



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** NEWBURGH COMMONS  
**PROJECT NO.:** 23-24  
**PROJECT LOCATION:** SECTION 9, BLOCK 1, LOT 53.1 & 13  
**REVIEW DATE:** 1 DECEMBER 2023  
**MEETING DATE:** 7 DECEMBER 2023  
**PROJECT REPRESENTATIVE:** JMC PLANNING ENGINEERING

1. The project will be considered a Type I Action as it is proposed to disturb greater than 2.5 acres in an Agricultural District. The Long Form EAF submitted identifies the property within Orange County AG District #1. Coordinated review is required for a Type I Action.
2. The EAF identifies potential habitat for Threatened or Endangered Species Bald Eagle and Indiana Bat. Coordination with NYSDEC for this is required.
3. Approval for the subsurface sanitary sewer disposal system is required from the NYS Department of Environmental Conservation and the Orange County Health Department.
4. A Stormwater Pollution Prevention Plan will be required to be developed.
5. A Flood Plain Development Permit will be required. The location of the flood plain should be delineated on the Site Plan.
6. The entrance to Oak Street does not appear to comply with Chapter 185-13B(6) No entrance or exit for an accessory off-street parking area with over 10 parking spaces or any loading berths shall be located within 150 feet of a street intersection.
7. The Planning Board should discuss provisions for sidewalks along the frontage.
8. The canopy for the gas pumps requires a front yard setback variance.
9. Rear yard setback variance is required, where 30 feet is required and 18 feet is proposed.
10. Code Enforcement and Jurisdictional Fire Department should weigh in on placement of a hydrant within the facility.
11. Compliance with the Tree Preservation Ordinance should be documented. Calculations for tree removal of the 3 categories should be provided.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhpa@mhepc.com

12. General Notes include Town of Newburgh Standard Sewer System Notes. The project is served by a proposed on-site subsurface sanitary sewer disposal system.
13. Note #27 identifies a club house and water service as well as a pool. This should be removed.
14. Calculations for the 125 foot long aluminum box culvert should be provided identifying potential impacts to the flood plain. Flood Plain Development Report should be prepared as well as the SWPPP.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive style with a large initial 'P'.

Patrick J. Hines  
Principal

PJH/kbw

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

Newburgh Commons

**2. Owner of Lands to be reviewed:**

**Name** 5450 RTE 9W LLC

**Address** 2331 Montauk Highway  
Bridgehampton, NY 11932

**Phone** (631) 537-1068

**3. Applicant Information (If different than owner):**

**Name** \_\_\_\_\_

**Address** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Representative** \_\_\_\_\_

**Phone** \_\_\_\_\_

**Fax** \_\_\_\_\_

**Email** \_\_\_\_\_

**4. Subdivision/Site Plan prepared by:**

**Name** JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

**Address** 120 Bedford Road  
Armonk, NY 10504

**Phone/Fax** (914) 273-5225

**5. Location of lands to be reviewed:**

5430 & 5450 Route 9W, Newburgh NY 12550

**6. Zone** R-3/B

**Acreeage** 3.67

**Fire District** Middle Hope Fire District

**School District** Marlboro School District

**7. Tax Map: Section** 09 **Block** 1 **Lot** 53.L.13

**8. Project Description and Purpose of Review:**

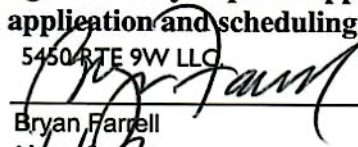
Number of existing lots 2      Number of proposed lots 1  
Lot line change Merger of Lots  
Site plan review To locate retail and gas station with convenience store  
Clearing and grading 3.25 ac  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) Flood Plain and Streams

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

5450 RTE 9W LLC  
Signature       Title Trustee / Member  
By: Bryan Farrell  
Date: 11/7/23

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

Name of applicant: Bryan Farrell, Trustee/Member

Name of owner on premises: 5450 Rte 9W LLC, Bryan Farrell, Manager

Address of owner: P O Box 14, 2331 Montauk Hwy, Bridgehampton NY 11932

Telephone number of owner: 631-537-1068

Telephone number of applicant: \_\_\_\_\_

State whether applicant is owner, lessee, agent, architect, engineer or contractor:  
Owner

Location of land on which proposed work will be done: 5430 & 5450 Route 9W, Newburgh NY

Section: 09 Block: 1 Lot: 53.1,13 Sub. Div.: \_\_\_\_\_

Zoning District of Property: R-3 Size of Lot: 3.65 AC

Area of lot to be cleared or graded: 3.25 AC

Proposed completion of date: 06/2024

Name of contractor/agent, if different than owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  Date: 11/7/2023

Signature of applicant (if different than owner): \_\_\_\_\_

**TOWN ACTION:**

Examined: \_\_\_\_\_ 20 \_\_\_\_\_

Approved: \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_



Site Planning  
 Civil Engineering  
 Landscape Architecture  
 Land Surveying  
 Transportation Engineering

Environmental Studies  
 Entitlements  
 Construction Services  
 3D Visualization  
 Laser Scanning

November 15, 2023

Chairman John Ewasutyn  
 Town of Newburgh Planning Board  
 308 Gardnertown Road  
 Newburgh, NY 12550

RE: JMC Project 17160  
 Newburgh Commons  
 Route 9W  
 Town of Newburgh, NY

**Preliminary Site Plan/Subdivision Submission**

Dear Chairman Ewasutyn and Members of the Board:

On behalf of 5450 RTE 9W LLC., the Applicant in respect to the above referenced project, we are pleased to enclose 12 sets of the below listed documents in support of an application for Site Plan and Subdivision Approval. The subject project includes two parcels with addresses at 5430 and 5450 Route 9W which are located across Route 9W from the Overlook Farms property, between Cortland Drive and Oak Street. The project proposes the merger of 2 existing lots. The proposed construction includes a 14,600 square foot retail building and a 4,600 square foot convenience store/gas station with 6 gasoline pumps, parking and associated site improvements. As part of this application, a rear yard setback variance will be sought for the buildings where 30 feet is required and 18 feet is provided.

I. JMC Drawings dated 11/13/2023:

<u>Dwg. No.</u>	<u>Title</u>
C-000	“Cover Sheet”
C-010	“Existing Conditions Plan”
C-020	“Demolition Plan”
C-100	“Layout Plan”
C-200	“Grading Plan”
C-300	“Utilities Plan”
C-400	“Erosion and Sediment Control Plan”
C-900	“Construction Details”
C-901	“Construction Details”
C-902	“Construction Details”
C-903	“Construction Details”
C-904	“Construction Details”
C-905	“Construction Details”
C-906	“Construction Details”
C-907	“Construction Details”
L-100	“Landscaping Plan”

2. Robert M. Sears Architects dated 04/20/2023:

<u>Dwg. No.</u>	<u>Title</u>
A-1	“New CV Store and Gas Station”
A-2	“New CV Store and Gas Station Elevation”
A-3	“New CV Store and Gas Station Elevation”

3. Full Environmental Assessment Form, dated 11/09/2023.
4. Site Plan Checklist
5. Architectural Review Form
6. Town of Newburgh Disclosure Addendum Statement to Application Petition and Request.
7. Town of Newburgh Planning Board Disclaimer Statement to Applicants.
8. Town of Newburgh Application for Subdivision/Site Plan Review.
9. Town of Newburgh Fee Acknowledgment.
10. Proxy statement.
11. Town of Newburgh Application for Clearing and Grading
12. Certificate and Acknowledgement.
13. Also enclosed are the following checks:
  - a. Subdivision Application Fee: \$550 (2 lots @ \$550)
  - b. Application Fee: \$6,300 (\$1,500 plus \$250 per 1000SF of floor area) 1,500+ 250 (19,200SF/1000) = \$6,300 Fee
  - c. Public Hearing Fee: \$150.00
  - d. Escrow Review Fee: \$4,840 (19,200 sf of retail/commercial development @ \$1,000 plus \$200 per 1,000 sf of building floor area, Fee \$4,840)
  - e. Long Form EAF Fee: \$2,000

We understand this matter has been assigned PB# 2023-24 and will be placed on the agenda for the Town's December 7, 2023 Planning Board Meeting. In the interim, please let us know if you have any questions or require additional information.

Sincerely,

*Anthony Guccione, Jr.*

Anthony Guccione, Jr., RLA  
Associate Principal

cc: Mr. Patrick Hines, w/enc.  
Mr. Ken Wersted, PE, w/enc.  
Ms. Karen Arent, w/enc.  
Mr. Stephen Zagoren (via email)  
Mr. Will Minnear (via email)  
Stan Schutzman, Esq. (via email)

p:\2017\17160\admin\ltewasutyn 11-15-2023.docx

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:



**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			



c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database      Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database      Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site      <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

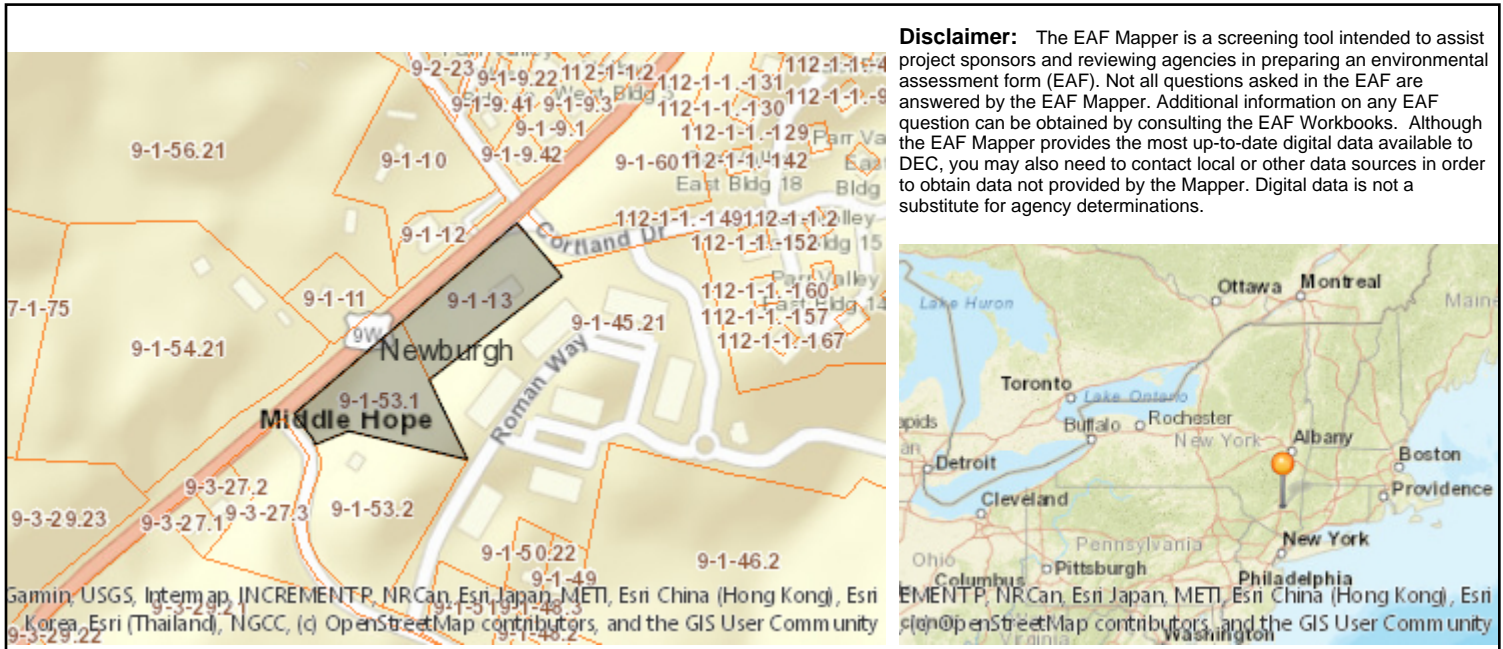
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

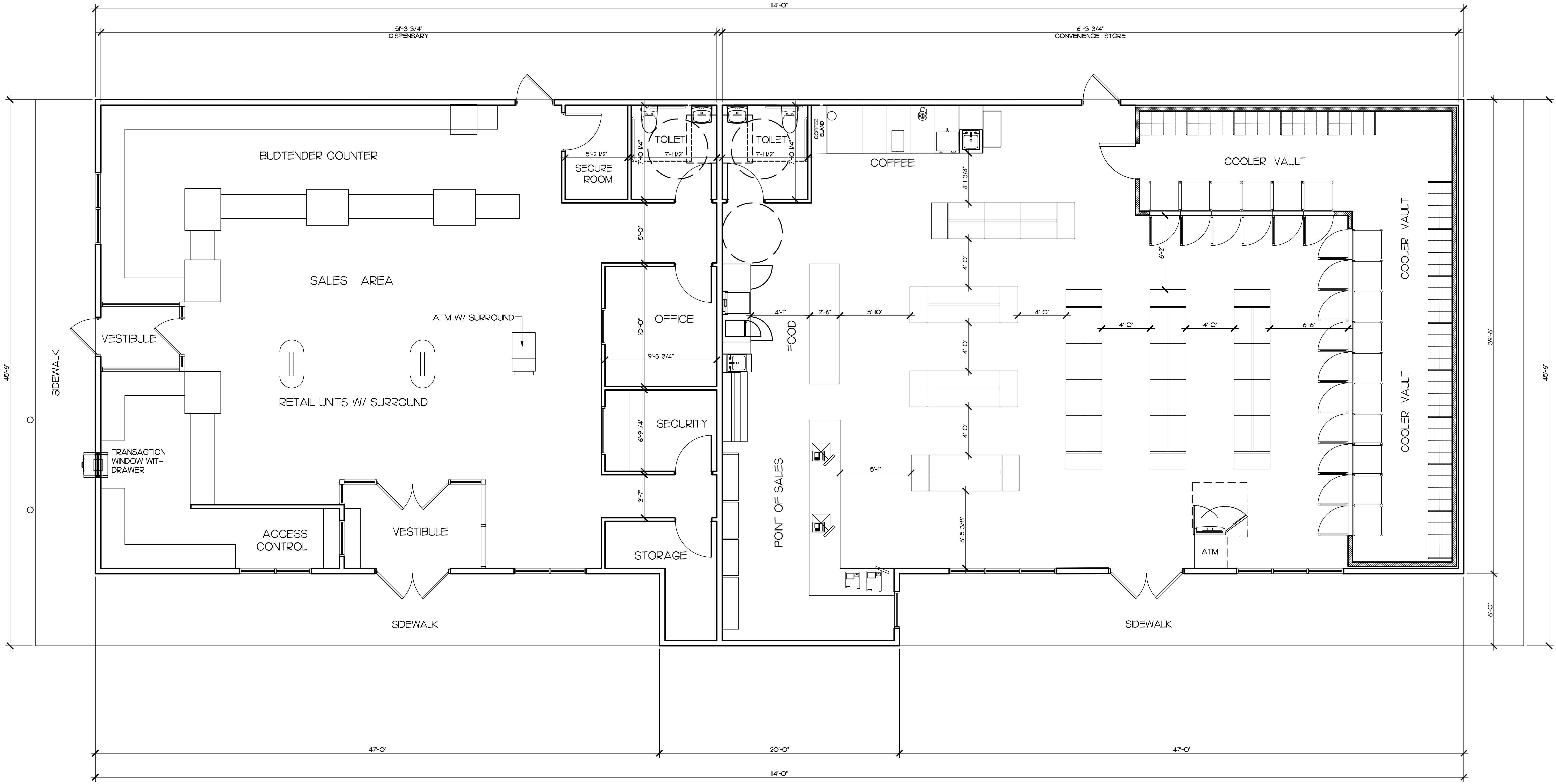
Signature \_\_\_\_\_ Title \_\_\_\_\_



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	862-374
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No

E.2.i. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Bald Eagle, Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	ORAN001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



**FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**FLOOR PLAN**

REVISIONS	BY

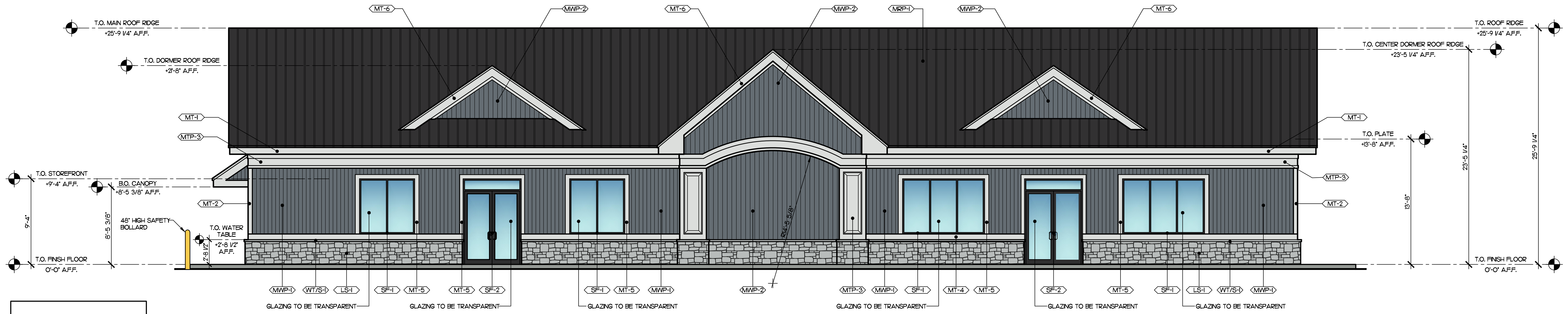
**ROBERT M. SEARS \* ARCHITECT**  
1930, ROUTE 300, APT. #4, TEL. (845) 476-4859  
NEWBURGH, NEW YORK 12550

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF AN ARCHITECT TO REPRODUCE OR TRANSMIT IN ANY MANNER BEARING THE SEAL OF AN ARCHITECT OR THE NAME OF AN ARCHITECT, ANY PART OF THIS DRAWING OR ANY NOTATION THEREON, UNLESS THE NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION.

