



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** NEWBURGH ELITE SELF STORAGE  
**PROJECT NO.:** 24-12  
**PROJECT LOCATION:** SECTION 34, BLOCK 2, LOT 34  
**REVIEW DATE:** 28 OCTOBER 2024  
**MEETING DATE:** 7 NOVEMBER 2024  
**PROJECT REPRESENTATIVE:** LANC & TULLY/JOHN QUEENAN P.E.

1. This office circulated a Notice of Intent for Lead Agency dated 10 June 2024. No outside agencies have objected to the Planning Boards Lead Agency status.
2. At the previous meeting the applicants representatives have confirmed that the 23,100 square foot structure will not exceed 15 feet in height.
3. The drive aisles have been revised to comply with Section 185-35b providing a minimum 25 feet drive aisle. The exterior aisles are identified as being 26 feet in width.
4. The self storage center notes regarding parking of boats and campers have been added to the plans. The applicants have stated they do not intend to park boats and campers on the site and no area on the site has been depicted for this use.
5. The Planning Board Attorney comments regarding the existing access to the Tax Lot 37 west of the property should be identified. A continued access to the adjoining property is proposed. An easement should be proposed for this access.
6. Two 10,000 gallon fire suppression water tanks have been depicted on the plans. Details for these tanks should be provided. Building Department comments regarding fire suppression system should be received.
7. The 1,000 septic tank detail should be added to the plan sheet.
8. A pump station alarm should be addressed.
9. Septic system notes should identify that as-built plan must be submitted with the certification prior to issuance of a certificate of occupancy.
10. The location for the building mounted and pole mounted lighting should be depicted on the lighting plan. It is noted that the pole mounted lights are identified as 17 foot mounting height.
11. The wetland delineation Report should be submitted for the Planning Board files.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

12. Any submissions to the Army Corps of Engineers or DEC for preconstruction notification of the wetland disturbance should be provided.
13. It is noted that NYSDEC Wetland Regulations are proposed to change in January 2025. It is unclear if those regulation changes will affect the jurisdiction of the wetlands on the site.
14. Stormwater Pollution Prevention Plan must be prepared for the project.
15. The plans must be submitted to Orange County Planning upon receipt of Traffic and Stormwater Study is required.
16. Architectural renderings of the project have been submitted for the Boards review.
17. The renderings appear to depict architectural type fence. Details of the fencing should be added to the plans. Current fencing shows typical chain link fence detail.
18. Landscaping plan should be further developed identifying the location, number, of any proposed landscaping. Landscaping plan should address the entrance at Paffendorf Road.
19. Stormwater Management and Landscape security will be required as a condition of final approval.
20. Well detail should be added to the plan sheets.
21. Clarify areas to be curbed.
22. Compliance with the tree preservation ordinance is required.

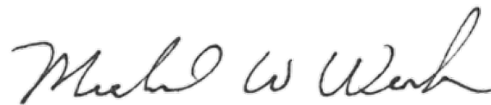
Respectfully submitted,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal

PJH/kmm



Michael W. Weeks, P.E.  
Principal





LOCATION PLAN  
1 INCH = 1000 FEET

**SURVEY NOTES:**

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCE:  
LIBER 15351 OF DEEDS AT PAGE 831 AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. CONTOURS SHOWN HEREON ARE BASED ON AN ACTUAL FIELD SURVEY COMPLETED BY LANC AND TULLY ENGINEERING AND SURVEYING P.C., ELEVATIONS SHOWN ARE BASED ON NAVD83.
5. WETLAND FLAGS SHOWN HEREON AS FLAGGED BY ECOLOGICAL SOLUTIONS AND FIELD LOCATED BY LANC & TULLY ENGINEERING AND SURVEYING P.C., ON APRIL 9, 2024.

**GENERAL NOTES:**

1. TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 34
2. TOTAL AREA: 9.2± ACRES
3. DEED REFERENCE: LIBER 15351 PAGE 831 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: IB - INTERCHANGE BUSINESS
5. FIRE DISTRICT: CRONOMER VALLEY FD
6. SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
7. WATER SERVICE: PRIVATE ONSITE WELL
8. SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
11. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
13. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
14. ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
15. A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
16. DUE TO THE CLOSE PROXIMITY OF THE PROPOSED BUILDING(S) TO THE ZONING SETBACKS, STAKEOUT BY A LICENSED SURVEYOR PRIOR TO ISSUANCE OF A BUILDING PERMIT IS REQUIRED.

**TABLE OF ZONING REQUIREMENTS**

TOWN OF NEWBURGH - IB ZONE USE #15 - SELF STORAGE CENTERS		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	3 ACRES	9.2 ACRES
LOT WIDTH	100 FT.	495 FT.
LOT DEPTH	125 FT.	800 FT.
FRONT YARD	80 FT.	98 FT.
ONE SIDE YARD/BOTH	30/60 FT.	56/195 FT.
REAR YARD	40 FT.	69 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	15 FT.	15 FT.
BUILDING COVERAGE	30%	14±%
DEVELOPMENT COVERAGE	60%	40±%

**PARKING REQUIREMENTS**

**REQUIRED**  
OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA  
300 SF OFFICE / 200 SF = 2 SPACES REQUIRED FOR OFFICE AREA  
CARETAKER UNIT = 2 SPACES REQUIRED

**TOTAL = 4 PARKING SPACES REQUIRED**  
**TOTAL = 6 PARKING SPACES PROVIDED**  
INCLUDING 1 HANDICAP SPACE

**RECORD OWNER:**

CBPS III, LLC  
11 AMERICAN WAY  
NEWBURGH, NEW YORK 12550  
L. 15351 P. 831  
34 - 2 - 34

**APPLICANT:**

NEWBURGH ELITE STORAGE  
208 SOUTH PLANK ROAD  
NEWBURGH, NEW YORK 12550

**AREA:**  
9.238± AC.

**FEDERAL WETLAND AREA:**  
3.766± AC.

**SITE PLAN SHEET INDEX:**

1. SITE PLAN
2. EXISTING CONDITIONS
3. TREE LOCATION AND REMOVAL PLAN
4. GRADING AND UTILITY PLAN
5. SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
6. EROSION AND SEDIMENT CONTROL PLAN
7. LANDSCAPING PLAN AND DETAILS
8. VEHICLE TURNING MOVEMENT PLAN
9. LIGHTING PLAN AND DETAILS
10. CONSTRUCTION DETAILS 1
11. CONSTRUCTION DETAILS 2

**SELF STORAGE CENTER NOTES:**

Only dead storage activities shall be permitted. dead storage shall mean the keeping of goods not in use and not associated with any office, retail or other business activity conducted on the premises. Conducting an office, retail or other business use or sales from a storage unit shall be prohibited.

Outside storage shall be prohibited except for boats and campers, which may be stored in a special parking area not in a required front yard. Storage of all other property shall be inside a building. Vehicle parking shall be provided for tenants and employees only while they are on the premises. Except for storage of boats and campers, motor vehicles shall not be parked overnight or otherwise stored outdoors on the site.

**OWNER'S CONSENT NOTE:**

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

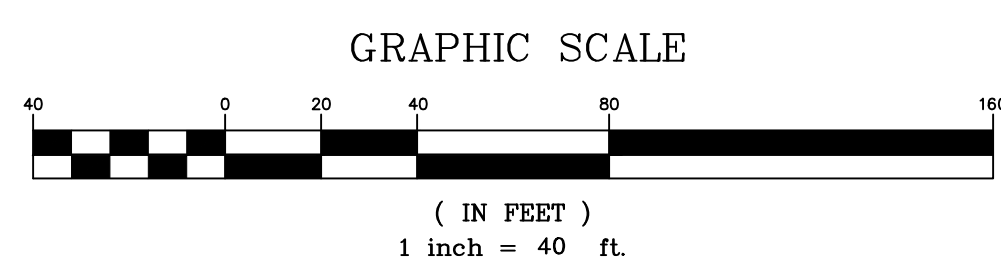
- LEGEND**
- PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - PROPOSED BUILDING SETBACK
  - PROPOSED BUILDING
  - PROPOSED EDGE OF PAVEMENT/CURB
  - PROPOSED SIDEWALK
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SEWER
  - PROPOSED WATER



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N/F WPA ACQUISITION CORP  
34 - 2 - 102



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TOWN OF NEWBURGH  
SITE PLAN APPROVAL:



P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

SITE PLAN  
PREPARED FOR

**NEWBURGH ELITE STORAGE**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JJ Checked By: Scale: 1" = 40' Tax Map No.: 34 - 2 - 34 Drawing No.: A-24 - 0059 - 01

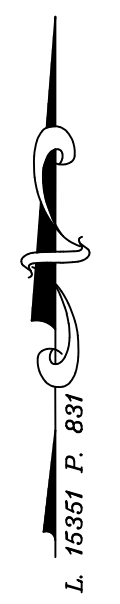
Date: MAY 27, 2024  
Revision: SEPTEMBER 10, 2024  
OCTOBER 27, 2024

CDP Title: 34000-Site Plan.DWG  
Layout: ENG  
Sheet No.: 1 OF 11

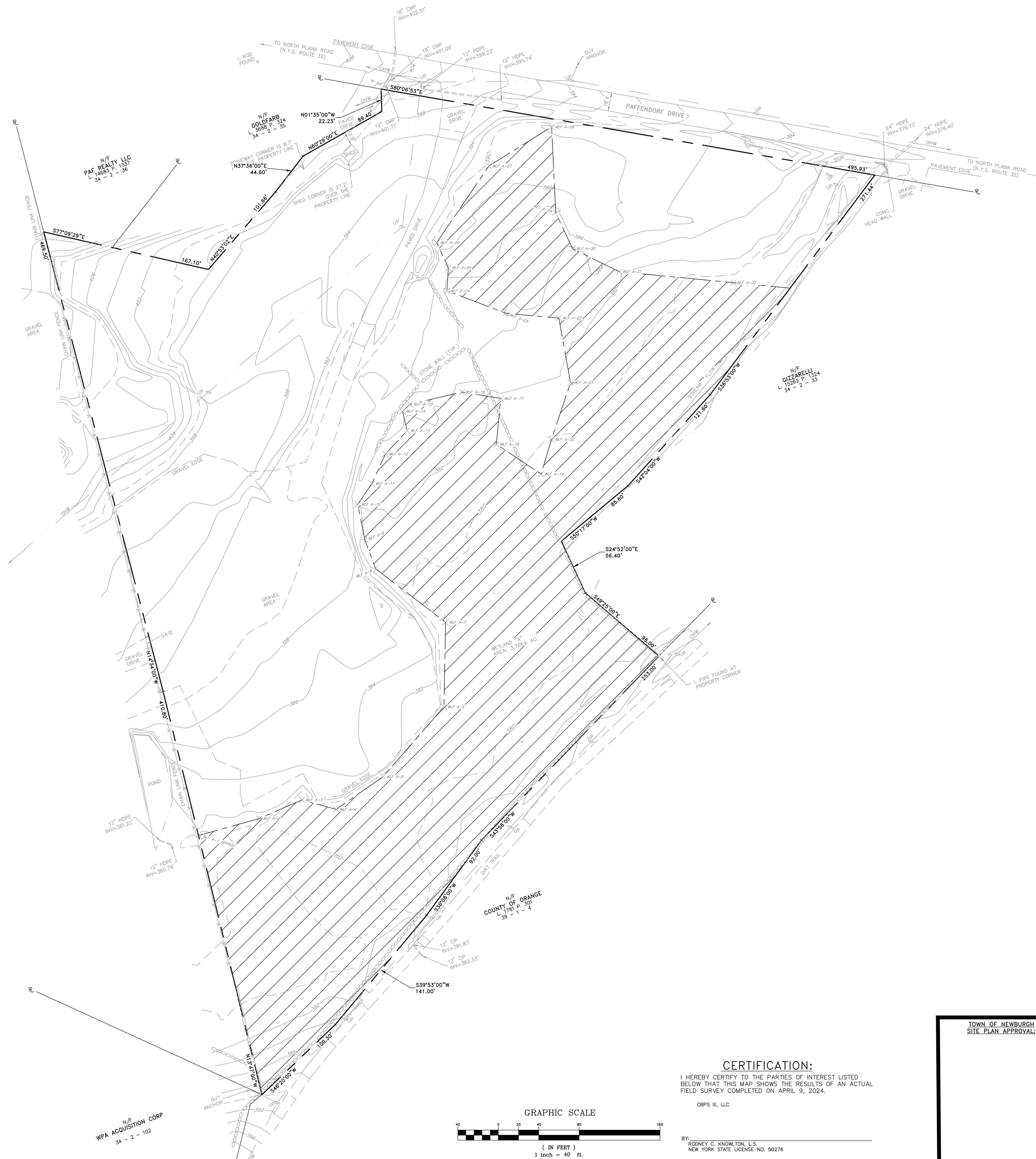


**SURVEY NOTES:**

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5. WETLAND FLAGS SHOWN HEREON AS FLAGGED BY ECOLOGICAL SOLUTIONS AND FIELD LOCATED BY LANC & TULLY ENGINEERING AND SURVEYING P.C., ON APRIL 9, 2024.



N/W  
IRON ANVIL, LLC  
L 14591 P. 1359  
34 - 2 - 37



**RECORD OWNER:** CBPS III, LLC  
11 AMERICAN WAY  
NEWBURGH, NEW YORK 12550  
L 15351 P. 831  
34 - 2 - 34

**APPLICANT:** NEWBURGH ELITE STORAGE  
208 SOUTH PLANK ROAD  
NEWBURGH, NEW YORK 12550

**FEDERAL WETLAND AREA:**  
3.766± AC.

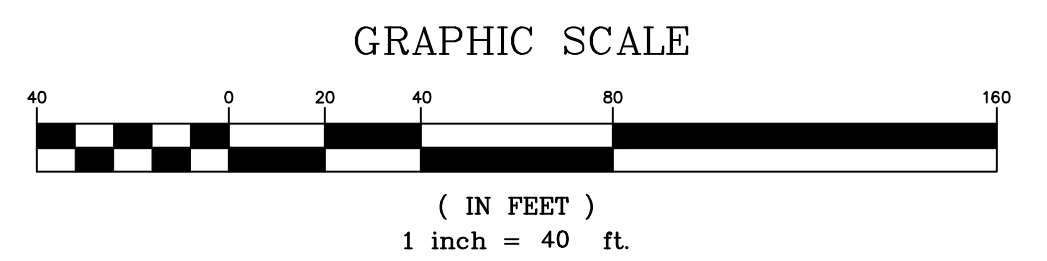
**AREA:** 9.238± AC.



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N/W  
WPA ACQUISITION CORP  
34 - 2 - 102



**CERTIFICATION:**  
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON APRIL 9, 2024.

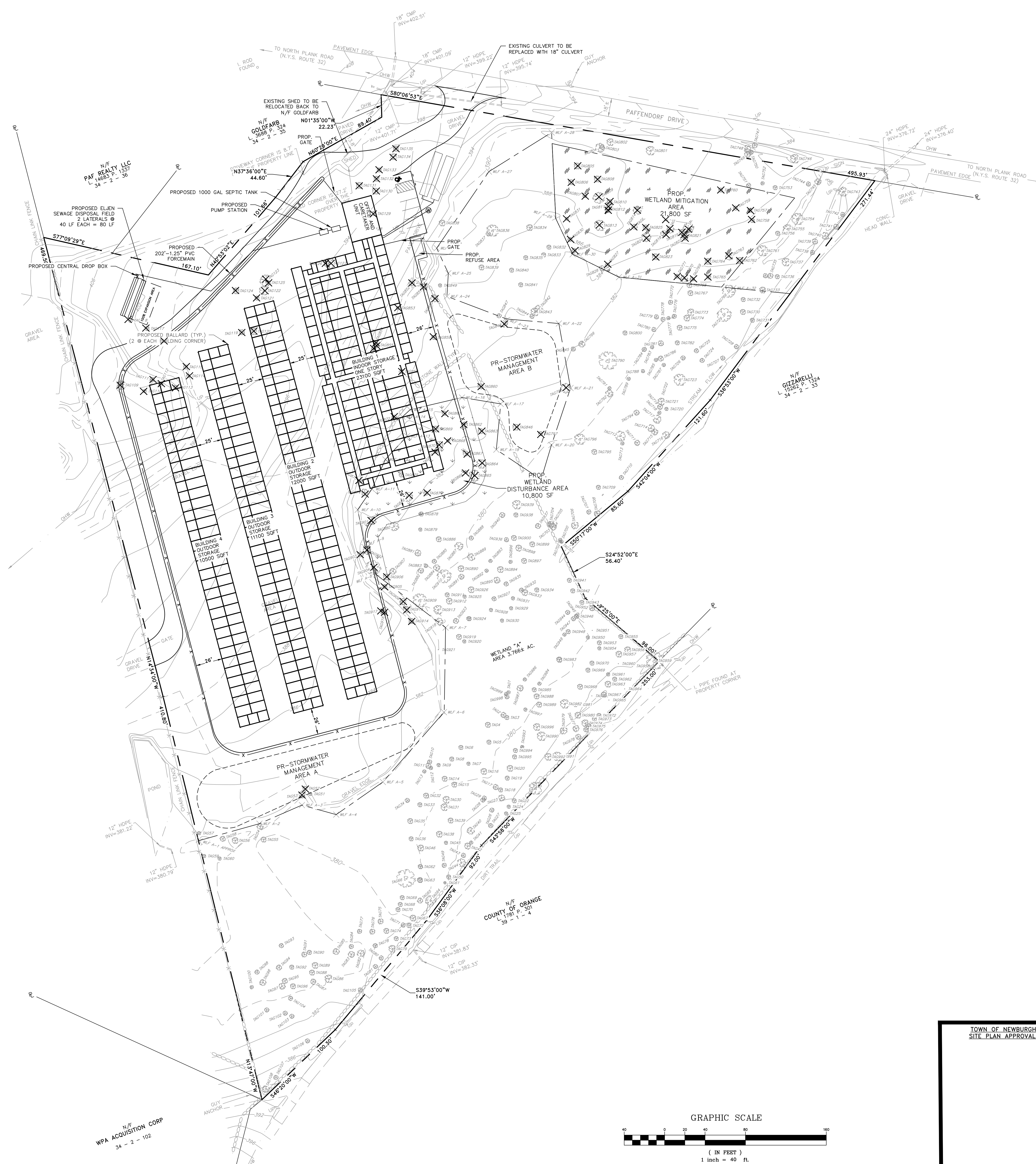
CBPS III, LLC

BY:  
ROONEY C. KNOWLTON, L.S.  
NEW YORK STATE LICENSE NO. 50276

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TOWN OF NEWBURGH SITE PLAN APPROVAL	Engineering and Surveying, P.C. P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	Date: APRIL 24, 2024
		Revision: OCTOBER 27, 2024
EXISTING CONDITIONS PREPARED FOR  <b>NEWBURGH ELITE STORAGE</b>  TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		Drawing No.: 2 OF 11 C30 A- 24 - 0059 - 01
Drawn By: JG Checked By: Scale: 1" = 40' Tax Map No.: 34 - 2 - 34		





N/W  
IRON ANVIL, LLC  
L 14591 P. 1399  
34 - 2 - 37

N/W  
WPA ACQUISITION CORP  
34 - 2 - 102

**RECORD OWNER:**  
CBPS III, LLC  
11 AMERICAN WAY  
NEWBURGH, NEW YORK 12550  
L 15351 P. 831  
34 - 2 - 34

**APPLICANT:**  
NEWBURGH ELITE STORAGE  
208 SOUTH PLANK ROAD  
NEWBURGH, NEW YORK 12550

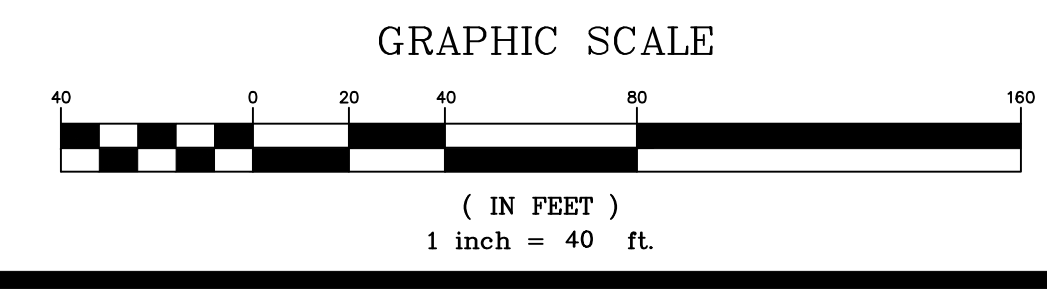
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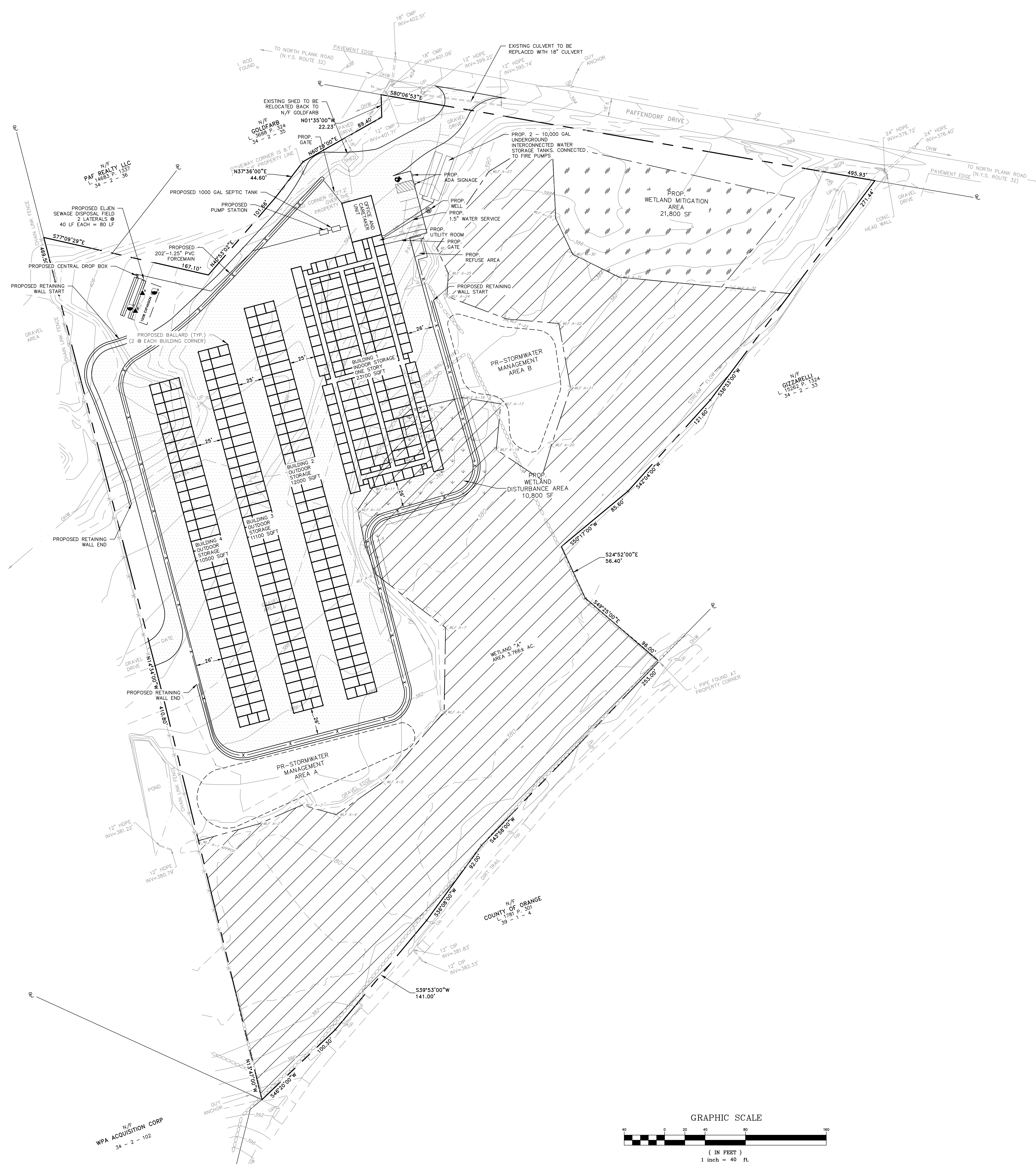
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TOWN OF NEWBURGH SITE PLAN APPROVAL	Engineering and Surveying, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	Date: APRIL 24, 2024
			Revision: OCTOBER 27, 2024
<b>TREE LOCATION AND REMOVAL PLAN          PREPARED FOR</b>			TOWN OF NEWBURGH COUNTY OF ORANGE, NEW YORK
<b>NEWBURGH ELITE STORAGE</b>			
Drawn By: JG	Checked By:	Scale: 1" = 40'	Tax Map No.: 34 - 2 - 34
Drawing No.: A-24-0059-01			Sheet No.: 3 OF 11 C30





