



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** NEWBURGH MALL-ARB  
**PROJECT NO.:** 24-15  
**PROJECT LOCATION:** SECTION 60, BLOCK 3, LOT 41.21  
**REVIEW DATE:** 12 JULY 2024  
**MEETING DATE:** 18 JULY 2024  
**PROJECT REPRESENTATIVE:** ANDERSON DESIGN GROUP

1. A Work Session was held with the applicant’s representatives, project sponsors and contractor for the site. During the Work Session a comprehensive evaluation of the proposed design concept and façade modifications was addressed. The intent is to accommodate façade changes associated with removal of the former interior mall corridor access points to a national chain individual entrances along the building frontage.
2. National chain colors and signage will be incorporated into the frontage. The design elements of the national chain will be consistent in height along the building façade. Architectural features are proposed between the individual national chain facades of a similar height consisting of square features which will match the height across the front façade.
3. Minor access and landscape changes are proposed to occur as the façade treatments are expanded between the casino and the approved O’Reilly tenant space.
4. Dumpster enclosures currently are covered by over- mature landscaping are proposed to be removed. New grass islands and landscape features will be incorporated. In-fill areas along the façade, not associated with the national chains will have small scale landscape features and lighting incorporated along the façade.
5. Planning Board should review the proposed façade changes in connection with the national chain colors and signage. The continued elevation across the frontage will serve to tie in each of the national chains. The architectural features proposed in between will in-fill the areas between national tenants.
6. Adjoiner’s Notices have been sent out in compliance with Town Code.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines', written in a cursive style.

Patrick J. Hines  
Principal  
PJH/kbw

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# NEWBURGH MALL

## 1401 ROUTE 300 NEWBURGH, N.Y. 12550



NEWBURGH MALL VENTURES LLC  
1401 ROUTE 300  
NEWBURGH, N.Y.

OWNER:



25 WALKILL AVE • MONTGOMERY • NY 12549  
O. 845.294.2724 | contact@adgarchitect.com  
WWW.ADGARCHITECT.COM

ARCHITECT:

SCOPE OF WORK:

- CONVERSION OF EXISTING RETAIL STORES TO NEW RECREATIONAL FACILITIES AND RETAIL STORES WITHIN AN EXISTING INDOOR MALL INTO A SHOPPING CENTER WITH EXTERIOR ACCESS POINTS.
  - NEW EXTERIOR EGRESS DOORS AND STOREFRONTS
  - NEW EXTERIOR SIGNAGE AND PARAPETS
  - NEW PAINT FOR EXTERIOR FRONT FACADE WITH METAL PANEL HIGHLIGHTS
  - NEW LANDSCAPE AND SIDEWALK PAVING ALONG FRONT FACADE
- HOURS OF OPERATION FROM 7AM TO 10PM, 7 DAYS A WEEK.
- THE MAINTENANCE OF THE COMMON AREAS AND SAFETY SHALL BE MANAGED BY THE PROPERTY OWNER.
- WHERE THE REAR EXITS ARE INTENDED FOR EMERGENCY USE OR EMPLOYEE USE ONLY, THEY SHALL BE DENOTED AS SUCH USING APPROPRIATE SIGNAGE.
- ALL DELIVERIES SHALL OCCUR IN THE REAR OF THE BUILDING AT DESIGNATED LOADING AREAS. EACH NEW TENANT MAY REQUIRE A REAR LOADING DOCK ACCESSIBLE TO THEIR SPACE.
- ALL AREAS SURROUNDING COMPACTORS AND DUMPSTER SHALL BE KEPT IN A NEAT AND ORDERLY CONDITION.

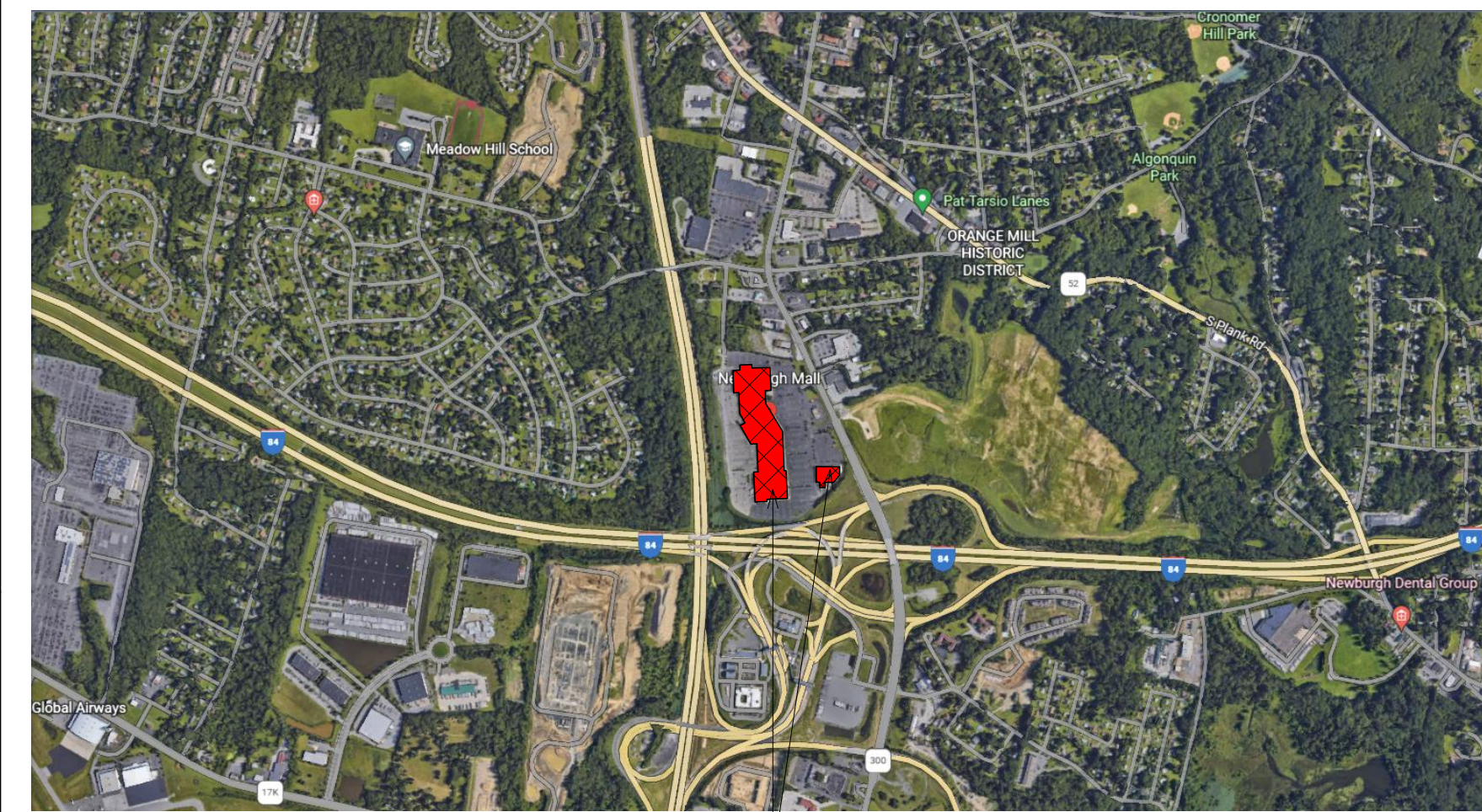
LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING DOOR TO BE REMOVED
- DOOR TAG
- ROOM DESIGNATION TAG
- WALL TYPE TAG
- WINDOW TAG
- FINISH TAG
- KEY NOTE
- ELEVATION TAG
- WALL/BUILDING SECTION CUT
- DETAIL TAG

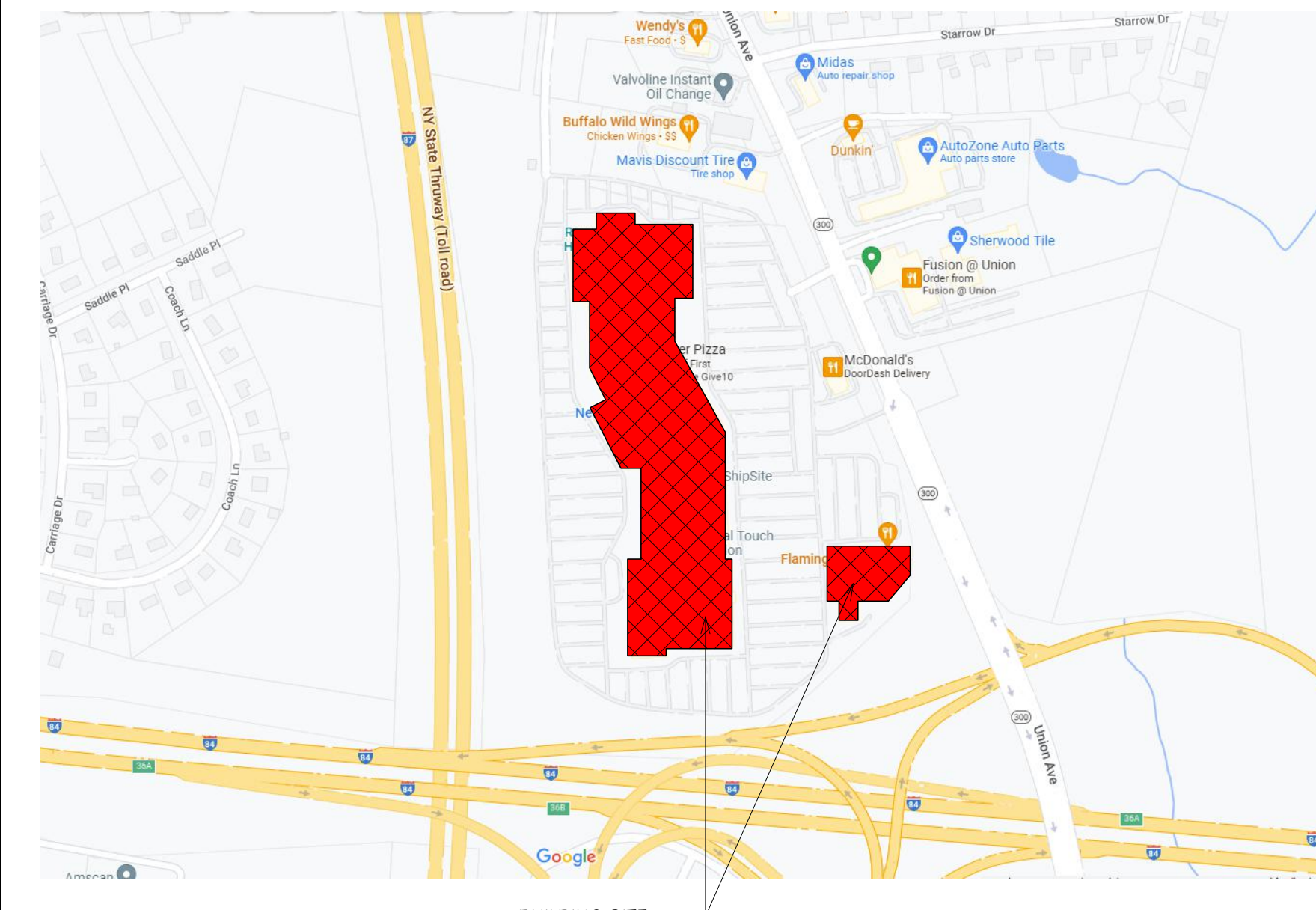
ABBREVIATIONS:

- |   |                               |
|---|-------------------------------|
| AB. ANCHOR BOLT                           | MAT. MATERIAL                 |
| A.C.T. ACOUSTICAL CEILING TILE            | MAX. MAXIMUM                  |
| A.F.F. ABOVE FINISH FLOOR                 | MECH. MECHANICAL              |
| APPX. APPROXIMATE                         | MIN. MINIMUM                  |
| ARCH. ARCHITECT                           | MIR. MIRROR                   |
| BSMT. BASEMENT                            | MISC. MISCELLANEOUS           |
| BM. BEAM                                  | MTL. METAL                    |
| BD. BOARD                                 | NOM. NOMINAL                  |
| BOT. BOTTOM                               | NT.S. NOT TO SCALE            |
| BLDG. BUILDING                            | O.C. ON CENTER                |
| CAB. CABINET                              | O.H. OVERHEAD                 |
| CLG. CEILING                              | PTD. PAINTED                  |
| C.T. CERAMIC TILE                         | P. LAM. PLASTIC LAMINATE      |
| CIR. CIRCLE                               | PL. PLATE                     |
| COL. COLUMN                               | P.S.F. POUNDS PER SQ. FOOT    |
| C.J. CONTROL JOINT                        | P.S.I. POUNDS PER SQ. INCH.   |
| CORR. CORROSION                           | PREFAB. PREFABRICATED         |
| D.L. DEAD LOAD                            | P.T. PRESSURE TREATED (WOOD)  |
| DTL. DETAIL                               | RAD. RADIUS                   |
| DIAM. DIAMETER                            | RLG. RAILING                  |
| DIM. DIMENSION                            | REF. REFRIGERATOR             |
| D.W. DISHWASHER                           | REINF. REINFORCED, (ING)      |
| D.H. DOUBLE HUNG                          | REV. REVISION, (E), (ED)      |
| D.S. DOWNSPOUT                            | R. RISER                      |
| DWG. DRAWING                              | R.F.G. ROOFING                |
| ELEC. ELECTRICAL                          | RM. ROOM                      |
| ELEV. ELEVATION                           | SEC. SECTION                  |
| EQ. EQUAL                                 | SH. SHEATHING                 |
| EXIST. EXISTING                           | SHT. SHEET                    |
| EXT. EXTERIOR                             | SIM. SIMILAR                  |
| E.I.F.S. EXTERIOR INSULATED FINISH SYSTEM | S.C. SOLID CORE               |
| FIN. FINISH                               | SPEC. SPECIFICATION           |
| F.P. FIREPLACE                            | SQ. SQUARE                    |
| FLR. FLOOR                                | STD. STANDARD                 |
| F.D. FLOOR DRAIN                          | STO. STORAGE                  |
| FTG. FOOTING                              | STR. STRUCTURAL               |
| FND. FOUNDATION                           | THK. THICKNESS                |
| FUR. FURRED                               | THR. THRESHOLD                |
| G.C. GENERAL CONTRACTOR                   | T&G. TONGUE AND GROOVE        |
| GL. GLASS, GLAZING                        | T.O.C. TOP OF CONCRETE        |
| GYP.BD. GYPSUM BOARD                      | T.O.B. TOP OF BEAM            |
| HDW. HARDWARE                             | T.O.P. TOP OF FOUNDATION      |
| HDR. HEADER                               | T.O.P. TOP OF PLATE           |
| HTG. HEATING                              | TR. TREAD                     |
| HVAC HEATING/VENTILATION/AIR CONDITIONING | TYP. TYPICAL                  |
| HGT. HEIGHT                               | UNF. UNFINISHED               |
| HORZ. HORIZONTAL                          | U.O.N. UNLESS OTHERWISE NOTED |
| HS. HOSE BIBB                             | V.B. VAPOR BARRIER            |
| INS. INSULATED, (ION)                     | VERT. VERTICAL                |
| JT. JOINT                                 | V.I.F. VERIFY                 |
| KJ. JOIST                                 | W.C. WATER CLOSET             |
| KIT. KITCHEN                              | W.P. WATER PROOFING           |
| LAV. LAVATORY                             | W.R. WATER RESISTANT          |
| LT. LIGHT                                 | W.F. WELDED WIRE FABRIC       |
| LL. LIVE LOAD                             | WN. WINDOW                    |
| MFR. MANUFACTURE(R)                       | WO. WITHOUT                   |
| MAS. MASONRY                              | WD. WOOD                      |