**NEW CV STORE AND GAS STATION:**  
**5430 ROUTE 9W**  
**TOWN OF NEWBURGH, NEW YORK 12550**

DATE: 20 APRIL 2023  
SCALE: AS NOTED  
DRAWN: RMS  
JOB: 202306  
SHEET: **A-1**

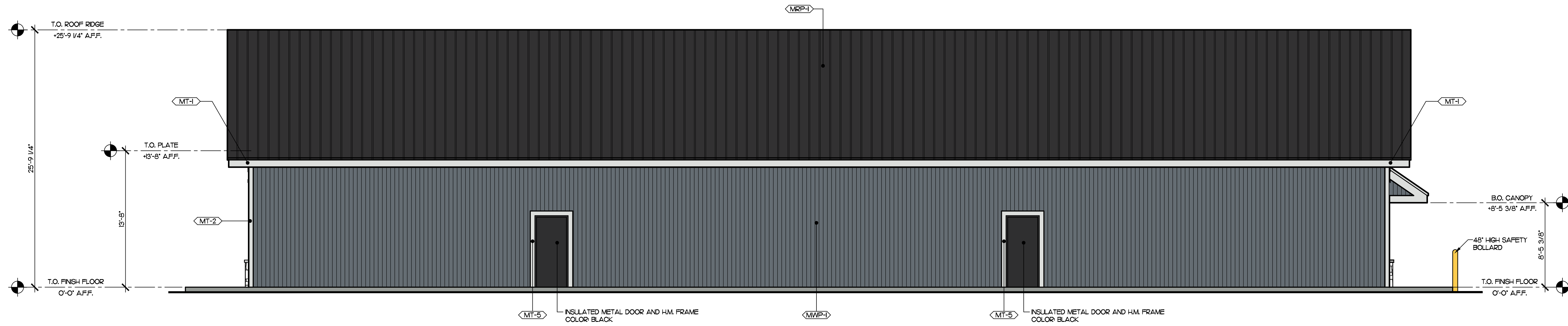
FLOOR PLAN



FRONT ELEVATION

SCALE 3/8" = 1'-0"

FINISH NO.	MATERIAL	MANUF. COLOR
LS-1	LITESTONE - FLAT SHADOW GRAY MIXTURE OF GRAY COLORS FAUX STONE VENEER OR APPROVED EQUAL	
MRP-1	STANDING SEAM OR BOARD AND BATTEN METAL ROOFING - COLOR BLACK	
MT-1	8 1/2" METAL FASCIA TRIM - COLOR WHITE	
MT-2	5 1/2" METAL CORNER TRIM GUARDS - COLOR WHITE	
MTP-3	METAL TRIM PANEL WITH RAISED TRIM BOARDS - COLOR WHITE	
MT-3	5 1/2" HORIZONTAL METAL TRIM - COLOR WHITE	
MT-5	5 1/2" METAL WINDOW AND DOOR TRIM - COLOR WHITE	
MT-6	METAL RAKE TRIM BOARDS - COLOR WHITE	
MWP-1	HORIZONTAL INSULATED-METAL WALL PANEL - COLOR GRAY	
MWP-2	VERTICAL INSULATED-METAL WALL PANEL - COLOR GRAY	
SF-1	ALUMINUM STORE FRONT SYSTEM WITH CLEAR GLAZING - COLOR BLACK	
SF-2	ALUMINUM STORE FRONT DOOR SYSTEM WITH CLEAR GLAZING - COLOR BLACK	
WT/S-1	INTASKOIP CAST-IT CONCRETE WATER/ABLE/SILL	



REAR ELEVATION

SCALE 3/8" = 1'-0"

REVISIONS	BY

ROBERT M. SEARS \* ARCHITECT  
1930, ROUTE 300, APT.#4, TEL. (845) 476-4859  
NEWBURGH, NEW YORK 12550

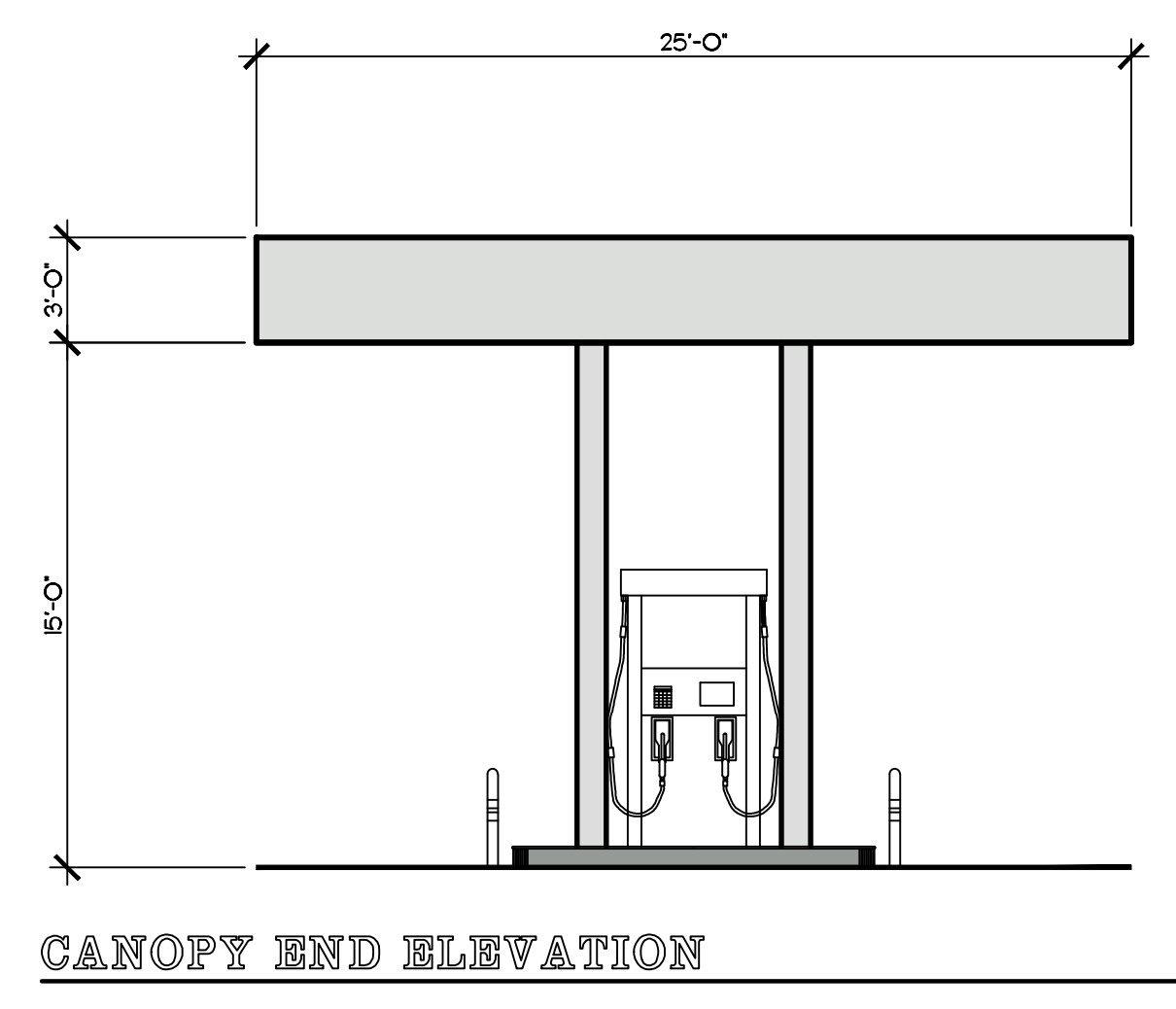
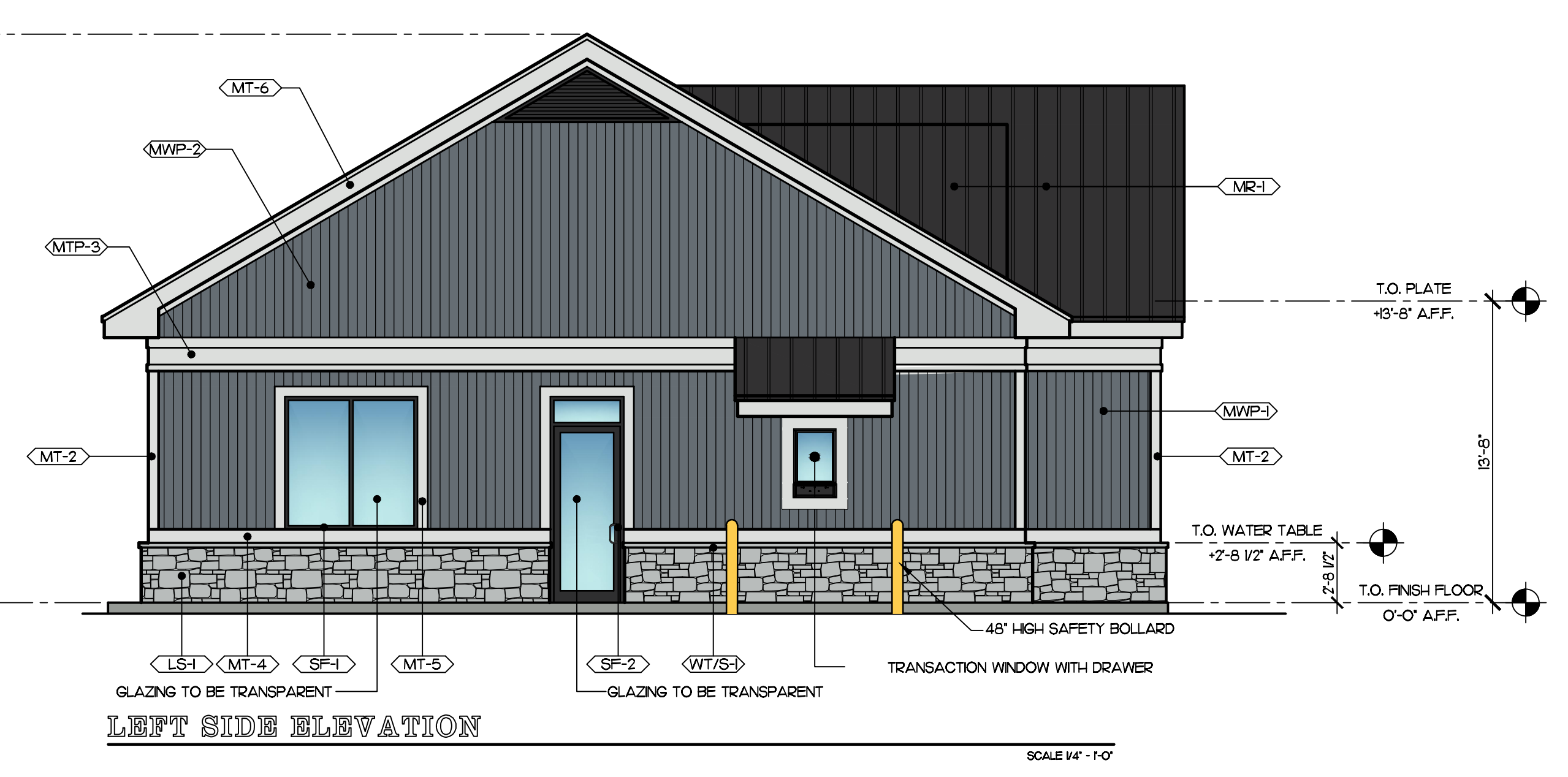
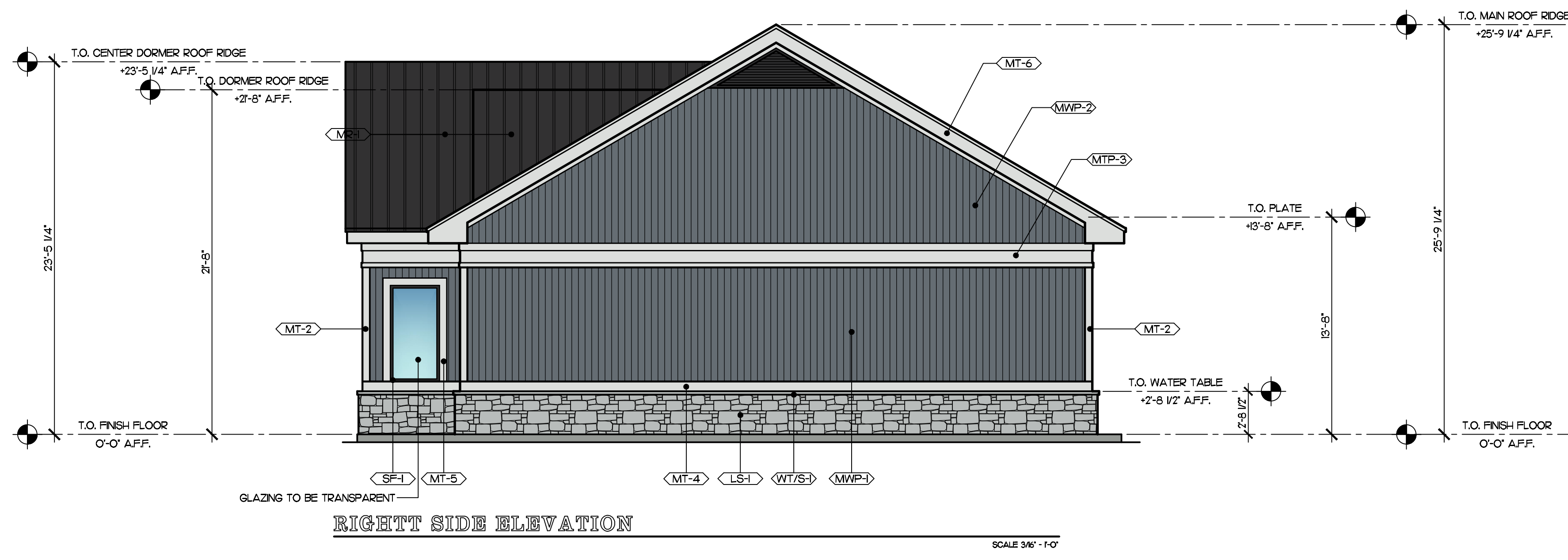
EXTERIOR ELEVATIONS

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF AN ARCHITECT TO REPRODUCE OR ALTER IN ANY MANNER ANY PART OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. IF THE DRAWING IS ALTERED, THE ARCHITECT'S SEAL AND SIGNATURE AND THE DATE OF THE ALTERATION SHALL BE REMOVED AND THE DATE OF THE ALTERATION SHALL BE INDICATED.

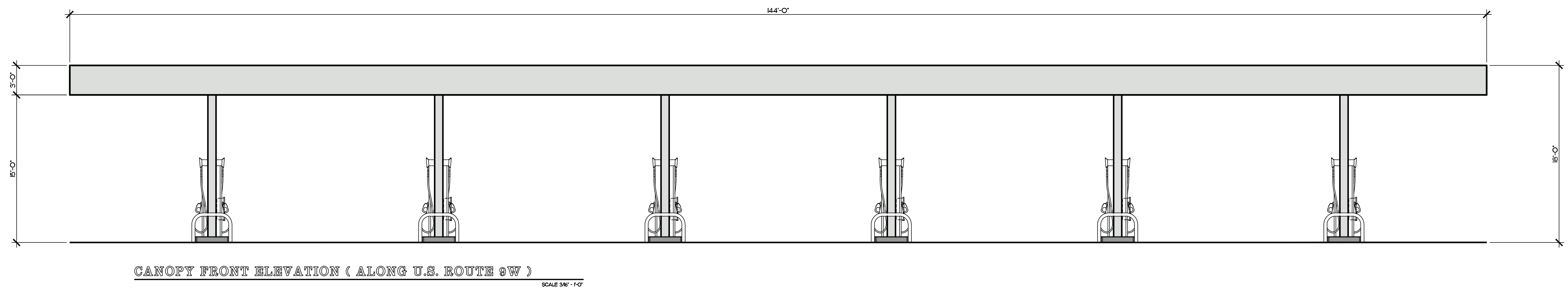
NEW CV STORE AND GAS STATION  
5430 ROUTE 9W  
TOWN OF NEWBURGH, NEW YORK 12560

DATE: 20 APRIL 2023  
SCALE: AS NOTED  
DRAWN: RMS  
JOB: 202306  
SHEET: A-2





FINISH NO.	MATERIAL	MANUF. COLOR
LS-1	LITESTONE - FLAT SHADOW GRAY MIXTURE OF GRAY COLORS PALK STONE REVERSE OR APPROVED EQUAL	
MR-1	STANDING SEAM OR BOARD AND BATTEN METAL ROOFING - COLOR BLACK	
MT-1	3 1/2" METAL FASCIA TRIM - COLOR WHITE	
MT-2	3 1/2" METAL CORNER TRIM SQUARES - COLOR WHITE	
MTP-3	METAL TRIM PANEL WITH RAISED TRIM BOARDS - COLOR WHITE	
MT-4	5 1/2" HORIZONTAL METAL TRIM - COLOR WHITE	
MT-5	5 1/2" METAL WINDOW AND DOOR TRIM - COLOR WHITE	
MT-6	METAL SAVE TRIM BOARDS - COLOR WHITE	
MWP-1	HORIZONTAL INSULATED-OB METAL WALL PANEL - COLOR GRAY	
MWP-2	VERTICAL INSULATED-OB METAL WALL PANEL - COLOR GRAY	
SF-1	ALUMINUM STORE FRONT SYSTEM WITH CLEAR GLAZING - COLOR BLACK	
SF-2	ALUMINUM STORE FRONT DOOR SYSTEM WITH CLEAR GLAZING - COLOR BLACK	
WTS-1	TITANIUM CAST-PIE CONCRETE WATERTABLE/SILL	



REVISIONS	BY

ROBERT M. SEARS \* ARCHITECT  
1930, ROUTE 300, APT.#4, TEL. (845) 476-4859  
NEWBURGH, NEW YORK 12550

PROPOSED EXTERIOR ELEVATIONS

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION AND CONTROL OF AN ARCHITECT TO REPRODUCE OR IN ANY MANNER TO ALTER, THE ARCHITECT'S ARCHITECTURAL DRAWINGS OR SPECIFICATIONS WITHOUT THE NOTATION, ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION.

**NEW CV STORE AND GAS STATION**  
**5430 ROUTE 9W**  
**TOWN OF NEWBURGH, NEW YORK 12550**

DATE: 20 APRIL 2023  
SCALE: AS NOTED  
DRAWN: RMS  
JOB: 202306  
SHEET: **A-3**

# PRELIMINARY SITE PLAN APPROVAL DRAWINGS

# NEWBURGH COMMONS

## TAX MAP SECTION 09 | BLOCK 01 | LOTS 53.1, 13

## ORANGE COUNTY

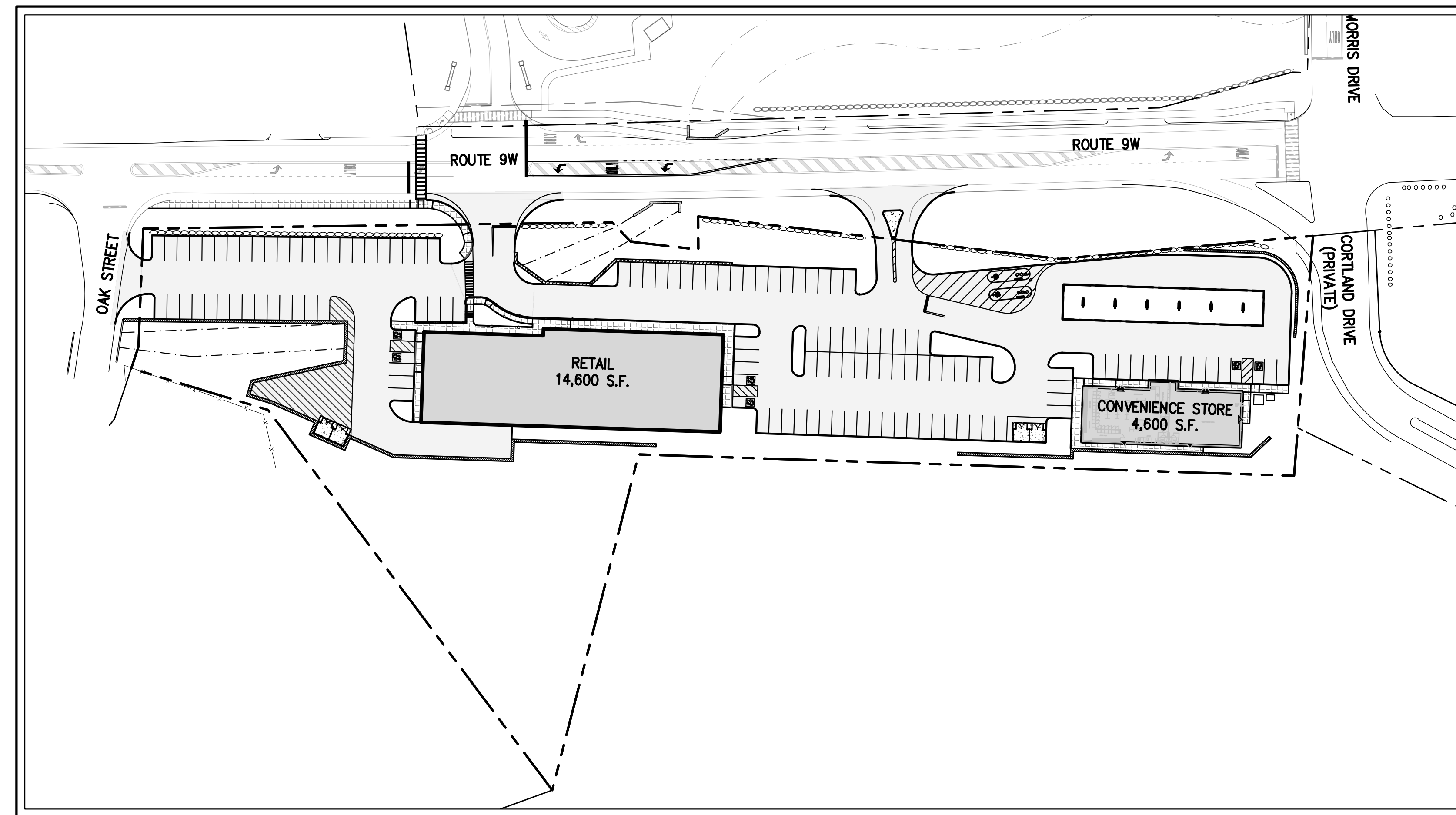
## 5430 & 5450 ROUTE 9W

## TOWN OF NEWBURGH, NY 12550

**Applicant/Owner:**  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

**Attorney:**  
**STANLEY A. SCHUTZMAN ESQ.**  
 61 S. MAIN STREET, SUITE 5  
 NEW CITY, NY 10956

**JMC** Site Planner, Civil & Traffic Engineer,  
 Surveyor and Landscape Architect:  
 120 BEDFORD ROAD  
 ARMONK, NY 10504  
 (914) 273-5225

