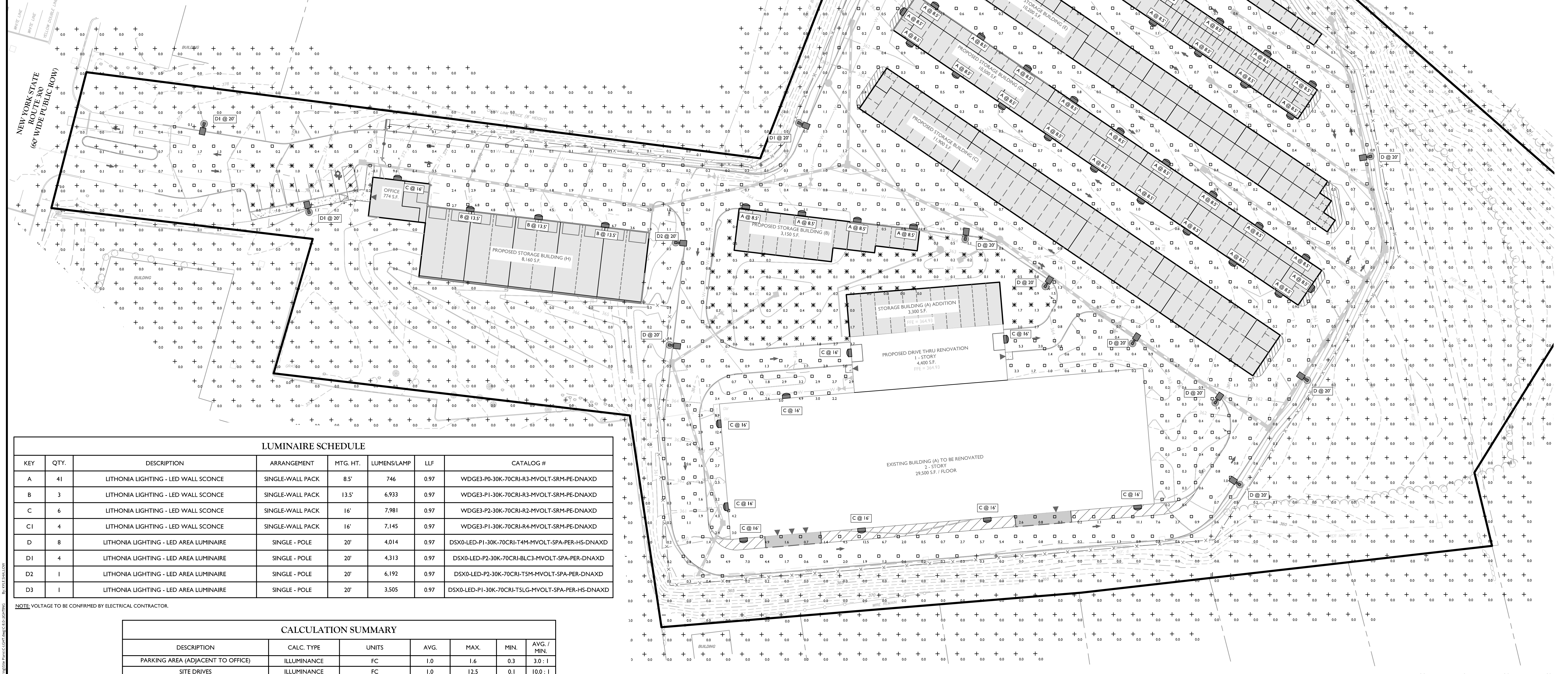
NOTES:

1. LUMINAIRES TO BE MANUFACTURED BY LITHONIA LIGHTING OR APPROVED EQUAL.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND
APPROVAL BY THE OWNER OR PROJECT LANDSCAPE ARCHITECT.
3. *VOLTAGE TO BE CONFIRMED BY ELECTRICAL CONTRACTOR.

POLE MOUNTED FIXTURE DETAIL

NOT TO SCALE

- NOTES:**
1. LUMINAIRES TO BE MANUFACTURED BY LITHONIA LIGHTING AND POLES BY HOLOPHANE
(MANUFACTURER TO CONFIRM POLE SIZE) OR APPROVED EQUAL.
 2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES AND POLES FOR REVIEW
AND APPROVAL BY THE OWNER OR PROJECT LANDSCAPE ARCHITECT.
 3. FOOTING TO BE DESIGNED, SIGNED, AND SEALED BY A N.Y.S. LICENSED ENGINEER.
 4. *VOLTAGE TO BE CONFIRMED BY ELECTRICAL CONTRACTOR.
 5. PROPOSED POLES HEIGHT TO BE MODIFIED (AS NEEDED) IN FIELD TO MEET DESIGN.



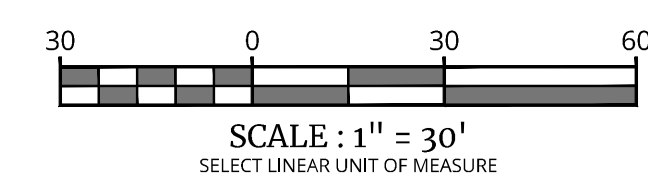
LUMINAIRE SCHEDULE

KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS/LAMP	LLF	CATALOG #
A	41	LITHONIA LIGHTING - LED WALL SCNCE	SINGLE-WALL PACK	8.5'	746	0.97	WDGES-P0-30K-70CRI-R3-MVOLT-SRM-PE-DNAXD
B	3	LITHONIA LIGHTING - LED WALL SCNCE	SINGLE-WALL PACK	13.5'	6,933	0.97	WDGES-P1-30K-70CRI-R3-MVOLT-SRM-PE-DNAXD
C	6	LITHONIA LIGHTING - LED WALL SCNCE	SINGLE-WALL PACK	16'	7,981	0.97	WDGES-P2-30K-70CRI-R2-MVOLT-SRM-PE-DNAXD
C1	4	LITHONIA LIGHTING - LED WALL SCNCE	SINGLE-WALL PACK	16'	7,145	0.97	WDGES-P1-30K-70CRI-R4-MVOLT-SRM-PE-DNAXD
D	8	LITHONIA LIGHTING - LED AREA LUMINAIRE	SINGLE - POLE	20'	4,014	0.97	DSX0-LED-P1-30K-70CRI-T4M-MVOLT-SPA-PER-HS-DNAXD
D1	4	LITHONIA LIGHTING - LED AREA LUMINAIRE	SINGLE - POLE	20'	4,313	0.97	DSX0-LED-P2-30K-70CRI-BLC3-MVOLT-SPA-PER-DNAXD
D2	1	LITHONIA LIGHTING - LED AREA LUMINAIRE	SINGLE - POLE	20'	6,192	0.97	DSX0-LED-P3-30K-70CRI-T5M-MVOLT-SPA-PER-DNAXD
D3	1	LITHONIA LIGHTING - LED AREA LUMINAIRE	SINGLE - POLE	20'	3,505	0.97	DSX0-LED-P1-30K-70CRI-T5LG-MVOLT-SPA-PER-HS-DNAXD

NOTE: VOLTAGE TO BE CONFIRMED BY ELECTRICAL CONTRACTOR.

CALCULATION SUMMARY

DESCRIPTION	CALC. TYPE	UNITS	AVG.	MAX.	MIN.	AVG. / MIN.
PARKING AREA (ADJACENT TO OFFICE)	ILLUMINANCE	FC	1.0	1.6	0.3	3.0 : 1
SITE DRIVES	ILLUMINANCE	FC	1.0	12.5	0.1	10.0 : 1



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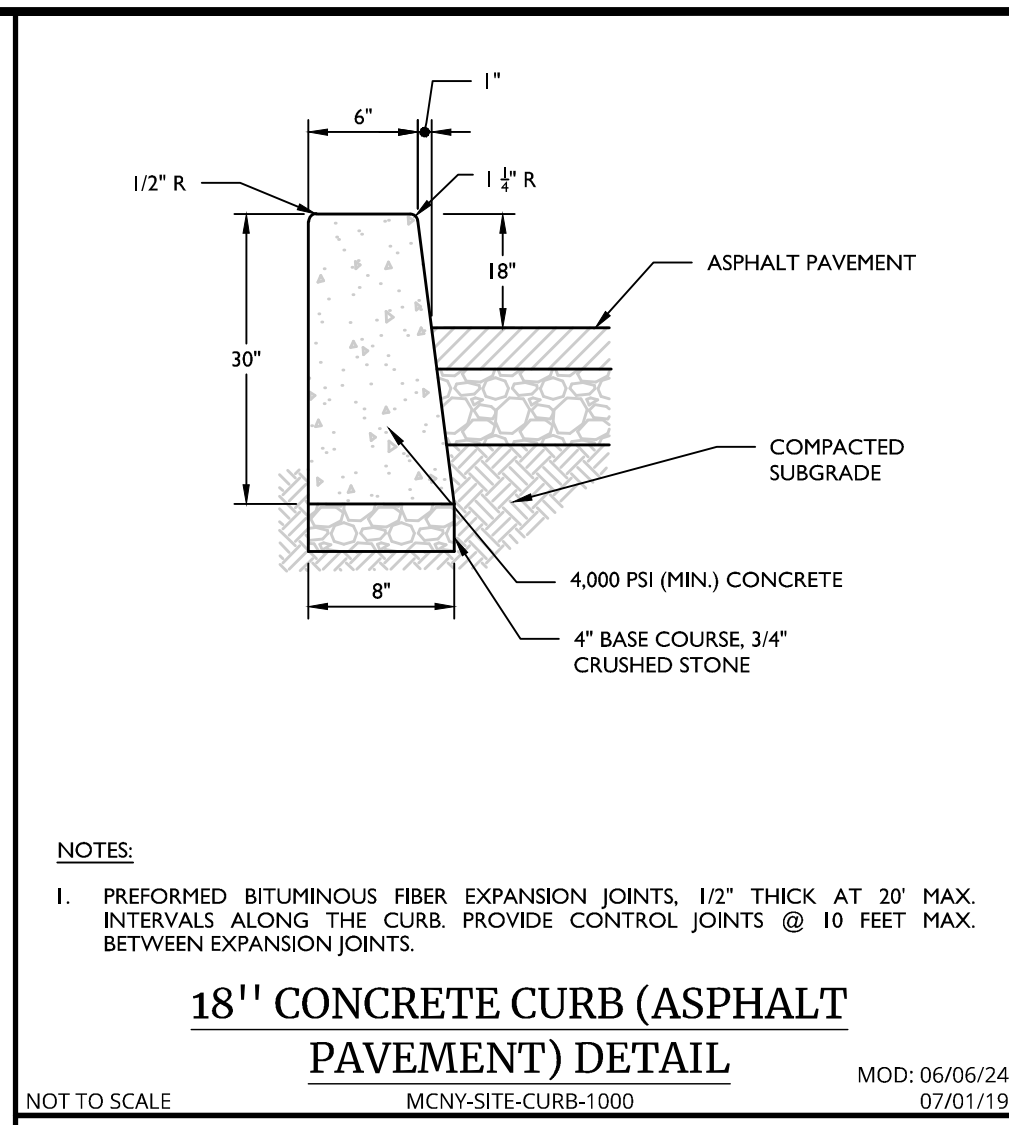
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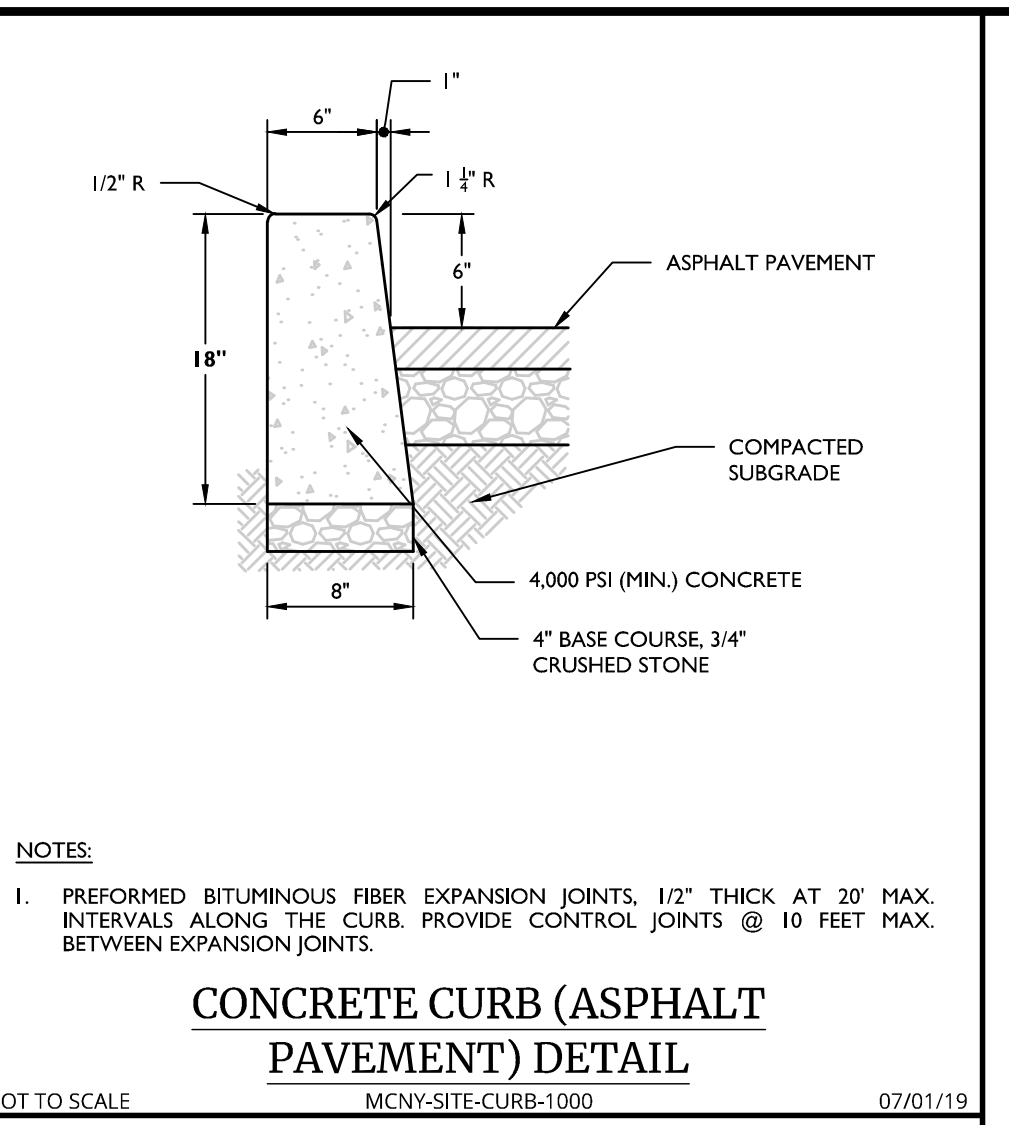
SITE PLAN
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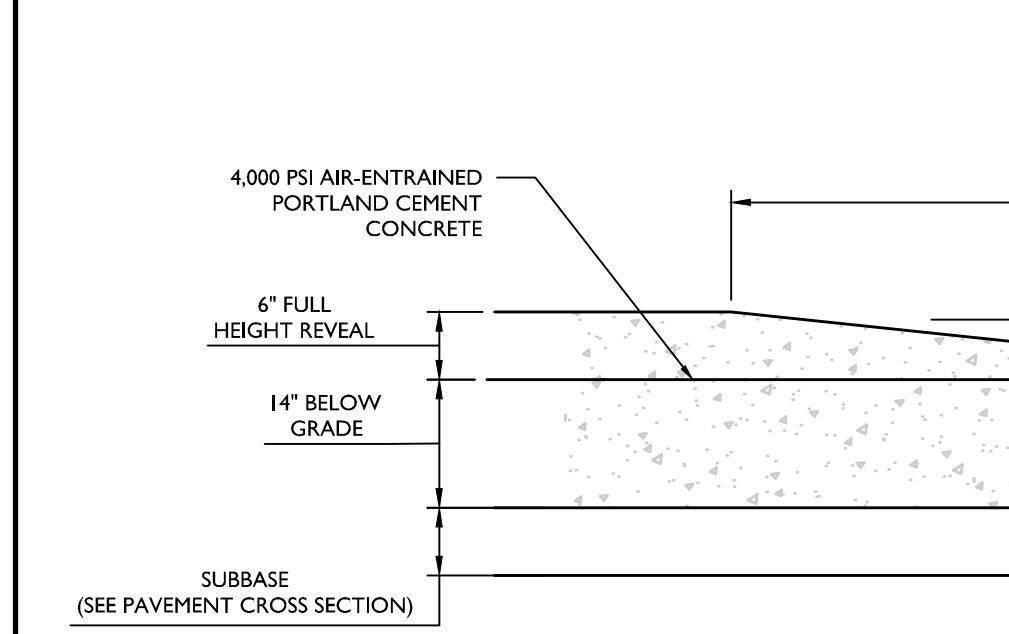
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NEW YORK STATE



