

CONSULTANT:

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**REVIEW AND APPROVAL**

20 FEB 24 SIGN PERMIT APPLICATION  
06 DEC 23 SIGN PERMIT APPLICATION  
28 JUL 23 APPROVED FOR CONSTRUCTION

OWNER:  
**JW CONGREGATION SUPPORT, INC.**  
1005 RED MILLS ROAD  
WALLKILL, NY 12589-3283

PROJECT TITLE:  
**NEWBURGH KINGDOM HALL OF JEHOVAH'S WITNESSES**  
33 OLD LITTLE BRITAIN RD  
NEWBURGH, NY 12550

SHEET TITLE:  
**SITE PLAN**

PROJECT No. **37147**

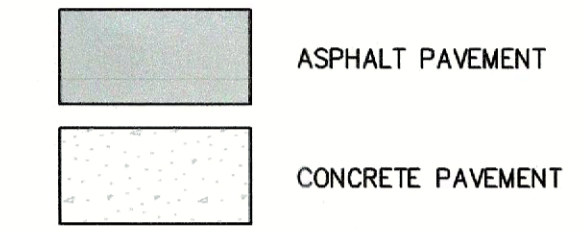
SHEET No. **CS101**

SITE SIGN TABLE				
SIGN NO.	DESC.	M.U.T.C.D NO./SIZE	QTY	COLOR*
1		R1-1 30" X 30"	1	LEGEND: RED-RETROFLECTIVE BACKGROUND; WHITE-RETROFLECTIVE
2		R7-8 12" X 18"	3	LEGEND: GREEN-RETROFLECTIVE BACKGROUND; WHITE-RETROFLECTIVE SYMBOL BACKGROUND; BLUE-RETROFLECTIVE
3		R7-8a 12" X 6"	1	LEGEND: GREEN-RETROFLECTIVE (OR BLACK) BACKGROUND; WHITE-RETROFLECTIVE
4		R7-1 12" X 18"	1	LEGEND: RED BACKGROUND; WHITE-RETROFLECTIVE

**GENERAL SHEET NOTES**

- REFER TO C-001 COVER SHEET FOR GENERAL NOTES REFERENCING SURVEY INFORMATION, DATUMS, GENERAL PROJECT AND CONSTRUCTION INFORMATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MOST RECENT EDITION AS REVISED) AND AS REQUIRED BY THE TOWN OF NEWBURGH'S HIGHWAY DEPARTMENT DURING CONSTRUCTION WITHIN THE PUBLIC R.O.W. CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN THE PROJECT AREA.
- REQUIRED SIGNAGE AND STRIPING OF FIRE ZONES OR ACCESS LANES SHALL BE AS REQUIRED BY FIRE OFFICIAL.
- PAINT ALL PARKING STALLS, STOP BARS, CROSSWALKS AND HANDICAP ACCESSIBLE SPACES. ALLOW PAVING TO AGE 30 DAYS BEFORE APPLYING MARKINGS.
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SOLID WASTE WILL BE PRIVATELY HANDLED. WASTE ACCUMULATED DAILY IS FROM LITTLE TO NONE AND IS DISPOSED OFF-SITE BY THE PATRONS. NO KITCHENS OR DAY CARE SERVICES WILL BE PART OF THE USE OF THE BUILDING. NO DUMPSTER OR MUNICIPAL SERVICE IS NECESSARY.
- DEMOLITION OF THE EXISTING BUILDINGS ON SITE WILL REQUIRE A DEMOLITION PERMIT FROM THE TOWN OF NEWBURGH BUILDING DEPARTMENT.

**PAVEMENT LEGEND**

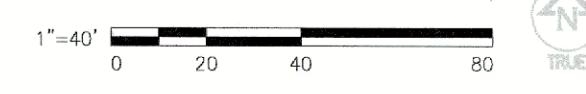
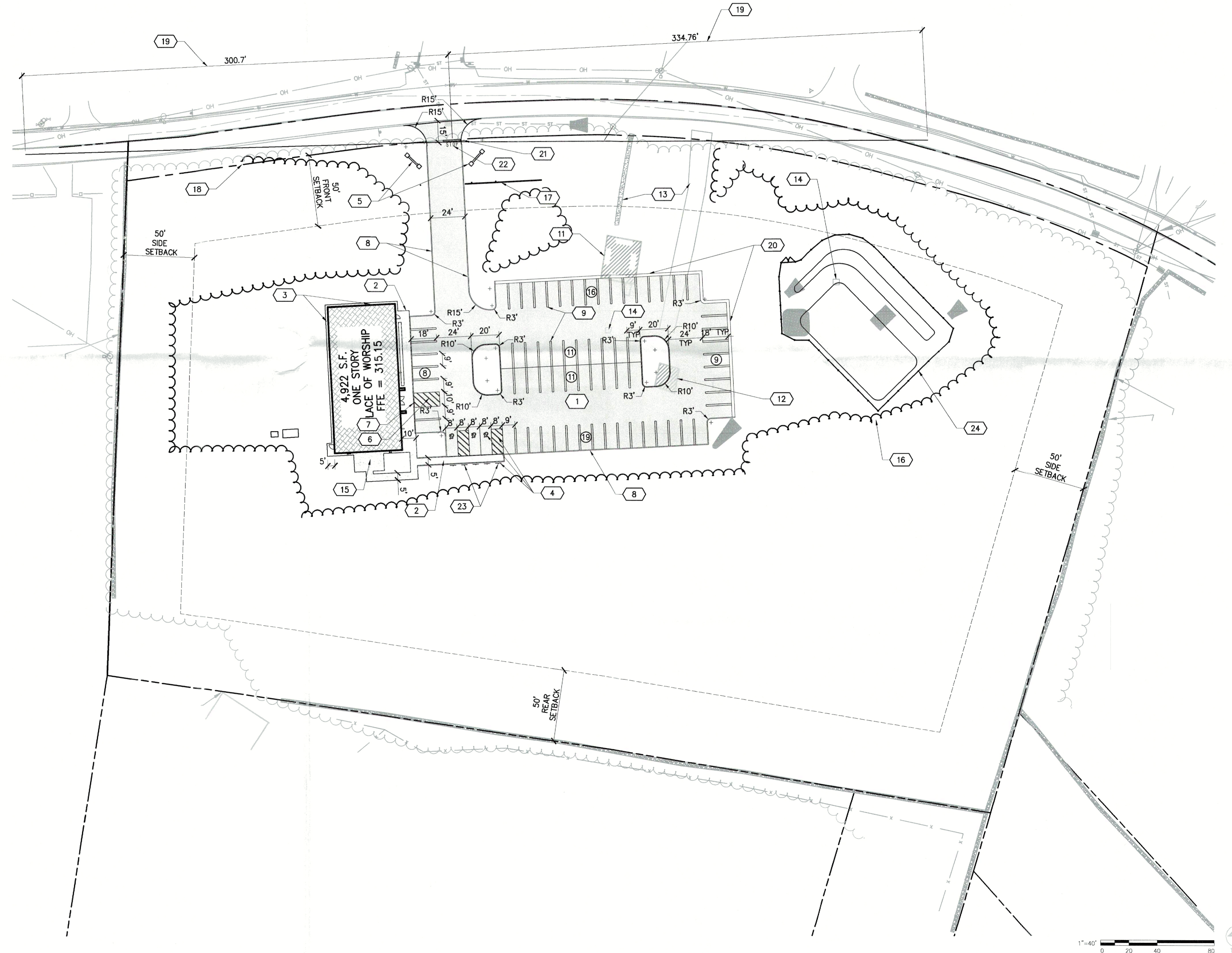