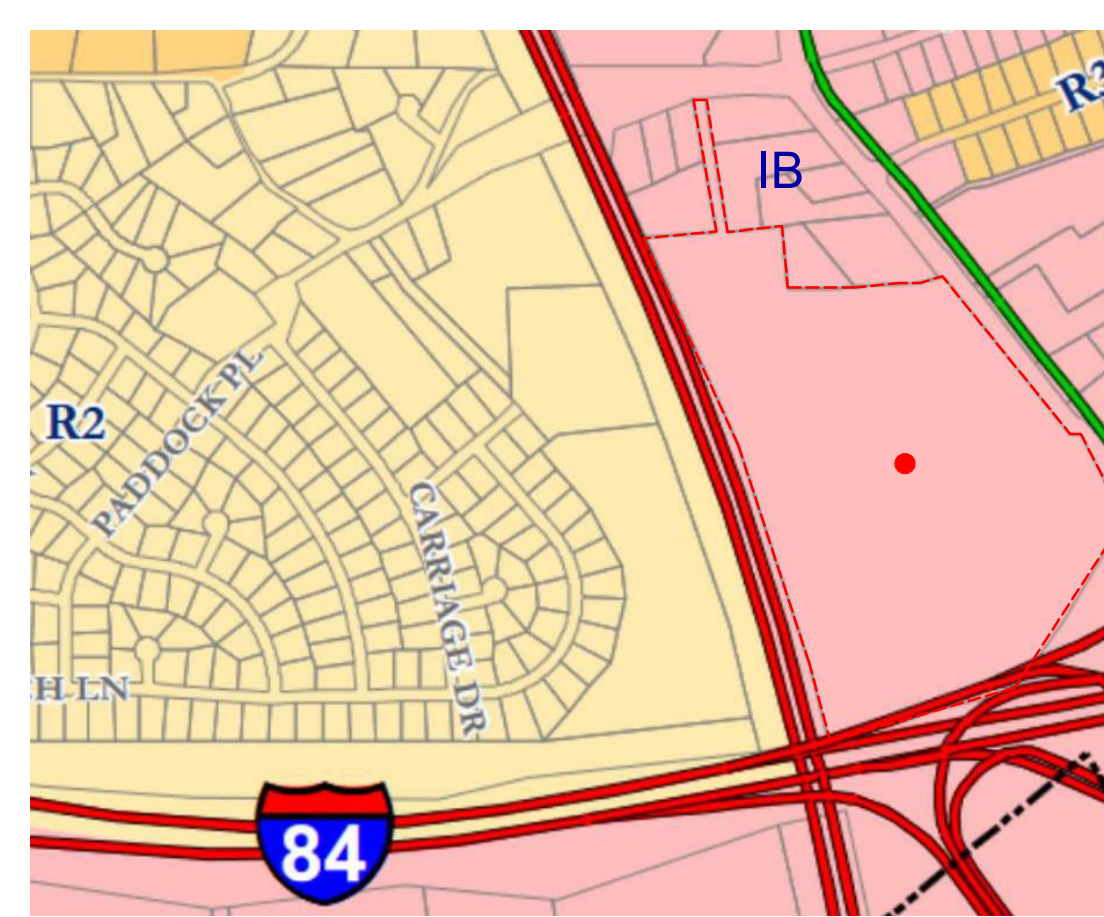
BUILDING LOCATION AERIAL



BUILDING LOCATION



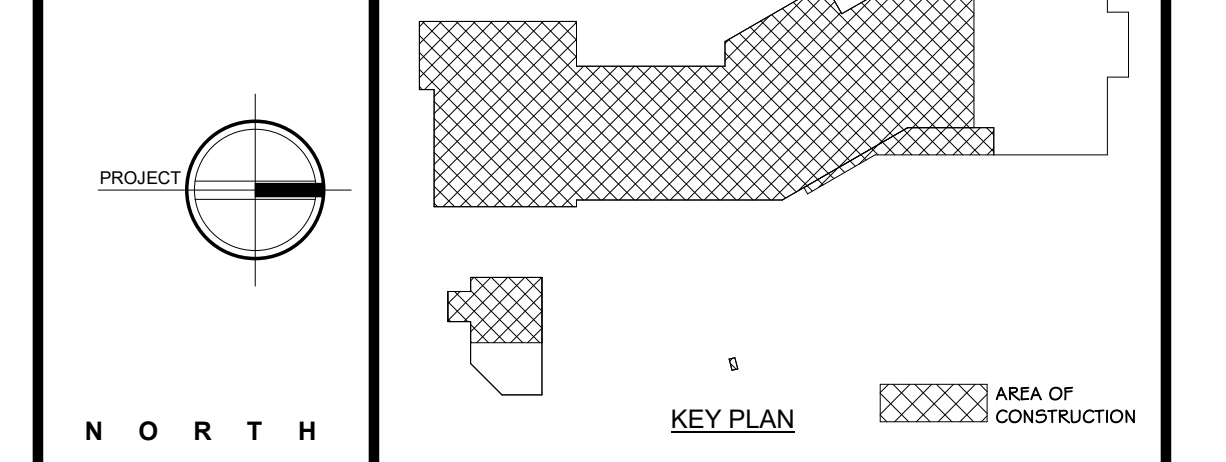
ZONING MAP AERIAL



ZONING TABLE

A. Accessory Uses	B. Permitted Uses	C. Prohibited Uses	D. Uses Subject to Site Plan Review to the Planning Board	Minimum Required				Maximum Permitted	Maximum Permitted	Maximum Permitted							
				Lot Area (Square Feet)	Lot Width (Feet)	Lot Depth (Feet)	Front Yard (Feet)				Side Yard (Feet)	Rear Yard (Feet)	Both Side Yards (Feet)	Floor Area Per Dwelling Unit (Square Feet)	Dwelling Units Per Acre	Lot Building Coverage (Percent)	Building Height (Feet)
1. Storage buildings up to 50% of the floor area of the principal building	C1, D1, 7, 11 and 13	1. Municipal buildings and other activities	Review to the Planning Board	20,000	125	150											
2. Cafeterias, clinics and recreation facilities for the use of employees engaged on the premises	D6, 7, 9, 13 and 15	2. Existing single-family dwellings: a. Without both public sewer and public water systems b. With both public sewer and public water systems c. With either public sewer and public water systems only		15,000			40	15	30								
3. Signs in accordance with § 185-14	D5	3. Existing 2-family dwellings: a. Without both public sewer and public water systems b. With both public sewer and public water systems c. With either public sewer or public water system only		17,500	100	125	40			900	NA	25%	35	50%			
4. Signs in accordance with § 185-14.1	D12, D4-13 and 18			30,000	150	175											
5. Truck-loading facilities	All			22,500				50	25	50							
6. Sales of used motor and camping vehicles, boats and accessories in conjunction with a franchised dealership	D10			25,000	125	150											
7. Fuel tanks in accordance with § 185-39	D5, 7-14 and 18			2 acres	200	200	80	50	30	60		40%	35				
8. Satellite earth stations in accordance with § 185-40	D4-7, 12, 10 and 16-18			40,000	150	150	50	60	50	100		40%	35				
9. Accessory uses to an existing principal residence as listed for the R-1 District	D3-4, 12 and 18			2 acres	300	300	60	60	50	100		30%	40	30			
10. Fast-food establishments	D3-4, 12 and 18			3 acres	300	300	60	60	50	100		30%					
11. Restaurants and conference and banquet facilities	D3 and 13						50										
12. Retail outlets	D3 and 13						50										
13. Swimming pools, tennis courts and other recreational facilities, including related cabana	D5, 7, 9, 12, 13						50										
14. Car wash	D10 and 11			40,000	150	150	50	60	30	80		NA	40%	40%	80%		

PROJECT



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REVISIONS:

NUM.	DATE	DESCRIPTION

ANDERSON DESIGN GROUP ARCHITECTURE PLANNING INTERIORS

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: TITLE SHEET

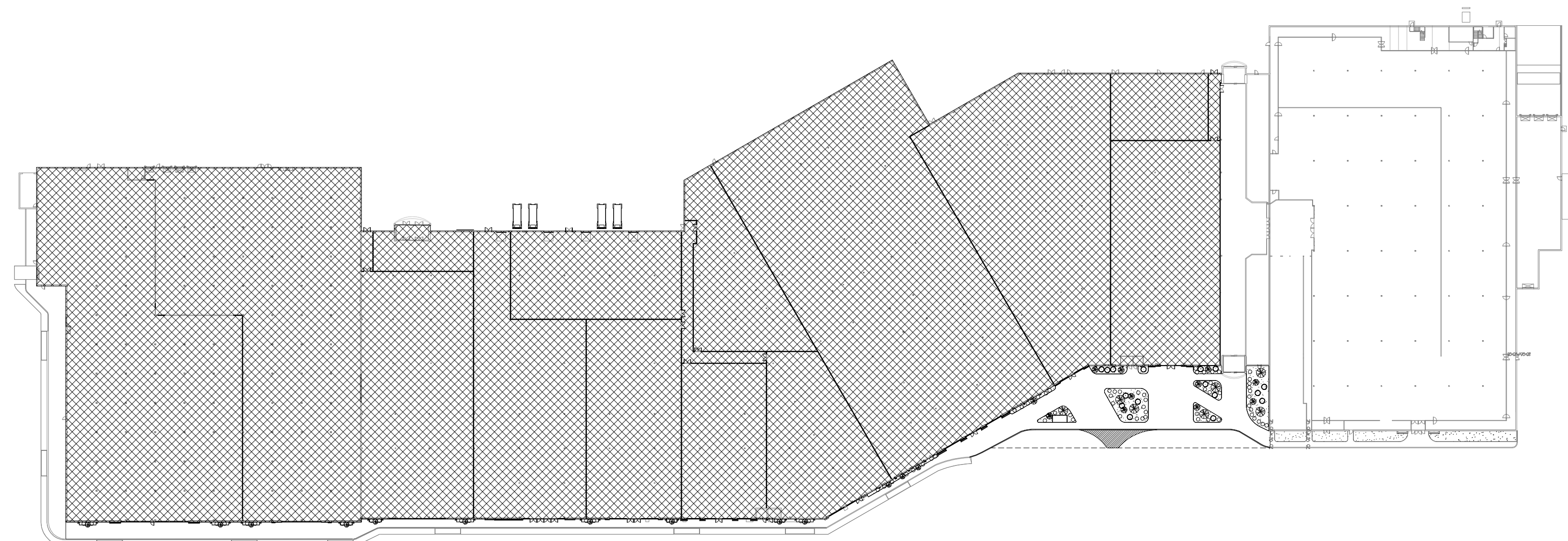
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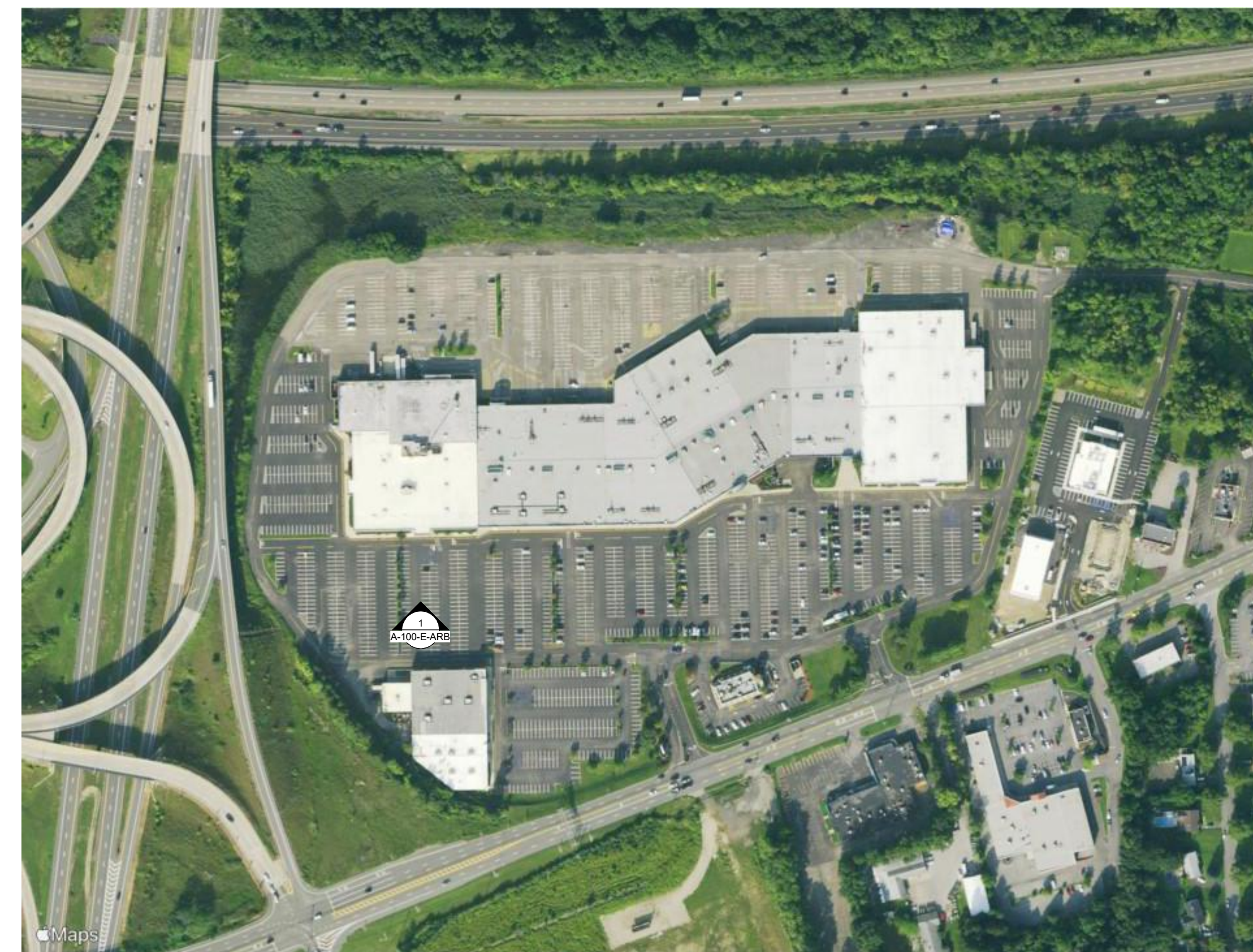




① EXISTING MALL IMAGE FROM EAST  
1" = 1'-0"



② BUILDING REFERENCE PLAN I  
1" = 80'-0"



③ SITE MAP I  
3" = 1'-0"

**PROJECT**

**NORTH**

KEY PLAN

AREA OF CONSTRUCTION

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Project: **NEWBURGH MALL**  
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Drawing Name: **EXISTING MALL IMAGES**

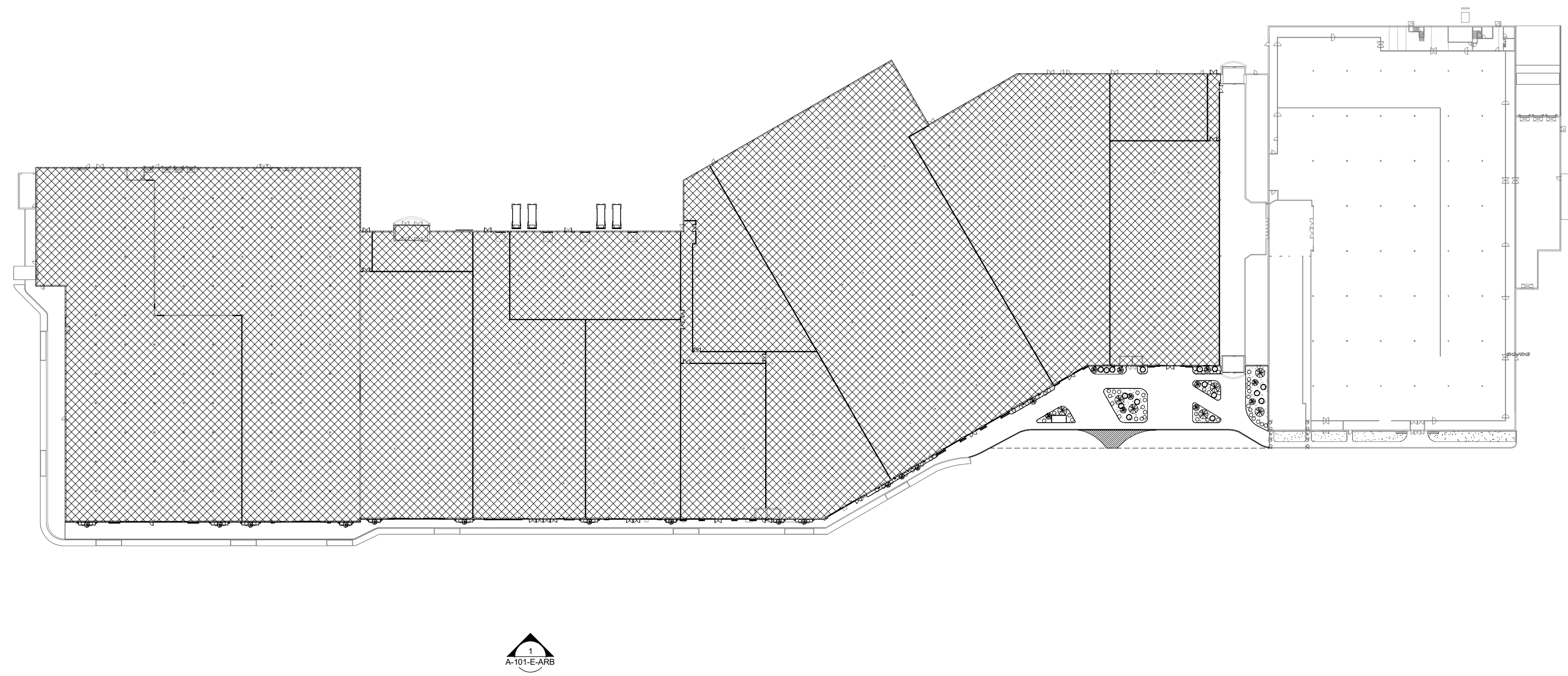
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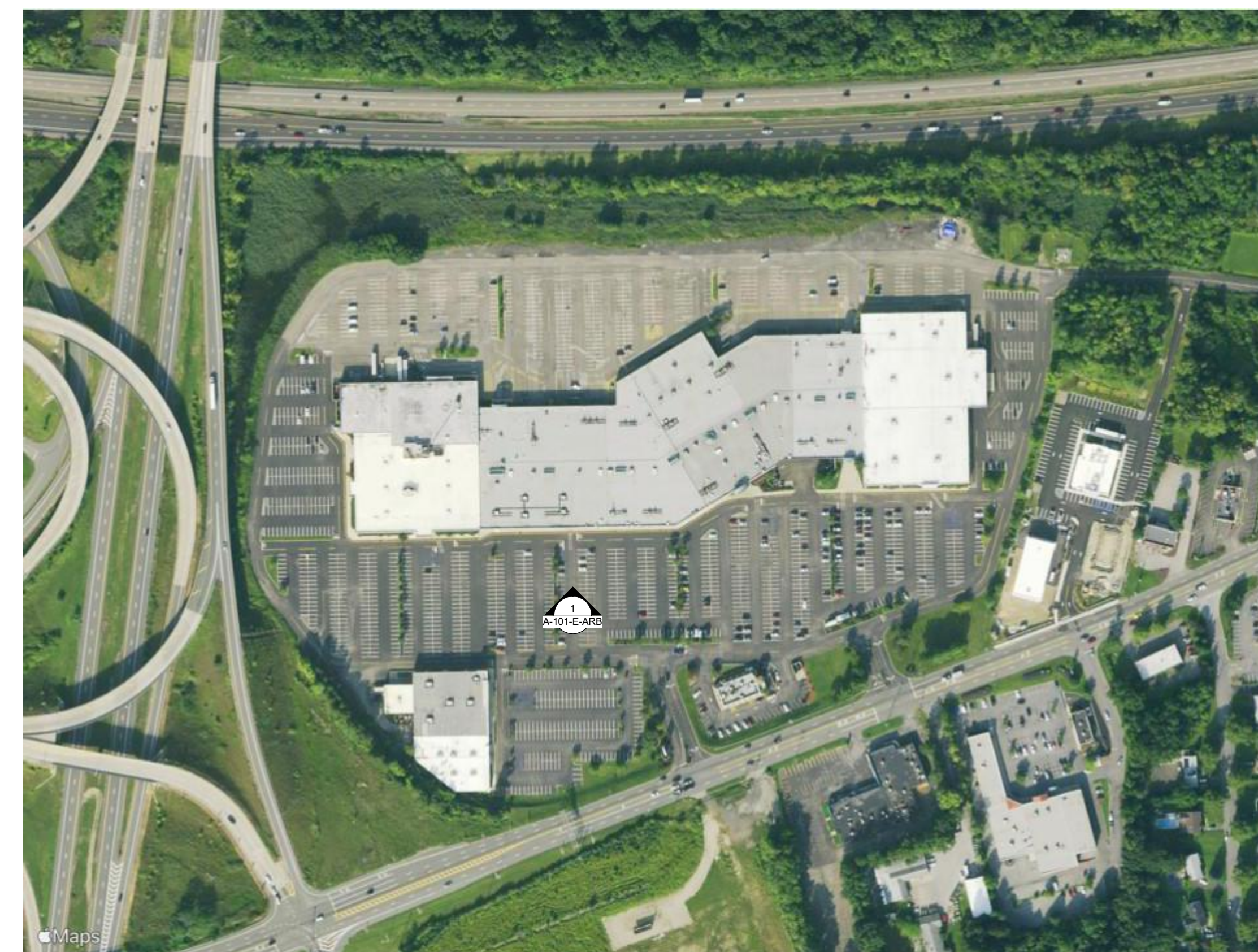




① EXISTING MALL IMAGE FROM EAST  
1" = 1'-0"



② BUILDING REFERENCE PLAN 2  
1" = 8'-0"



③ SITE MAP 2  
3" = 1'-0"

**PROJECT**

**NORTH**

KEY PLAN

AREA OF CONSTRUCTION

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Project: **NEWBURGH MALL**  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