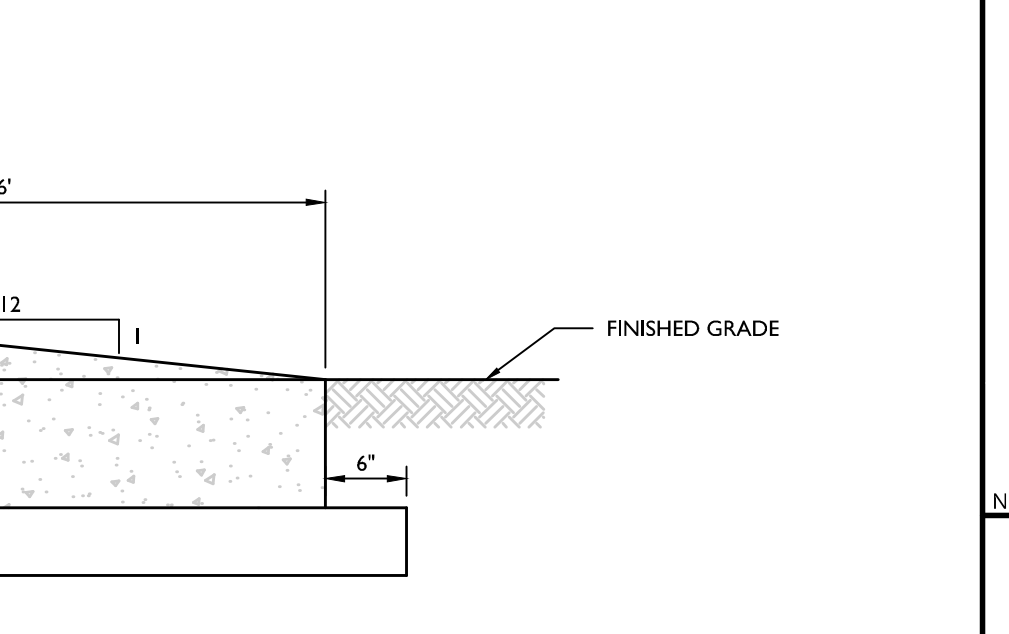
18" CONCRETE CURB (ASPHALT PAVEMENT) DETAIL
MCNY-SITE-CURB-1000



CONCRETE CURB (ASPHALT PAVEMENT) DETAIL
MCNY-SITE-CURB-1000



TERMINAL CURB DETAIL
MCNY-SITE-CURB-2000



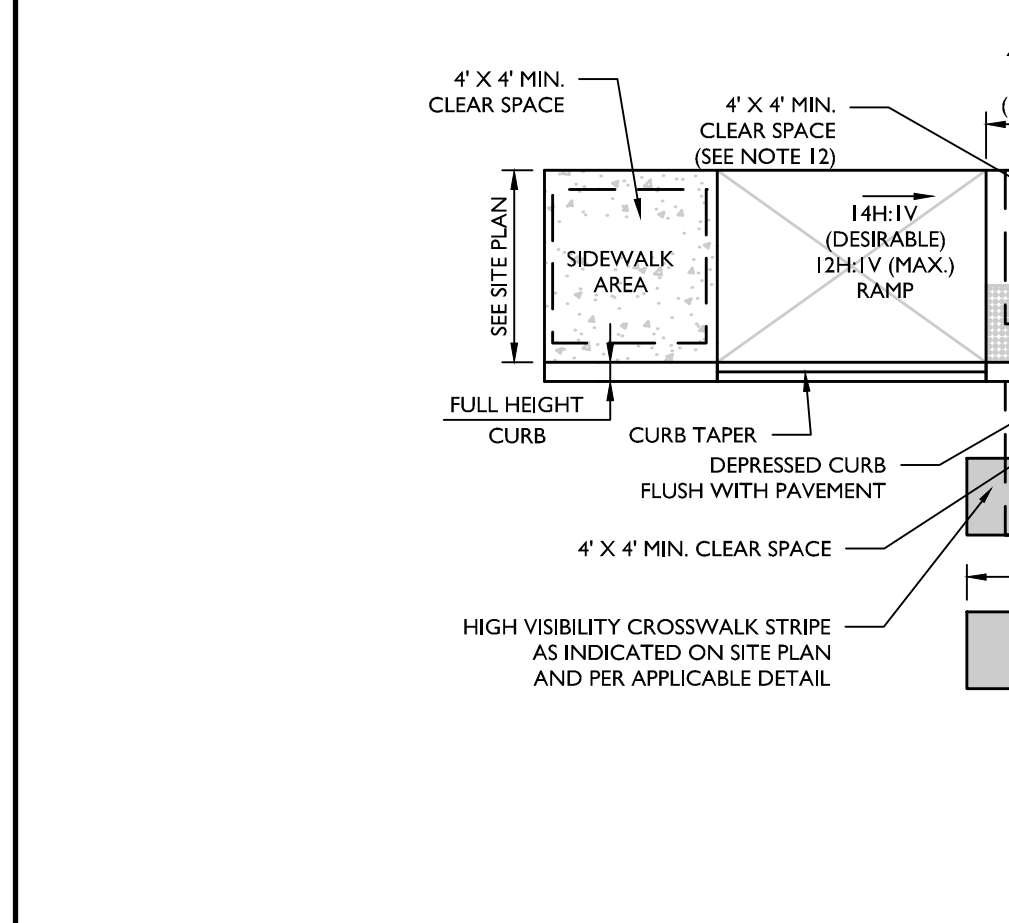
GALVANIZED STEEL CHAIN LINK FENCE DETAIL
MCCM-SITE-FENCE-1000



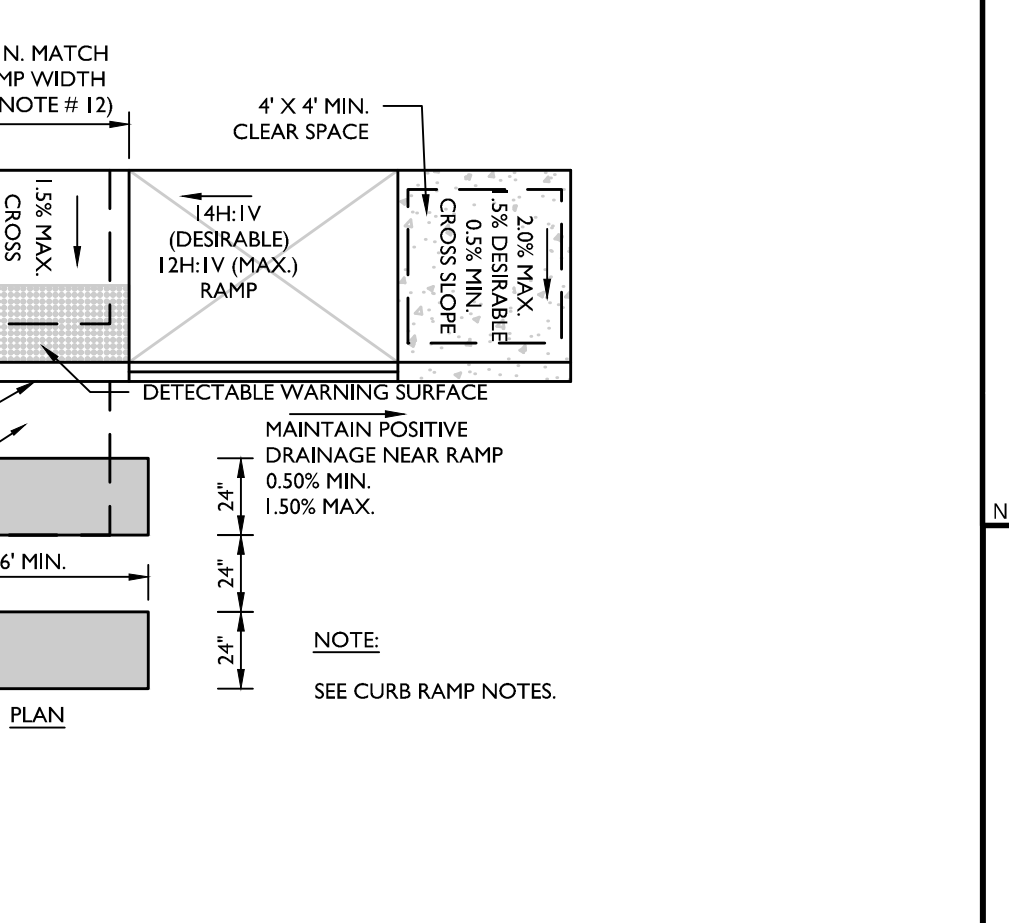
TYPICAL PARKING STALL STRIPING (BOXED) DETAIL
MCNY-SITE-MRKG-1001



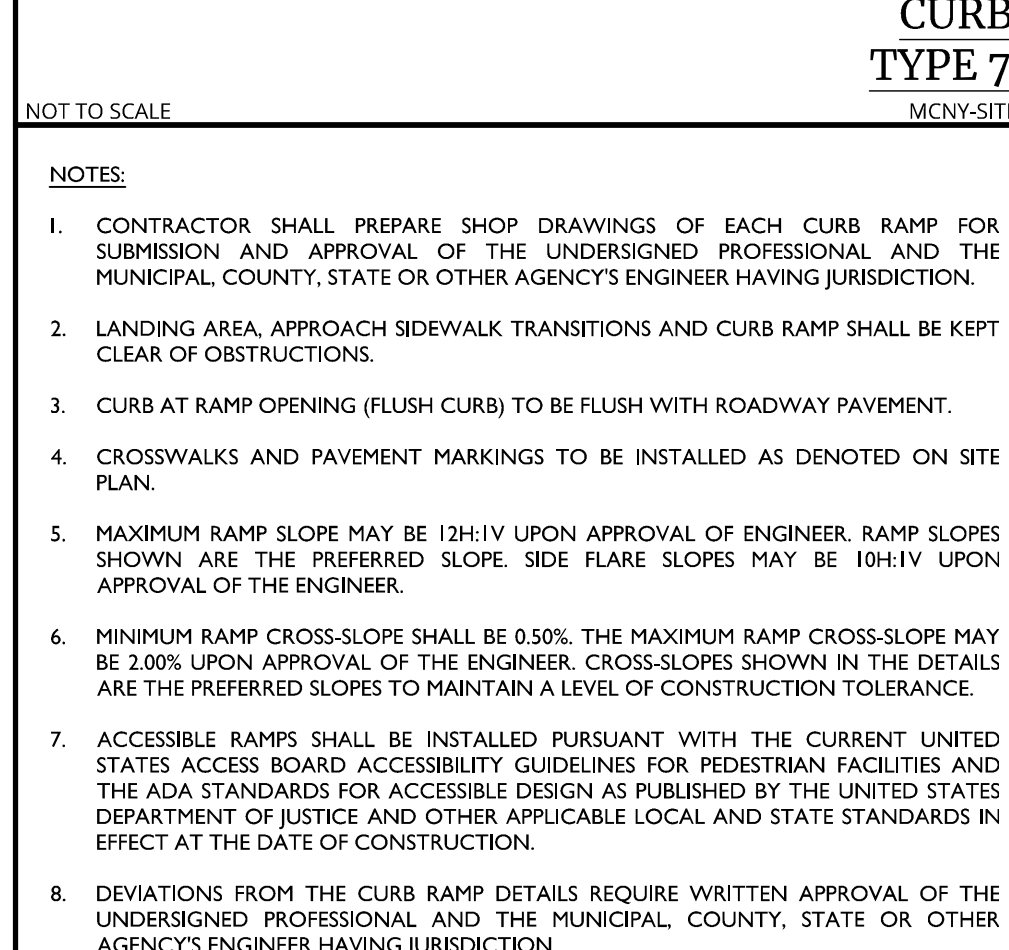
FIRE ZONE / LOADING AREA STRIPING DETAIL
MCNY-SITE-MRKG-2100



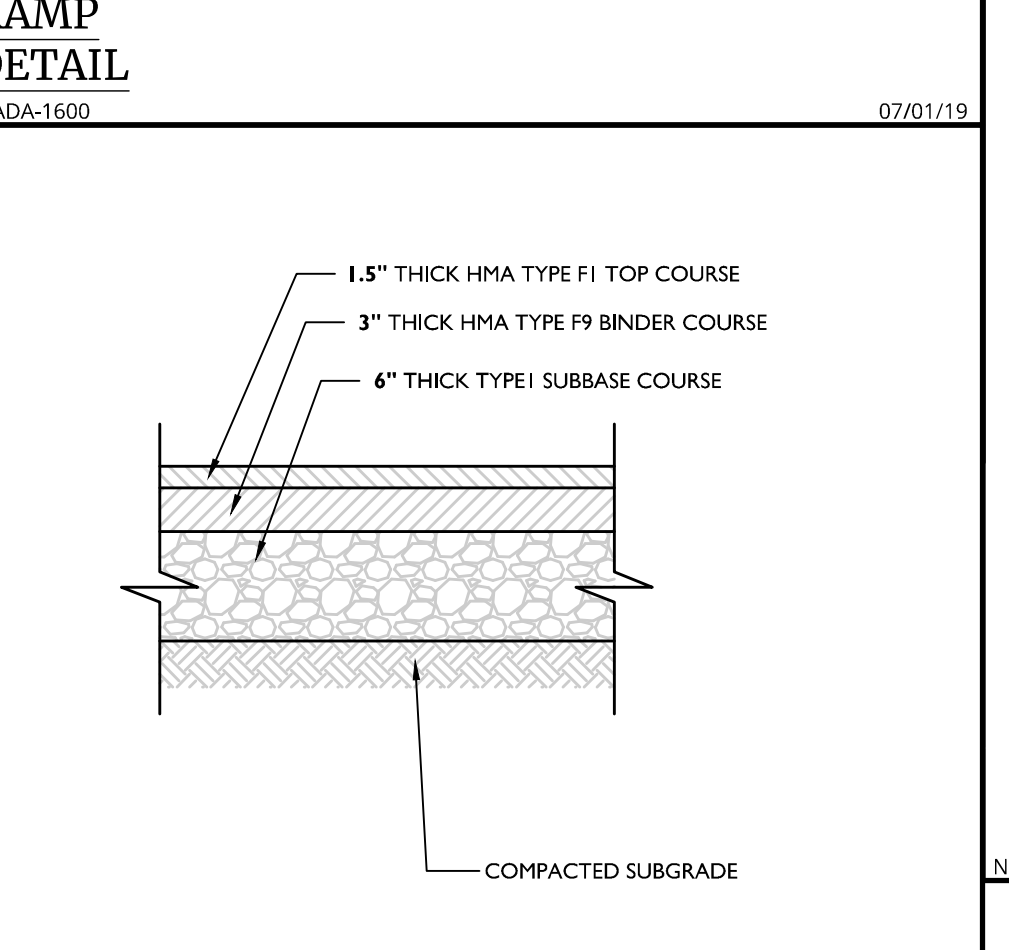
CURB RAMP TYPE 7 DETAIL
MCNY-SITE-HADA-1600



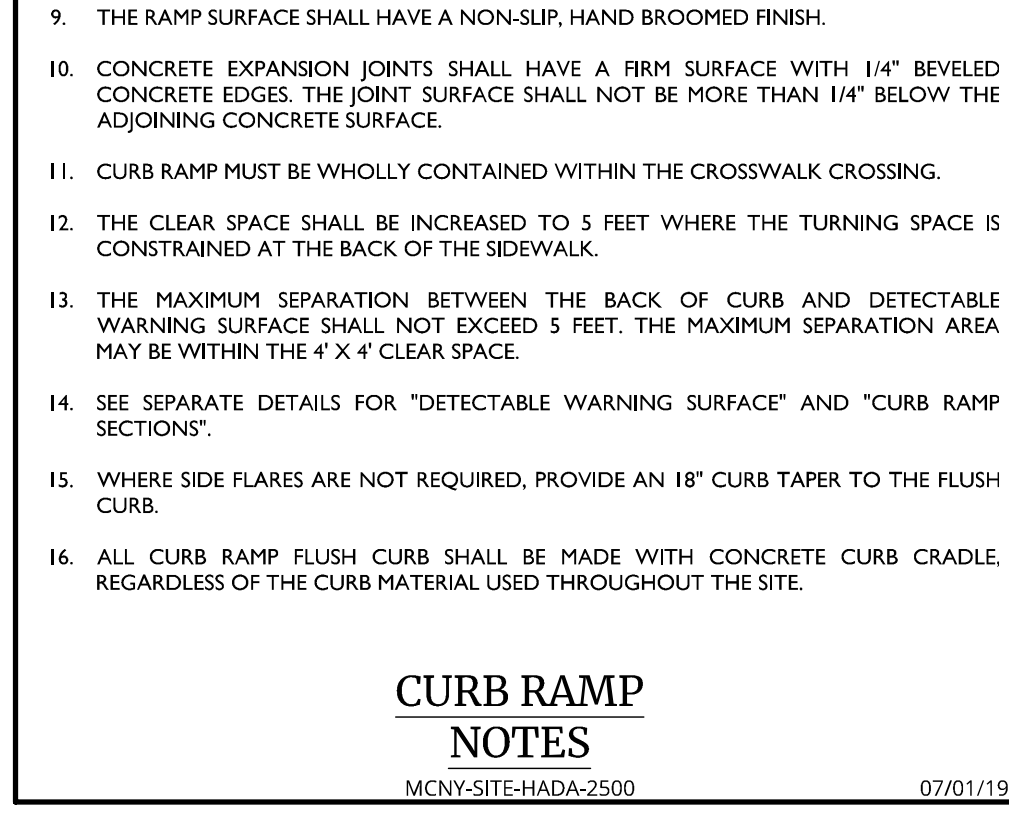
BOLLARD 6" DIA. DETAIL
MCCM-SITE-FNCE-2301



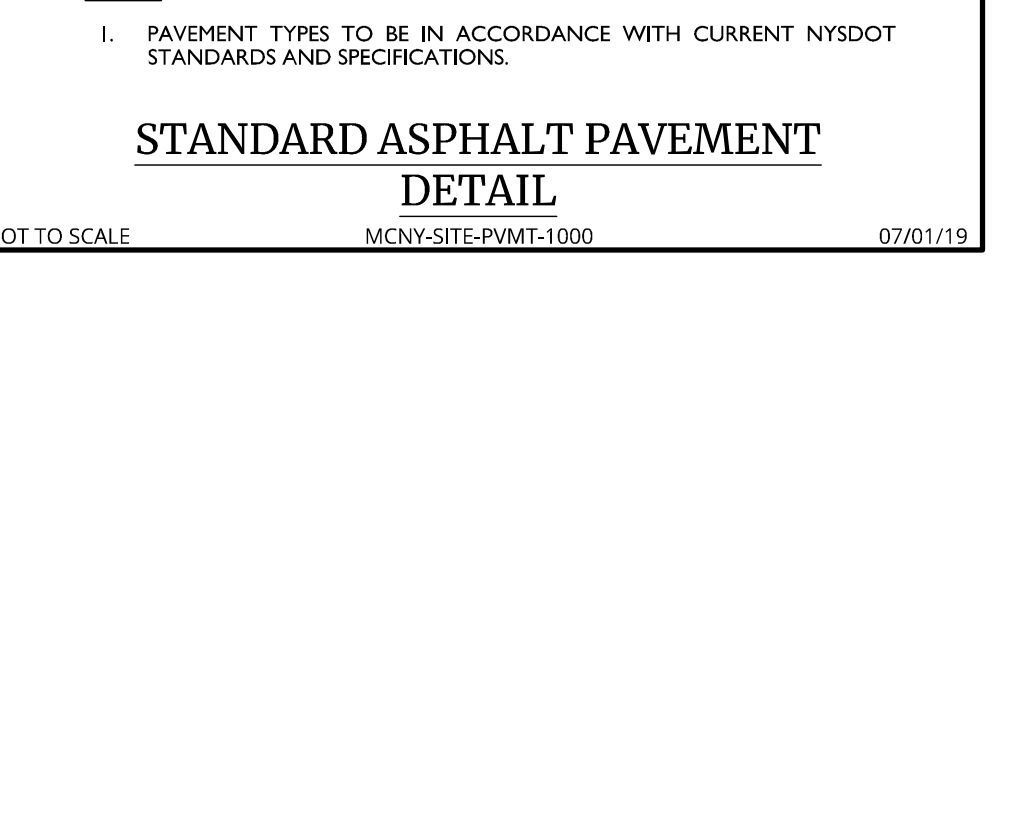
STANDARD ASPHALT PAVEMENT DETAIL
MCNY-SITE-PMVT-1000