N/F PAF REALTY LLC  
L 1455 P. 1357  
34 - 2 - 36

N/F IRON ANVIL LLC  
L 1659 P. 1359  
34 - 2 - 37

N/F GIZARELLI  
L 1509 P. 1314  
34 - 2 - 33

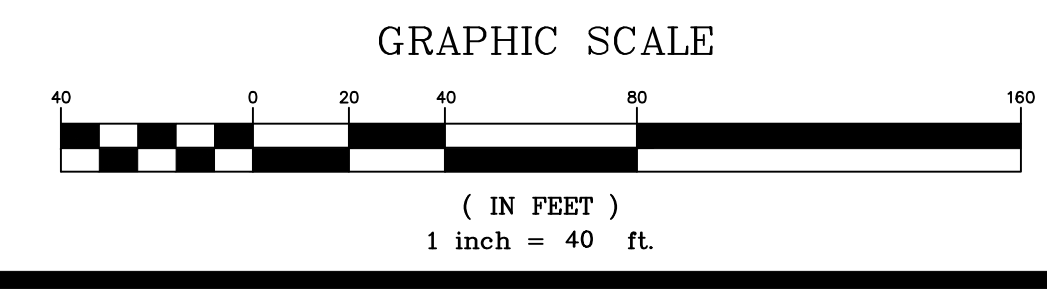
N/F COUNTY OF ORANGE  
L 1781 P. 301  
39 - 1 - 4

N/F WPA ACQUISITION CORP  
L 1659 P. 102  
34 - 2 - 102



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P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

GRADING AND UTILITY PLAN  
PREPARED FOR

Date: APRIL 24, 2024  
Revision: OCTOBER 27, 2024

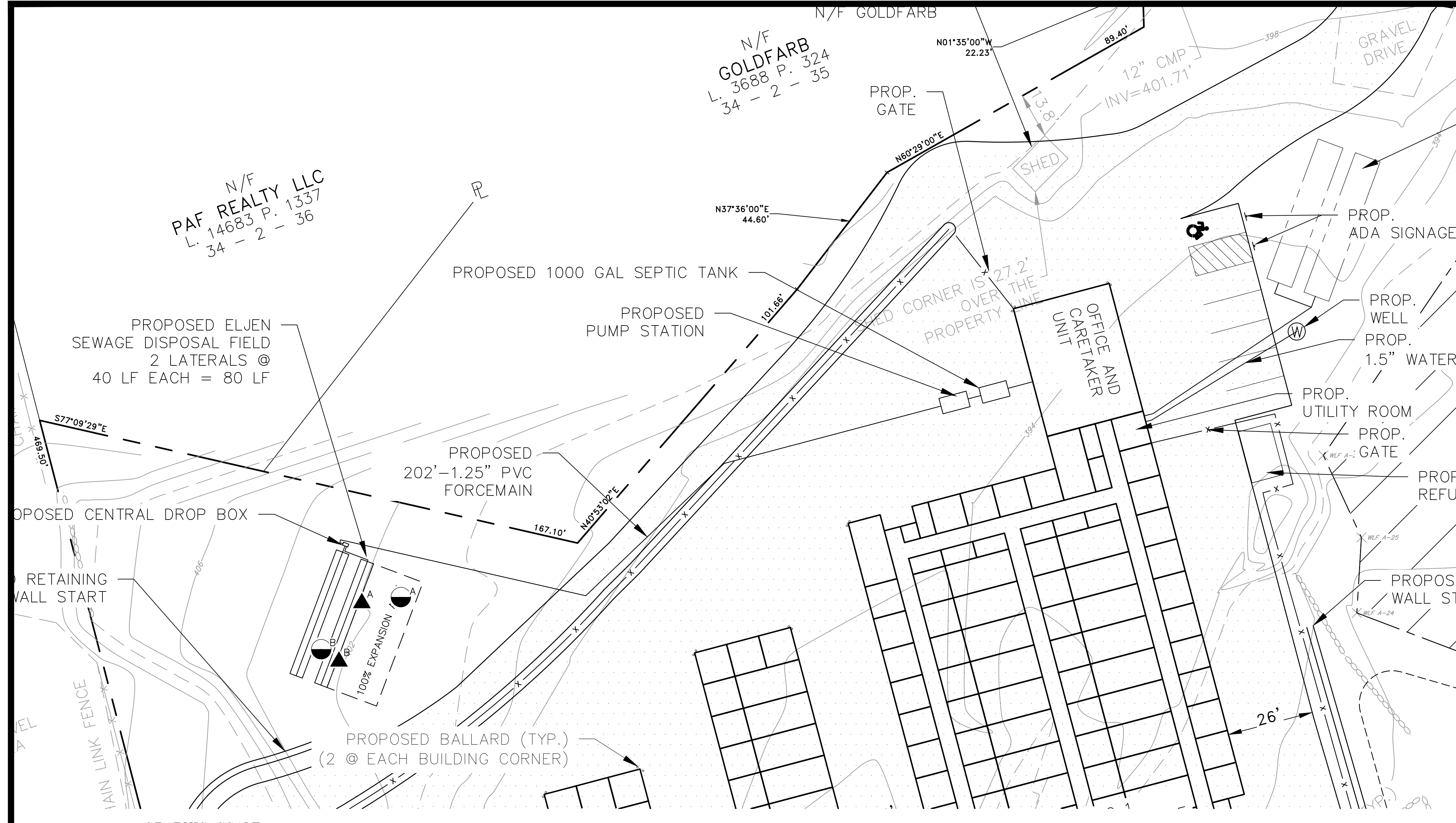
**NEWBURGH ELITE STORAGE**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JG	Checked By:	Scale: 1" = 40'	Tax Map No.: 34 - 2 - 34	Drawing No.: A-24 - 0059 - 01
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CDP File: 240059 - Site Plan.DWG  
Layout: GRADING AND UTILITY  
Sheet No.: 4 OF 11





**PERCOLATION TEST RESULTS:**  
 PERCOLATION TESTS 'A' & 'B' WERE PERFORMED ON MAY 22, 2024 BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

PERC. TEST RATE (MIN.) DEPTH = 24"	DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM	
			REQUIRED	PROPOSED		
A	B					
37	28	31-45	200	222	224	ELJEN

**SYSTEM DESIGN**

SYSTEM FLOWS AND DESIGN FOR NEW SDS:  
 FLOW RATE FOR OFFICE/RETAIL = 30 GPD (300 SF + 0.1 GPD/SF)  
 FLOW RATE FOR CABINETAKER UNIT = 200 GPD (110 GPD PER BEDROOM)  
 250 GPD = 50 GPD = 200 GPD (DESIGN FLOW)  
 DESIGN PERCOLATION RATE: 31-45 MINUTES/INCH  
 DESIGN APPLICATION RATE: 0.5 GAL/DAY/SQUARE FOOT  
 APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH  
 SQUARE FOOTAGE REQ'D: 200 GPD / 0.5 GPD/SQ FT = 400 SQ FT  
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 400 SQ FT/6 SQ FT PER LIN. FT. = 67 LIN. FT. OF TRENCH  
 ABSORPTION FIELD TRENCH PROVIDED: 2 LATERALS @ 40 FEET = 80 LINEAR FEET  
 SEPTIC TANK SIZING: 250 GPD X 1.5 = 375 GPD - USE 1,000 GAL TANK

**DEEP TEST RESULTS**

A & B - SITE INSPECTION PERFORMED ON MAY 22, 2024 BY LANC AND TULLY ENGINEERING, P. C.

GROUND LEVEL	GROUND LEVEL	
	A	B
GRAVEL 6"	GRAVEL 6"	GRAVEL 6"
1' SILT LOAM/ GRAVEL	1' SILT LOAM/ GRAVEL	1' SILT LOAM/ GRAVEL
2' SILT LOAM/ GRAVEL	2' SILT LOAM/ GRAVEL	2' SILT LOAM/ GRAVEL
3' SILT LOAM/ GRAVEL	3' SILT LOAM/ GRAVEL	3' SILT LOAM/ GRAVEL
4' SILT LOAM WITH BOULDERS	4' SILT LOAM WITH CLAY STONES	4' SILT LOAM WITH CLAY STONES
5' SILT LOAM WITH BOULDERS	5' SILT LOAM WITH CLAY STONES	5' SILT LOAM WITH CLAY STONES
6' SILT LOAM WITH BOULDERS	6' SILT LOAM WITH CLAY STONES	6' SILT LOAM WITH CLAY STONES
7' SILT LOAM WITH BOULDERS	7' SILT LOAM WITH CLAY STONES	7' SILT LOAM WITH CLAY STONES
NO BR NO MOTTLING NO CW	NO BR NO MOTTLING NO CW	NO BR NO MOTTLING NO CW

**TABLE 2  
 REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS**

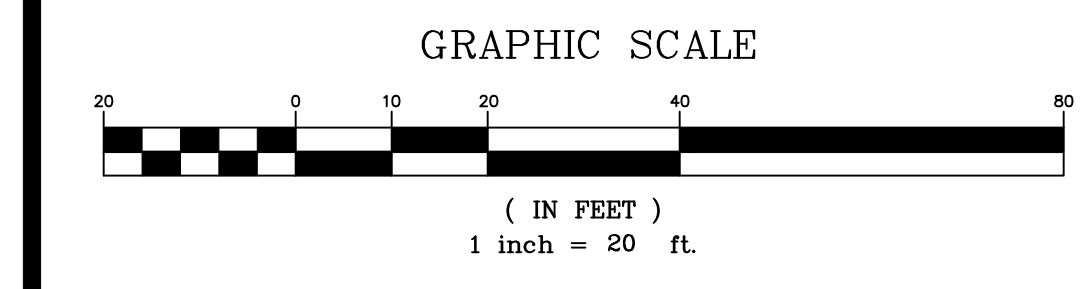
SYSTEM COMPONENTS	WELL OR SUCTION LINE (s)(g)	STREAM, LAKE, WATER COURSE(s), OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH OR RAIN GARDENS (d)
HOUSE SEWER (WATERTIGHT JOINTS)	25' IF CAST IRON OR 50' OTHERWISE	25'	3'	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX/DROP BOX	100'	100'	20'	10'	35'
ABSORPTION FIELD (c)(d)	100'(a)	100'	20'	10'	35'
SEEPAGE PIT (e)	150'(a)	100'	20'	10'	35'
INTERMITTENT SAND FILTER (d)	100'(a)(f)	100'	20'	10'	35'
RAISED OR MOUND SYSTEM (c)(d)	50'	25'	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50'	50'	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100'	50'	20'	10'	20'

- WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF THE SURFACE WATER DRAINAGE TO WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
- MEAN HIGH WATER MARK, WETLAND OR WATERCOURSE DETERMINATION SHOULD BE ADDRESSED WITH THE LHO OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYS/DC REGIONAL OFFICE.
- FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN SEC. 9.12.2 OF THE NEW YORK STATE RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK.
- SEPARATION DISTANCES SHALL BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA (I.E., RESERVE AREA), WHEN AVAILABLE.
- THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (E.G. PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE, OR RESIDENTIAL WELL WATER SERVICE LINE).
- WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.
- THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINATED SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
- RECOMMENDED: USE SITE EVALUATION TO AVOID OWT'S SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWT'S FUNCTIONALITY.

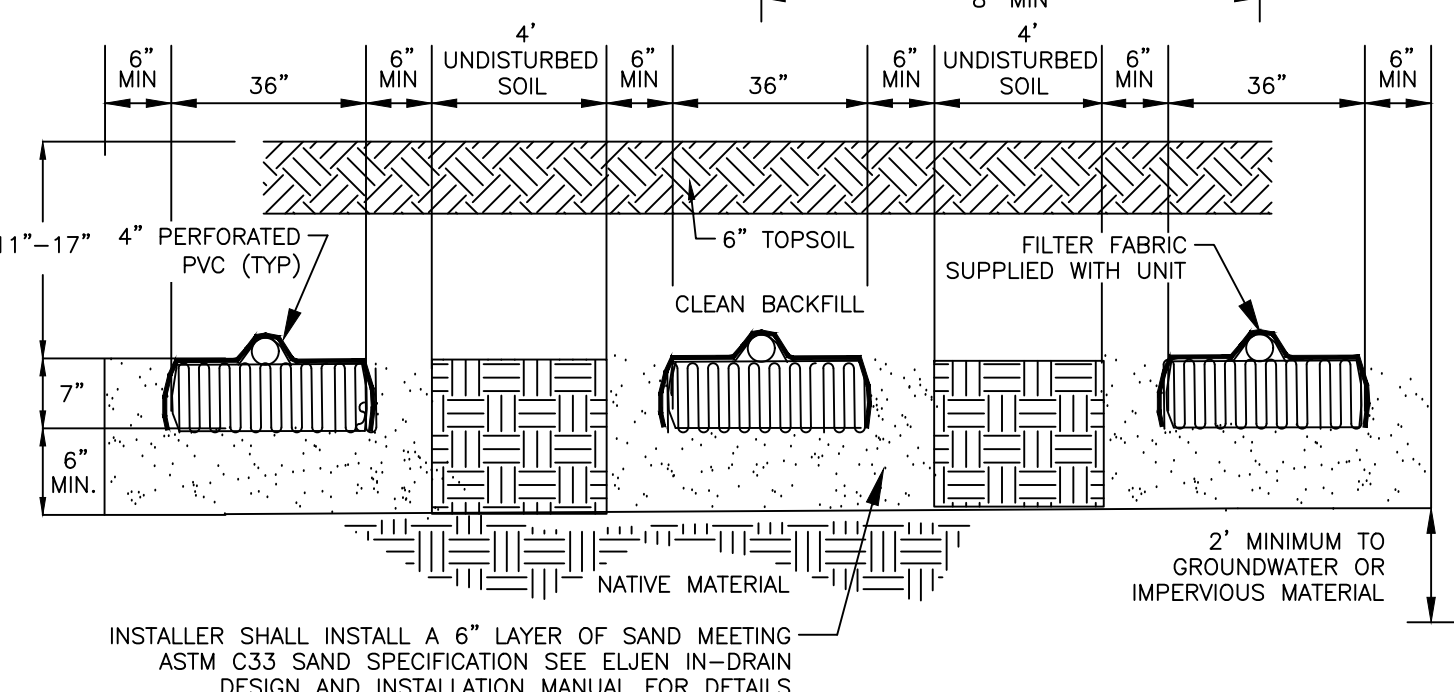
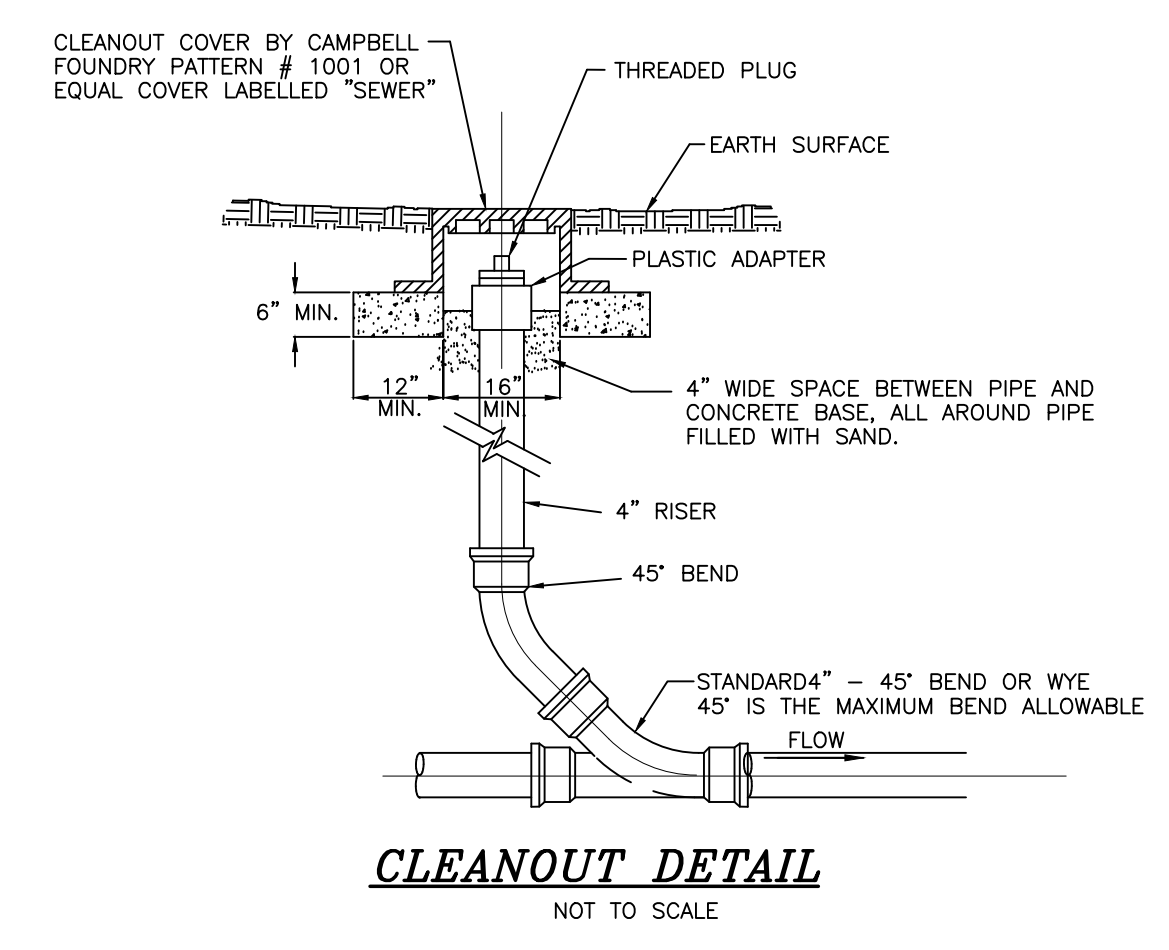
- ADDITIONAL ACCEPTED AS ORANGE COUNTY HEALTH DEPARTMENT POLICY AND STANDARD WITH THE FOLLOWING ADDITIONS:
- SEPARATION: WELL TO SWALE, STREAM, OR WATERCOURSE - 25 FEET
  - SEPARATION: ABSORPTION FIELD TO HIGH WATER LINE OF A WET POND - 100 FEET
  - SEPARATION: ABSORPTION FIELD TO INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN - 50 FEET
  - SEPARATION: ABSORPTION FIELD TO CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE) - 35 FEET
  - SEPARATION: ABSORPTION FIELD TO CURTAIN DRAIN - 15 FEET
  - SEPARATION: ABSORPTION FIELD, PITS, EXPANSION AREA TO TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE - 25 FEET
  - SEPARATION: ABSORPTION FIELD TO SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE EASEMENT - 10 FEET
  - SEPARATION: WELL TO CEMETERY PROPERTY LINE - 100 FEET
  - SEPARATION: WELL TO SUBDIVISION BOUNDARY - 50 FEET

**SEPTIC SYSTEM NOTES**

- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL AND SEWER SYSTEMS) SHALL NOT BE CHANGED WITHOUT REVIEW AND APPROVAL BY TOWN OF NEWBURGH.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
- THERE IS NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF ABSORPTION FIELD.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD EXCEPT DURING THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDESIRABLE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN IS BASED.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES WHICH MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THE PROPOSED SEWAGE DISPOSAL SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE GARAGE GRINDERS OR JAGUZZI TYPE SPA TUBS OVER 100 GALLONS, AS SUCH, THESE ITEMS SHALL NOT BE USED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- SEPTIC TANKS SHOULD BE INSPECTED ANNUALLY AND PUMPED EVERY 2 TO 3 YEARS.
- PUMP STATIONS/DOSING CHAMBERS SHOULD BE INSPECTED PERIODICALLY BY A PROPERLY TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING AND PHYSICAL DAMAGE.
- DISTRIBUTION BOXES/DROP BOXES SHOULD BE INSPECTED ANNUALLY TO ASSURE THAT IT IS LEVEL AND OPERATING PROPERLY.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN ONE YEAR OF AVAILABILITY.
- UDIG MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION (DIAL 811 OR WWW.UDIG.NY.ORG).
- A NYS LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.



- LEGEND**
- PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - PROPOSED BUILDING SETBACK
  - PROPOSED EDGE OF PAVEMENT/CURB
  - PROPOSED SIDEWALK
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SEWER
  - PROPOSED WATER



NOTES:

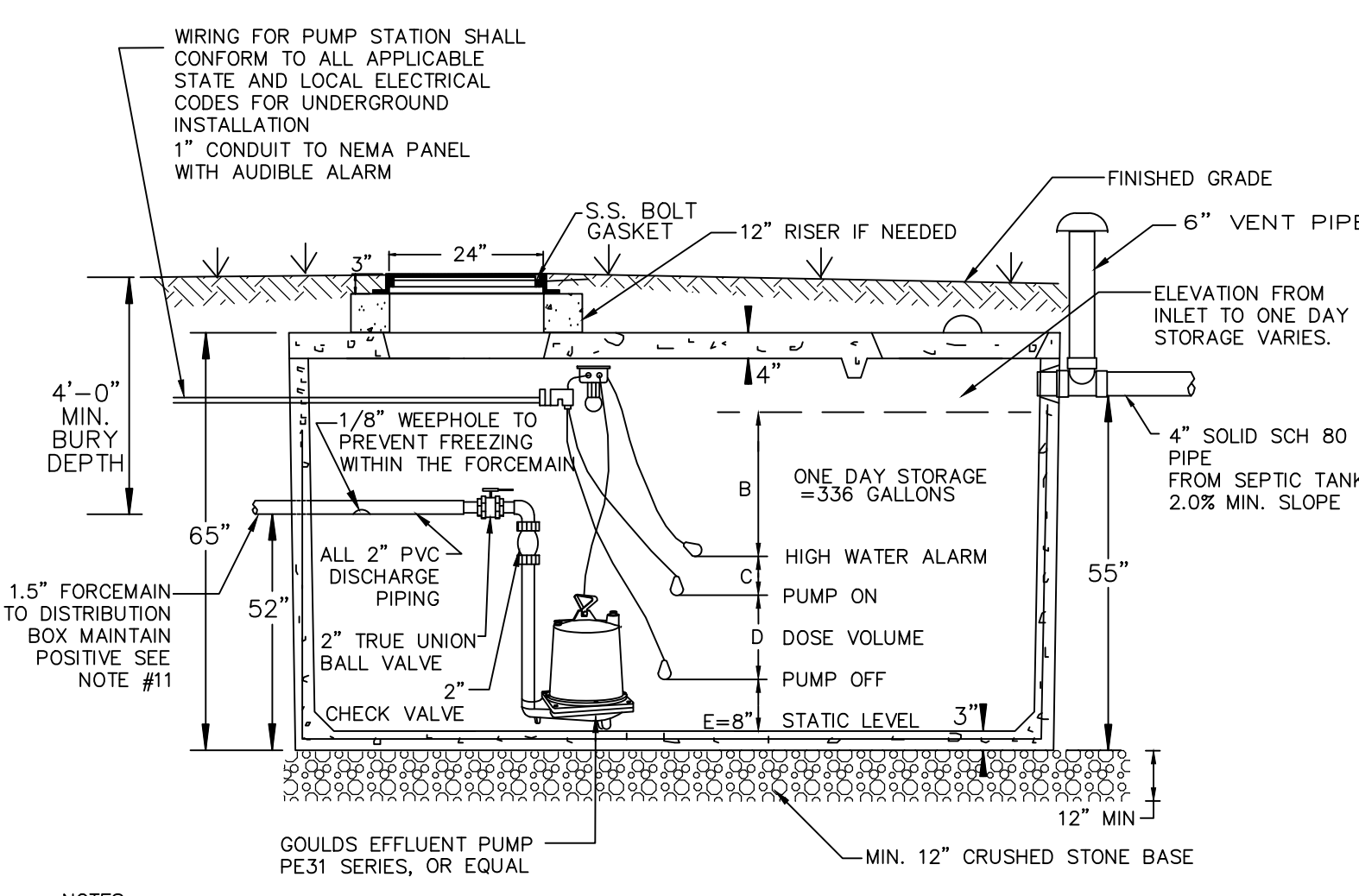
- DO NOT INSTALL TRENCHES IN WET SOIL.
- RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL/CONCRETE SAND.
- END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
- TRENCHES TO BE INSTALLED PARALLEL WITH EXISTING CONTOURS WITH SPACING OF ABSORPTION TRENCHES TO BE A MINIMUM OF 8 FEET ON CENTER WITH A MINIMUM OF 4 FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.
- ALL TRENCHES ARE TO HAVE IDENTICAL NUMBER OF ELJEN UNITS.
- NO SYSTEM IS TO BE CONSTRUCTED ON GROUND WITH A SLOPE IN EXCESS OF 15%.
- THE TRENCH BOTTOM SHALL BE FLAT. PERFORATED PIPE SLOPE SHALL BE 1/16" - 1/32" FOR GRAVITY FED SYSTEMS AND SET NEARLY LEVEL FOR DOSING SYSTEMS.
- ALL PIPE PERFORATIONS MUST FACE DOWN.
- THE BACKFILL IN THE TRENCHES MUST BE MOUND FOR SETTLING. BACKFILL SHALL BE NATIVE MATERIAL DEVOID OF LARGE ROCKS (GREATER THAN 4") OR DEBRIS.