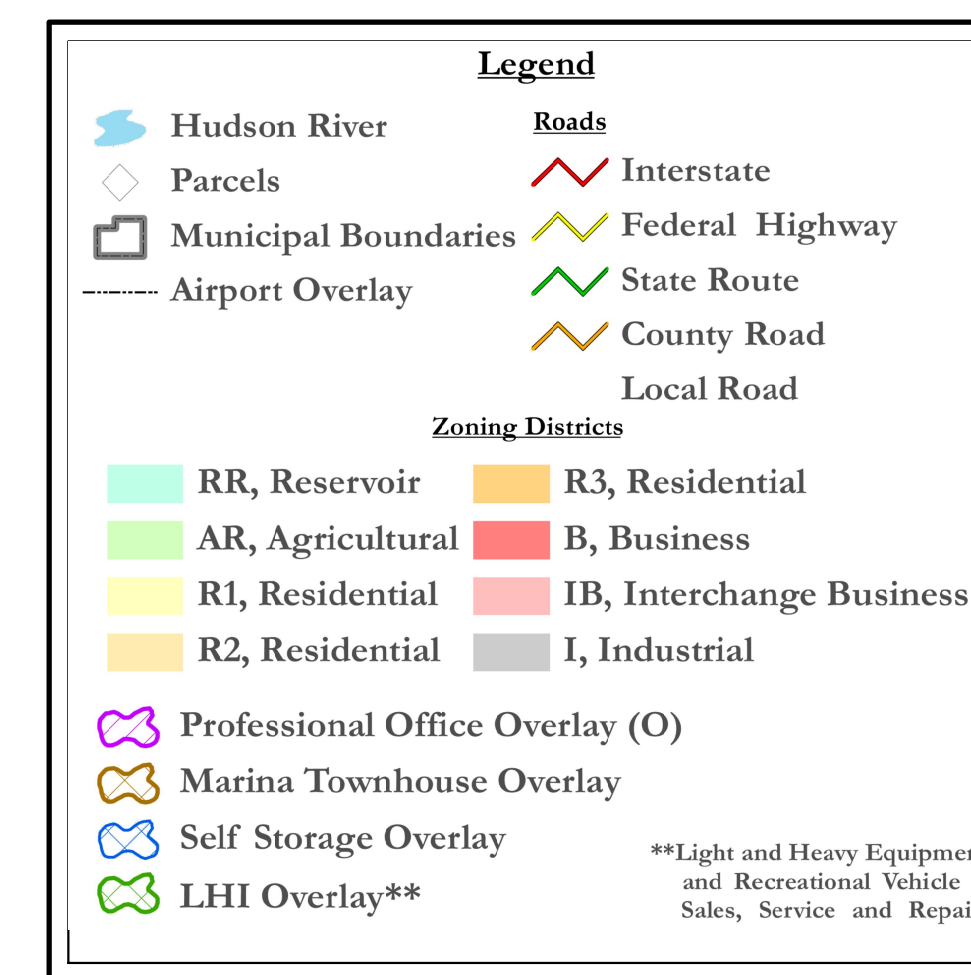
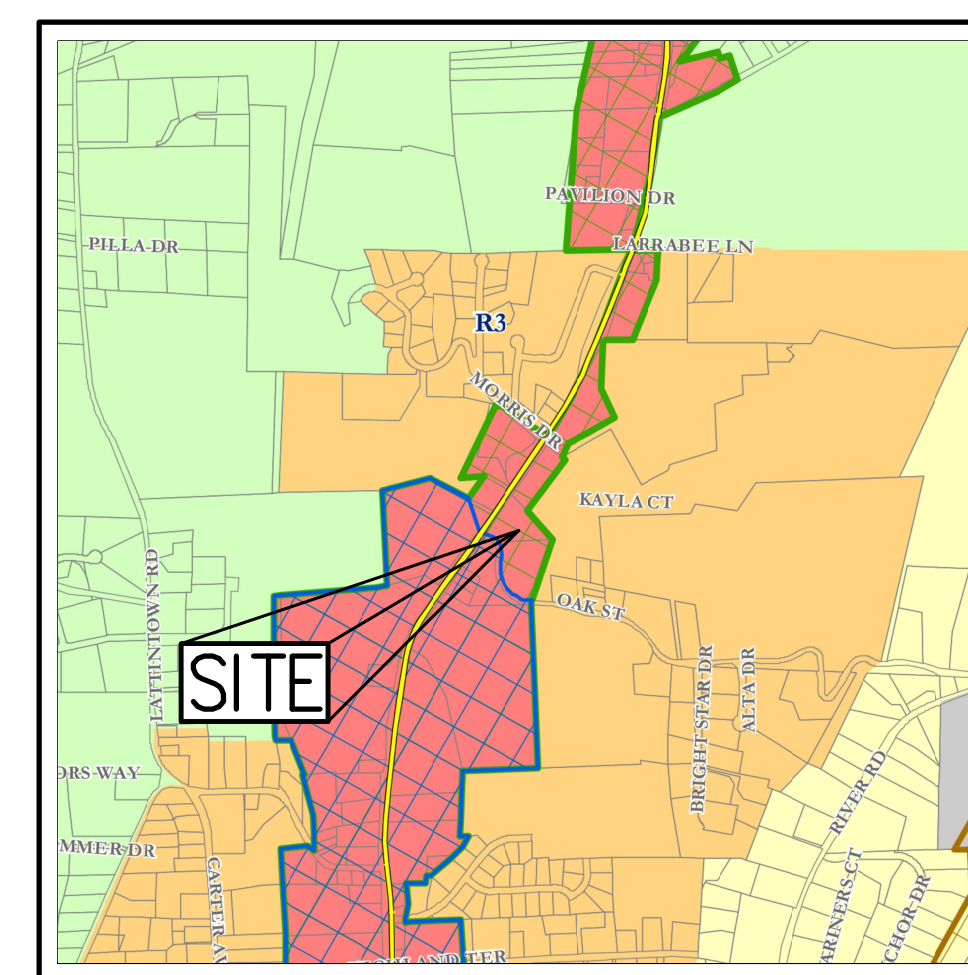


**JMC Drawing List:**

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP AND LOT CONSOLIDATION PLAN
- C-020 DEMOLITION PLAN
- C-100 LAYOUT PLAN
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- C-903 CONSTRUCTION DETAILS
- C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS
- C-906 CONSTRUCTION DETAILS
- C-907 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN

TABLE OF LAND USE			
SECTION 09, BLOCK 01, LOTS 53.1 AND 13			
ZONE "B DISTRICT" - "BUSINESS"			
FIRE DISTRICT: MIDDLEHOPE			
SCHOOL DISTRICT: MARLBORO SCHOOL DISTRICT			
PROPOSED USE: RETAIL, GAS STATION AND CONVENIENCE STORE			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF/AC)	35,000/0.80	160,030/3.67	160,030/3.67
LOT WIDTH (FEET)	100	840±	840±
LOT DEPTH (FEET)	125	290±	290±
LOT BUILDING COVERAGE (PERCENT)	40	2±	12± <sup>(1)</sup>
BUILDING HEIGHT (FEET)	35	2 STORES	26
LOT SURFACE COVERAGE (PERCENT)	80	12±	62±
<b>YARDS</b>			
FRONT BUILDING SETBACK (FEET)	60 MIN <sup>(2)</sup>	61	61 <sup>(3)</sup>
REAR BUILDING SETBACK (FEET)	30 MIN.	29	18 <sup>(4)</sup>
SIDE BUILDING SETBACK (FEET)	25 MIN <sup>(5)</sup>	116	40
<b>PARKING SUMMARY</b>			
TOTAL SPACES (SPACES)	133 <sup>(6)</sup>	N/A	134 <sup>(6)</sup>
STANDARD SPACES (SPACES)	128	N/A	128
HANDICAP SPACES (SPACES)	5	N/A	6
<b>LOADING SUMMARY</b>			
TOTAL SPACES (SPACES)	2 <sup>(7)</sup>	N/A	2 <sup>(7)</sup>

**AREA MAP**  
 SCALE: 1"=60'



**ZONING MAP**  
 SCALE: NTS  
 SOURCE: TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 OFFICIAL ZONING MAP  
 LAST AMENDMENT ADOPTED 11 JUNE 2012

**ZONING MAP LEGEND**

**VICINITY MAP**  
 SCALE: 1" = 500'  
 SOURCE: OPENSTREETMAP.ORG

**NOTES:**  
 (1) BUILDING COVERAGE CALCULATION DOES NOT INCLUDE THE GAS PUMP CANOPY.  
 (2) SECTION 165-18 - EXCEPTIONS TO DISTRICT REGULATIONS (4)(i) REQUIRES FRONT YARDS ABUTTING ALL STATE AND COUNTY HIGHWAYS BE AT LEAST 60 FEET IN DEPTH.  
 (3) IN THE TOWN OF NEWBURGH A BUILDING IS DEFINED AS: "A STRUCTURE WHOLLY OR PARTIALLY ENCLOSED WITHIN EXTERIOR WALLS AND A ROOF AFFORDING SHELTER TO PERSONS, ANIMALS OR PROPERTY." IT IS ASSUMED THEREFORE, THAT THE GAS PUMP CANOPY IS NOT SUBJECT TO BUILDING SETBACKS. IF IT IS DETERMINED THAT THE GAS PUMP IS SUBJECT TO SETBACKS A VARIANCE WILL BE SOUGHT.  
 (4) VARIANCE REQUIRED FOR REAR BUILDING SETBACK.  
 (5) SECTION 165-18 - EXCEPTIONS TO DISTRICT REGULATIONS (5)(a) COMMERCIAL USES ABUTTING A SIDE YARD AND BUILDING SQUARE FOOTAGE LESS THAN 30,000. MINIMUM SIDE YARD IS 25 FEET.  
 (6) PARKING: RETAIL AT 1 SPACE/150 GSF = 128. GAS PUMP REQUIRES 5 ADDITIONAL SPACES.  
 (7) LOADING: EACH RETAIL UNDER 25,000 S.F. REQUIRES 1 LOADING SPACE.

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

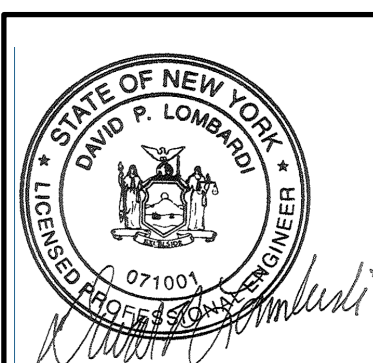
SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By

Previous Editions Obsolete

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



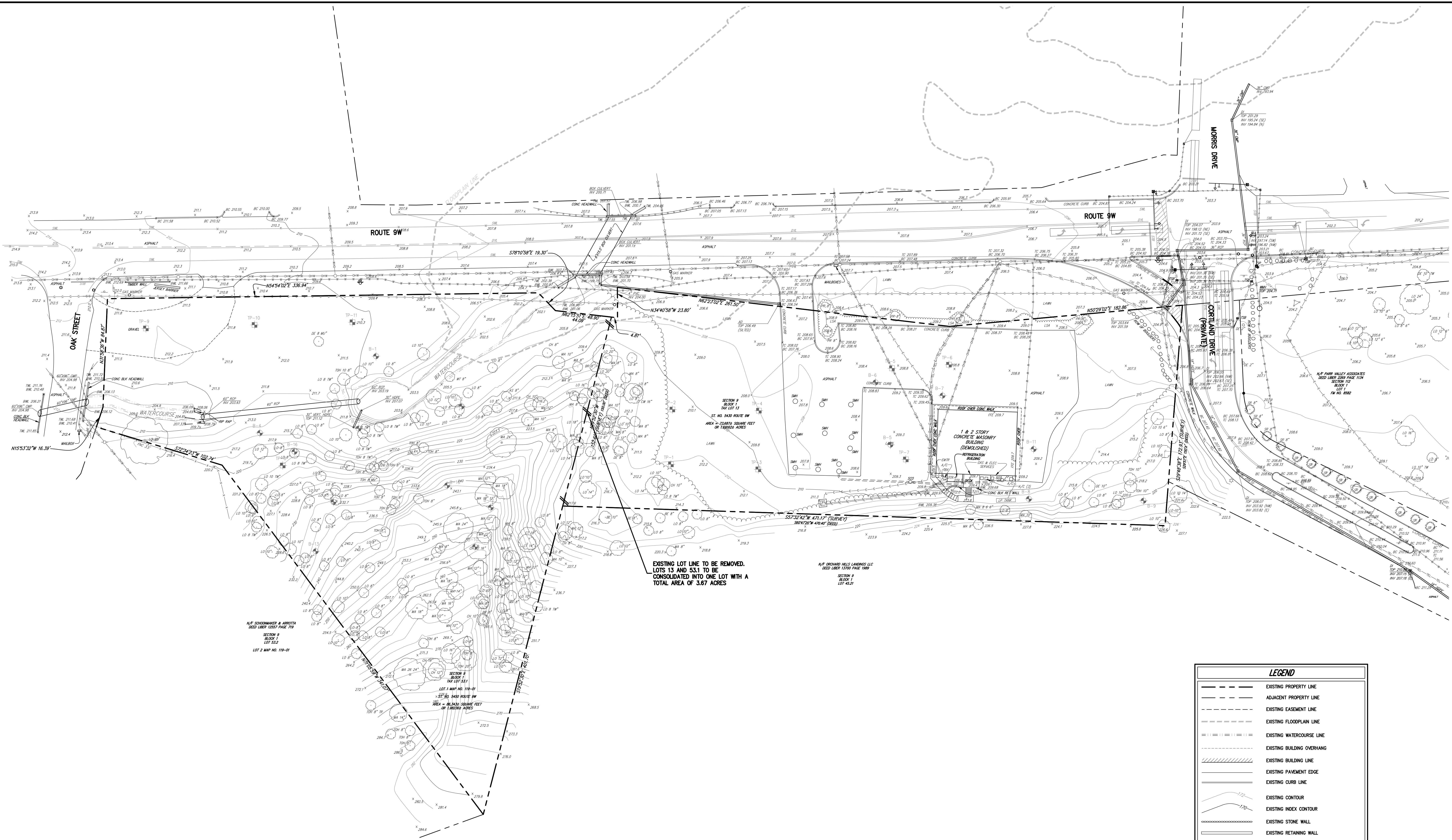
**JMC** Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpllc.com

Client: **BMS** Approved: **XX**  
 Scale: **NOT TO SCALE**  
 Date: **11/13/2023**  
 Project No: **17160**  
 1709-SE COVER COVER.let  
 Drawing No: **C-000**

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

Copyright © 2023 by JMC. All Rights Reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC. This drawing is the property of JMC and is not to be used for any other project without the prior written permission of JMC.



EXISTING LOT LINE TO BE REMOVED. LOTS 13 AND 53.1 TO BE CONSOLIDATED INTO ONE LOT WITH A TOTAL AREA OF 3.67 ACRES

N/E ORCHARD HILLS LANDINGS LLC DEED LIBER 1200 PAGE 1989 SECTION 9 BLOCK 1 LOT 451

N/P SCHOENMAKER & ASSOCIATES DEED LIBER 1055 PAGE 719 SECTION 9 BLOCK 1 LOT 53.1 LOT 3 MAP NO. 119-01

SECTION 9 BLOCK 1 LOT 1 MAP NO. 119-01 LOT 1 AREA = 0.3434 SQUARE FEET OR 7.92 SQUARE METERS

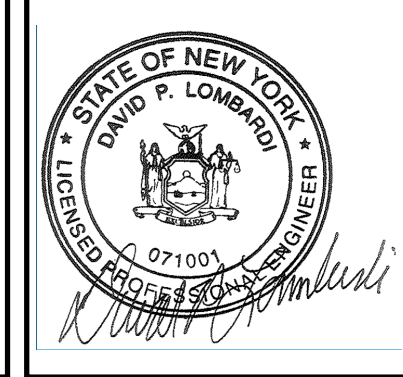
1 & 2 STORY CONCRETE MASONRY BUILDING (DEMOLISHED)

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING FLOODPLAIN LINE
	EXISTING WATERCOURSE LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING POINT
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND CONDUIT
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	TEST PIT LOCATION AND DESIGNATION
	BORING LOCATION AND DESIGNATION

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, PLLC, DATED 05/02/2018 AND "SURVEY OF PROPERTY" PREPARED BY JMC DATED 10/16/2017.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "BORING & TEST PIT LOCATION PLAN", DATED 06/01/2022, PREPARED BY CARLIN-SIMPSON AND ASSOCIATES, LLC.
  - THE 100-YEAR FLOOD FLOODPLAIN BOUNDARY DEPICTED ON THIS PLAN HAS BEEN TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 36071C0153E, EFFECTIVE DATE AUGUST 3, 2009. THE 100-YEAR FLOOD IS LOCATED IN "ZONE A" WHICH IS DEFINED AS "NO BASE FLOOD ELEVATIONS DETERMINED."

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

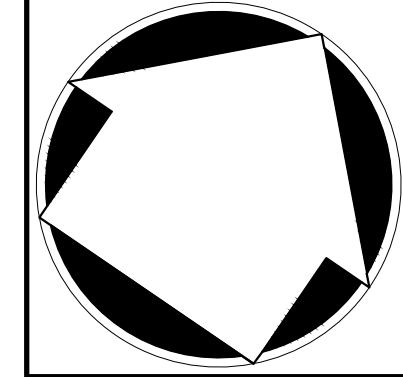
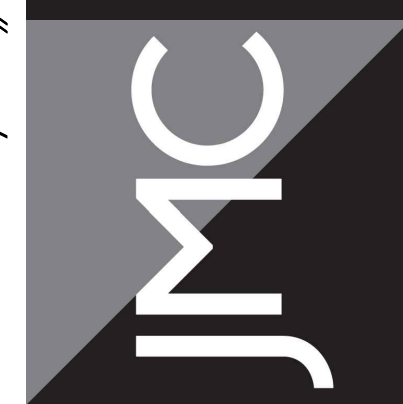
EXISTING CONDITIONS AND LOT CONSOLIDATION PLAN  
NEWBURGH COMMONS  
5430 & 5450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550



Drawn: BMS Approved: XX  
Scale: 1" = 30'  
Date: 11/13/2023  
Project No: 17160  
1706-SE EXIST EXIST-SE  
Drawing No: C-010

APPLICANT/OWNER:  
5450 RTE 9W LLC  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946

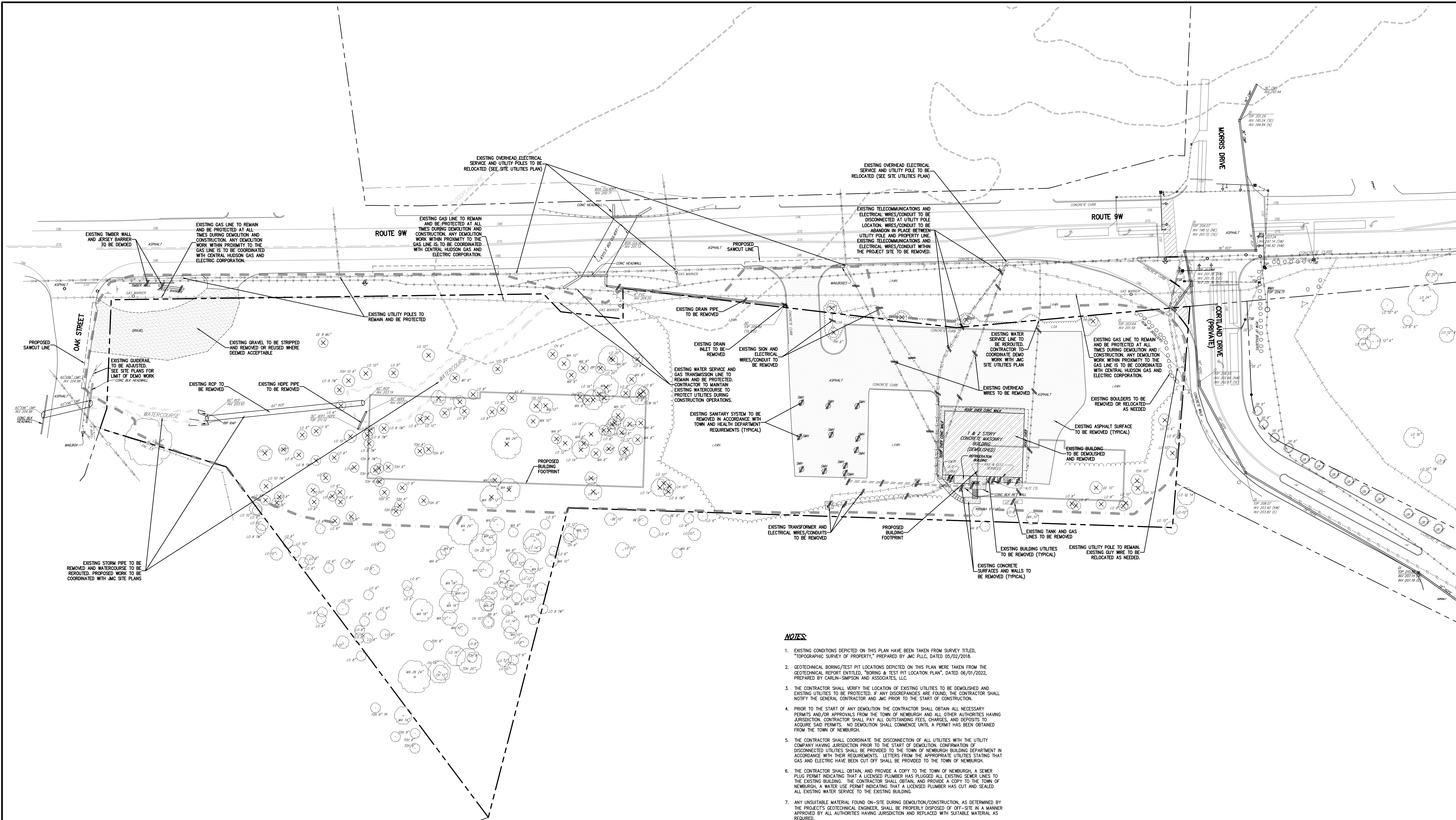
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • BRIDGEMAN, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
www.jmcplic.com