**SYMBOLS LEGEND**

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
BUILDING SETBACK LINE	---	---
BUILDING	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
FENCE	---	---
SIGN	---	---
WHEEL STOP	---	---
BOLLARD	---	---
ACCESSIBLE PARKING	---	---
LIGHT POLE (1-LIGHT)	---	---
HYDRANT	---	---
UTILITY POLE	---	---
PARKING SPACE COUNT	---	---

**SHEET KEYNOTES**

- STANDARD ASPHALT PAVEMENT. SEE DETAIL 3/C-502
- SIDEWALK CONCRETE PAVEMENT. SEE DETAIL 6/C-501
- 18" WIDE CONCRETE EDGE. SEE DETAIL 2/C-502
- ACCESSIBLE SIGNAGE AND STRIPING PER ADA STANDARDS. FACE OF SIGN SHALL BE A MINIMUM OF 2' FROM EDGE OF CURB. SEE DETAILS 2, 3, 4, AND 5, SHEET C-501
- STONE ENTRANCE WALLS AND MONUMENT SIGN. SEE DETAIL SHEET C-507
- 10'x18' STRIPED PEDESTRIAN ACCESS. SEE DETAIL 3/C-501
- 6" VERTICAL TURNDOWN SIDEWALK PAVEMENT. SEE DETAIL 7/C-501
- 6" VERTICAL REVEAL CURB, TAPERED TO FLUSH AT EACH END. SEE DETAIL 8/C-501
- 4" WIDE TRAFFIC WHITE STRIPING, TYP. SEE DETAIL 1/C-501
- RESERVED
- EXISTING ABANDONED HOUSE TO BE REMOVED
- EXISTING ABANDONED GARAGE TO BE REMOVED
- EXISTING GRAVEL DRIVE AND SIDEWALK TO BE REMOVED
- EXISTING DUG WELLS TO BE DECOMMISSIONED PER NYSDEC "WATER SUPPLY WELL DECOMMISSIONING RECOMMENDATIONS" AND NYSDOH "INDIVIDUAL WATER SUPPLY WELLS - FACT SHEET #4"
- CONCRETE HVAC PAD. SEE ARCHITECTURAL PLANS.
- PROPOSED TREE LINE
- PROPOSED SLIDE GATE. SEE DETAIL 12/C-501
- PROPOSED DEDICATION OF 25' RIGHT-OF-WAY
- SIGHT DISTANCE MEASUREMENTS
- 6" VERTICAL ASPHALT WING CURB. SEE DETAIL 9/C-501
- STOP SIGN, SEE DETAIL 11/C-501
- STOP BAR, SEE DETAIL 10/C-501
- NO PARKING SIGN, SEE DETAIL 11/C-501
- CHAIN-LINK FENCE WITH BLACK VINYL PRIVACY SLATS, SEE DETAIL 13/C-501. LOCATE FENCE AT +/- ELEVATION 299.5 AFTER BASIN GRADING IS COMPLETED. ADJUST LENGTH AND LOCATION IN THE FIELD AS NEEDED TO MAINTAIN A UNIFORM ELEVATION FOR THE FENCE AROUND THE STORM WATER MANAGEMENT FACILITIES



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33 OLD LITTLE BRITAIN RD  
NEWBURGH, NY 12550

SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**

PROJECT No. **37147**

SHEET No. **CG101**

**GENERAL EARTHWORK NOTES**

- FOR ADDITIONAL INFORMATION ABOUT SITE-SPECIFIC SOILS AND ENGINEERING RECOMMENDATIONS, PLEASE REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GIFFORD ENGINEERING, DATED 3/4/2020. IN CASE A NOTE ON THESE PLANS CONFLICTS WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS, THE MORE STRINGENT OF THE TWO SHALL APPLY.
- PRIOR TO COMMENCEMENT OF GRADING OR FILL PLACEMENT, ANY MISCELLANEOUS TRASH, DEBRIS, OR OTHER UNSUITABLE MATERIALS SHOULD BE REMOVED FROM THE SITE. CLEARING AND GRUBBING OF ALL TREES (INCLUDING REMOVAL OF ANY ASSOCIATED ROOT SYSTEMS) AND VEGETATION DESIGNATED FOR REMOVAL SHOULD BE PERFORMED.
- TOPSOIL SHOULD BE STRIPPED FROM THE PROPOSED BUILDING AND PAVEMENT AREAS. BASED ON THE GEOTECHNICAL INVESTIGATION, THE SITE CONTAINS BETWEEN 4 AND 8 INCHES OF TOPSOIL. AT THIS TIME, WE ANTICIPATE THAT THE TOPSOIL CAN BE USED IN PROPOSED LANDSCAPED AREAS. THE REUSE OF THE ONSITE TOPSOIL SHOULD BE EVALUATED BY A QUALIFIED LANDSCAPE ARCHITECT WITH REGARDS TO NUTRIENT LEVELS, GRAIN SIZE, PH, ETC. TOPSOIL DEEMED UNSUITABLE FOR REUSE SHOULD BE PROPERLY DISPOSED IN AREAS NOT REQUIRING STRUCTURAL FILL. CONFIRM WITH ENGINEER OF RECORD BEFORE EXPORTING MATERIAL OFFSITE (IF REQUIRED).
- ANY FORMER CONCRETE FOUNDATIONS AND FLOOR SLABS AND ABANDONED UTILITIES THAT ARE ENCOUNTERED BENEATH PROPOSED BUILDINGS SHOULD BE COMPLETELY REMOVED. FORMER CONCRETE FOUNDATIONS AND FLOOR SLABS SHOULD BE CUT TO A MINIMUM OF 3 FEET BELOW PROPOSED SUBGRADE LEVELS IN PROPOSED PAVEMENT AND LANDSCAPE AREAS.
- EXISTING UTILITIES THAT CONFLICT WITH NEW CONSTRUCTION SHOULD BE REMOVED FROM PROPOSED BUILDING FOOTPRINT AREA. EXISTING UTILITIES LOCATED OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT SHOULD BE REMOVED OR ABANDONED IN-PLACE BY COMPLETE FILLING WITH GROUT. EXCAVATIONS MADE TO REMOVE FOUNDATION ELEMENTS OR UTILITIES SHOULD BE BACKFILLED WITH APPROVED COMPACTED FILL AS DESCRIBED IN THE ENGINEERED FILL SECTION OF THE GEOTECHNICAL REPORT.
- ANY EXISTING PAVEMENT AND CONCRETE WALKWAYS THAT ARE NOT PART OF THE FINAL DESIGN LAYOUT SHOULD BE DEMOLISHED IN THEIR ENTIRETY.
- ALL CLEARING AND STRIPPING ACTIVITIES SHOULD BE PERFORMED IN STRICT ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLANS. ALL SITE DEMOLITION AND SITE PREPARATION WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ANY ENVIRONMENTAL REGULATIONS.
- ALL WORK SHOULD BE PERFORMED SO AS TO NOT ADVERSELY IMPACT THE EXISTING AND NEIGHBORING BUILDINGS, OFFSITE STRUCTURES, ROADWAYS, OR UTILITIES.
- CONSULT WITH THE GEOTECHNICAL ENGINEER BEFORE ADJUSTING RECOMMENDATIONS AS MAY BE NEEDED BASED ON ACTUAL CONDITIONS ENCOUNTERED ONSITE THAT MAY DIFFER FROM WHAT WAS ENCOUNTERED DURING THE INVESTIGATION.