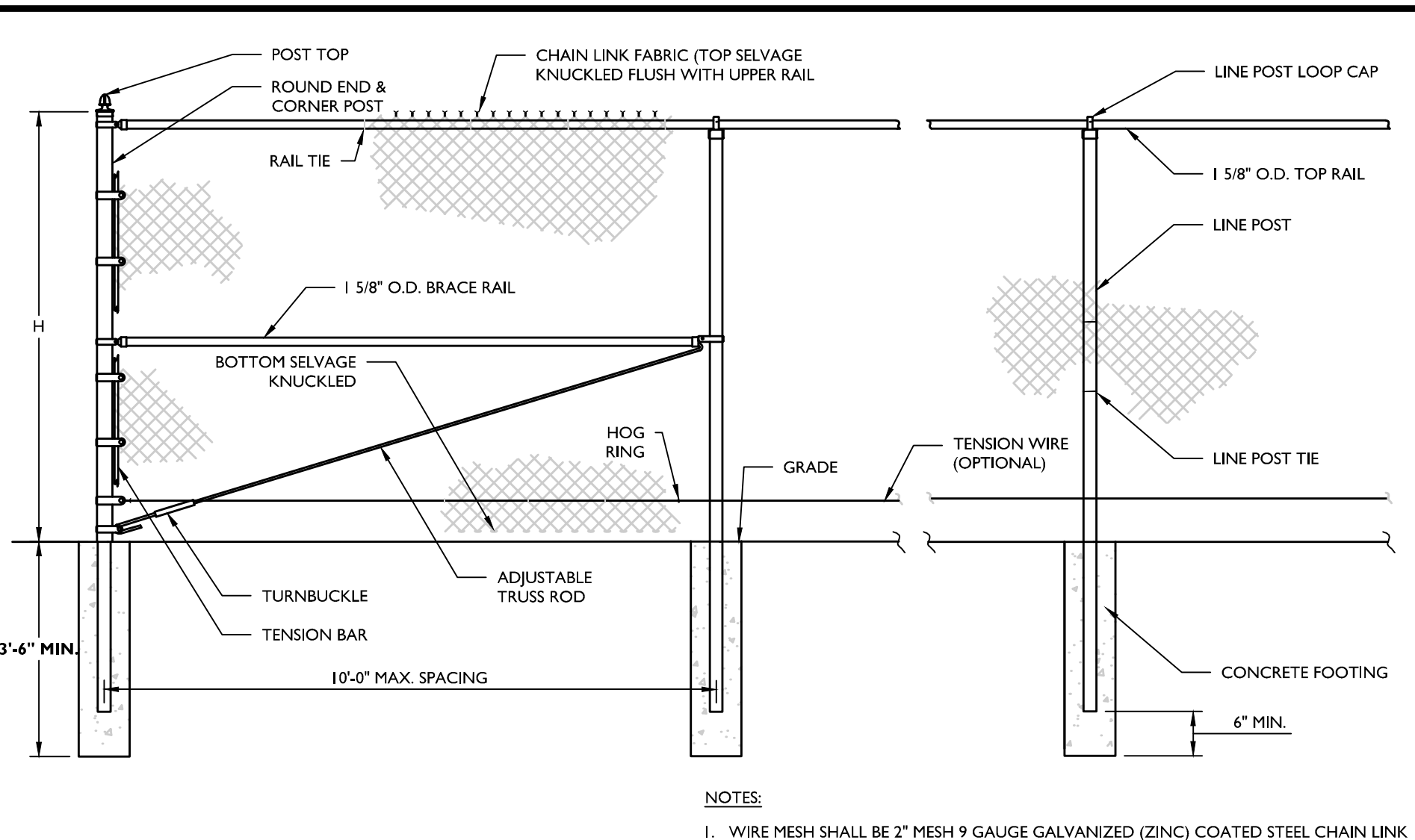
BREAKAWAY SIGN POST DETAIL
MCCM-SIGN-GENL-6102



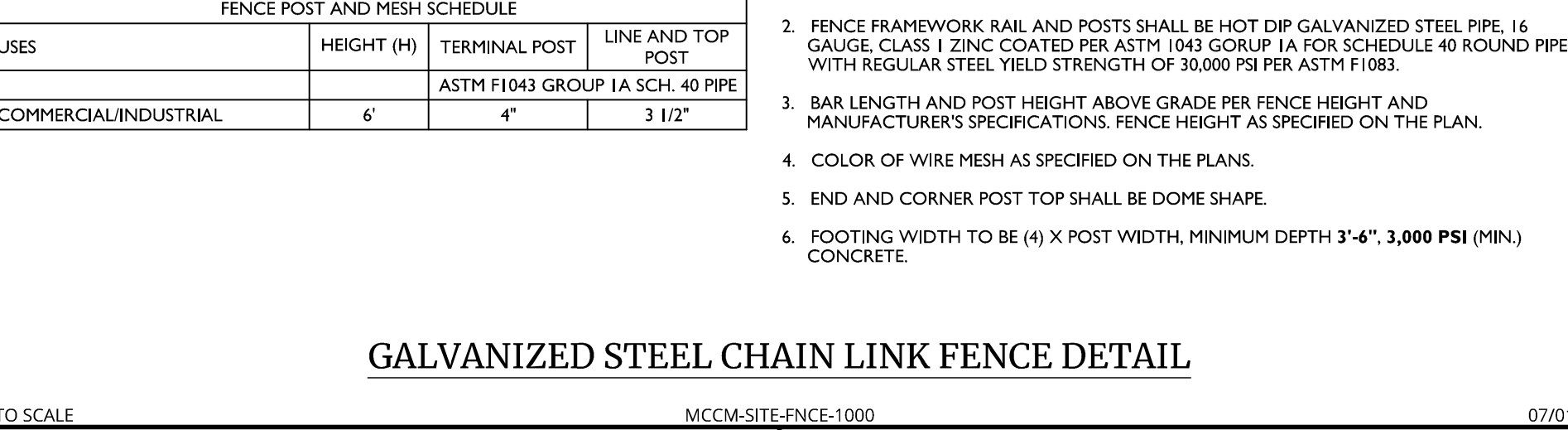
CURB RAMP NOTES
MCNY-SITE-HADA-2500



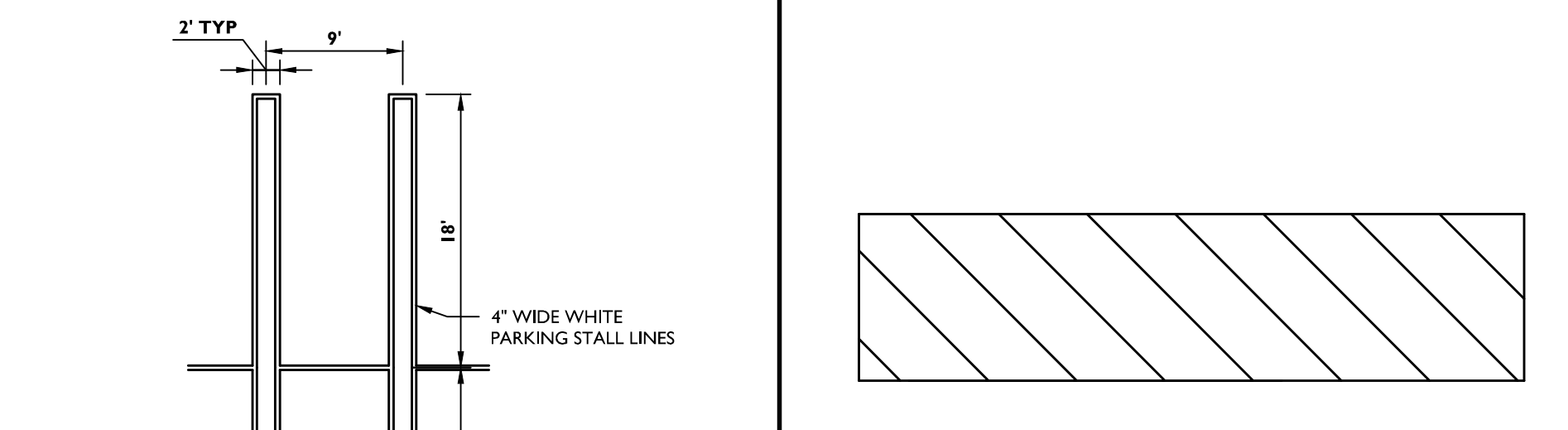
FREESTANDING WALL DETAIL
GMRI-DTL-S-TND-GRID



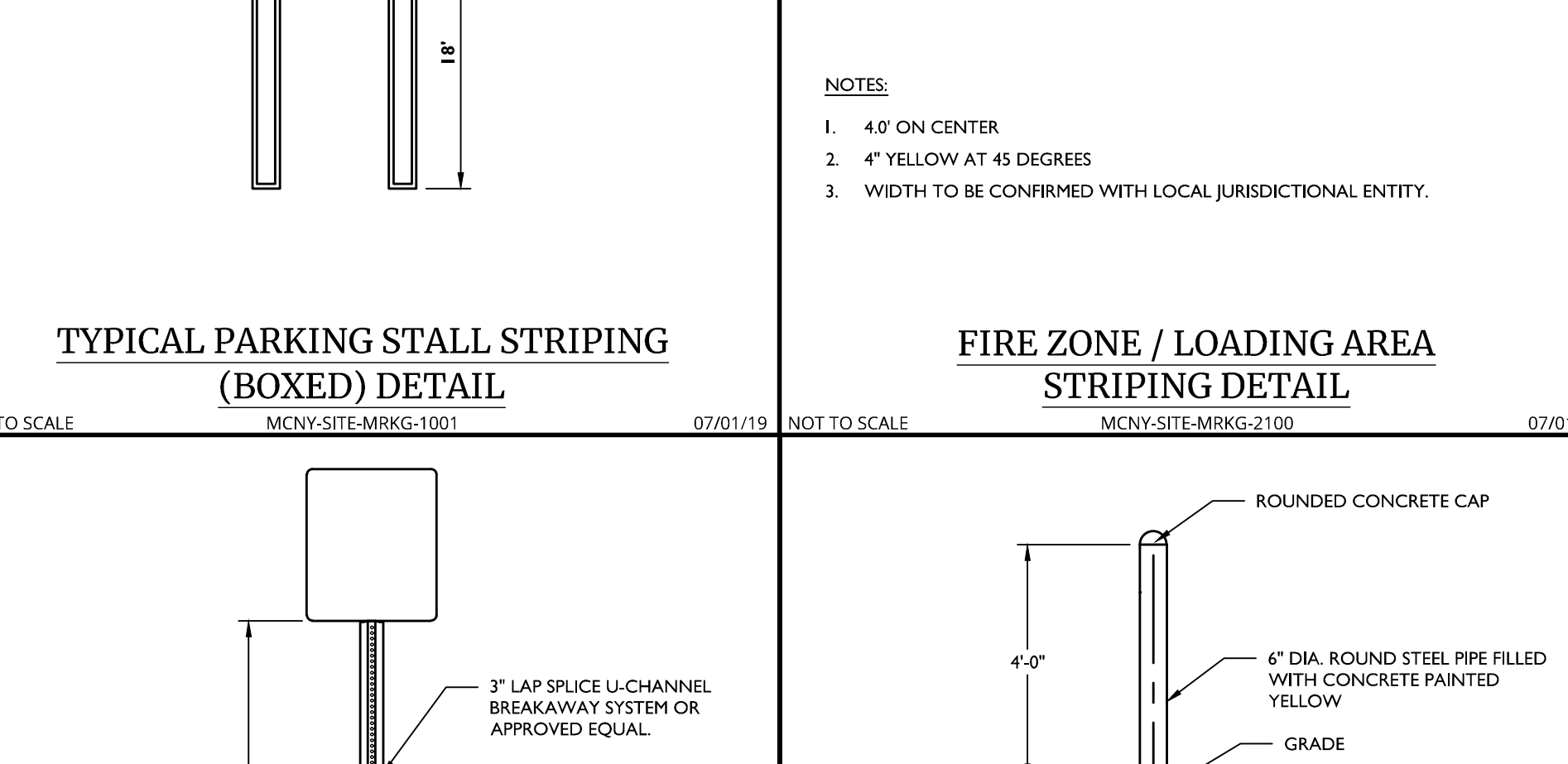
DETECTABLE WARNING SURFACE DETAIL
MCNY-SITE-HADA-2100



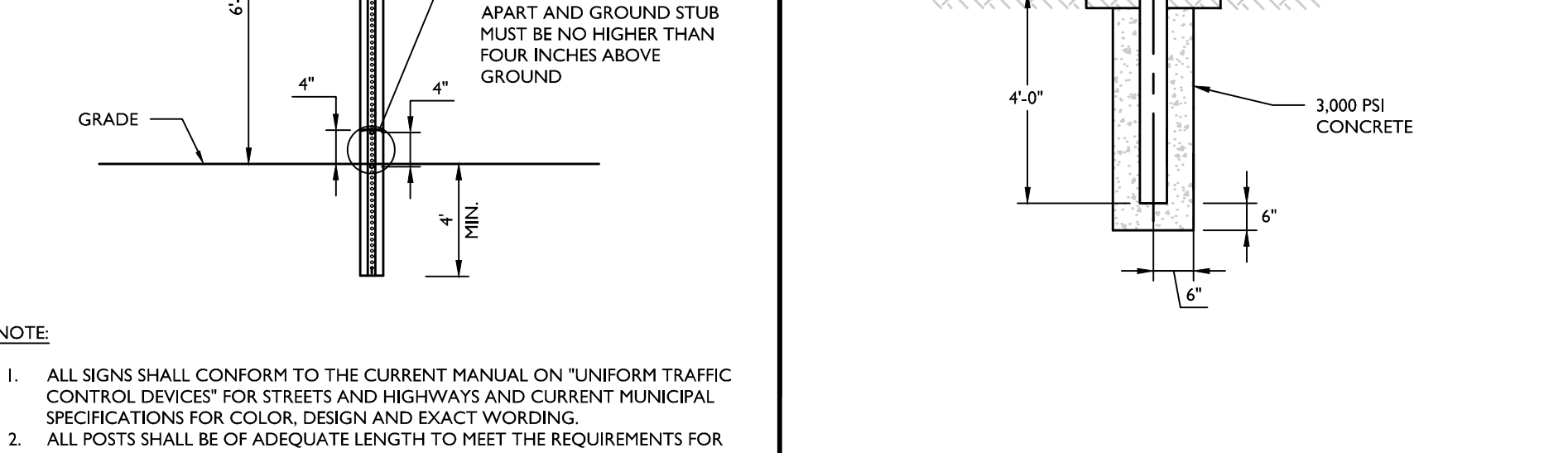
ACCESSIBLE PARKING LINE STRIPE STALL DETAIL
MCNY-SITE-MRKG-1801



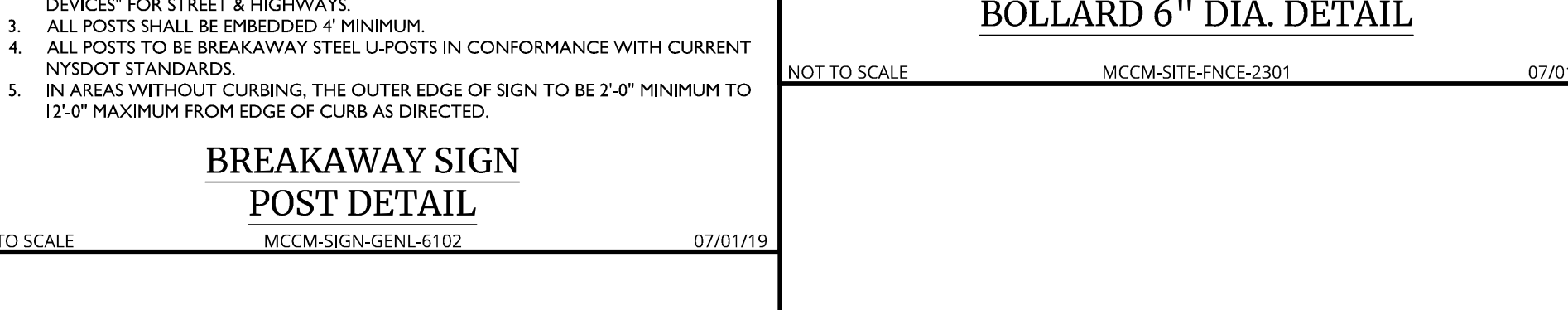
ACCESSIBLE SYMBOL DETAIL
MCNY-SITE-MRKG-2000