No.	Revision	Date	By

Project Engineer: Charles

NOT FOR CONSTRUCTION

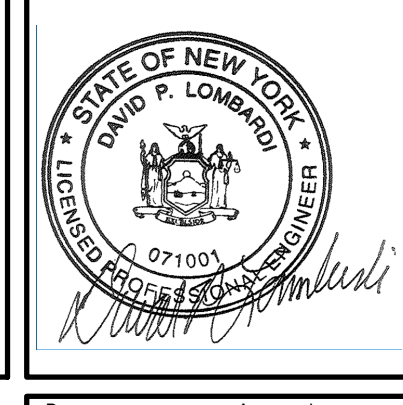


NOTES

- 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC PLLC, DATED 05/02/2018.
2. GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "BORING & TEST PIT LOCATION PLAN," DATED 08/01/2022, PREPARED BY CARLIN-SIMPSON AND ASSOCIATES, LLC.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
4. PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF NEWBURGH AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN OF NEWBURGH.
5. THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. CONFIRMATION OF DISCONNECTED UTILITIES SHALL BE PROVIDED TO THE TOWN OF NEWBURGH BUILDING DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS. LETTERS FROM THE APPROPRIATE UTILITIES STATING THAT GAS AND ELECTRIC HAVE BEEN CUT OFF SHALL BE PROVIDED TO THE TOWN OF NEWBURGH.
6. THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY TO THE TOWN OF NEWBURGH, A SEWER PLUG PERMIT INDICATING THAT A LICENSED PLUMBER HAS PLUGGED ALL EXISTING SEWER LINES TO THE EXISTING BUILDING. THE CONTRACTOR SHALL OBTAIN, AND PROVIDE A COPY TO THE TOWN OF NEWBURGH, A WATER USE PERMIT INDICATING THAT A LICENSED PLUMBER HAS CUT AND SEALED ALL EXISTING WATER SERVICE TO THE EXISTING BUILDING.
7. ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING DEMOLITION/CONSTRUCTION, AS DETERMINED BY THE PROJECT'S GEOTECHNICAL ENGINEER, SHALL BE PROPERLY DISPOSED OF OFF-SITE, IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
8. ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
9. ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF NEWBURGH.
10. ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
11. EXISTING CONCRETE MAY BE STORED ON SITE, AND RECYCLED FOR USE AS COMPACTED FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
12. PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWING C-400 EROSION AND SEDIMENT CONTROL PLAN, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF NEWBURGH OR JMC.
13. EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
14. ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
15. ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
16. THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE. INFORMATION AND COORDINATION ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
17. THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE TOWN OF NEWBURGH, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN DEMOLITION AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE TOWN OF NEWBURGH ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE TOWN OF NEWBURGH PRIOR TO OBTAINING A DEMOLITION PERMIT.
18. THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY THE TOWN OF NEWBURGH DEPARTMENT OF HEALTH AND MENTAL HYGIENE. A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE TOWN OF NEWBURGH DEPARTMENT OF BUILDINGS.
19. PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN OF NEWBURGH.
20. THE CONTRACTOR SHALL PROVIDE VERIFICATION TO THE TOWN OF NEWBURGH THAT FIVE (5) DAYS' PRIOR NOTIFICATION WAS GIVEN TO ALL ADJOINING OWNERS AND THAT NOTIFICATION WAS GIVEN TO THE APPROPRIATE COMMUNITY BOARD PRIOR TO THE COMMENCEMENT OF DEMOLITION.

LEGEND table with columns for existing and proposed features. Includes symbols for property lines, easements, utility lines, building footprints, and materials to be removed or added.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

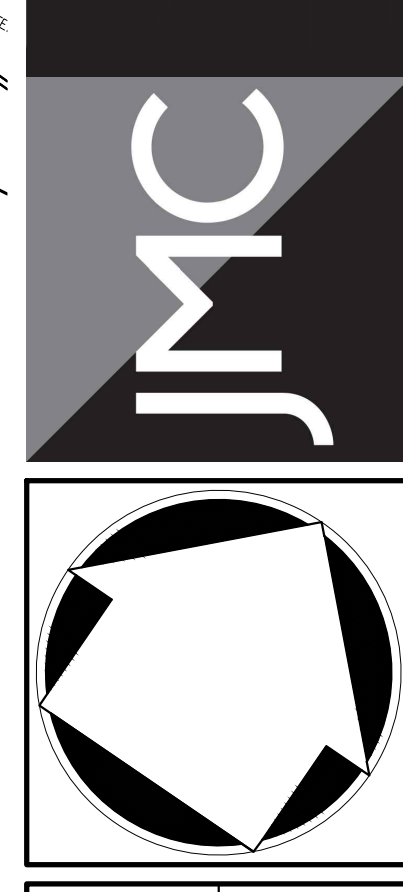


Drawn: BMS Approved: XX
Scale: 1" = 30'
Date: 11/13/2023
Project No: 17160
1766-SITE DEMO DEMO-SITE
Drawing No: C-020

Revision table with columns for No., Description, and Date.

APPLICANT/OWNER: 5450 RTE 9W LLC, 225 WEST MONTAUK HIGHWAY, SUITE 1, HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.
120 BEDFORD ROAD • BRIDGEVIK, NY 10504
www.jmcpllc.com



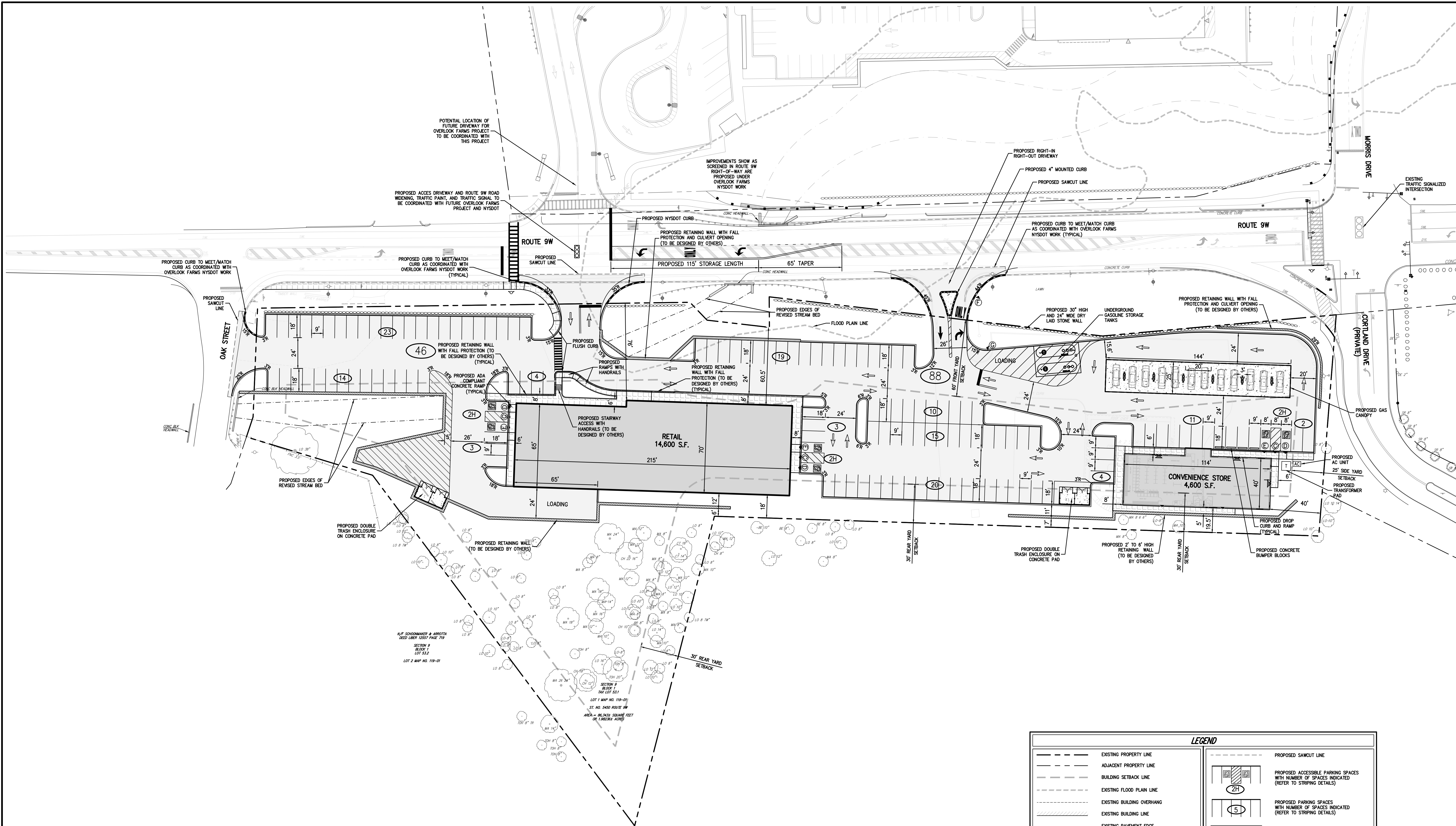
DEMOLITION PLAN
NEWBURGH COMMONS
5430 & 5450 ROUTE 9W
TOWN OF NEWBURGH, NY 12550

NOT FOR CONSTRUCTION

COPYRIGHT © 2023 BY JMC. All Rights Reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.

**SIGN TABLE**

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	INSTALLATION TYPE	INSTALLATION HEIGHT	REGULATORY REFLECTORIZED
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1 X
B	NO ENTRY	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1 X
C	WARNING	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYSP1-2 X
D	PREPARED PARKING	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 X
E	RESERVED PARKING	12"x18" 12"x8"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A X
F	ONE WAY	24"x24"	BLACK & RED ON WHITE	STEEL CHANNEL	7'-0"	R3-2 X
G	STOP	30"x30" 24"x12"	WHITE ON RED BLACK ON YELLOW	STEEL CHANNEL	7'-0"	R1-1 W4-4aP(R) X



**LEGEND**

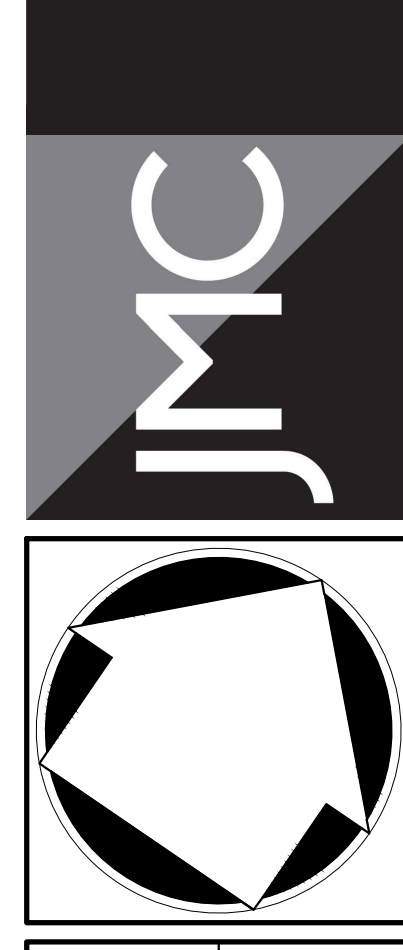
	EXISTING PROPERTY LINE		PROPOSED SAWCUT LINE
	ADJACENT PROPERTY LINE		PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	BUILDING SETBACK LINE		PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	EXISTING FLOOD PLAN LINE		PROPOSED CONCRETE SIDEWALK
	EXISTING BUILDING OVERHANG		PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	EXISTING BUILDING LINE		PROPOSED DROP CURB AND RAMP
	EXISTING PAVEMENT EDGE		PROPOSED HEAVY DUTY PAVEMENT
	EXISTING CURB LINE		PROPOSED RIP RAP
	EXISTING WATERCOURSE LINE		PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	EXISTING STONE WALL		PROPOSED FLUSH CURB
	EXISTING RETAINING WALL		PROPOSED GUIDE RAIL
	EXISTING GUIDE RAIL		PROPOSED HAND RAIL
	EXISTING FENCE		PROPOSED FENCE
	EXISTING TREE AND DESIGNATION		PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	EXISTING DIRECTIONAL ARROWS		PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	EXISTING PAINT		PROPOSED 2-4" WIDE YELLOW LINES @ P.O.C.
	EXISTING FIRE HYDRANT		PROPOSED 1-4" WIDE WHITE LINE
	EXISTING UTILITY POLE		PROPOSED 12" WIDE WHITE STOP LINE
	EXISTING SIGN		PROPOSED ARROW MARKING ON PAVEMENT
	PROPOSED UTILITY POLE LOCATION		PROPOSED WORD MARKING ON PAVEMENT
	PROPOSED BUILDING LINE		TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED CONCRETE CURB		
	PROPOSED NYSOT CURB		
	PROPOSED 4" MOUNTED CURB		
	PROPOSED WATERCOURSE		

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, PLLC, DATED 05/02/2018.

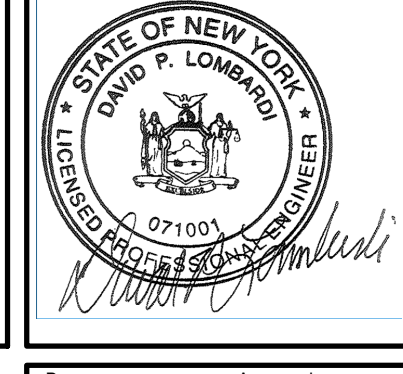
No.	Revision	Date	By

APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
 120 BEDFORD ROAD • BRIDGEMAN, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpic.com



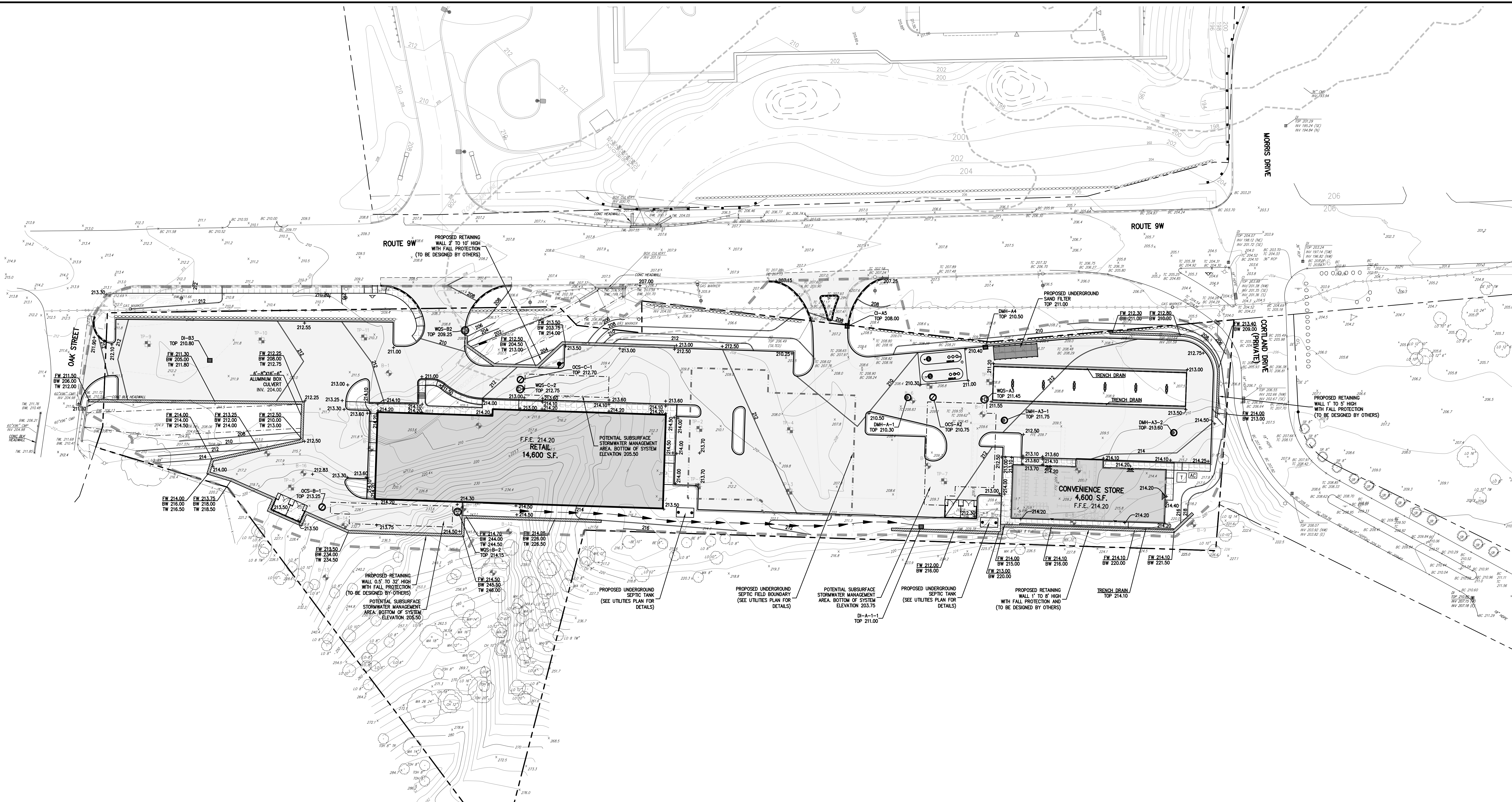
**LAYOUT PLAN**  
**NEWBURGH COMMONS**  
 5450 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550



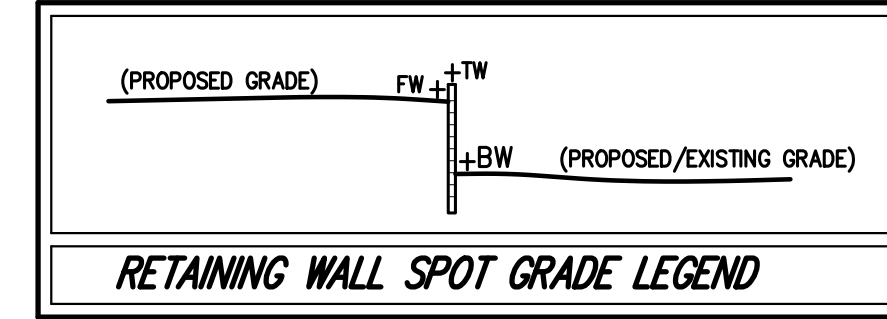
Drawn: **BMS** Approved: **XX**  
 Scale: **1" = 30'**  
 Date: **11/13/2023**  
 Project No: **17160**  
 1768-SIE LAYOUT LAY.ppt  
 Drawing No: **C-100**

NOT FOR CONSTRUCTION

Copyright © 2023 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC. This document is the property of JMC and is loaned to the client for their use only. It is not to be distributed, copied, or used for any other project without the prior written permission of JMC.