**PROOF-ROLLING NOTES**

- ALL BUILDING PAD AND PAVEMENT SUBGRADE SURFACES EXPOSED AFTER THE STRIPPING OF THE VEGETATION AND THE WEAK SURFICIAL SOILS, AS WELL AS ALL AREAS OF THE SITE PLANNED FOR THE PLACEMENT OF GENERAL FILL SOILS, SHOULD BE PROOF-ROLLED WITH AT LEAST 4 PASSES OF EITHER A SMOOTH ROLLER HAVING A MINIMUM STATIC WEIGHT OF 5 TONS OR A FULLY LOADED TANDEM DUMP TRUCK OR EQUIVALENT. ANY SOFT OR WEAK AREAS IDENTIFIED BY THE QUALIFIED SITE INSPECTOR WORKING IN COORDINATION WITH THE CIVIL ENGINEER DURING PROOF-ROLLING SHOULD BE REMOVED AND REPLACED WITH SELECT FILL SOILS OR GENERAL FILL SOILS, DEPENDING UPON THE AREA, THAT ARE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS PRESENTED IN "SITEWORK" SECTION OF THE GEOTECHNICAL REPORT. THE REASONS FOR PROOF-ROLLING OF THE SUBGRADE IS THAT SOME SOILS HAVE BEEN FOUND TO COMPACT TO MINIMUM DENSITY REQUIREMENTS BUT TO STILL EXHIBIT "PUMPING" TENDENCIES. PROOF-ROLLING OF THE SUBGRADE SHOULD IDENTIFY THE SOILS THAT HAVE A TENDENCY TO PUMP SO THAT THEY CAN BE REMOVED AND REPLACED WITH MORE SUITABLE FOUNDATION SOILS APPROVED BY THE GEOTECHNICAL ENGINEER.

**STRUCTURAL FILL NOTES**

- STRUCTURAL FILL SHALL BE AS SPECIFIED IN THE EARTH MOVING SPEC SECTION 31200 "ENGINEERED FILL".

**COMPACTION TESTING NOTES**

- COMPACTION AND MOISTURE CONTENT OF SUBGRADE AND EACH LIFT OF STRUCTURAL FILL SHALL BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICIAN, SUPERVISED BY A GEOTECHNICAL ENGINEER.
- SUBGRADE COMPACTION TESTS SHOULD BE PERFORMED AT AN AVERAGE RATE OF ONE TEST FOR EVERY 2,000 SF OF BUILDING PAD SUBGRADE AREA OR VERY 5,000 SF OF PAVEMENT OR GENERAL FILL AREA, WITH A MINIMUM OR THREE TESTS BEING PERFORMED FOR EACH DISTINCT SUBGRADE AREA.

FILL AREA	PERCENT MAX DENSITY PER ASTM D698	PERCENT MAX DENSITY PER ASTM D1557
FOUNDATION SUPPORT FILL	98%	95%
FOUNDATION BACKFILL	98%	95%
SLAB-ON-GRADE, PAVED AREAS	98%	95%
NON-STRUCTURAL AREAS, GREEN AREAS	92%	90%

**SHEET KEYNOTES**

- 8" HDPE CONNECTED TO DOWNSPOUT (0.8% SLOPE). SEE DETAIL 2/C-503
- OUTLET CONTROL STRUCTURE. SEE DETAIL 9/C-503
- RIP-RAP SPILLWAY. SEE DETAIL 6/C-503
- RIP-RAP APRON. SEE DETAIL 8/C-502
- FLARED END SECTION. SEE DETAIL 5/C-503
- REPLACE EXISTING CATCH BASIN FRAME AND GRATE WITH NEW FRAME AND SOLID COVER.

