



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: NEWBURGH MALL-ARB
PROJECT NO.: 24-15
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 41.21
REVIEW DATE: 14 JUNE 2024
MEETING DATE: 20 JUNE 2024
PROJECT REPRESENTATIVE: ANDERSON DESIGN GROUP

1. The project proposes façade upgrades and modification to the Newburgh Mall facility to accommodate large national retail clients. Access to the large retail clients will be from independent front entrances parallel to the NYS Route 300 frontage. The internal mall access points are proposed to be eliminated. Loading docks and employee parking are proposed between the mall and the NYS Thruway right-of-way. A new pylon sign proposed to replace the existing sign at the NYS Route 300 access point. The existing hard scaping front of the building is proposed to be upgraded. A bus stop pick-up/drop-off area is proposed to be incorporated into the plans. No change in impervious surfaces is proposed.
2. It is noted that the plan overlaps with the Harbor Freight application currently before the Board, as it also addresses the previous Bed Bath & Beyond facility.
3. All façade treatments identified as being less than the 40 foot maximum height in the zone.
4. Project plans do not identify any changes to the Site Plan, parking, curbing, sidewalks and loading docks. Any changes to the site resulting in modifications to the Site Plan will also require approval.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

Site Work - Newburgh Mall Project Narrative

This application is for the Newburgh Mall and its outer parcel located at 1401 NY-300, Newburgh, NY 12550. The shopping center is owned by Newburgh Mall Ventures LLC. As a result of a nationwide precipitous decline of indoor malls, multiple spaces within the Newburgh Mall have become vacant with no local tenants occupying the many retail spaces in the foreseeable future. As a result, this application is being made to attempt to occupy the many vacant spaces with national brand retail stores that are more likely to succeed and be desired by the local communities.

In view of the above, this application is to convert the existing vacant retail spaces into a variety of multiple national brand retail stores and recreational facilities. The square footage of the Newburgh Mall and the outer parcel is approximately 400,000 ft.² and 40,000 ft.² respectfully and will remain unchanged; however, the interior space is proposed to be divided to allow for multiple large national tenant stores. All pedestrian access will still be from the front (east elevation), while the rear (west elevation) will remain as the designated loading area for deliveries and employee parking.

The existing pylon sign at the main entry will be removed and replaced with a new backlit sign proposed in the same location. New storefronts for the national tenants are proposed along the front facade along with new paint and metal aesthetic highlights. We have worked with each tenant to lower the height of the proposed storefronts to be no taller than 34'-0" to be within proportion with the current height of the Newburgh Mall. The metal components are designed to blend in the heights of the taller storefront and comparatively small existing mall height for a more homogenous façade. No additions are proposed to the existing buildings.

Minor sitework will also be included within this application. We are proposing a minor re-work of the existing hardscape along a portion of the front façade to allow for a more purposeful hardscape design that works with the re-worked storefronts. No reduction of permeable surface area is proposed with this adjustment. This change will also dedicate a portion of road frontage for the local bus stop as well as a pick-up/ drop-off area for the public.

Please feel free to reach out with our contact information above if any questions or concerns arise.

TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE

for

SUBDIVISIONS,

SITE PLANS,

LOT LINE CHANGES

And

SPECIAL EXCEPTION USE PERMITS

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Newburgh Mall - Architectural Review Board Documents

2. Owner of Lands to be reviewed:

Name Newburgh Mall Ventures, LLC
Address 1401 Route 300
Newburgh, NY 12550
Phone _____

3. Applicant Information (If different than owner):

Name Newburgh Mall Ventures LLC
Address 1401 route 300
Newburgh, NY

Representative Jason T. Anderson Architect, P.C. dba ADG Architects
Phone 845-294-2724
Fax 888-305-6442
Email JTA@ADGarchitect.com

4. Subdivision/Site Plan prepared by:

Name _____
Address _____

Phone/Fax _____

5. Location of lands to be reviewed:

1401 Route 300, Newburgh, NY 12550

6. Zone IB - INTERCHANGABLE BUSINESS **Fire District** CRONOMER VALLEY, WINONA LAKE, ORANGE LAKE
Acreege 48.9 **School District** NEWBURGH CITY SCHOOL DISTRICT

7. Tax Map: Section 60 **Block** 3 **Lot** 41.21

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1

Lot line change NO

Site plan review YES, Facade changes to existing building

Clearing and grading NO

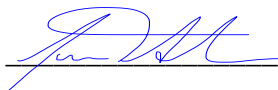
Other ADJUSTMENT TO LANDSCAPE AND PAVING ALONG PORTION OF FRONT FACADE - PERCENTAGE OF PERMIABLE SURFACE AREA TO REMAIN THE SAME

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) NONE

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Principal

Date: 05/29/24

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Newburgh Mall - Architectural Review Board Documents

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. N/A Environmental Assessment Form As Required
2. ✓ Proxy Statement
3. ✓ Application Fees
4. ✓ Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. ✓ Name and address of applicant
2. N/A Name and address of owner (if different from applicant)
3. ✓ Subdivision or Site Plan and Location
4. ✓ Tax Map Data (Section-Block-Lot)
5. ✓ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. ✓ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ✓ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. ✓ Date of plan preparation and/or plan revisions
9. ✓ Scale the plan is drawn to (Max 1" = 100')
10. ✓ North Arrow pointing generally up

11. N/A Surveyor,s Certification
12. N/A Surveyor’s seal and signature
13. N/A Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. N/A Metes and bounds of all lots
18. N/A Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. N/A Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. N/A Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk’s Office where applicable
26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner’s signature
27. N/A Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. N/A Show topographical data with 2 or 5 ft. contours on initial submission

- 30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32. N/A Number of acres to be cleared or timber harvested
- 33. N/A Estimated or known cubic yards of material to be excavated and removed from the site
- 34. N/A Estimated or known cubic yards of fill required
- 35. N/A The amount of grading expected or known to be required to bring the site to readiness
- 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

- 37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

- 38. N/A List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
 Licensed Professional

Date: 05/29/24

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING**

Name of applicant: _____

Name of owner on premises: _____

Address of owner: _____

Telephone number of owner: _____

Telephone number of applicant: _____

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Location of land on which proposed work will be done: _____

Section: _____ **Block:** _____ **Lot:** _____ **Sub. Div.:** _____

Zoning District of Property: _____ **Size of Lot:** _____

Area of lot to be cleared or graded: _____

Proposed completion of date: _____

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ **Date:** _____

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ **20** _____

Approved: _____ **20** _____

Disapproved: _____ **20** _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Elliot Spitzer

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

05/29/2024

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Elliot Spitzer, **DEPOSES AND SAYS THAT HE/SHE**
RESIDES AT 156 Grandview Ave
IN THE COUNTY OF Rockland
AND STATE OF New York
AND THAT HE/SHE IS THE OWNER IN FEE OF Newburgh Mall Ventures, LLC

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Jason T. Anderson Architect, P.C. **IS AUTHORIZED**
dba ADG Architects
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 05/29/2024



OWNERS SIGNATURE

Elliot Spitzer

OWNERS NAME (printed)

**NAMES OF ADDITIONAL
REPRESENTATIVES**



WITNESS' SIGNATURE

Danielle Sorgenti

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

05/29/2024

DATED

Elliot Spitzer

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X **NONE**

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

 TOWN BOARD
 X **PLANNING BOARD**
 ZONING BOARD OF APPEALS
 ZONING ENFORCEMENT OFFICER
 BUILDING INSPECTOR
 OTHER

01/19/2024

DATED



INDIVIDUAL APPLICANT

Newburgh Mall Ventures, LLC

CORPORATE OR PARTNERSHIP APPLICANT

BY: authorized signatory
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

N/A

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 05/29/2024

NAME OF PROJECT: Newburgh Mall - Architectural Review Board Documents

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

FACED CMU BLOCK WITH PARTIAL METAL PANEL HIGHLIGHTS

COLOR OF THE EXTERIOR OF BUILDING:

BENJAMIN MOORE - WESTCOTT NAVY 1624 BENJAMIN MOORE - STONYBROOK 1566

ACCENT TRIM:

Location: INTERMITTENT ALONG FRONT FACADE

Color: BENJAMIN MOORE - WESTCOTT NAVY 1624

Type (material): ACM PANEL

PARAPET (all roof top mechanicals are to be screened on all four sides):

EXISTING PARAPET TO REMAIN - MECHANICAL UNITS ARE NOT VISABLE (PROPOSED STOREFRONT FACADES WILL INTERMITTENTLY CREATE LARGER PARAPETS)

ROOF:

Type (gabled, flat, etc.): FLAT ROOF (1/4" OVER 1'-0" SLOPE)

Material (shingles, metal, tar & sand, etc.): EPDM

Color: WHITE

WINDOWS/SHUTTERS:

Color (also trim if different): VARIES (BASED ON INDIVIDUAL TENANT STOREFRONT DESIGN - SEE RENDERINGS)

Type: STOREFRONT

DOORS:

Color: VARIES (BASED ON INDIVIDUAL TENANT STOREFRONT DESIGN - SEE RENDERINGS)

Type (if different than standard door entrée): STOREFRONT/ HM

SIGN:

Color: VARIES (BASED ON INDIVIDUAL TENANT STOREFRONT DESIGN - SEE RENDERINGS)

Material: VARIES (BASED ON INDIVIDUAL TENANT STOREFRONT DESIGN)

Square footage of signage of site: VARIES

Newburgh Mall Ventures, LLC

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature authorized signatory

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

May 31, 2024

Mr. John P. Ewasutyn
Town of Newburgh Planning Board
308 Gardner Town Road
Newburgh, New York 12550

**Re: Newburgh Mall: ARB Submission
1401 Route 300, Newburgh, NY 12550
SBL 60-3-41.21**

Dear Mr. Ewasutyn:

Enclosed are our ARB Submission Permit documents for the above referenced project. This submission includes all architectural drawings that are requested within the application.

Also included within this submission is the Town of Newburgh Planning Board Application Package as well as the Facade and Site Work Narrative.

Thank you for your consideration of this matter. Please do not hesitate to contact our office with any questions.

Sincerely,



Jason T. Anderson, R.A., A.I.A.
Jason T. Anderson Architect, P.C.
dba ADG Architects and Anderson Design Group – Architecture, Planning, Interiors

Enclosures: Town of Newburgh Planning Board Application Package (14)
Facade and Site Work Narrative (14)
Newburgh Mall – **ARB Submission** Permit Documents (dated 05/30/24) (30"x42") (14)

NEWBURGH MALL

1401 ROUTE 300 NEWBURGH, N.Y. 12550



NEWBURGH MALL VENTURES LLC
1401 ROUTE 300
NEWBURGH, N.Y.

OWNER:



25 WALLKILL AVE • MONTGOMERY • NY 12549
O. 845.294.2724 | contact@adgarchitect.com
WWW.ADGARCHITECT.COM

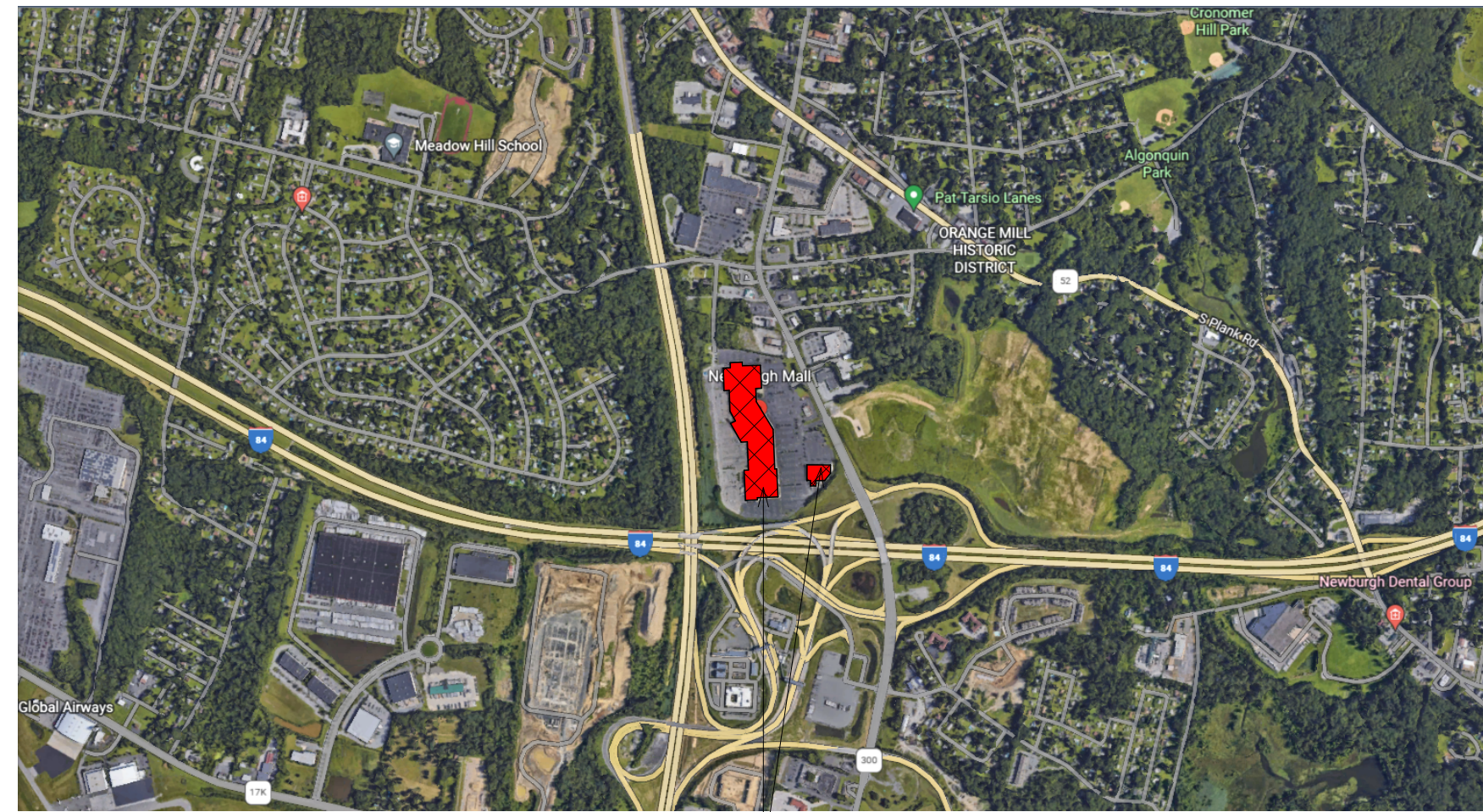
ARCHITECT:

- SCOPE OF WORK:
- CONVERSION OF EXISTING RETAIL STORES TO NEW RECREATIONAL FACILITIES AND RETAIL STORES WITHIN AN EXISTING MALL.
 - NEW EXTERIOR EGRESS DOORS AND STOREFRONTS
 - NEW EXTERIOR SIGNAGE AND PARAPETS
 - NEW PAINT FOR EXTERIOR FRONT FACADE WITH METAL PANEL HIGHLIGHTS
 - NEW LANDSCAPE AND SIDEWALK PAVING ALONG FRONT FACADE
 - HOURS OF OPERATION FROM 7AM TO 10PM; 7 DAYS A WEEK.
 - THE MAINTENANCE OF THE COMMON AREAS AND SAFETY SHALL BE MANAGED BY THE PROPERTY OWNER.
 - WHERE THE REAR EXITS ARE INTENDED FOR EMERGENCY USE OR EMPLOYEE USE ONLY, THEY SHALL BE DENOTED AS SUCH USING APPROPRIATE SIGNAGE.
 - ALL DELIVERIES SHALL OCCUR IN THE REAR OF THE BUILDING AT DESIGNATED LOADING AREAS.
 - ALL AREAS SURROUNDING COMPACTORS AND DUMPSTER SHALL BE KEPT IN A NEAT AND ORDERLY CONDITION.