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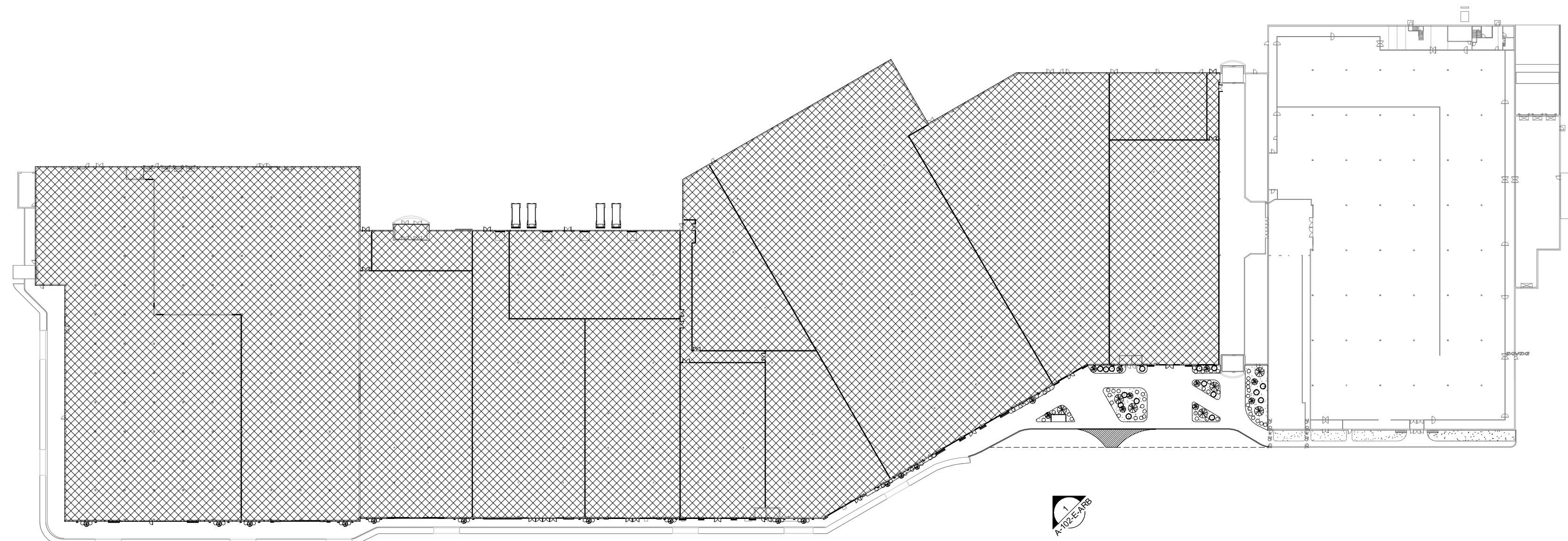
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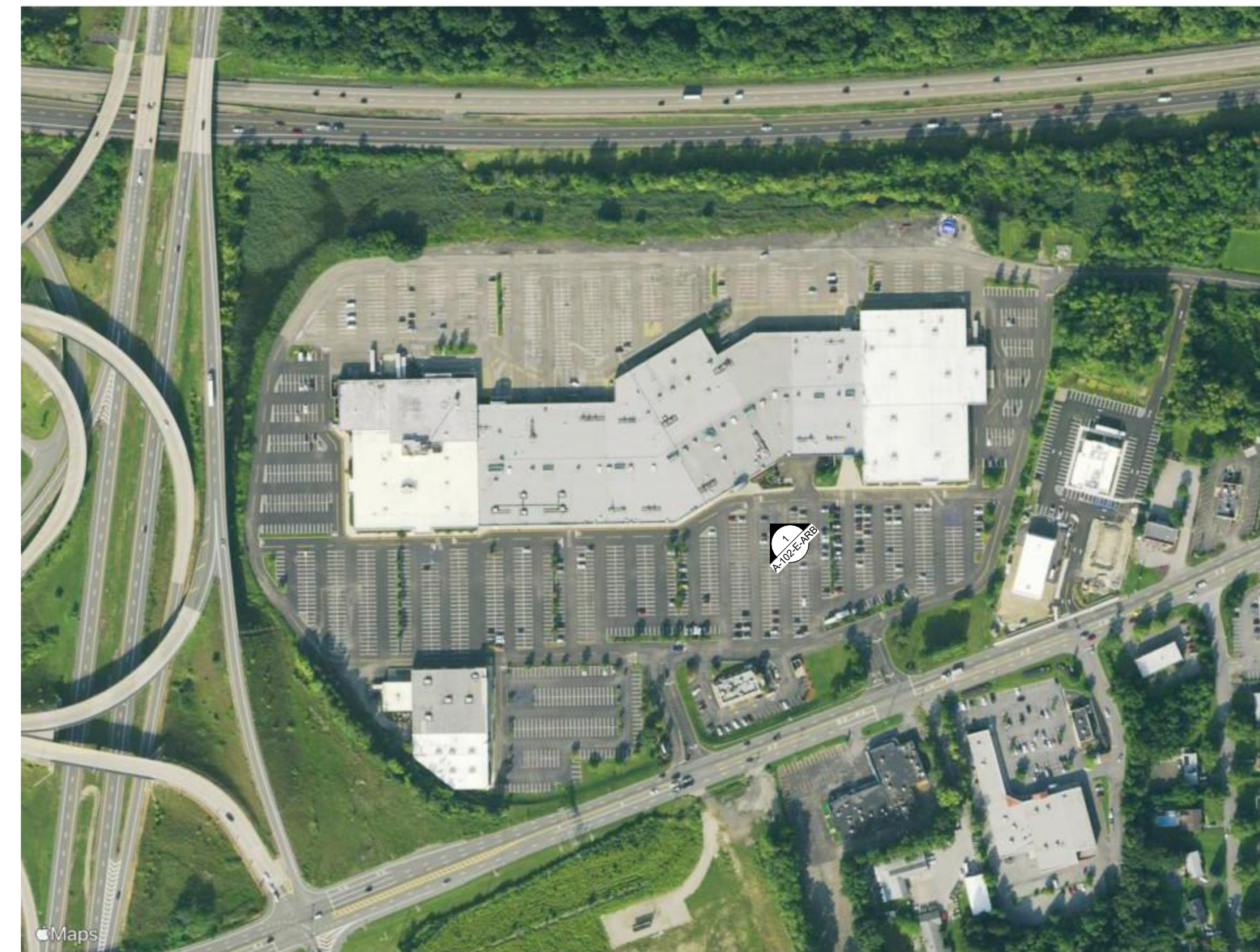




1 EXISTING MALL IMAGE FROM EAST  
1" = 1'-0"



2 BUILDING REFERENCE PLAN 3  
1" = 8'-0"



3 SITE MAP 3  
3" = 1'-0"

PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: EXISTING MALL IMAGES

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 07/10/24

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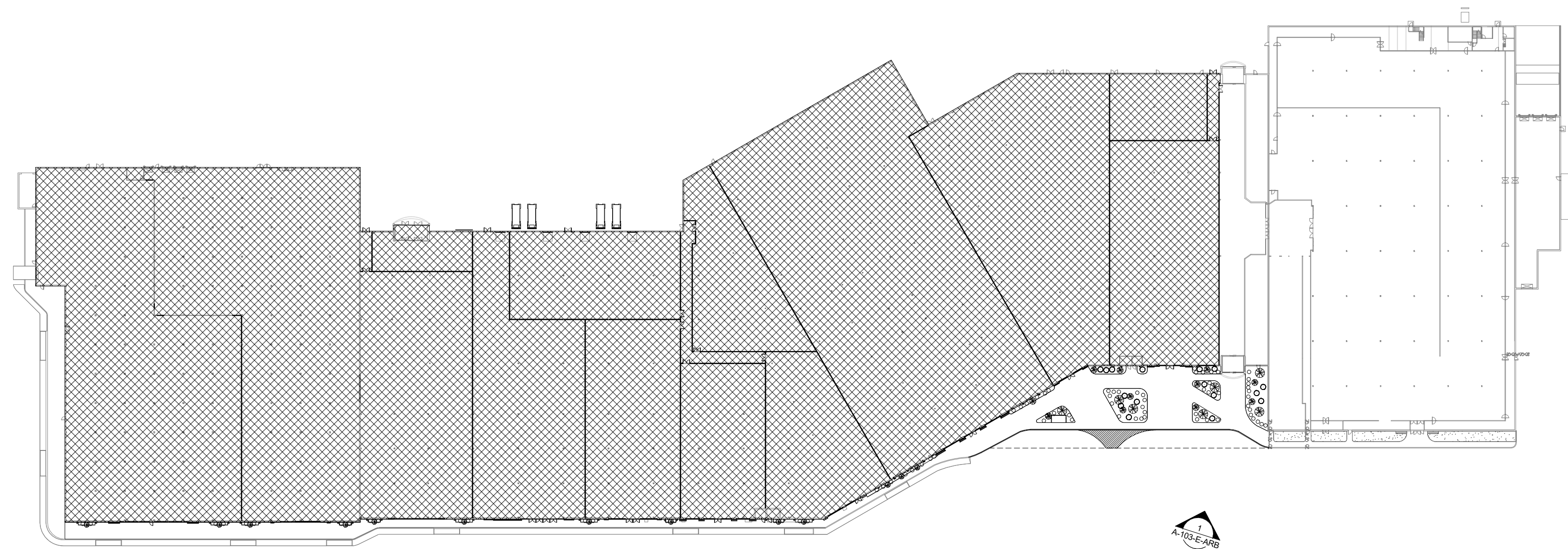
STATE OF NEW YORK

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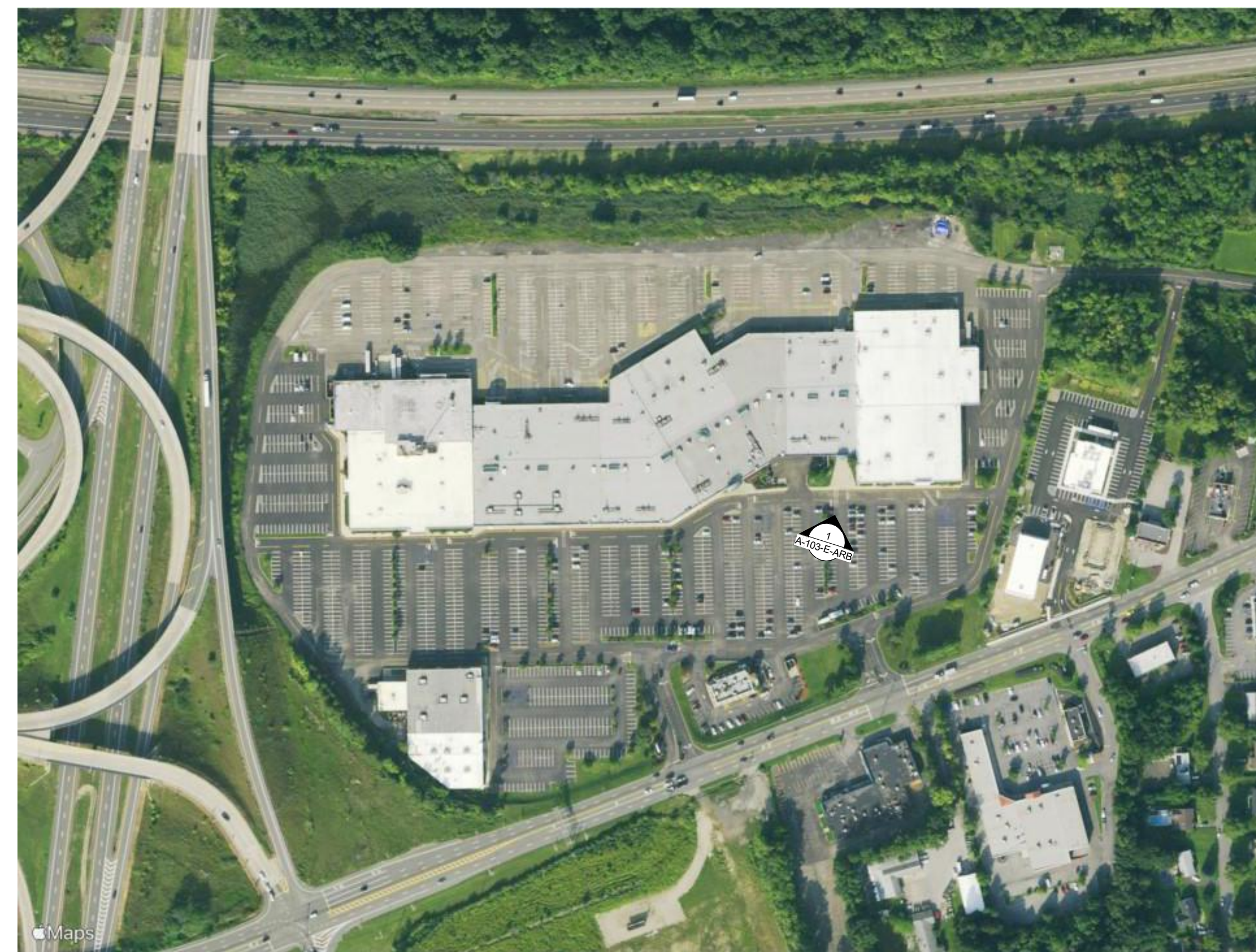




① EXISTING MALL IMAGE FROM EAST  
1" = 1'-0"



② BUILDING REFERENCE PLAN 4  
1" = 80'-0"



③ SITE MAP 4  
3" = 1'-0"

PROJECT	
NORTH	KEY PLAN AREA OF CONSTRUCTION

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

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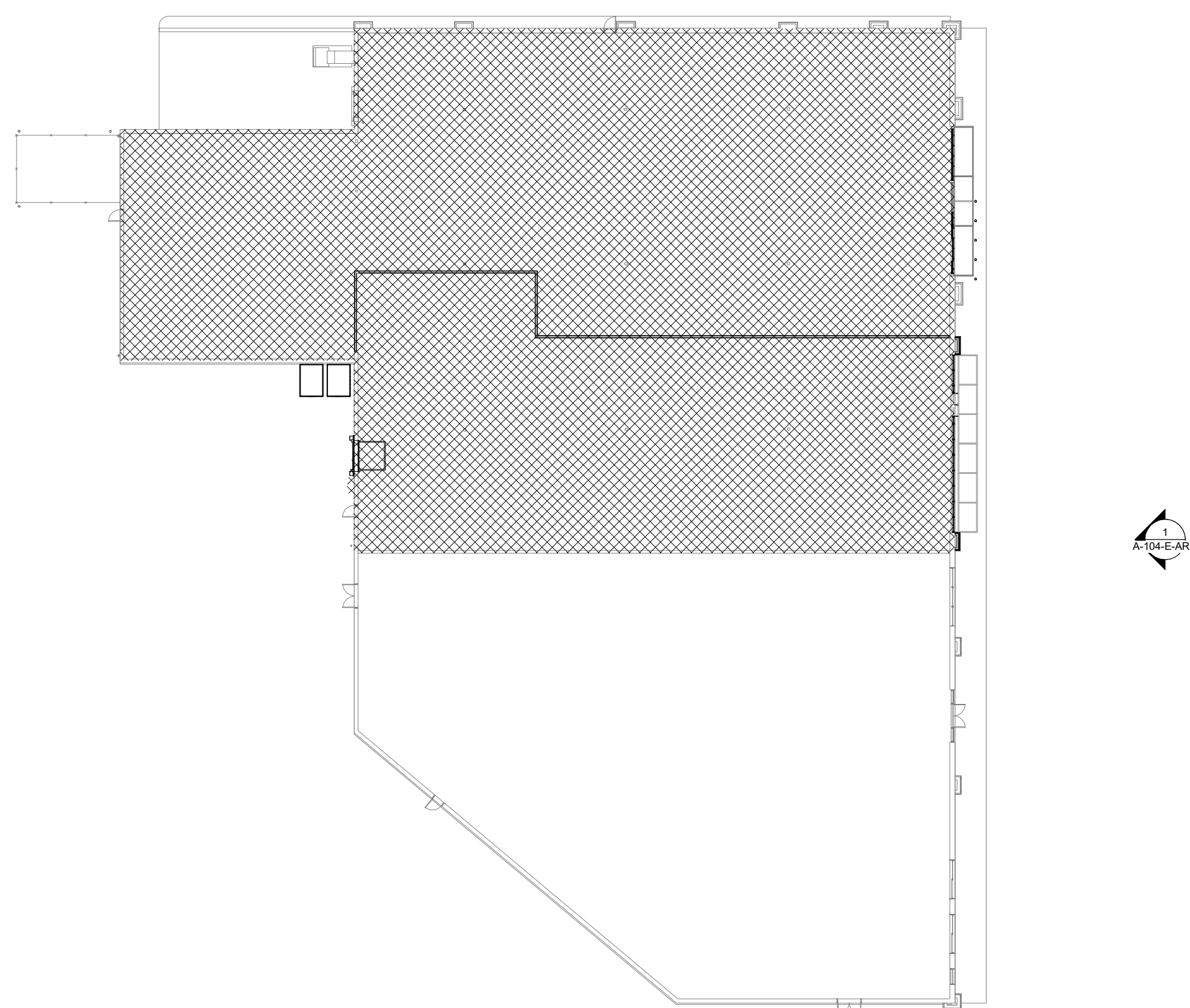
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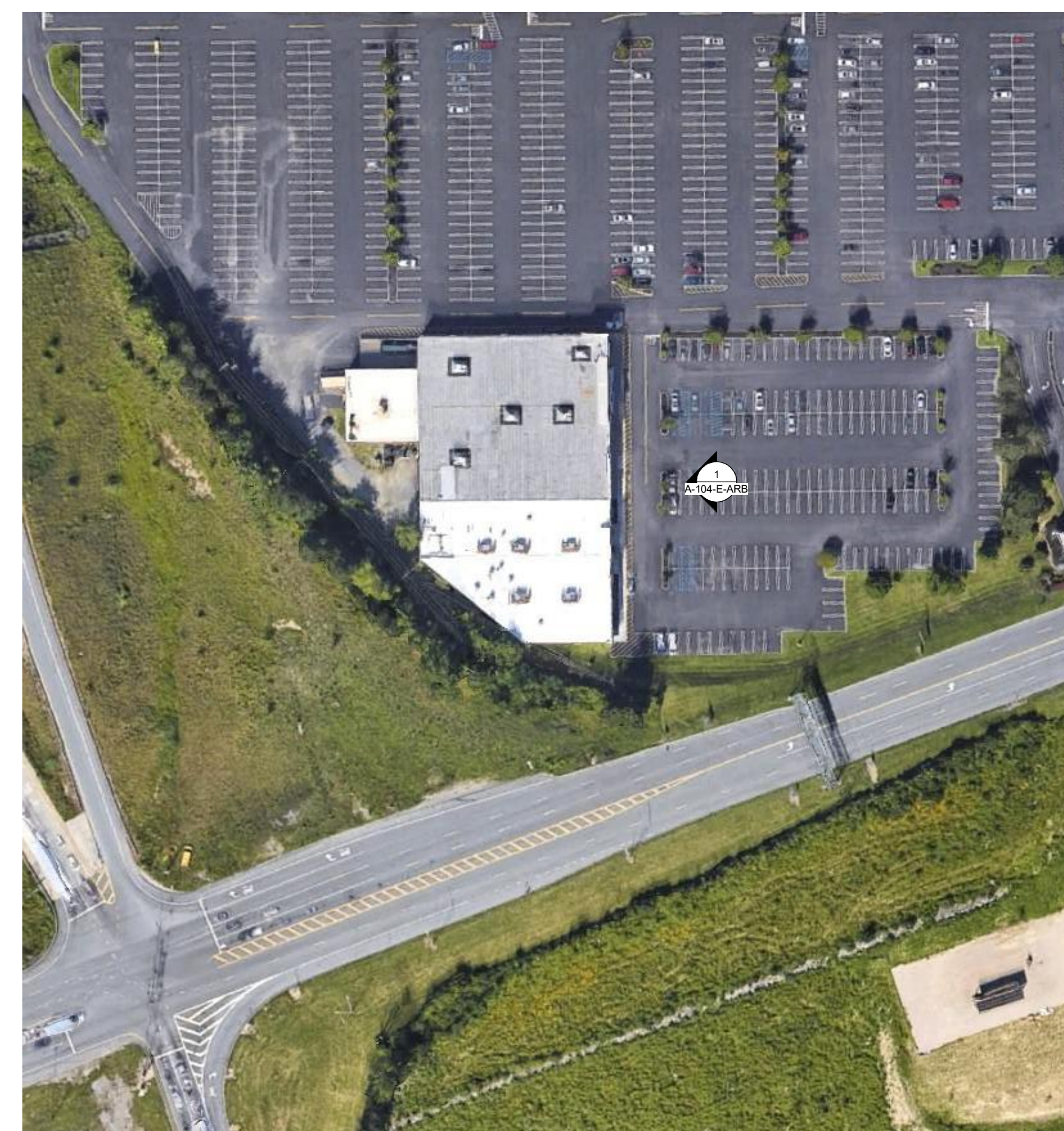