**GENERAL GRADING NOTES**

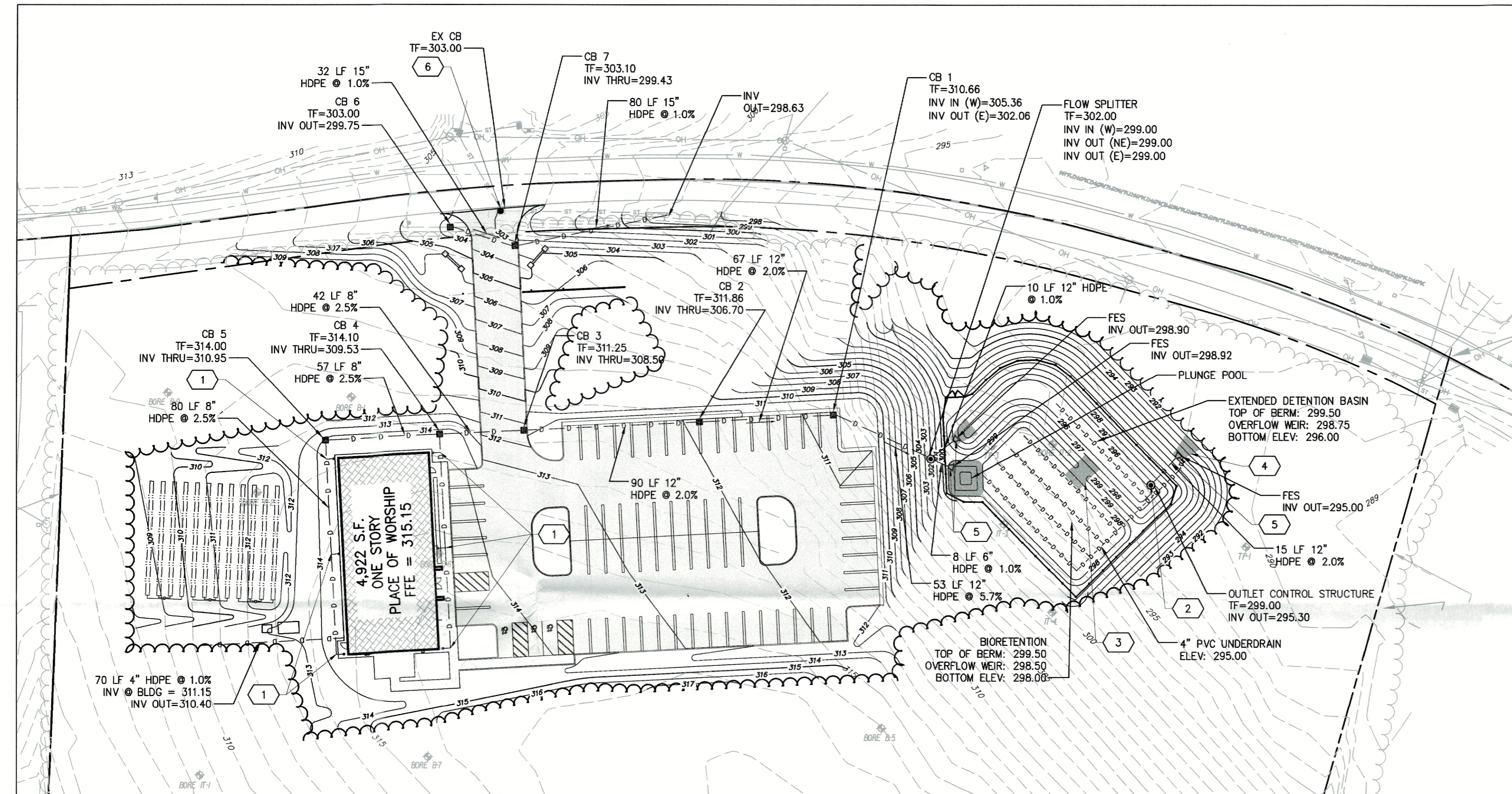
- REFER TO C-001 COVER SHEET FOR GENERAL NOTES REFERENCING SURVEY INFORMATION, DATUMS, GENERAL PROJECT AND CONSTRUCTION INFORMATION
- CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF THE PROJECT.
- YARD AREAS, SIDEWALKS AND PAVEMENT SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS. FINISHED SURFACES SUCH AS ALL PAVING, SIDEWALKS AND RAMPS IN ACCESSIBLE AREAS SHALL CONFORM TO FEDERAL AND NEW YORK STATE ACCESSIBILITY STANDARDS. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS AND WITH THE FOLLOWING:
  - PARKING AND LOADING AREAS - MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS IN ACCESSIBLE PARKING SPACES AND AISLES. ACCESSIBLE ROUTES - MAXIMUM SLOPE OF 1:20 (5%) IN THE DIRECTION OF TRAVEL. MAXIMUM CROSS SLOPE OF 1:50 (2%). BUILDING ENTRANCES AND EXITS - AT ALL LOCATIONS 5'x5' (MINIMUM) ACCESSIBLE, CONCRETE WALK WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.
- CONTRACTOR SHALL GRADE THE SITE TO MATCH EXISTING GROUND AT THE LIMITS OF THE PROJECT SITE. ALL DRAINAGE ENTERING THE PROJECT AREA SHALL BE INTERCEPTED IN THE FINAL GRADING. TRANSITIONS TO EXISTING GROUND THAT ARE DIFFERENT FROM THE PLANS SHALL BE COORDINATED PRIOR TO FINAL GRADING. LAWN AREAS TO BE MOWED SHOULD NOT EXCEED A SLOPE OF 4:1.
- ALL AREAS WITHIN THE PROJECT SITE SHALL BE GRADED TO DRAIN TO ON-SITE STORM SEWERS OR TO THE PUBLIC R.O.W. THE DEVELOPMENT SHALL NOT HAVE ANY ADVERSE IMPACTS TO SURROUNDING PROPERTIES.

**STORM DRAINAGE CONSTRUCTION NOTES**

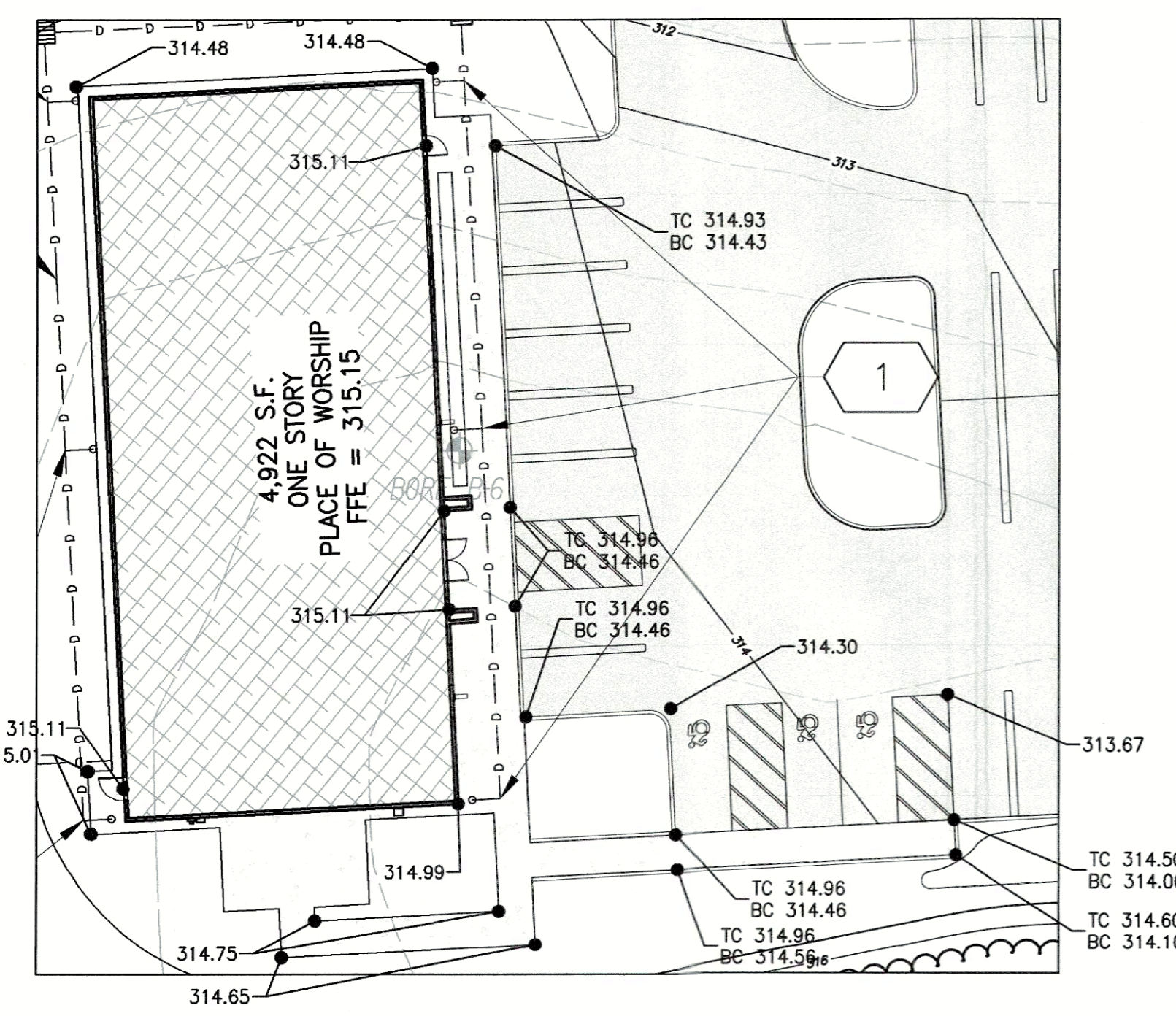
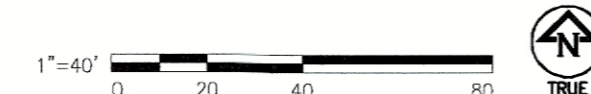
- CONSTRUCTION IN STORM SEWER AND DRAINAGE EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S REQUIREMENTS.
- SPECIFICATIONS: PIPES WITHIN THE PUBLIC R.O.W.: PIPE SHALL BE CLASS III, WALL B, REINFORCED CONCRETE PIPE IN ACCORDANCE WITH ASTM C76. PIPES WITHIN PROPERTY: 4" AND GREATER SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SOIL-TIGHT JOINTS IN ACCORDANCE WITH ASTM F2648 WITH RUBBER GASKETS MEETING ASTM F477 WITH FITTINGS IN ACCORDANCE WITH ASTM F2306 UNLESS OTHERWISE SPECIFIED. INSTALLATION OF HDPE STORM SEWERS SHALL BE IN ACCORDANCE WITH ASTM D2321 IN ALL CASES, CHANGES IN PIPE SIZE OR TYPE SHALL OCCUR AT AN APPROVED STRUCTURE. MANHOLES: USE ROUND CONCRETE MANHOLES WITH ECCENTRIC CONES WITH 24" OPENING IN ACCORDANCE WITH ASTM C478, RUBBER GASKETS IN ACCORDANCE WITH C433 AND STEPS IN ACCORDANCE WITH C497. CATCH BASINS: USE SQUARE CONCRETE BOX IN ACCORDANCE WITH ASTM C913 WITH RUBBER GASKETS IN ACCORDANCE WITH C433 AND STEPS IN ACCORDANCE WITH ASTM C497. FRAMES AND COVERS: SHALL BE IN ACCORDANCE WITH AASHTO M105.
- CONTRACTOR SHALL VERIFY ALL FLOWLINE OR INVERT ELEVATIONS 48 HOURS PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. IF A DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ROOF DRAINAGE TO BE DIRECTED FROM BUILDING TO STORM SYSTEM VIA DOWNSPOUTS.