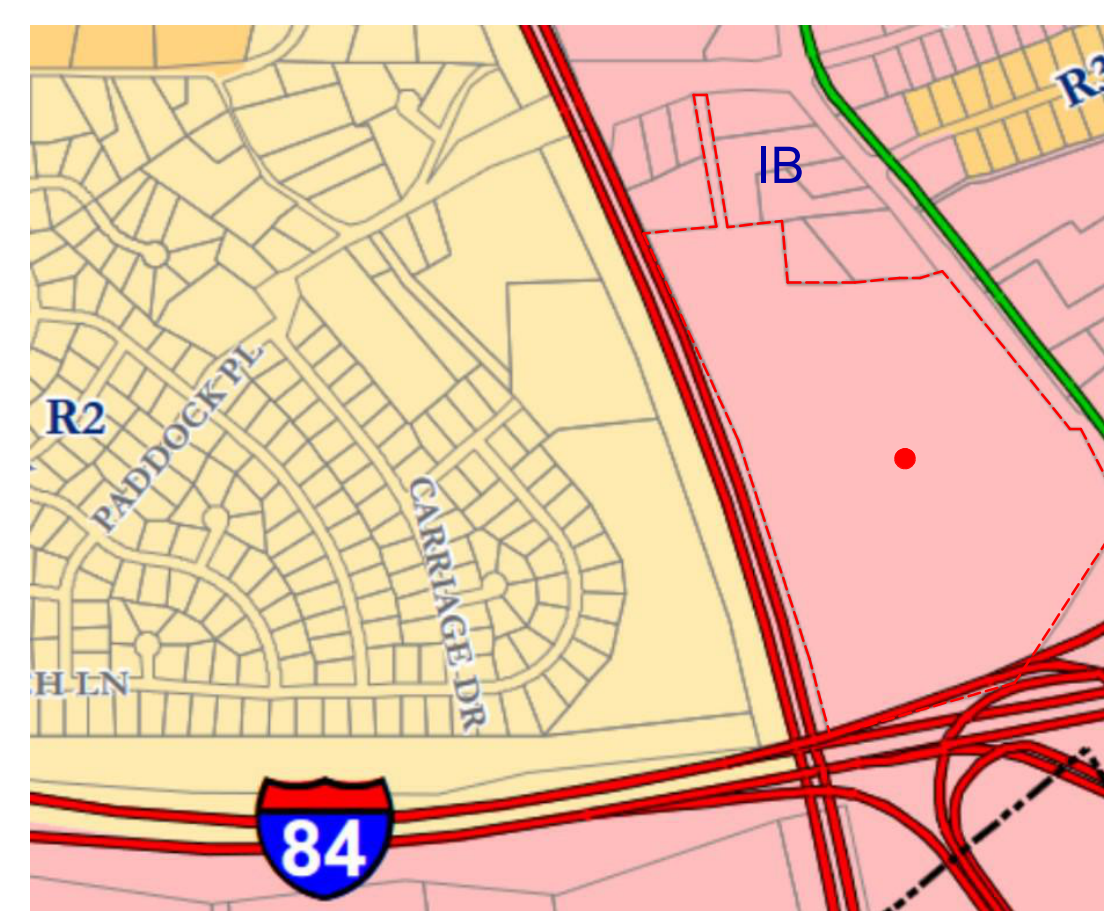
LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING DOOR TO BE REMOVED
- DOOR TAG
- ROOM DESIGNATION TAG
- WALL TYPE TAG
- WINDOW TAG
- FINISH TAG
- KEY NOTE
- ELEVATION TAG
- WALL/BUILDING SECTION CUT
- DETAIL TAG

BUILDING LOCATION AERIAL



ZONING MAP AERIAL

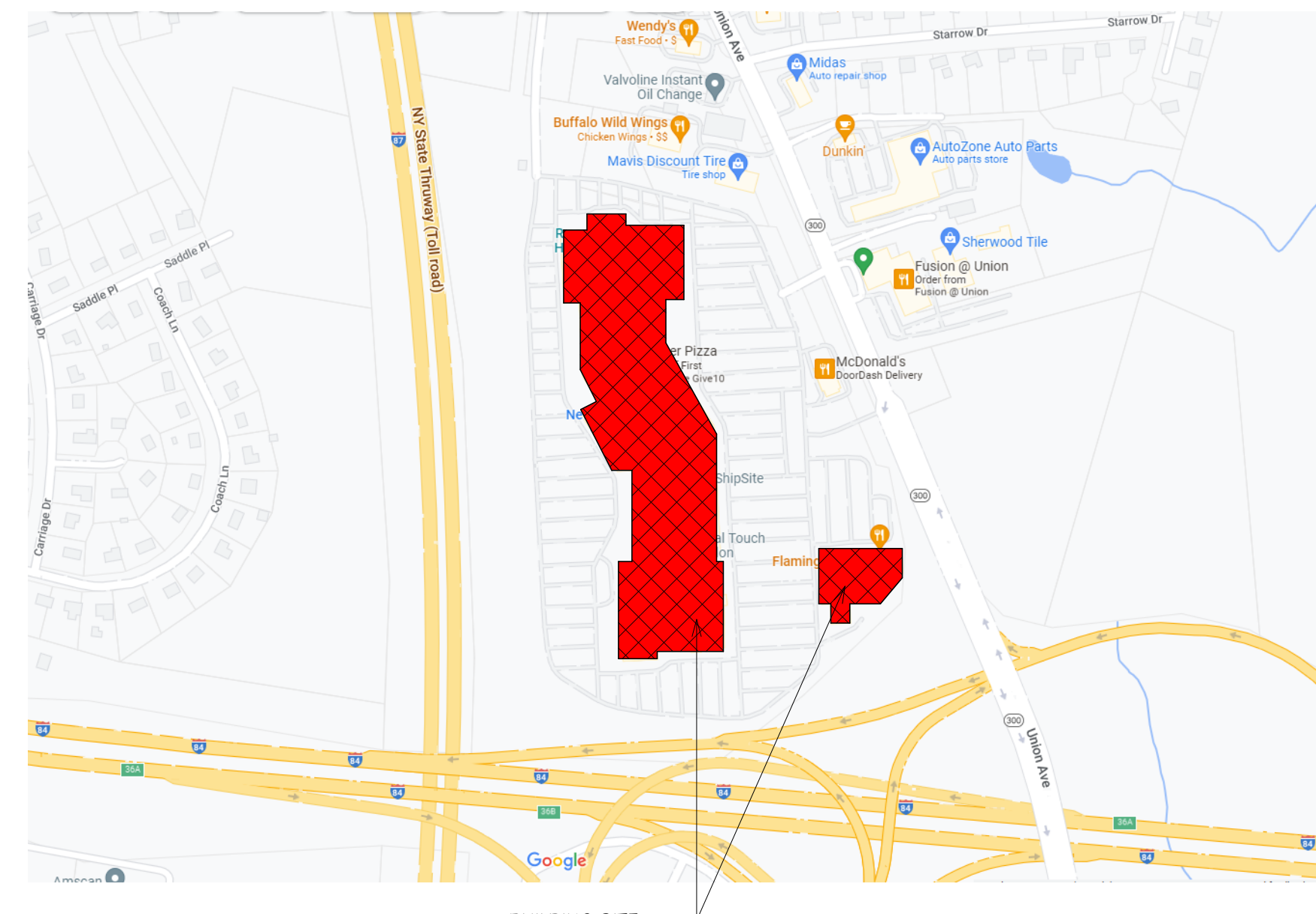


SHT.	SHEET TITLE	DRAWING DATE	100% ARCHITECTURAL REVIEW BOARD DOCUMENTS	REVISION HISTORY				CURRENT REVISION		
				Rev. #	DATE	DESCRIPTION	ISSUED (Y/N)			
A-001-ARB	TITLE SHEET	05/30/24	100%							No
A-100-E-ARB	EXISTING MALL OVERALL FLOOR PLAN	05/30/24	100%							No
A-101-E-ARB	EXISTING OUTER PARCEL FLOOR PLAN	05/30/24	100%							No
A-102-E-ARB	EXISTING MALL EXTERIOR ELEVATIONS	05/30/24	100%							No
A-103-E-ARB	EXISTING OUTER PARCEL EXTERIOR ELEVATIONS	05/30/24	100%							No
A-200-ARB	MALL OVERALL FLOOR PLAN	05/30/24	100%							No
A-201-ARB	OUTER PARCEL FLOOR PLAN	05/30/24	100%							No
A-202-ARB	ENLARGED LANDSCAPE PLAN	05/30/24	100%							No
A-300-ARB	MALL EXTERIOR ELEVATION	05/30/24	100%							No
A-301-ARB	OUTER PARCEL EXTERIOR ELEVATIONS	05/30/24	100%							No
A-302-ARB	SIGN Pylon DETAILS	05/30/24	100%							No
A-300-ARB	MASTER SIGNAGE PLAN	05/30/24	100%							No
A-901-ARB	MALL RENDERING FROM EAST	05/30/24	100%							No
A-902-ARB	MALL RENDERING FROM EAST	05/30/24	100%							No
A-903-ARB	MALL RENDERING FROM EAST	05/30/24	100%							No
A-904-ARB	MALL RENDERING FROM EAST	05/30/24	100%							No
A-905-ARB	OUTER PARCEL RENDERING FROM SOUTHWEST	05/30/24	100%							No

ABBREVIATIONS:

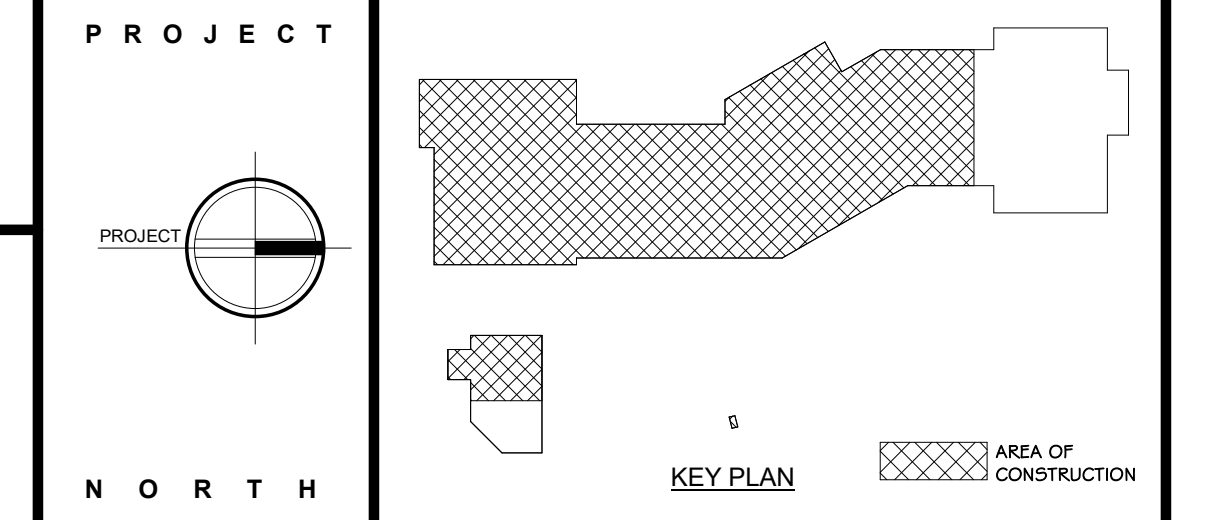
- | | |
|--|-------------------------------|
| AB. ANCHOR BOLT | MAT. MATERIAL |
| A.C.T. ACoustical CEILING TILE | MAX. MAXIMUM |
| A.F.F. ABOVE FINISH FLOOR | MECH. MECHANICAL |
| APPX. APPROXIMATE | MIN. MINIMUM |
| ARCH. ARCHITECT | MIR. MIRROR |
| BSMT. BASEMENT | MISC. MISCELLANEOUS |
| BM. BEAM | MTL. METAL |
| BD. BOARD | NOM. NOMINAL |
| BOT. BOTTOM | N.T.S. NOT TO SCALE |
| BLDG. BUILDING | O.C. ON CENTER |
| CAB. CABINET | O.H. OVERHEAD |
| CLG. CEILING | PTD. PAINTED |
| C.T. CERAMIC TILE | P. LAM. PLASTIC LAMINATE |
| CIR. CIRCLE | PL. PLATE |
| COL. COLUMN | P.S.F. POUNDS PER SQ. FOOT |
| C.J. CONTROL JOINT | P.S.I. POUNDS PER SQ. INCH. |
| CORR. CORRUGATED | PREFAB. PREFABRICATED |
| D.L. DEAD LOAD | P.T. PRESSURE TREATED (WOOD) |
| DTL. DETAIL | RAD. RADIUS |
| DIAM. DIAMETER | RLG. RAILING |
| DIM. DIMENSION | REF. REFRIGERATOR |
| D.W. DISHWASHER | REIN. REINFORCE(ED), (ING) |
| D.H. DOUBLE HUNG | REV. REVISION, (E), (ED) |
| D.S. DOWNSPOUT | R. RISER |
| DWG. DRAWING | R.F.G. ROOFING |
| ELEC. ELECTRICAL | RM. ROOM |
| ELEV. ELEVATION | SEC. SECTION |
| EQ. EQUAL | SMTHG. SHEATHING |
| EXIST. EXISTING | SHT. SHEET |
| EXT. EXTERIOR | SIM. SIMILAR |
| E.I.F.S. EXTERIOR INSULATED FINISH SYSTEM | S.C. SOLID CORE |
| FIN. FINISH | SPEC. SPECIFICATION |
| F.P. FIREPLACE | SQ. SQUARE |
| FLR. FLOOR | STD. STANDARD |
| F.D. FLOOR DRAIN | STO. STORAGE |
| FTG. FOOTING | STRL. STRUCTURAL |
| FND. FOUNDATION | THK. THICKNESS |
| FUR. FURRED | THR. THRESHOLD |
| G.C. GENERAL CONTRACTOR | T&G. TONGUE AND GROOVE |
| GL. GLASS, GLAZING | T.O.C. TOP OF CONCRETE |
| GYP.BD. GYPSUM BOARD | T.O.B. TOP OF BEAM |
| H.D. HARDWARE | T.O.P. TOP OF FOUNDATION |
| HDR. HEADER | T.O.P. TOP OF PLATE |
| HTG. HEATING | TR. TREAD |
| HVAC. HEATING/VENTILATION/AIR CONDITIONING | TYP. TYPICAL |
| HGT. HEIGHT | UNF. UNFINISHED |
| HORZ. HORIZONTAL | U.O.N. UNLESS OTHERWISE NOTED |
| HB. HOSE BIBB | V.B. VAPOR BARRIER |
| INS. INSULATED, (ION) | VERT. VERTICAL |
| JT. JOINT | VERIF. VERIFY |
| JST. JOIST | W.C. WATER CLOSET |
| KIT. KITCHEN | W.P. WATER PROOFING |
| LAV. LAVATORY | W.R. WATER RESISTANT |
| LT. LIGHT | W.F. WELDED WIRE FABRIC |
| LL. LIVE LOAD | WN. WINDOW |
| MFR. MANUFACTURE(R) | WO. WITHOUT |
| MAS. MASONRY | WD. WOOD |

BUILDING LOCATION



ZONING TABLE

A. Accessory Uses	B. Permitted With	C. Permitted Uses	D. Uses Subject to Site Plan Review by the Planning Board	Minimum Required							Habitable Floor Area Per Dwelling Unit (square feet)	Dwelling Units Per Acre	Maximum Permitted				
				Lot Area (square feet)	Lot Width (feet)	Lot Depth (feet)	Front Yard (feet)	Rear Yard (feet)	1 Side Yard (feet)	Back Side Yard (feet)			Lot Building Coverage (percent)	Building Height (feet)	Lot Surface Coverage (percent)		
1. Storage buildings up to 50% of the floor area of the principal building	C1, D5, 7, 11 and 13	1. Municipal buildings and uses authorized by the Planning Board 2. Existing single-family dwellings		20,000	125	150											
2. Cafeterias, clinics and recreation facilities for the use of employees engaged on the premises	D5, 7-9, 13 and 18	a. Without both public sewer and public water systems b. With both public sewer and public water systems		15,000			40	40	15	30	900	NA	25%	35	50%		
3. Signs in accordance with § 185-14	D5	c. With other public sewer or public water systems only 3. Existing 2-family dwellings		17,500	100	125	40										
4. Professional a. Identification b. Signs in accordance with § 185-14.1	D1-2, D4-13 and 18 D14, D1-2, D4-18	a. Without both public sewer and public water systems b. With both public sewer and public water systems c. With other public sewer or public water systems only		30,000	150	175				50	25	50					
5. Truck-loading facilities	All			22,500													
6. Sale of food motor and camping vehicles, boats and automobiles in conjunction with a franchise/distributing	D10			25,000	125	150											
7. Fuel tanks in accordance with § 185-59	D5, 7-14 and 18 D4-7, 12, 13 and 16-18			40,000	150	150	50	50	50	100			60%	35	40%	35	
8. Satellite earth stations in accordance with § 185-40																	
9. Accessory uses to an existing principal residence as listed in the R-1 District	D4-1, 12 and 18																
10. Fast-food establishments																	
11. Restaurants and conference and banquet facilities																	
12. Retail outlets	D8 and 13																
13. Swimming pools, tennis courts and other recreational facilities, including related cabana	D5, 7-9, 12, 13 and 11																
14. Car wash				40,000	150	150	50	60	30	80							



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O. 845.294.2724 | F. 888.305.6442
WWW.ADGARCHITECT.COM
CONTACT@ADGARCHITECT.COM

Project: NEWBURGH MALL
1401 ROUTE 300 NEWBURGH, N.Y. 12550

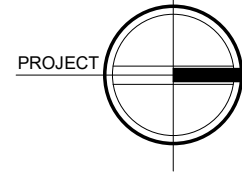
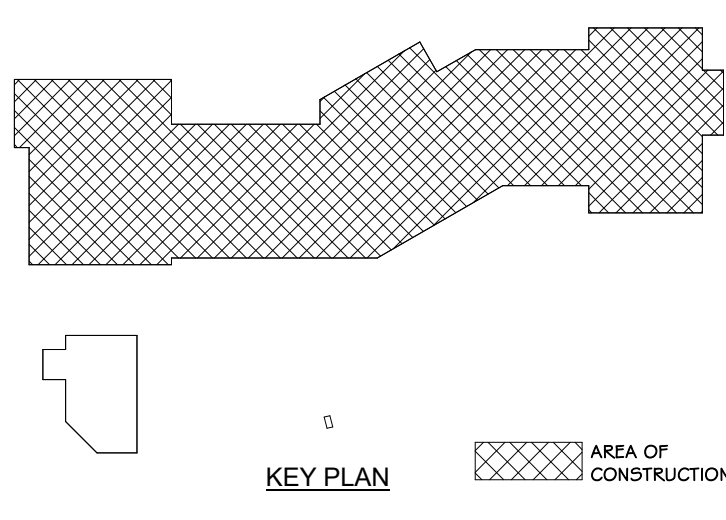


Drawing Name: TITLE SHEET

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

Drawing Number: A-001-ARB



1 EXISTING OVERALL FLOOR PLAN
1" = 40'-0"

<p>PROJECT</p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
<p>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</p>														
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NUM.	DATE	DESCRIPTION									
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<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
<p>Drawing Name: EXISTING MALL OVERALL FLOOR PLAN</p>														
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A-103-E-ARB

A-103-E-ARB

A-103-E-ARB

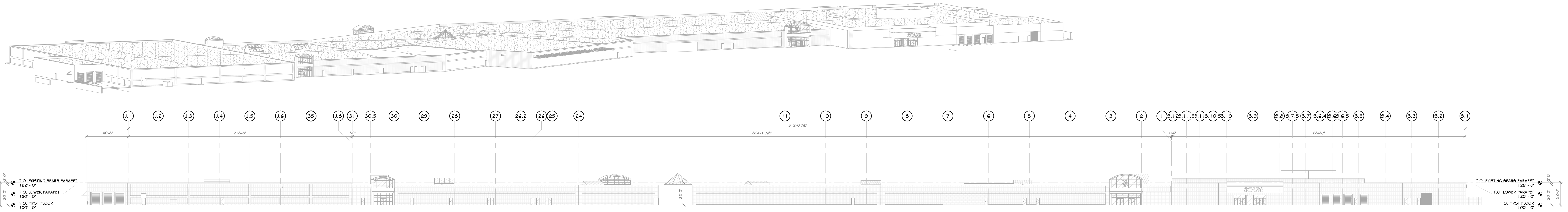
A-103-E-ARB

EXISTING BED
BATH & BEYOND

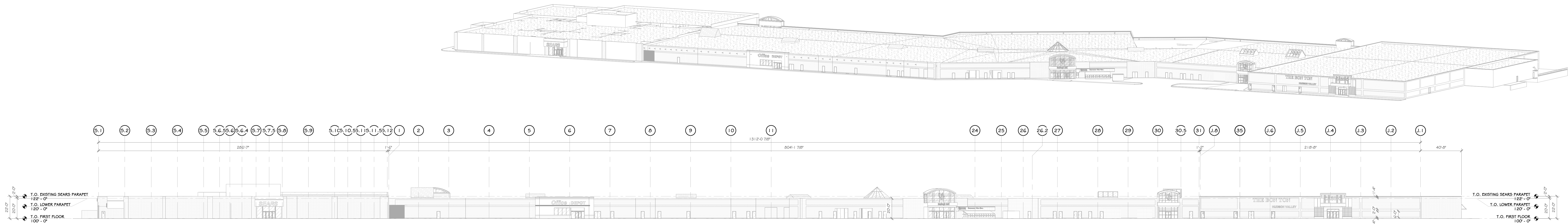
EXISTING FLAMING
GRILL & BUFFET

1 EXISTING PLAN
3/32" = 1'-0"

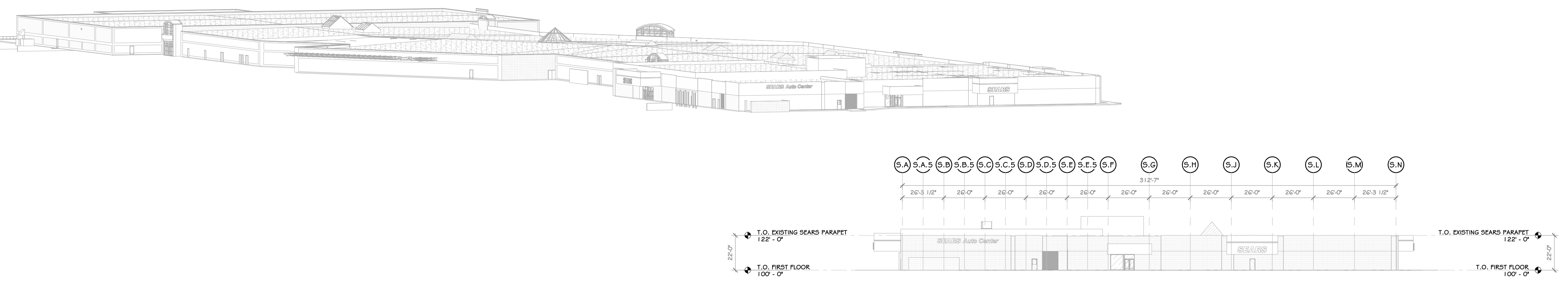
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 <p>ANDERSON DESIGN GROUP</p> <p>25 WALKILL AVE • MONTGOMERY • NY 12549 O: 845.294.2724 F: 888.305.5442</p>		<p>ARCHITECTURE PLANNING INTERIORS</p> <p>WWW.ADGARCHITECT.COM CONTACT@ADGARCHITECT.COM</p>												
<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
<p>Drawing Name: EXISTING OUTER PARCEL FLOOR PLAN</p>														
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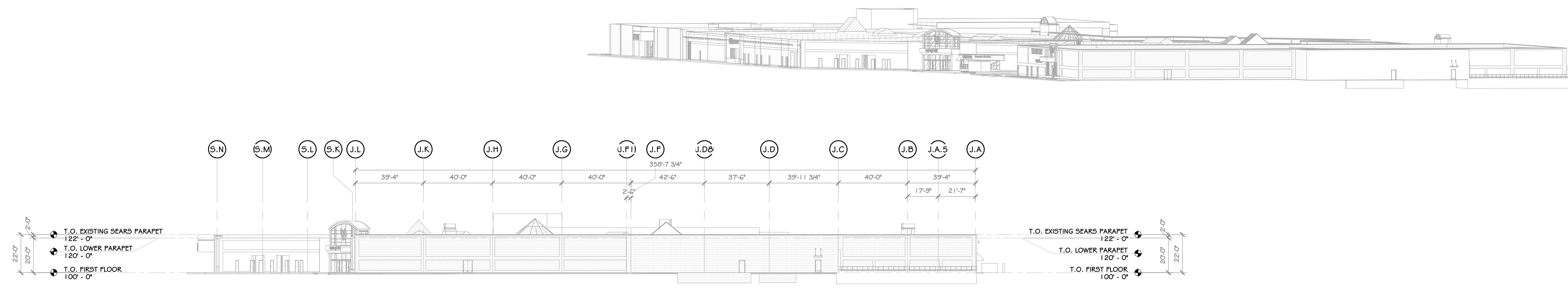
1 EXISTING NORTH ELEVATION
1" = 40'-0"



2 EXISTING SOUTH ELEVATION
1" = 40'-0"



3 EXISTING WEST ELEVATION
1" = 40'-0"



4 EXISTING EAST ELEVATION
1" = 40'-0"

PROJECT

KEY PLAN

1
2
3
4

AREA OF CONSTRUCTION

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REVISIONS:

NUM.	DATE	DESCRIPTION

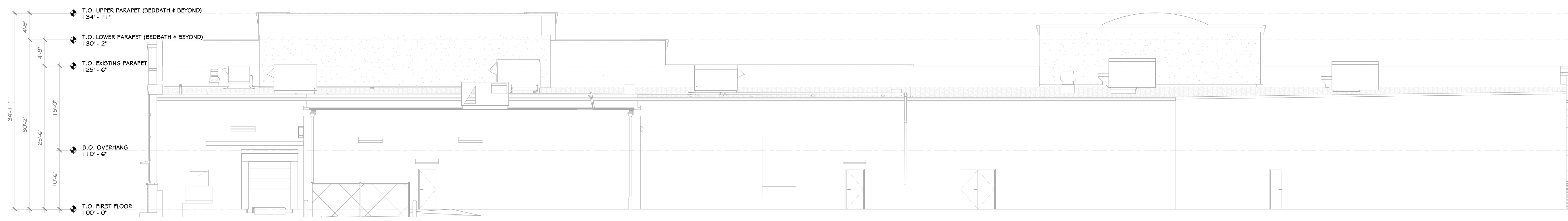
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Project: **NEWBURGH MALL**
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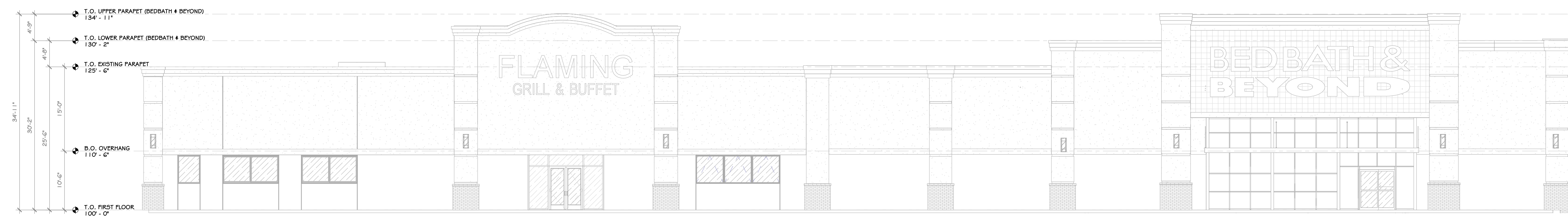
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Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

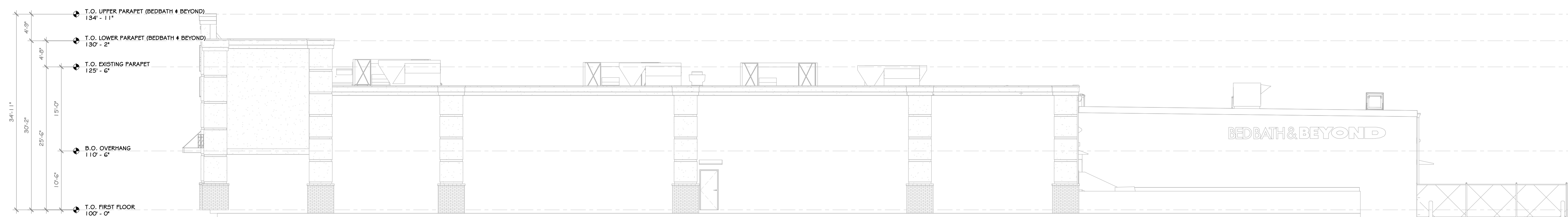
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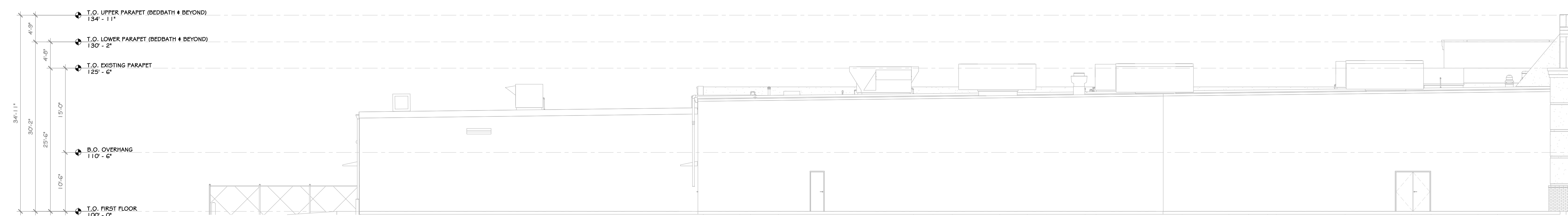
① EXISTING SOUTH ELEVATION
3/32" = 1'-0"



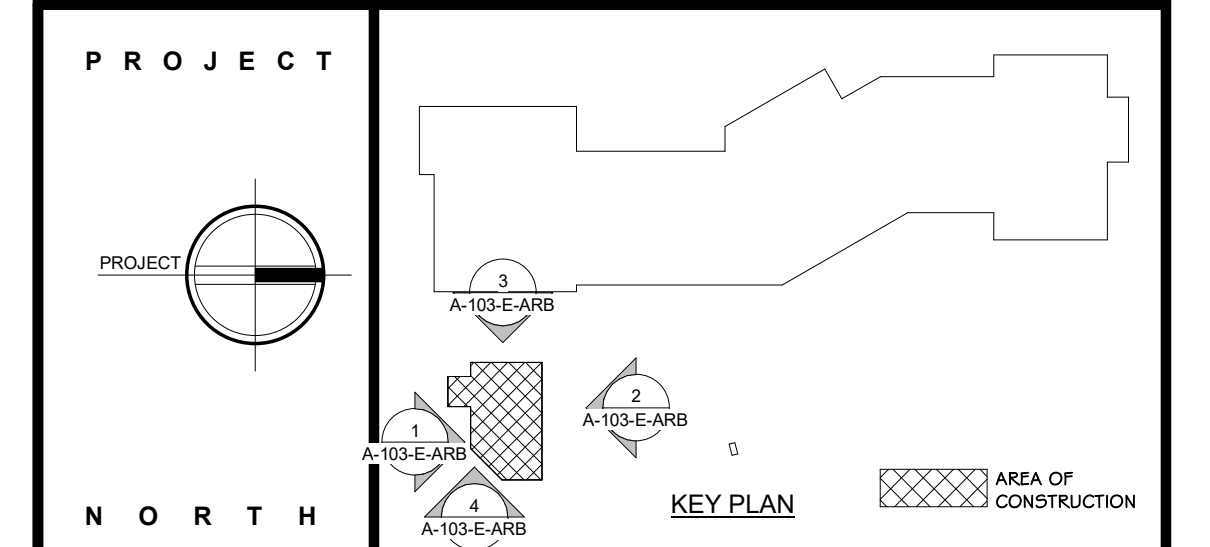
② EXISTING NORTH ELEVATION
3/32" = 1'-0"



③ EXISTING WEST ELEVATION
3/32" = 1'-0"



④ EXISTING EAST ELEVATION
3/32" = 1'-0"



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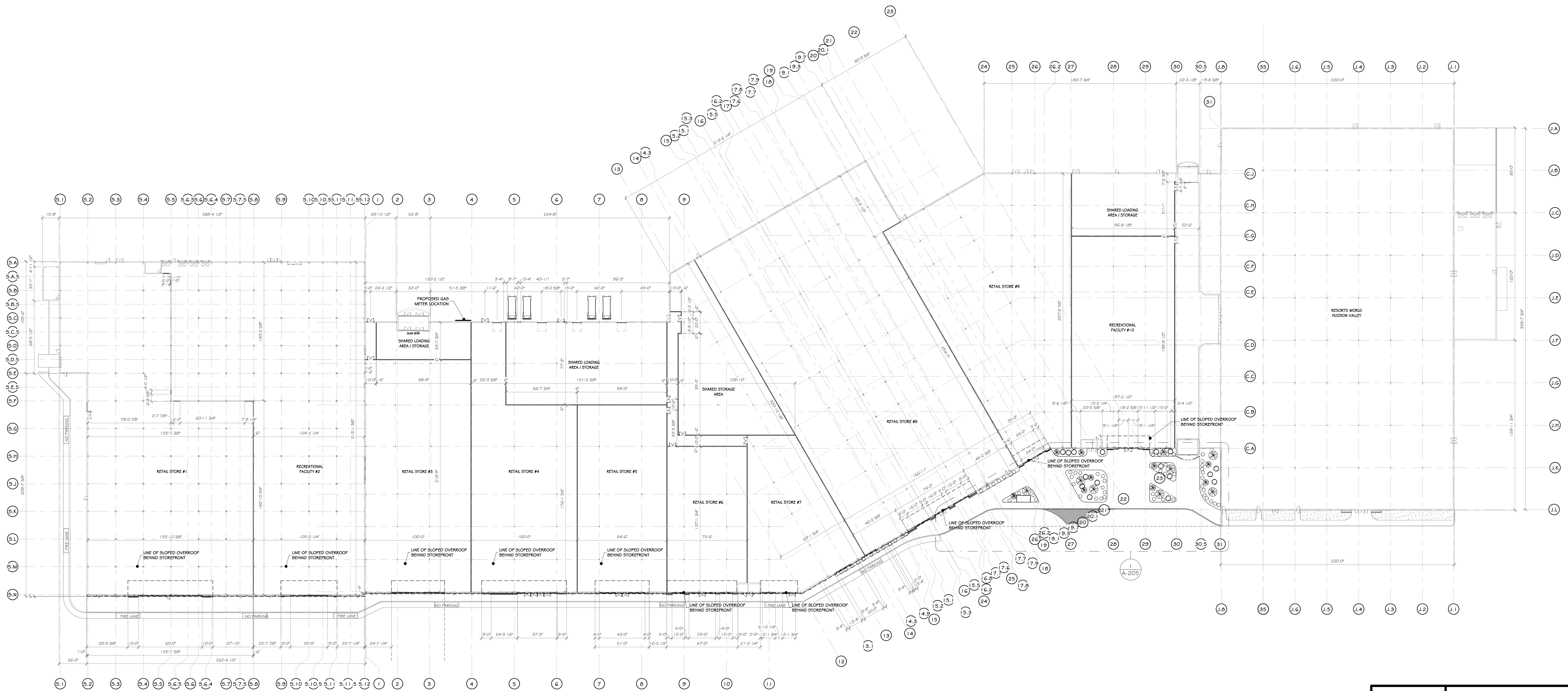
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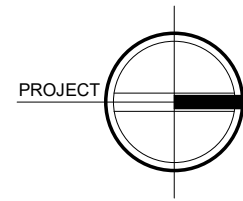
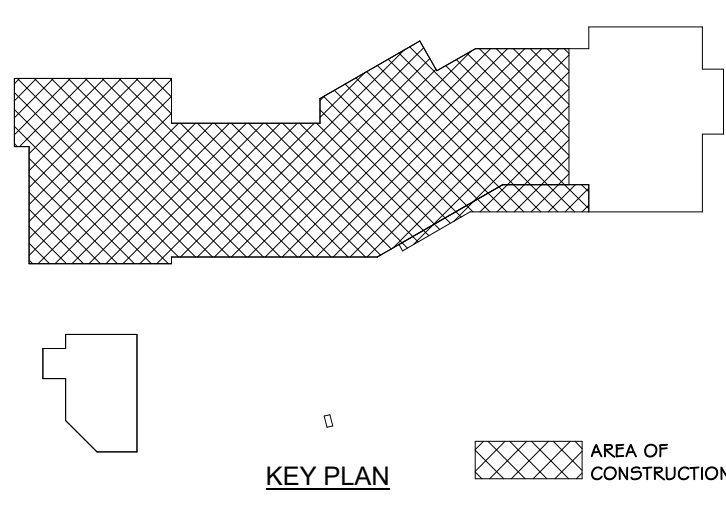
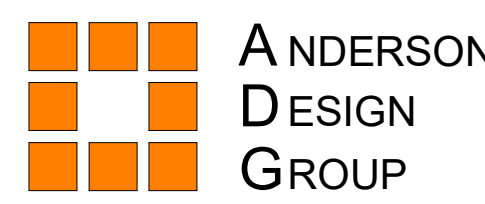