1 EXISTING OUTER PARCEL IMAGE FROM SOUTH WEST  
1" = 1'-0"



3 BUILDING REFERENCE PLAN  
1" = 3'-0"



2 SITE PLAN  
3" = 1'-0"

PROJECT	
NORTH	KEY PLAN

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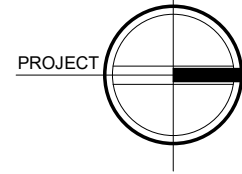
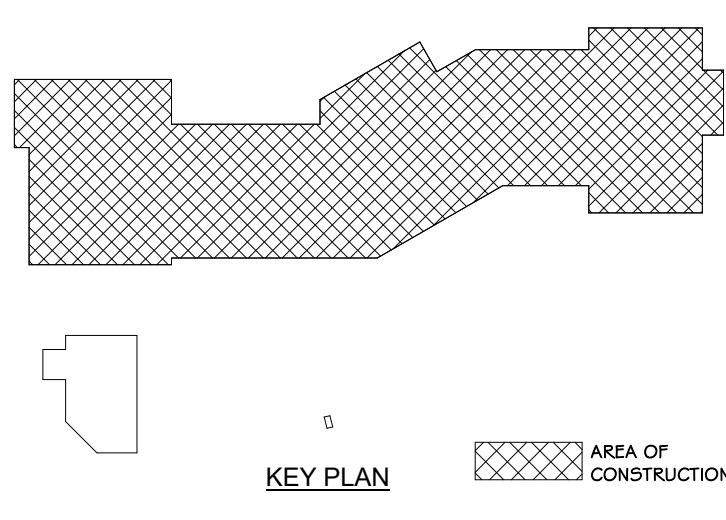
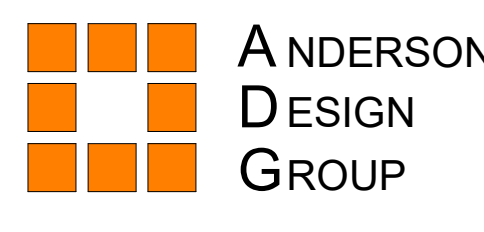
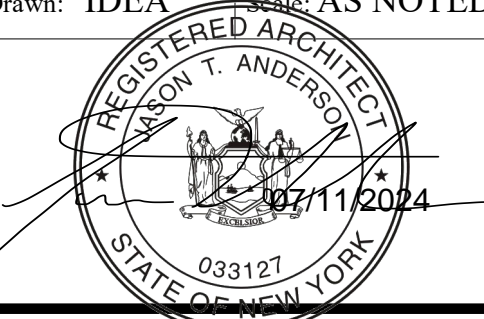
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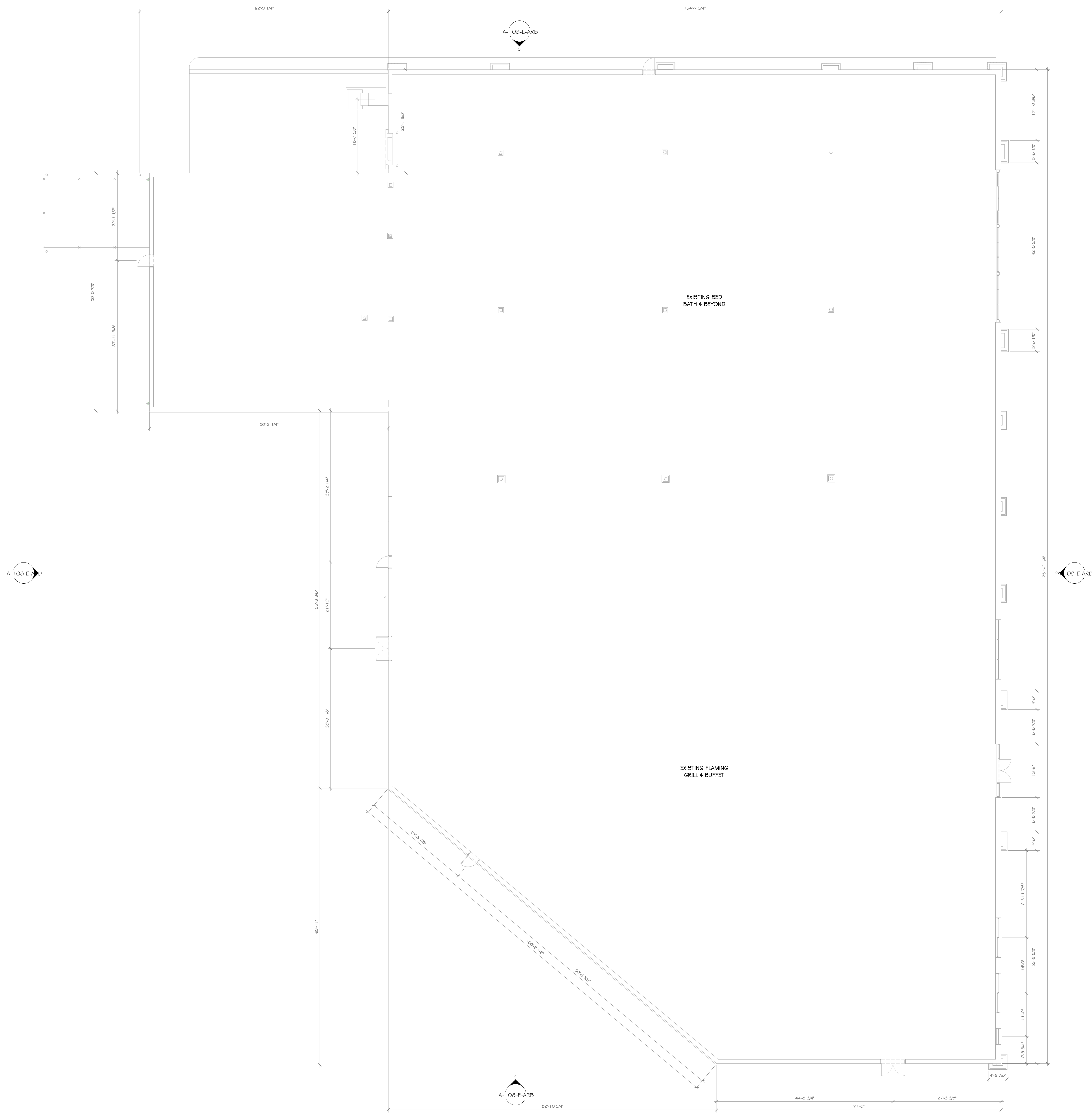




1 EXISTING OVERALL FLOOR PLAN  
1" = 40'-0"

<p><b>PROJECT</b></p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
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<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NUM.	DATE	DESCRIPTION									
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<p>Drawing Name: EXISTING MALL OVERALL FLOOR PLAN</p>														
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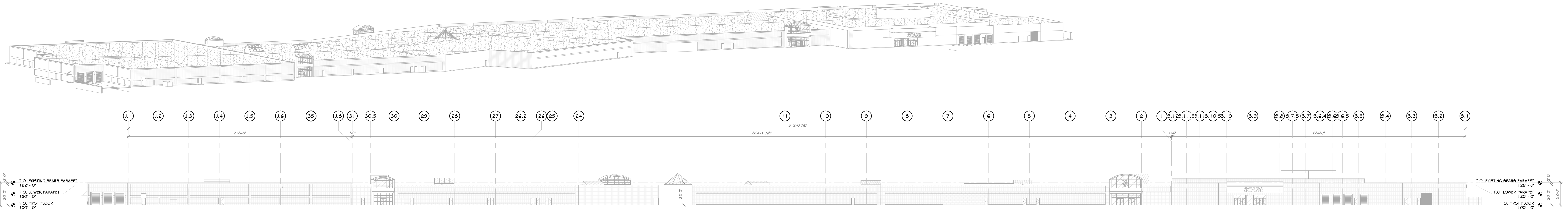




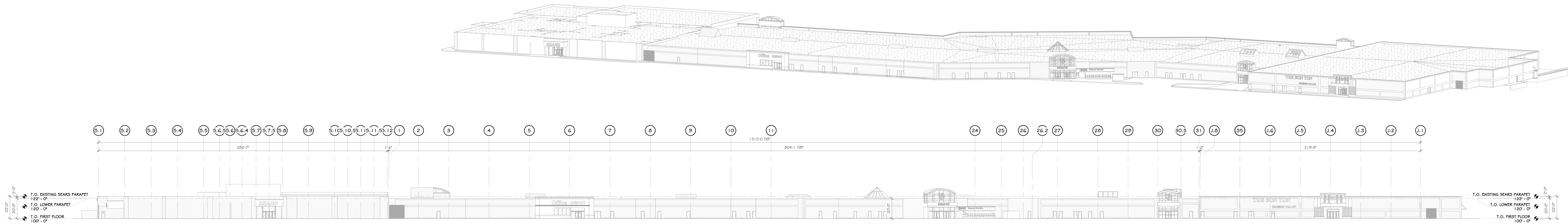
1 EXISTING PLAN  
3/32" = 1'-0"

<p><b>PROJECT</b></p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
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<p><b>REVISIONS:</b></p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NUM.	DATE	DESCRIPTION									
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 <p><b>ANDERSON DESIGN GROUP</b></p> <p>25 WALLKILL AVE • MONTGOMERY • NY 12540          O: 845.294.2724   F: 888.305.5442</p>		<p><b>ARCHITECTURE PLANNING INTERIORS</b></p> <p>WWW.ADGARCHITECT.COM          CONTACT@ADGARCHITECT.COM</p>												
<p>Project: <b>NEWBURGH MALL</b>          1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
<p>Drawing Name: <b>EXISTING OUTER PARCEL FLOOR PLAN</b></p>														
<p>Drawn: <b>IDEA</b></p>	<p>Scale: <b>AS NOTED</b></p>	<p>Project: <b>23101-23</b>   Date: <b>07/10/24</b></p>												
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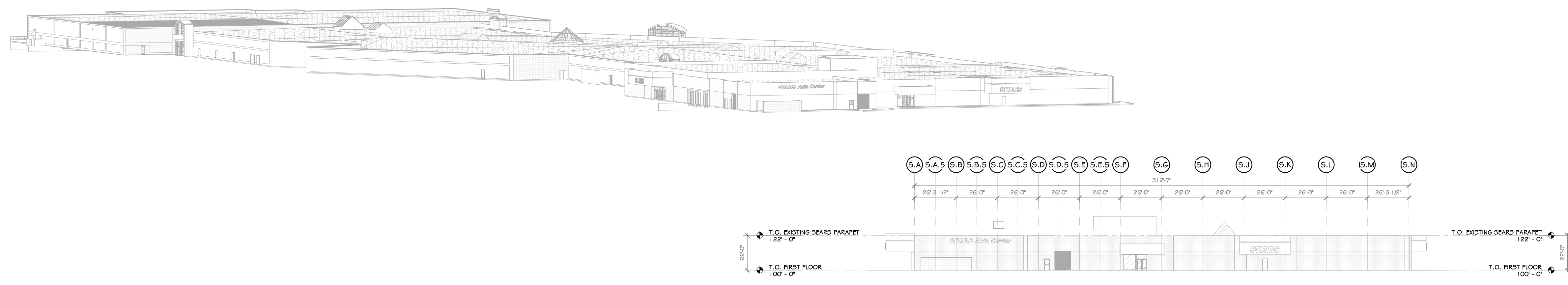




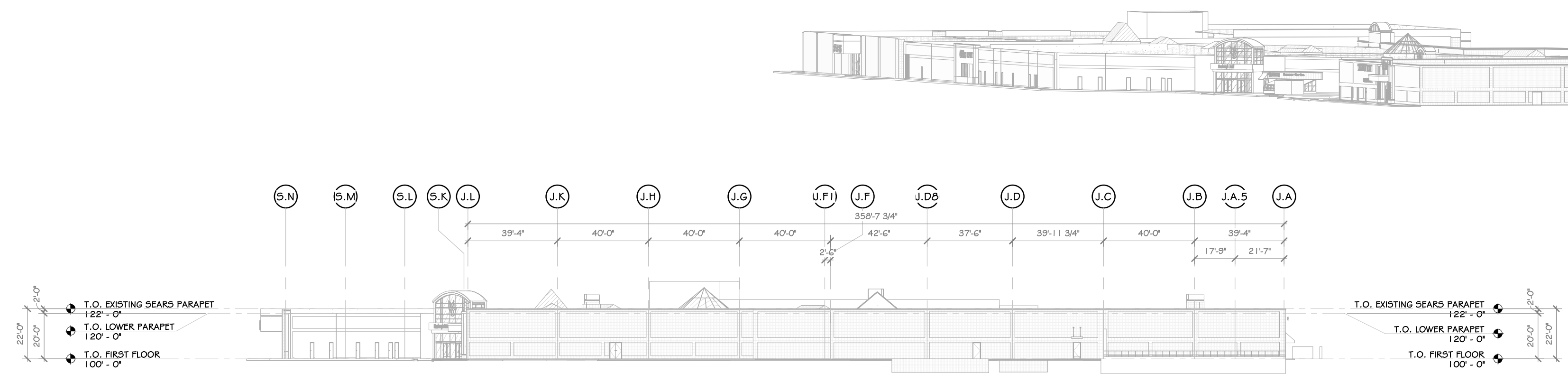
1 EXISTING NORTH ELEVATION  
1" = 40'-0"



2 EXISTING SOUTH ELEVATION  
1" = 40'-0"



3 EXISTING WEST ELEVATION  
1" = 40'-0"



4 EXISTING EAST ELEVATION  
1" = 40'-0"

**PROJECT**

**NORTH**

**KEY PLAN**

AREA OF CONSTRUCTION

**100% ARCHITECTURAL REVIEW BOARD DOCUMENTS**

**REVISIONS:**

NUM.	DATE	DESCRIPTION

**ANDERSON  
DESIGN  
GROUP**

ARCHITECTURE  
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Project: **NEWBURGH MALL**  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

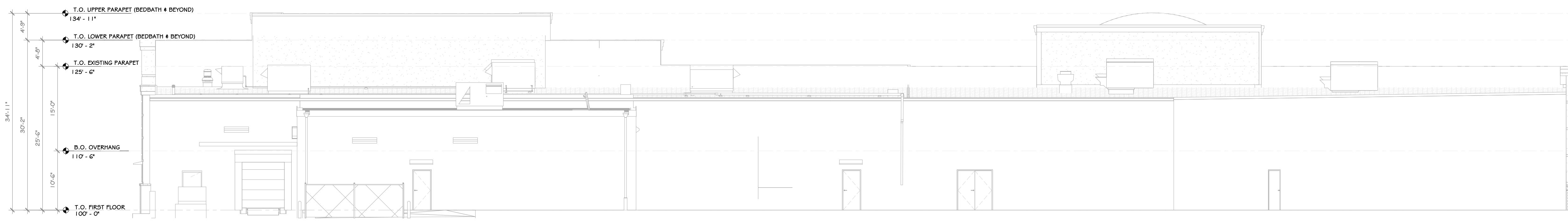
Drawing Name: **EXISTING MALL EXTERIOR ELEVATIONS**

Drawn: IDEA      Scale: AS NOTED      Project: 23101-23      Date: 07/10/24

238127

Drawing Number: **A-107-E-ARB**

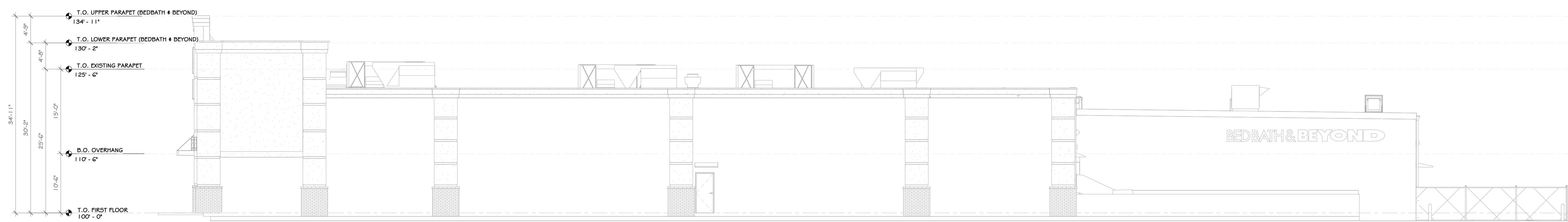




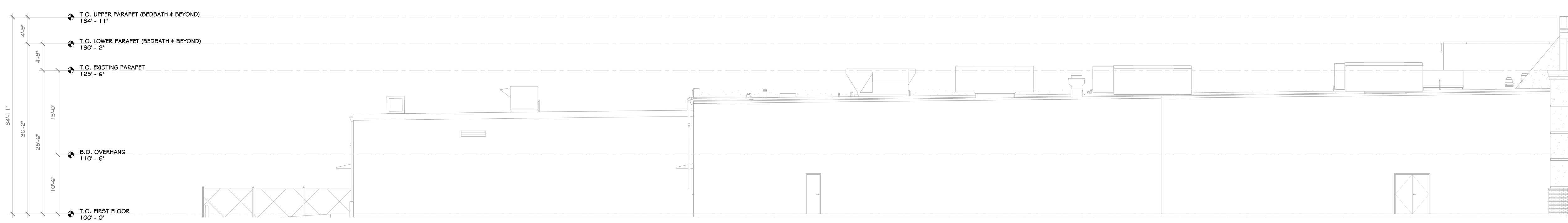
① EXISTING SOUTH ELEVATION  
3/32" = 1'-0"



② EXISTING NORTH ELEVATION  
3/32" = 1'-0"



③ EXISTING WEST ELEVATION  
3/32" = 1'-0"



④ EXISTING EAST ELEVATION  
3/32" = 1'-0"

**PROJECT**

**KEY PLAN**

AREA OF CONSTRUCTION

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Project: **NEWBURGH MALL**  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

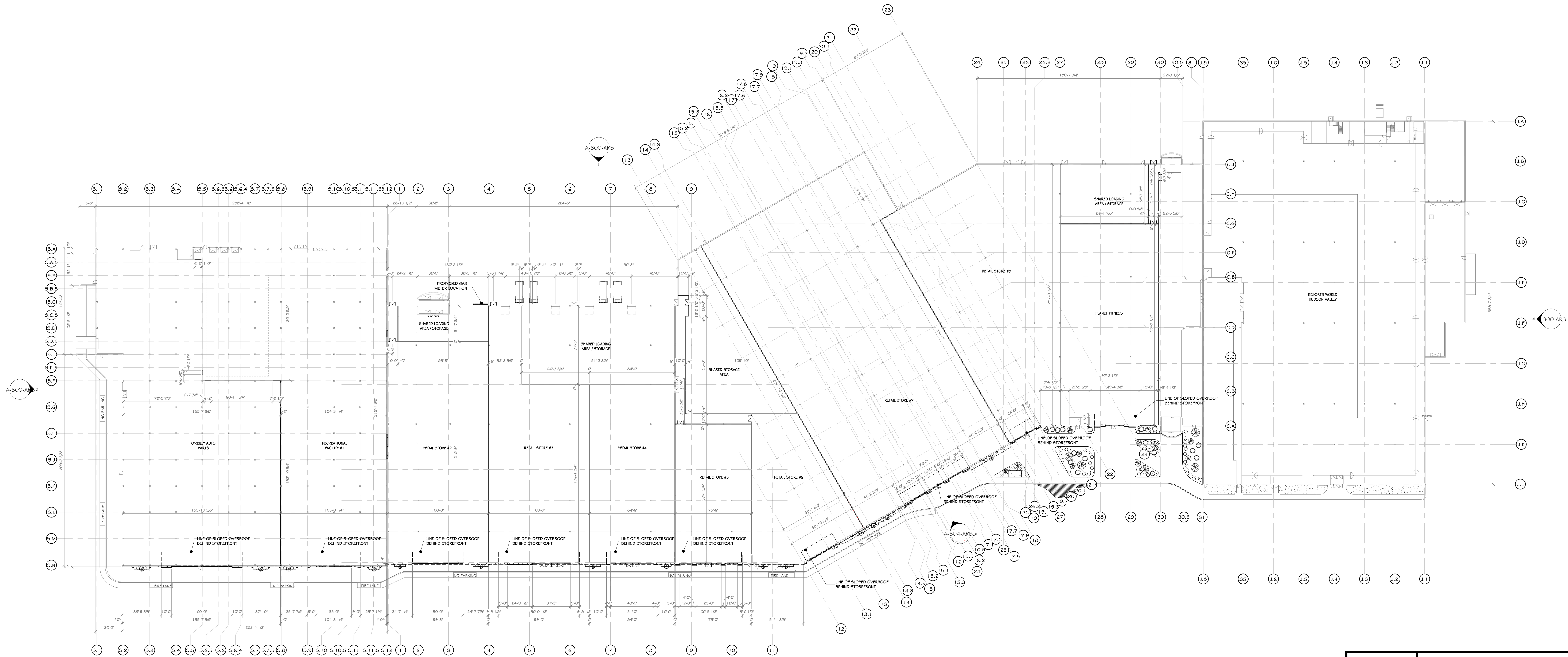
Drawing Name: **EXISTING OUTER PARCEL EXTERIOR ELEVATIONS**