**SYMBOLS LEGEND**

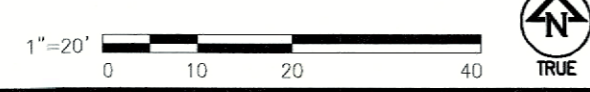
	EXISTING	PROPOSED
CONTOUR-MAJOR		
CONTOUR-MINOR		
STORM SEWER		
TOP OF BANK		
SPOT GRADE		
SPOT GRADE TOP OF CURB		
DIRECTION OF WATER FLOW		
DOWN SPOUT		
CATCH BASIN - NO CURB PIECE		
CURB INLET		
STORM MANHOLE		
FLARED END SECTION		
RIP RAP APRON		
HEADWALL		
SURVEY BENCHMARK		



**1 GRADING AND DRAINAGE PLAN**



**2 GRADING ENLARGEMENT - BUILDING**

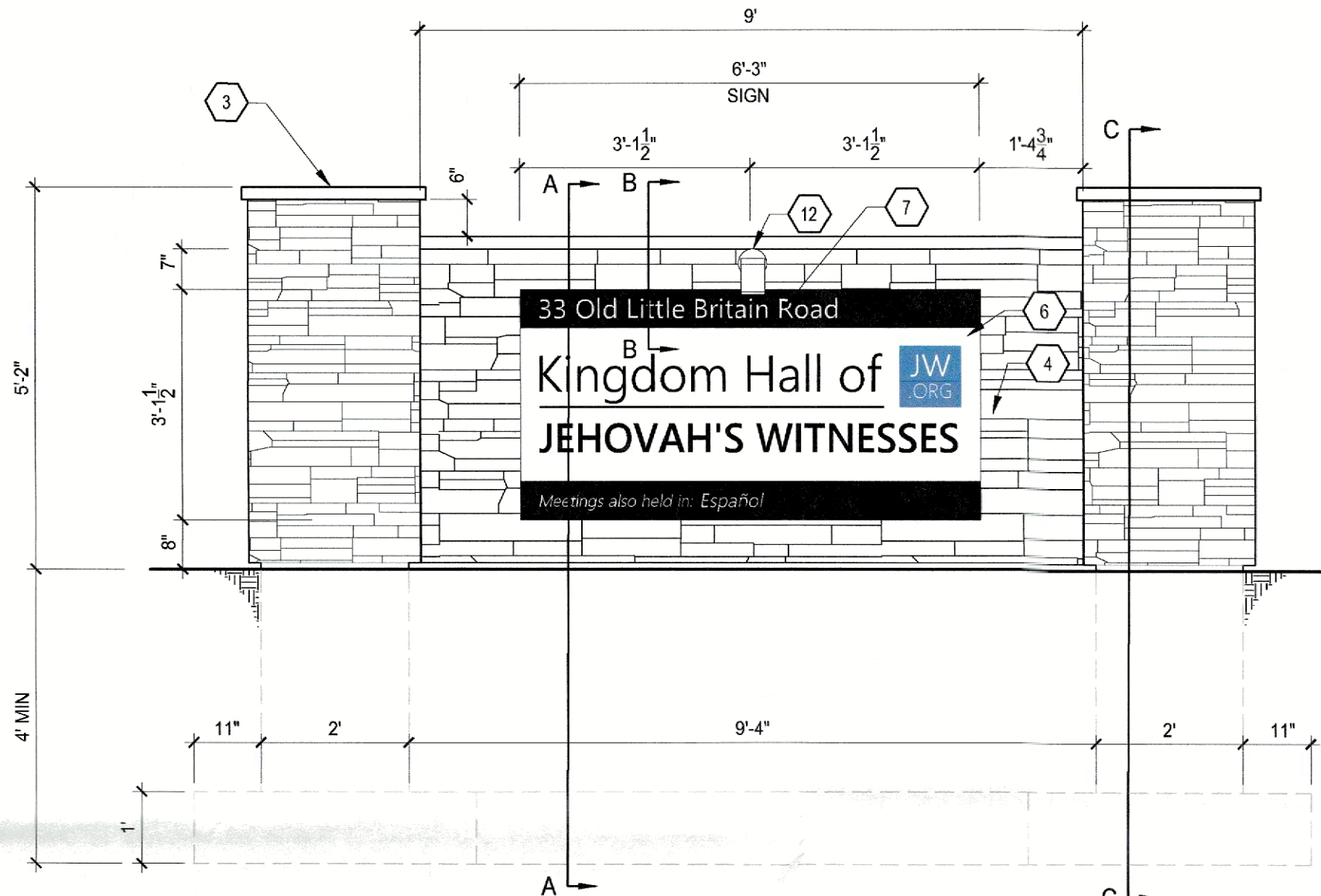
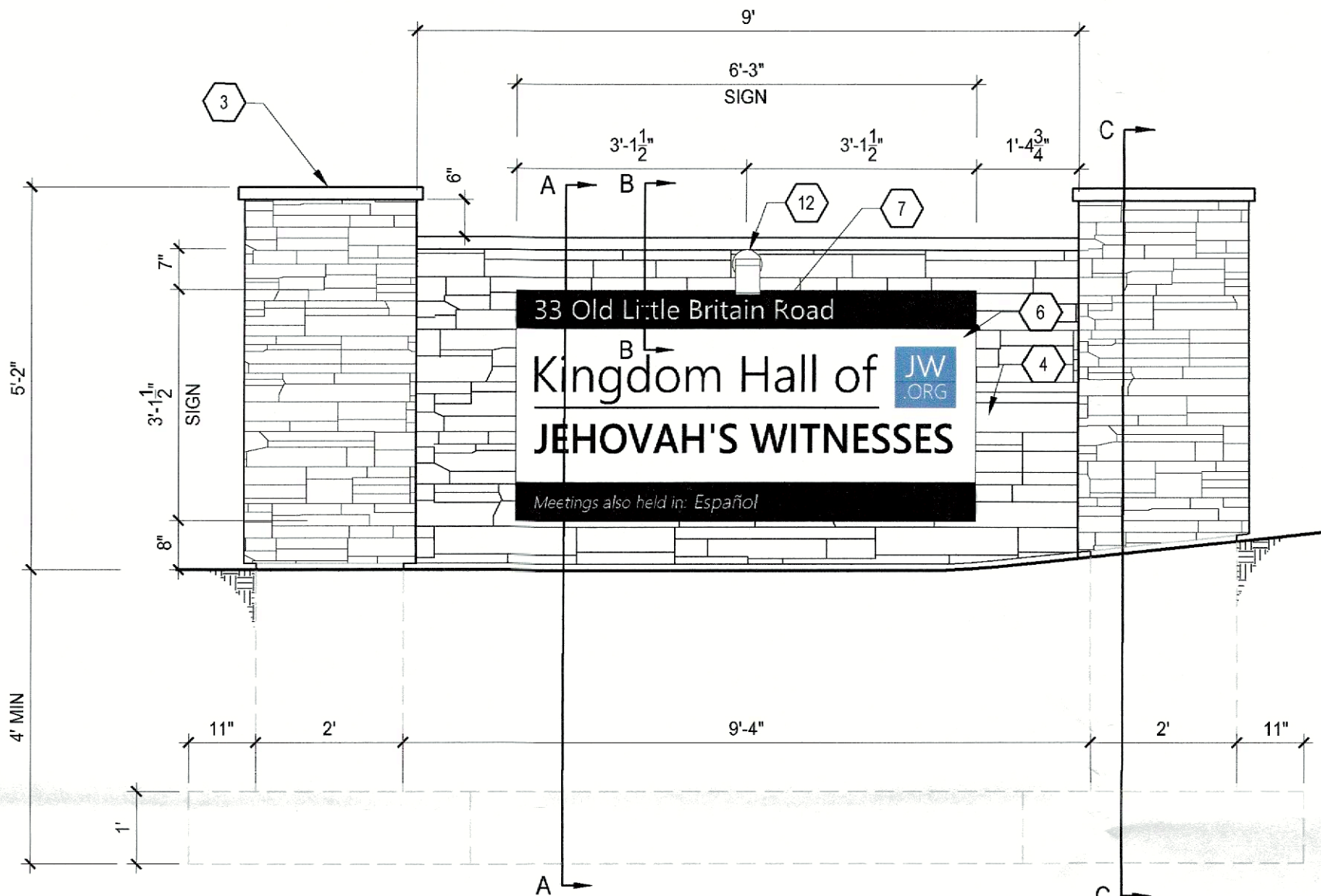
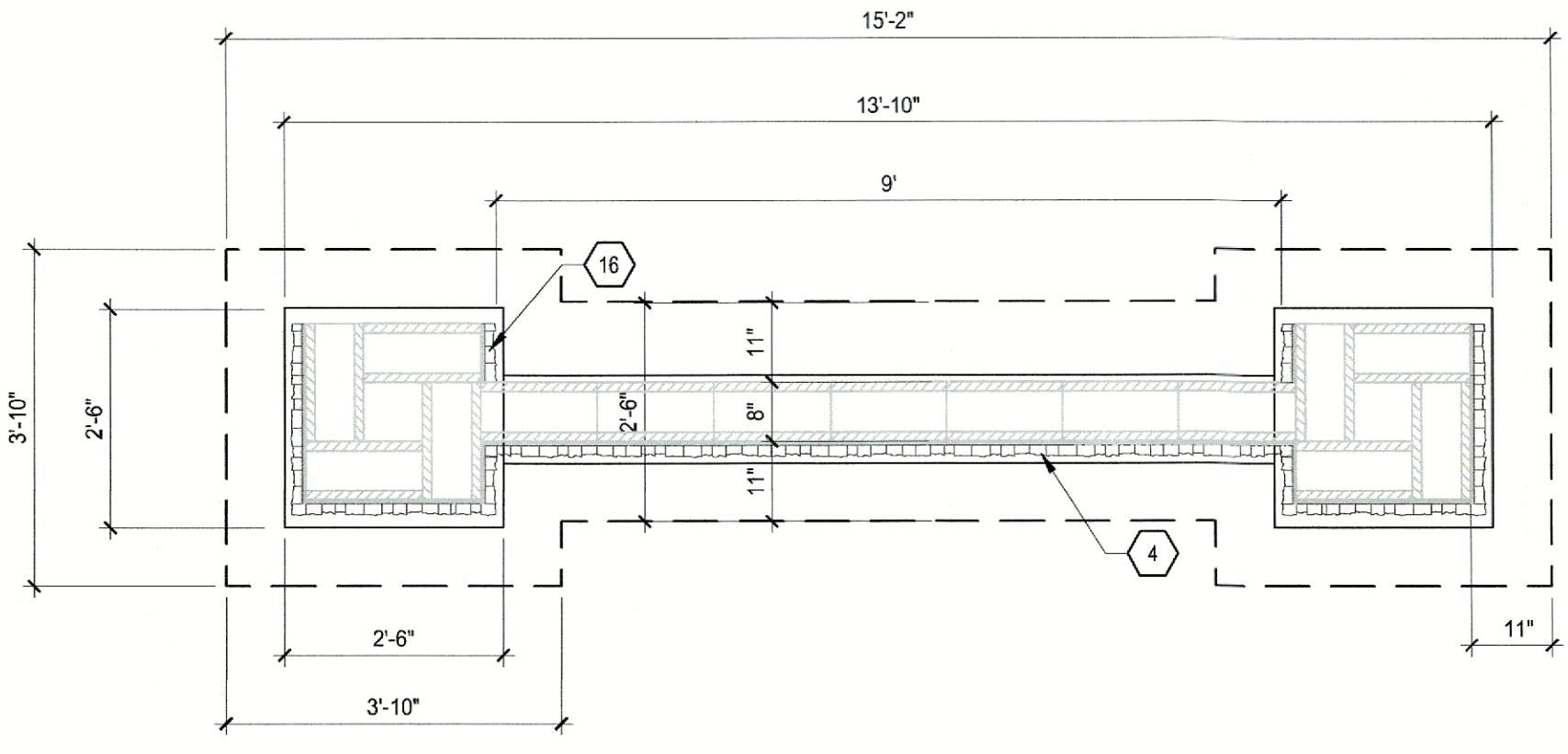
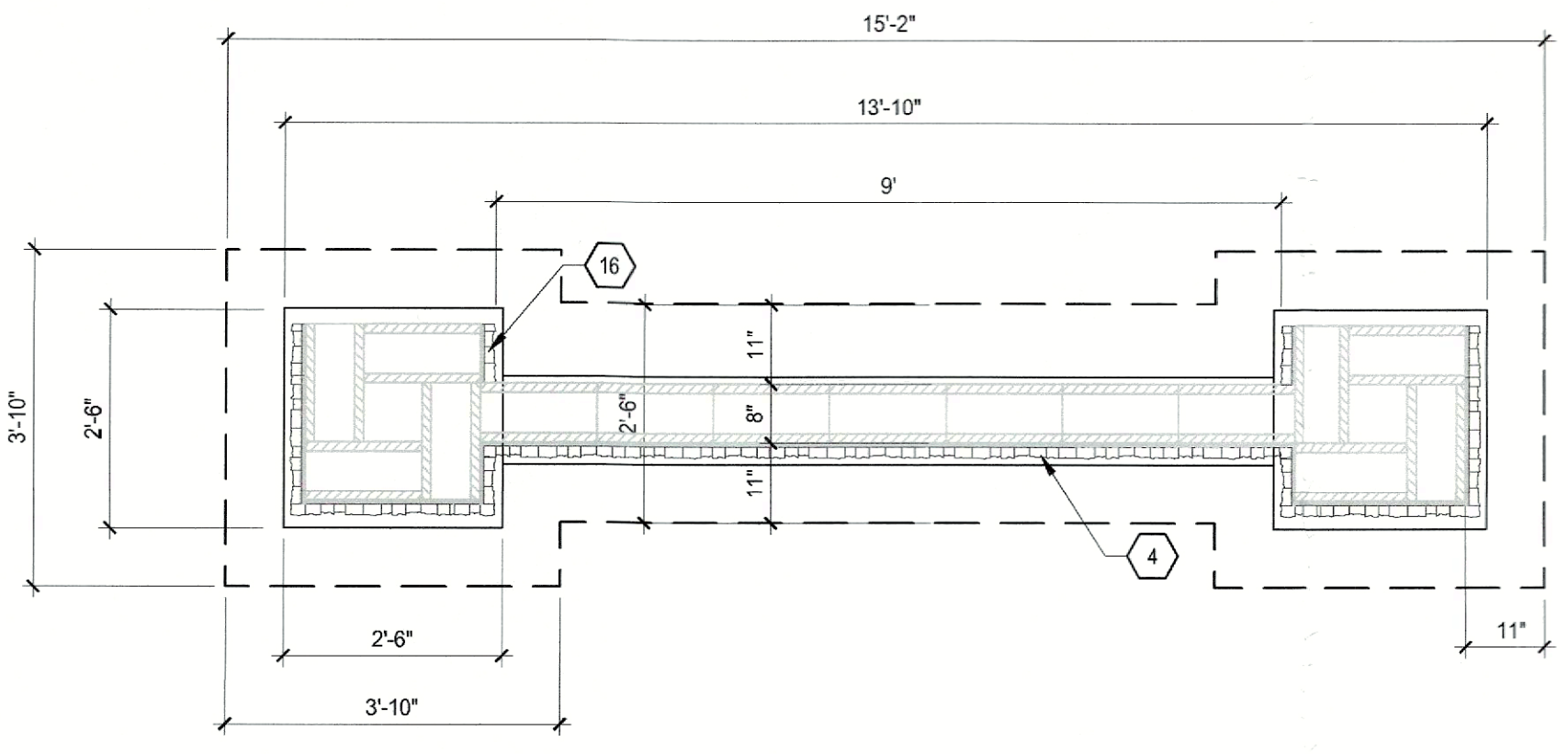