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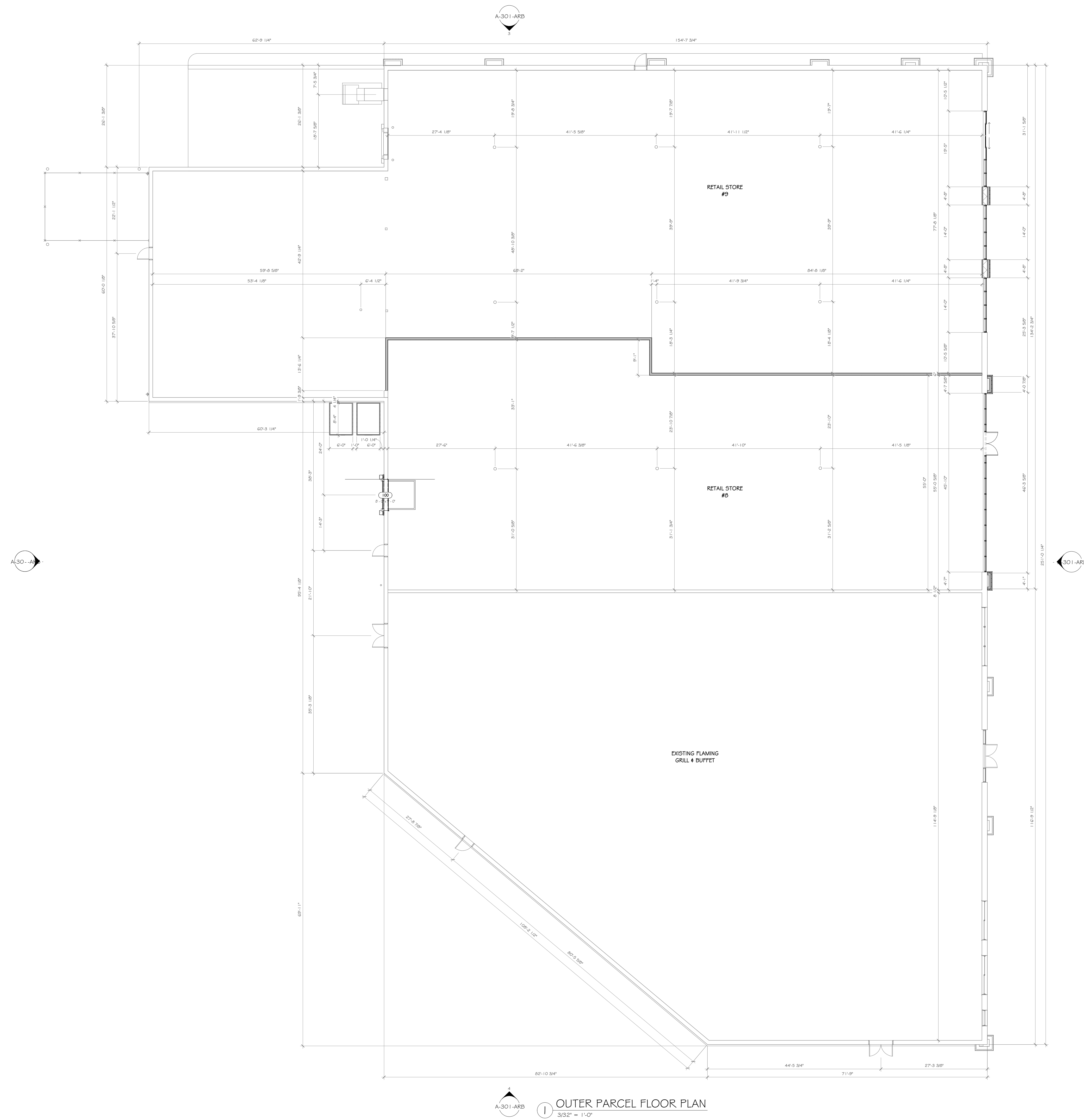
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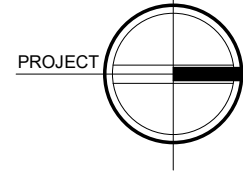
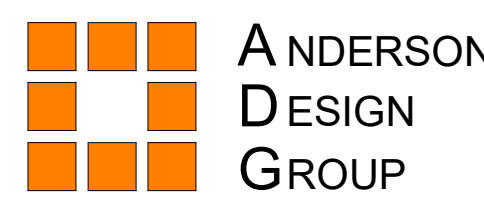



1 MALL OVERALL FLOOR PLAN
1" = 40'-0"

<p>PROJECT</p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>												
<p>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</p>														
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<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>														
<p>Drawing Name: MALL OVERALL FLOOR PLAN</p>														
<p>Drawn: IDEA</p>	<p>Scale: AS NOTED</p>	<p>Project: 23101-23 Date: 05/30/24</p>												
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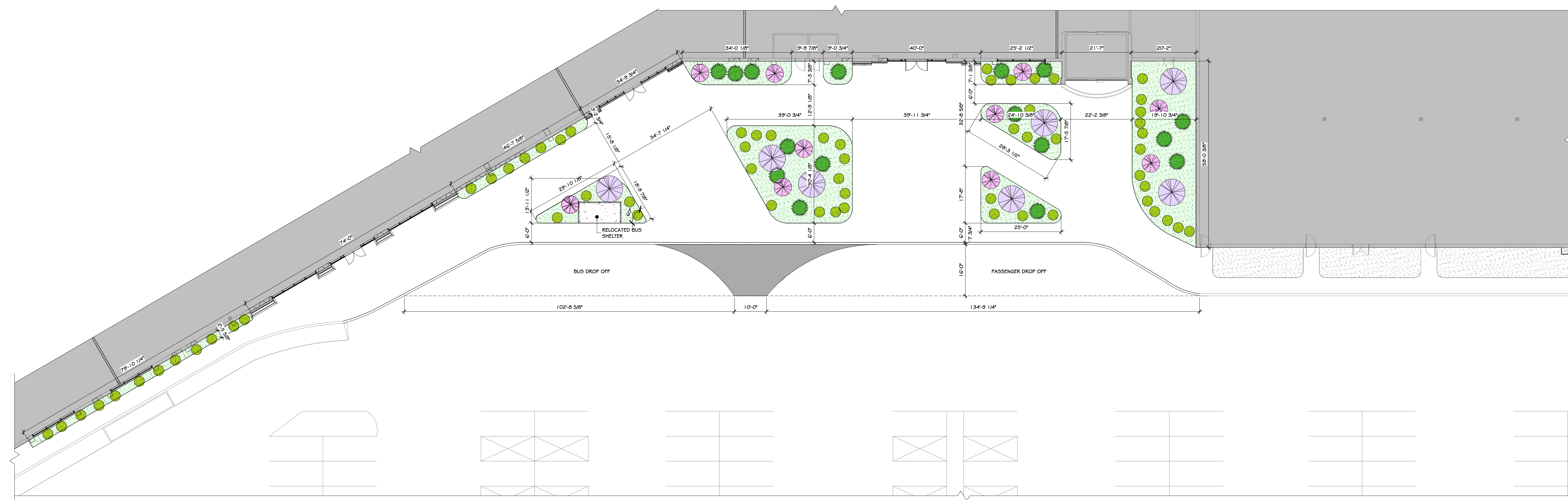
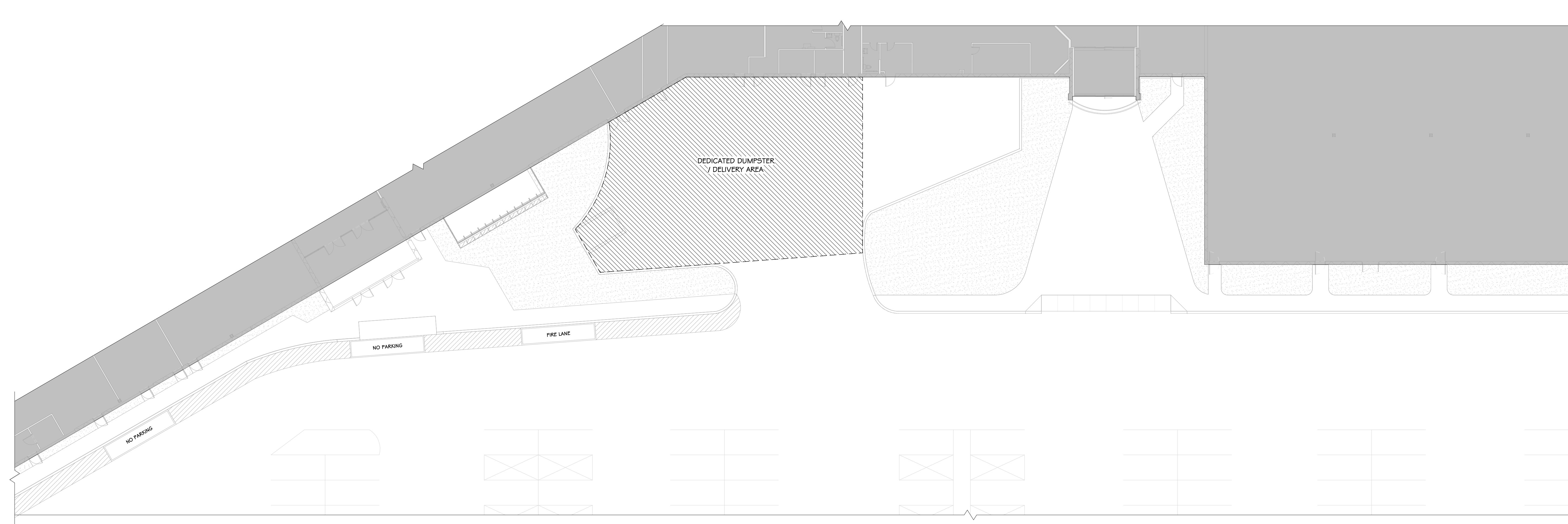


1 OUTER PARCEL FLOOR PLAN
3/32" = 1'-0"

<p>PROJECT</p>  <p>NORTH</p>		 <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>															
<p>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</p>																	
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<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>																	
<p>Drawing Name: OUTER PARCEL FLOOR PLAN</p>																	
<p>Drawn: IDEA</p>	<p>Scale: AS NOTED</p>	<p>Project: 23101-23 Date: 05/30/24</p>															
		<p>Drawing Number: A-201-ARB</p>															

CONSTRUCTION NOTES

- NOTE: NOT ALL NOTES MAY BE USED ON THIS DRAWING.
1. PERCENTAGE OF PERVIOUS SURFACE AREA IS TO REMAIN.
 2. NO CUT AND FILL RE-GRADING IS PROPOSED.



LEGEND

	EMERALD GREEN ARBORVITAE
	WINTER GEM BOXWOODS
	DWARF CHERRY BLOSSOM
	DWARF JAPANESE MAPLE
	PROPOSED PARKING SPACES
	PROPOSED LOADING AREA
	EXISTING PARKING SPACES

PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

100% ARCHITECTURAL REVIEW BOARD DOCUMENTS

REVISIONS:

NUM.	DATE	DESCRIPTION

ANDERSON
DESIGN
GROUP

ARCHITECTURE
PLANNING
INTERIORS

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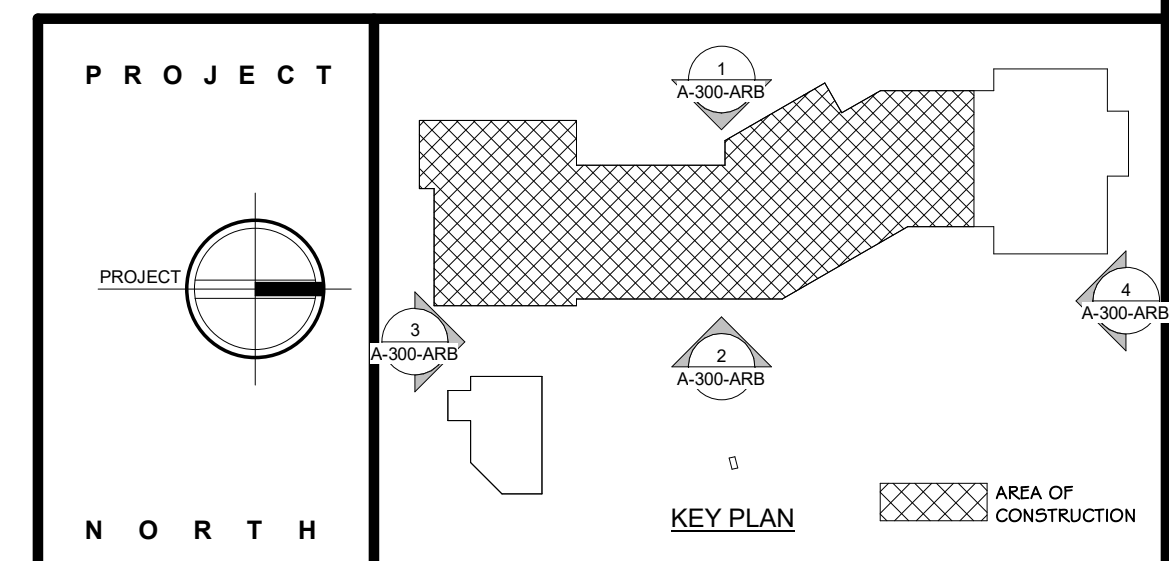
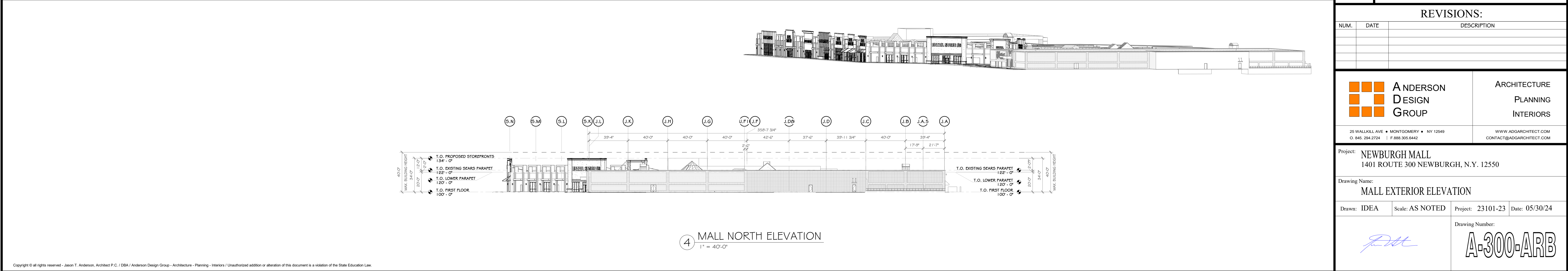
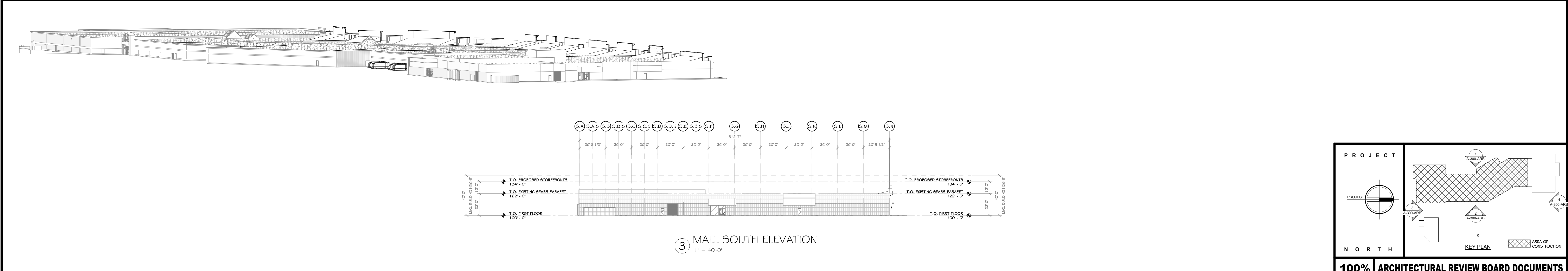
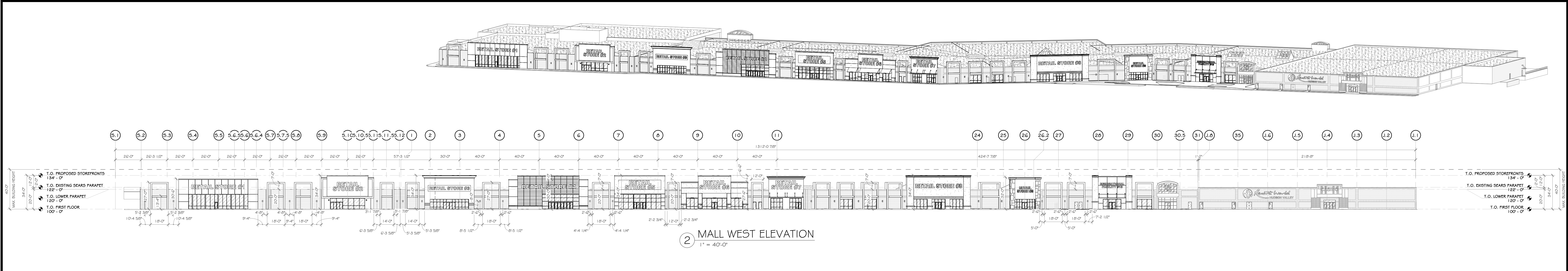
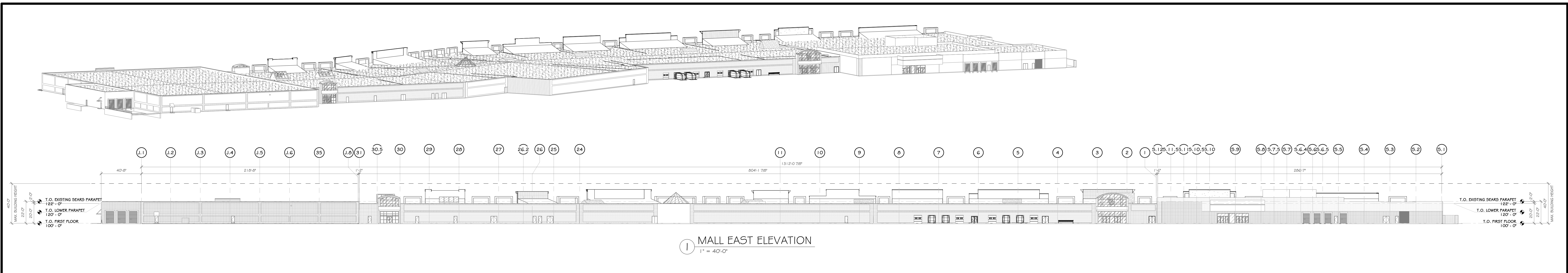
Project: NEWBURGH MALL
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name:
ENLARGED LANDSCAPE PLAN