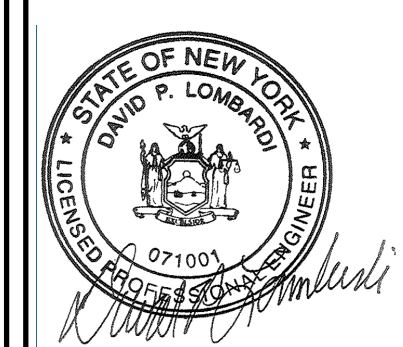


- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, P.L.C., DATED 05/02/2016.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION", DATED 06/01/2022, PREPARED BY CARLIN SIMPSON & ASSOCIATES.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING WATERCOURSE LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED WATERCOURSE LINE
	PROPOSED BUILDING OVERHANG
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED SEPTIC AREA
	PROPOSED SWALE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED RIP-RAP
	TEST PIT LOCATION AND DESIGNATION
	BORING LOCATION AND DESIGNATION

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

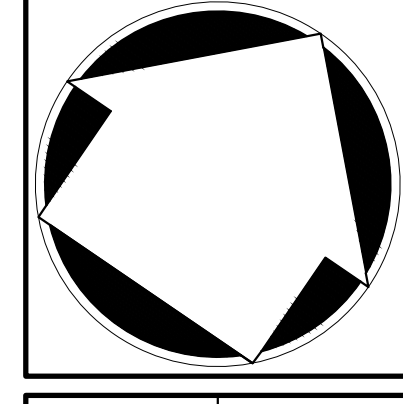


Client: BMS Approved: XX  
 Scale: 1" = 30'  
 Date: 11/13/2023  
 Project No: 17160  
 1709-SE GRAD GRAD.dwg  
 Drawing No: C-200

No.	Revision	Date	By

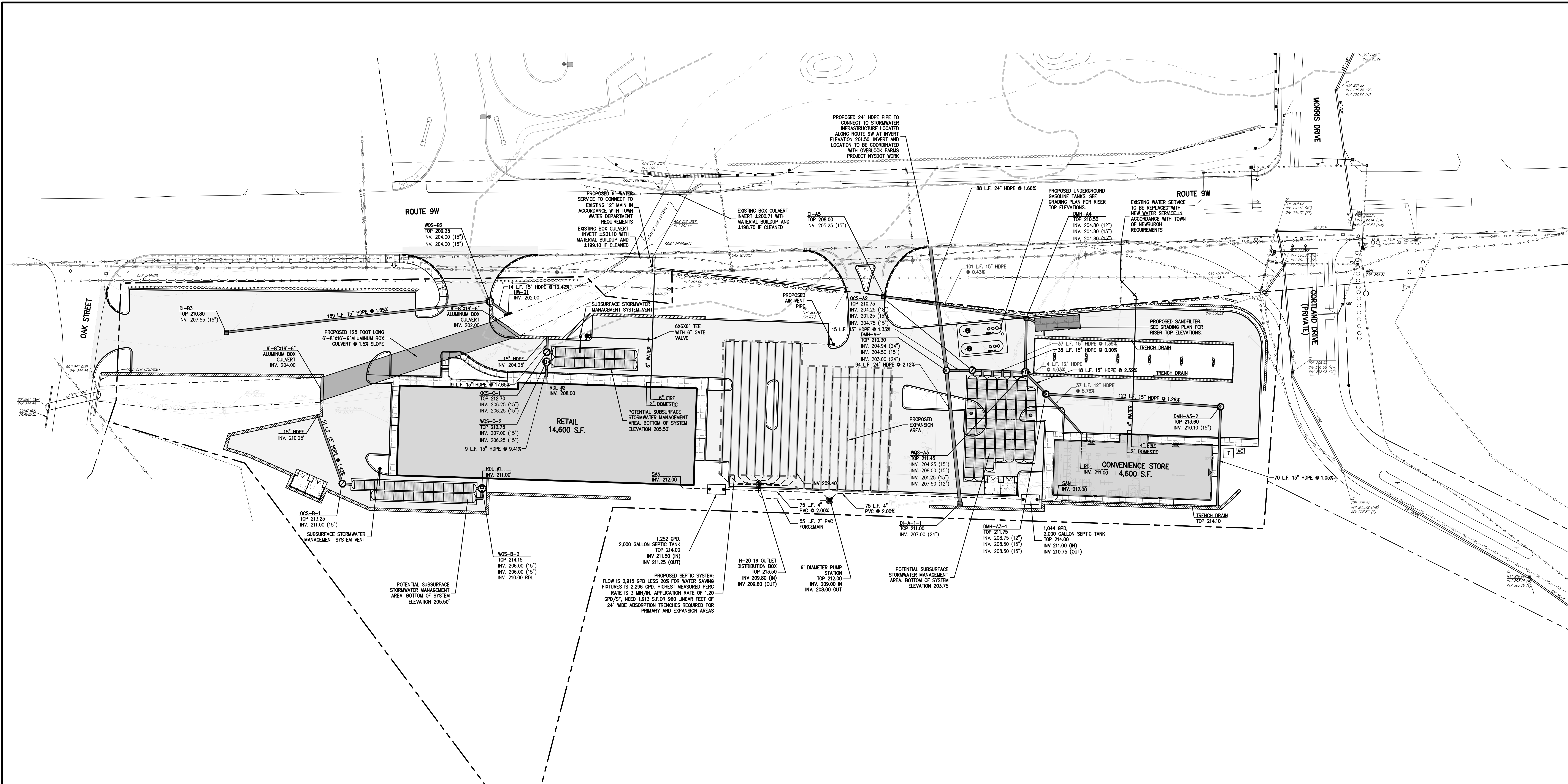
APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • WATKINS, NY 10594  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpllc.com



**GRADING PLAN**  
**NEWBURGH COMMONS**  
 5450 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

Scale: 1" = 30'  
 Date: 11/13/2023  
 Project No: 17160  
 1709-SE GRAD GRAD.dwg  
 Drawing No: C-200

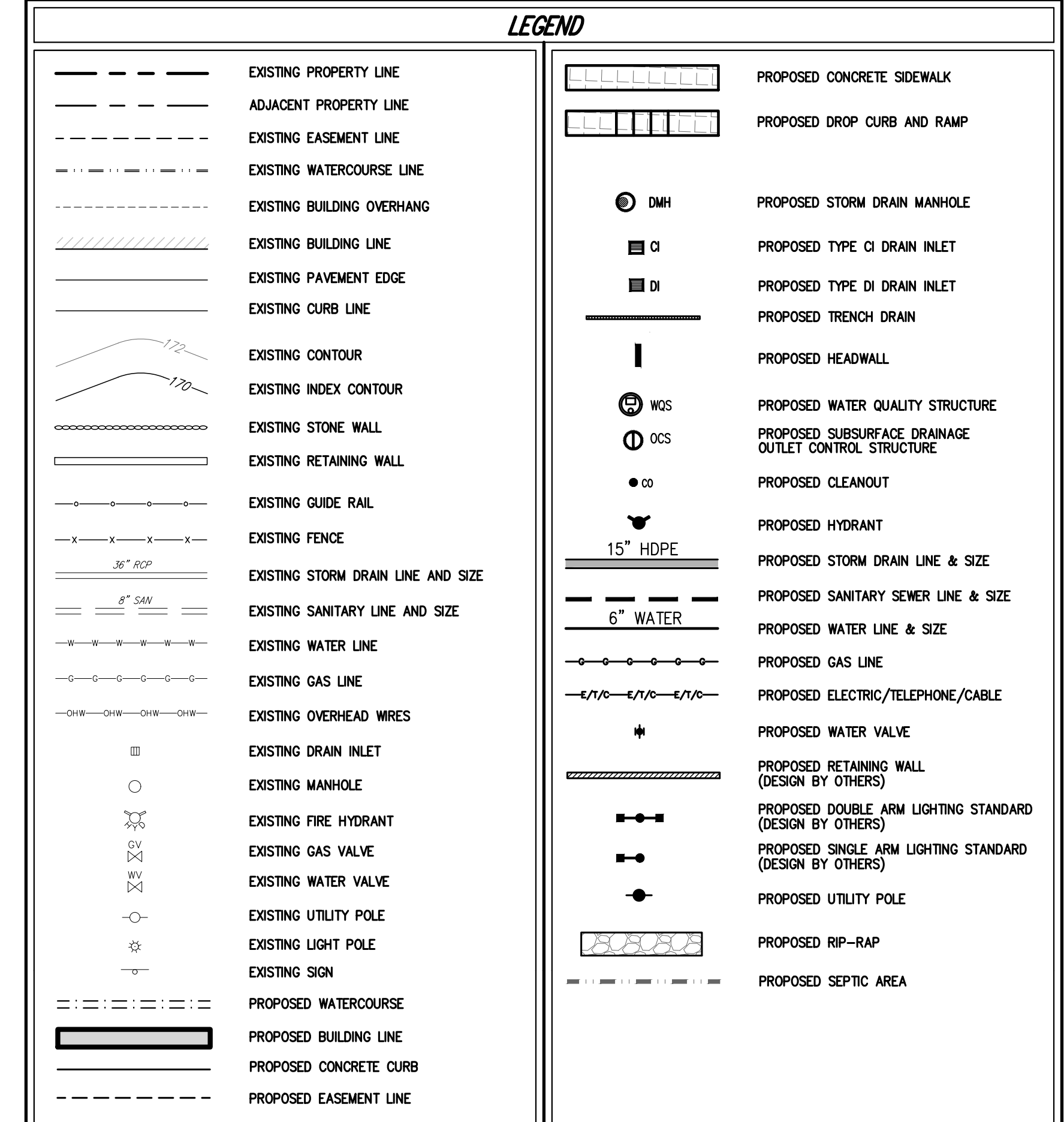


**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, PLLC, LAST REVISED 05/02/2018.
- ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52, WITH MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-150, C-101, C-104 AND C-111.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALIC SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL, TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL, ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. COPORATION STOPS SHALL BE MUELLER H-1502Z FOR 1/2 AND 1 INCH, MUELLER H-1500D OR B-2500D FOR 1 1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501Z FOR 1/2 AND 1 INCH AND MUELLER B-2504D FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031Z FOR 1/2 AND 1 INCH AND MUELLER H-1031D FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE

- WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A NEW YORK STATE CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- TALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPPED YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
- ALL WATER MAINS SHALL BE 8" CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- THIS PROJECT HAS INDICATED THE INTENT TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS, THEREFORE, EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NEPA REQUIREMENTS.
- THE PROPOSED CLUBHOUSE POOL DESIGN AND WATER SERVICE LINES SHALL BE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION. ALL WATER SERVICES TO THE PROPOSED POOL SHALL REQUIRE AN APPROPRIATE BACKFLOW PREVENTER DEVICE TO PREVENT CROSS CONNECTION TO THE PROPOSED DISTRIBUTION SYSTEM.
- BACKFLOW PREVENTION DEVICES FOR BOTH THE 2" DOMESTICS AND 4" FIRE SERVICES TO BE APPROVED BY OCOH AND ARE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND SHALL PERFORM ALL WORK REQUIRED IN CONNECTION WITH ALL THE TESTS AS SPECIFIED HEREIN. ALL PIPE SHALL BE TESTED BY HYDROSTATIC PRESSURE, FIFTY (50) PERCENT IN EXCESS OF THE NORMAL PSI WORKING PRESSURE BUT NOT LESS THAN 150 PSI OR MORE THAN THE DESIGN RATING OF THE PIPE APPURTENANCES, IN ACCORDANCE WITH AWWA SPECIFICATION C-600. THE TEST SHALL BE DETERMINED BY THE WATER AUTHORITY AND/OR OWNER'S FIELD REPRESENTATIVE. EACH SECTION TESTED SHALL BE SLOWLY FILLED WITH WATER, CARE BEING TAKEN TO EXPEL ALL AIR FROM THE PIPE. IF NECESSARY, THE PIPES SHALL BE TAPPED AT HIGH POINTS TO VENT THE AIR. REQUIRED PRESSURE, AS MEASURED AT THE POINT OF LOWEST ELEVATION, SHALL BE

- APPLIED FOR NOT LESS THAN TWO (2) HOURS, AND ALL PIPE, FITTINGS, VALVES, HYDRANTS AND JOINTS SHALL BE CAREFULLY EXAMINED FOR DEFECTS. LEAKY JOINTS SHALL BE MADE WATER TIGHT.
- IF THE SECTION BEING TESTED SHALL FAIL TO PASS THE PRESSURE TEST OR THE LEAKAGE TEST, OR BOTH, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO LOCATE, UNCOVER, AND REPAIR OR REPLACE THE DEFECTIVE PIPE, FITTINGS OR JOINTS, AND ALL SUCH WORK SHALL BE DONE AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DISTRICT, HEALTH DEPARTMENT OR ANY OTHER AUTHORITY HAVING JURISDICTION OVER ALL OR ANY PORTION OF THE WATER LINES INSTALLED UNDER THIS CONTRACT, THE MORE RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- AFTER THE WATER LINE HAS PASSED THE REQUIRED PRESSURE AND LEAKAGE TESTS AND BEFORE BEING PLACED INTO SERVICE, THE ENTIRE LINE SHALL BE DISINFECTED. ALL DISINFECTING METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-651. ALL DISINFECTION OPERATIONS AND PROCEDURES SHALL MEET WITH THE APPROVAL OF THE WATER AUTHORITY AND HEALTH DEPARTMENT.
- IF THE INITIAL BACTERIOLOGICAL TESTS ARE NOT SATISFACTORY, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS, INCLUDING MAKING PROVISIONS TO ISOLATE SHORTER SECTIONS OF LINE TO LOCATE THE SOURCE OF CONTAMINATION. ALL WORK NECESSARY AND REQUIRED TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS SHALL BE AT THE CONTRACTORS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- THE DESIGN, CONSTRUCTION AND INSTALLATION OF THE WATER MAINS SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE: "RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)" "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH" "NEW YORK STATE DEPARTMENT OF HEALTH AND ORANGE COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES, AND STANDARDS."
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE BY THE PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE PROFESSIONAL ENGINEER.
- ALL WATER DISTRIBUTION SYSTEM PIPES AND APPURTENANCES SHALL CONFORM TO CURRENT TOWN OF NEWBURGH STANDARDS.
- BACKFLOW PREVENTION DEVICES WILL BE LOCATED IN THE BUILDING. APPLICATION FOR APPROVAL SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE MECHANICAL ENGINEER/ARCHITECT.
- UNDER INDUSTRIAL CODE 753, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT "MASTER LIST OF OPERATORS" ON FILE WITH THE CENTRAL REGISTRY AS WELL AS THE TOWN OF NEWBURGH AND NYSDEC PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES. THE CONTRACTOR SHALL, AT HIS OR HER OWN EXPENSE, REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE OR SHE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION TO UTILITY SERVICE.
- POTABLE WATER PIPE NETWORKS MUST BE IN COMPLIANCE WITH THE "NO LEAD LAW", THE AMENDMENT TO THE SAFE DRINKING WATER ACT WHICH PROHIBITS THE USE OF BRASS PRODUCTS CONTAINING MORE THAN 0.2% LEAD. THE WATER SERVICE INSTALLATION MUST ALSO COMPLY WITH THE "NO LEAD LAW" THAT WENT INTO EFFECT JANUARY 4, 2014.
- HYDRANT DRAINS ARE TO BE PLUGGED IF GROUNDWATER IS EXPECTED WITHIN 2' OR LESS BELOW BASE. WHEN DRAINS ARE PLUGGED, THE BARRELS MUST BE PUMPED OUT AFTER USE AND THESE HYDRANTS MUST BE MARKED/LABELLED TO INDICATE AS SUCH.

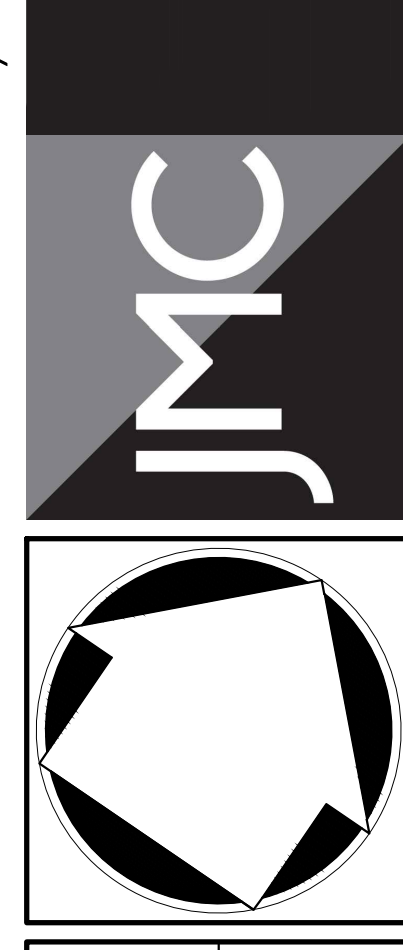


ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

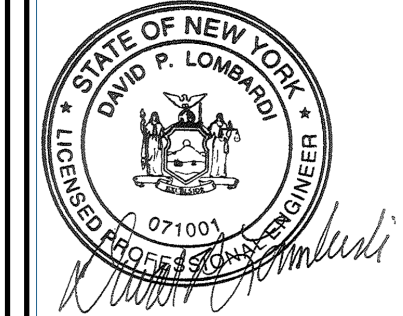
No.	Revision	Date	By

APPLICANT/OWNER  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
 120 BEDFORD ROAD • MIDDLETOWN, NY 10954  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpllc.com

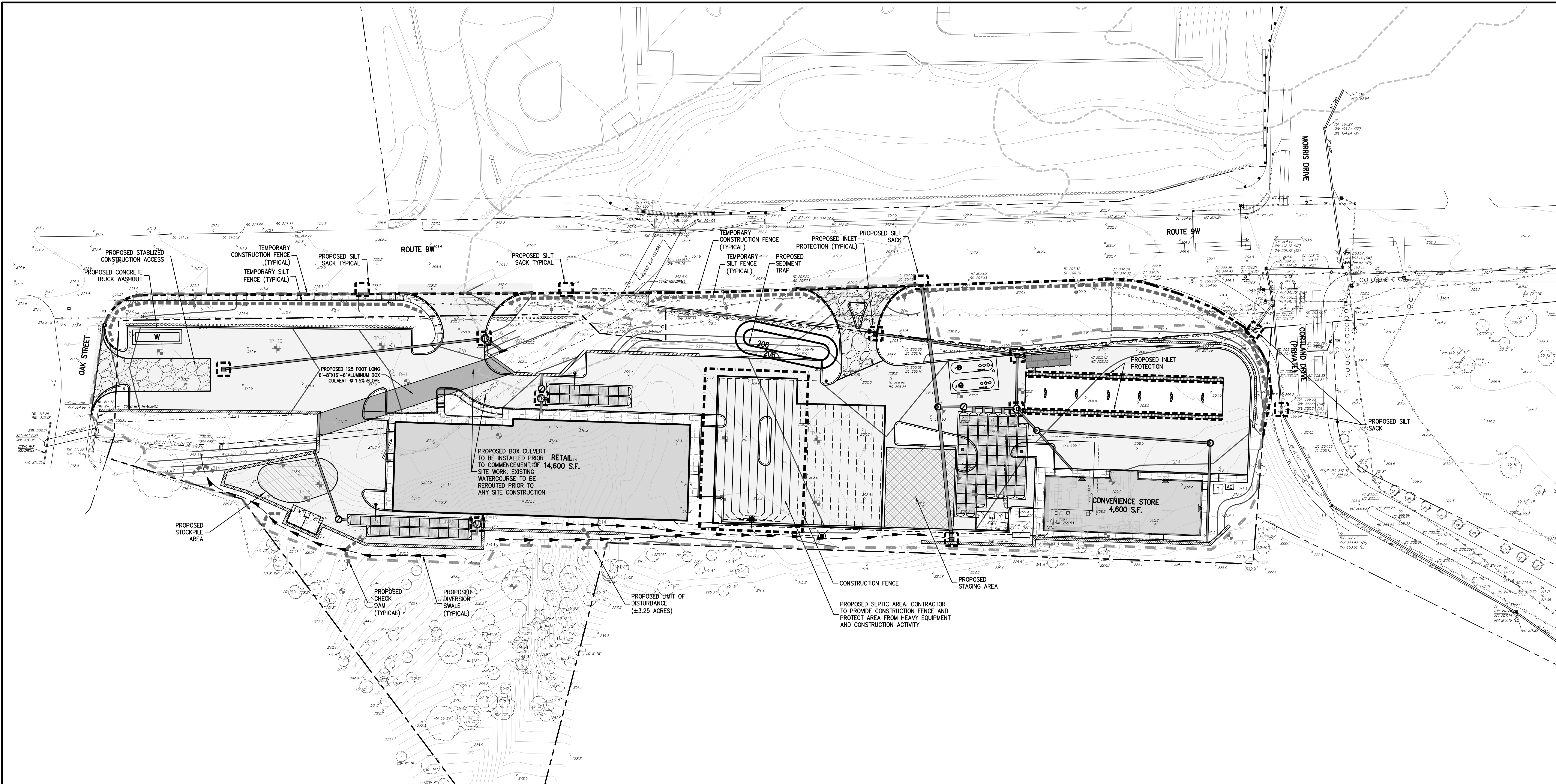


**UTILITIES PLAN**  
**NEWBURGH COMMONS**  
 5450 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550



Drawn: **BMS** Approved: **XX**  
 Scale: **1" = 30'**  
 Date: **11/13/2023**  
 Project No: **17160**  
 (786-SIE UTIL UTILSER)  
 Drawing No: **C-300**

NOT FOR CONSTRUCTION



NOTES:

- 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, PLLC, DATED 05/02/2018.
2. THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
3. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
4. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
5. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINFALL EVENT, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, AND/OR ANY AUTHORITY HAVING JURISDICTION.
7. STOCKPIILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPIILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPIILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
8. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
9. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION, HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
10. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANS 4300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
A. SEED MIXTURE AND RATE OF APPLICATION:
A.1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).
A.2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "ARROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
C. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
11. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 30 CALENDAR DAYS BUT LESS THEN 1 YEAR, SHALL BE TEMPORARILY SEEDED WITHIN 7 DAYS AFTER SUSPENSION OF GRADING, IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION (CTDEP) "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE ANS 4300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
A. FOR SEED MIXTURE AND RATE OF APPLICATION CONTRACTOR SHALL REFER TO FIGURE TS-2 IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS. SEEDING RATES SHALL BE INCREASED BY 10% WHEN HYDROSEEDING.
C. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
12. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO MAINTAIN WOODRUSH, DENSE VEGETATIVE COVER.
13. TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

SEQUENCE OF CONSTRUCTION
CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
1. DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
3. INSTALL DIVERSION SWALE ALONG EXISTING WATERCOURSE AND COMMENCE INSTALLATION OF PROPOSED CULVERT PIPE AND REROUTING OF WATERCOURSE.
4. PROPOSED RELOCATION OF EXISTING STREAM TO BE ESTABLISHED PRIOR TO ANY SITE DISTURBANCE RELATING TO THE RETAIL BUILDING AND PARKING AREA.
5. CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
6. STRIP AND STOCKPILE TOPSOIL.
7. BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
8. INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
9. INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
10. INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
11. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
12. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
13. COMPLETE SITE AND BUILDING CONSTRUCTION.