ASTM C33 SAND SPECIFICATION

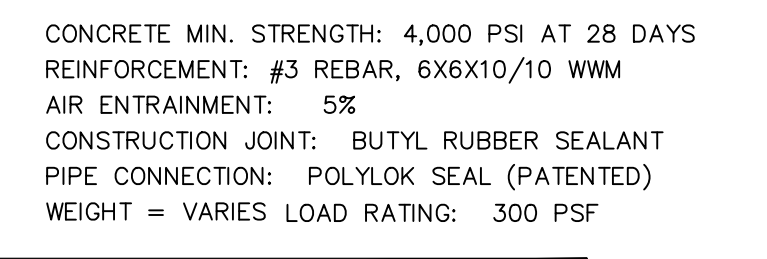
ASTM C33 SAND SPECIFICATION	SIEVE SIZE	SIEVE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIEVE)
3/8 INCH	9.5 mm	100.0 - 100.0	
#4	4.75 mm	95.0 - 100.0	
#8	2.36 mm	80.0 - 100.0	
#16	1.18 mm	50.0 - 85.0	
#30	600 μm	25.0 - 60.0	
#50	300 μm	5.0 - 30.0	
#100	150 μm	< 10.0	
#200	75 μm	< 5.0	

**GEOTEXTILE SAND FILTER NOTES**

- THIS DESIGN AND CONSTRUCTION REQUIREMENT COMPLIES WITH APPENDIX 75-A AND LOCAL HEALTH DEPARTMENT REGULATIONS.
- THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN NEW YORK DESIGN AND INSTALLATION MANUAL.
- THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE DISPOSAL.
- ORGANIC MATERIAL THAT CAN RESTRICT FLOW MUST BE REMOVED FOR RAISED BEDS. THE SOIL MUST BE SCARIFIED TO PROVIDE DEEP CHANNELS FOR THE SAND. A FLOWED INTERFACE ON CONTOUR IS RECOMMENDED TO PREPARE THE SOIL FOR FILL PLACEMENT.
- SCARIFY ANY SMEARED SUBSOIL PRIOR TO FILL PLACEMENT.
- FILL MATERIAL SHALL MEET OR EXCEED STATE OF NEW YORK CODE REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, HUMUS, AND DRESSING DIRECTLY BENEATH THE GSF SYSTEM.
- ASTM C33 SPECIFIED SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE SHALL BE PLACED BELOW AND AROUND THE GSF MODULES, WITH 6 INCHES MINIMUM UNDERNEATH AND 6 INCHES MINIMUM SURROUNDING THE GSF MODULES IN TRENCH CONFIGURATIONS. IN BED SYSTEMS, USE 6 INCHES MINIMUM UNDERNEATH THE MODULES WITH 12 INCHES MINIMUM BETWEEN MODULE ROWS AND 12 INCHES MINIMUM AROUND THE PERIMETER OF THE MODULES.
- ELJEN PROVIDED GEOTEXTILE COVER FABRIC SHALL PROVIDE PROPER TENSION AND ORIENTATION OF THE FABRIC AROUND THE SIDES OF THE PERFORATED PIPE ON TOP OF THE GSF MODULES. FABRIC SHOULD BE NEITHER TOO LOOSE NOR TOO TIGHT. THE CORRECT TENSION OF THE COVER FABRIC IS SET BY:
  - SPREADING THE COVER FABRIC OVER THE TOP OF THE MODULE AND DOWN BOTH SIDES OF THE MODULE WITH THE COVER FABRIC TIGHT OVER THE TOP OF THE PERFORATED DISTRIBUTION PIPE.
  - PLACE SHOVEL FULLS OF SPECIFIED SAND DIRECTLY OVER THE PIPE AREA ALLOWING THE COVER FABRIC TO FORM A MOSTLY VERTICAL ORIENTATION ALONG THE SIDES OF THE PIPE. REPEAT THIS STEP MOVING DOWN THE PIPE.
- BACKFILL MATERIAL SHALL BE CLEAN WITH NO ROOTS OR STONES LARGER THAN 2 INCHES IN ANY DIMENSION TO A MINIMUM DEPTH OF 8 INCHES OVER THE GSF MODULES AND FINAL COVER FOR VEGETATION OF 4 INCHES TO 6 INCHES OF CLEAN LOAM.
- ANY SYSTEM WHICH IS MORE THAN 18 INCHES BELOW FINISH GRADE AS MEASURED FROM THE TOP OF THE MODULE SHALL BE VENTED.



- NOTES:
- CONCRETE PRECAST PUMP CHAMBER BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
  - PRECAST CHAMBER TO MEET H-20 LOADING SPECIFICATIONS.
  - CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SF11 NEMA 1 ENCLOSURE OR EQUAL.
  - ELECTRICAL EQUIPMENT IN WELLS OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SERVAE WET WELLS OF ANY NEE RATING.
  - ALL JOINTS SHALL BE CAULKED.
  - AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
  - THE REQUIRED DOSE VOLUME = SEE PUMP CHAMBER DESIGN CHART.
  - STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
  - ALL COVERS SHALL BE LOCKABLE AND WATERTIGHT.
  - ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION CONSTRUCTION.
  - THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.



PUMP CHAMBER ITEM	DEPTH OF PUMP FLOAT (IN INCHES)
ONE DAY STORAGE	B=30" MIN.
HIGH WATER ALARM	C=3"
PUMP ON	D=5"
PUMP OFF	E=8"
DOSE VOLUME	153 GAL



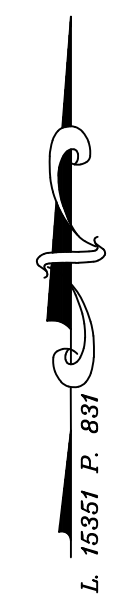
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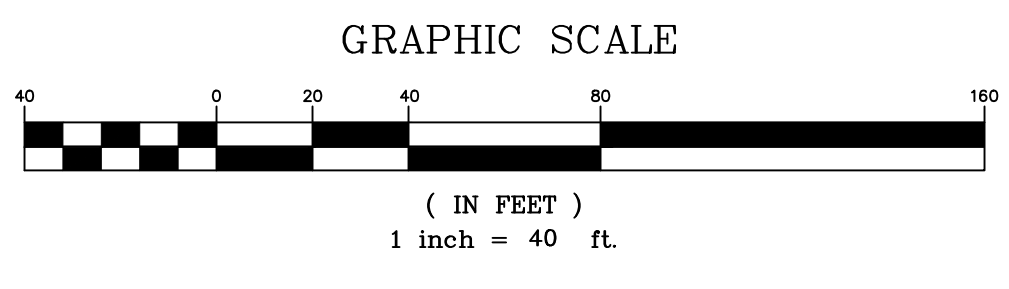
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<b>TOWN OF NEWBURGH          SITE PLAN APPROVAL:</b>		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
		APRIL 24, 2024 Date OCTOBER 27, 2024 Revision
<b>SEWAGE DISPOSAL SYSTEM PLAN AND          DETAILS PREPARED FOR</b>		
<b>NEWBURGH ELITE          STORAGE</b>		
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JG	Checked By:	Scale: 1" = 20' Tax Map No: 34 - 2 - 34 Drawing No: A-24-0059-01





IRON ANVIL, LLC  
L. 14391 P. 139  
34-2-37

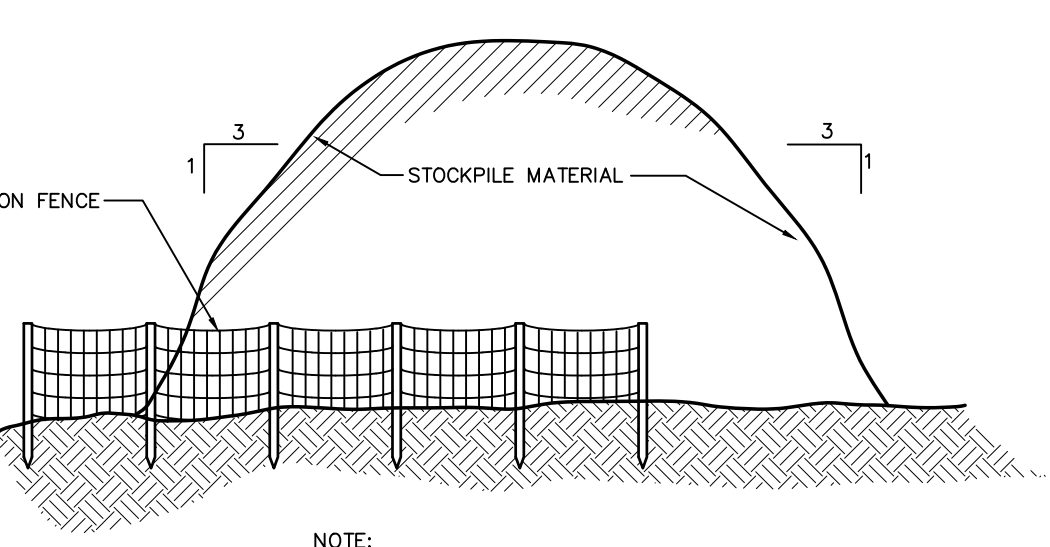


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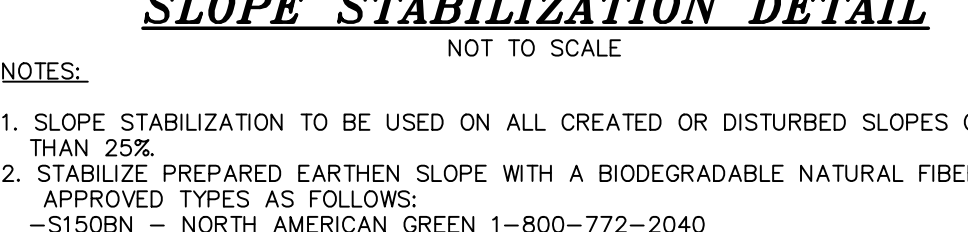
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### SOIL RESTORATION REQUIREMENTS

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".



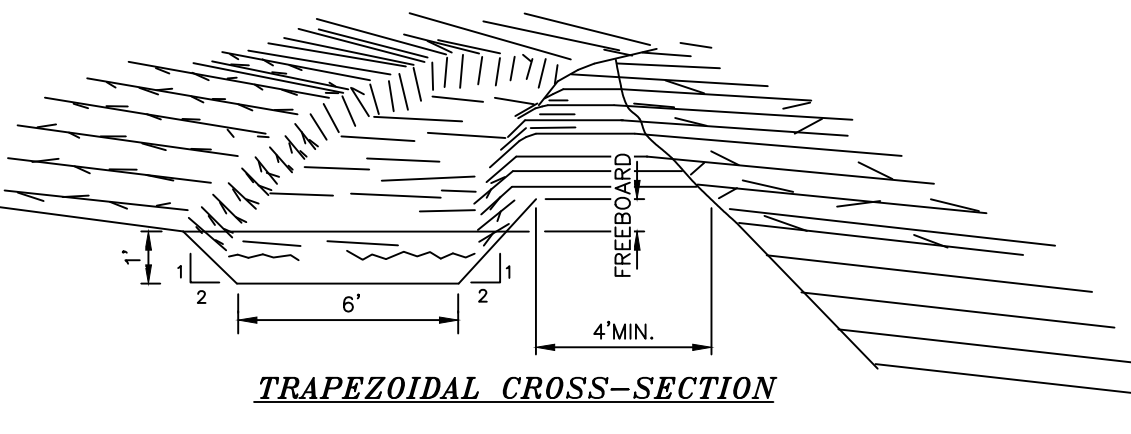
### SLOPE STABILIZATION DETAIL



- NOTES:
- SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 2:1.
  - STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
    - SISOBN - NORTH AMERICAN GREEN 1-800-772-2040
    - ECS-28 - EAST COAST EROSION BLANKET 1-800-582-4005
    - APPROVED EQUAL.
  - ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
  - PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
  - AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLOTS CUT IN FABRIC.

### EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE CREATED UTILIZING EARTHEN BERMS, ROP-RAP OR CRUSHED STONE DAMS, HAY BALS, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
  - A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
  - B. SEED WITH - SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
  - FALL/WINTER - ARROSTOOK WINTER RYE AT 100 LBS PER ACRE
  - C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
  - D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
  - A. LIME TOPSOIL TO pH 6.0.
  - B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
  - C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
  - D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

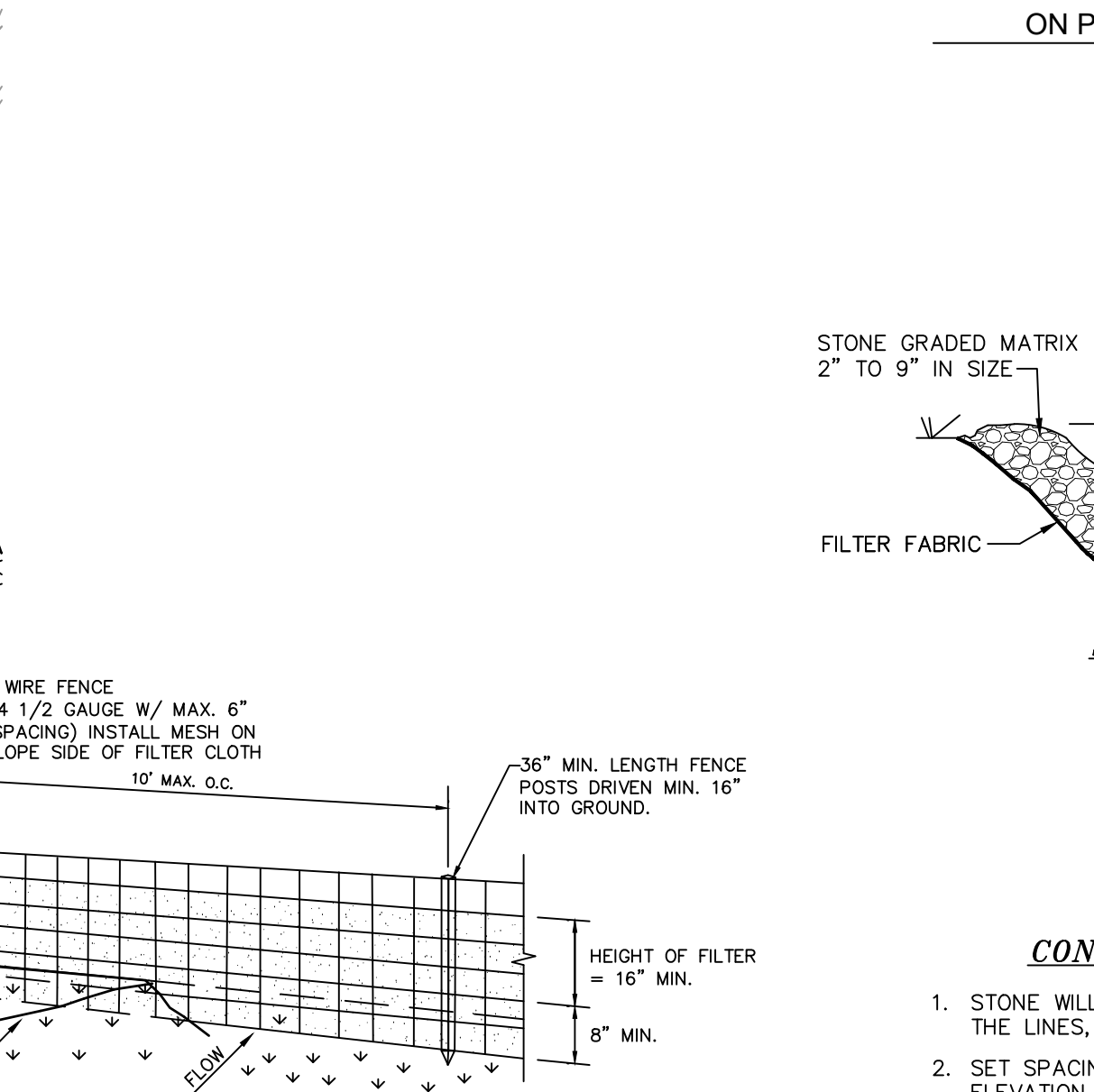


### CONSTRUCTION SPECIFICATIONS

- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
- THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPERE NORMAL FLOW.
- FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
- STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
  - A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOIL, WITH SEEDING PROTECTED BY JUTE OR EXCELISOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

### TEMPORARY DIVERSION SWALE

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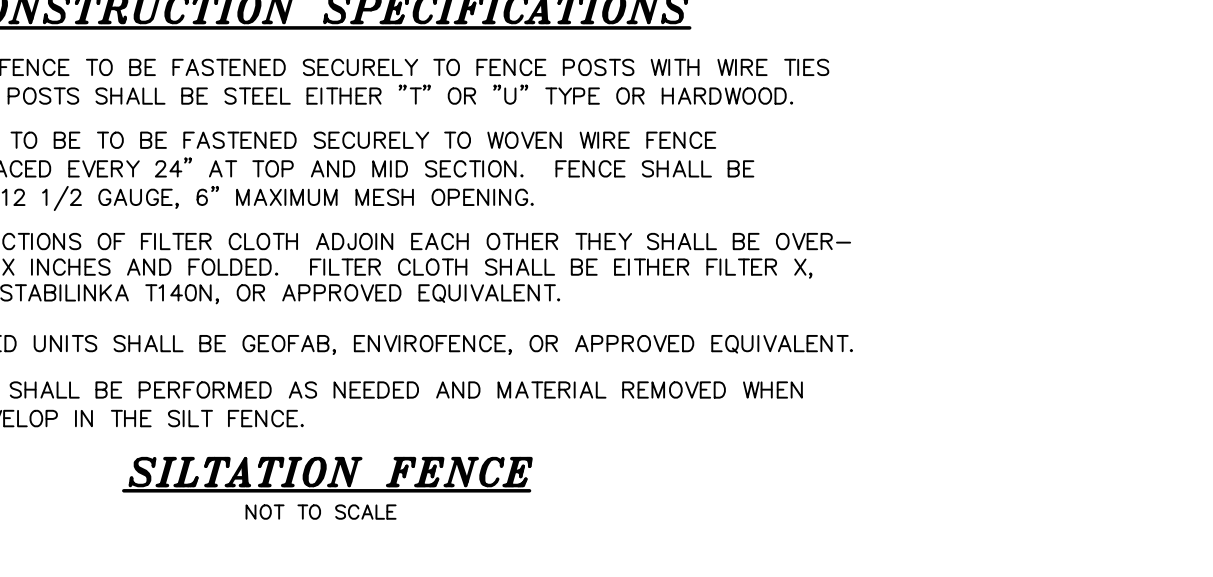


### CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT THE CHANNEL APERTURES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

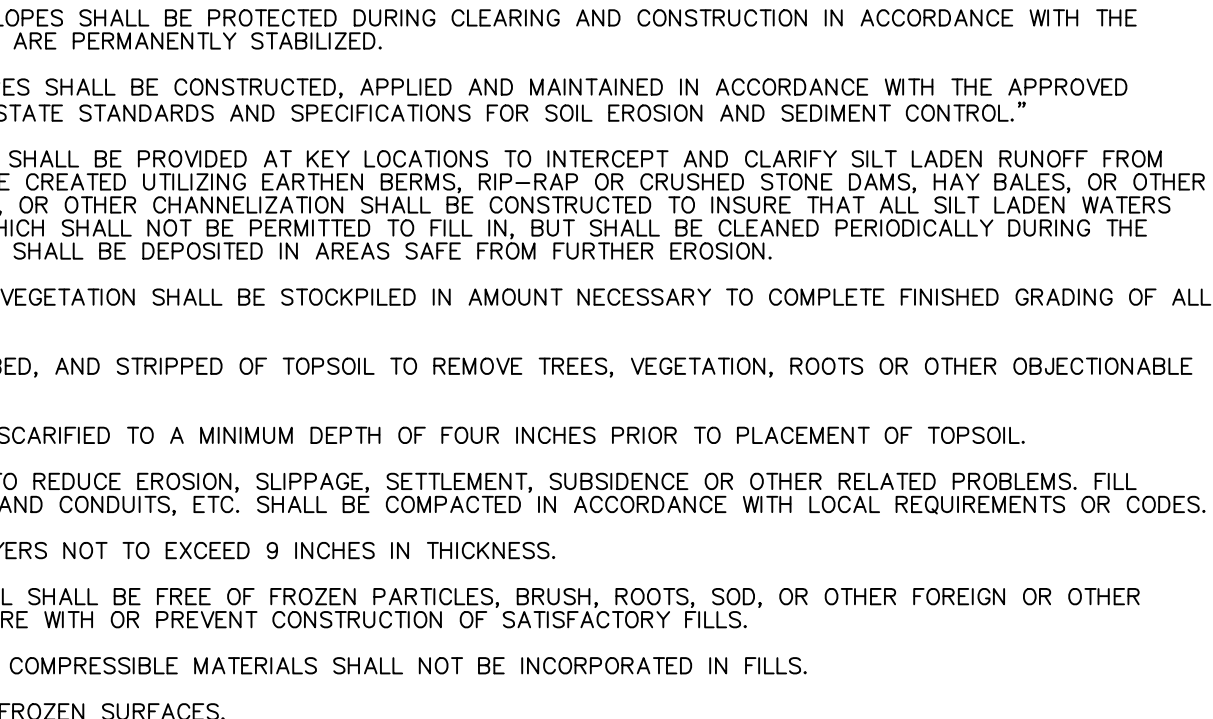
### CHECK DAM DETAIL

NOT TO SCALE  
FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"



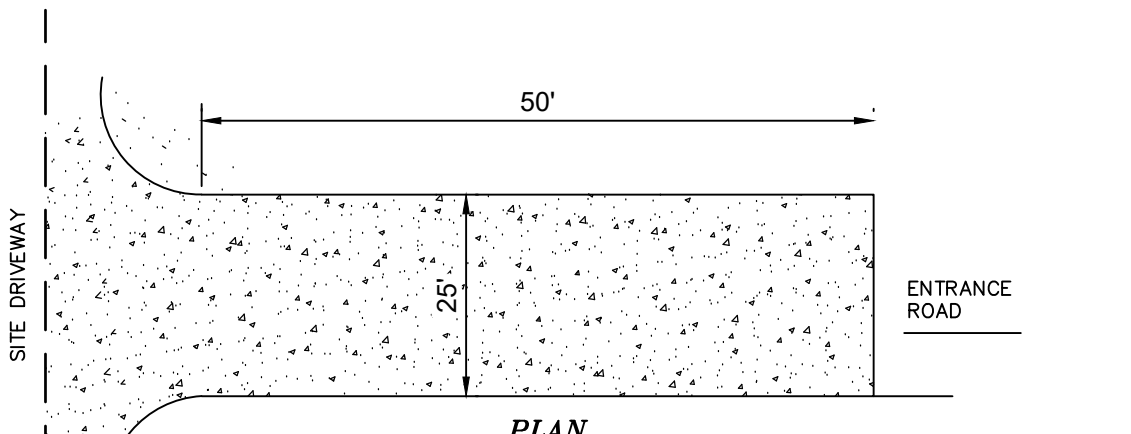
### SILTATION FENCE

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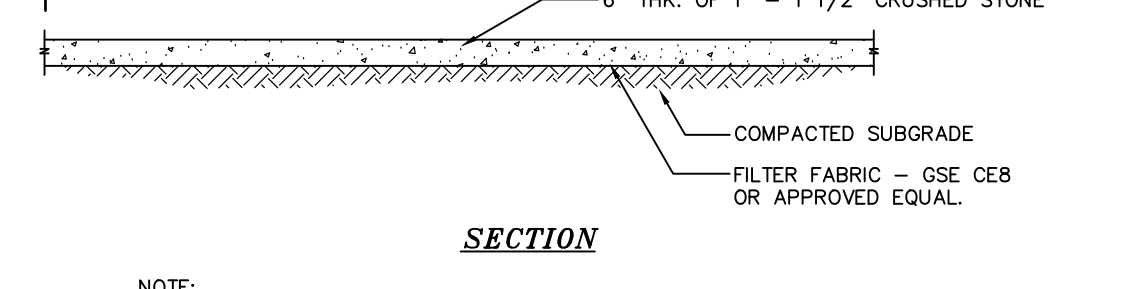


### CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA 1100X, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE, OR APPROVED EQUIVALENT.



### SECTION



NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

### STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 4" DEPTH OF 1 1/2" CRUSHED STONE. WILL BE AT LEAST 24" X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

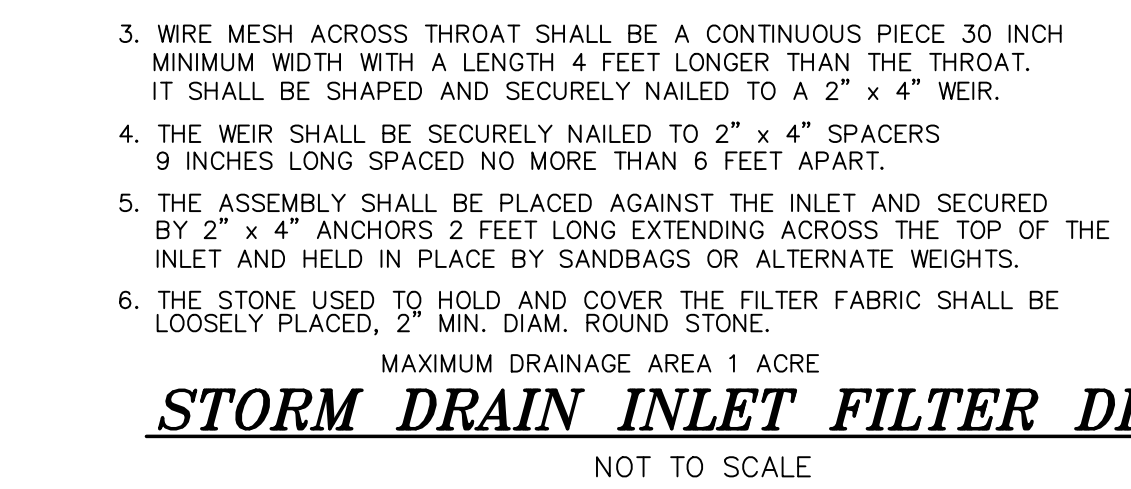
ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.

### CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
- THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

### STORM DRAIN INLET FILTER DETAIL

NOT TO SCALE

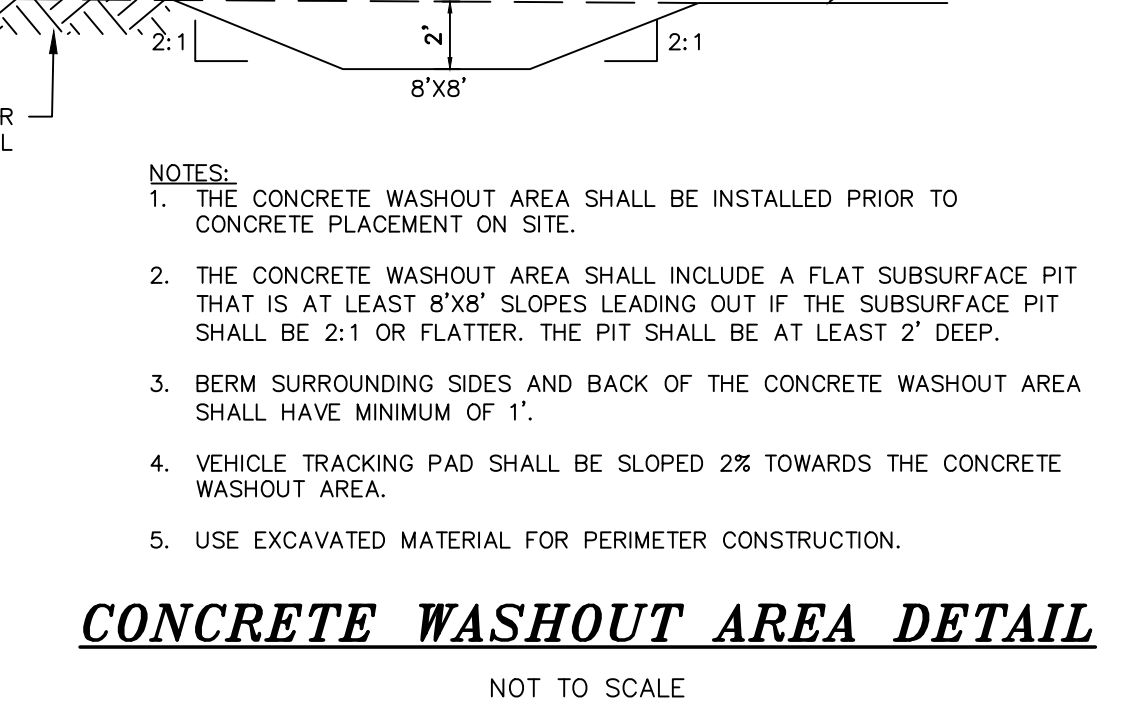


### CONSTRUCTION SPECIFICATIONS

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

### CONCRETE WASHOUT AREA DETAIL

NOT TO SCALE



### CONSTRUCTION SPECIFICATIONS

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
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TOWN OF NEWBURGH  
SITE PLAN APPROVAL

**LANC & TULLY**  
Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

DATE: APRIL 24, 2024  
REVISION: OCTOBER 27, 2024

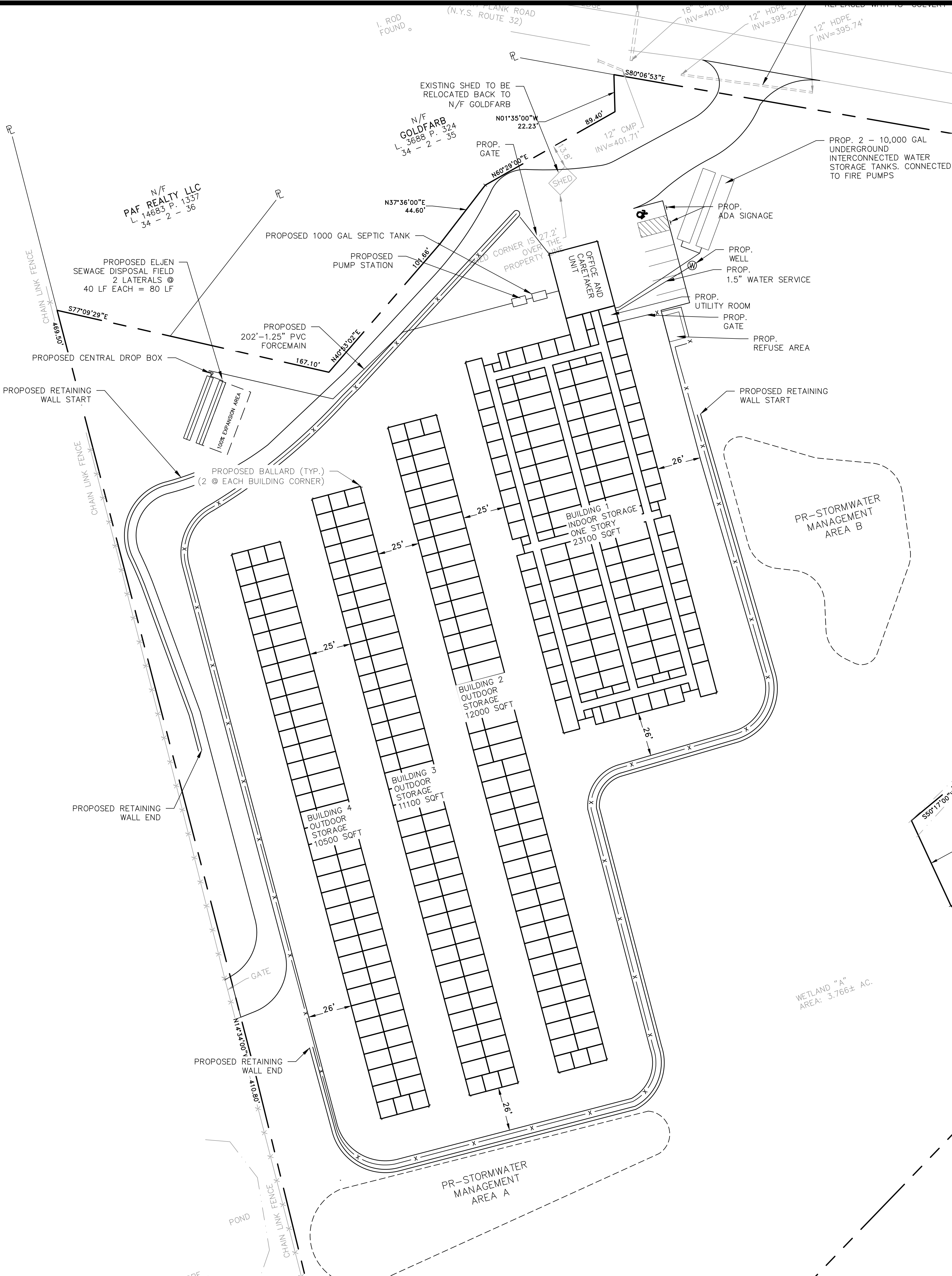
**NEWBURGH ELITE STORAGE**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

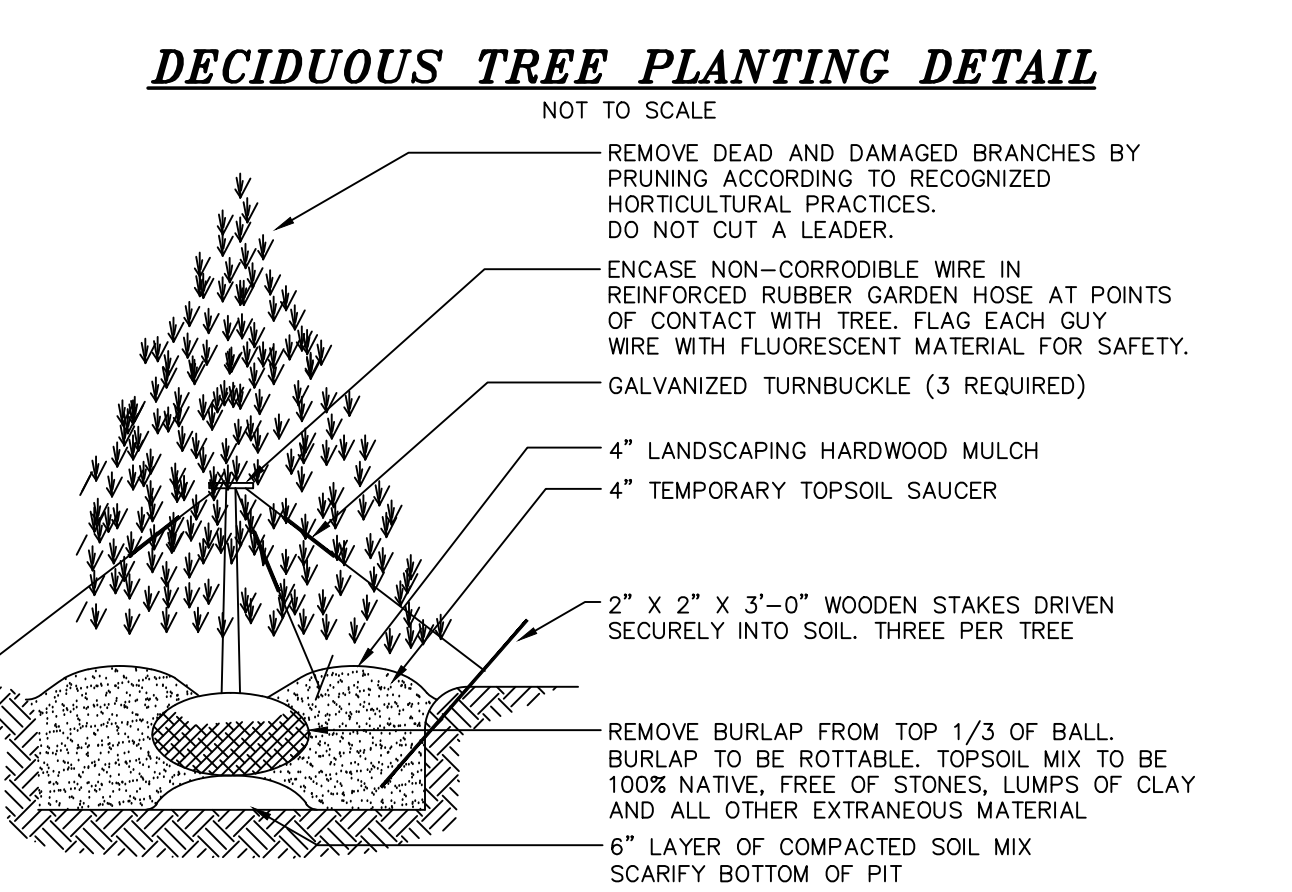
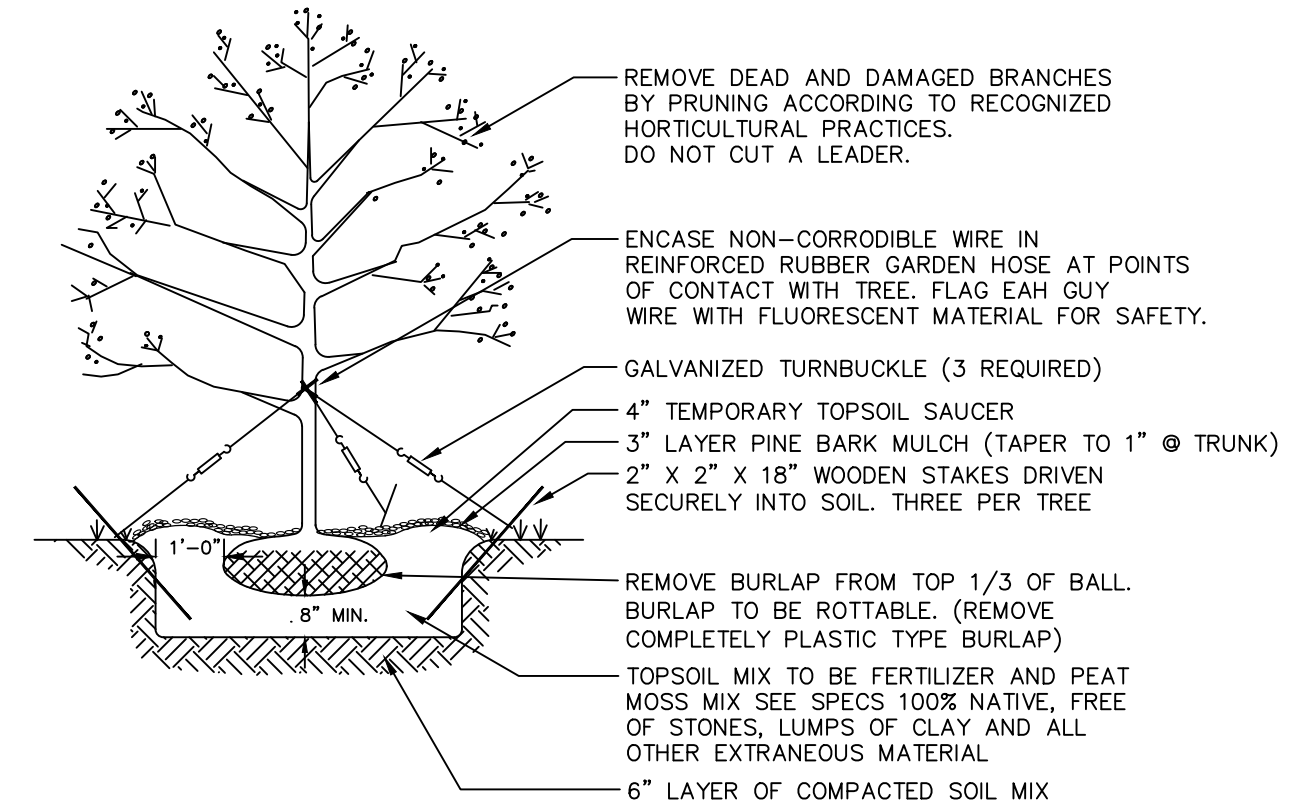
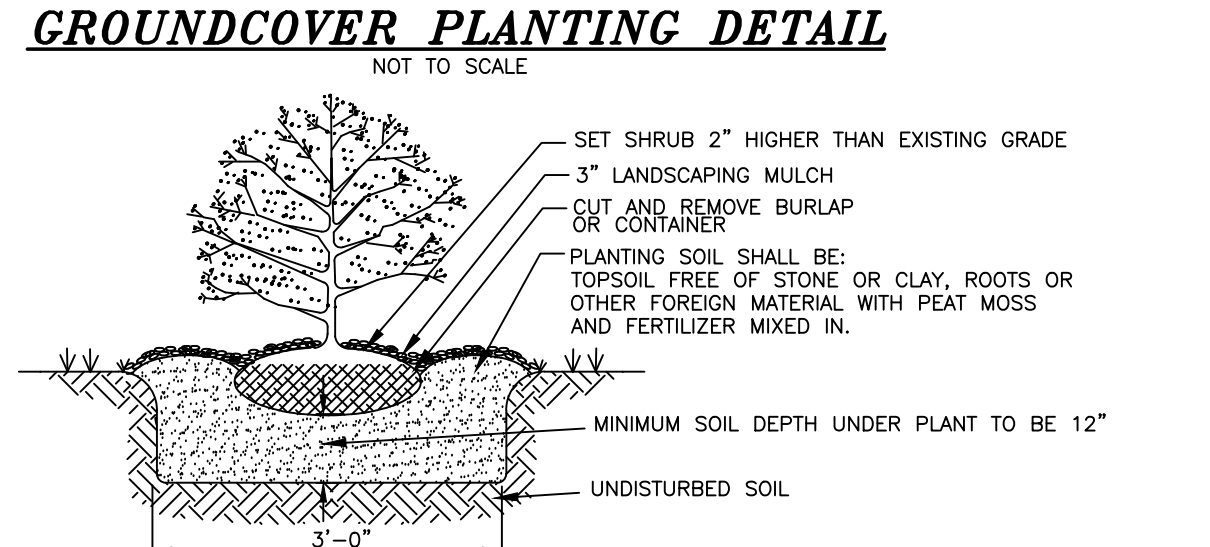
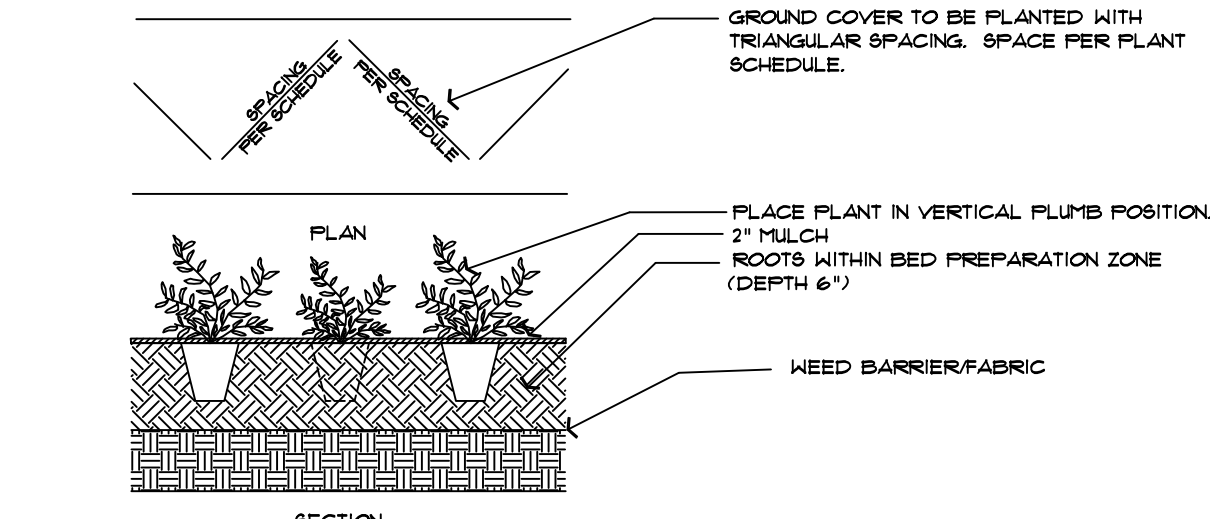
Drawn By: JG | Checked By: | Scale: 1" = 40' | Tax Map No.: 34-2-2-34 | Drawing No.: C30  
A-24-0059-01

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- NOTES:**
- ALL DISTURBED AREAS TO BE TOPSOILED TO A DEPTH OF 6" AND SEEDED.
  - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
  - ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
  - A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
  - UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



**LANDSCAPING SEEDING SCHEDULE**

**TEMPORARY SEEDING DISTURBED AREAS**

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

**PERMANENT LAWN SEEDING RATES**

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST S311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

**PERIMETER SEEDING**

A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 153-1 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT. THIS SHALL BE APPLIED TO THE SOUTHERN PORTION OF THE SITE BEHIND THE RETAINING WALL.

**PLANTING SCHEDULE**

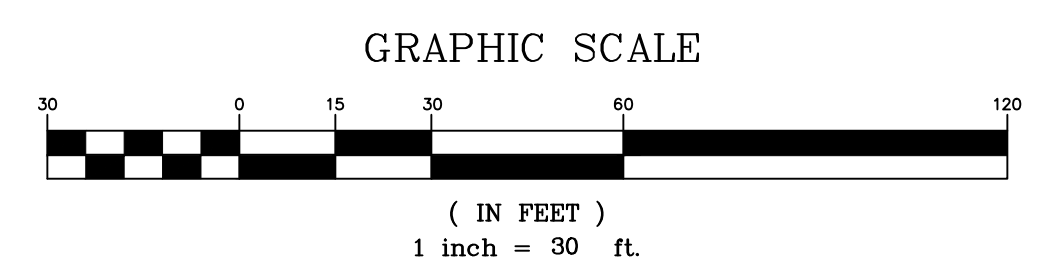
	SPRING PLANTING	FALL PLANTING
TREES AND SHRUBS:		
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

**GENERAL LANDSCAPING NOTES:**

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
- ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 6" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 24" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.
- MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3" DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.

**SOIL NOTES:**

- THERE MUST BE A MINIMUM OF 6" TOPSOIL COMPOST MIX IN LAWN AREAS AND A MINIMUM OF 24" IN AREAS WITH SHRUBS, TREES AND GROUNDCOVERS. SCARIFY OR DIG ALL PROPOSED PLANTING AREAS TO A DEPTH OF 12"-24" OR AS DETERMINED BY LANDSCAPE ARCHITECT.
- TOPSOIL-COMPOST MIX SHALL CONSIST OF 85%-90% STOCKPILED TOPSOIL (IF AVAILABLE) AND 10%-15% WELL-ROTTED COMPOST.
- TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. REASONABLY FREE FROM STONES, LUMPS, ROOTS AND OTHER FOREIGN MATTER, WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7.5 pH.
- IF STOCKPILED TOPSOIL IS NOT AVAILABLE, USE PURCHASED TOPSOIL IN SUFFICIENT QUANTITY TO COMPLETE THE REQUIREMENTS AS SPECIFIED.
- SITE SOIL SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTIONS: LESS THAN OR EQUAL TO 15% OF GRAVEL (PARTICLE SIZE GREATER THAN 2.00mm), 40%-60% OF SAND (0.05-2mm), 30%-40% OF SILT (0.002-0.05mm), AND 10%-20% CLAY (<0.002mm) AND 10%-15% WELL-ROTTED COMPOST WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7.0 pH. PERCENTAGES ARE BY WEIGHT.
- TOPSOIL AND PURCHASED SOIL SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.