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

Drawing Number:

A-202-ARB



100% ARCHITECTURAL REVIEW BOARD DOCUMENTS

REVISIONS:

NUM.	DATE	DESCRIPTION

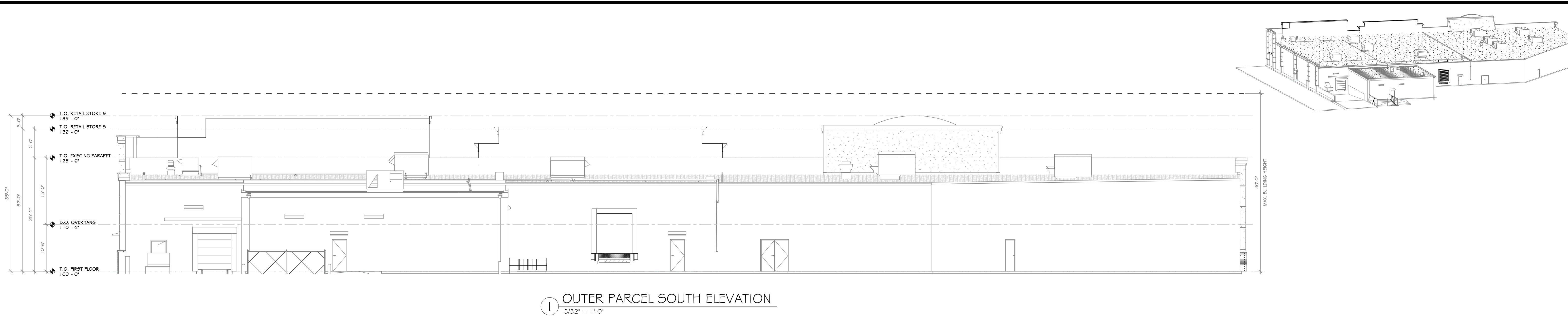
<p>ANDERSON DESIGN GROUP</p>	<p>ARCHITECTURE PLANNING INTERIORS</p>
<p>25 WALKILL AVE • MONTGOMERY • NY 12540 O: 845.294.2724 F: 888.305.6442</p>	<p>WWW.ADGARCHITECT.COM CONTACT@ADGARCHITECT.COM</p>

Project: **NEWBURGH MALL**
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: **MALL EXTERIOR ELEVATION**

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

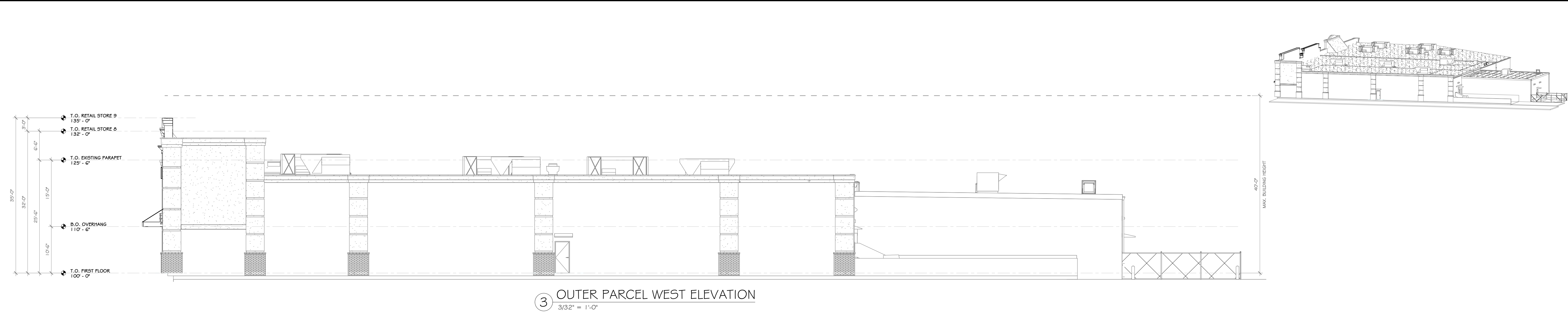
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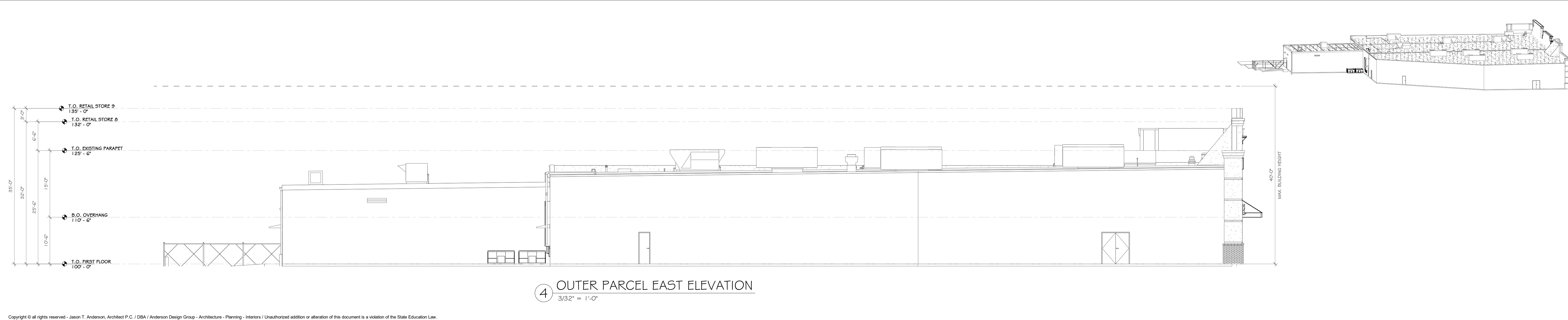
① OUTER PARCEL SOUTH ELEVATION
3/32" = 1'-0"



② OUTER PARCEL NORTH ELEVATION
3/32" = 1'-0"



③ OUTER PARCEL WEST ELEVATION
3/32" = 1'-0"



④ OUTER PARCEL EAST ELEVATION
3/32" = 1'-0"

PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

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**ANDERSON
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Project: **NEWBURGH MALL**
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Drawing Name: **OUTER PARCEL EXTERIOR ELEVATIONS**

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

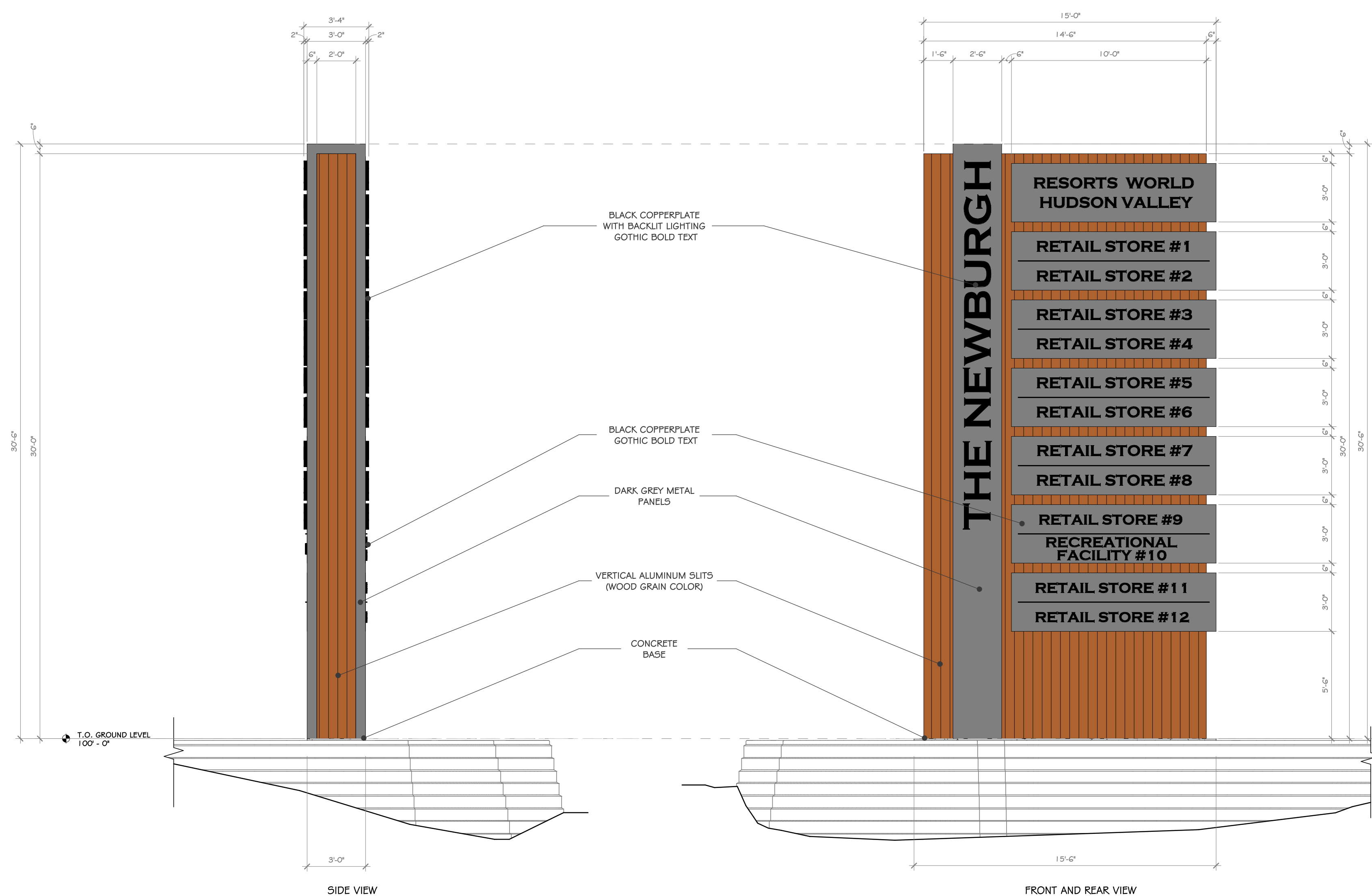
Drawing Number:
A-301-ARB

CONSTRUCTION NOTES

NOTE: NOT ALL NOTES MAY BE USED ON THIS DRAWING.
 1. PROPOSED PYLON SIGN TO NOT EXCEED 300 S.F. IN FRONTAGE AREA.