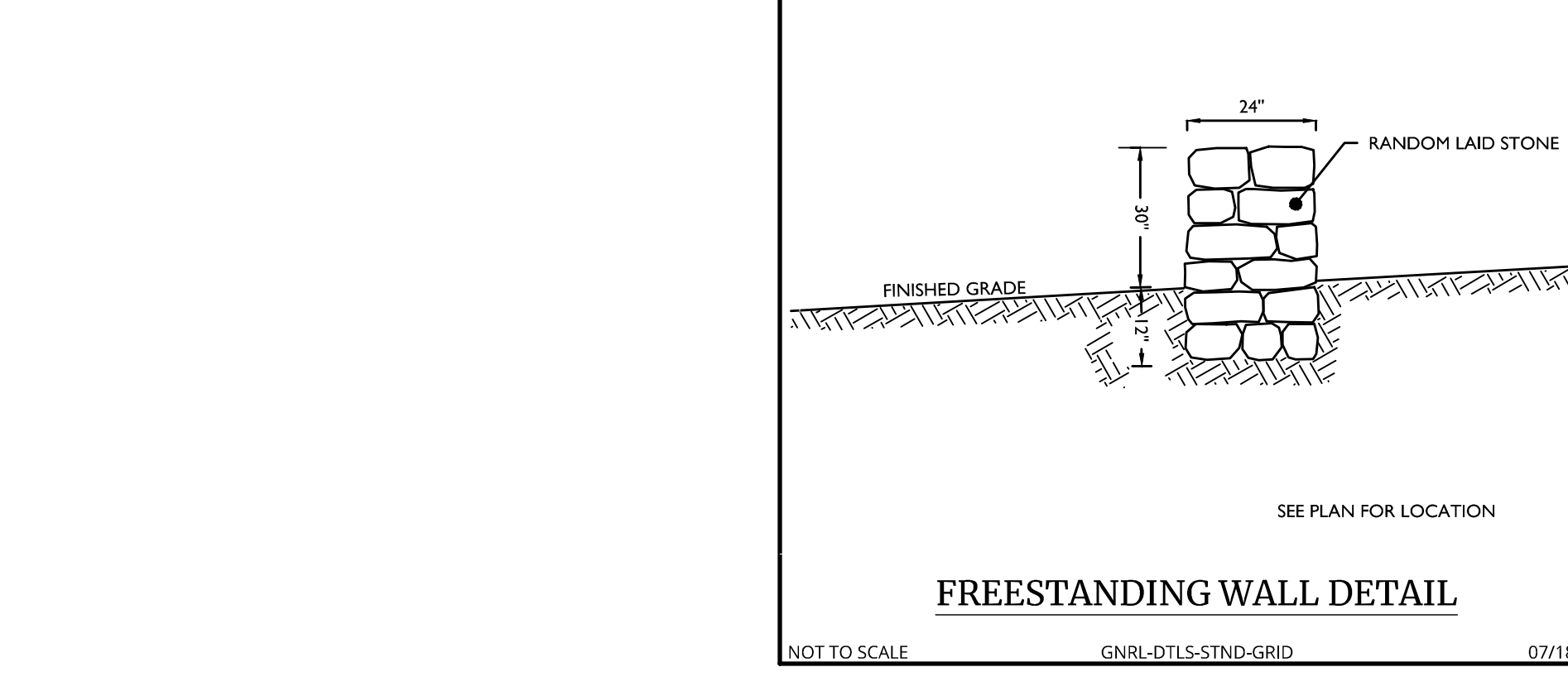
FLUSH CURB AND CRADLE DETAIL
MCNY-SITE-HADA-2300



R6-2R SIGN DETAIL
MCCM-SIGN-REGU-R6-2



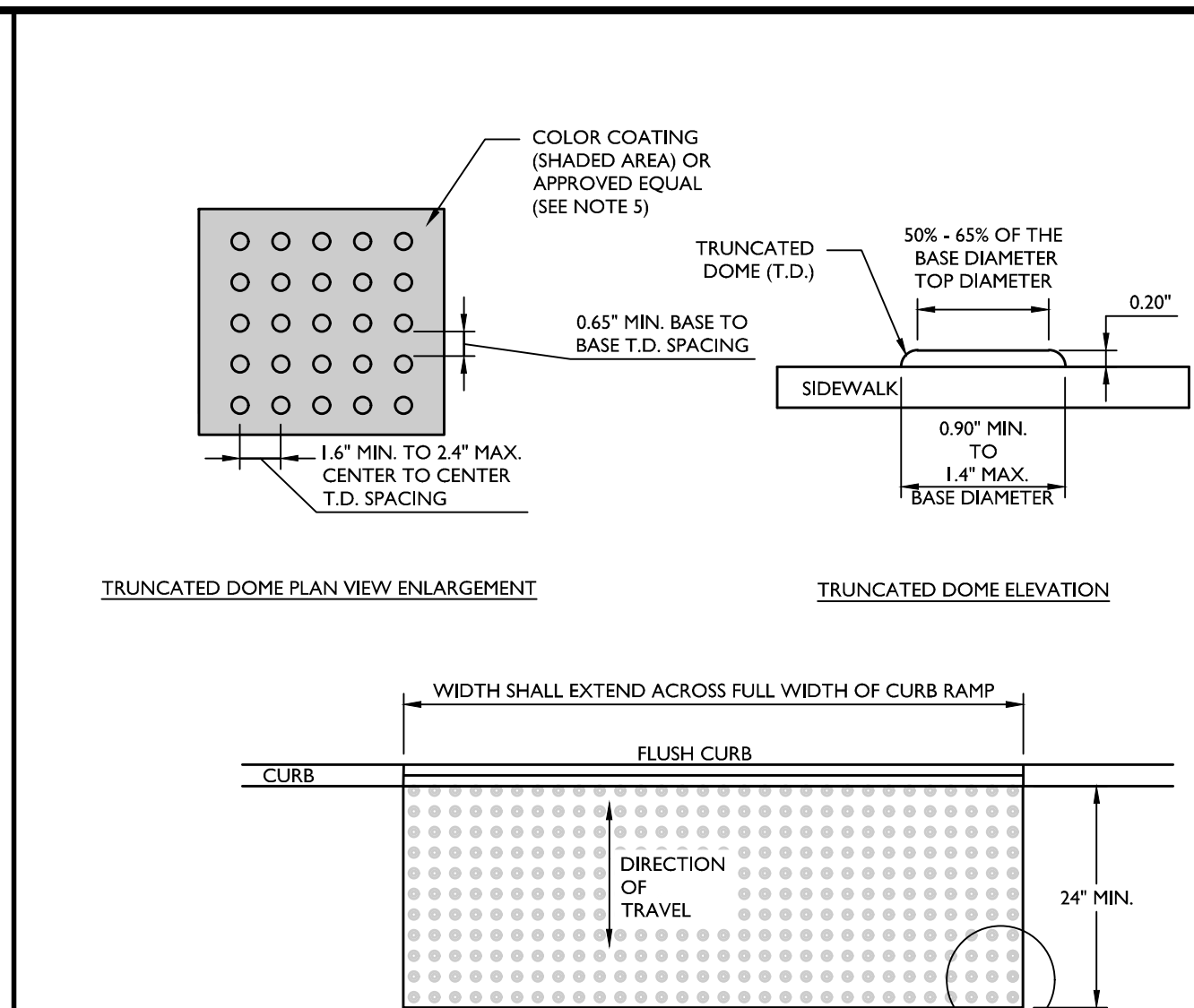
R8-3a SIGN DETAIL
MCCM-SIGN-REGU-R8-3a



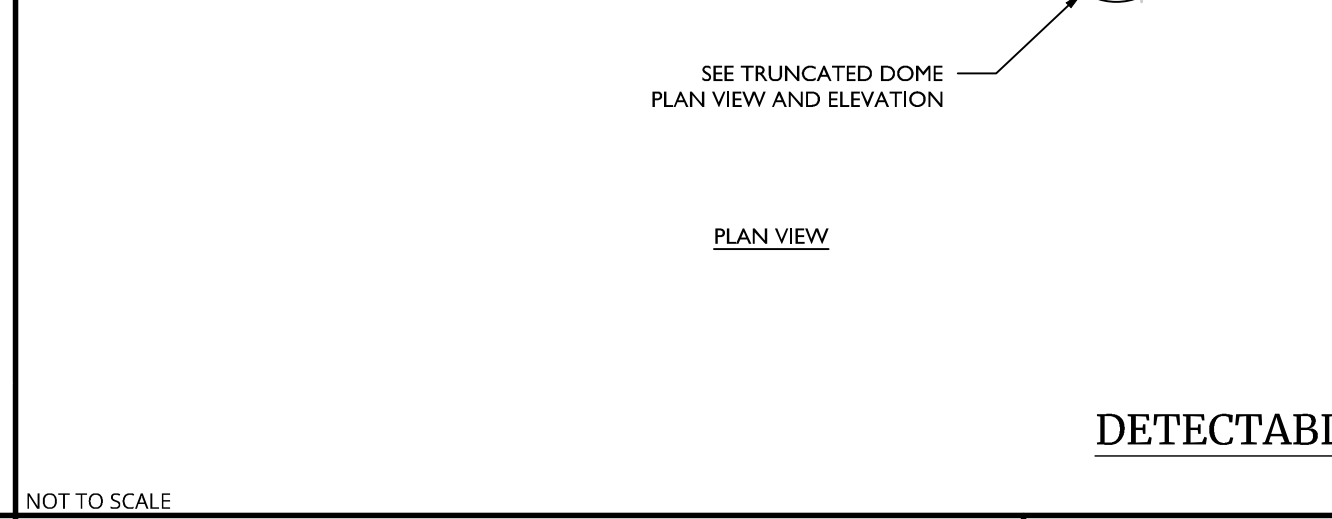
CONCRETE FLUSH CURB DETAIL
MCNY-SITE-CURB-1300



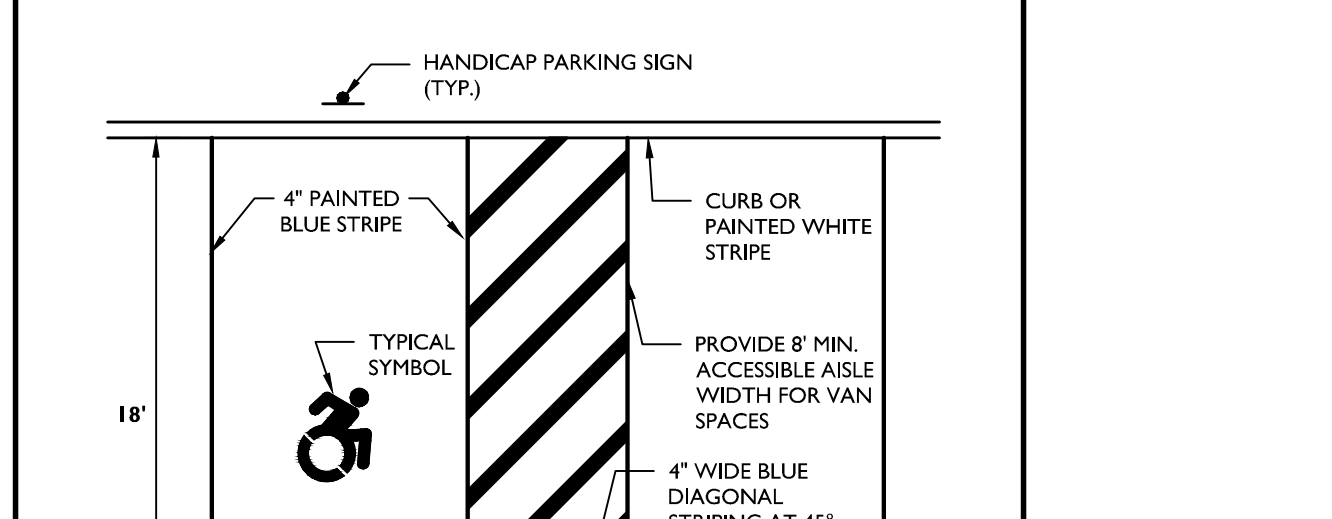
R5-1 SIGN DETAIL
MCCM-SIGN-REGU-R5-1



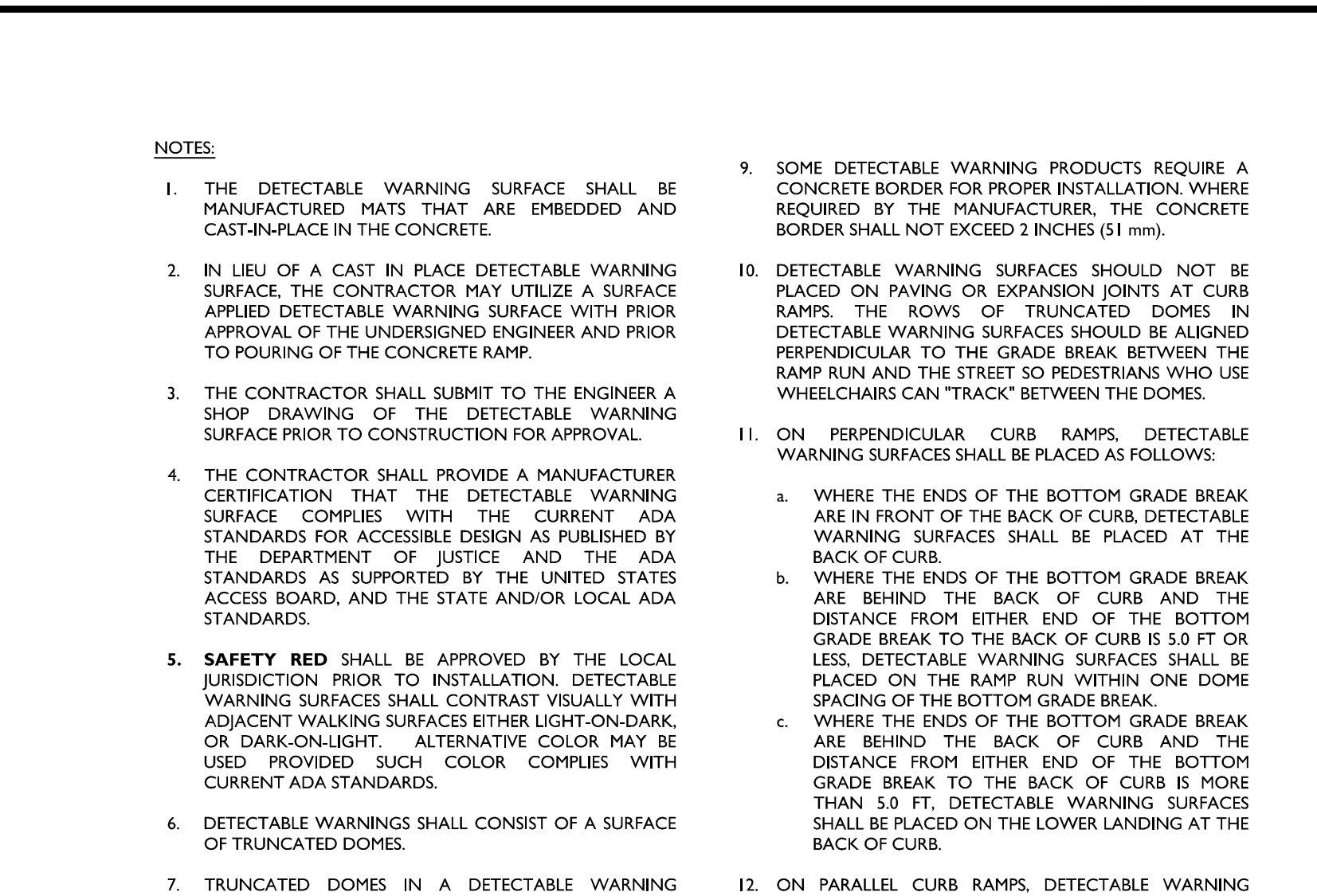
REINFORCED CONCRETE SIDEWALK (NEXT TO CURB) DETAIL
MCNY-SITE-PMVT-1800



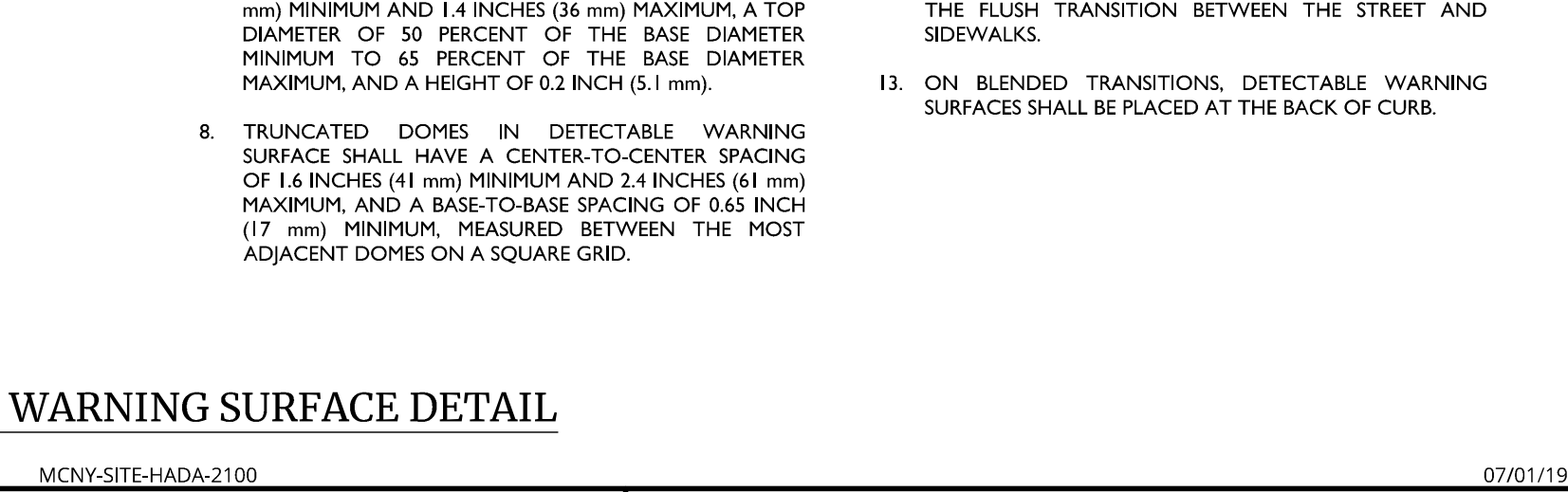
TYPICAL STOP BAR DETAIL
MCNY-SITE-MRKG-1100