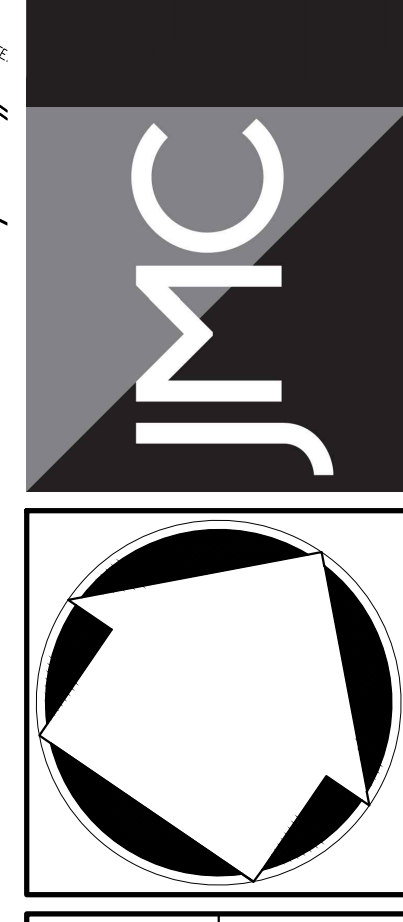
LEGEND
PROPOSED INLET PROTECTION
PROPOSED CONSTRUCTION FENCE
PROPOSED SILT FENCE
PROPOSED CHECK DAM
PROPOSED LIMIT OF DISTURBANCE
PROPOSED STABILIZED CONSTRUCTION ACCESS
PROPOSED STAGING AREA
PROPOSED TEMPORARY SWALE
PROPOSED TEMPORARY SEDIMENT TRAP
PROPOSED STAGING AREA
EXISTING FEATURE TO BE REMOVED
CONCRETE TRUCK WASHOUT

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

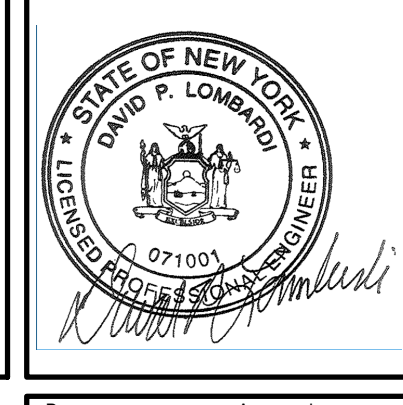
Table with columns: No., Revision, Date, By.

APPLICANT/OWNER: 5450 RTE 9W LLC, 225 WEST MONTAUK HIGHWAY, SUITE 1, HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, JMC Site Development Consultants, LLC, John Mayer Consulting, Inc., 120 BEDFORD ROAD • BRIDGEVIK, NY 10504, voice 914.273.5255 • fax 914.273.2102, www.jmcpcllc.com

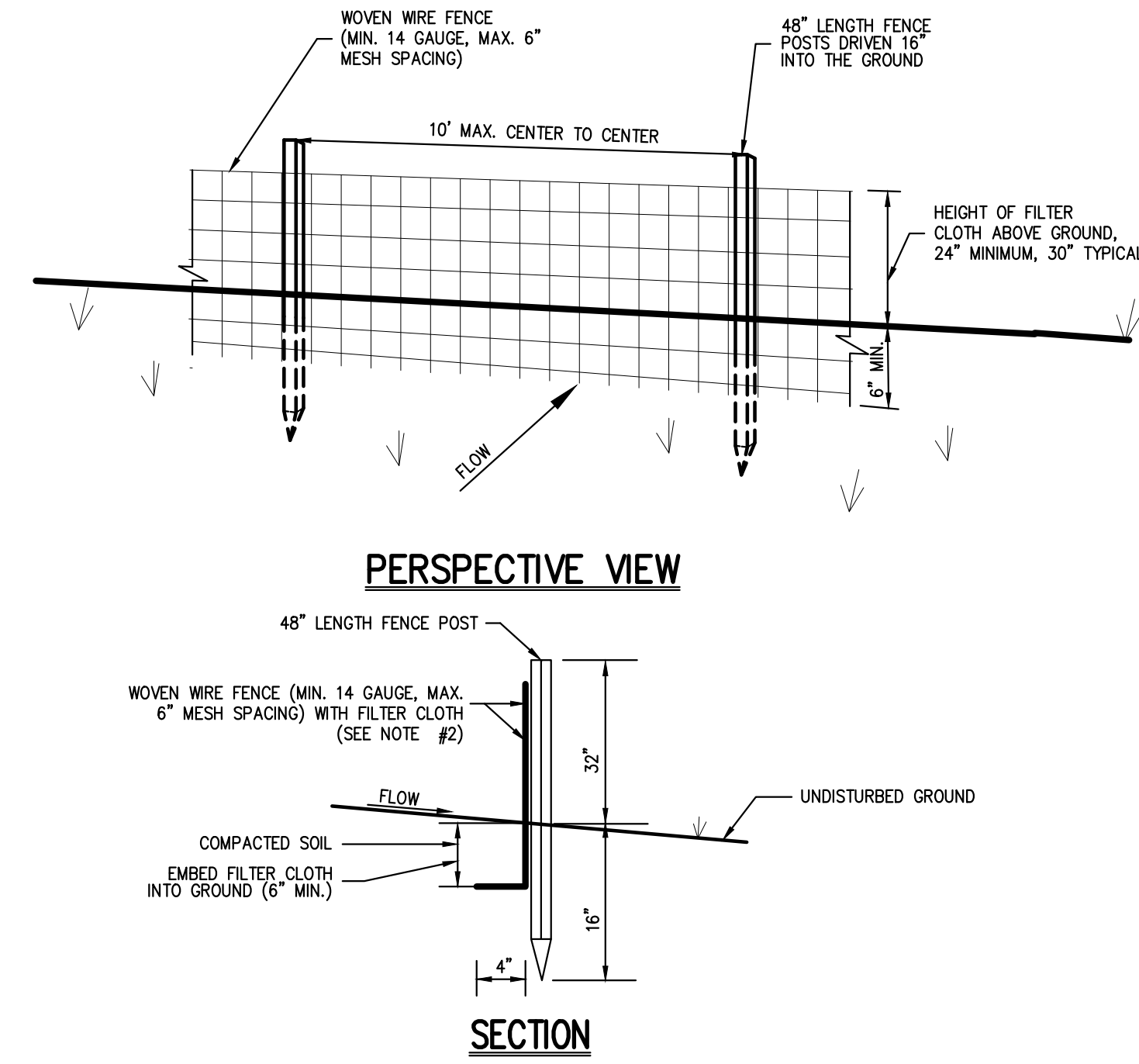


EROSION AND SEDIMENT CONTROL PLAN, NEWBURGH COMMONS, 5450 & 5450 ROUTE 9W, TOWN OF NEWBURGH, NY 12550



Drawn: BMS, Approved: XX, Scale: 1" = 30', Date: 11/13/2023, Project No: 17160, 1706-SIE, EAS, SE, acr, Drawing No: C-400

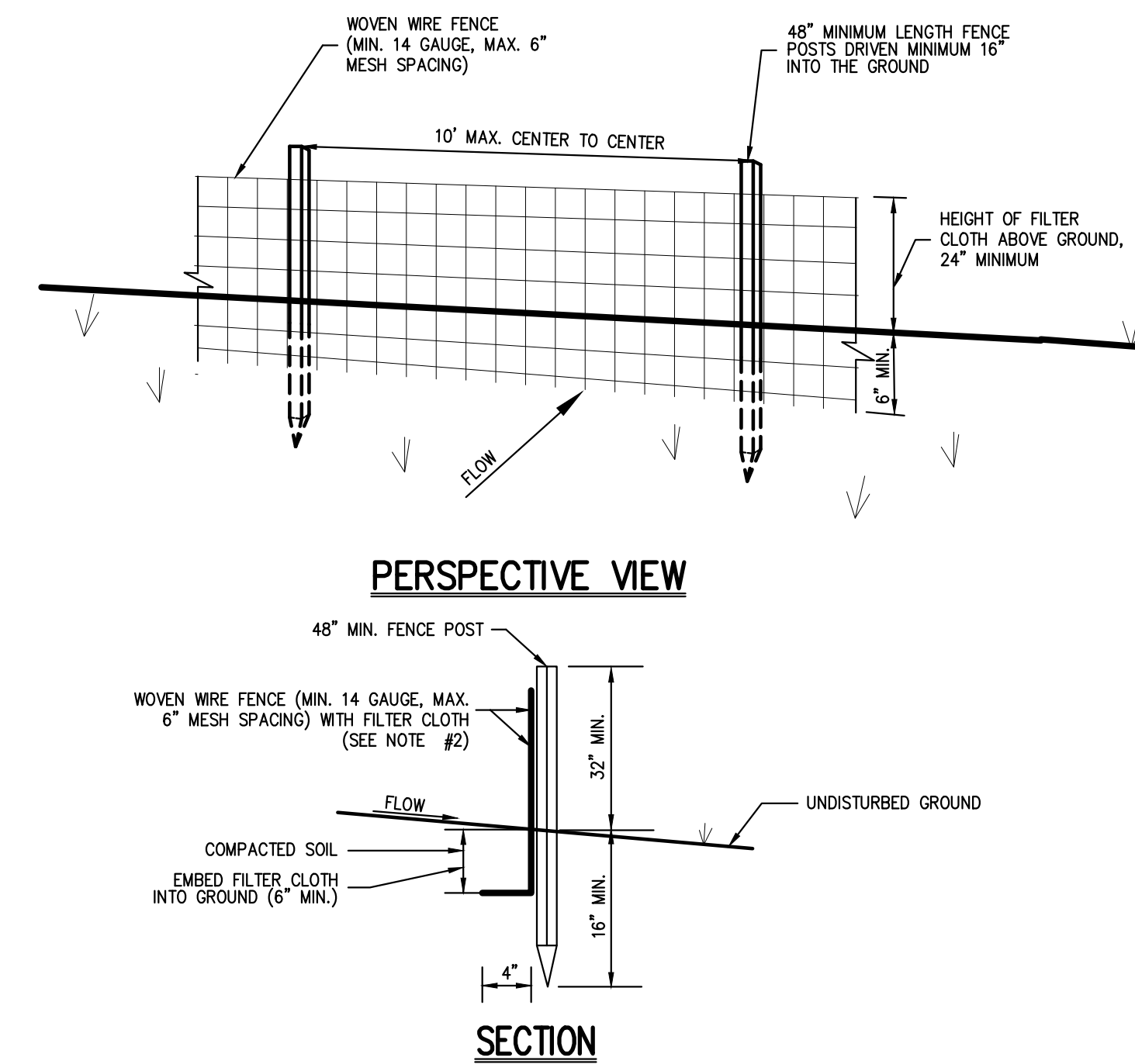




- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLANKA 1140X, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOTAF, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**

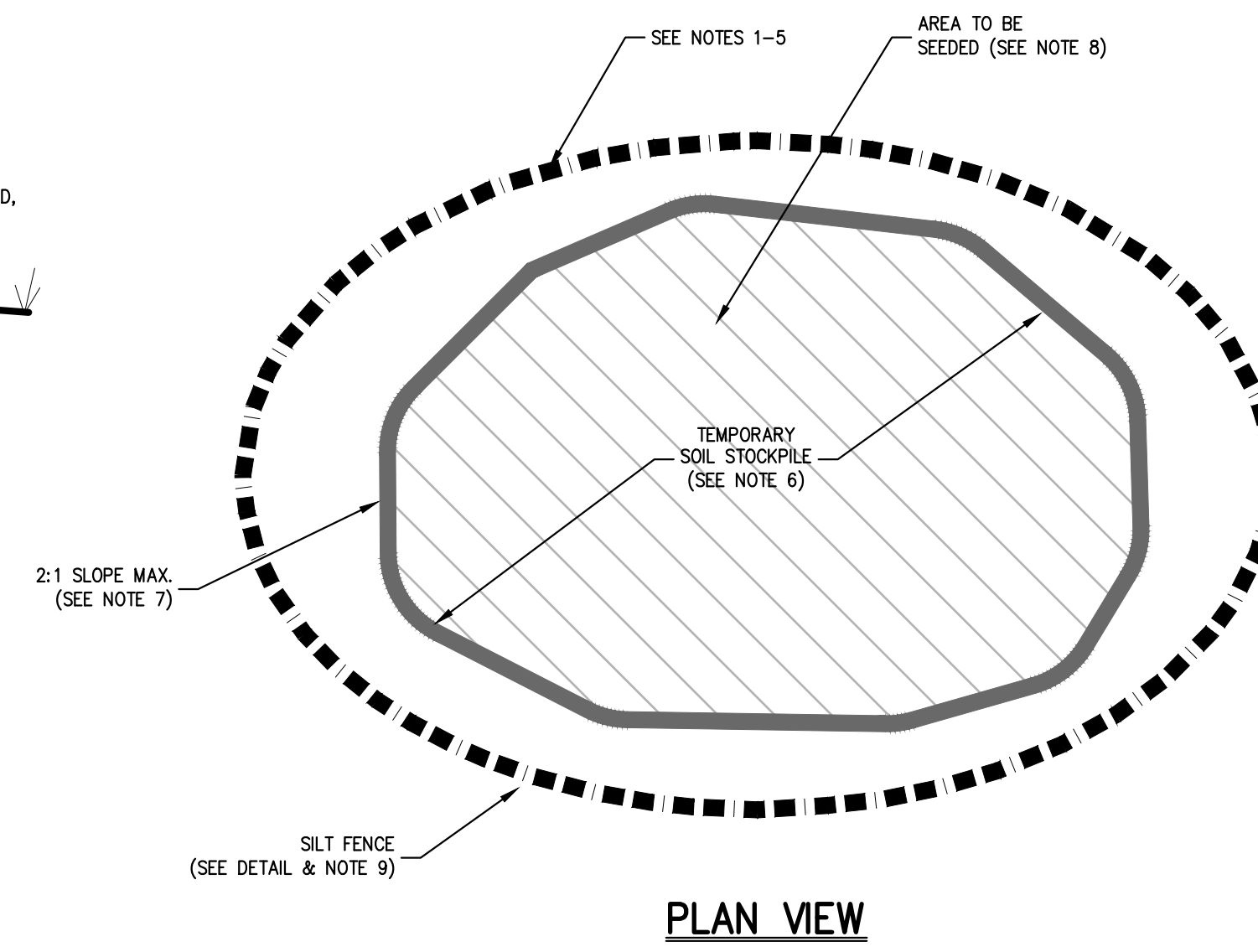
**1**



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLANKA 1140X, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOTAF, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**TEMPORARY SOIL STOCKPILE WITH SILT FENCE**

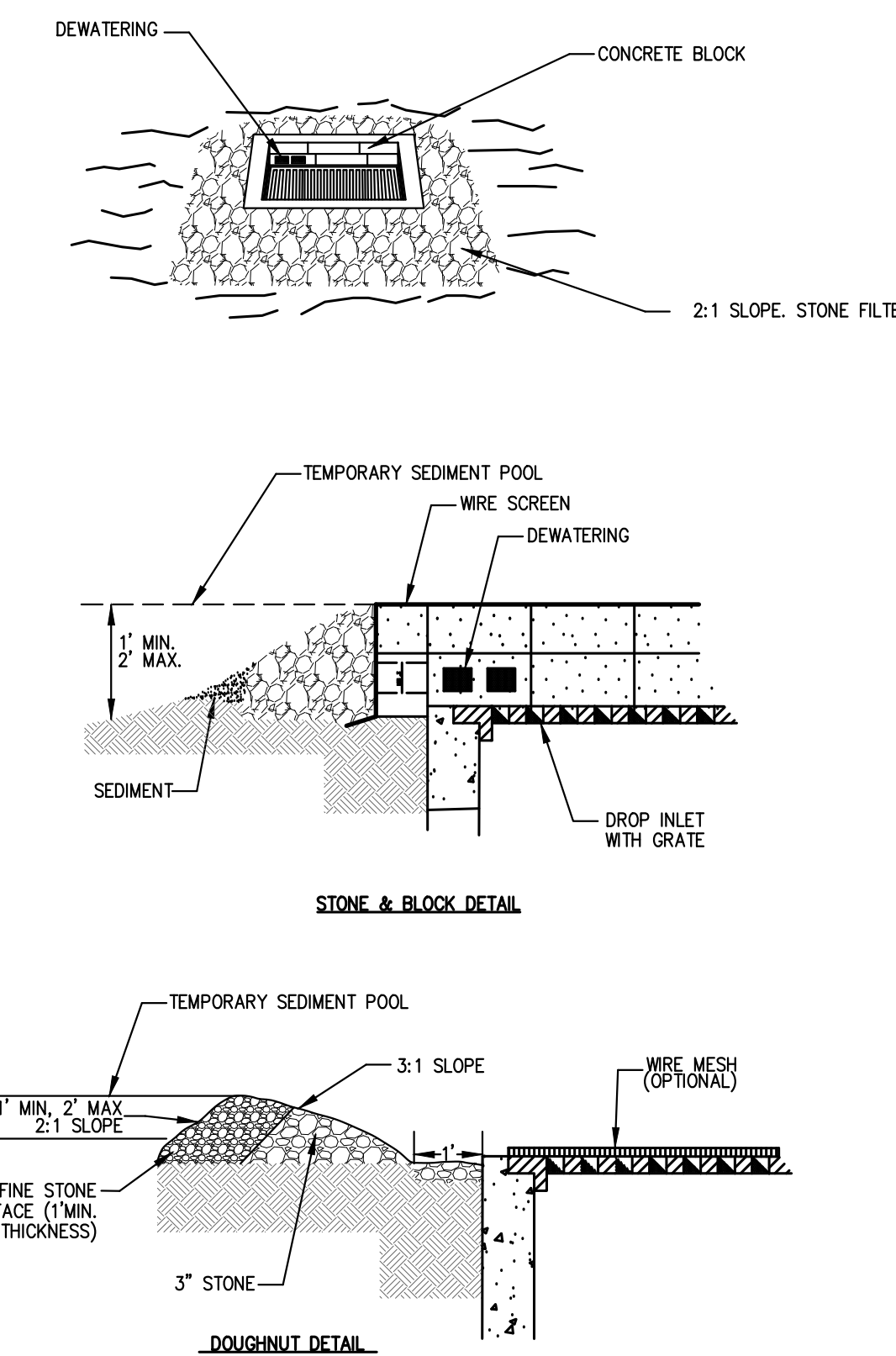
**2**



- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

**STONE & BLOCK DROP INLET PROTECTION**

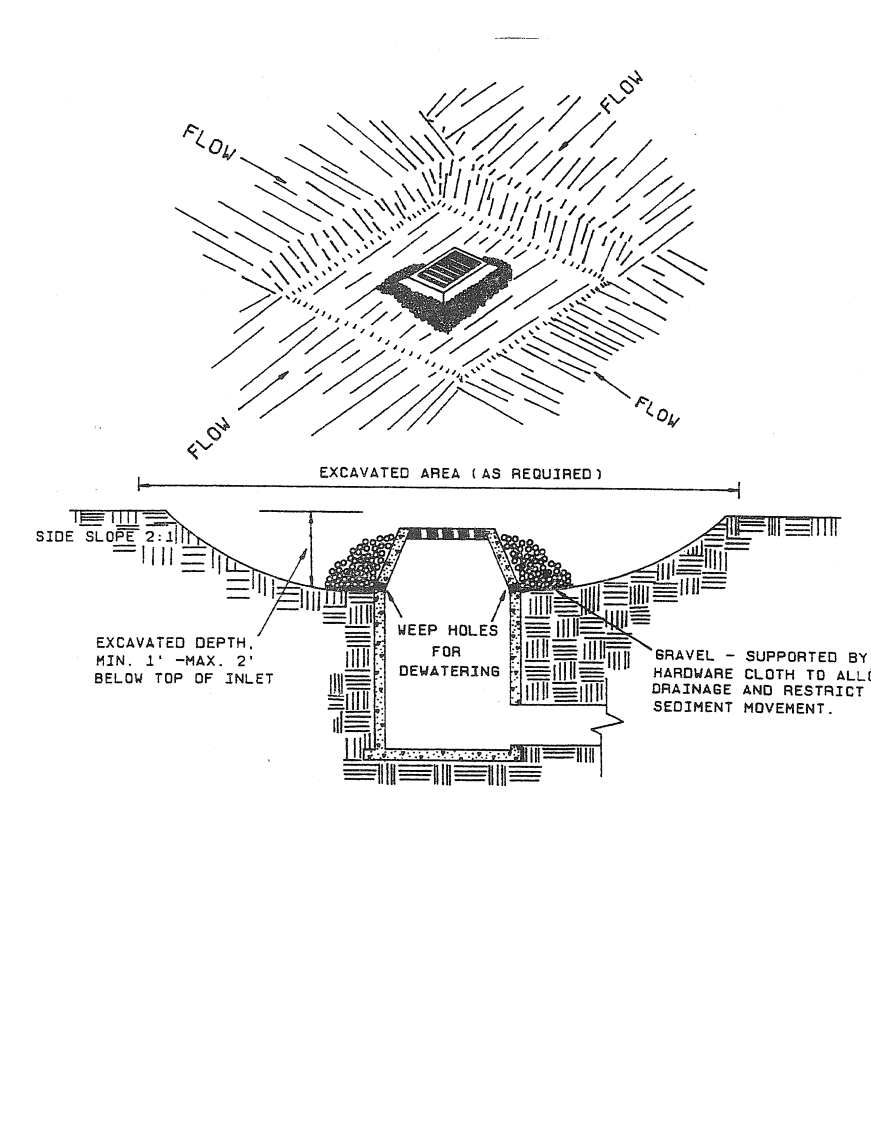
**6**



- NOTES:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
  - USE CLEAN STONE 1/2" TO 3/4" IN DIAMETER PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.