Drawn: **IDEA** Scale: **AS NOTED** Project: **23101-23** Date: **07/10/24**

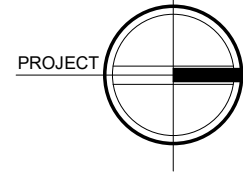
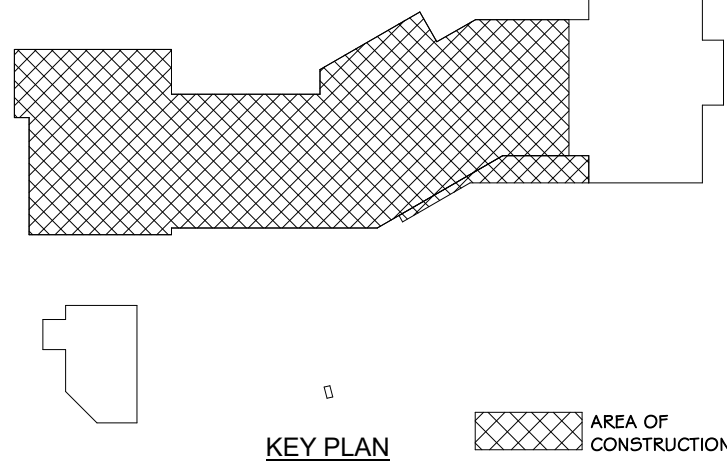
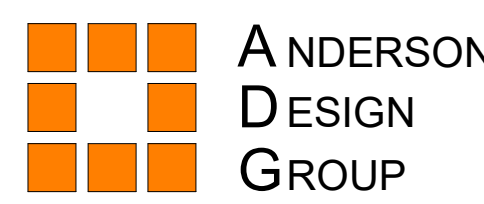

238127

Drawing Number: **A-108-E-ARB**

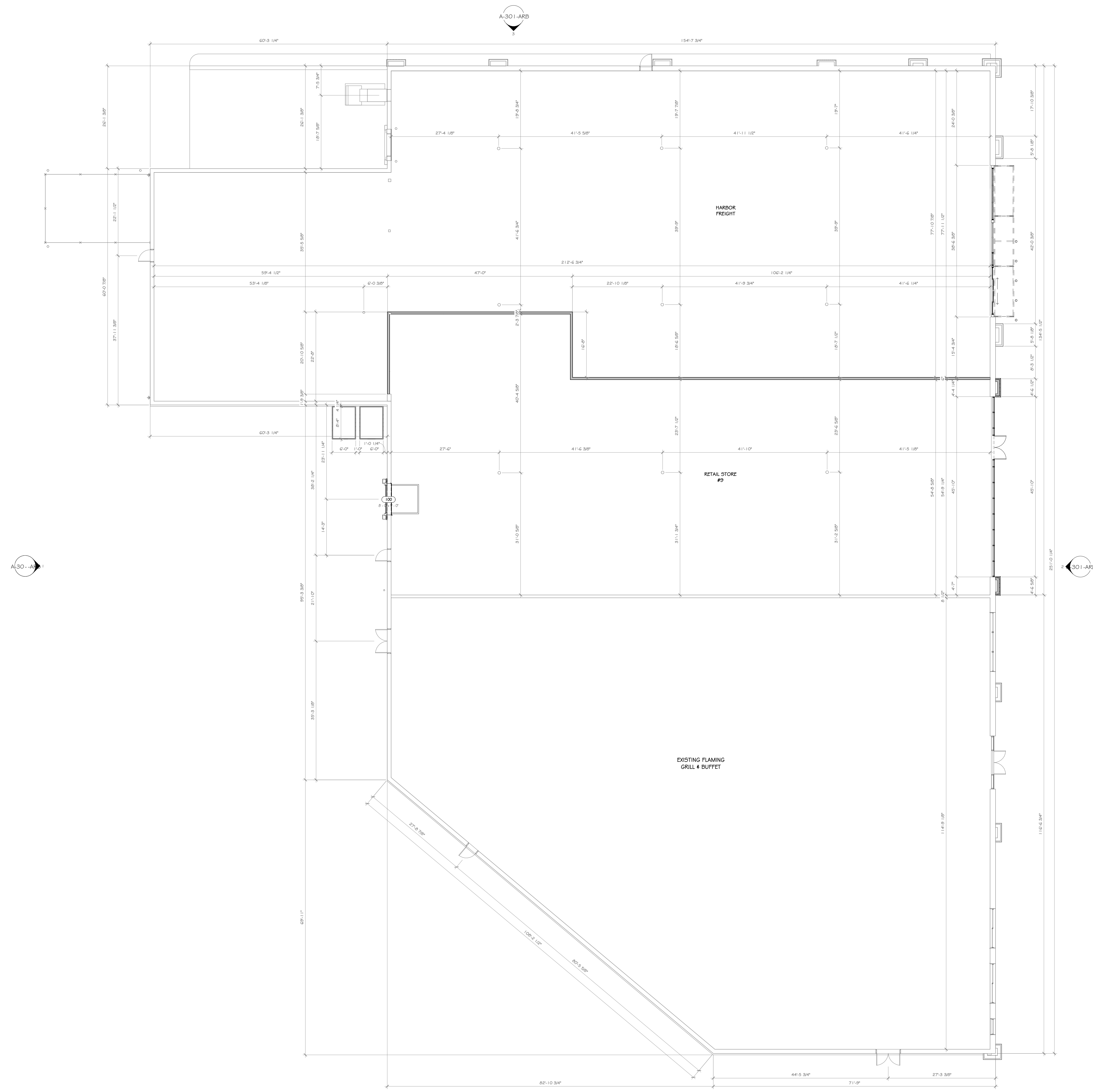




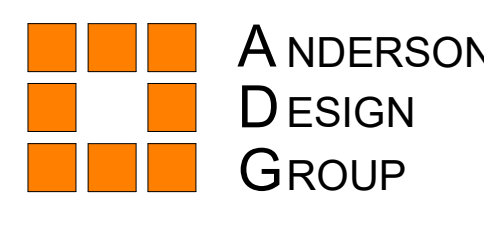
1 MALL OVERALL FLOOR PLAN  
1" = 40'-0"

<p><b>PROJECT</b></p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>	
<p><b>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</b></p>			
<p><b>REVISIONS:</b></p>			
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<p>Project: <b>NEWBURGH MALL</b> 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>			
<p>Drawing Name: <b>MALL OVERALL FLOOR PLAN</b></p>			
Drawn: <b>IDEA</b>	Scale: <b>AS NOTED</b>	Project: <b>23101-23</b>	Date: <b>07/10/24</b>
		<p>Drawing Number: <b>A-200-ARB</b></p>	





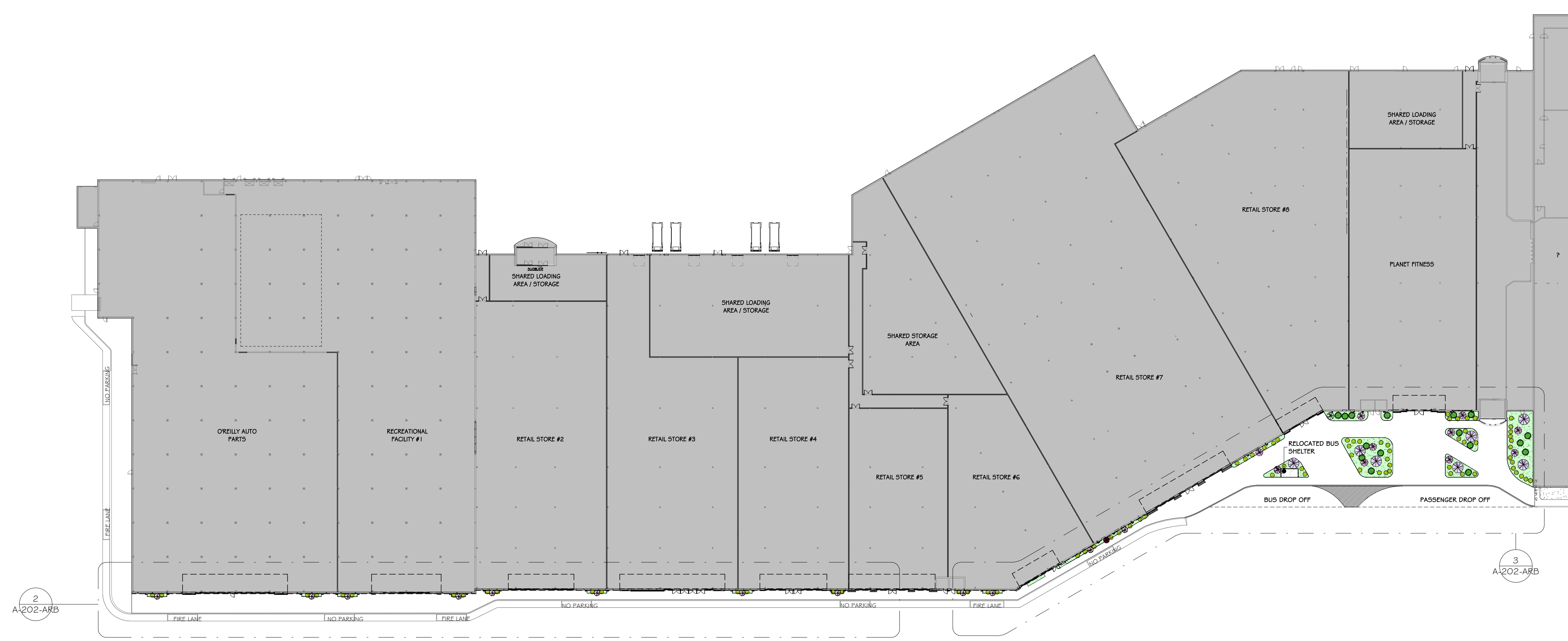
1 OUTER PARCEL FLOOR PLAN  
3/32" = 1'-0"

<p><b>PROJECT</b></p>  <p><b>NORTH</b></p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
<p><b>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</b></p>														
<p><b>REVISIONS:</b></p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NUM.	DATE	DESCRIPTION									
NUM.	DATE	DESCRIPTION												
 <p><b>ANDERSON DESIGN GROUP</b></p> <p>25 WALLKILL AVE • MONTGOMERY • NY 12540          © 845.294.2724   F.888.305.6442</p>		<p><b>ARCHITECTURE</b></p> <p>PLANNING</p> <p>INTERIORS</p> <p>WWW.ADGARCHITECT.COM          CONTACT@ADGARCHITECT.COM</p>												
<p>Project: NEWBURGH MALL          1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
<p>Drawing Name: OUTER PARCEL FLOOR PLAN</p>														
<p>Drawn: IDEA</p>	<p>Scale: AS NOTED</p>	<p>Project: 23101-23   Date: 07/10/24</p>												
		<p>Drawing Number: <b>A-201-ARB</b></p>												

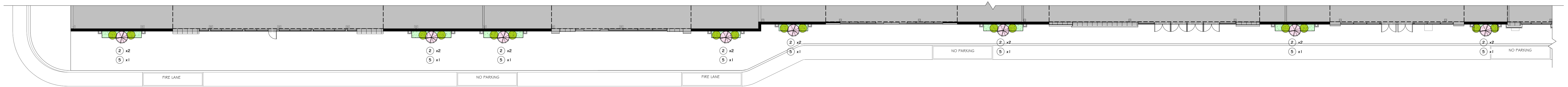


CONSTRUCTION NOTES

1. PERCENTAGE OF PERVIOUS SURFACE AREA IS TO REMAIN.
2. NO CUT AND FILL RE-GRADING IS PROPOSED.



1 OVERALL LANDSCAPE PLAN  
1" = 50'-0"



2 ENLARGED LANDSCAPE PLAN  
1/16" = 1'-0"



3 ENLARGED LANDSCAPE PLAN  
1/16" = 1'-0"

SITE PLANTING SCHEDULE			
SYMBOL	QUANTITY	NAME	TAG
	16	EMERALD GREEN ARBORVITAE	1
	76	WINTER GEM BOXWOODS	2
	7	DWARF CHERRY BLOSSOM	3
	12	DWARF JAPANESE MAPLE	4
	12	PRUNUS FLOWERING CHERRY TREE	5
	1	CRIMSON POINTE PLUM	6

LANDSCAPE LEGEND	
	PROPOSED PARKING SPACES
	PROPOSED LOADING AREA
	EXISTING PARKING SPACES

**PROJECT**

PROJECT:

**NORTH**

KEY PLAN

AREA OF CONSTRUCTION

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Project: **NEWBURGH MALL**  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

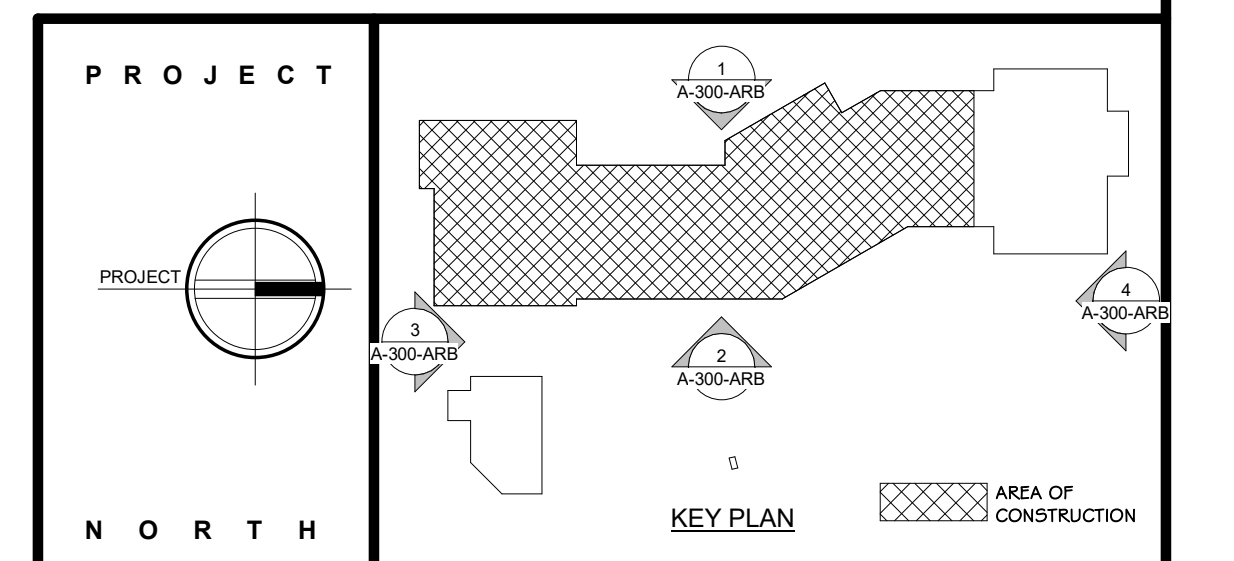
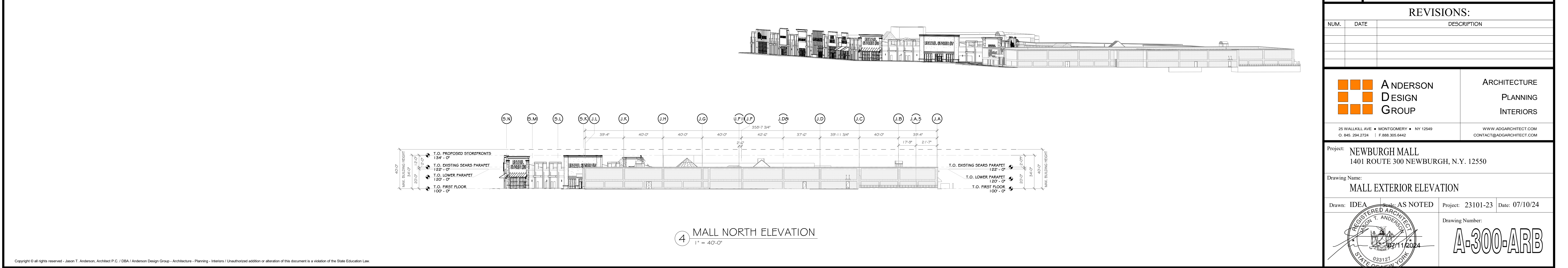
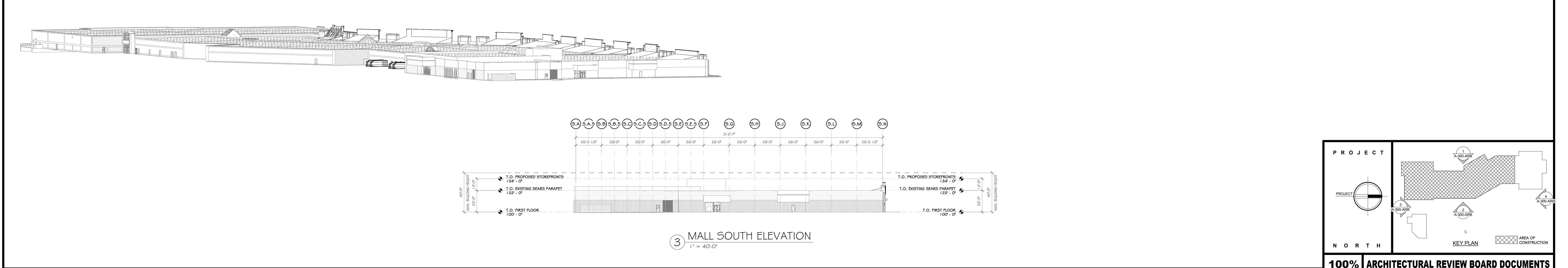
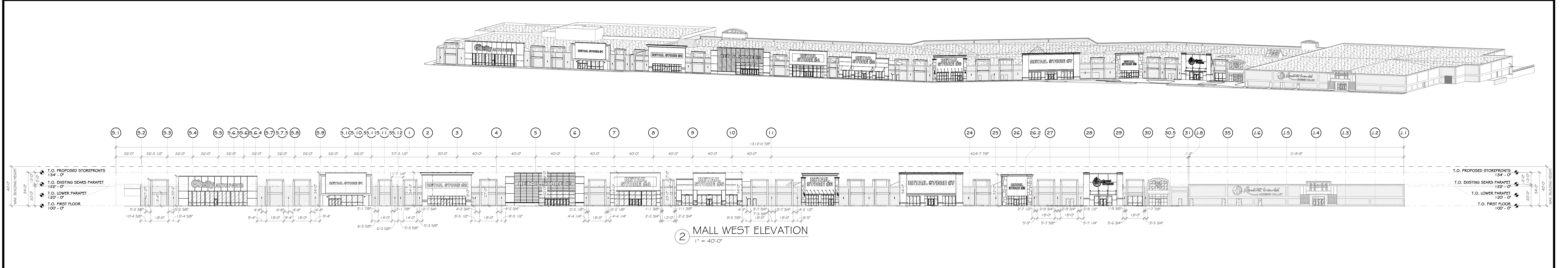
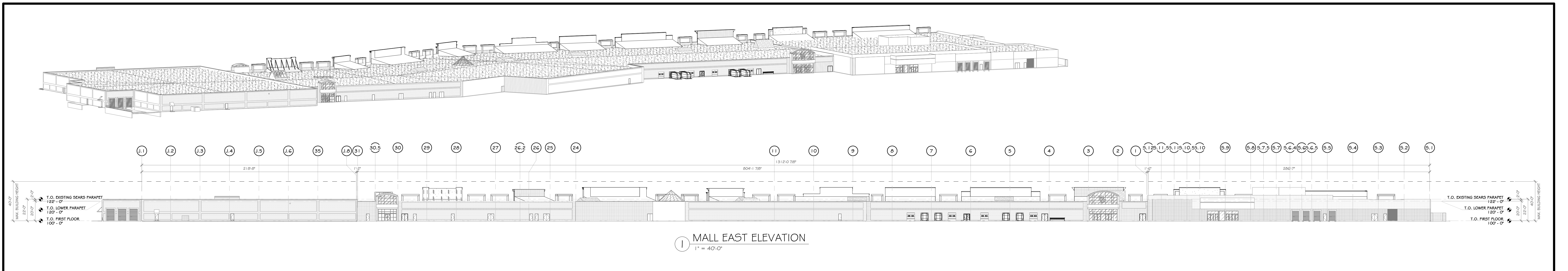
Drawing Name: **OVERALL LANDSCAPE PLAN**