1 EXISTING DOUBLE SIDED MONUMENT SIGN PYLON DETAILS
 1/4" = 1'-0"



2 DOUBLE SIDED MONUMENT SIGN PYLON DETAILS
 1/4" = 1'-0"

PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

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Project: NEWBURGH MALL
 1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name:
 SIGN PYLON DETAILS

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

Drawing Number:
A-302-ARB



1 MASTER SIGNAGE PLAN

PROJECT

NORTH

KEY PLAN

AREA OF CONSTRUCTION

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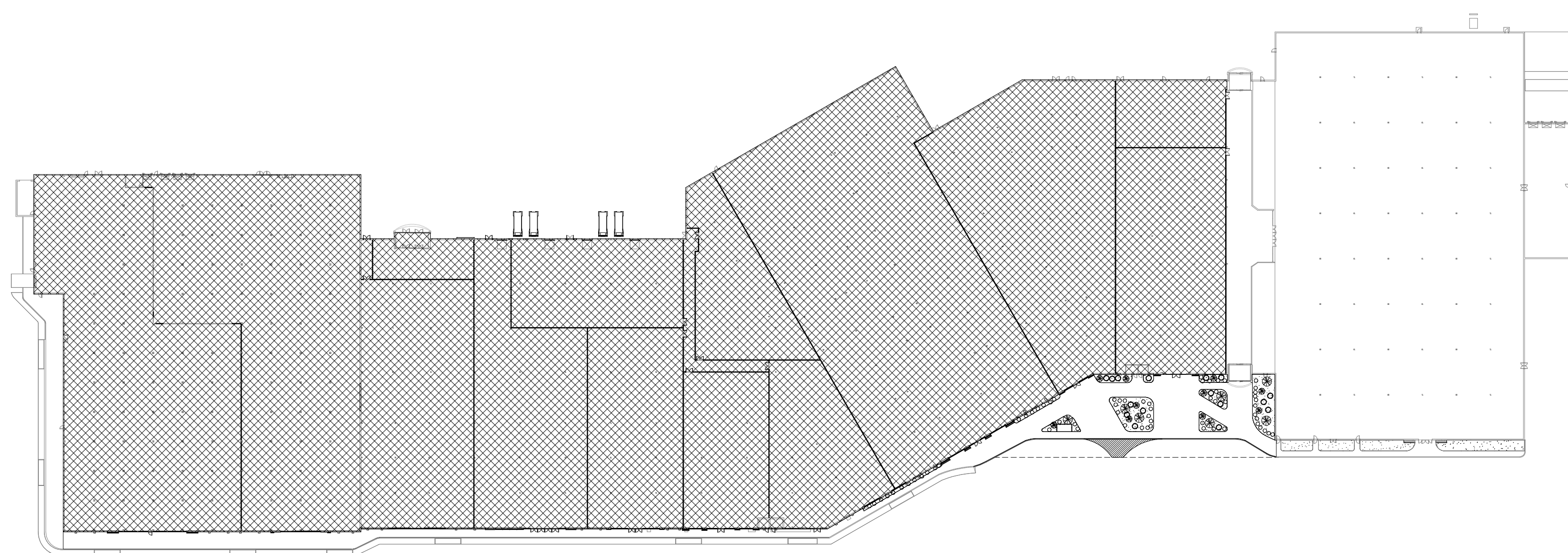
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MASTER SIGNAGE PLAN

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

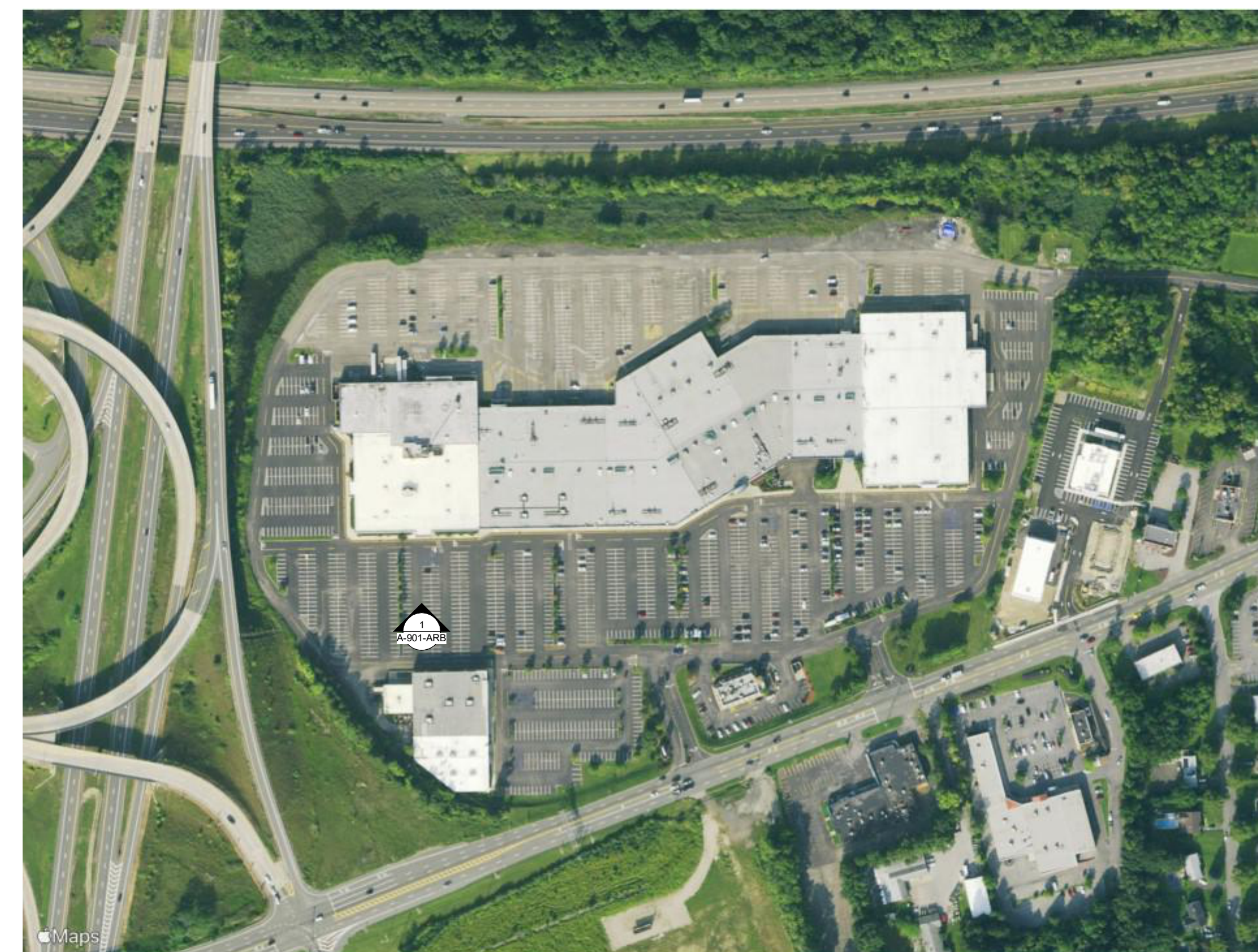
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A-900-ARB



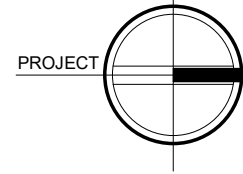
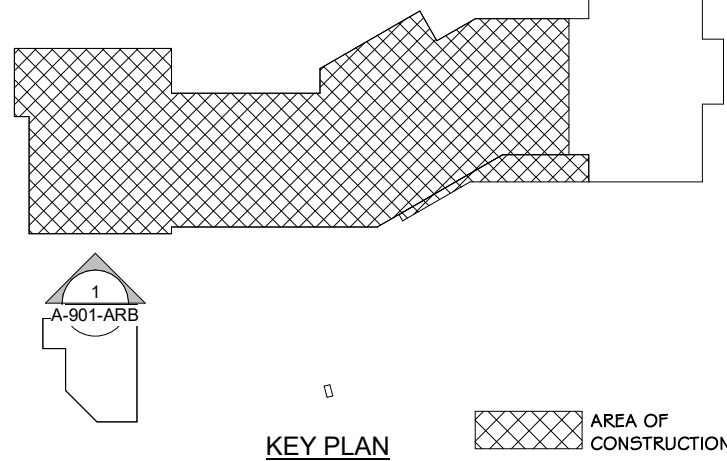
1 PROPOSED ELEVATION RENDERING FROM EAST
3" = 1'-0"



2 BUILDING REFERENCE PLAN 1
1" = 60'-0"

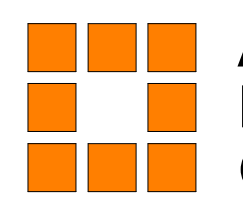


3 SITE MAP 1

PROJECT	
 NORTH	 KEY PLAN


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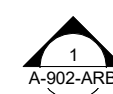
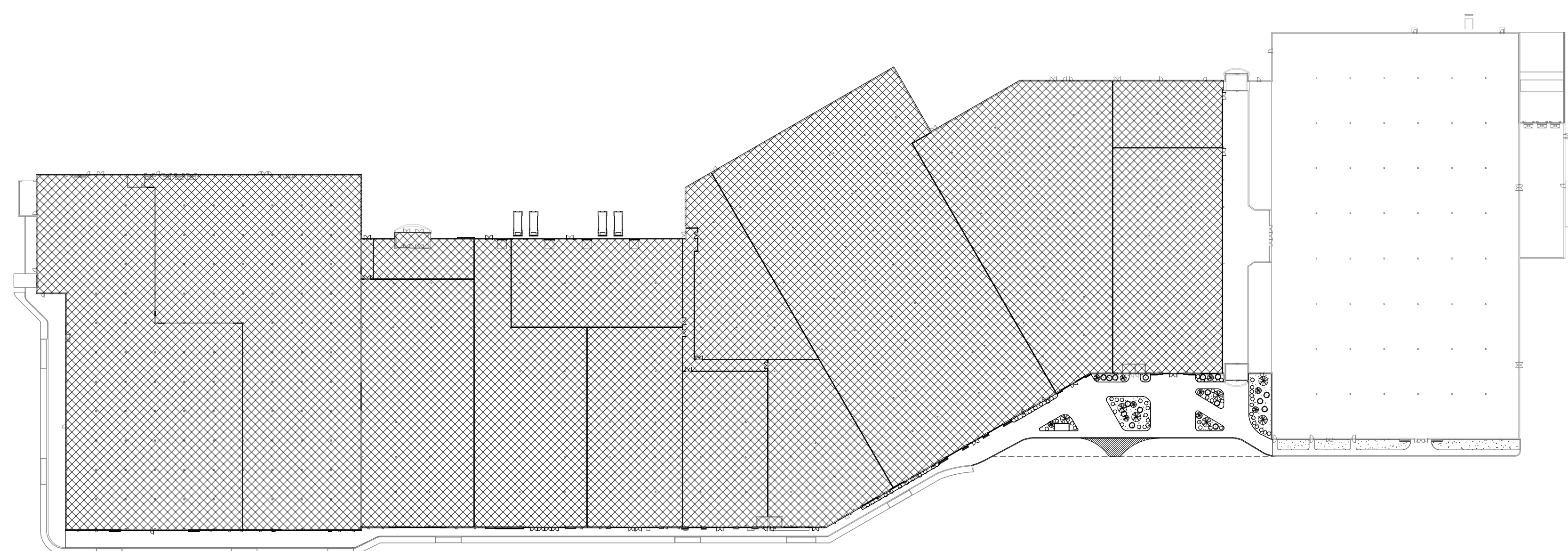
Project: NEWBURGH MALL
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MALL RENDERING FROM EAST
Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

	Drawing Number: A-901-ARB
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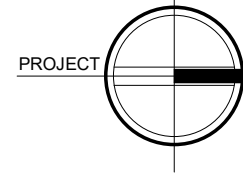
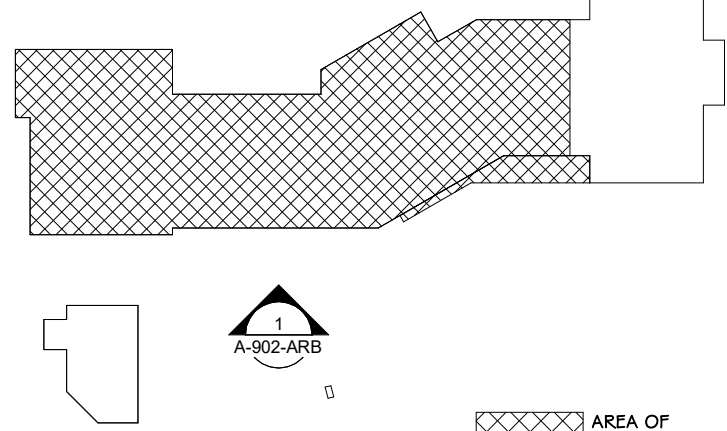
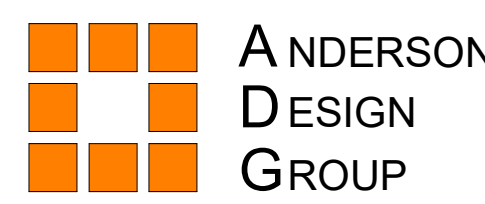
1 PROPOSED ELEVATION RENDERING FROM EAST
3" = 1'-0"