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TOWN OF NEWBURGH  
SITE PLAN APPROVAL:

**LANC & TULLY**  
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P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

Date: APRIL 24, 2024  
Revision: OCTOBER 27, 2024

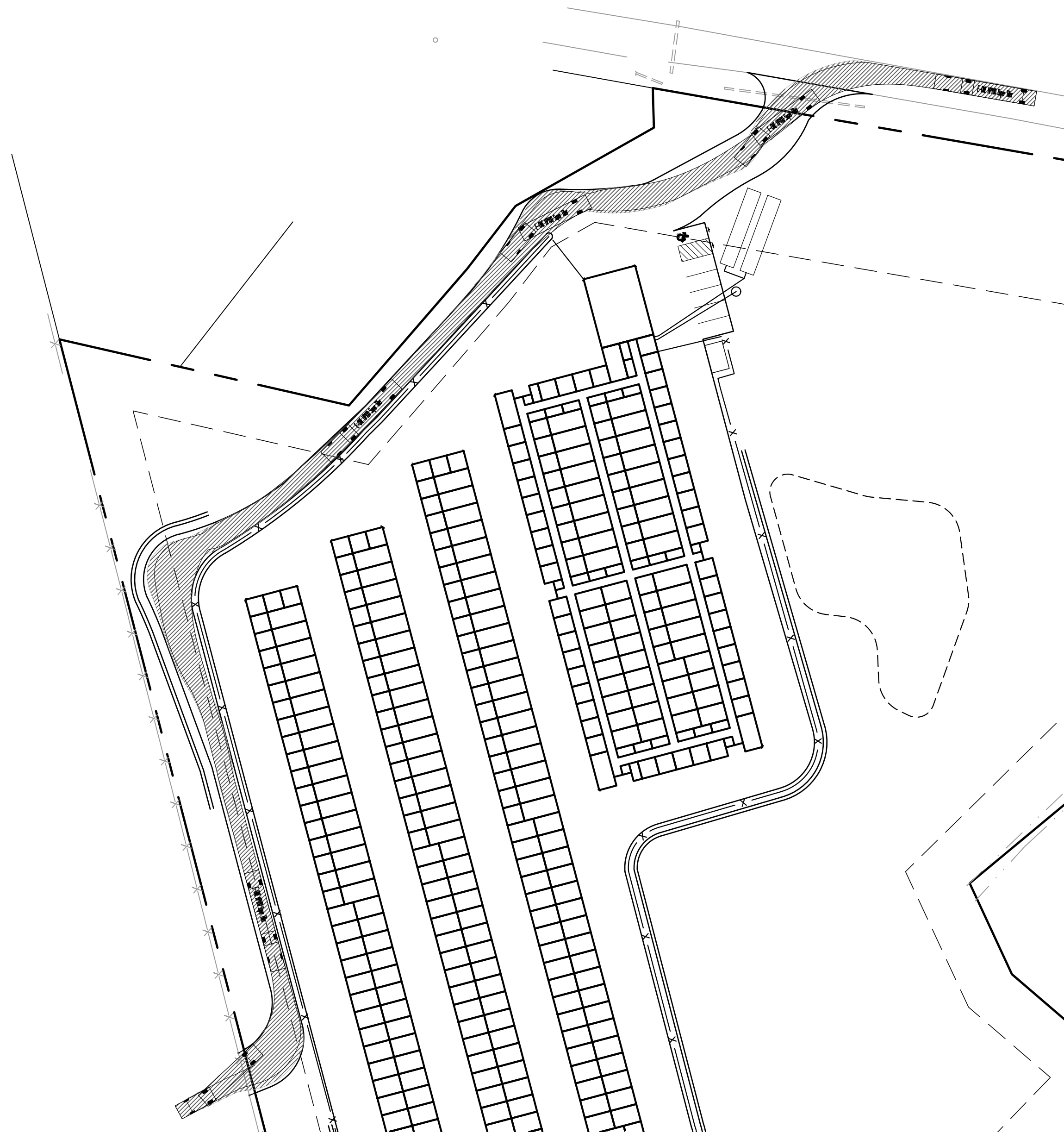
LANDSCAPING PLAN AND DETAILS  
PREPARED FOR

**NEWBURGH ELITE STORAGE**

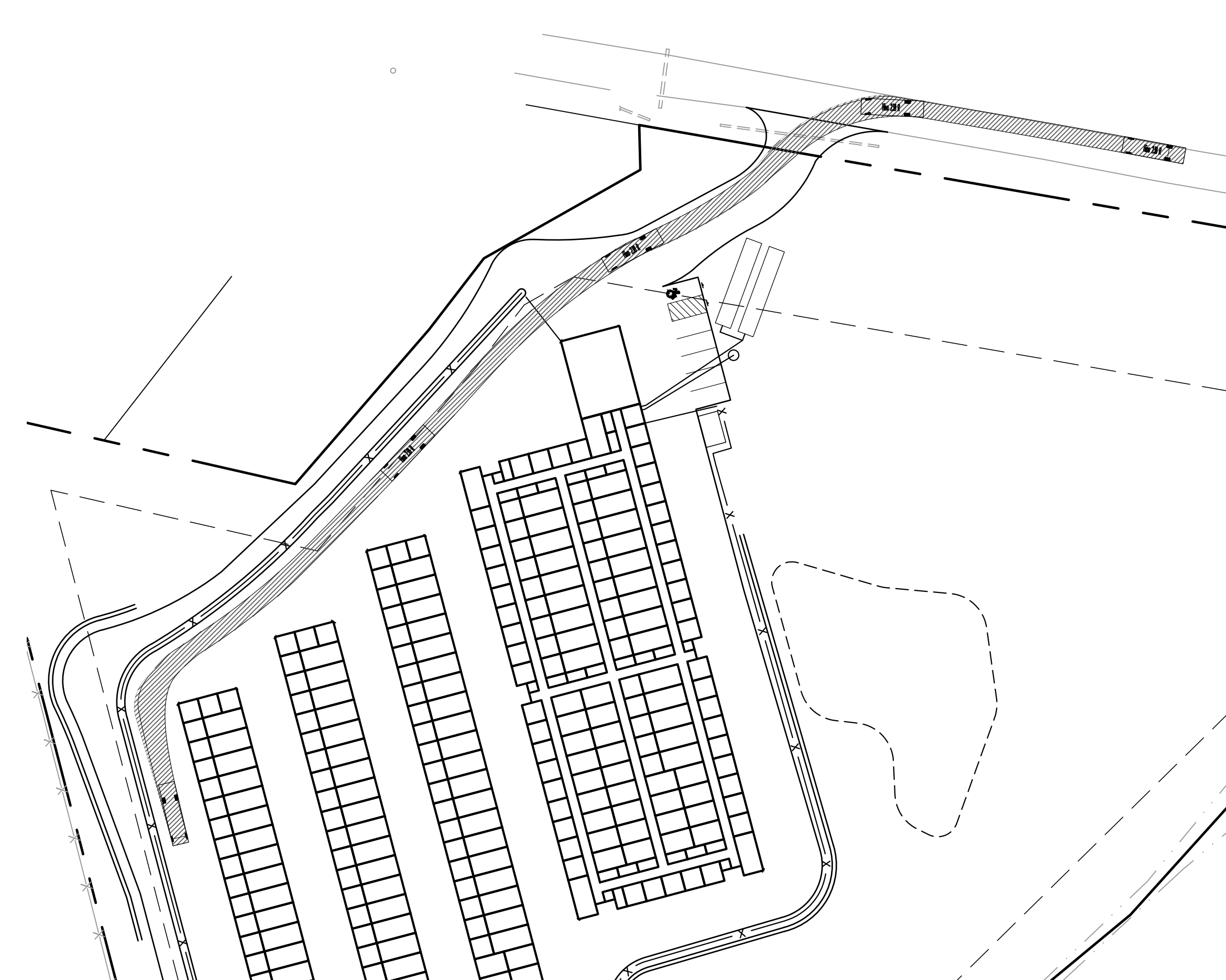
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JG Checked By: Scale: 1" = 30' Tax Map No.: 34-2-34 Drawing No.: A-24-0059-01

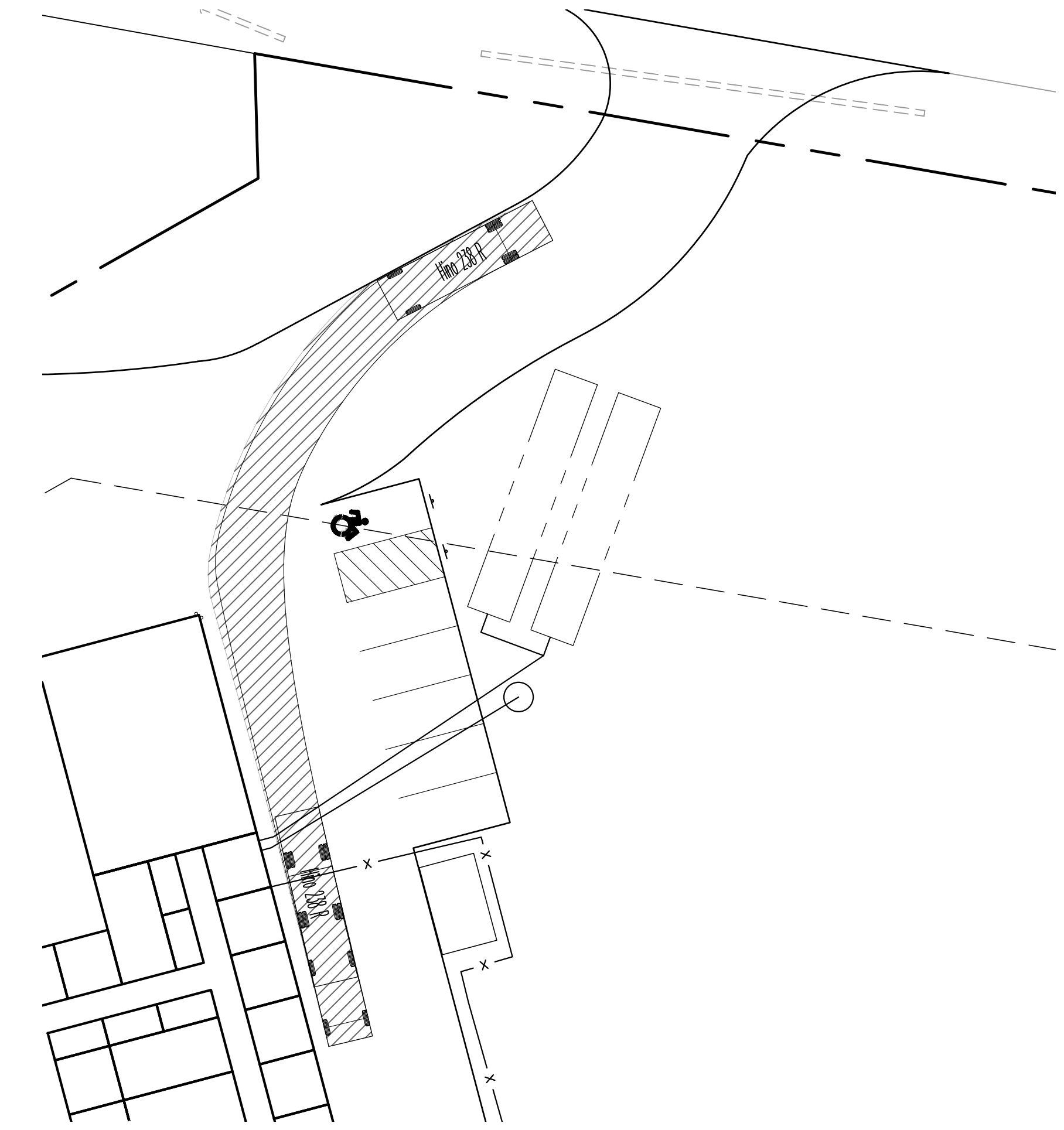




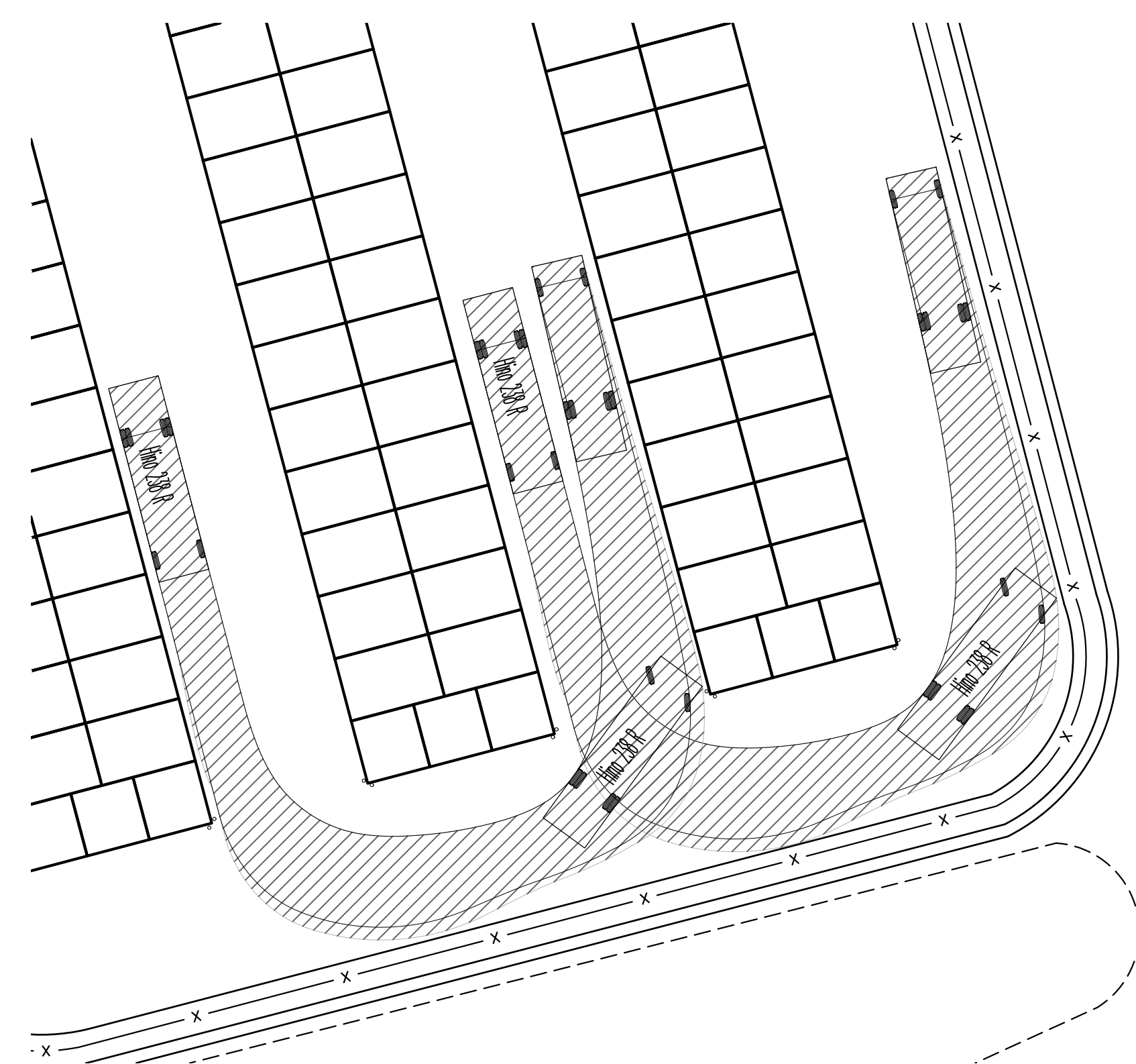
SITE BYPASS DRIVEWAY TO CONNECTED LOT



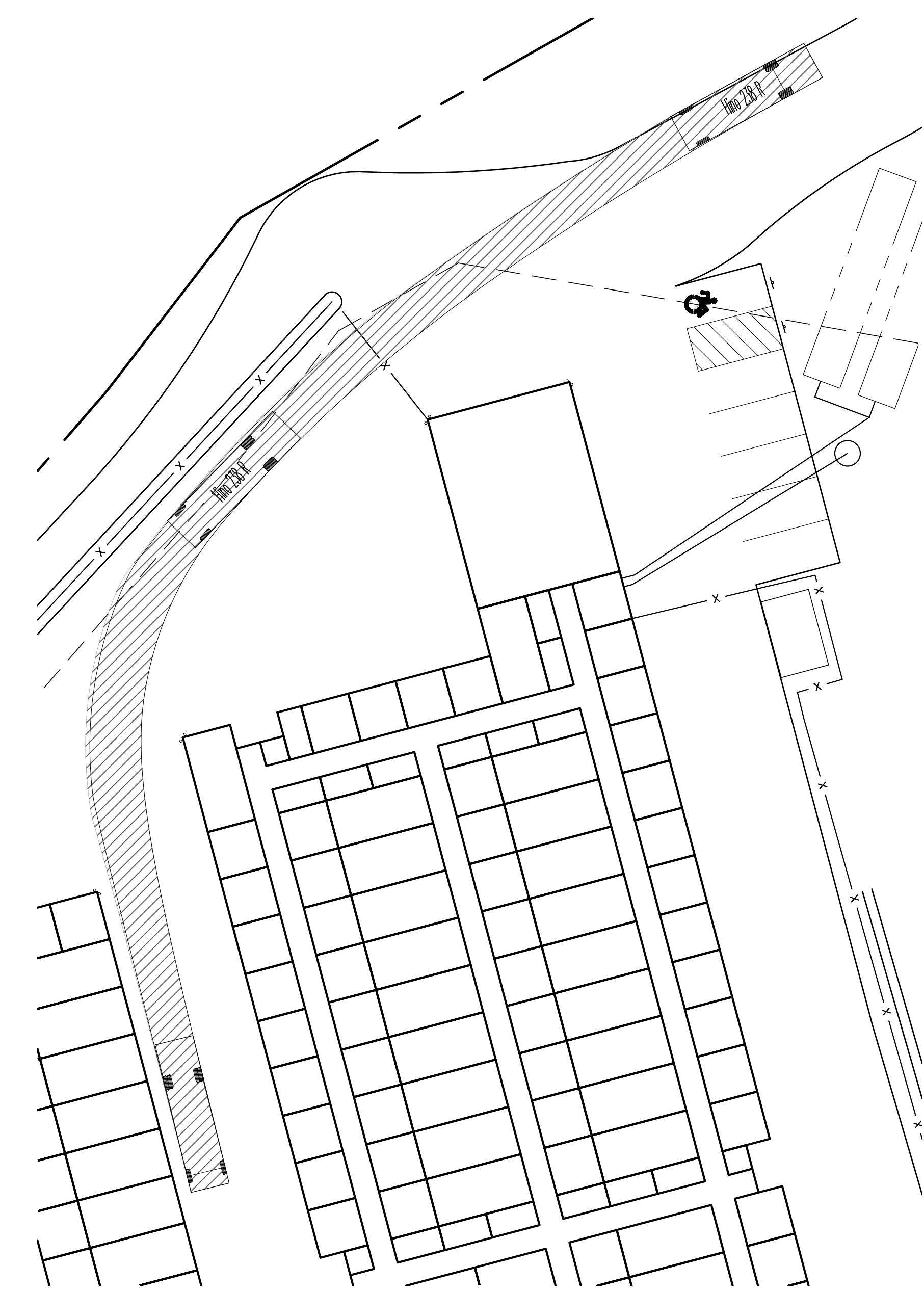
BOX TRUCK ENTRANCE TO REAR STORAGE



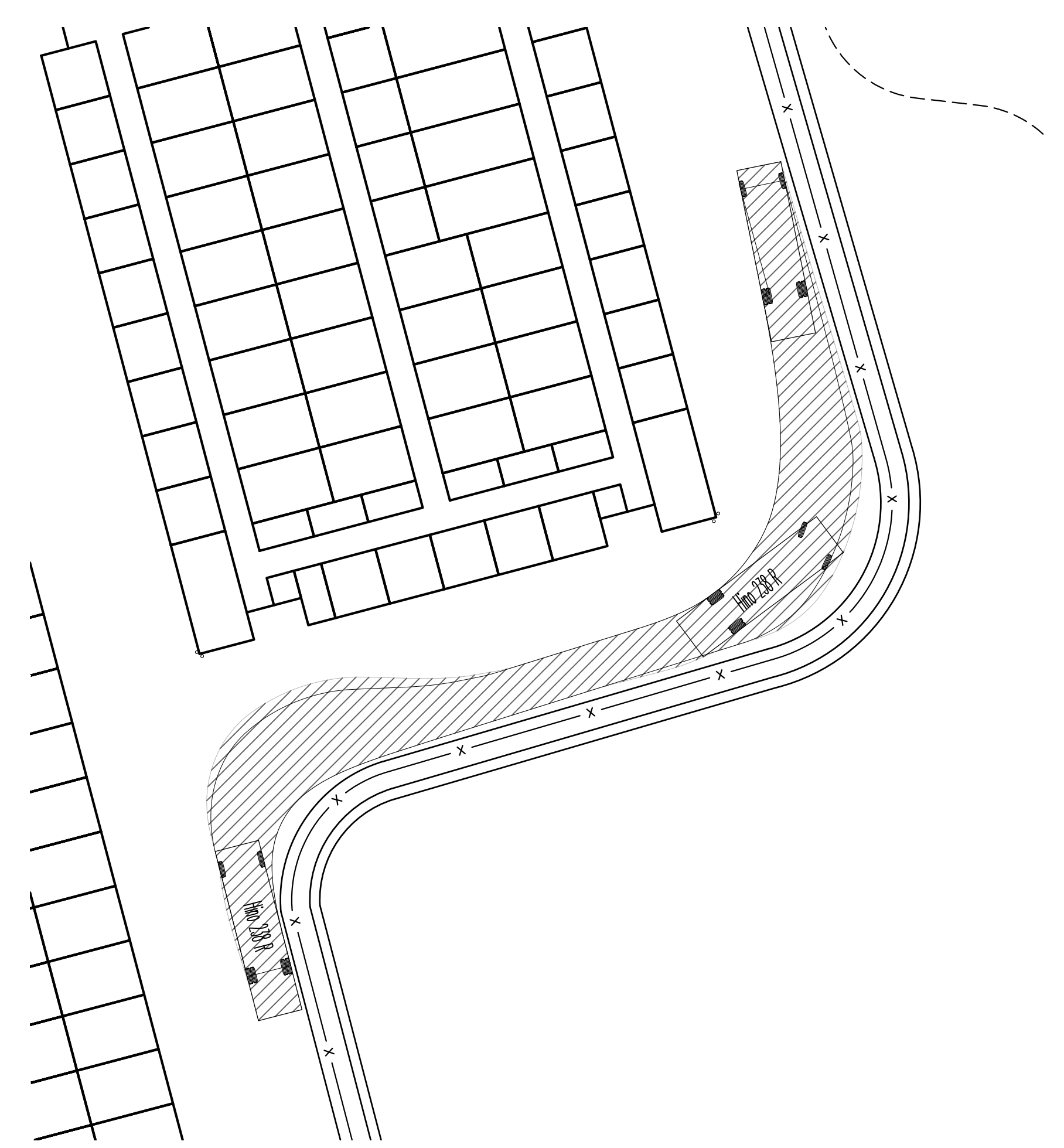
BOX TRUCK ENTRANCE FRONT STORAGE



BOX TRUCK U-TURN BETWEEN STORAGE BUILDINGS



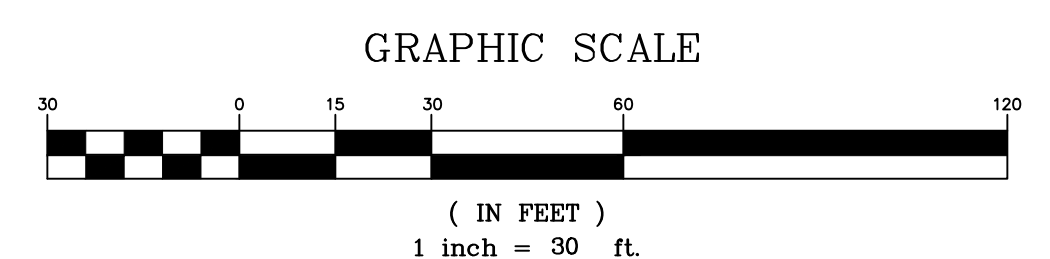
BOX TRUCK ENTRANCE MIDDLE STORAGE



BOX TRUCK "S" TURNING TO MIDDLE STORAGE



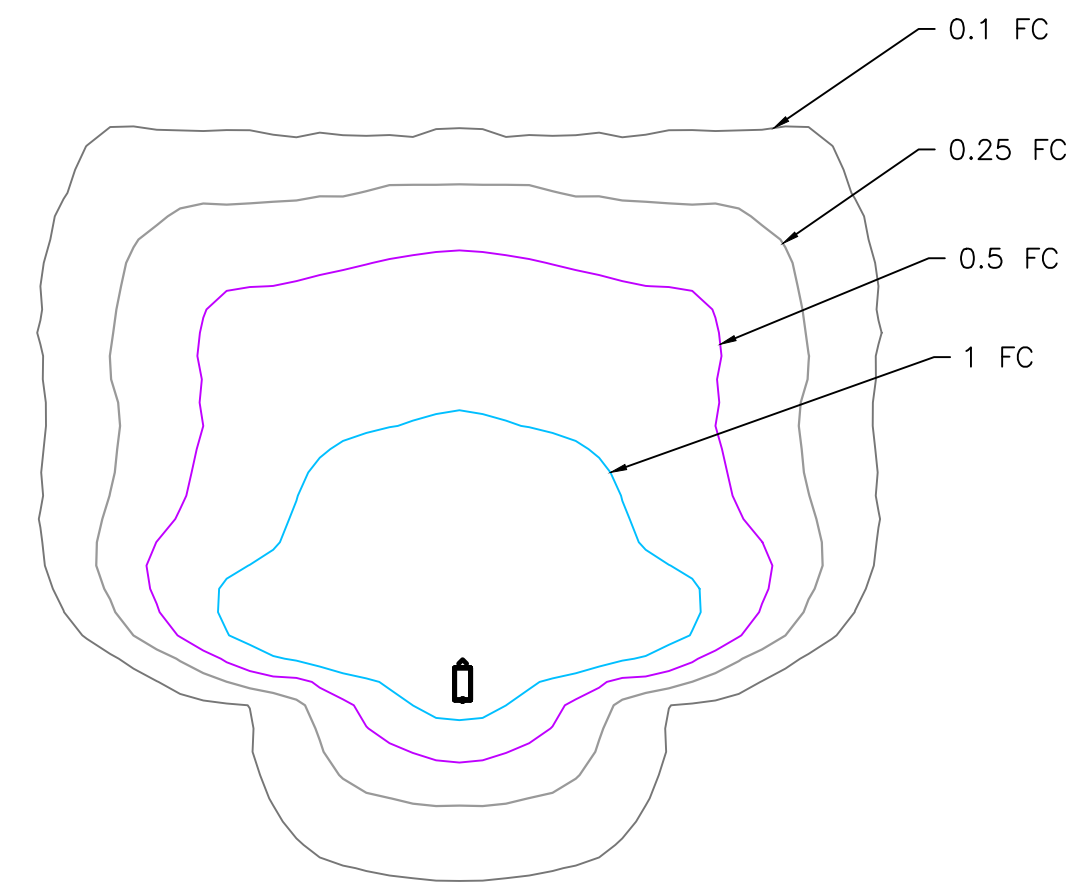
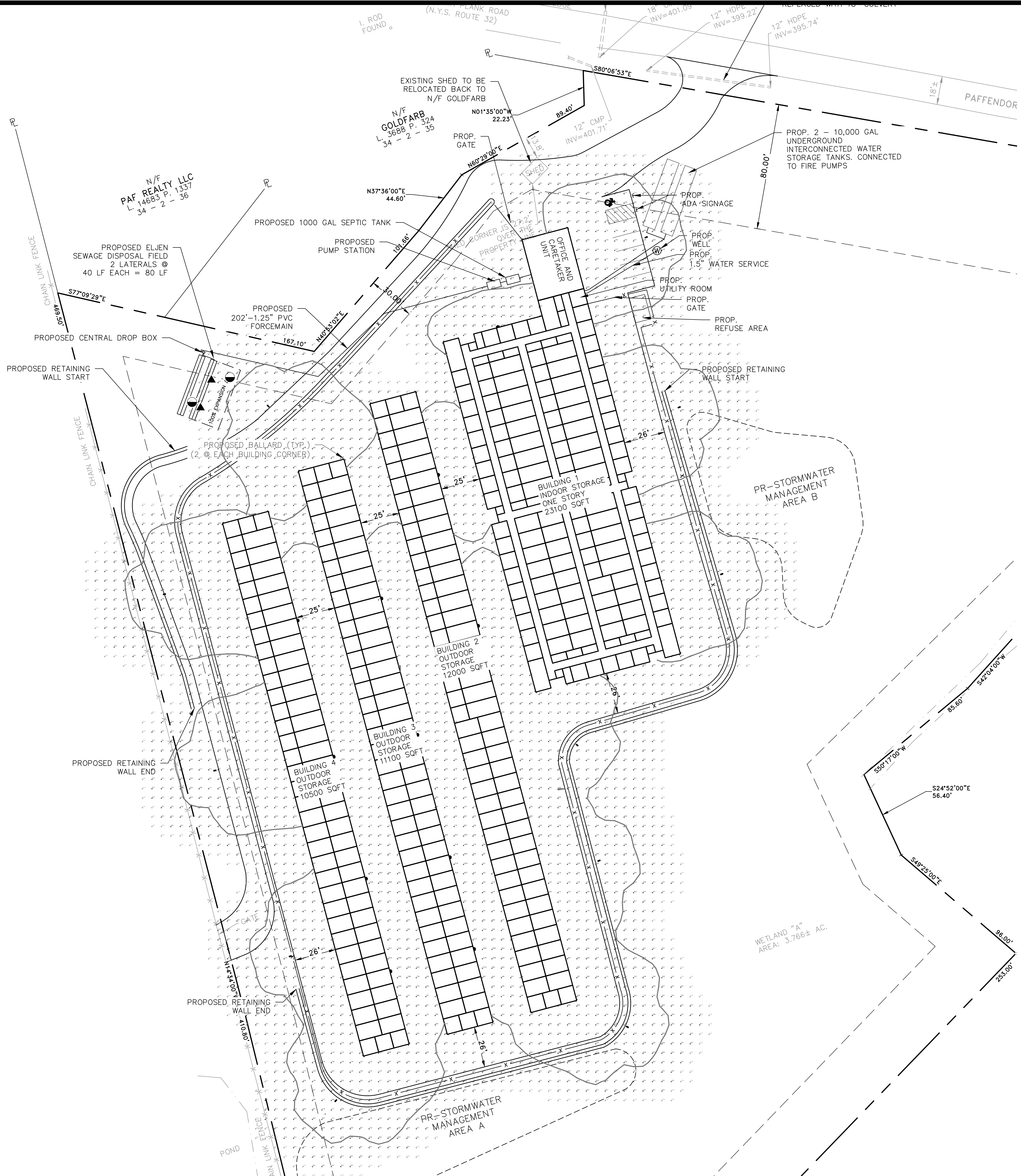
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TOWN OF NEWBURGH SITE PLAN APPROVAL:	Engineering and Surveying, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	Date: APRIL 24, 2024 Revision: OCTOBER 27, 2024
	VEHICLE TURNING PLAN PREPARED FOR <b>NEWBURGH ELITE STORAGE</b> TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		CDD File: 220109-Site Plan.DWG Layer: VEHICLE TURNING Sheet No: 8 OF 11 Drawing No: C30 A- 24 - 0059 - 01
Drawn By: JG	Checked By:	Scale: 1" = 30'	Tax Map No: 34 - 2 - 34