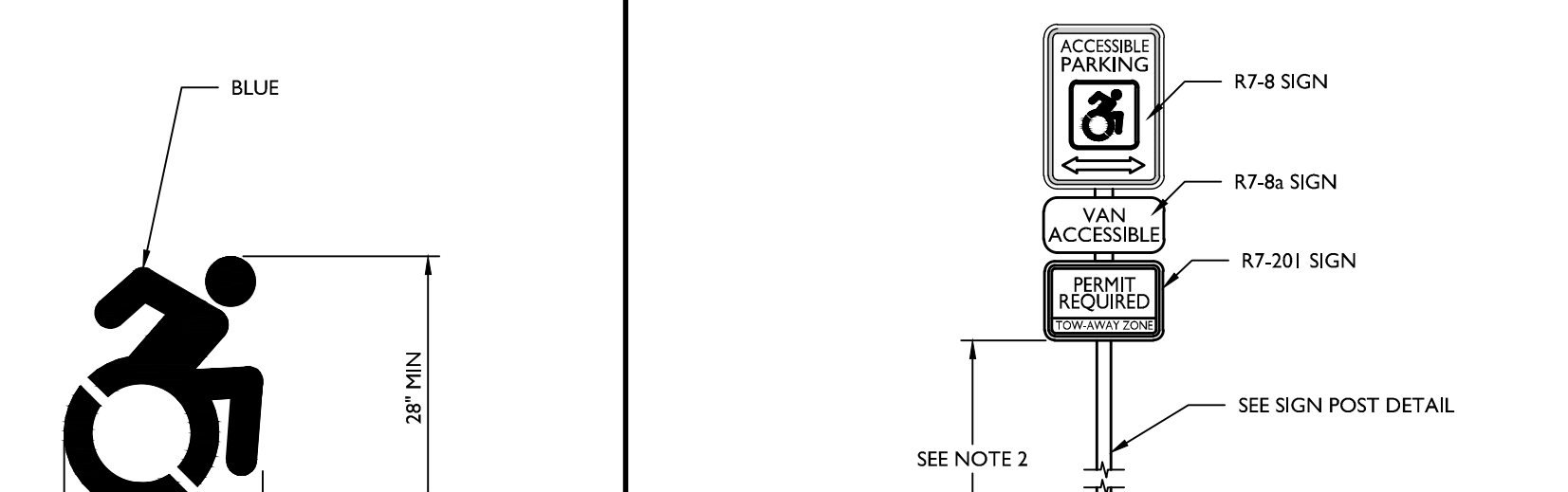
STRAIGHT PAVEMENT ARROW DETAIL
MCNY-SITE-MRKG-1200



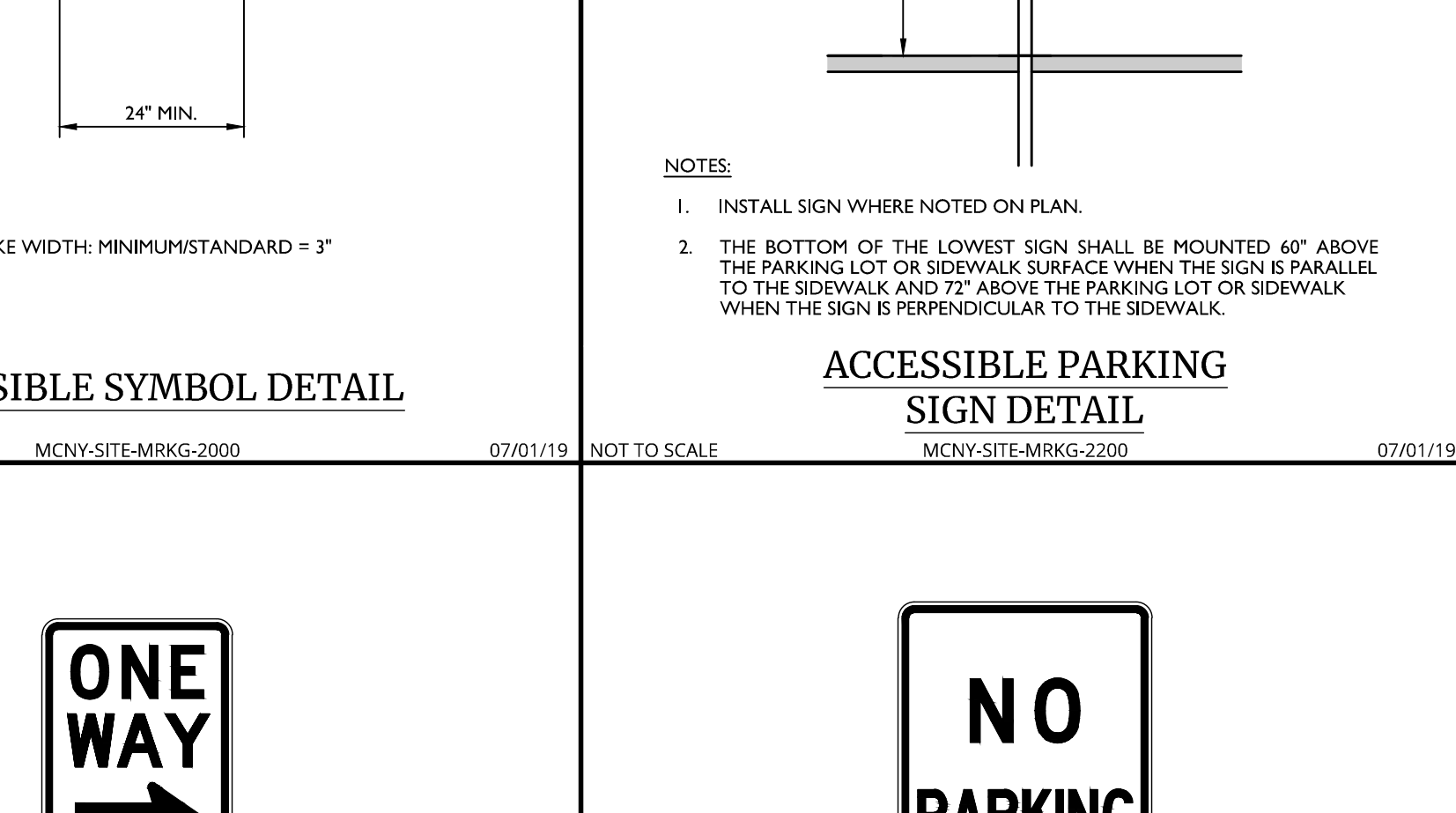
FLUSH CURB DETAIL
MCCM-SIGN-REGU-R6-2



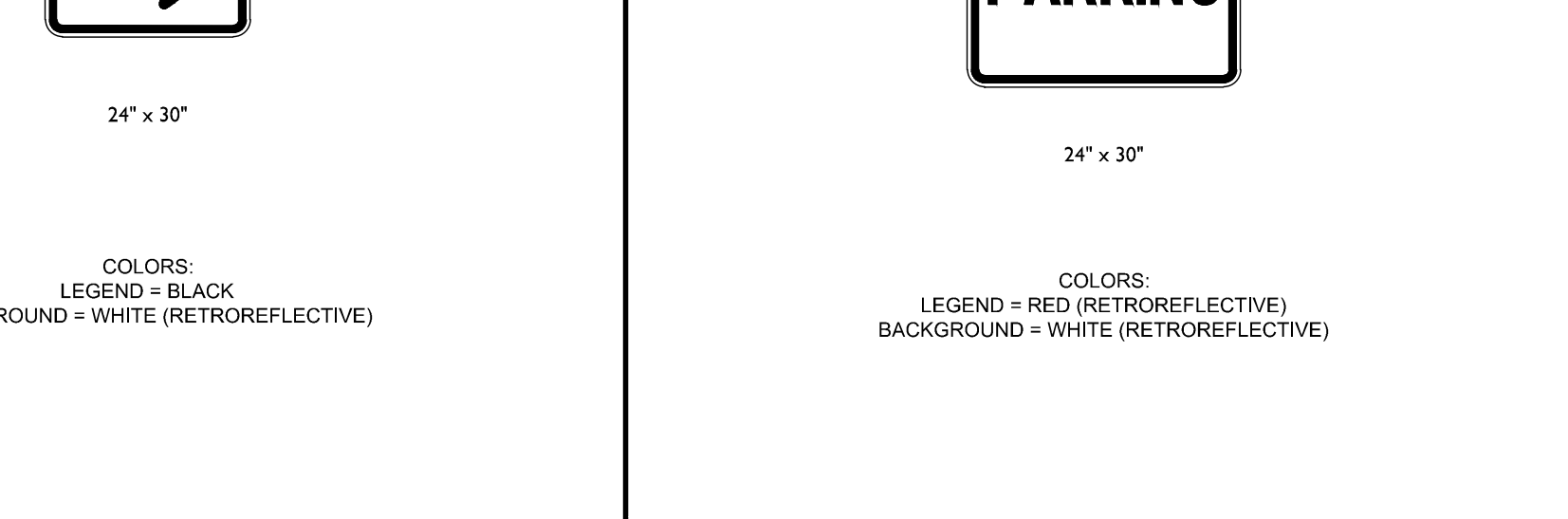
R6-2R SIGN DETAIL
MCCM-SIGN-REGU-R6-2



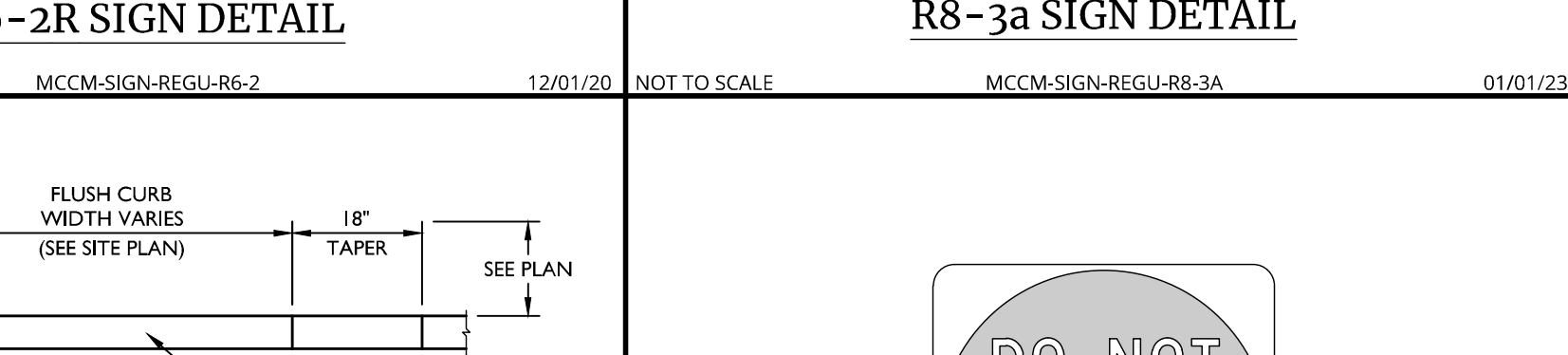
R8-3a SIGN DETAIL
MCCM-SIGN-REGU-R8-3a



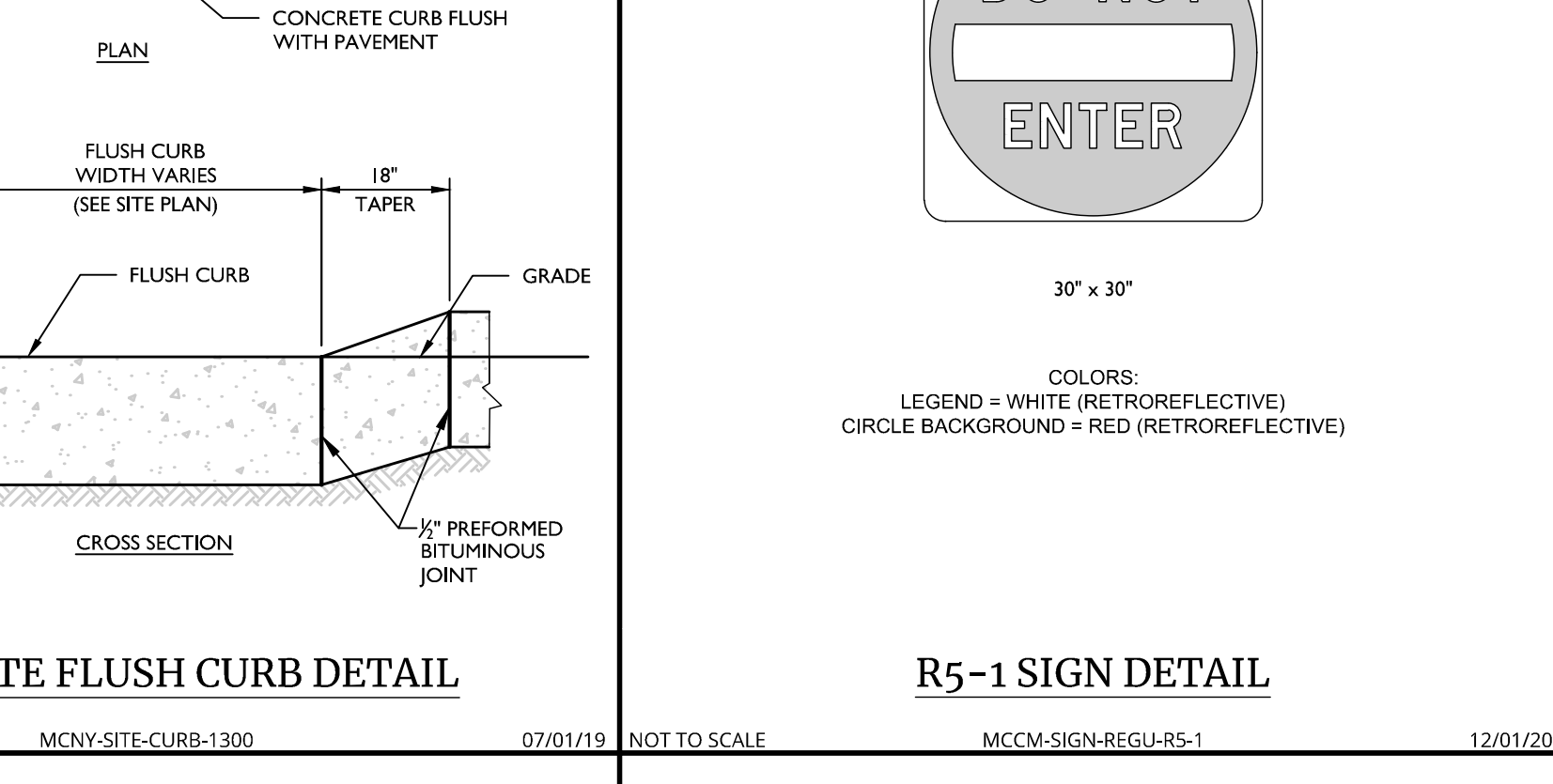
CONCRETE FLUSH CURB DETAIL
MCNY-SITE-CURB-1300



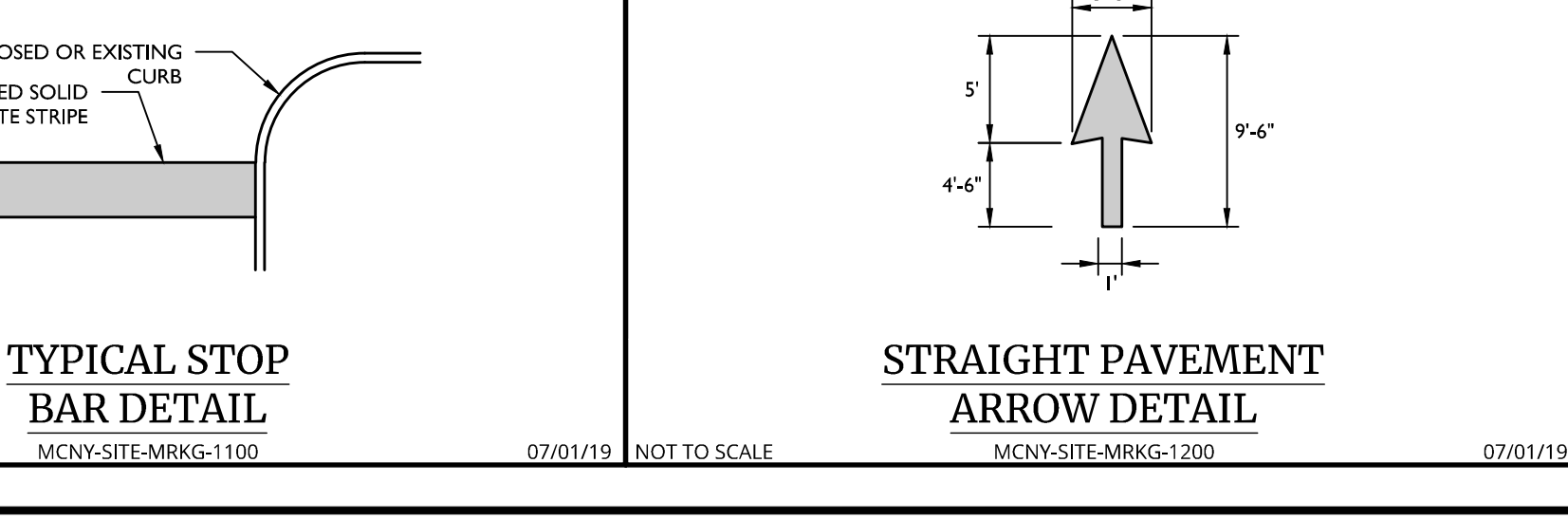
R5-1 SIGN DETAIL
MCCM-SIGN-REGU-R5-1



R6-2R SIGN DETAIL
MCCM-SIGN-REGU-R6-2



R8-3a SIGN DETAIL
MCCM-SIGN-REGU-R8-3a



R5-1 SIGN DETAIL
MCCM-SIGN-REGU-R5-1

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REV	DATE	DESCRIPTION
1	07/01/19	ISSUE FOR PERMITS
2	07/01/19	ISSUE FOR PERMITS
3	07/01/19	ISSUE FOR PERMITS
4	07/01/19	ISSUE FOR PERMITS
5	07/01/19	ISSUE FOR PERMITS
6	07/01/19	ISSUE FOR PERMITS
7	07/01/19	ISSUE FOR PERMITS
8	07/01/19	ISSUE FOR PERMITS
9	07/01/19	ISSUE FOR PERMITS
10	07/01/19	ISSUE FOR PERMITS
11	07/01/19	ISSUE FOR PERMITS
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27	07/01/19	ISSUE FOR PERMITS
28	07/01/19	ISSUE FOR PERMITS
29	07/01/19	ISSUE FOR PERMITS
30	07/01/19	ISSUE FOR PERMITS

Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

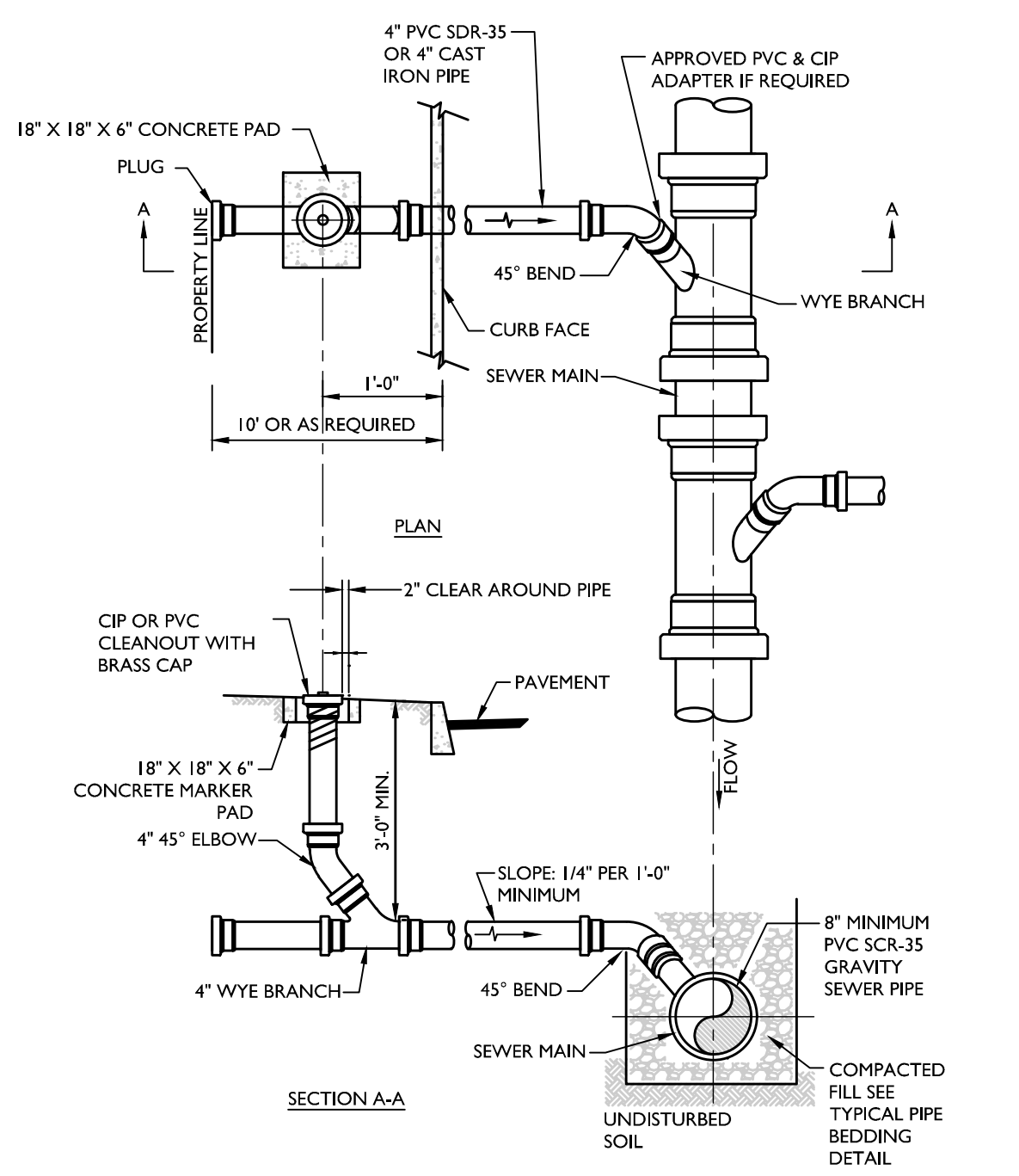
SITE PLAN
FOR
BUDGET STORE & LOCK SELF STORAGE
SECTION 60
BLOCK 3
LOT 22.222
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

Colliers
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4499
Colliers Engineering & Design
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12000 Old County Road
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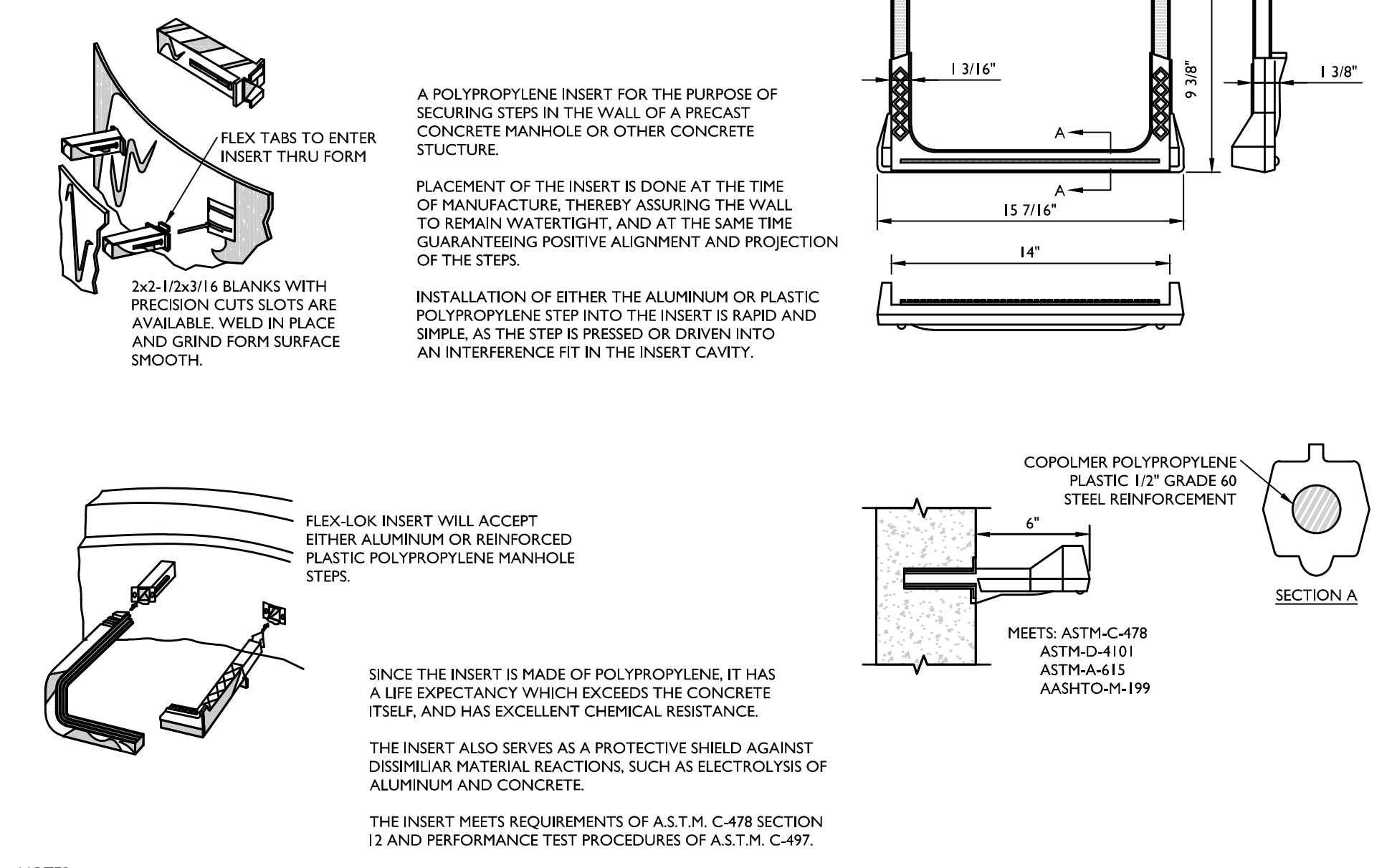
SCALE: AS SHOWN
DATE: 06/06/2024
PROJECT NUMBER: 24000891A
DRAWING NAME: C-0115

DRAWN BY: RAS
CHECKED BY: CPM
DATE: 06/06/2024
PROJECT NUMBER: 24000891A
DRAWING NAME: C-0115

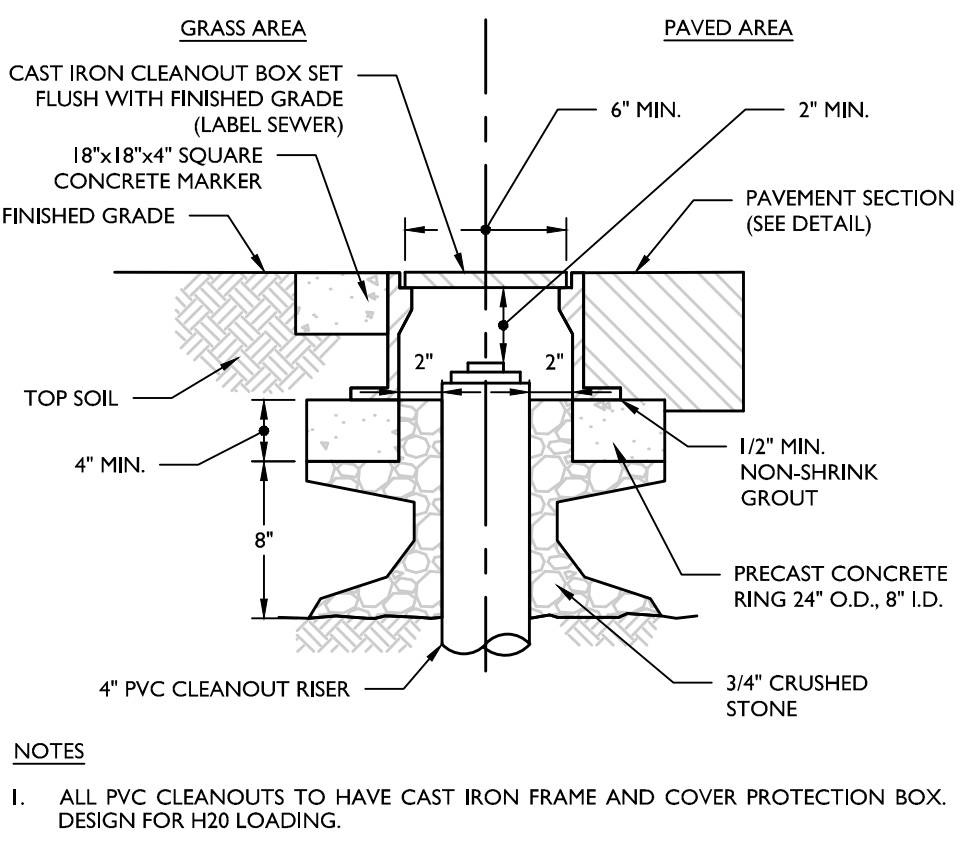
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: C-9.1



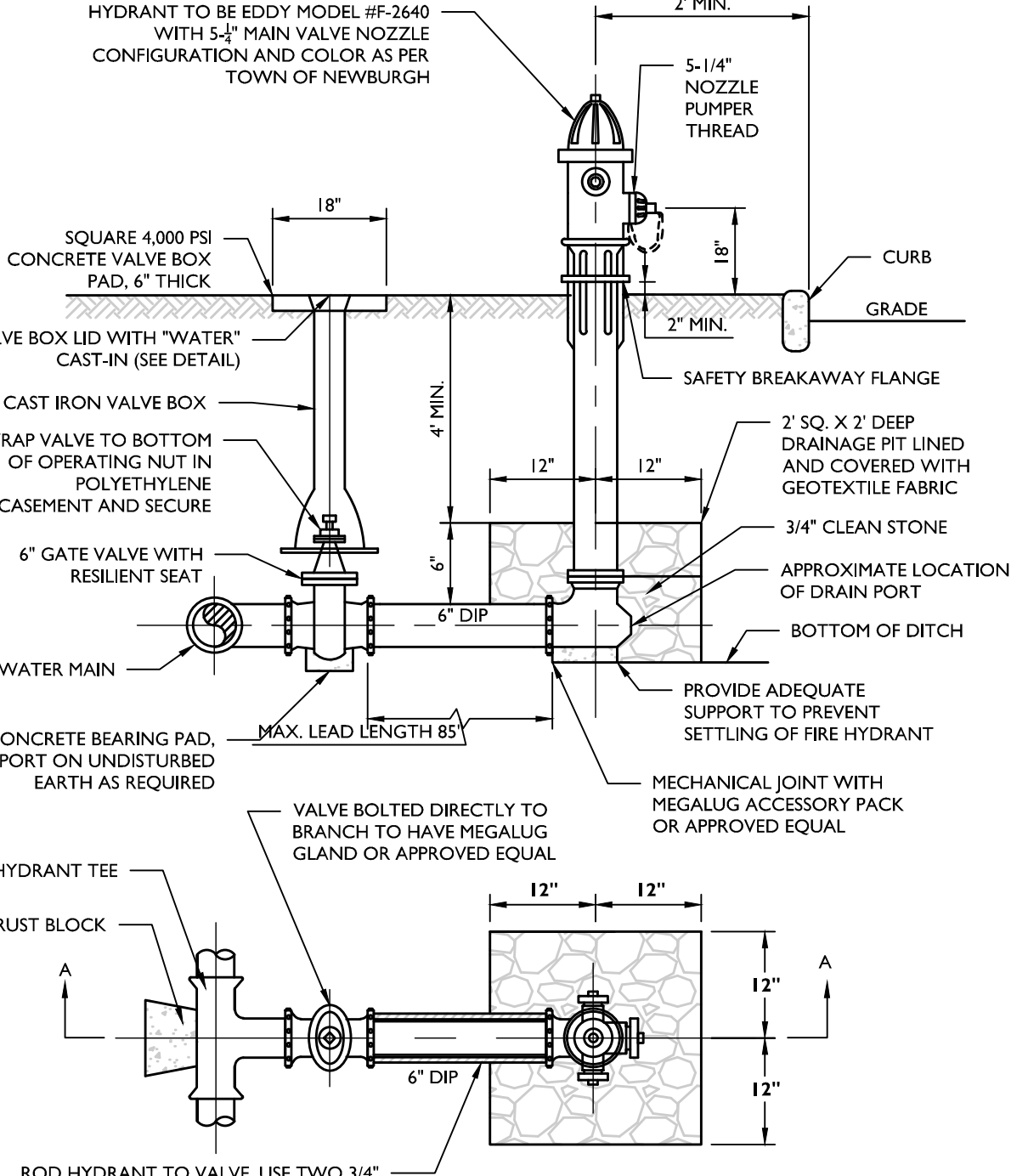
SANITARY SEWER LATERAL & CLEANOUT DETAIL