Drawn: IDEA AS NOTED Project: 23101-23 Date: 07/10/24

Drawing Number: **A-202-ARB**

REGISTERED ARCHITECT  
JASON T. ANDERSON  
STATE OF NEW YORK  
238127





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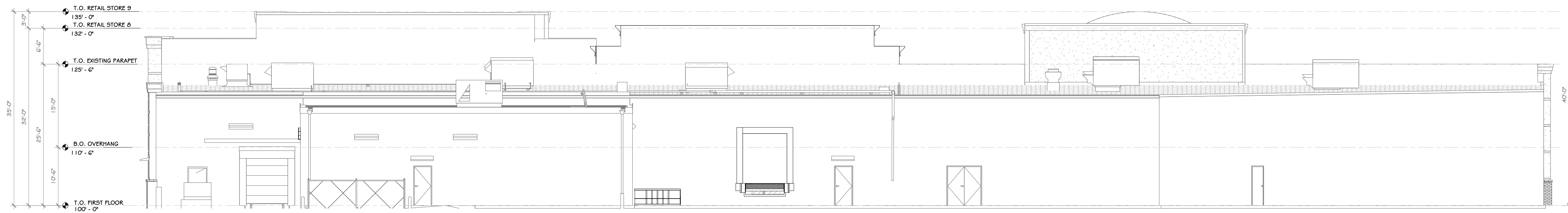
Project: **NEWBURGH MALL**  
 1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: **MALL EXTERIOR ELEVATION**

Drawn: IDEA      AS NOTED      Project: 23101-23      Date: 07/10/24

	<p>Drawing Number: <b>A-300-ARB</b></p>
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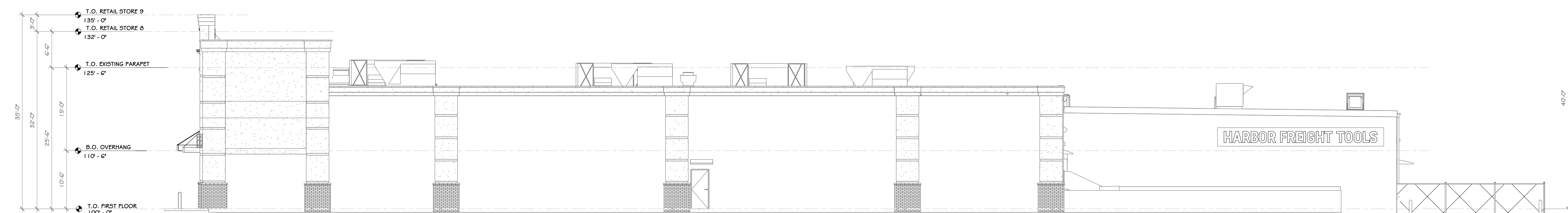




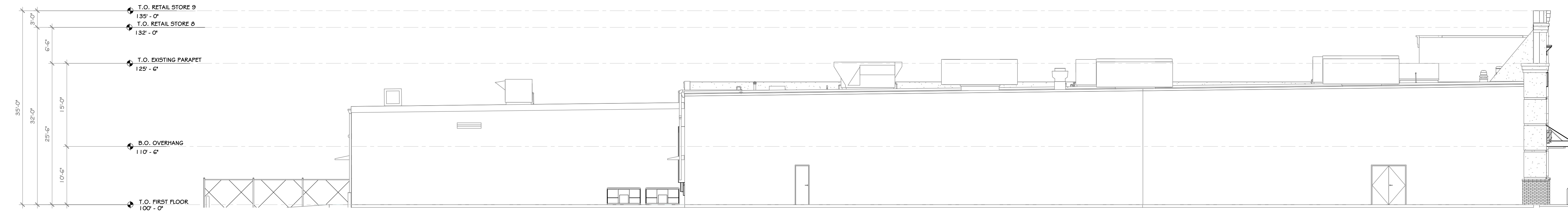
① OUTER PARCEL SOUTH ELEVATION  
3/32" = 1'-0"



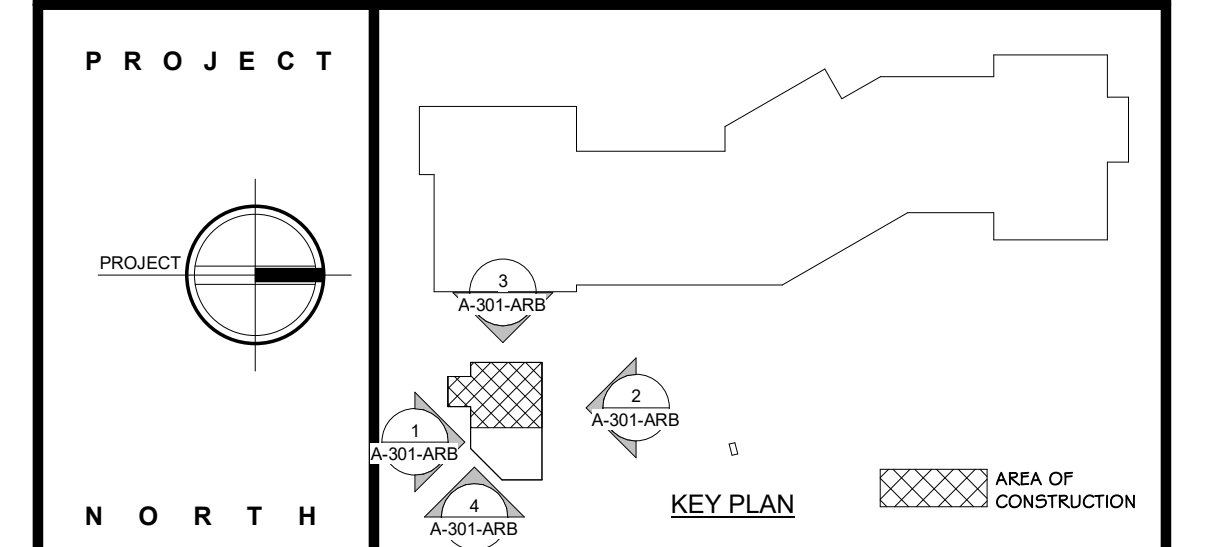
② OUTER PARCEL NORTH ELEVATION  
3/32" = 1'-0"



③ OUTER PARCEL WEST ELEVATION  
3/32" = 1'-0"



④ OUTER PARCEL EAST ELEVATION  
3/32" = 1'-0"



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Drawing Name: OUTER PARCEL EXTERIOR ELEVATIONS

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 07/10/24

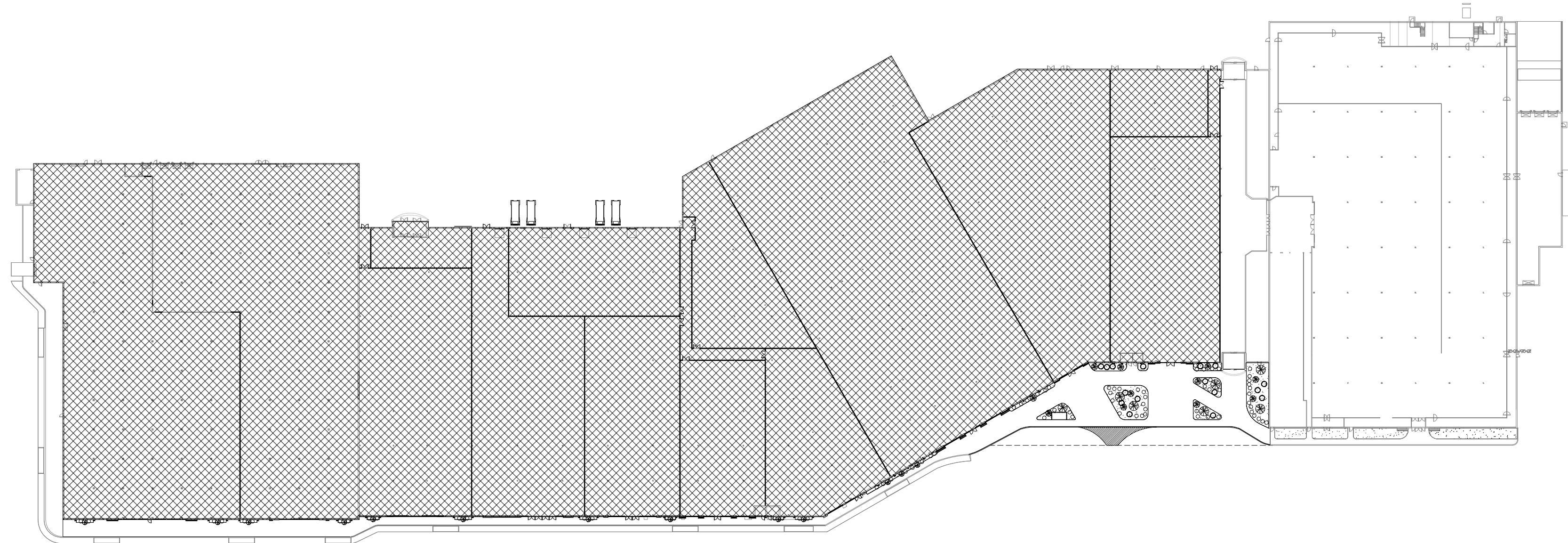
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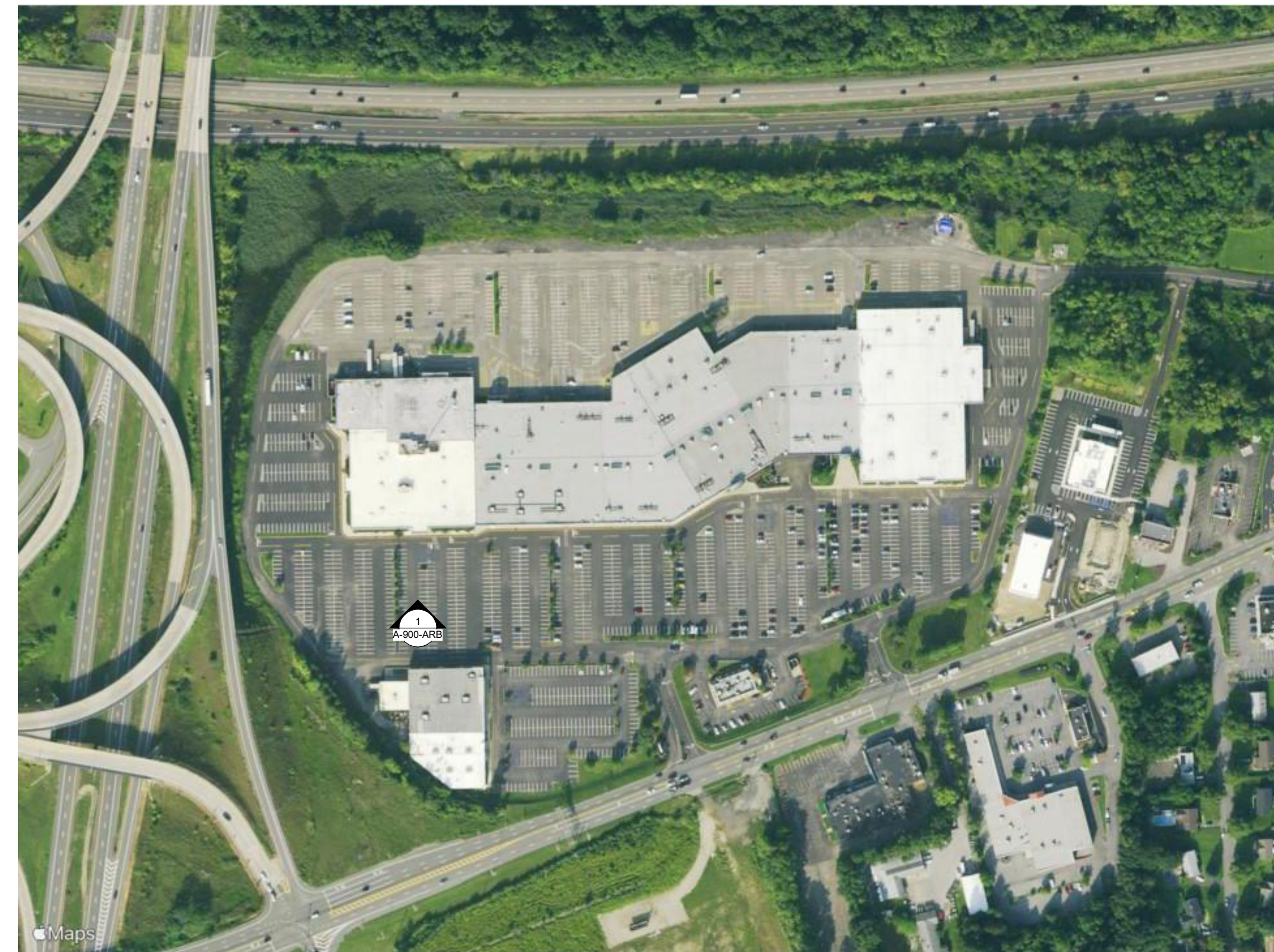


ADG ARCHITECTS

1 PROPOSED ELEVATION RENDERING FROM EAST  
3" = 1'-0"



2 BUILDING REFERENCE PLAN I  
1" = 60'-0"



3 SITE MAP I

PROJECT	
PROJECT	KEY PLAN
NORTH	AREA OF CONSTRUCTION

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MALL RENDERING FROM EAST

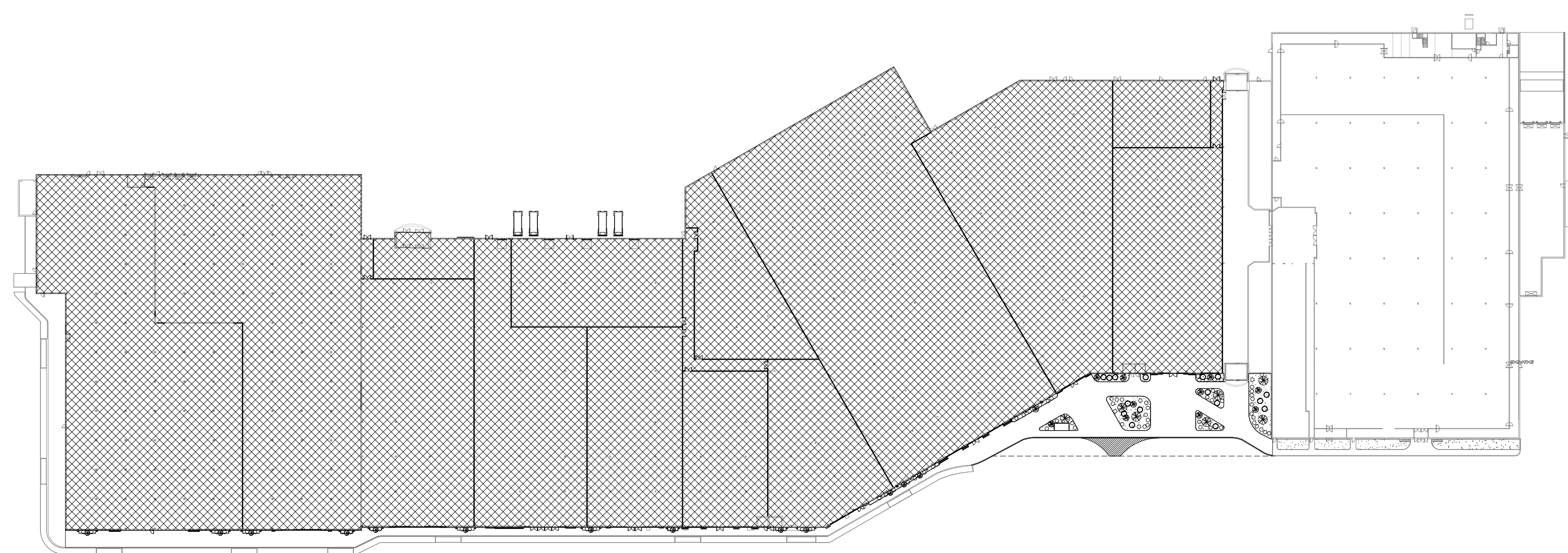
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	<p>Drawing Number: <b>A-900-ARB</b></p>
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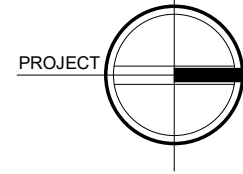
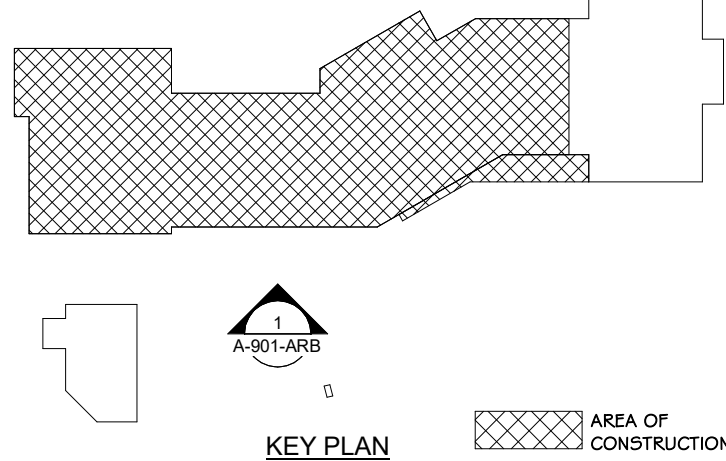
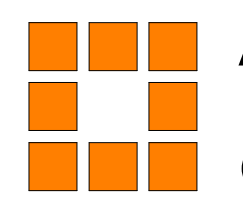