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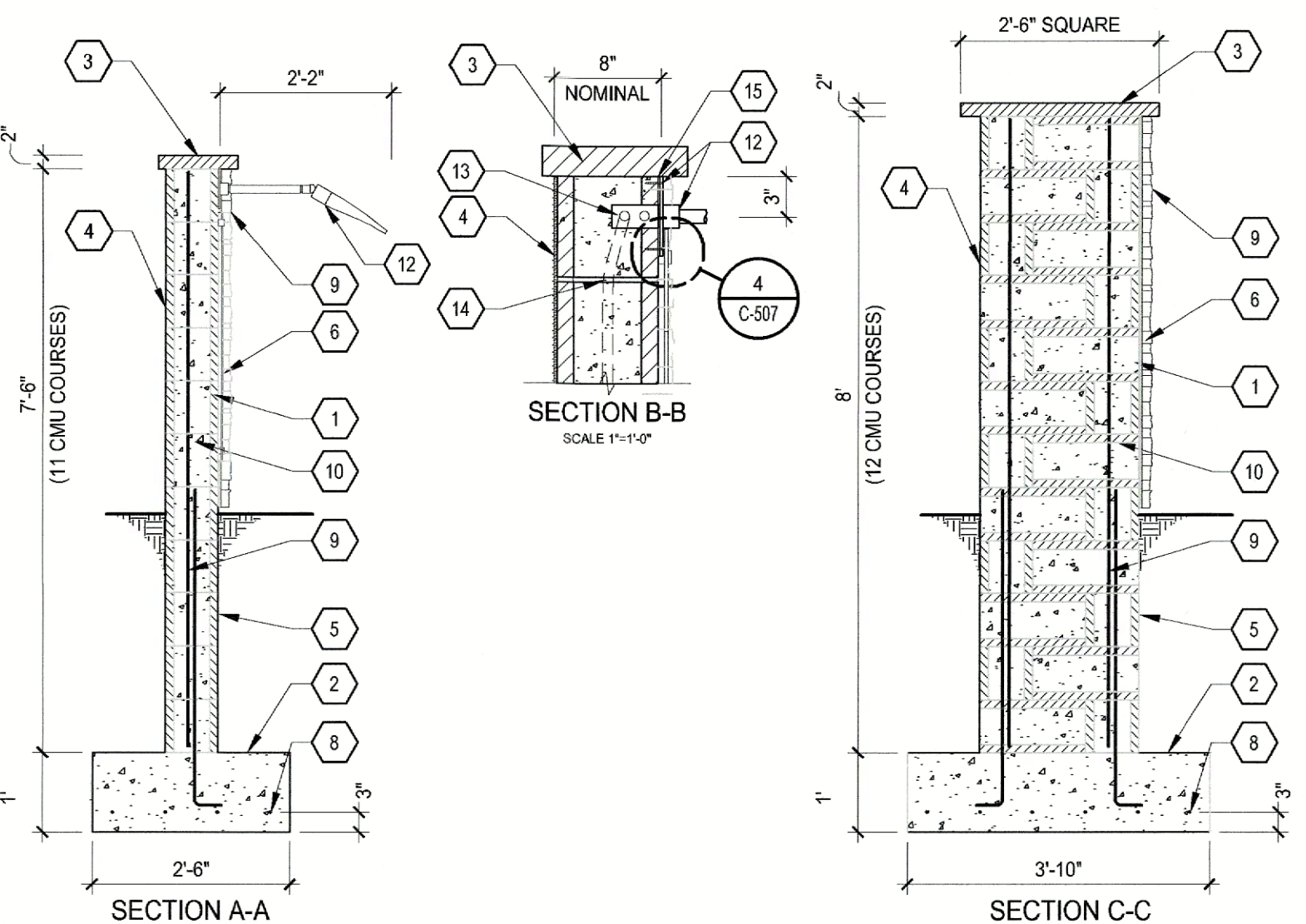
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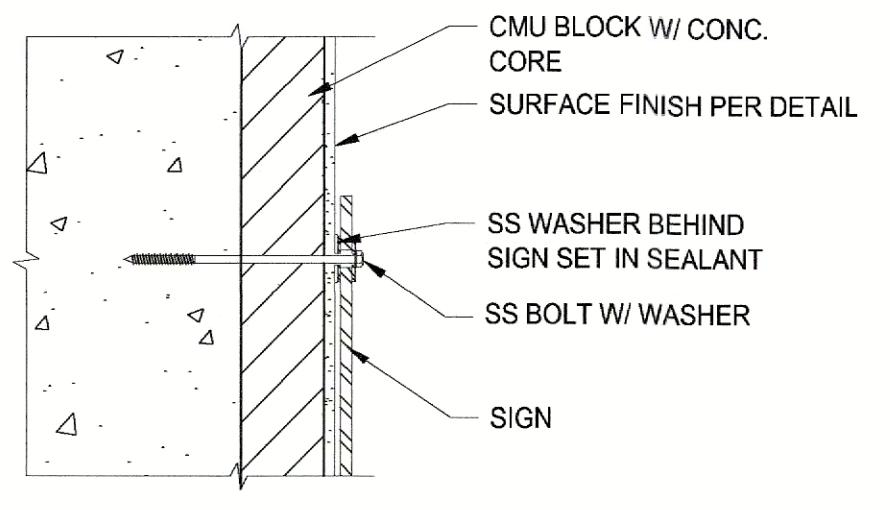