LADDER RUNG (COPOLYMER) DETAIL



CLEANOUT PROTECTION BOX DETAIL

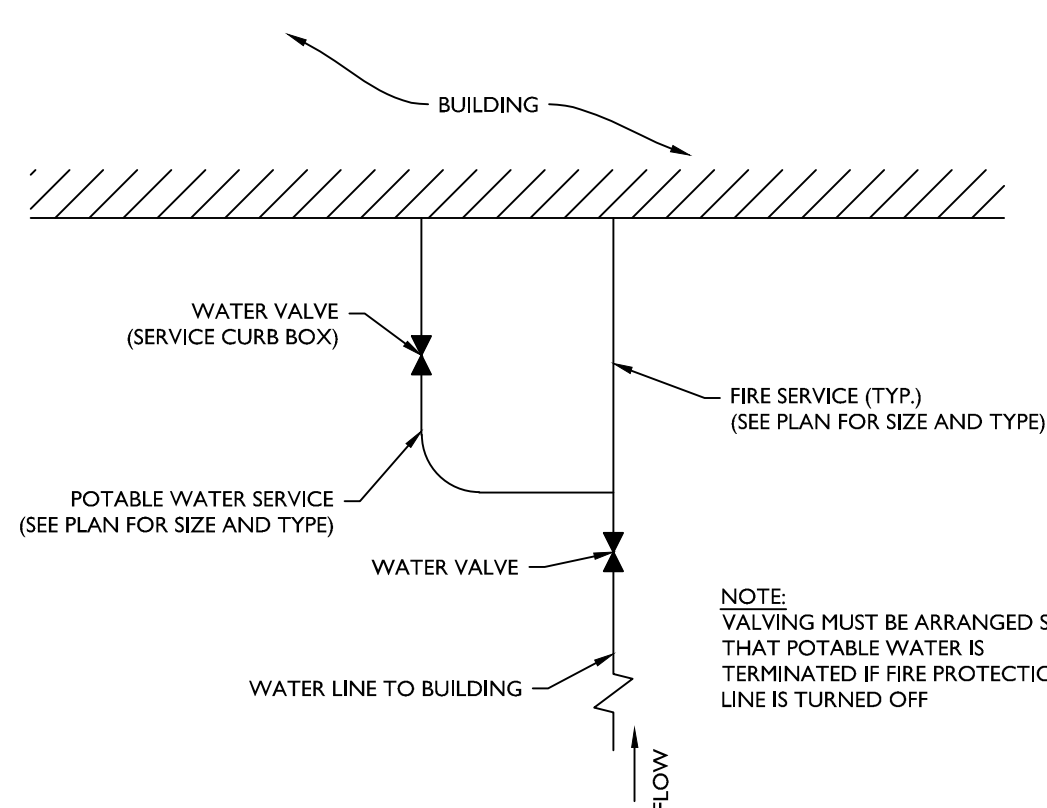


FIRE HYDRANT (VALVE IN GRASS) DETAIL

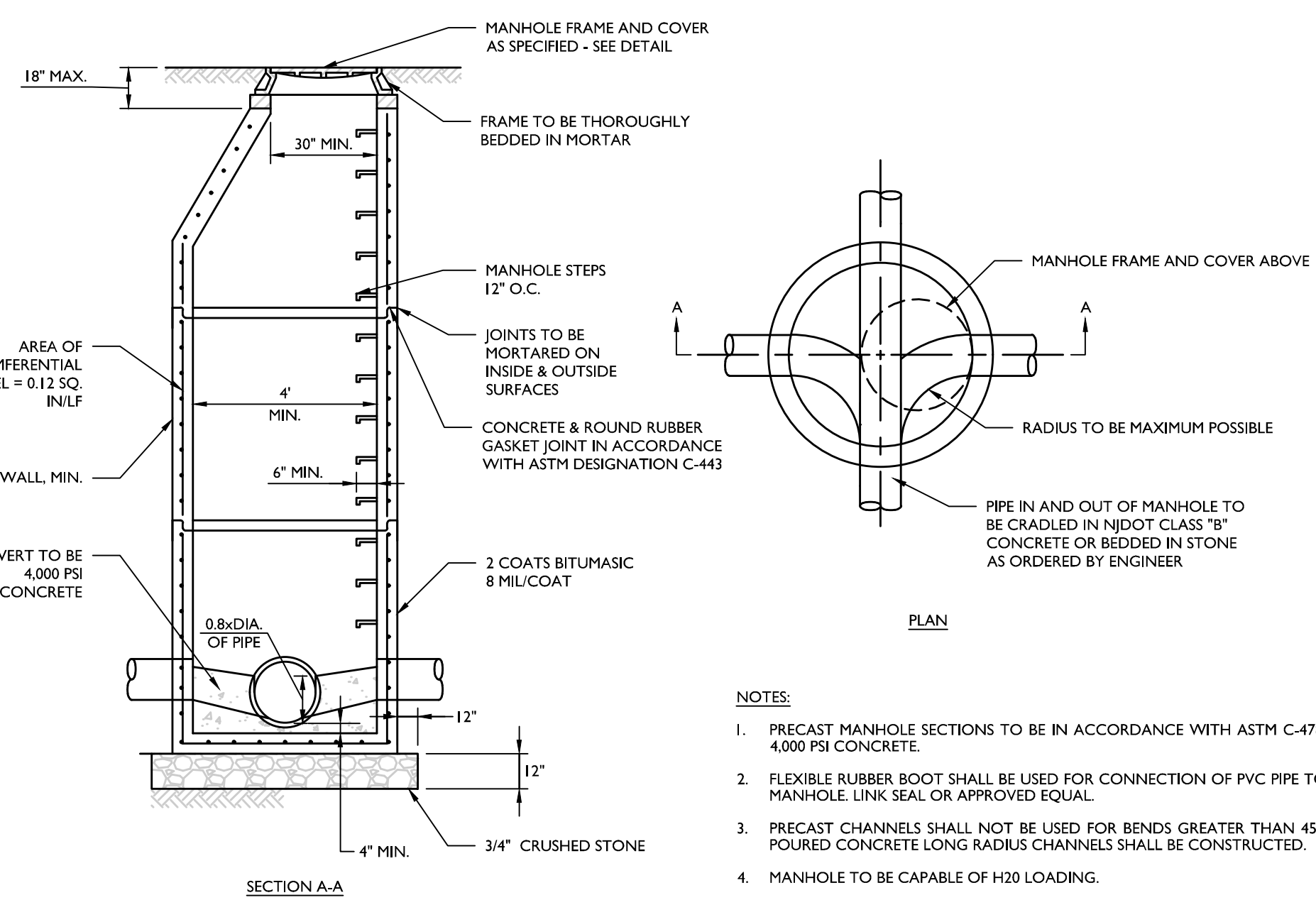
- NOTES:**
- HYDRANT SHALL BE EDDY MODEL #F-2400 DESIGN WITH THE FOLLOWING SPECIFICATION:
 - SAFETY COUPLED STANDPIPE.
 - 4\"/>
 - HYDRANT OPERATIONS AND HYDRANT NOZZLE CAP NUTS SHALL BE IN ACCORDANCE WITH AWWA/CES STANDARD C502.
 - HYDRANT HOSE CAPS SHALL BE ATTACHED BY MEANS OF CHAINS.
 - STANDPIPE (BREAK-AWAY) COUPLING SHALL NOT EXCEED A MAXIMUM OF 5 INCHES FROM THE TOP OF THE CURB TO THE BOTTOM OF THE DRAIN PORT.
 - THE DRAIN VALVE SHALL BE CLEAR OF ANY OBSTRUCTIONS, AND 3/4\"/>

MECHANICAL JOINTS

ANGLE	D =	R =	L =
45°	T x 1.144	T x 1.000	D-2A
22.5°	T x 2.613	T x 2.414	D-2A
11.25°	T x 5.126	T x 5.027	D-2A

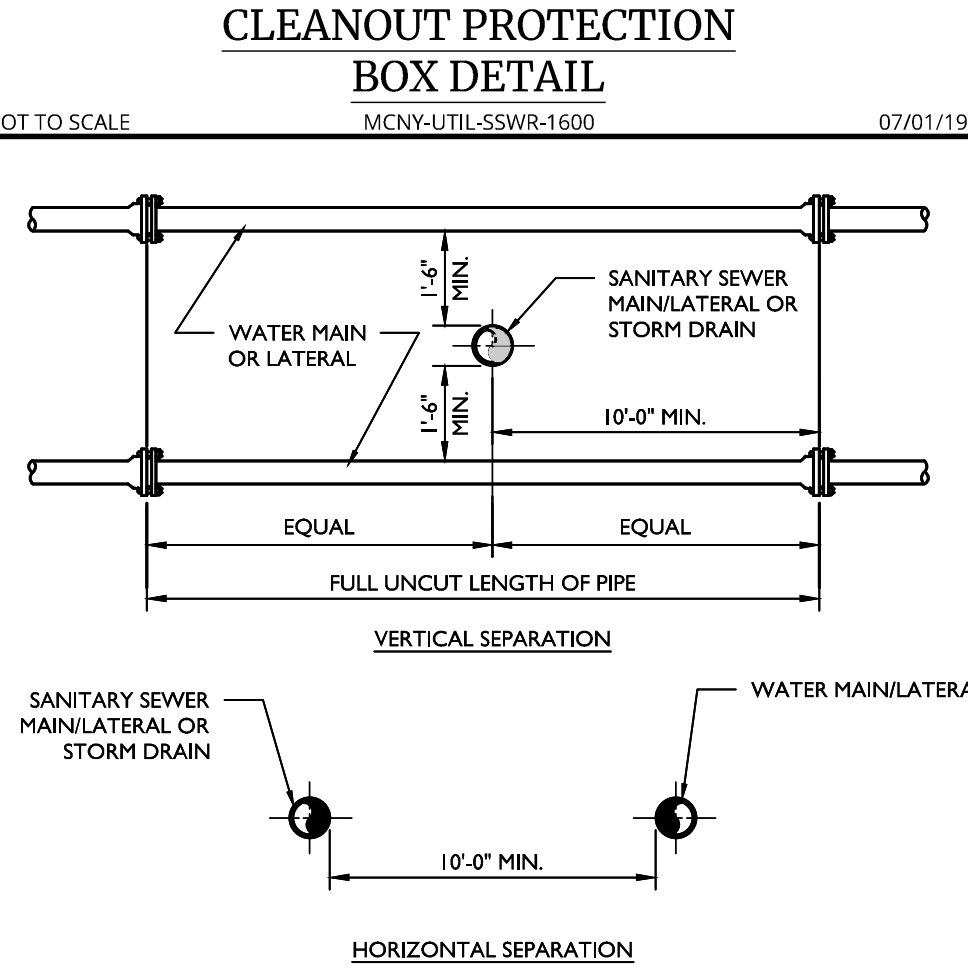


TOWN OF NEWBURGH FIRE PROTECTION FLOW TO BLDG. CONNECTION DETAIL



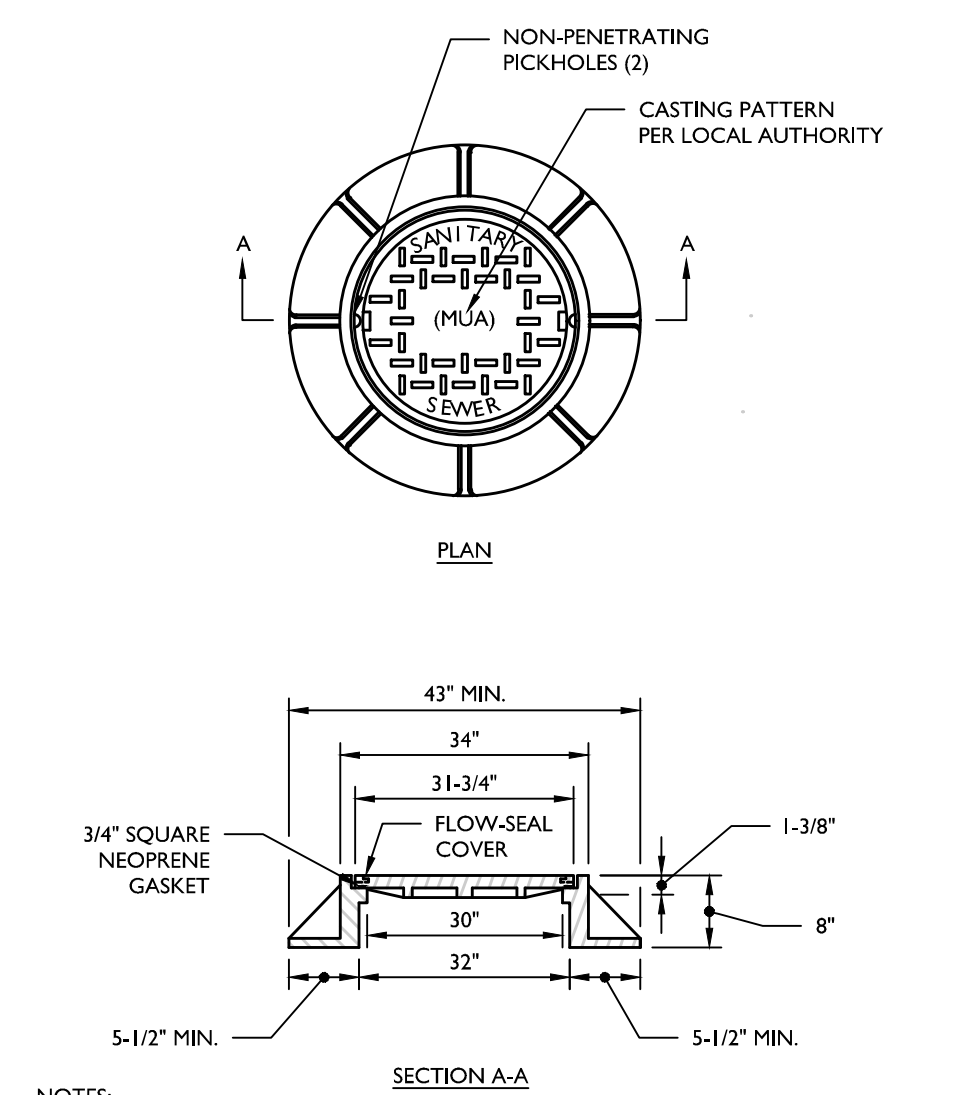
SANITARY PRECAST MANHOLE DETAIL

- NOTES:**
- PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH ASTM C-478, 4,000 PSI CONCRETE.
 - FLEXIBLE RUBBER BOOT SHALL BE USED FOR CONNECTION OF PVC PIPE TO MANHOLE LINK SEAL OR APPROVED EQUAL.
 - PRECAST CHANNELS SHALL NOT BE USED FOR BENDS GREATER THAN 45° POURED CONCRETE LONG RADIUS CHANNELS SHALL BE CONSTRUCTED.
 - MANHOLE TO BE CAPABLE OF H20 LOADING.



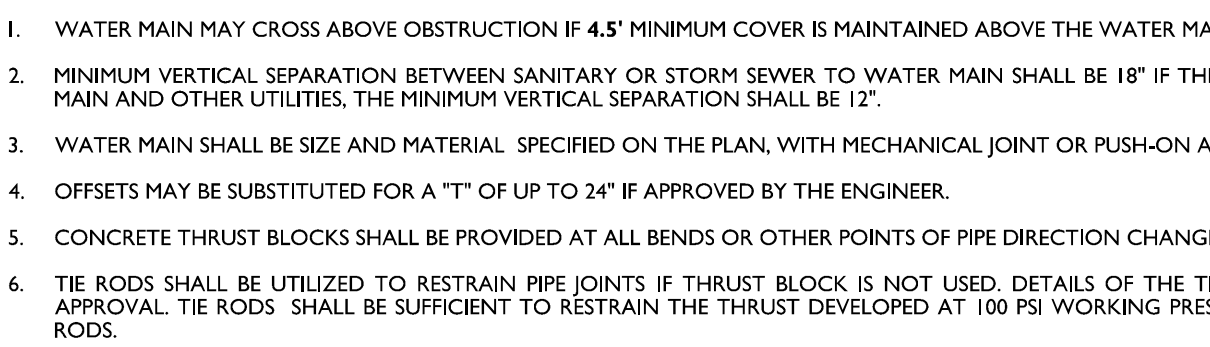
SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL

- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DEPARTMENT OF HEALTH.



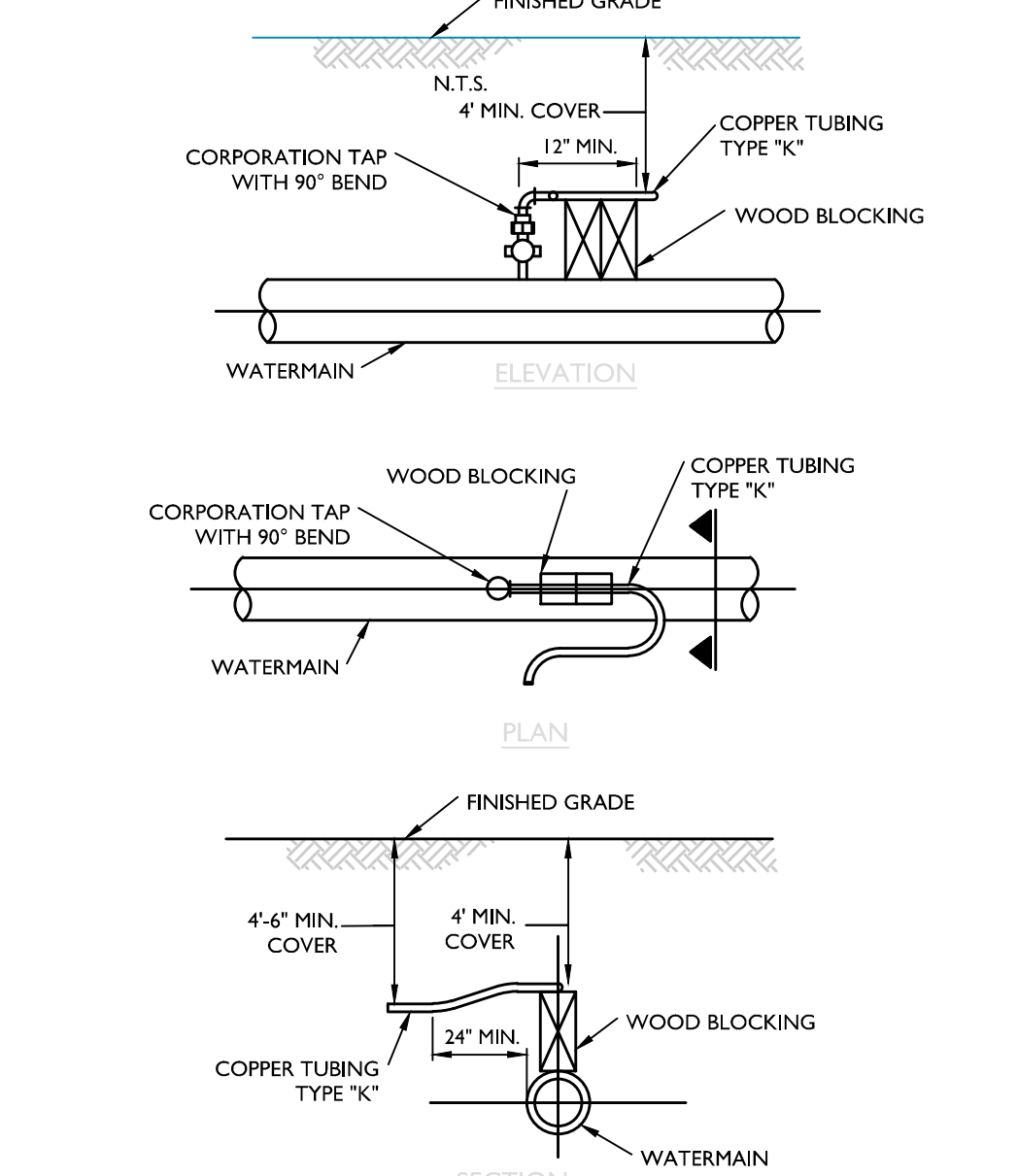
SANITARY MANHOLE FRAME AND COVER DETAIL

- NOTES:**
- MANHOLE FRAME AND COVER SHALL BE CAMPBELL FOUNDRY PATTERN # 1012B WITH FLOW-SEAL COVER OR APPROVED EQUAL OR AS OTHERWISE REQUIRED BY JURISDICTIONAL AUTHORITY.
 - MANHOLE FRAME AND COVER TO BE HEAVY DUTY, CONFORMING TO ASTM SPECIFICATION A-48 CLASS 30-8 WITH SHOP COAT OF ASPHALTIC PITCH.
 - IN EASEMENTS AND REMOTE AREAS, COVER LOCKING DEVICES OF BRONZE AND KEY SHALL BE PROVIDED.
 - WATERTIGHT MANHOLE FRAME AND COVER SHALL BE PATTERN # 4548 AS MANUFACTURED BY CAMPBELL FOUNDRY COMPANY OR APPROVED EQUAL.