1 PROPOSED ELEVATION RENDERING FROM EAST  
3" = 1'-0"



2 BUILDING REFERENCE PLAN 2  
1" = 80'-0"



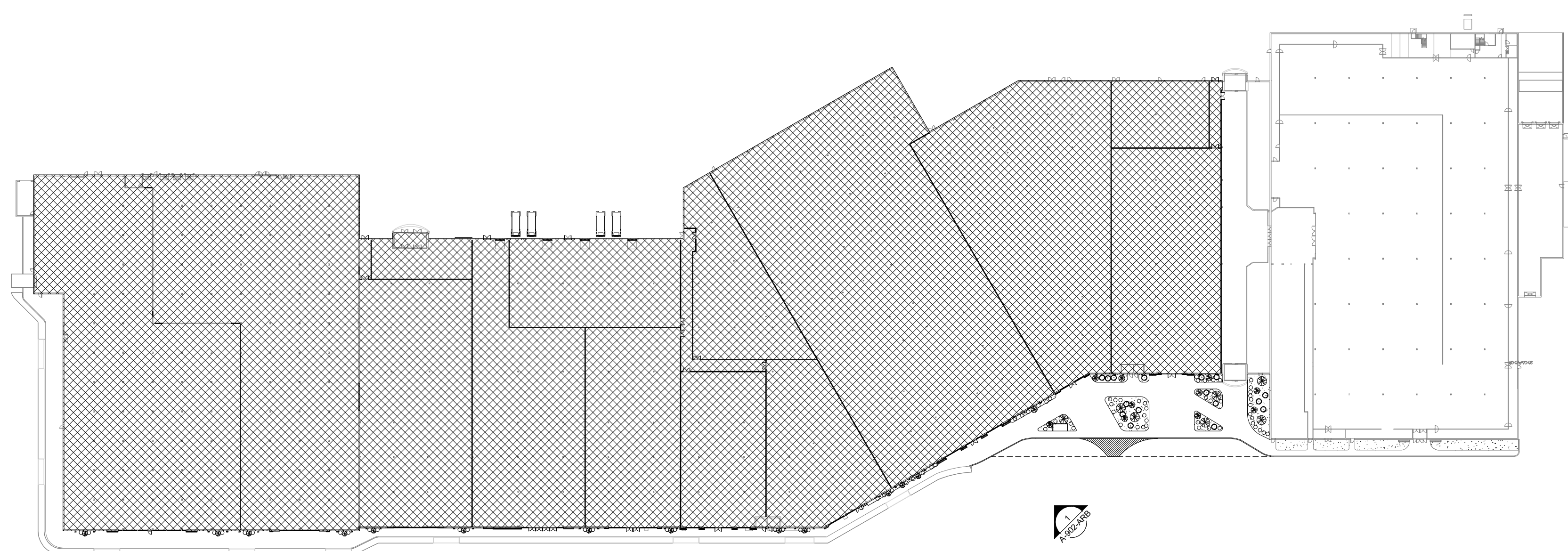
3 SITE MAP 2

<p>PROJECT</p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
<p><b>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</b></p>														
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NUM.	DATE	DESCRIPTION									
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<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
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<p>Drawn: IDEA</p>	<p>Scale: AS NOTED</p>	<p>Project: 23101-23   Date: 07/10/24</p>												
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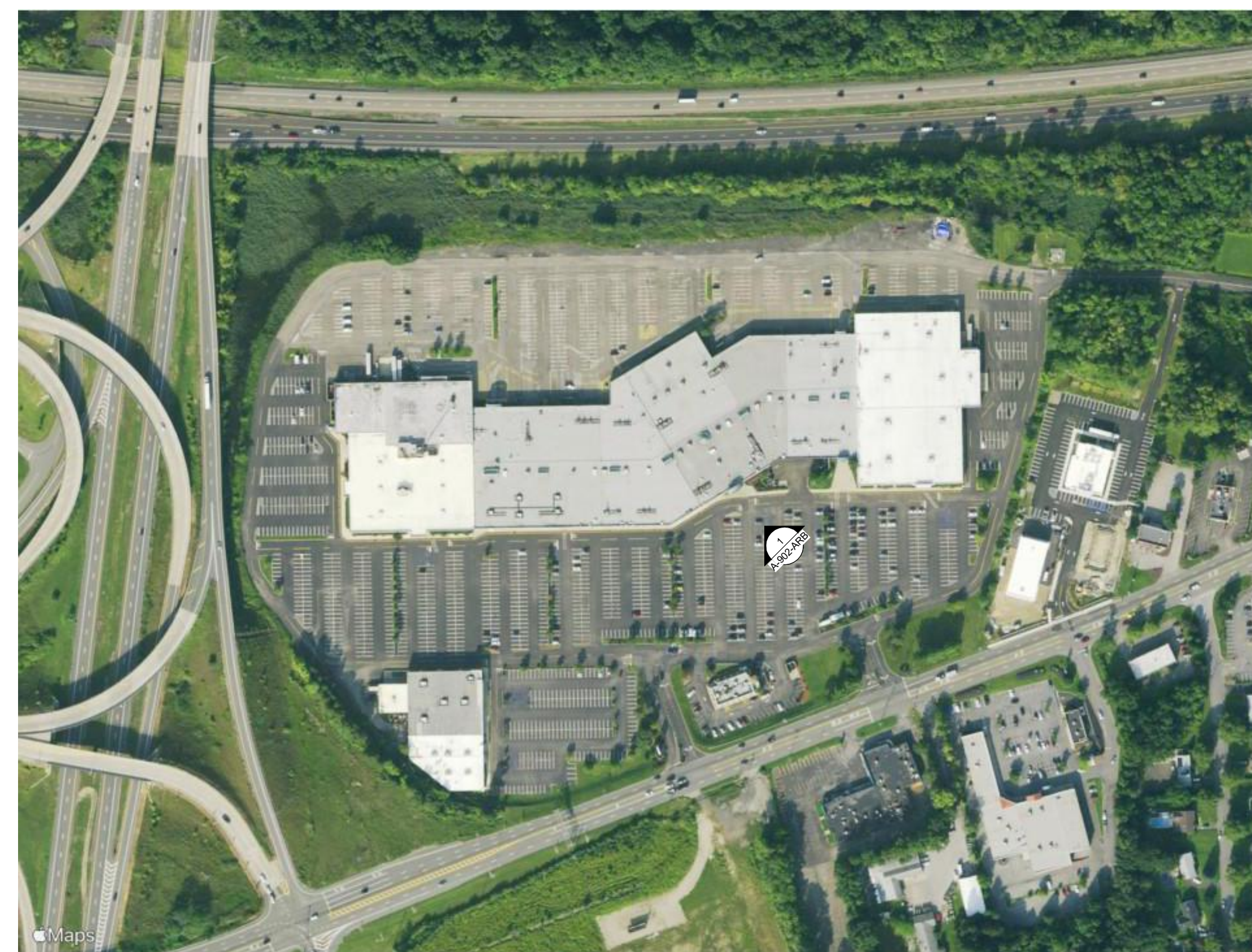




1 PROPOSED ELEVATION RENDERING FROM EAST  
1/2" = 1'-0"



2 BUILDING REFERENCE PLAN 3



3 SITE MAP 3

PROJECT	
PROJECT	KEY PLAN
NORTH	AREA OF CONSTRUCTION

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MALL RENDERING FROM EAST

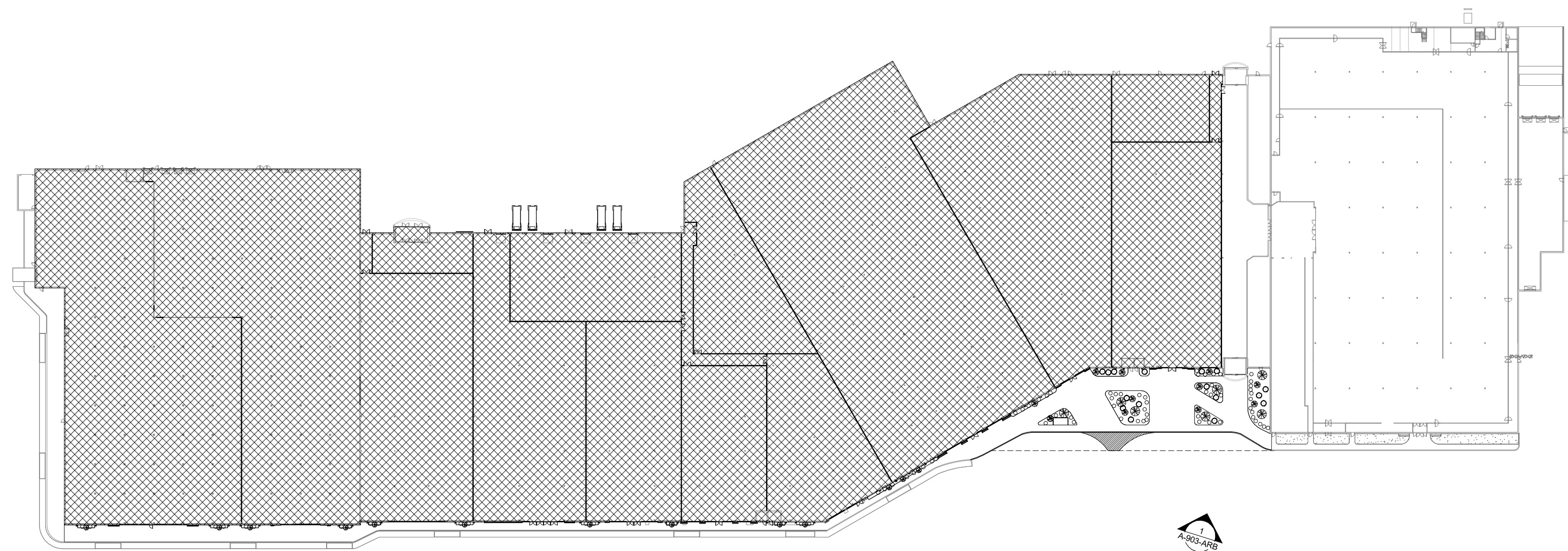
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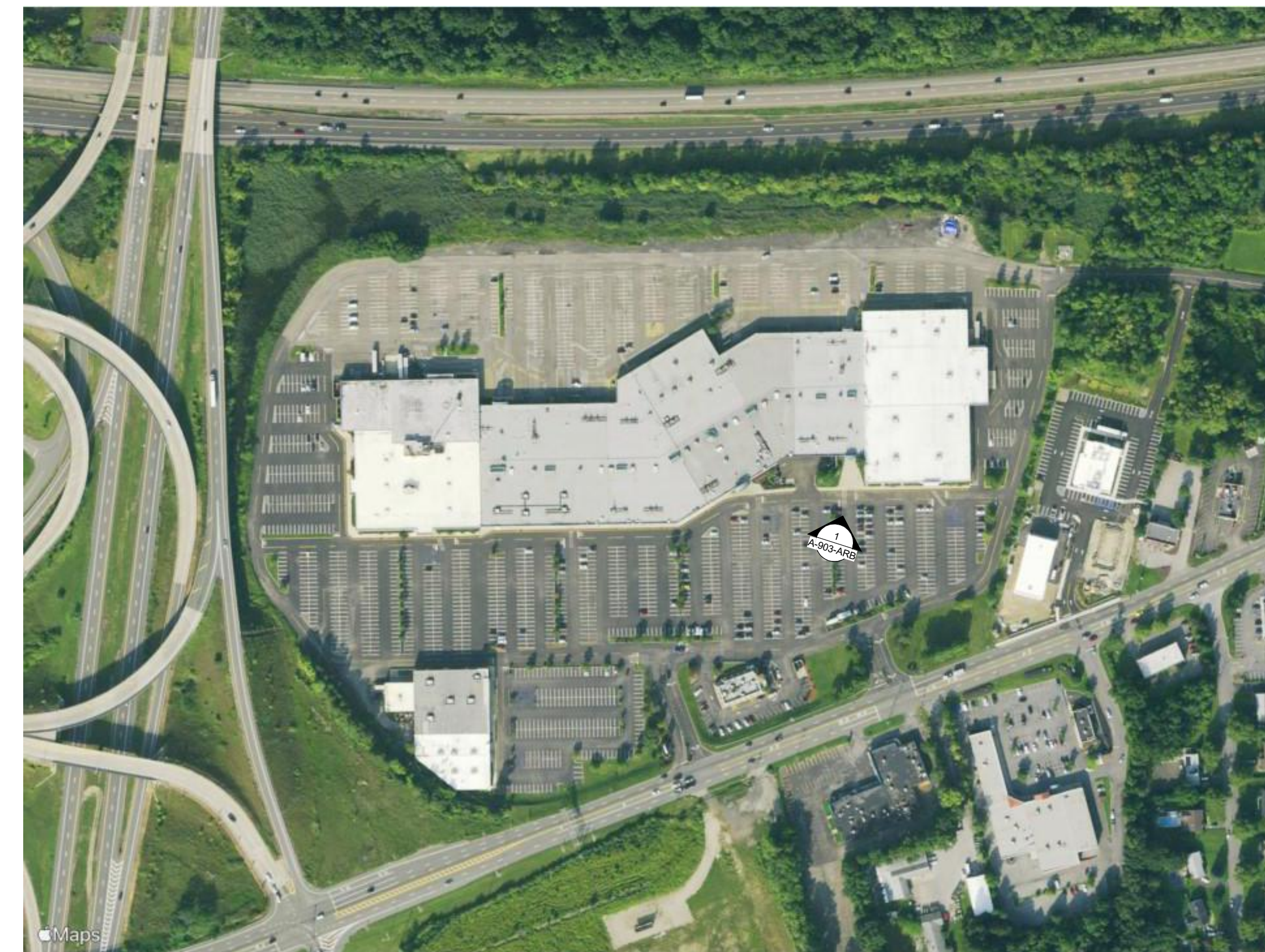




① PROPOSED ELEVATION RENDERING FROM EAST



② BUILDING REFERENCE PLAN 4



③ SITE MAP 4

PROJECT	
NORTH	KEY PLAN

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name:  
MALL RENDERING FROM EAST

Drawn: IDEA      Scale: AS NOTED      Project: 23101-23      Date: 07/10/24

	Drawing Number: <b>A-903-ARB</b>
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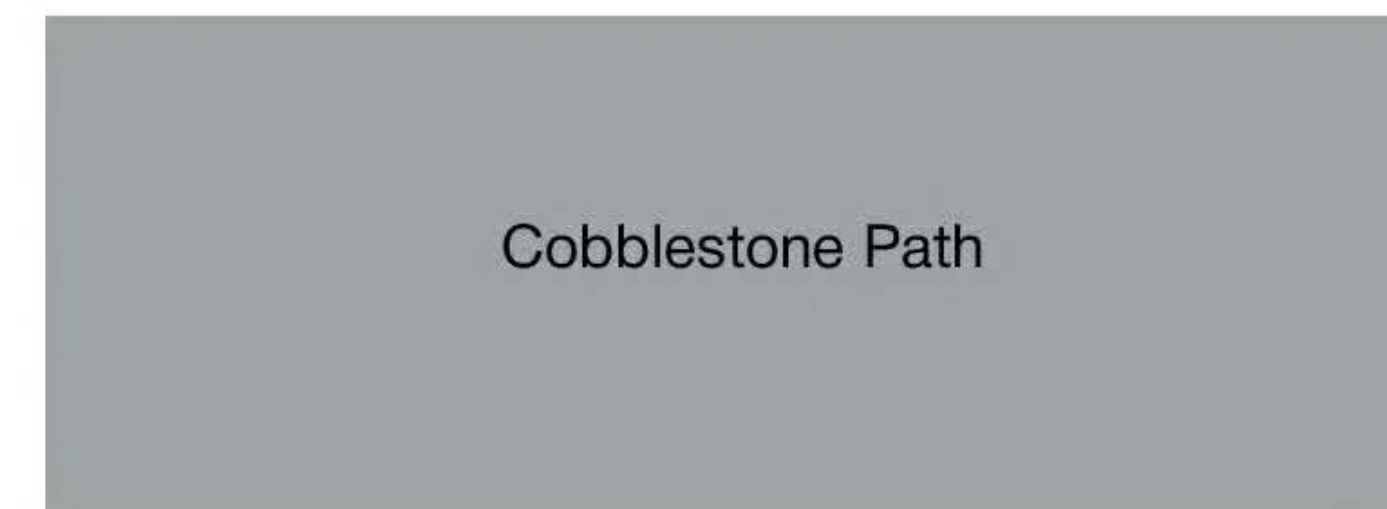


# THE NEWBURGH



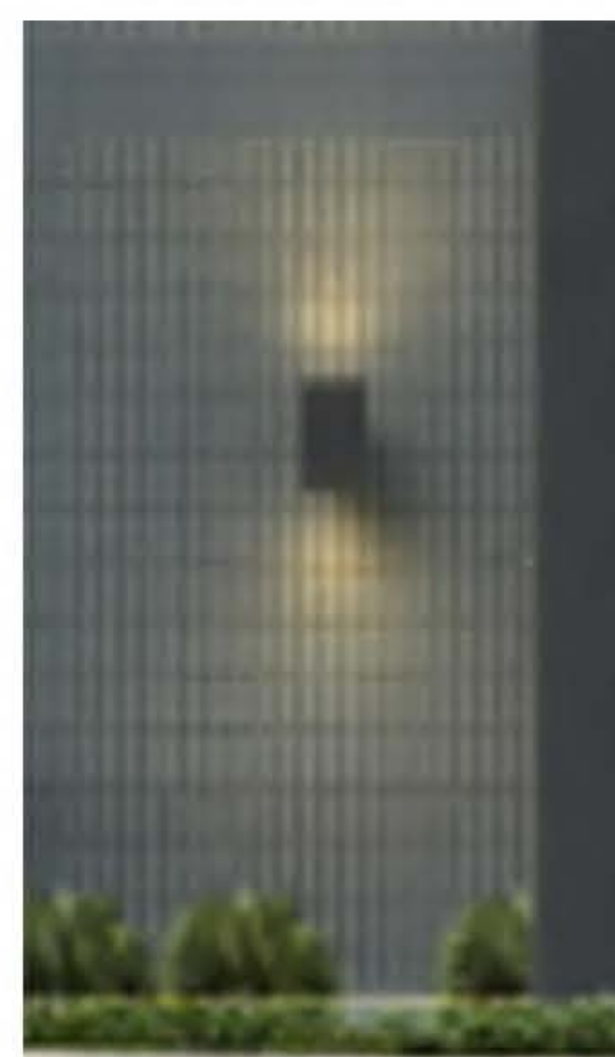
Temptation 1609

Accent color within Aluminum Facade Accent Element Benjamin Moore 1609



Cobblestone Path

Primary wall color Benjamin Moore 1606



Exterior Wall Sconce



Aluminum Facade Accent Element



Aluminum Facade Accent  
Color/Finish: Classic steel lavender clouds matte MOZ Architectural Products, or equal



PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: EXTERIOR MATERIAL SELECTIONS & COLORS  
 Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 07/10/24

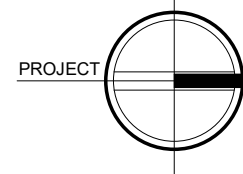
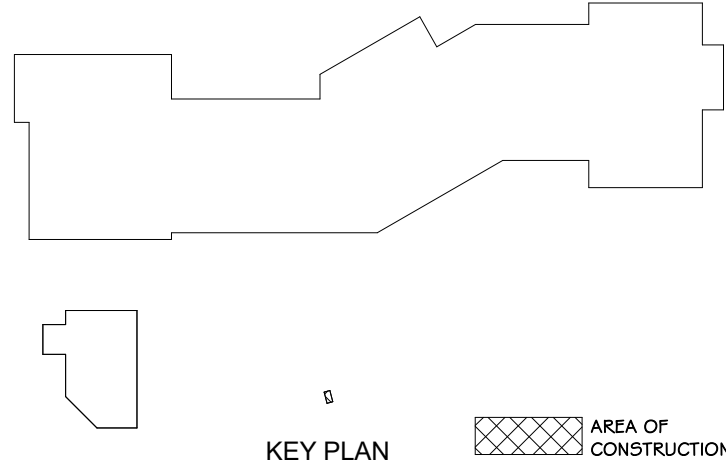
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1 MASTER SIGNAGE PLAN

**PROJECT**

**NORTH**

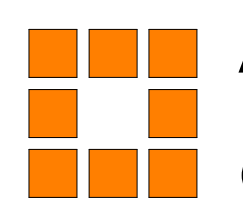
KEY PLAN

AREA OF CONSTRUCTION

**100% ARCHITECTURAL REVIEW BOARD DOCUMENTS**

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 <p><b>A N D E R S O N D E S I G N G R O U P</b></p>	<p><b>ARCHITECTURE</b> <b>PLANNING</b> <b>INTERIORS</b></p>
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Project: **NEWBURGH MALL**  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: **MASTER SIGNAGE PLAN**

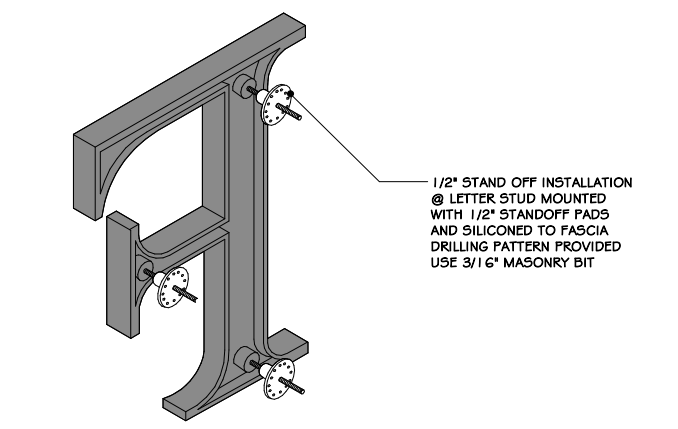
Drawn: **IDEA** AS NOTED Project: 23101-23 Date: 07/10/24