2 BUILDING REFERENCE PLAN 2
1" = 80'-0"

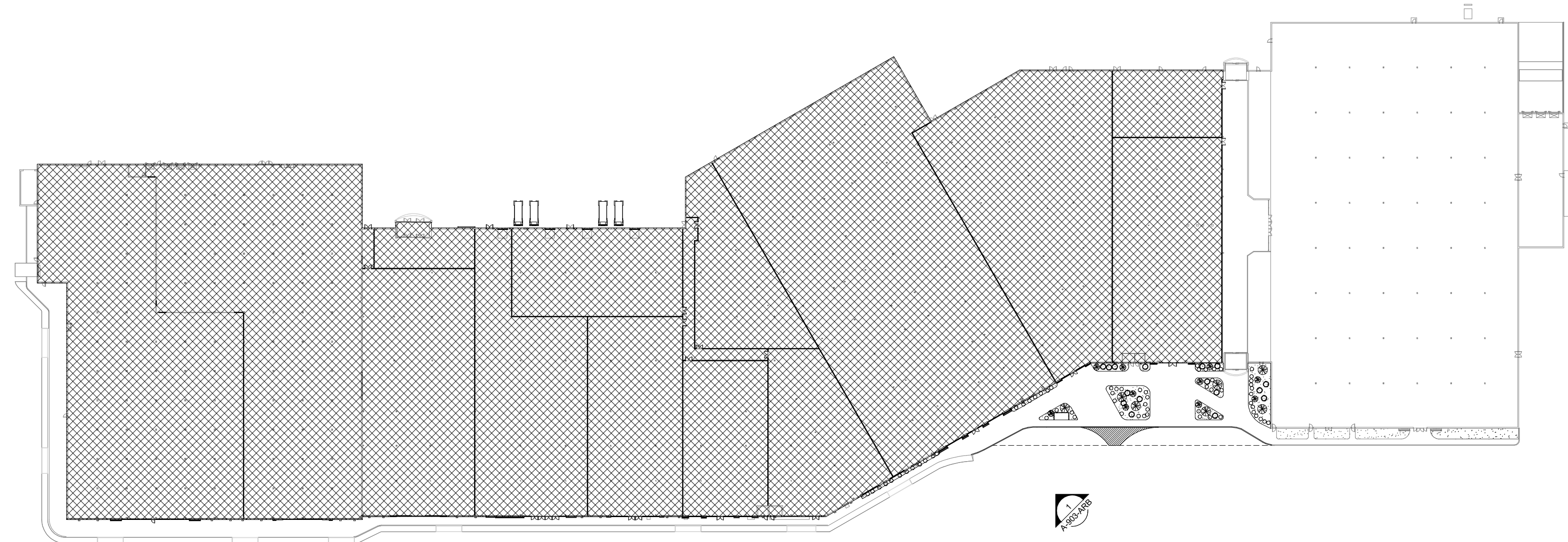


3 SITE MAP 2

<p>PROJECT</p>   <p>NORTH</p> <p>KEY PLAN</p> <p>AREA OF CONSTRUCTION</p>													
<p>100% ARCHITECTURAL REVIEW BOARD DOCUMENTS</p>													
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NUM.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NUM.	DATE	DESCRIPTION									
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<p>Project: NEWBURGH MALL 1401 ROUTE 300 NEWBURGH, N.Y. 12550</p>													
<p>Drawing Name: MALL RENDERING FROM EAST</p>													
<p>Drawn: IDEA</p>	<p>Scale: AS NOTED</p>												
<p>Project: 23101-23</p>	<p>Date: 05/30/24</p>												
<p>Drawing Number: A-902-ARB</p>													



1 PROPOSED ELEVATION RENDERING FROM EAST
1/2" = 1'-0"



2 BUILDING REFERENCE PLAN 3



3 SITE MAP 3

PROJECT	
NORTH	

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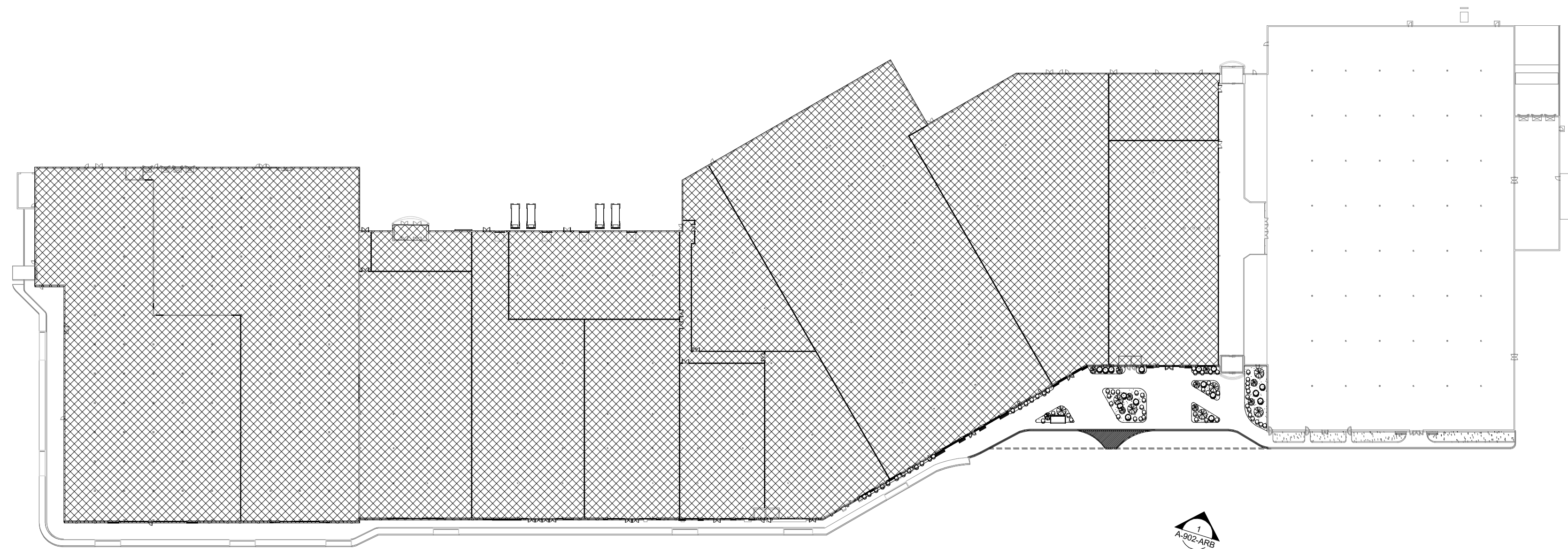
Project: NEWBURGH MALL
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MALL RENDERING FROM EAST
Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

	Drawing Number: A-903-ARB
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① PROPOSED ELEVATION RENDERING FROM EAST



② BUILDING REFERENCE PLAN 4



③ SITE MAP 4

PROJECT	
NORTH	KEY PLAN

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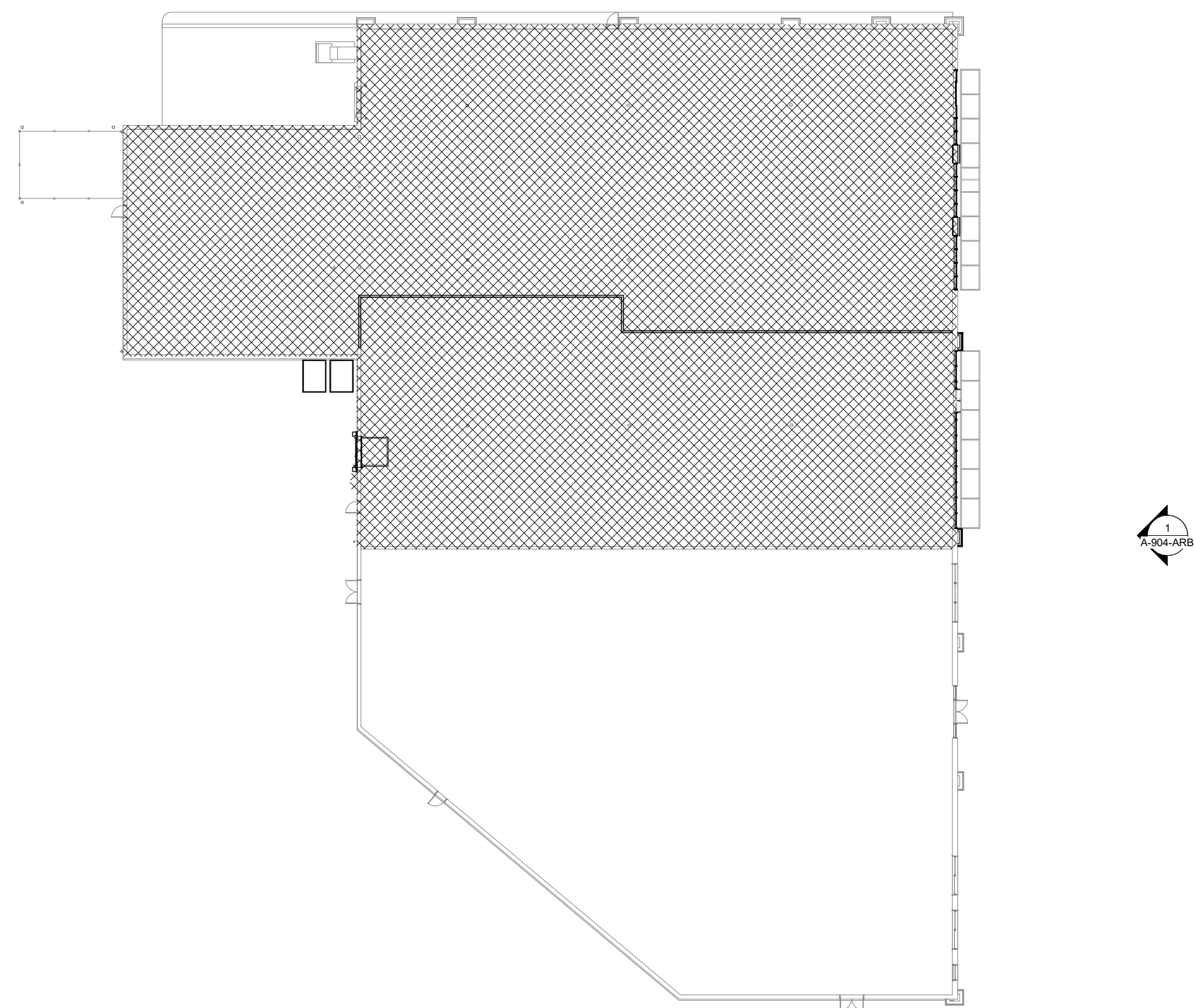
Project: NEWBURGH MALL
1401 ROUTE 300 NEWBURGH, N.Y. 12550

Drawing Name: MALL RENDERING FROM EAST
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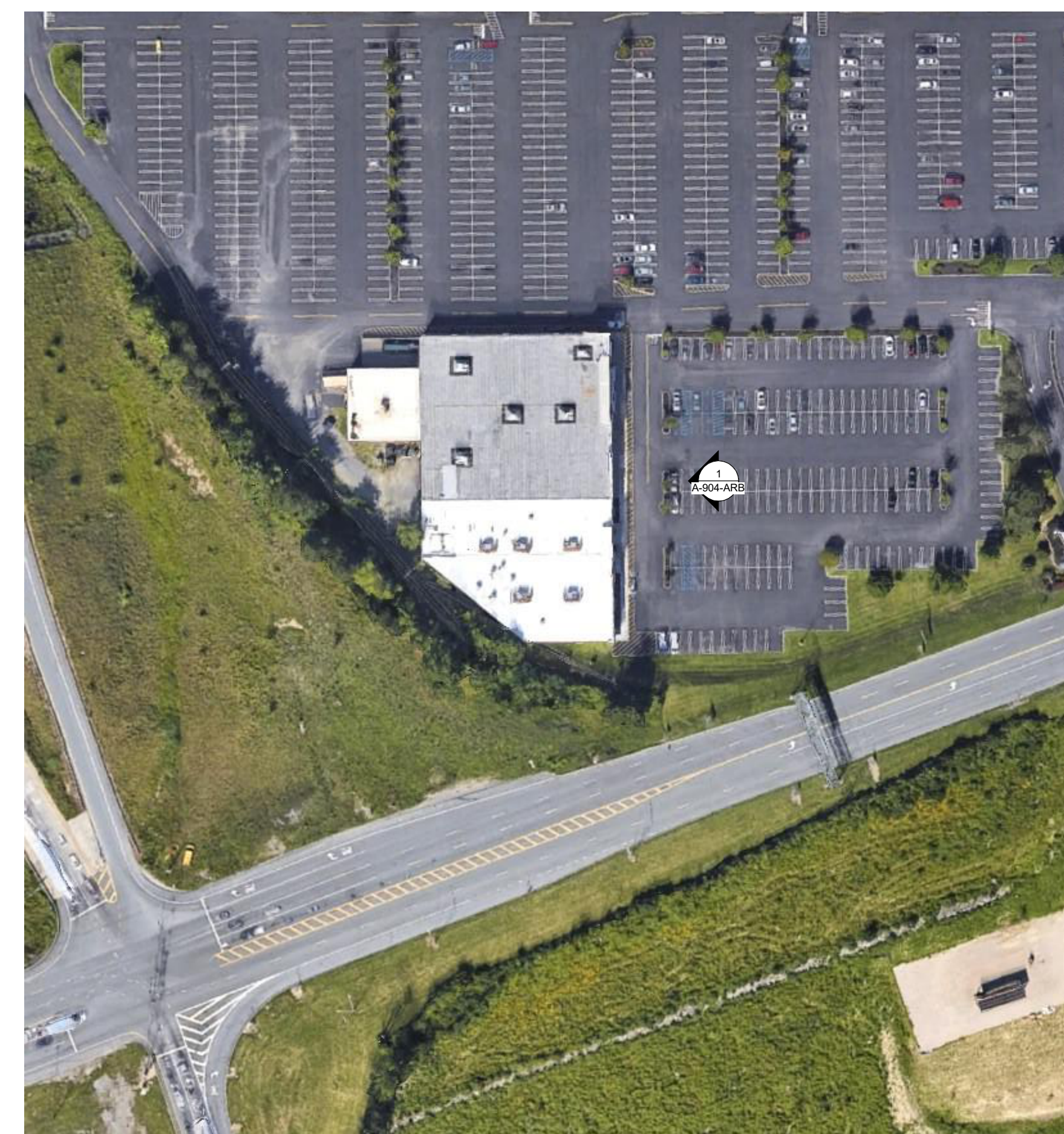
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① PROPOSED ELEVATION RENDERING FROM SOUTHWEST



② BUILDING REFERENCE PLAN



③ SITE PLAN

PROJECT

KEY PLAN

AREA OF CONSTRUCTION

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Project: **NEWBURGH MALL**
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Drawing Name: **OUTER PARCEL RENDERING FROM SOUTHWEST**

Drawn: IDEA Scale: AS NOTED Project: 23101-23 Date: 05/30/24

Drawing Number: **A-905-ARB**