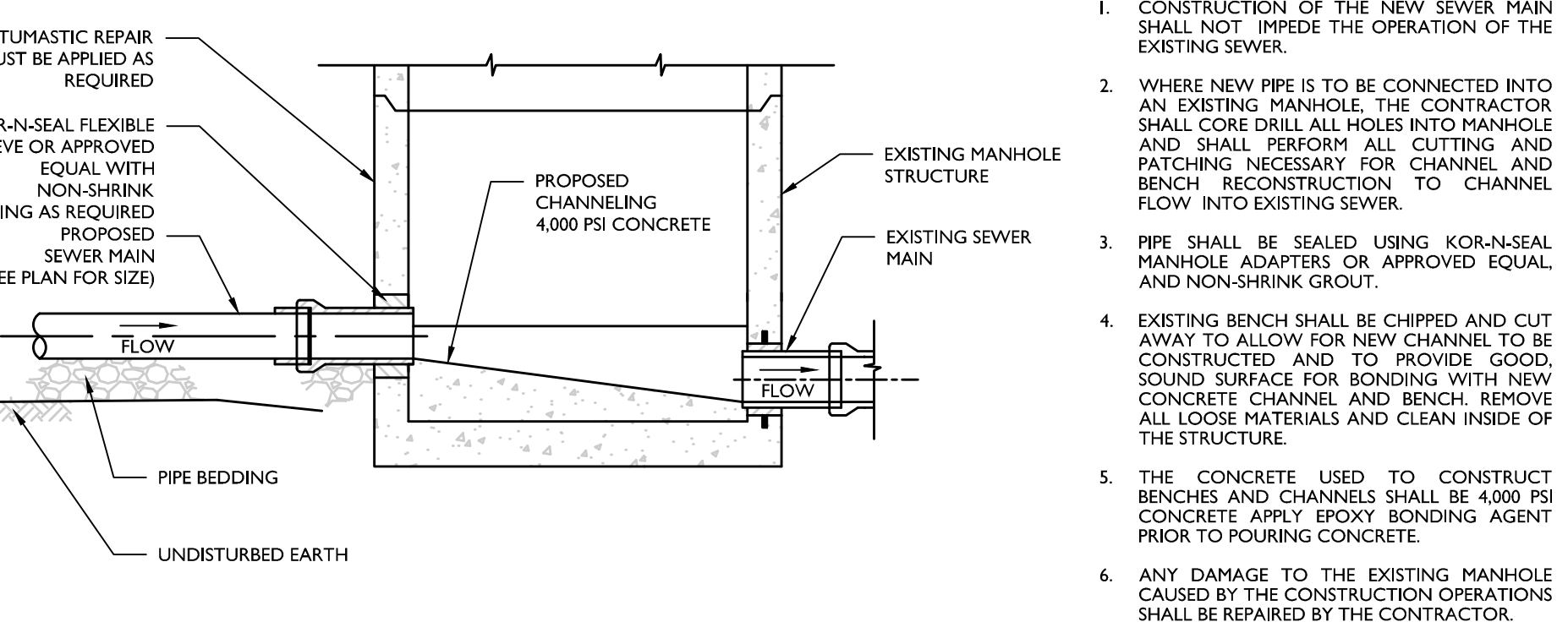


WATER CROSSING UNDER UTILITY DETAIL

- NOTES:**
- WATER MAIN MAY CROSS ABOVE OBSTRUCTION IF 4.5\"/>

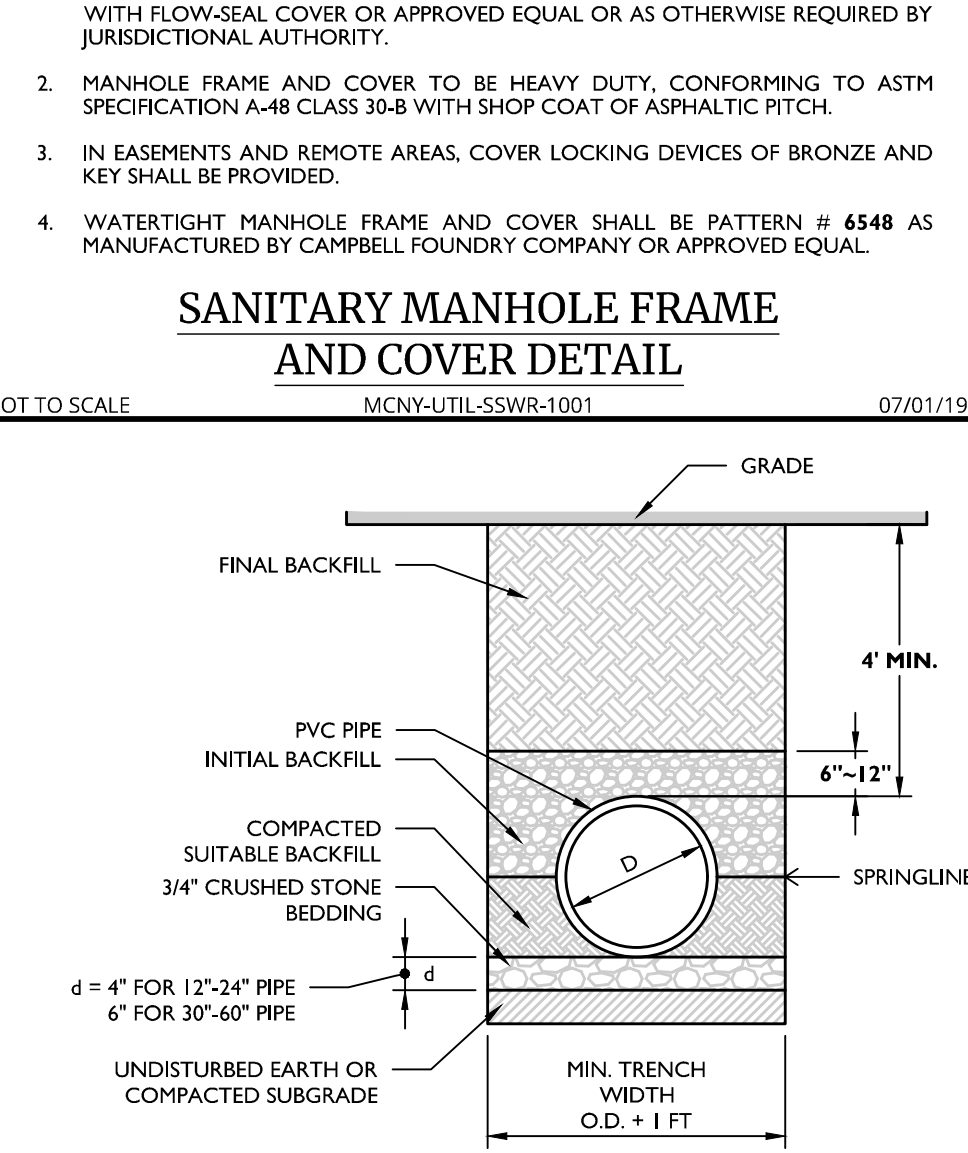


POTABLE WATER SERVICE TAP DETAIL



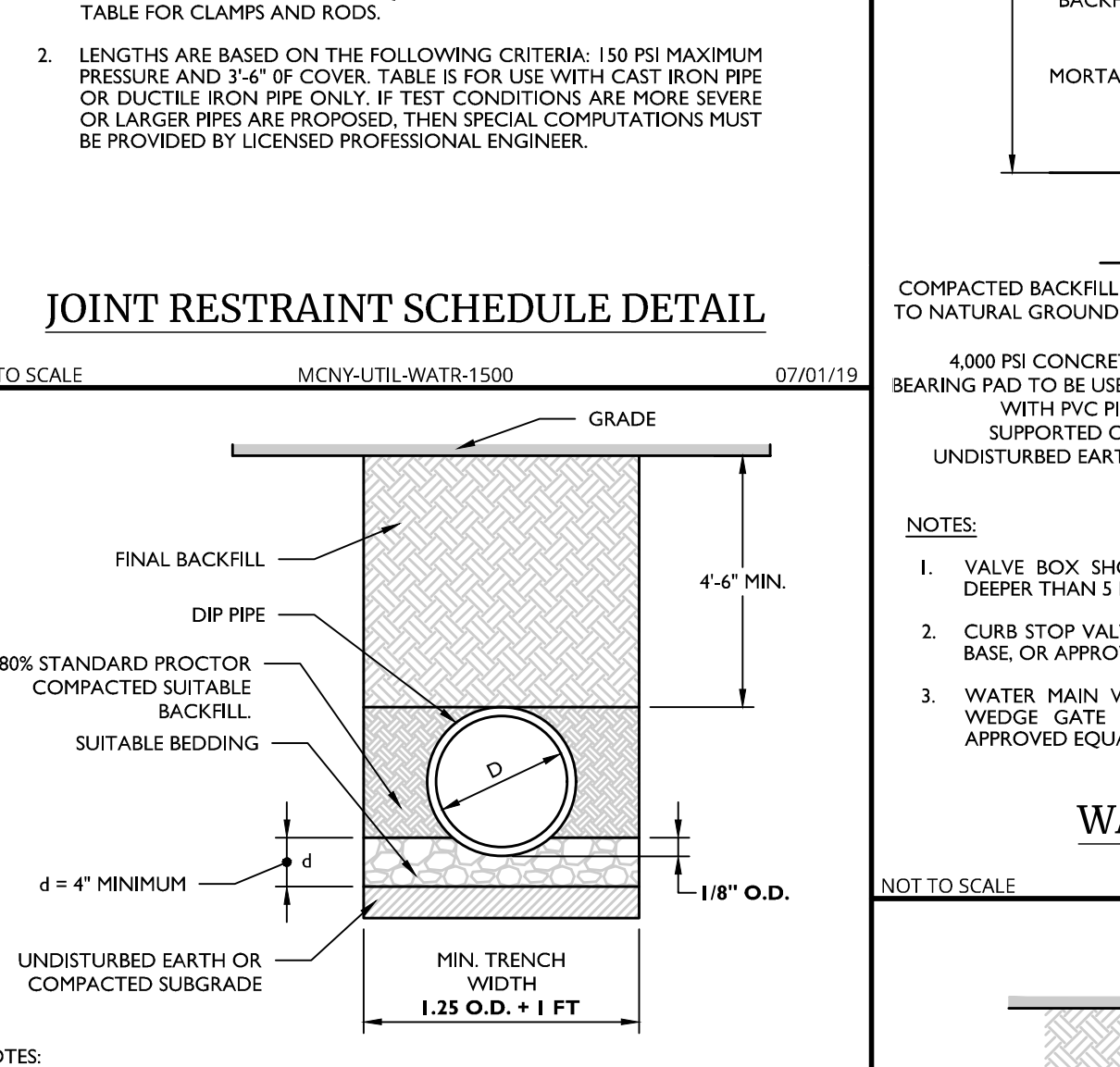
CONNECTION TO EXISTING SANITARY MANHOLE DETAIL

- NOTES:**
- CONSTRUCTION OF THE NEW SEWER MAIN SHALL NOT IMPAIR THE OPERATION OF THE EXISTING SEWER.
 - WHERE NEW PIPE IS TO BE CONNECTED INTO AN EXISTING MANHOLE, THE CONTRACTOR SHALL CORE DRILL ALL HOLES INTO MANHOLE AND SHALL PERFORM ALL CUTTING AND PATCHING NECESSARY FOR CHANNEL AND BENCH RECONSTRUCTION TO CHANNEL FLOW INTO EXISTING SEWER.
 - PIPE SHALL BE SEALED USING KOR-NEAL MANHOLE ADAPTERS OR APPROVED EQUAL, AND NON-SHRINK GROUT.
 - EXISTING BENCH SHALL BE CHIPPED AND CUT AWAY TO ALLOW FOR NEW CHANNEL TO BE CONSTRUCTED AND TO PROVIDE GOOD SOUND SURFACE FOR BONDING WITH NEW CONCRETE CHANNEL AND BENCH. REMOVE ALL LOOSE MATERIALS AND CLEAN INSIDE OF THE STRUCTURE.
 - THE CONCRETE USED TO CONSTRUCT BENCHES AND CHANNELS SHALL BE 4,000 PSI CONCRETE APPLY EPOXY BONDING AGENT PRIOR TO POURING CONCRETE.
 - ANY DAMAGE TO THE EXISTING MANHOLE CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR.



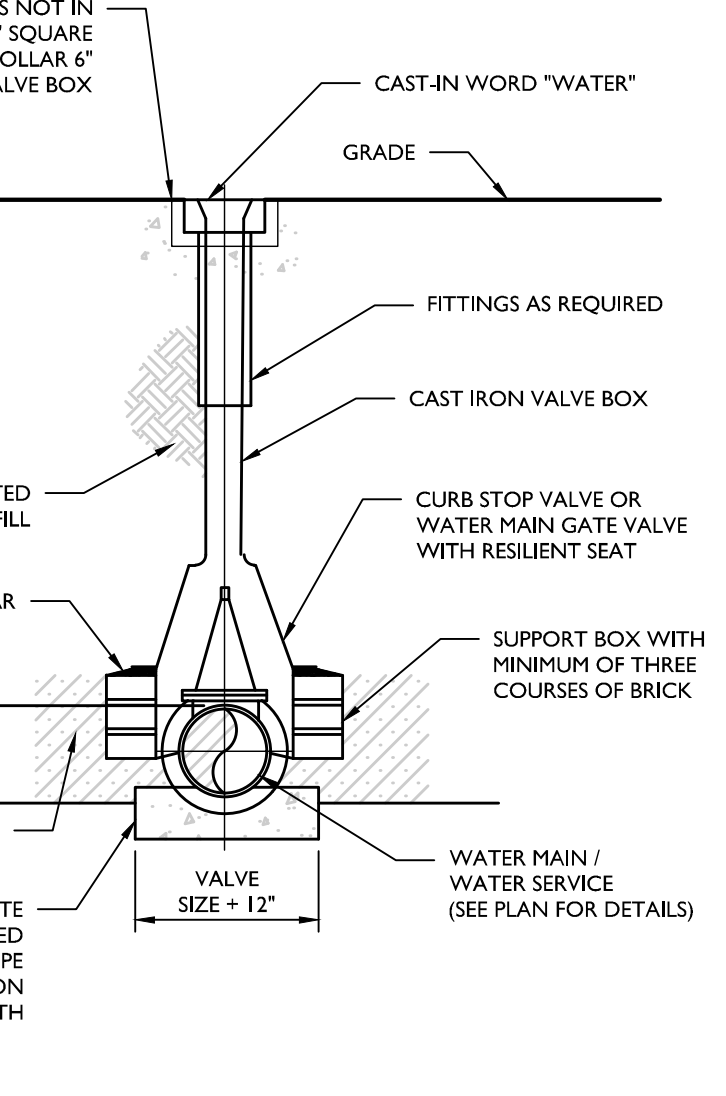
PVC SANITARY PIPE BEDDING (GRAVITY) DETAIL

- NOTES:**
- ALL PVC GRAVITY PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2231.
 - GRAVITY SANITARY PIPE SHALL BE PVC SDR 35 PER ASTM D2034 OR AS REQUIRED BY THE GOVERNING AUTHORITY.



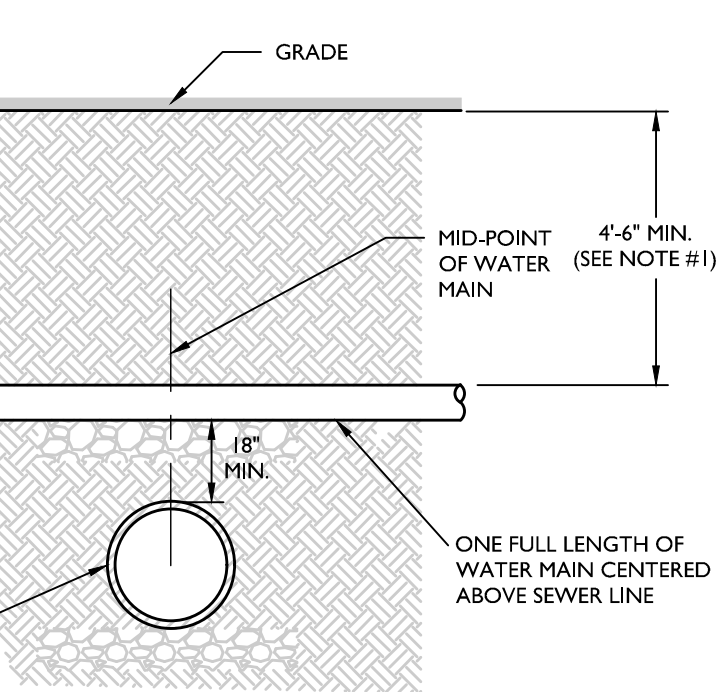
DIP WATER PIPE BEDDING DETAIL

- NOTES:**
- ALL PVC SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2231.
 - WATER MAIN PIPE SHALL BE CEMENT UNLINED DUCTILE IRON PIPE (DIP) PRESSURE CLASS 150, THICKNESS CLASS 52 WITH ASPHALTIC EPOXY TYPE COATING.
 - SUITABLE BACKFILL MATERIAL SHALL BE SAND, GRAVEL, OR 3/4\"/>



WATER VALVE BOX DETAIL

- NOTES:**
- VALVE BOX SHOULD HAVE EXTENSION IF WATER MAIN OR SERVICE IS PLACED DEEPER THAN 5 FEET.
 - CURB STOP VALVE BOX SHALL BE MUELLER EXTENSION TYPE WITH ARCH PATTERN BASE OR APPROVED EQUAL.
 - WATER MAIN VALVE BOX SHALL BE SCREW TYPE ADJUSTABLE MODE, RESILIENT WEDGE GATE VALVE FIGURE #A-350-23 AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.



WATER CROSSING OVER SEWER DETAIL

- NOTES:**
- WATER MAIN MAY CROSS ABOVE OBSTRUCTION IF 4.5\"/>

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COLLIERS ENGINEERING & DESIGN CT, P.C.

SITE PLAN FOR BUDGET STORE & LOCK SELF STORAGE

SECTION 60
BLOCK 3
LOT 22.222

TOWN OF NEWBURGH
ORANGE COUNTY
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SCALE: AS SHOWN DATE: 06/06/2024 DRAWN BY: RAS CHECKED BY: CPM
PROJECT NUMBER: 24000981A DRAWING NAME: C-0115

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: C-9.2

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