**EXCAVATED DROP INLET PROTECTION**

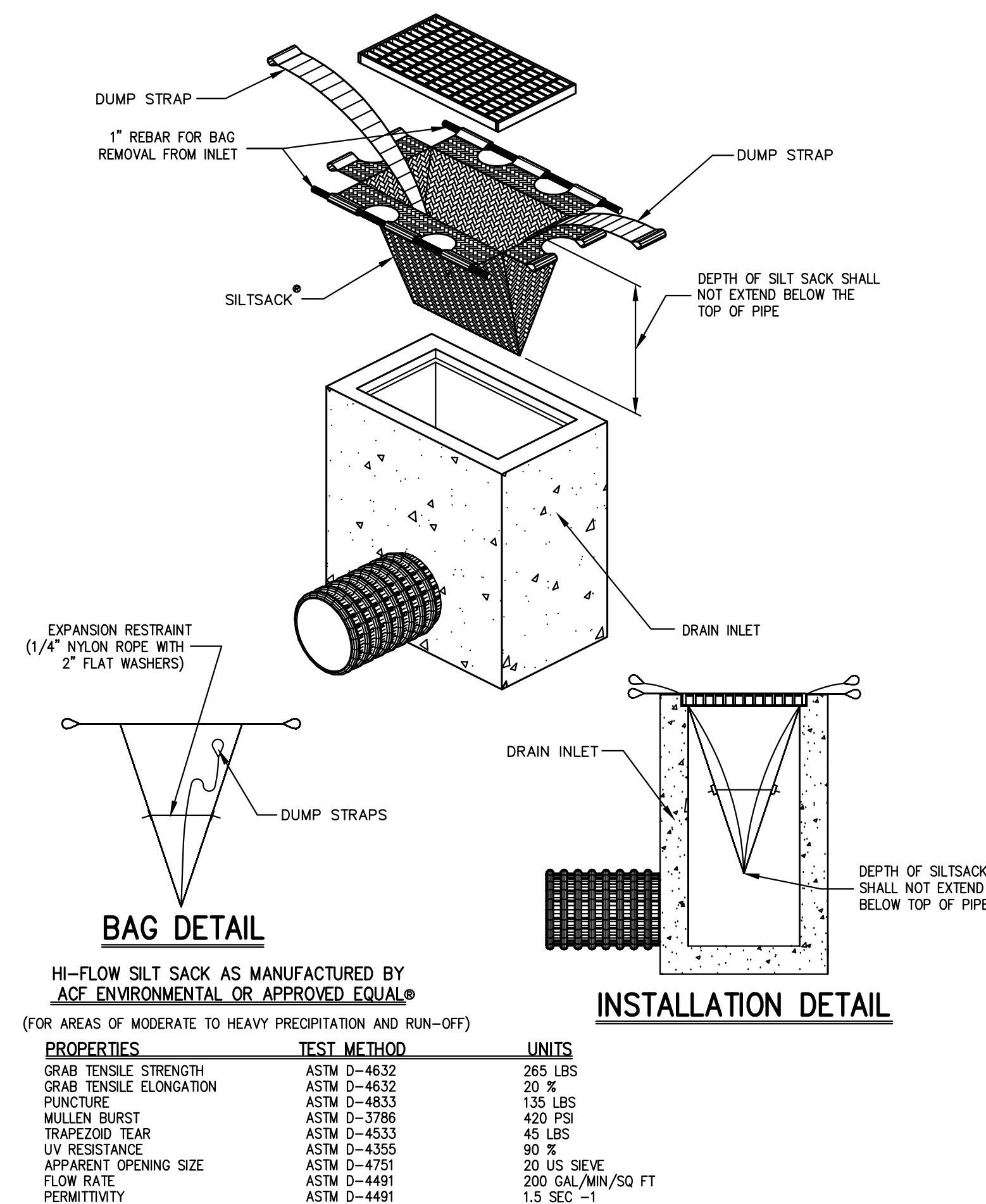
**5**



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- KEEP HOLES SHALL BE PROTECTED BY STONE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEAP HOLES WITH PERMANENT STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

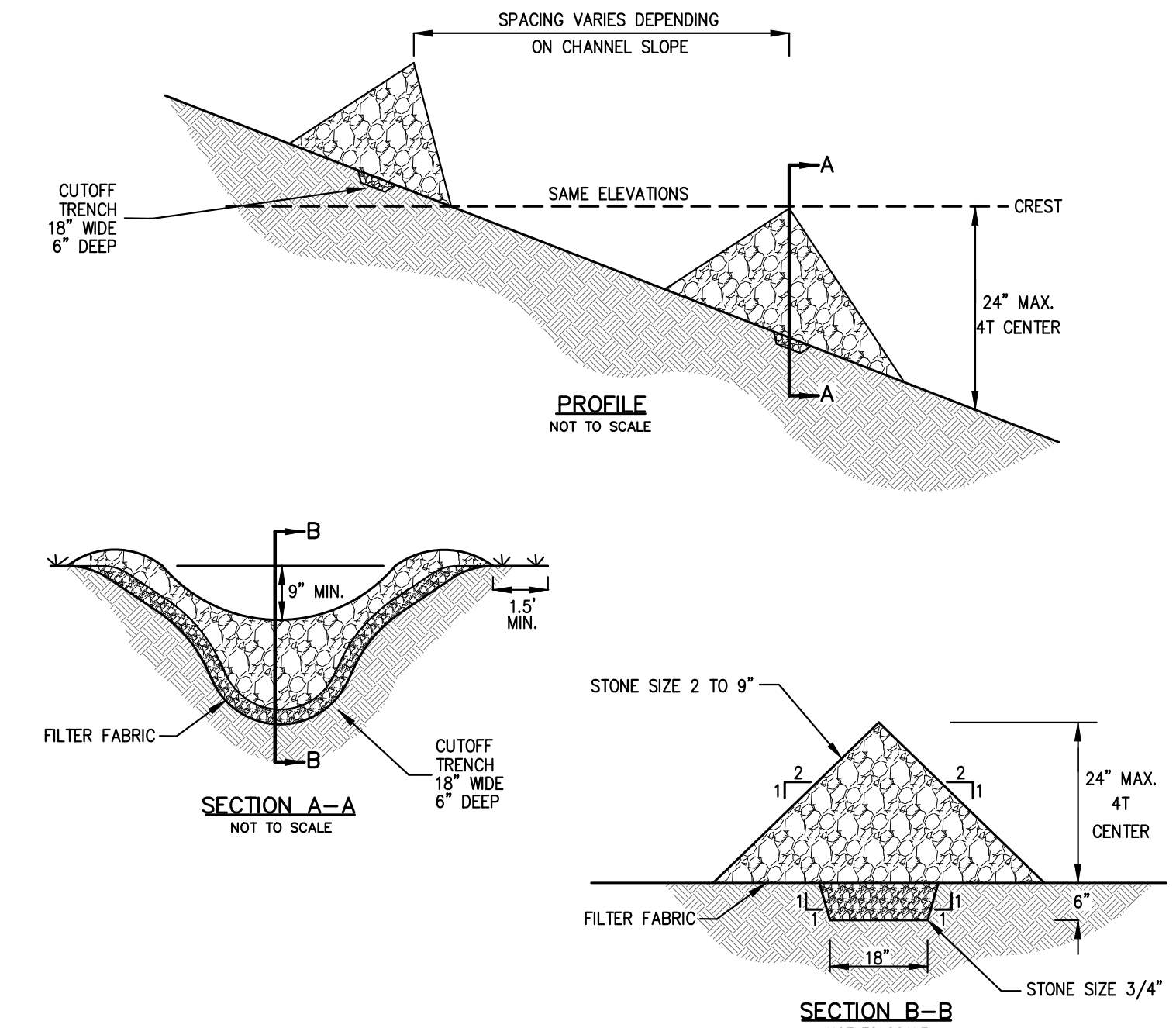
**SILT SACK**

**4**



HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL® (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4832	135 LBS
MULLEN BURST	ASTM D-3786	420 PPS
TRAFFIC TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APARENT DRAINING SIZE	ASTM D-4751	20 US GALS/50 FT
FLOW RATE	ASTM D-4491	1.5 SEC -1
PERMEABILITY	ASTM D-4491	

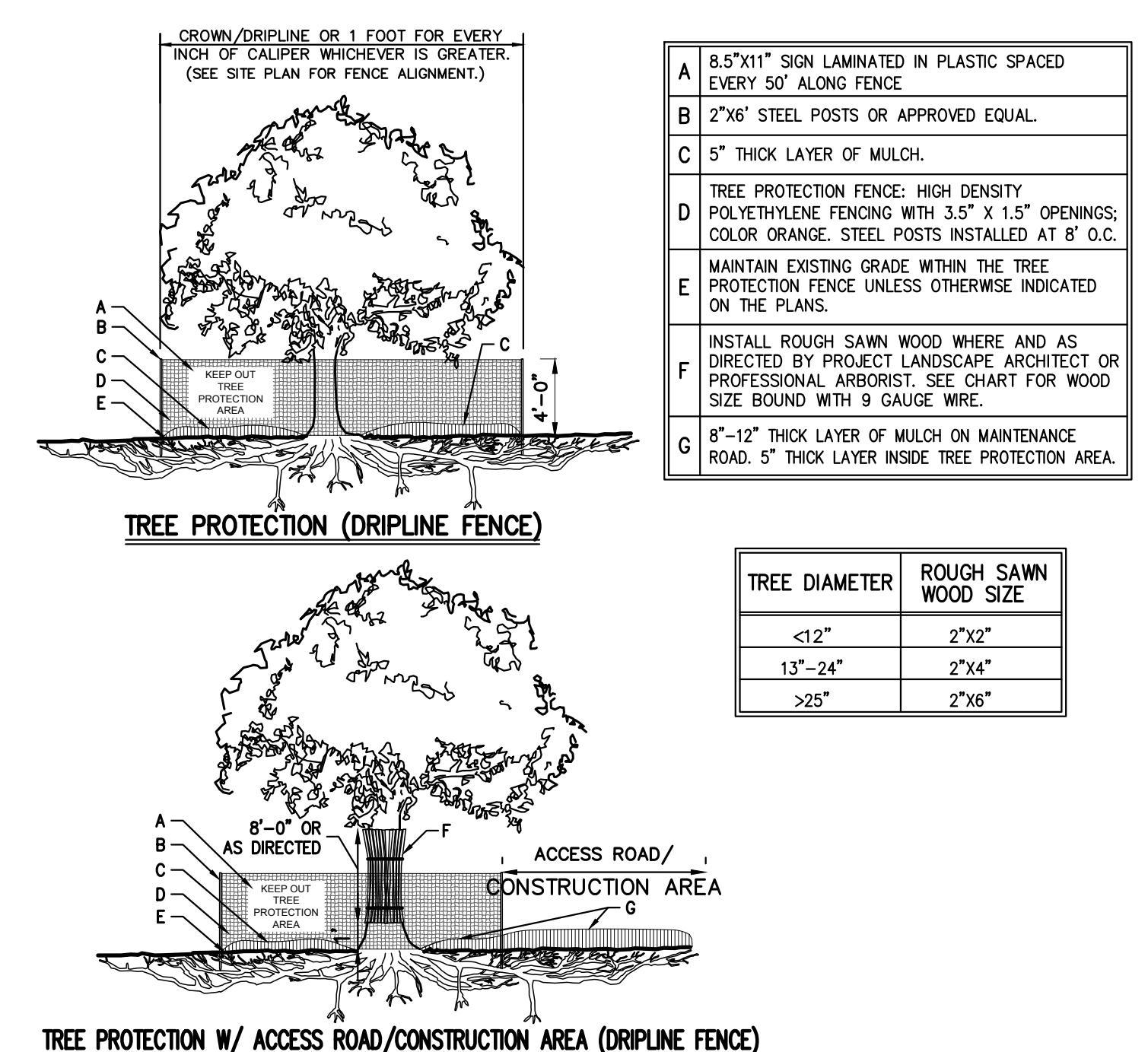


- CONSTRUCTION SPECIFICATIONS:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
  - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

**MAXIMUM DRAINAGE AREA 2 ACRES.**

**STONE CHECK DAM**

**3**



- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
  - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
  - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
  - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

ITEM	DESCRIPTION
A	8.5'X11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE.
B	2"x6" STEEL POSTS OR APPROVED EQUAL.
C	5" THICK LAYER OF MULCH.
D	TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5' X 1.5' OPENINGS; COLOR ORANGE. STEEL POSTS INSTALLED AT 8' O.C.
E	MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.
F	INSTALL ROUGH SAWN WOOD WHERE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BOUND WITH 9 GAUGE WIRE.
G	8"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD, 5" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

**CONSTRUCTION DETAILS**  
**NEWBURGH COMMONS**  
5430 & 5450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, DETAILS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



Drawn: **BMS** Approved: **XX**  
Scale: **NOT TO SCALE**  
Date: **11/13/2023**  
Project No: **17160**  
Title: **C-900**  
Drawing No: **C-900**

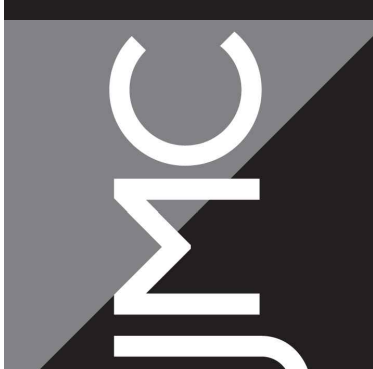
**C-900**

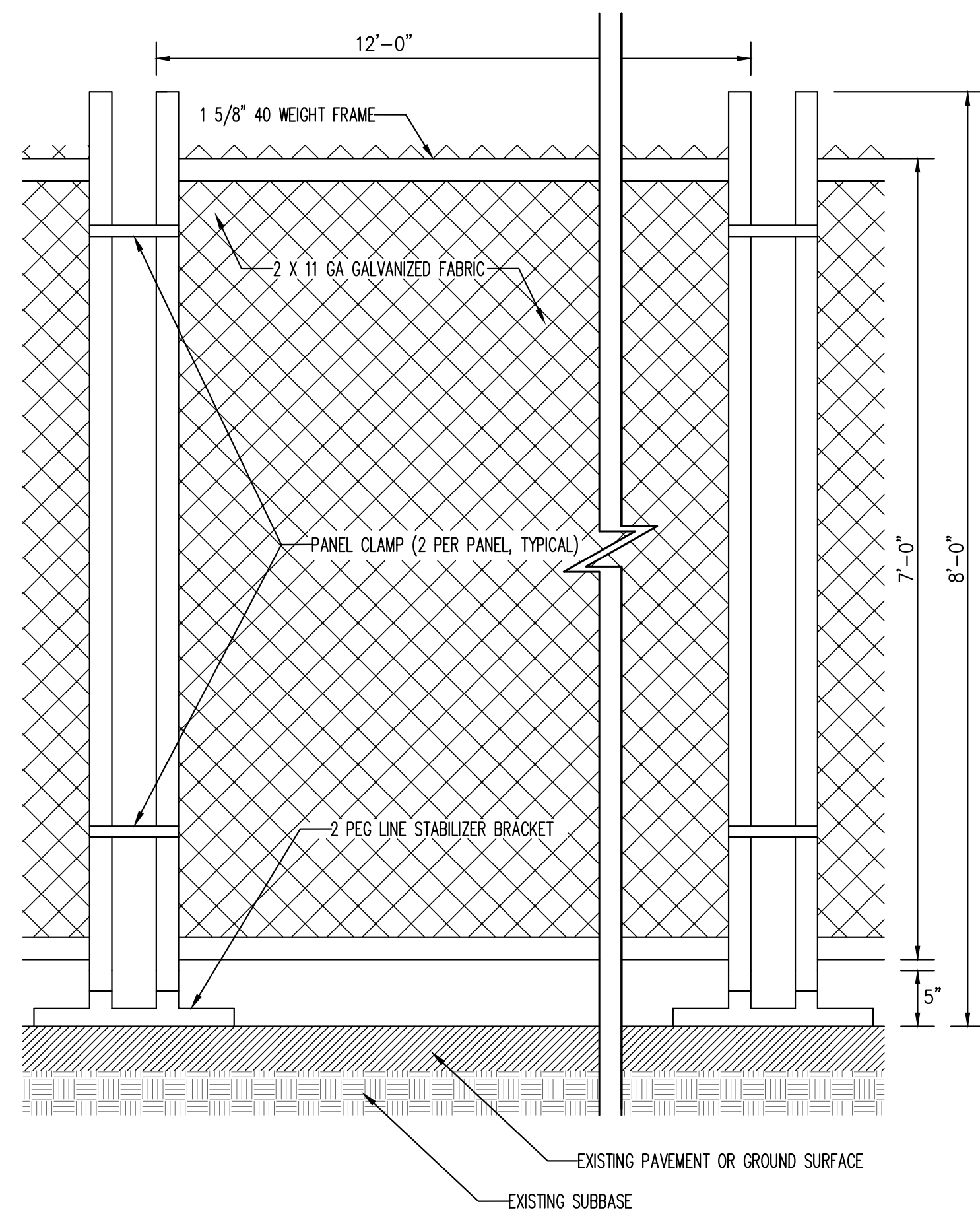
NOT FOR CONSTRUCTION

No.	Revision	Date	By

APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
225 WEST MOUNTAIN HIGHWAY SUITE 1  
HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
www.jmcpellc.com