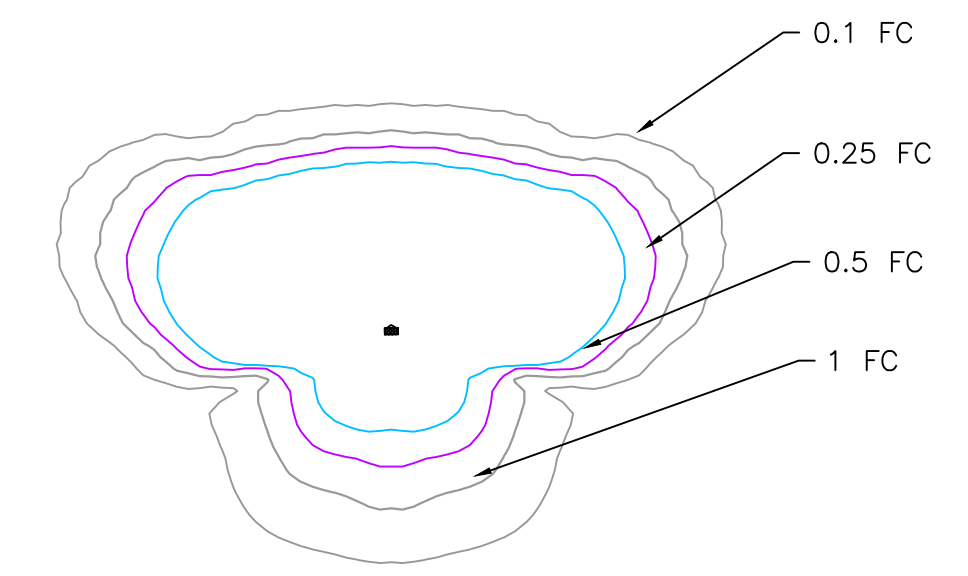
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

EATON "GAN GALLEON" LUMINAIRE "C" TYPE T4FT DISTRIBUTION PHOTOMETRIC DIAGRAM



EATON "GAN GALLEON" LED AREA LUMINAIRE TYPICAL POLE MOUNT AREA LUMINAIRE

PROPOSED LIGHTING FIXTURES SHALL NOT EXCEED 3000K LIGHTING LEVELS.



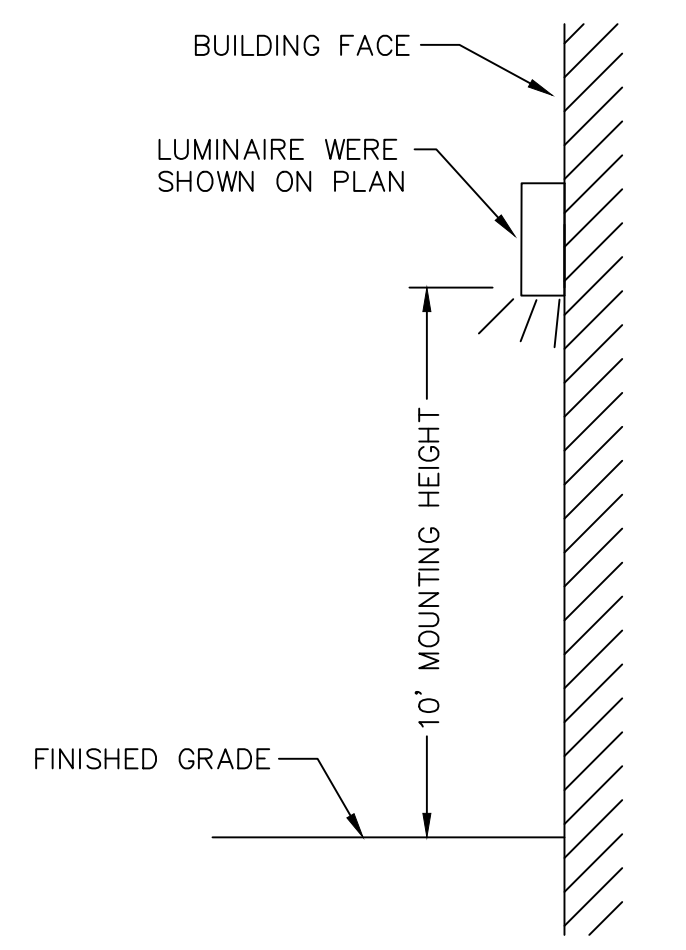
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 10' MOUNTING HEIGHT

GPC "GALLEON PEDESTRIAN COMPANION" WALL LUMINAIRE TYPE T3 DISTRIBUTION PHOTOMETRIC DIAGRAM

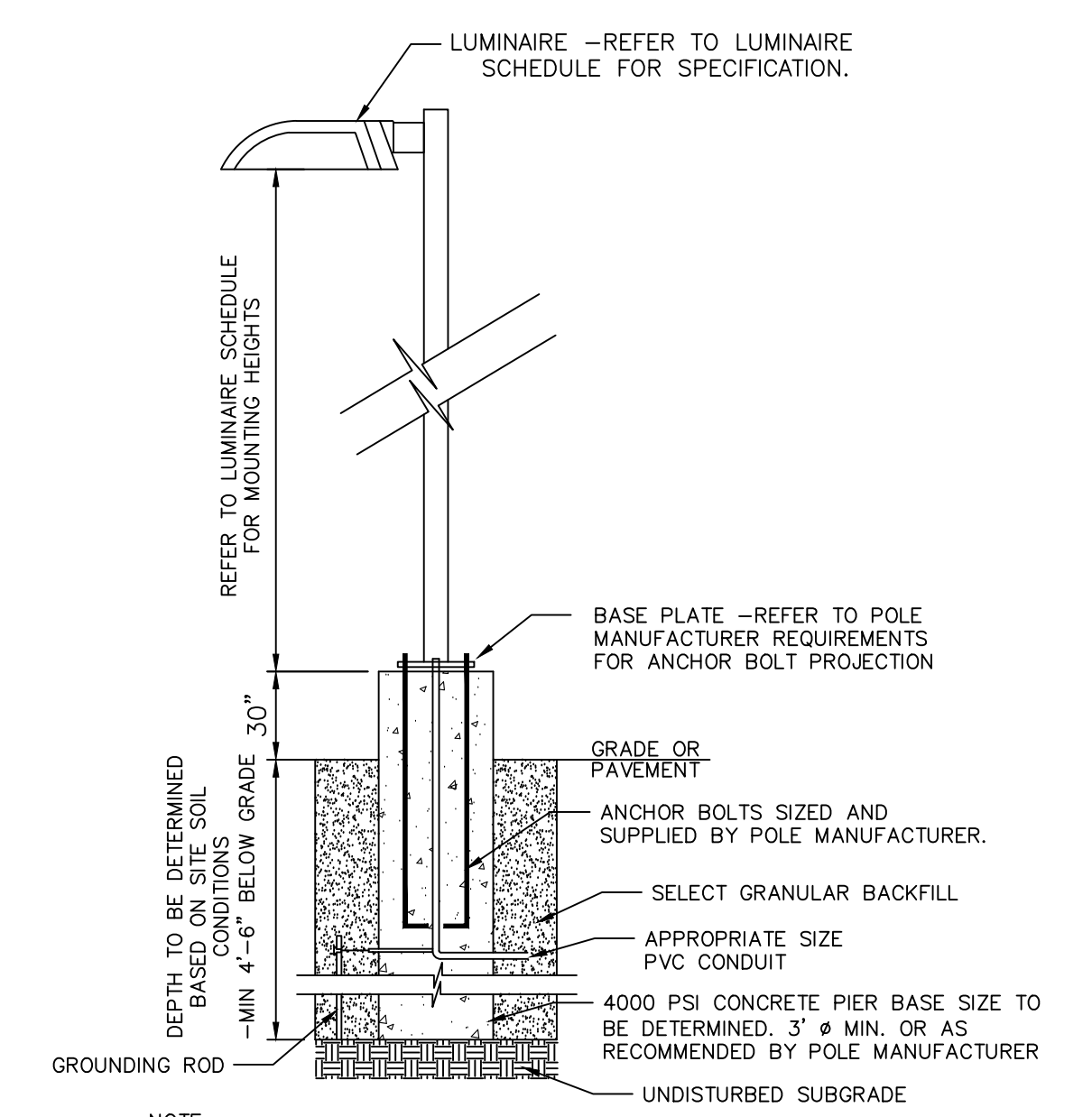


GPC "GALLEON PEDESTRIAN COMPANION" WALL LUMINAIRE TYPE T3 DISTRIBUTION

PROPOSED LIGHTING FIXTURES SHALL NOT EXCEED 3000K LIGHTING LEVELS.

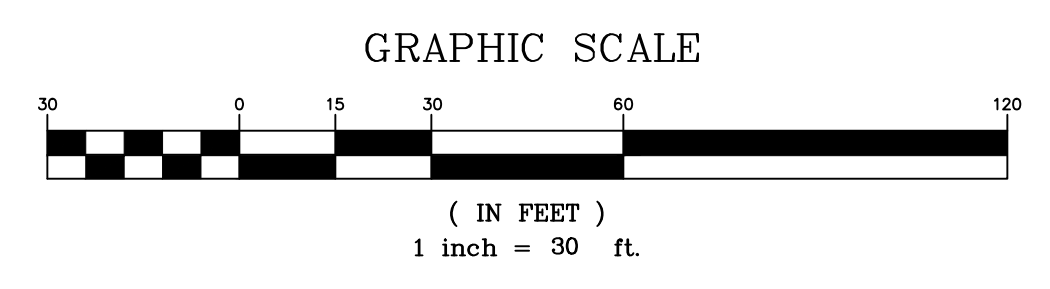


BUILDING MOUNTED LIGHTING DETAIL NOT TO SCALE



NOTE:  
1. INSTALL LIGHT POLE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.  
2. POLE BASE SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

LIGHT POLE BASE DETAIL NOT TO SCALE



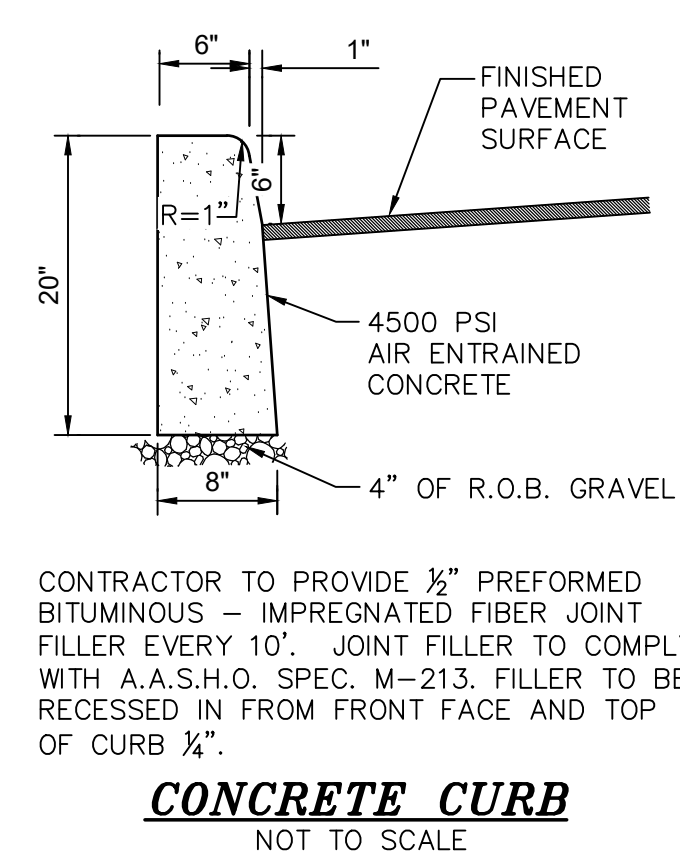
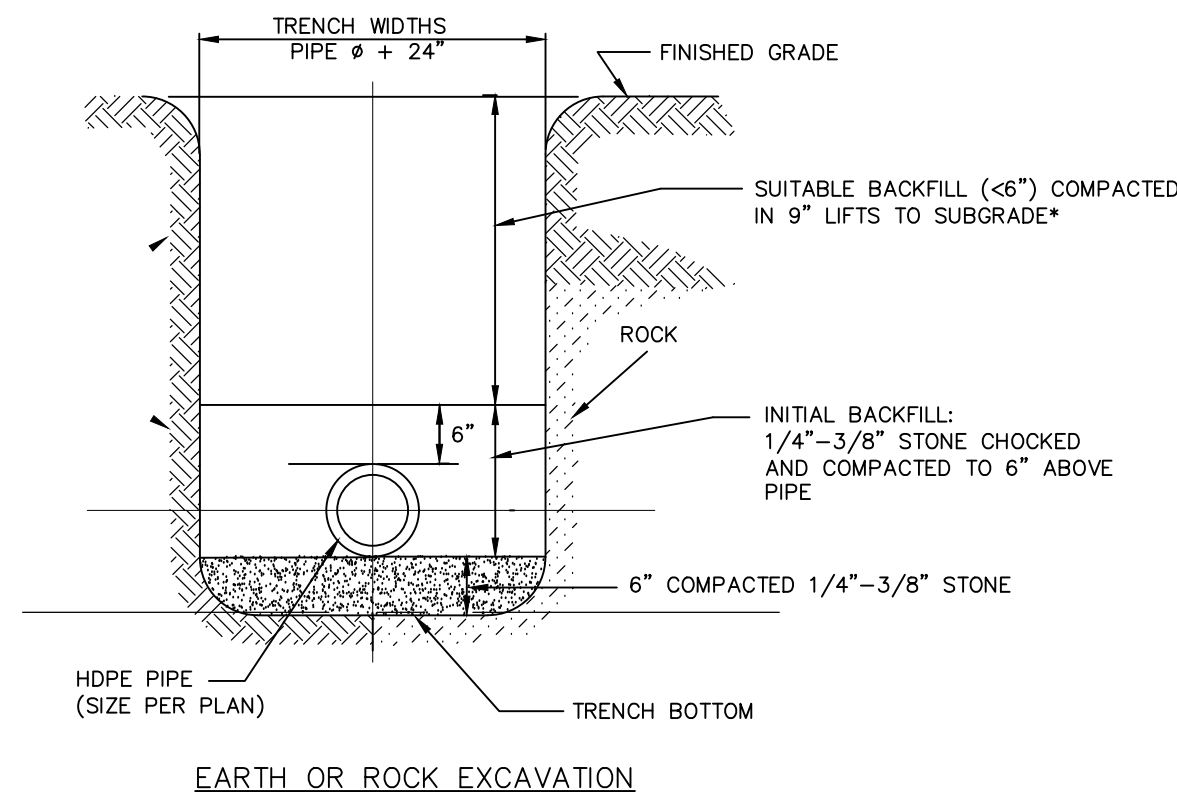
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		LIGHTING PLAN AND DETAILS PREPARED FOR		Date: APRIL 24, 2024 Revision: OCTOBER 27, 2024	
		<b>NEWBURGH ELITE STORAGE</b> TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		CD Title: 24009 - Site Plan DWG Layout: LIGHTING Sheet No: 9 OF 11 Drawing No: C30 A- 24 - 0059 - 01	
Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:	
JG		1" = 30'	34 - 2 - 34	A- 24 - 0059 - 01	

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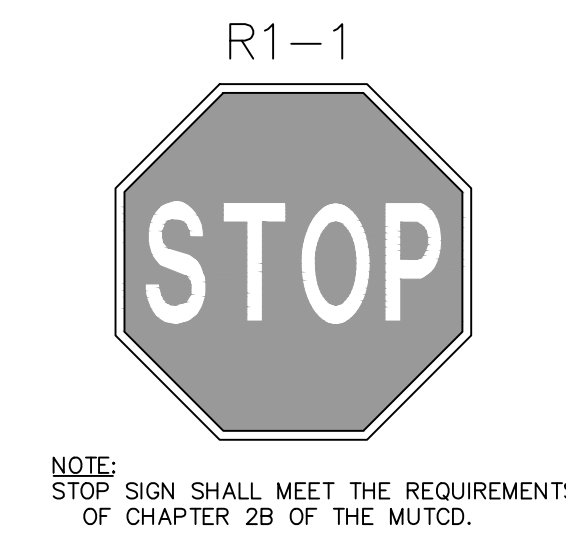
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION			MINIMUM STANDARD PROCTOR DENSITY %
	ASTM D2321	ASTM D2487	AASHTO M44.5	
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5 56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.

\* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION, IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE.

**UTILITY TRENCH CROSS SECTION**  
NOT TO SCALE

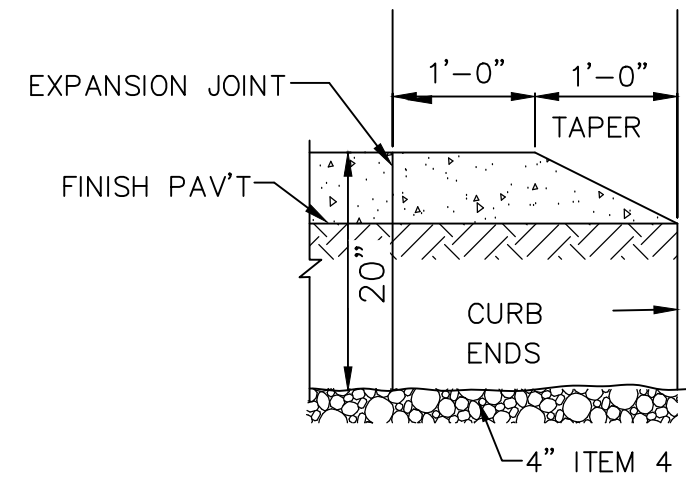
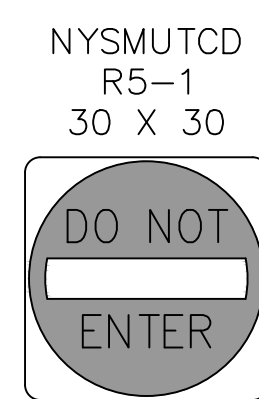


NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 29 OF THE MUTCD.

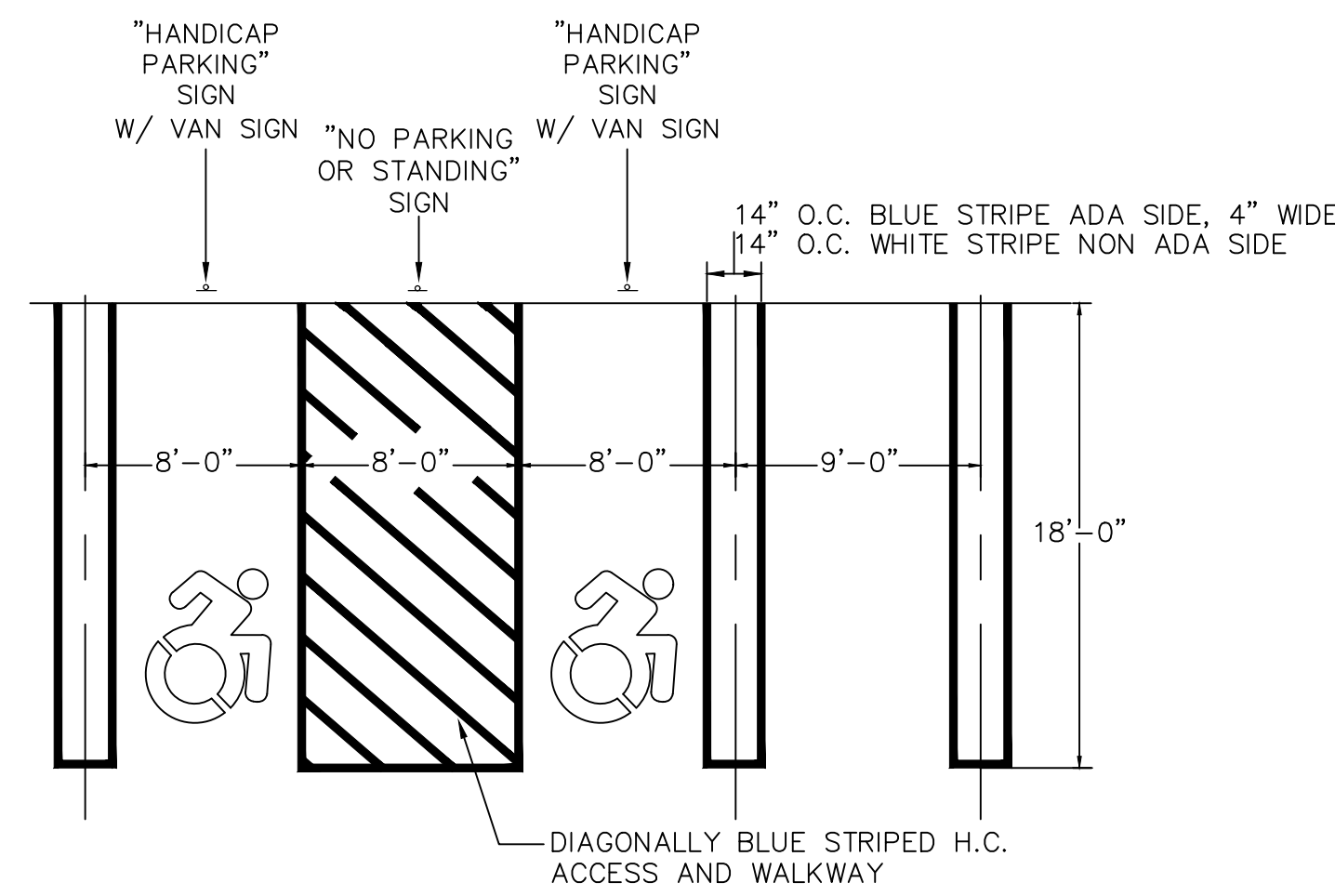
NYSMUTCD R3-10C  
36 X 12



**REGULATORY SIGNS**  
NOT TO SCALE

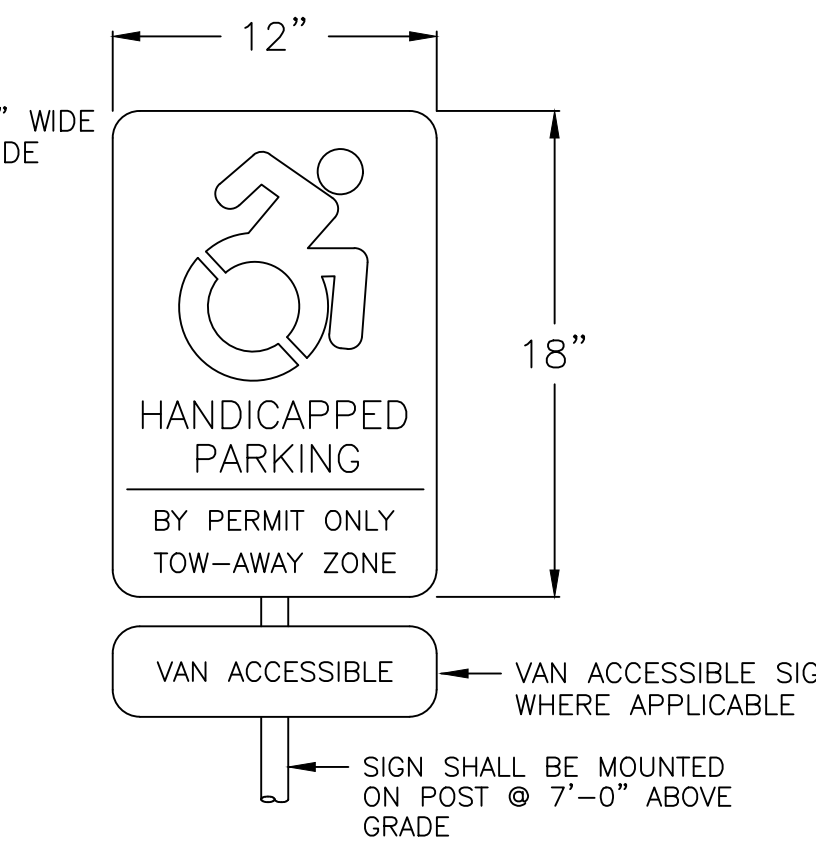


**BULLNOSE CURB TERMINAL**  
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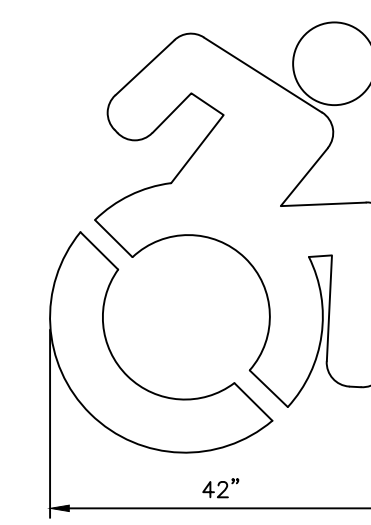