1 ENTRANCE WALL AND SIGN (EAST)

2 ENTRANCE WALL AND SIGN (WEST)



- DETAIL KEYNOTES**
- 8"x8"x16" SMOOTH FACE CMU SHALL MEET ASTM C90. MORTAR SHALL COMPLY W/ ASTM C270, TYPE S. GROUT SHALL BE IN ACCORDANCE W/ ASTM C476 NOT LESS THAN 2,000 PSI W/ A SLUMP OF 8" TO 11".
  - CONCRETE FOOTING FOUNDATION: 3,000 PSI CONCRETE.
  - 12"x26"x2" CMU TOP CAP ON WALL SECTION, 30"x30"x2" CMU TOP CAP ON PILLARS PER ASTM C90.
  - FINISHED SURFACE: FLOAT SURFACE W/ PASTE OF FINE MORTAR SAND, CEMENT, WATER & BONDING AGENT TO FILL SURFACE VOIDS AND BRING SURFACE TO UNIFORM TEXTURE. KEEP RETEXTURED SURFACE DAMP A MIN OF 12 HOURS OR UNTIL PASTE HAS SET. PROVIDE PRIMER & TOP COAT AS NEEDED. PRODUCT TO BE SIMILAR OR EQUAL TO SHERWIN WILLIAMS LOXON SERIES. COLOR TO MATCH MAIN EXTERIOR COLOR OF BUILDING.
  - EXTEND FINISHED SURFACE A MINIMUM OF 6" BELOW GRADE ON BACK SIDE OF WALL AND BEHIND SIGN FACE.
  - KINGDOM HALL SIGN W/ JW.ORG LOGO.
  - 3 1/2" HIGH ADDRESS NUMERALS.
  - (4) EQ. SPACED #4 CONT. BARS.
  - CULTURED STONE CLADDING - COLOR TO BE FIELD DETERMINED BASED ON SELECTED MANUFACTURER'S FULL COLOR SELECTION.
  - #4 VERT DOWELS @ 32" O.C. SPACING W/ STANDARD END HOOK.
  - #4 VERTICAL BARS @ 32" O.C. VERTICAL AND @ EACH END OF WALL, LAP 1'-3" W/ DOWELS.
  - WALL MOUNTED LED LIGHTS. SURFACE MOUNT ARM TO FACE OF MONUMENT W/ TYPE 316SS CONCRETE MASONRY SCREW W/ TAMPER-PROOF TYPE HEAD. TILT LIGHT TO ILLUMINATE SIGN.
  - INSTALL RECESSED, HORIZONTALLY MOUNTED, SINGLE GANG, MASONRY BOX IN CUT-OUT FACE OF TOP COURSE OF CMU.
  - 3/4" CONDUIT MIN. ROUTING TO BE DETERMINED BY INSTALLER.
  - WATERPROOF SILICONE SEALANT PER MANUFACTURER.
  - WRAP TOP OF PILLAR WITH CULTURED STONE CLADDING FROM CAP DOWN TO 4" BELOW ADJACENT STRAIGHT WALL SECTION.



4 DETAIL - EXTERIOR SIGN ATTACHMENT

3 DETAIL - MONUMENT SIGN

IMAGE #  
IMAGE #  
IMAGE #  
IMAGE #  
IMAGE #  
XREF: #  
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SHEET TITLE:  
**ENTRANCE SIGN DETAILS**

PROJECT No: **37147**

SHEET No: **C-507**