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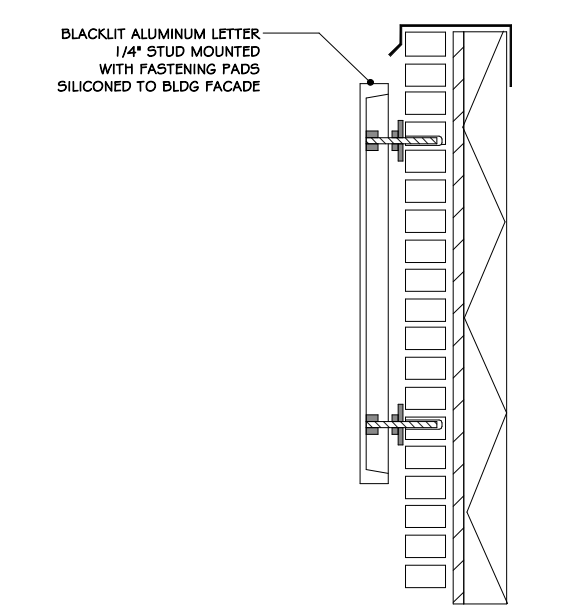


CONSTRUCTION NOTES

1. SIGNAGE TO STORE FACADE RATIO NOT TO EXCEED 22.5% PER TENANT

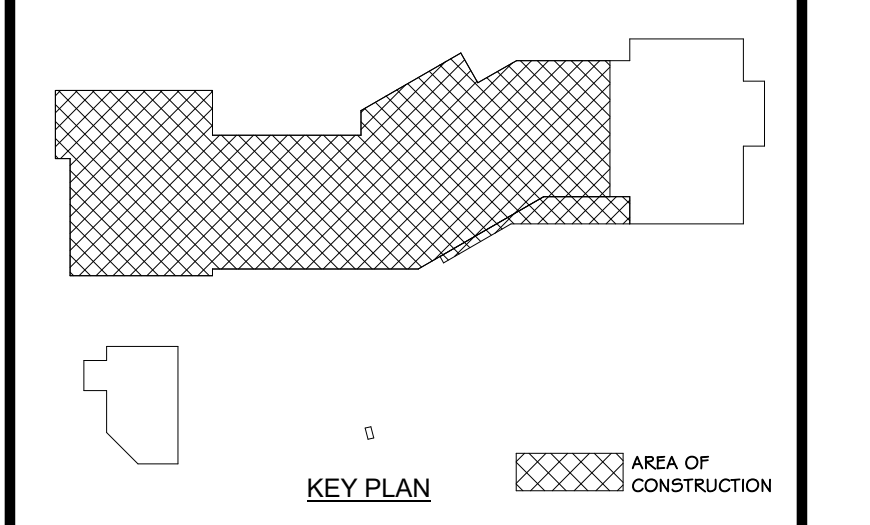
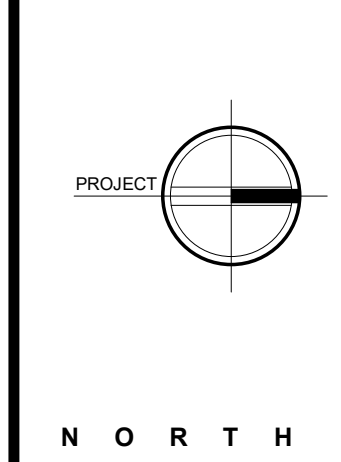


3 1/2" STAND-OFF DETAIL  
1" = 1'-0"



4 TYPICAL INSTALL DETAIL  
1" = 1'-0"

PROJECT



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Project: NEWBURGH MALL  
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MAXIMUM MASTER SIGNAGE RATIO

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 07/10/24

Drawing Number: SIGN-02



PROSPECTIVE TENANT FACADE AREA - 1,762.66 S.F.  
PROSPECTIVE TENANT SIGNAGE AREA - 351.17 S.F.  
PROSPECTIVE TENANT SIGNAGE TO TENANT FACADE RATIO - 351.17 S.F. / 1,762.66 S.F. = 19.92%

1 MAXIMUM SIGN TO STORE FACADE RATIO  
1/4" = 1'-0"

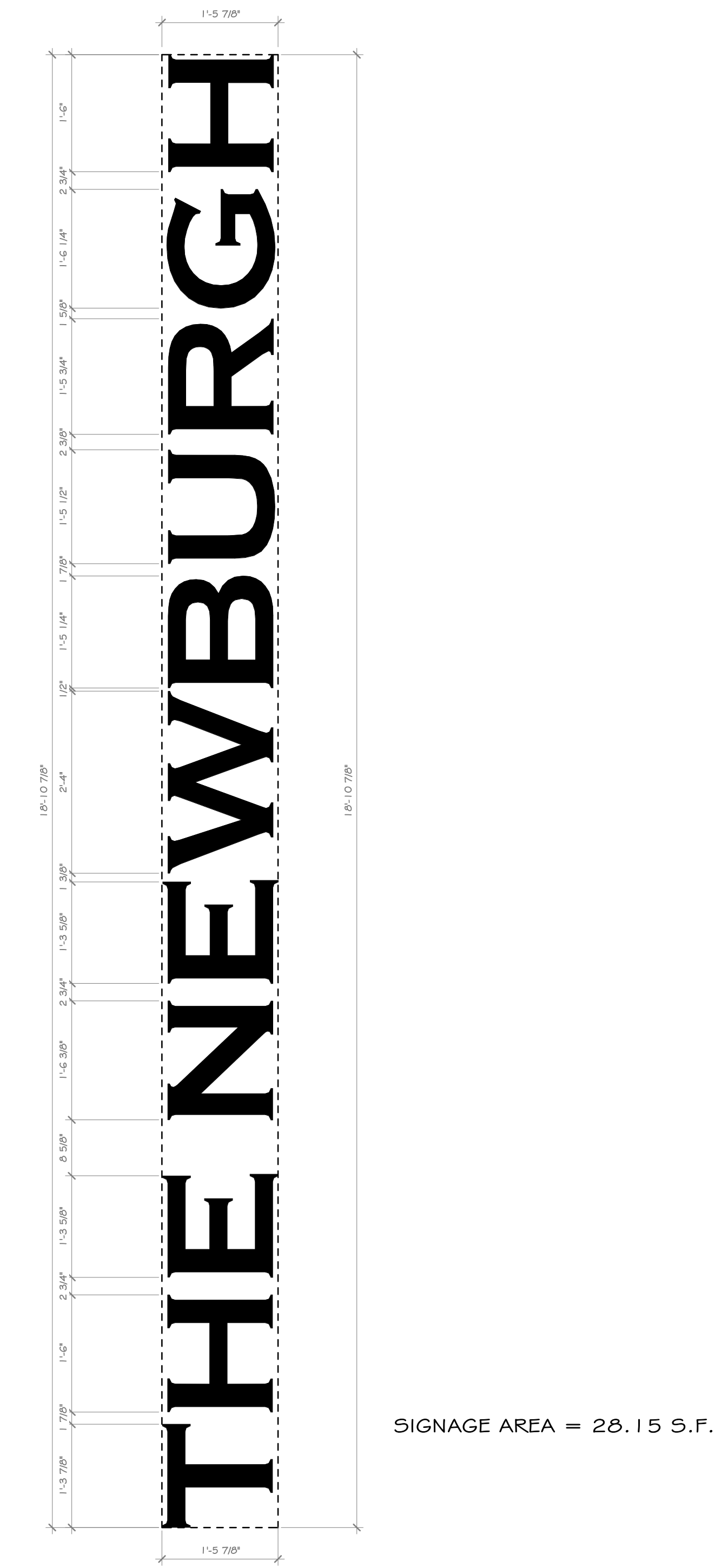


2 RETAIL STORE #9 SIGNAGE DETAIL  
1/2" = 1'-0"

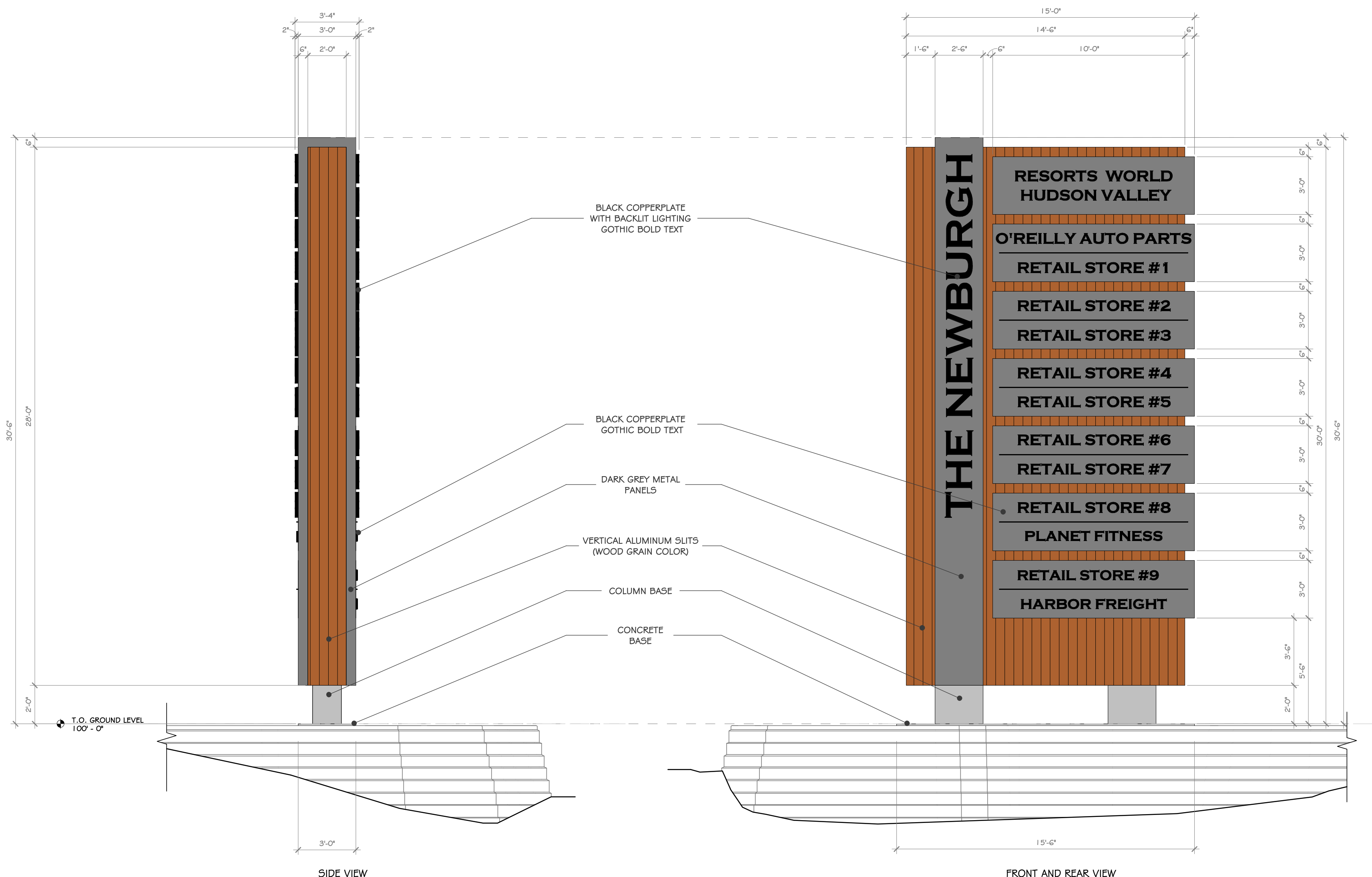




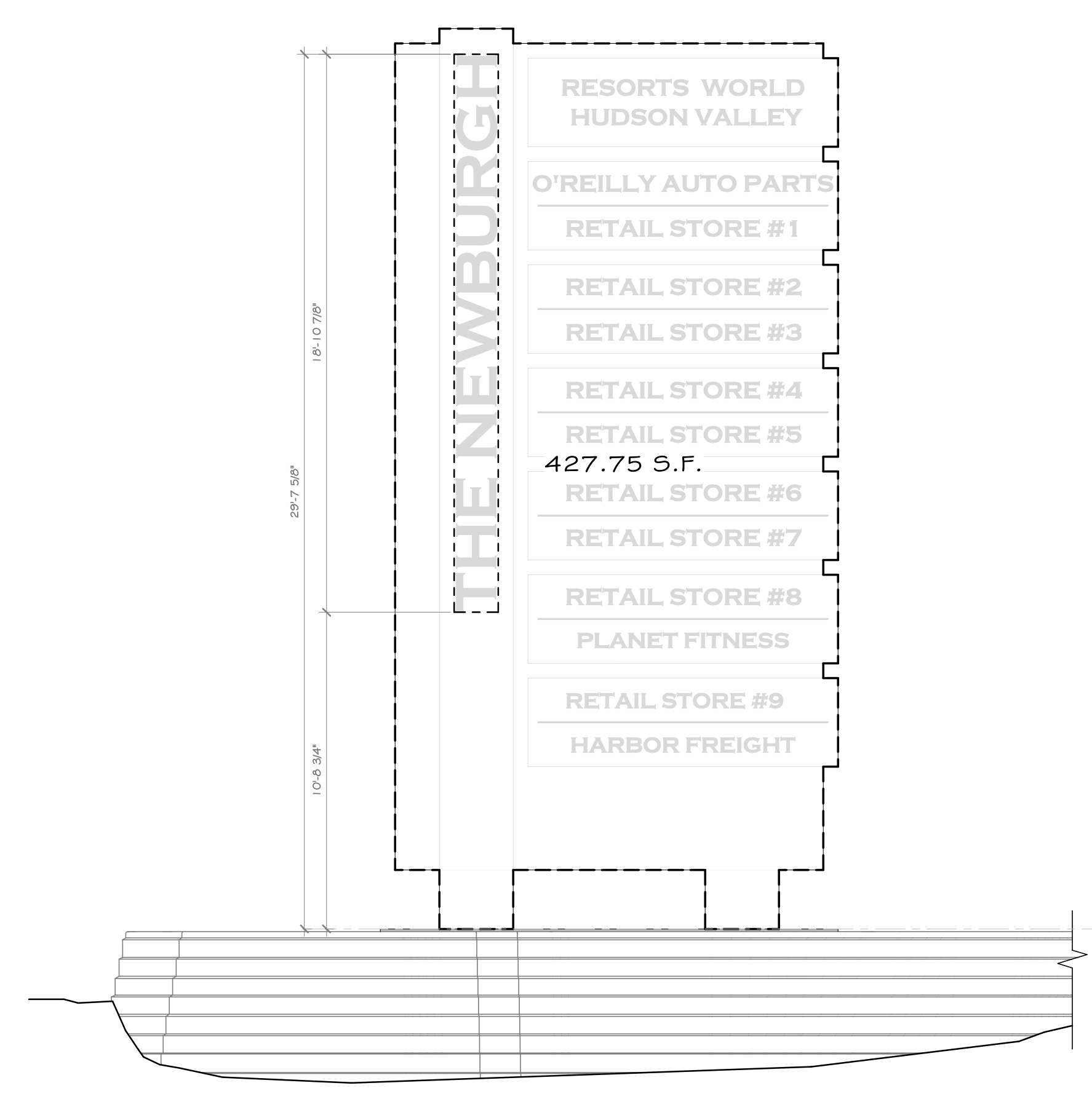
1 EXISTING DOUBLE SIDED MONUMENT SIGN PYLON DETAILS  
1/4" = 1'-0"



3 ENLARGED PROPOSED SIGN PYLON DETAIL I  
3/4" = 1'-0"



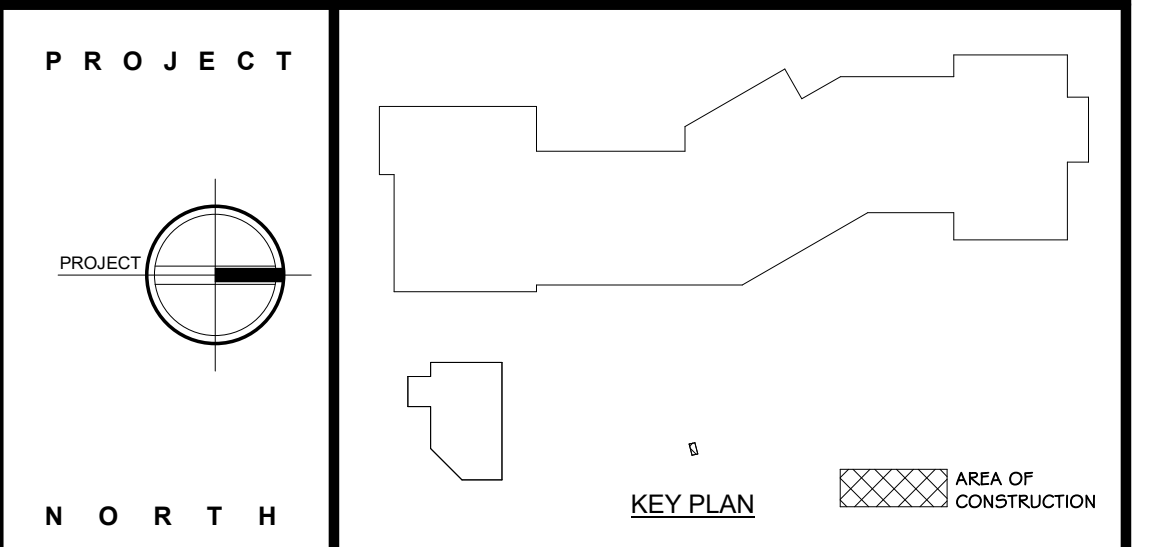
2 PROPOSED DOUBLE SIDED MONUMENT SIGN PYLON DETAILS  
1/4" = 1'-0"



4 MONUMENT SIGN PYLON AREA OUTLINE  
1/4" = 1'-0"

CONSTRUCTION NOTES

- NOTE: NOT ALL NOTES MAY BE USED ON THIS DRAWING.
1. PYLON SIGNS: PYLON SIGNS ARE HIGH-PROFILE FREESTANDING GROUND SIGNAGE. THE SIGN IS SUPPORTED BY UPRIGHTS, COLUMNS OR BRACES PLACED UPON OR INTO GROUND AND DETACHED FROM ANY BUILDING. PYLON SIGNS INCLUDE IDENTIFICATION PANELS FOR INDIVIDUAL TENANTS AND SHALL IDENTIFY THE PROJECT AS A WHOLE AS ILLUSTRATED ON FIGURE 4A. PYLON SIGNS SHALL MEET THE FOLLOWING CRITERIA:
    - A. THE MAXIMUM ALLOWABLE SIGN AREA FOR EACH PYLON SIGN SHALL BE 450 SQUARE FEET PER SIDE.
    - B. THE MAXIMUM ALLOWABLE HEIGHT OF A PYLON SIGN SHALL NOT EXCEED THE MAXIMUM PERMITTED BUILDING HEIGHT FOR ANY BUILDING IN THE DISTRICT IN WHICH THE PROPERTY IS LOCATED EXCEPT NO SIGN SHALL EXCEED 40 FEET IN HEIGHT.
    - C. UP TO TWO PYLON SIGNS MAY BE PLACED ON THE PROPERTY. ONE PYLON SIGN SHALL BE LOCATED AT THE MAIN ENTRANCE DRIVE FOR THE SHOPPING CENTER. IF A SECOND PYLON SIGN IS INSTALLED, IT MUST BE LOCATED WITHIN THE PROPERTY AND SHALL NOT BE INSTALLED AT A SECONDARY ENTRANCE DRIVE IF ANY. HOWEVER, THE SECOND PYLON SIGN MAY BE VISIBLE FROM SURROUNDING STREETS OR HIGHWAYS. LOCATIONS OF PYLONS SIGNS SHALL BE AS SHOWN ON THE MASTER SIGNAGE PLAN.



100% ARCHITECTURAL REVIEW BOARD DOCUMENTS

REVISIONS:

NUM.	DATE	DESCRIPTION

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Drawing Name: SIGN PYLON DETAILS  
 Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 07/10/24

REGISTERED ARCHITECT  
 JASON T. ANDERSON  
 STATE OF NEW YORK  
 238127  
 07/10/24  
 Drawing Number: **PYLON-01**