**ADA AND TYPICAL PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE

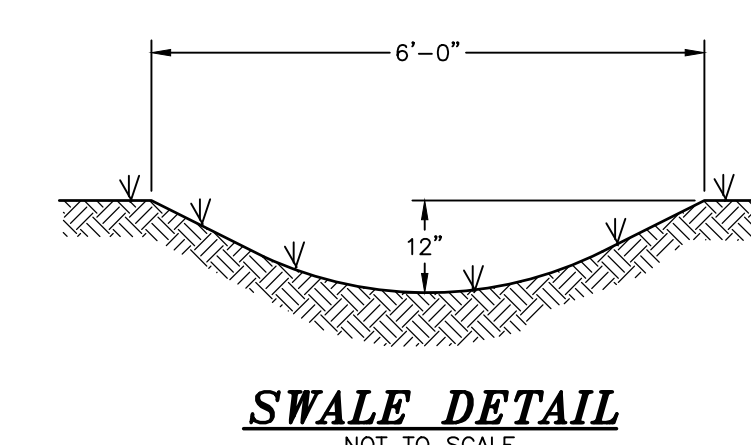
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



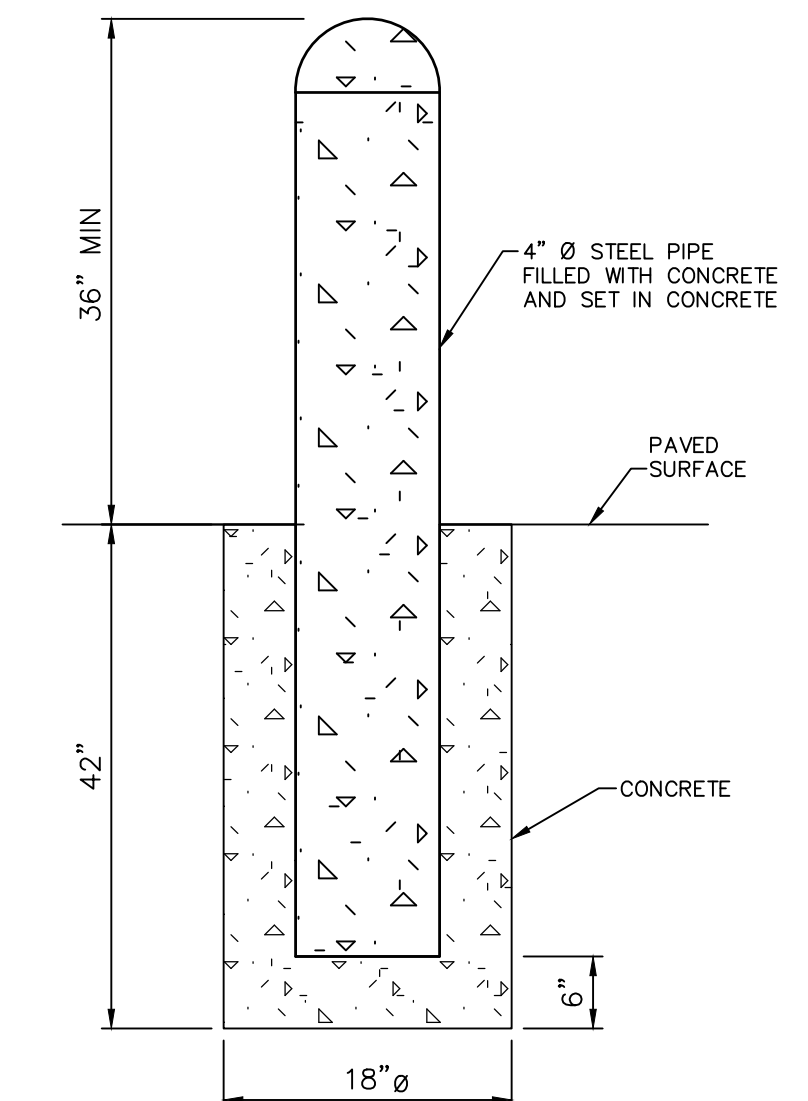
**HANDICAP SIGN**  
NOT TO SCALE



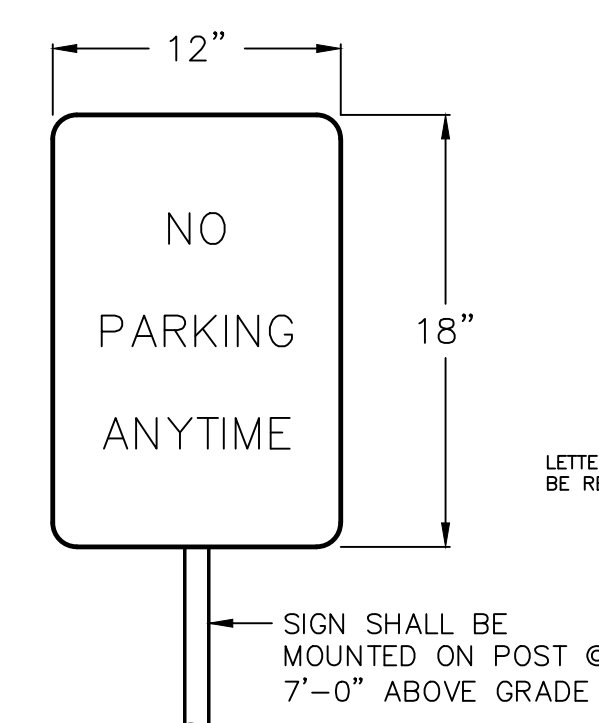
**NYS COMPLIANT ACCESSIBILITY SYMBOL**  
NOT TO SCALE



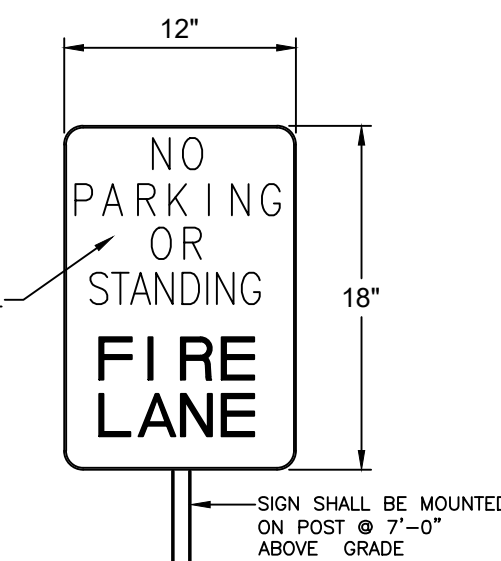
**SWALE DETAIL**  
NOT TO SCALE



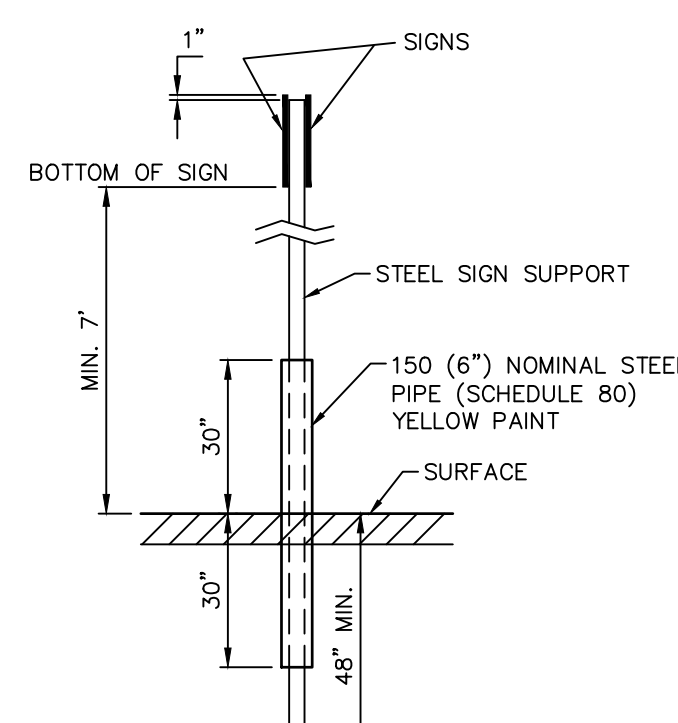
**BOLLARD DETAIL**  
NOT TO SCALE



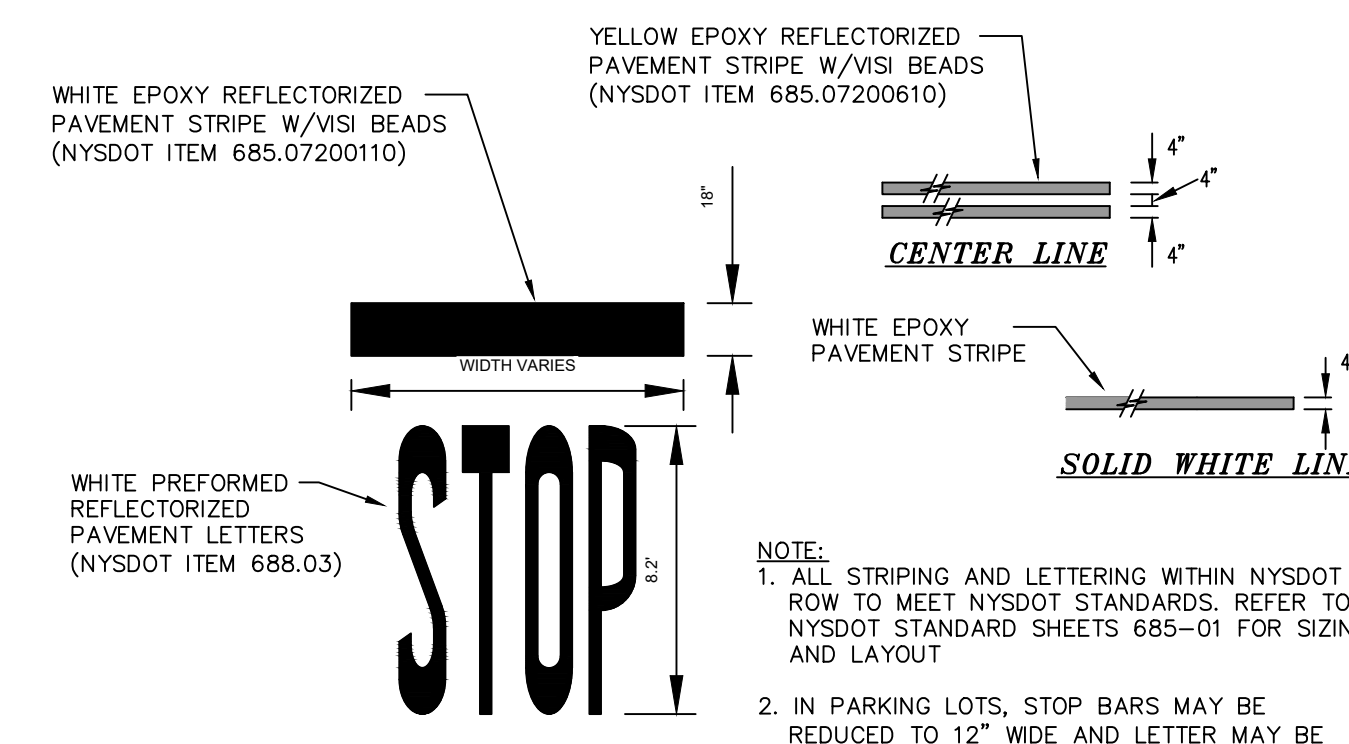
**NO PARKING SIGN**  
NOT TO SCALE



**FIRE LANE SIGN**  
NOT TO SCALE

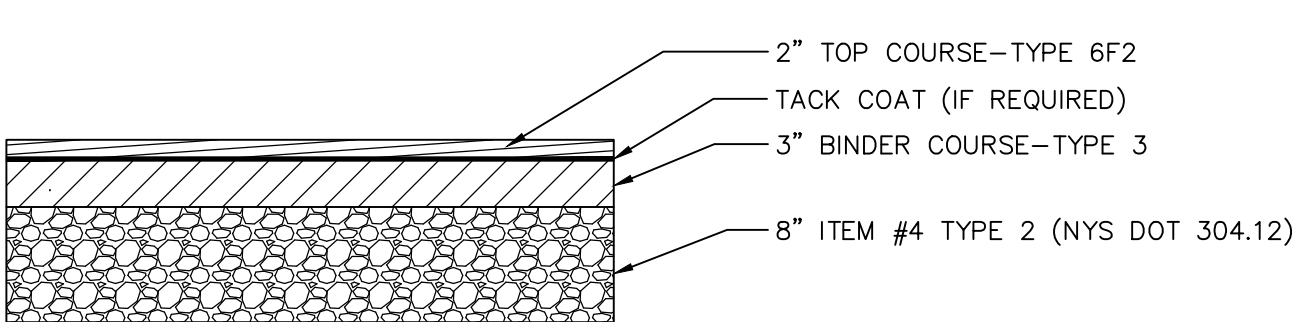


**POST BASE DETAIL**  
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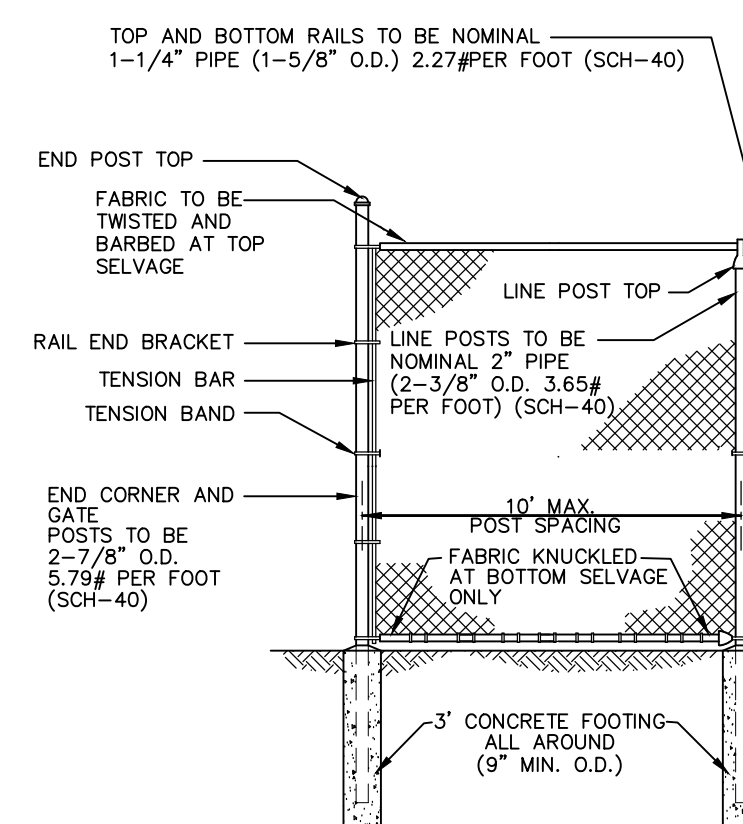


**STRIPING DETAILS**  
NOT TO SCALE

NOTE:  
1. ALL STRIPING AND LETTERING WITHIN NYS DOT ROW TO MEET NYS DOT STANDARDS. REFER TO NYS DOT STANDARD SHEETS 685-01 FOR SIZING AND LAYOUT.  
2. IN PARKING LOTS, STOP BARS MAY BE REDUCED TO 12" WIDE AND LETTER MAY BE REDUCED TO 6" TALL.



**PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS**  
NOT TO SCALE



**TYPICAL CHAIN LINK FENCE**  
NOT TO SCALE

**FENCE SPECIFICATIONS:**

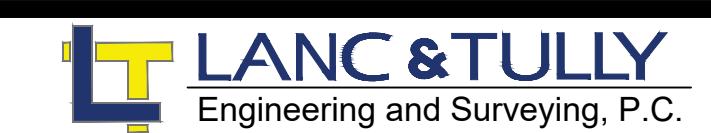
- FENCING MATERIAL SHALL BE CYCLONE TYPE 1 FENCE AS MANUFACTURED BY USS OR EQUAL.
- FABRIC HEIGHT IS TO BE 4'.
- FABRIC SHALL BE 2" MESH 9 GAUGE (MIN.) WITH TUZED BLACK VINYL COATING.
- GATE SHALL HAVE LATCHING DEVICES WITH PROVISIONS FOR PADLOCKING.
- ALL POSTS, RAILS, AND APPURTENANCES SHALL BE GALVANIZED STEEL. PIPE POSTS SHALL HAVE TOPS WHICH EXCLUDE MOISTURE.
- END, CORNER, PULL, AND GATE POSTS ARE TO BE BRACED WITH THE SAME MATERIAL AS TOP RAIL. ALL POSTS SHALL BE SET IN A CONCRETE FOUNDATION OF 12" X 48" MIN. LINE POSTS SHALL BE EVENLY SPACED 10' OR LESS.
- FENCE IS TO BE INSTALLED IN A PROFESSIONAL MANNER TO ENHANCE THE APPEARANCE OF THE INSTALLATION, TO PREVENT ENTRANCE OF PERSONS AND ANIMALS, AND TO PROTECT EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THAT THE GRADE AT THE FENCE LINE IS CORRECT, LEVEL, AND FINAL BEFORE THE FENCE IS INSTALLED. ALL POSTS SHALL BE ALIGNED TOP RAIL SHALL BE HEAD LEVEL.
- EXPERIENCED PERSONNEL IN THE FENCE INDUSTRY SHALL INSTALL THE FENCE.



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(845) 294-3700

CONSTRUCTION DETAILS PREPARED FOR

**NEWBURGH ELITE STORAGE**

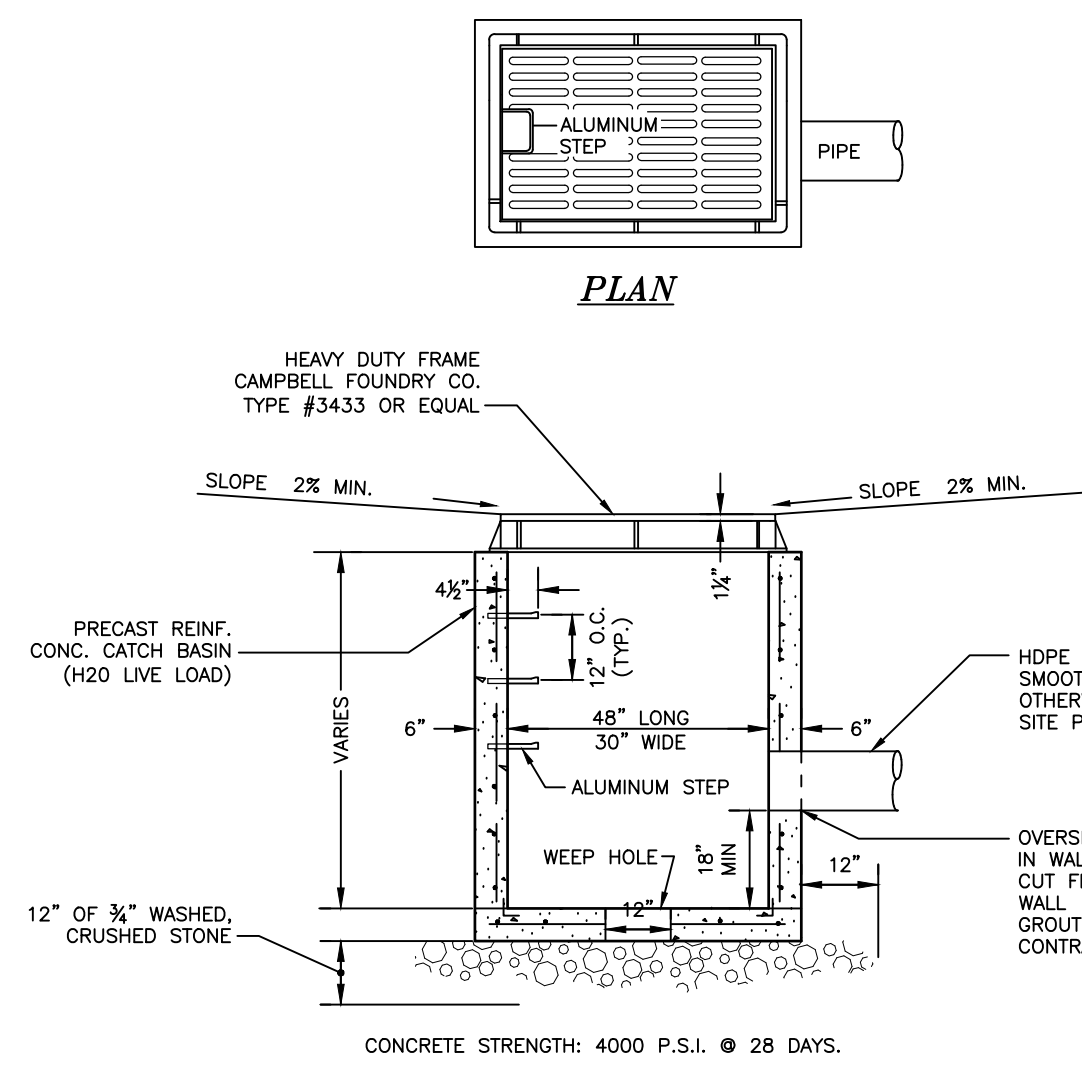
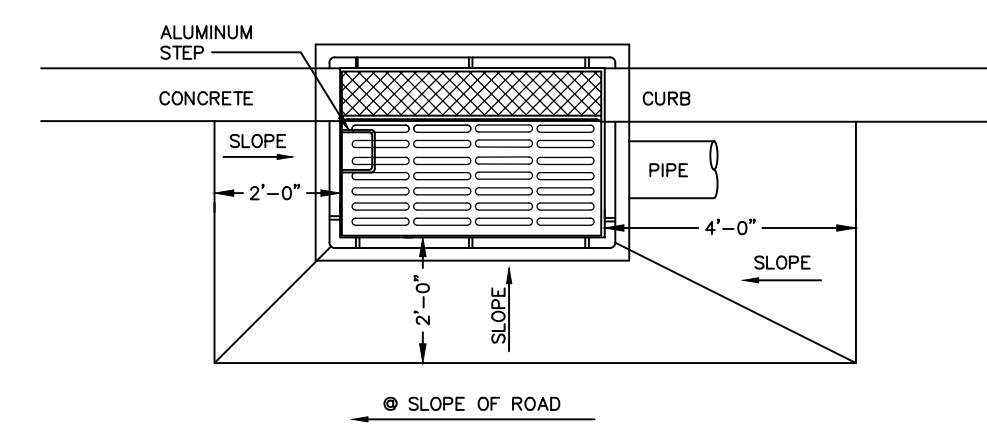
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: APRIL 24, 2024  
Revision: OCTOBER 27, 2024

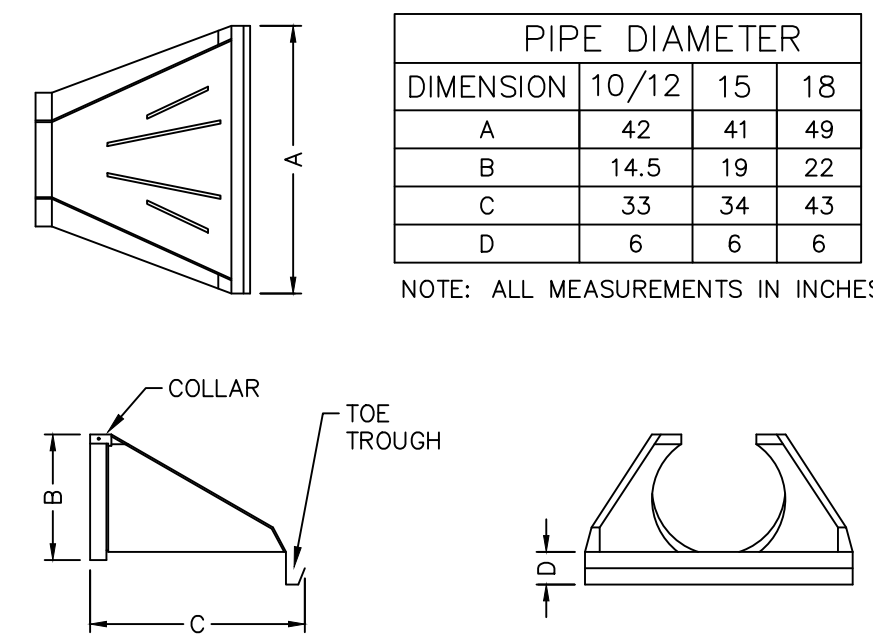
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Sheet No: 10 OF 11  
Drawing No: C30  
A-24-0059-01

Drawn By: JG Checked By: Scale: N.T.S. Tax Map No: 34-2-34





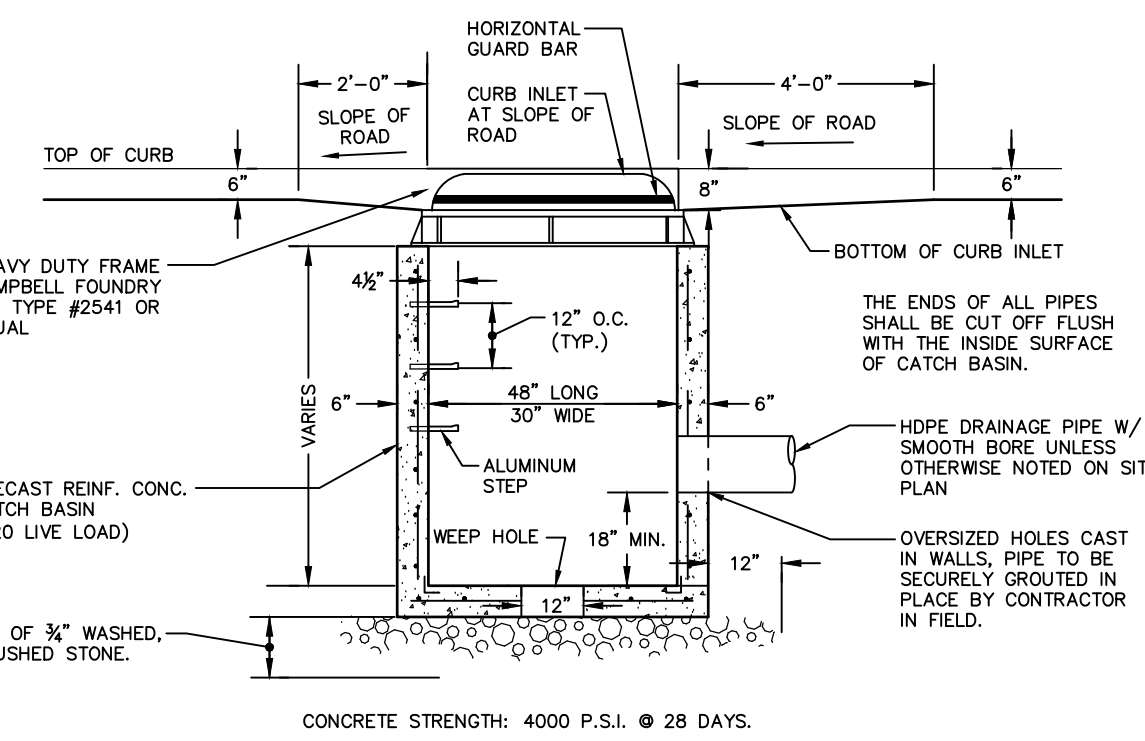
**FLAT GRATE-CATCH BASIN**  
NOT TO SCALE



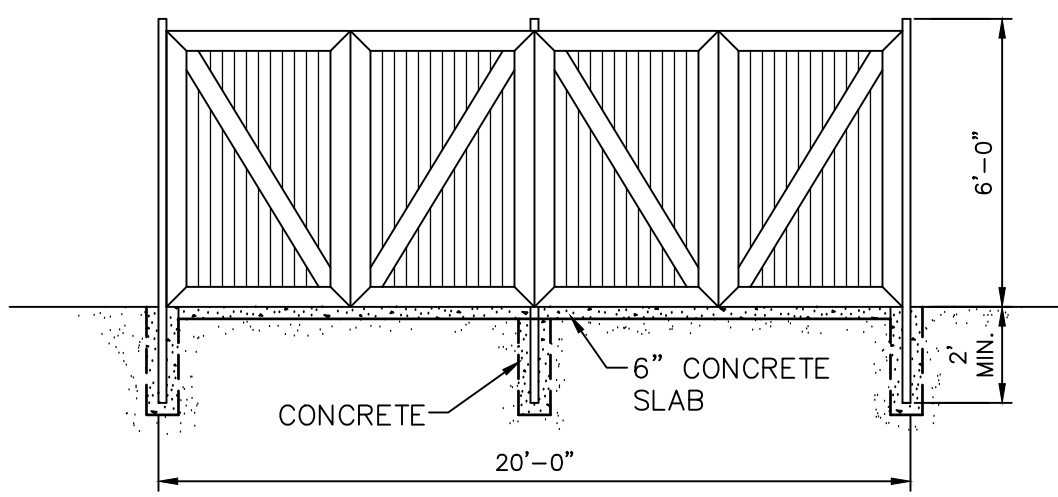
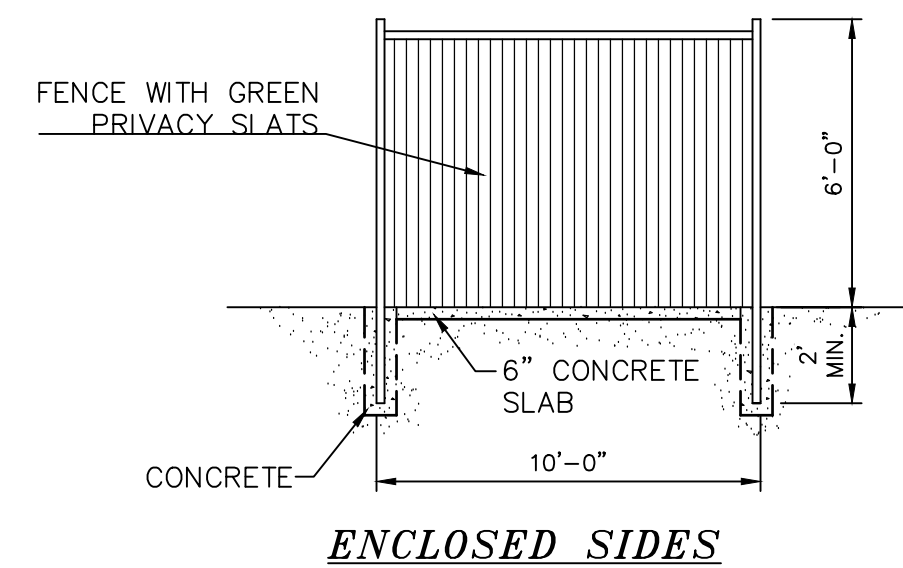
**HDPE FLARED END SECTION**  
NOT TO SCALE

PIPE DIAMETER	DIMENSION		
	10/12	15	18
A	42	41	49
B	14.5	19	22
C	33	34	43
D	6	6	6

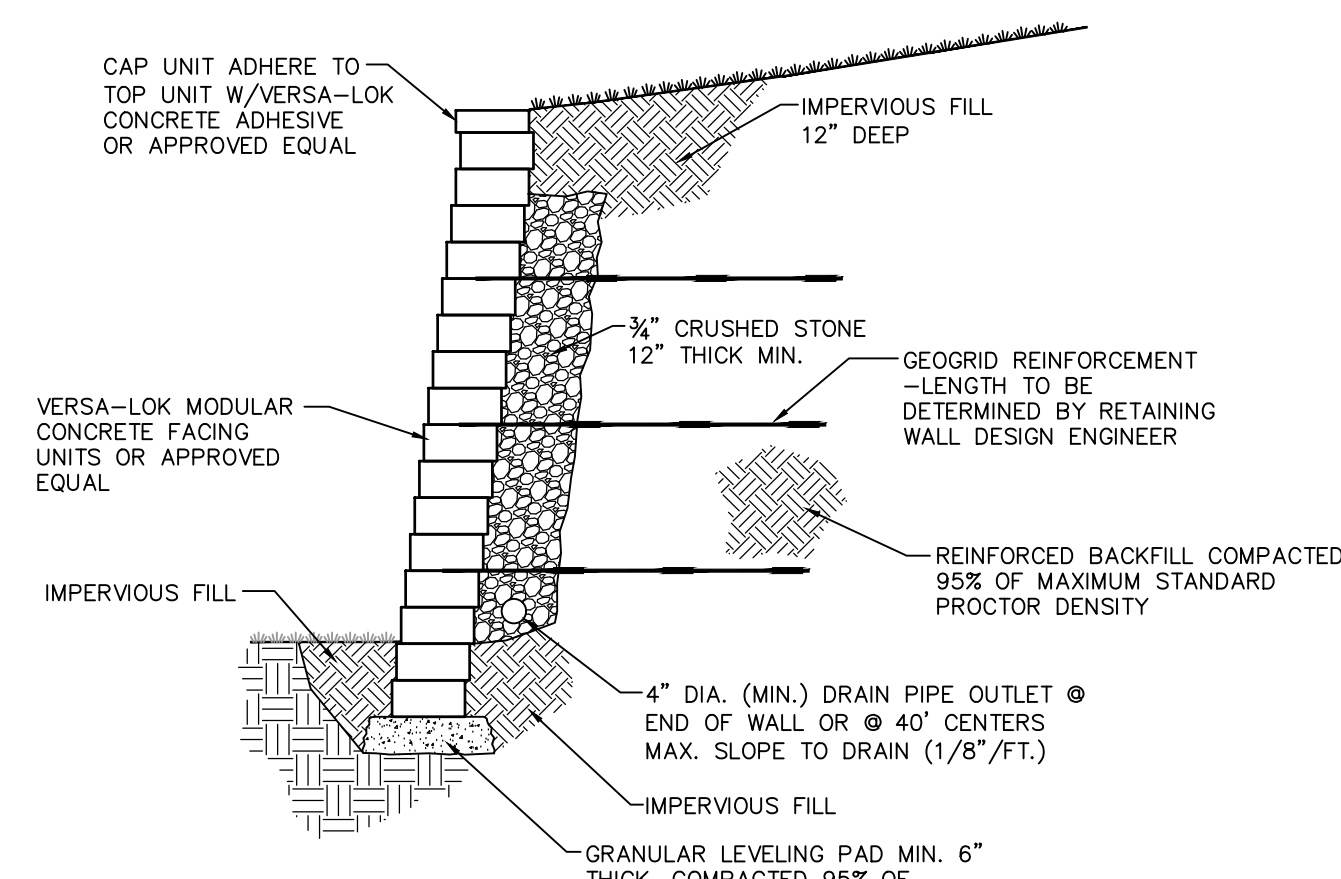
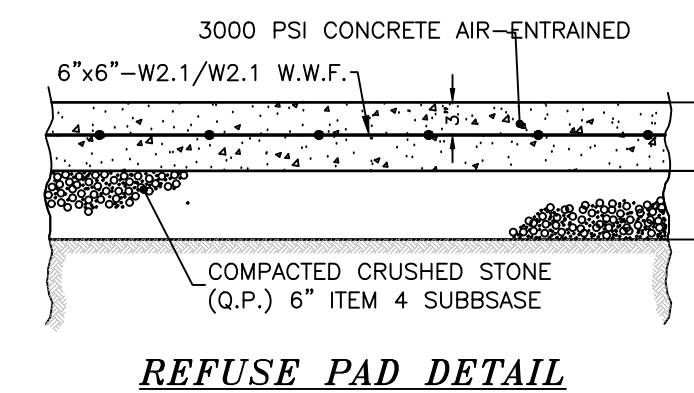
NOTE: ALL MEASUREMENTS IN INCHES



**CURB INLET-CATCH BASIN**  
NOT TO SCALE



**REFUSE STORAGE ENCLOSURE DETAIL**  
NOT TO SCALE

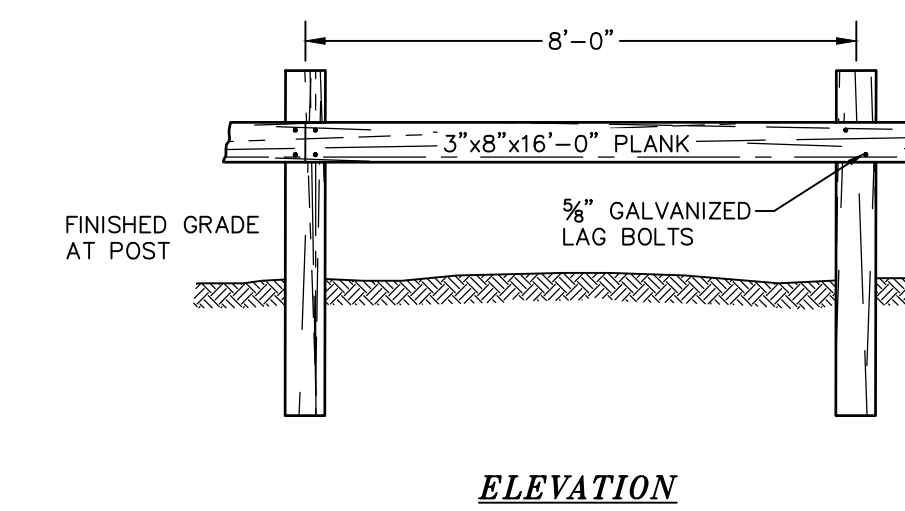


- NOTE:
- WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  - CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

**TYPICAL SECTION-REINFORCED RETAINING WALL**  
NOT TO SCALE

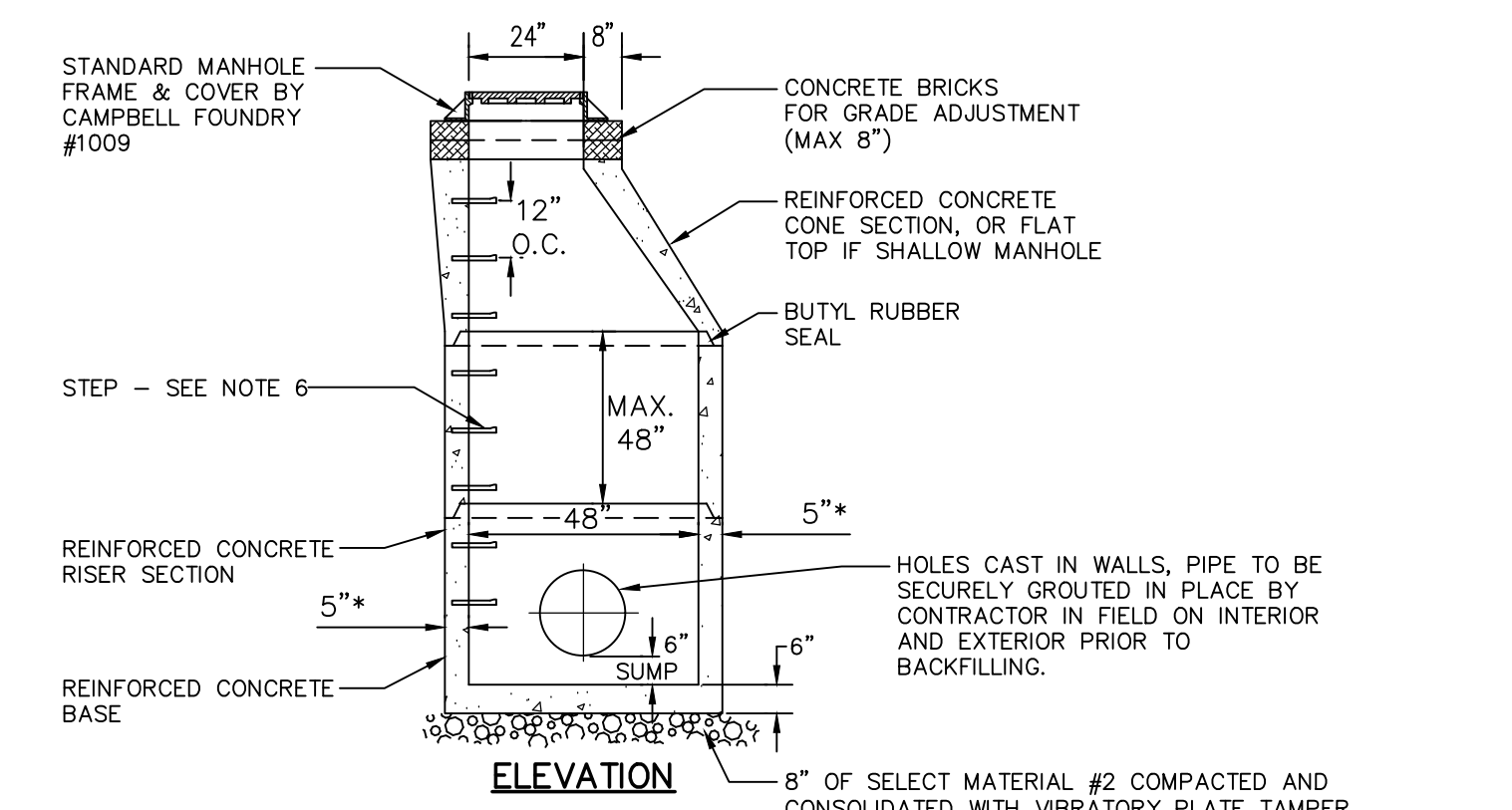
**RETAINING WALL NOTES**

- Design for the retaining wall shown herein shall be prepared by a NYS Licensed Professional Engineer and submitted to the Town Building Inspector for record prior to construction. Such design drawings (or shop drawings) shall bear the stamp and signature of such engineer, and shall be specific for the site and specific to the retaining wall system to be utilized and shall consider all appropriate and necessary possible loadings and conditions related to this project.
- The aforementioned design and details shall consider / identify / include, but shall not be limited to: signed and sealed design calculations; complete and specific construction plans and details for each wall; appropriate sizing for drainage system to handle intense storm conditions; maintenance ability to clean stormwater piping systems; appropriate backfill material sufficient porosity to allow free drainage of water; evaluate potential failure by internal/external failure mechanisms, global failure or other potential failures; and seismic design considerations.
- If the wall or walls are tiered walls, the design shall include an analysis of the minimum spacing of walls to allow the individual walls to act as individual walls based on the specific site and construction conditions. If the walls are to be placed closer than the same, the specific design shall consider the loads superimposed by one wall to the other.
- During construction, the work must be inspected by a NYS Licensed Professional Engineer who shall provide written verification to the Town Building Inspector, prior to the request for a certificate of occupancy, that he/she has personally inspected the work, and the installation is in compliance with the design drawings and manufacturer's installation recommendations.
- If deemed necessary by the design engineer and/or the Town, third party testing will be performed regarding material compaction, fill quality, etc. A copy of all such testing records shall be provided to the Town Building Department for record.



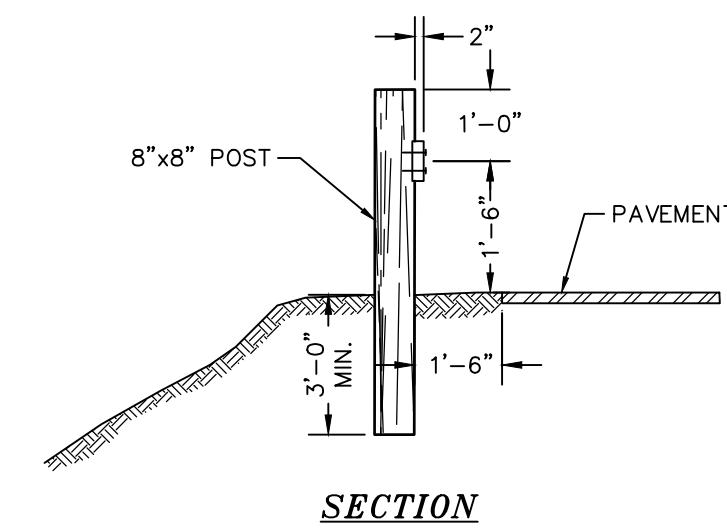
NOTE:  
ALL WOOD TO BE PRESSURE TREATED.

**WOOD GUIDE RAIL**  
NOT TO SCALE



- NOTES:
- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
  - OPENING FOR PIPE SHALL BE PRE-CAST.
  - MANHOLE COVERS TO BE STAMPED "STORM".
  - PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H20 LIVE LOAD.
  - WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
  - STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
  - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
  - BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

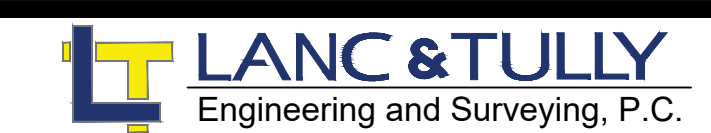
**PRE-CAST DRAINAGE MANHOLE**  
NOT TO SCALE



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CONSTRUCTION DETAILS 2  
PREPARED FOR

**NEWBURGH ELITE STORAGE**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JG Checked By: Scale: N.T.S. Tax Map No.: 34 - 2 - 34 Drawing No.: C30

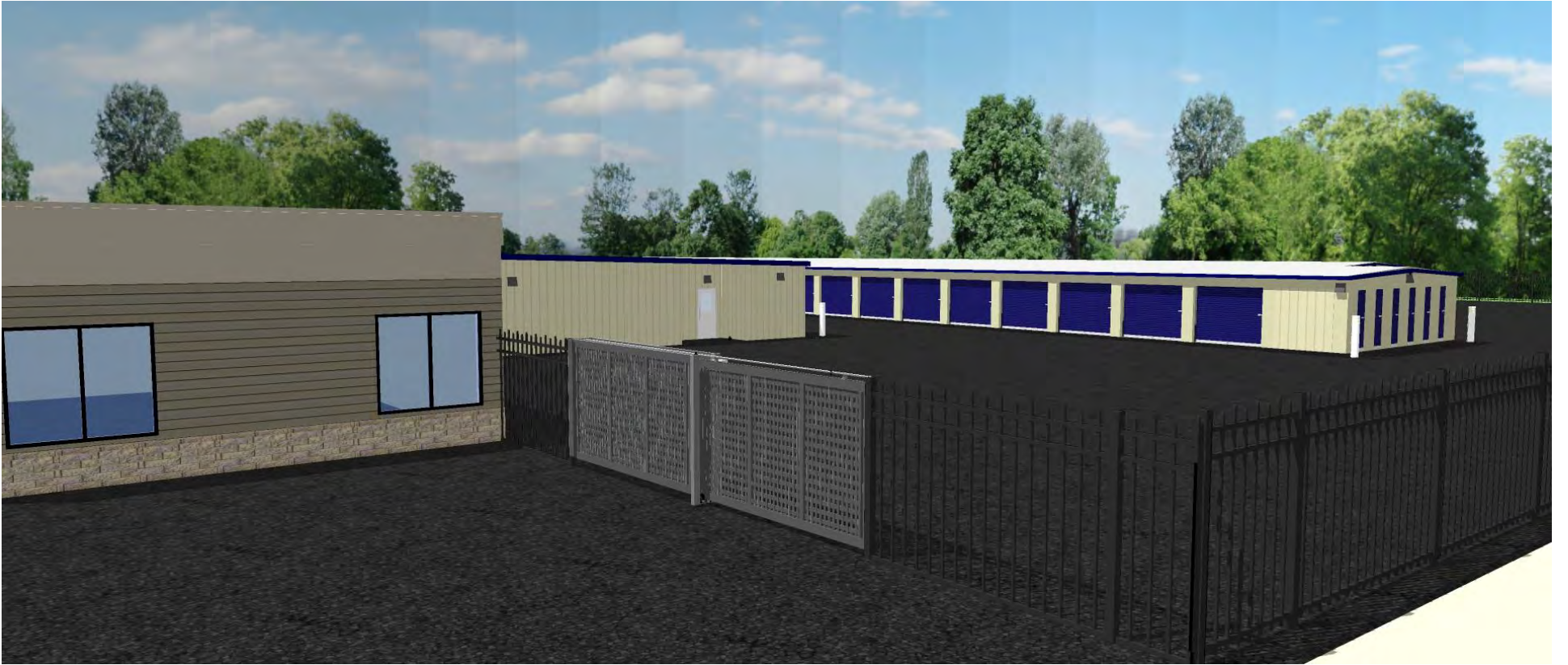
Date: APRIL 24, 2024  
Revision: OCTOBER 27, 2024  
C3D File: 24000-Site Plan.DWG  
Layout: DETAILS 2  
Sheet No.: 11 OF 11





STEPHANIE VALENTINE  
INTERIORS





STEPHANIE VALENTINE  
INTERIORS





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