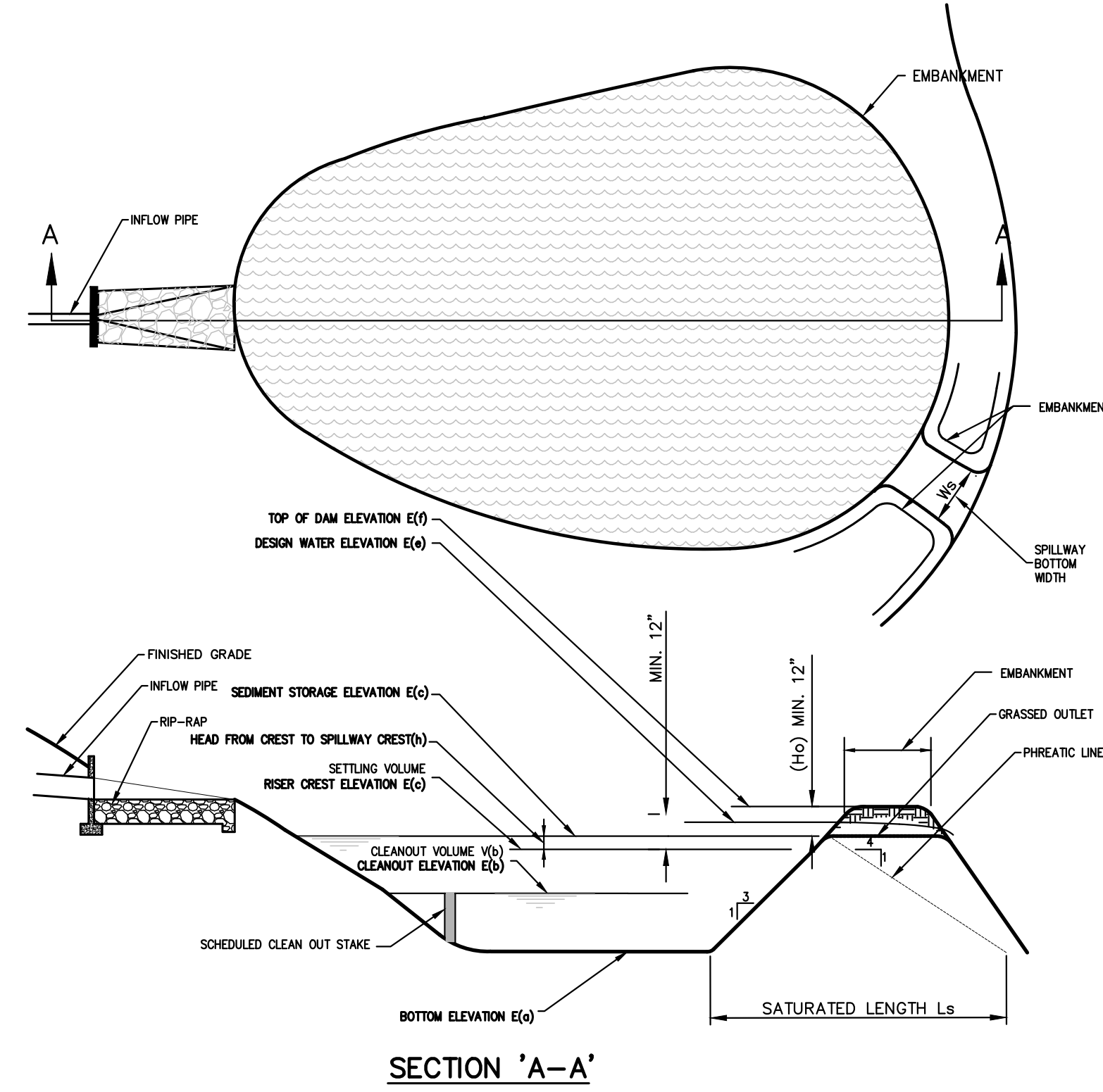




NOTE:  
STABILIZER BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

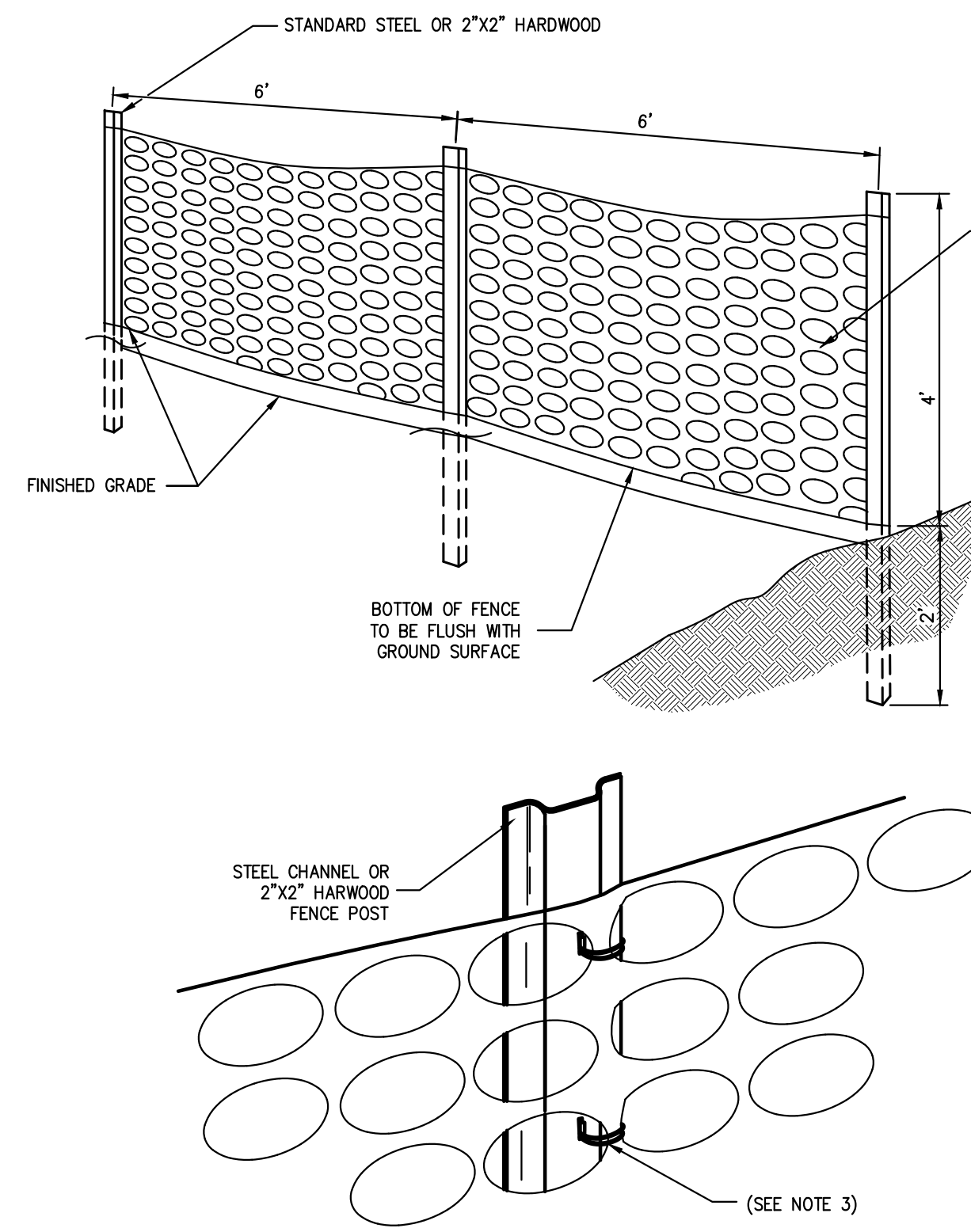
8



SECTION 'A-A'

GRASS OUTLET SEDIMENT TRAP

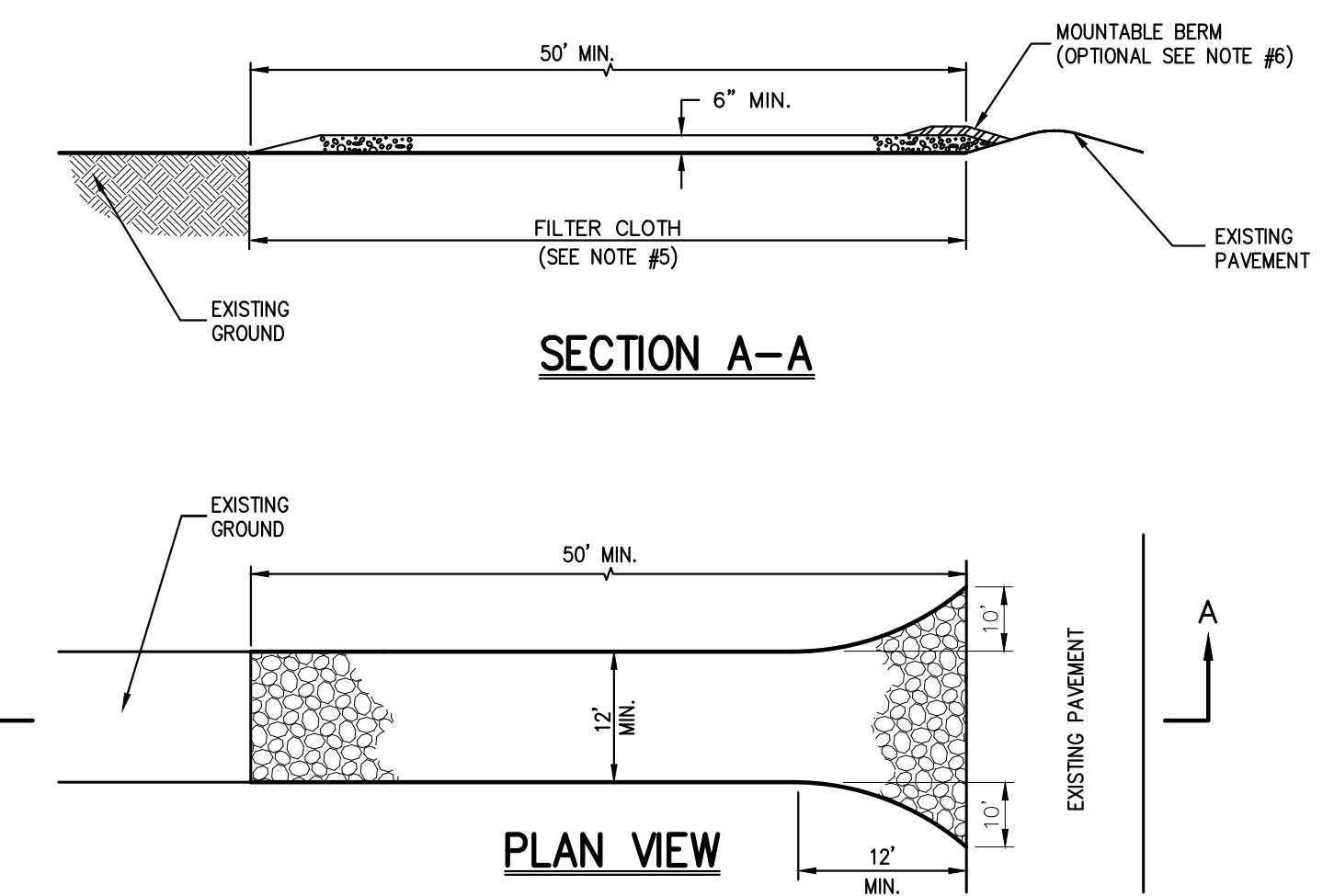
9



NOTES:  
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.  
2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.  
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.  
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE, INCLUDING REPAIRS AS NECESSARY AND REQUIRED.  
5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.  
6. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

CONSTRUCTION FENCE

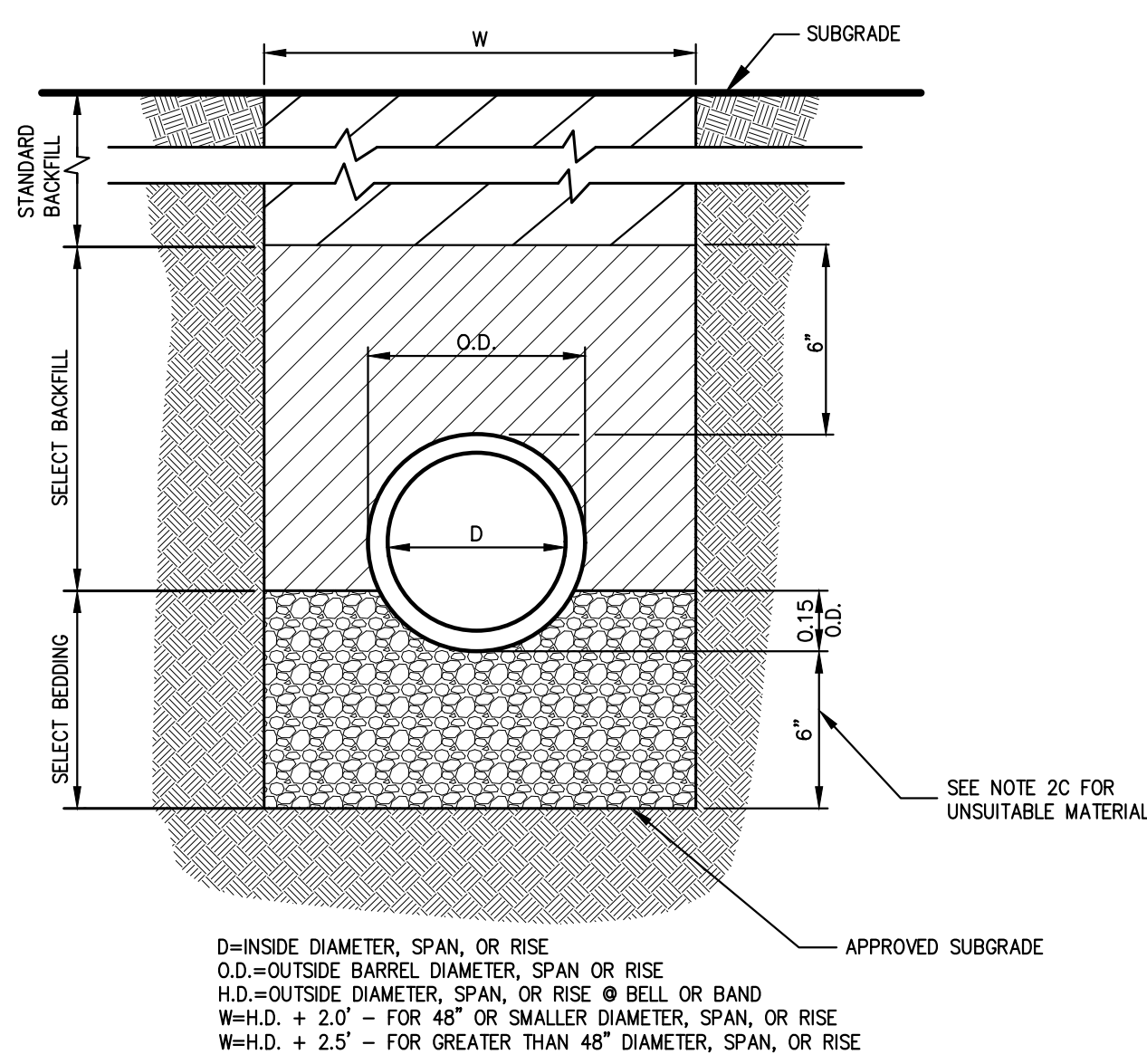
10



NOTES:  
1. STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.  
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS IS REQUIRED. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.  
5. FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.  
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ACCESS

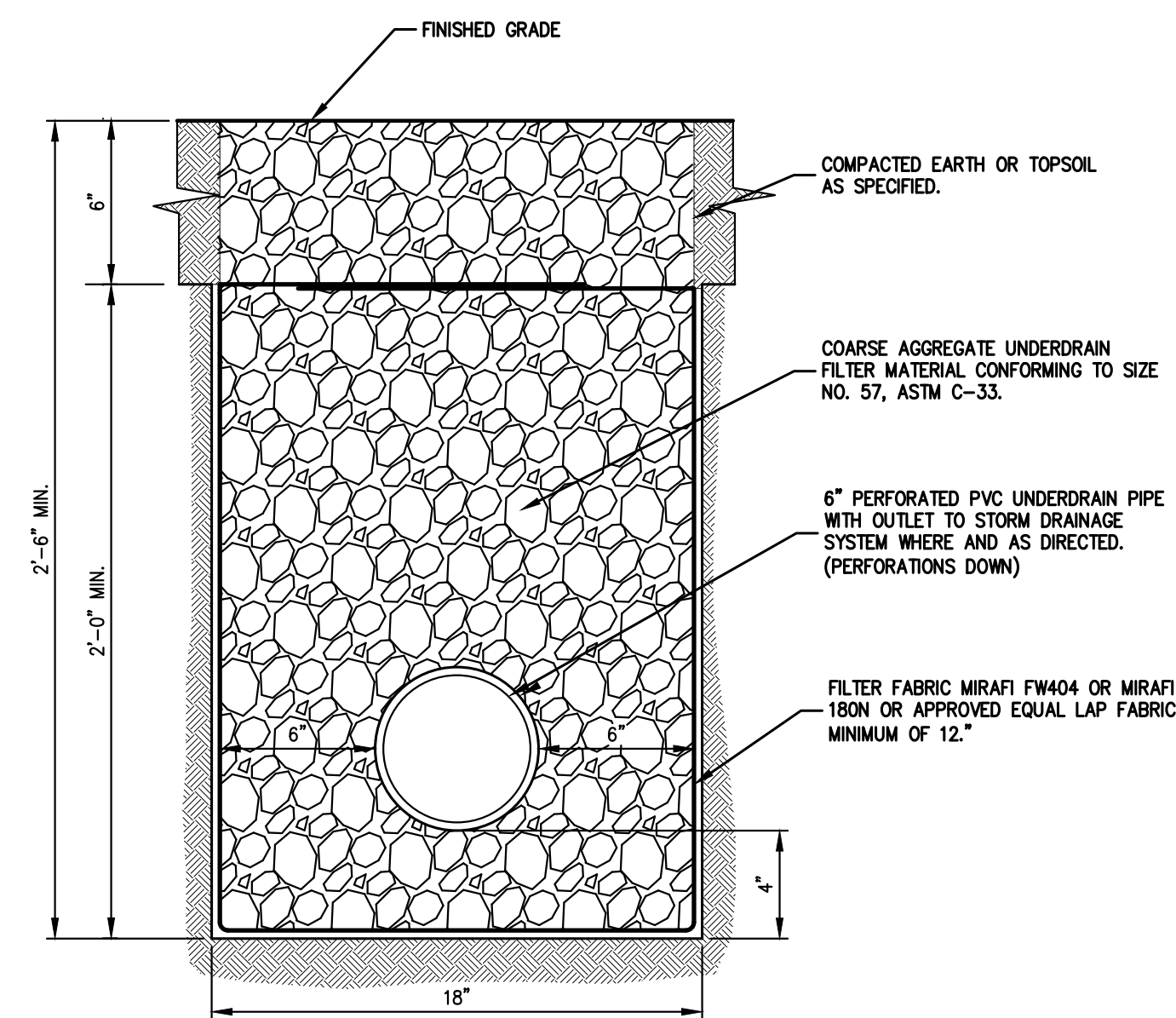
11



NOTES:  
1. FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:  
A. EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.  
B. 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.  
2. TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:  
A. FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.  
B. WHEN ROCK OR HARDSPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.  
C. WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.  
3. FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.  
4. BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [L22] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

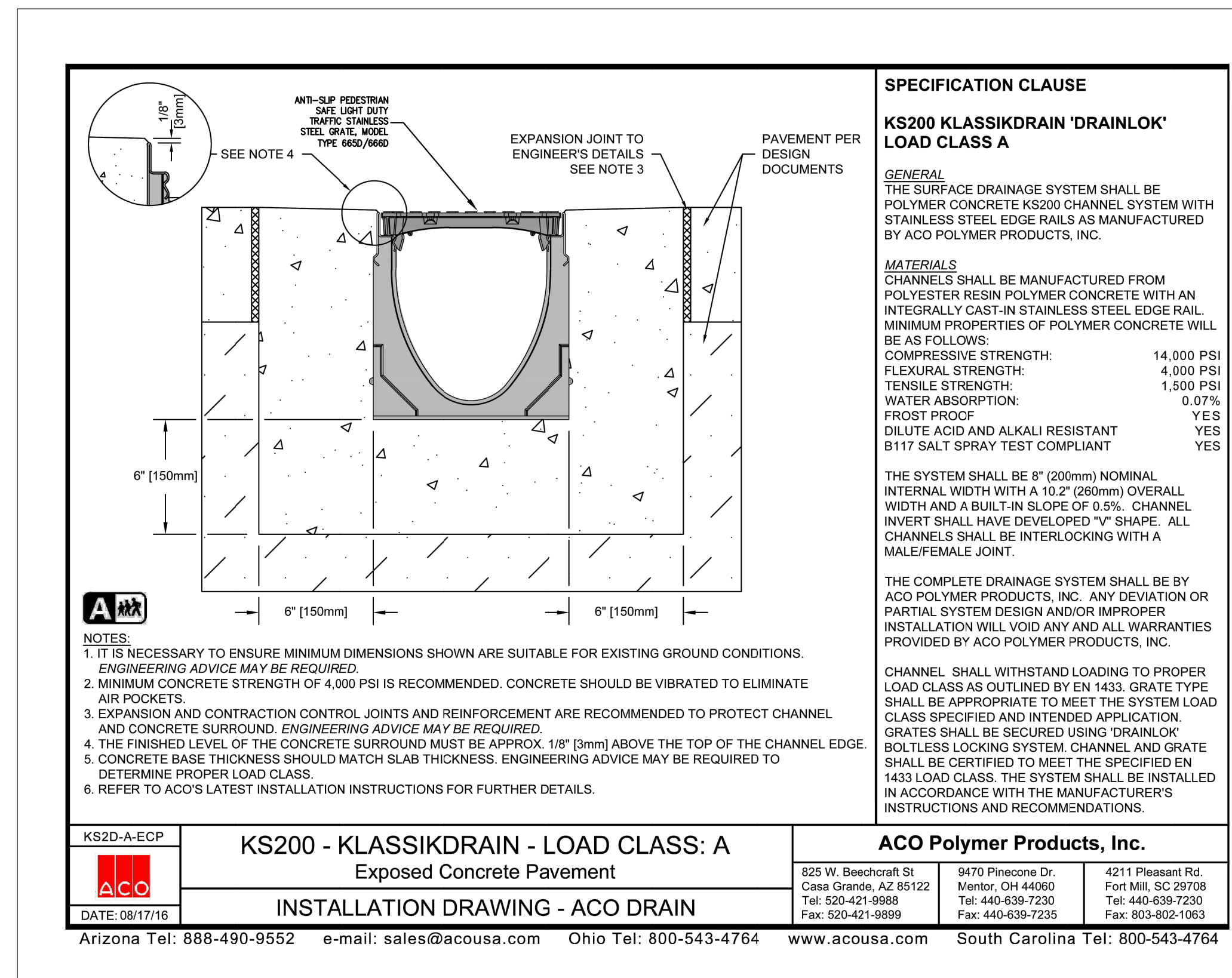
TYPE II TRENCH

12



PIPE UNDERDRAIN (EXPOSED GRAVEL)

13



SIDEWALK TRENCH DRAIN

14

By	
Date	
Revision	
No.	

APPLICANT/OWNER:  
5450 RTE 9W LLC  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.473.5225 • fax 914.473.2102  
www.jmcpollc.com

**JMC**

CONSTRUCTION DETAILS

NEWBURGH COMMONS  
5430 & 5450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.



Drawn:	BMS	Approved:	XX
Scale:	NOT TO SCALE		
Date:	11/13/2023		
Project No.:	17160		
17160-DEMS	C-901		
Drawing No.:	C-901		

NOT FOR CONSTRUCTION

**NOTES PERTAINING TO DRAIN INLETS**

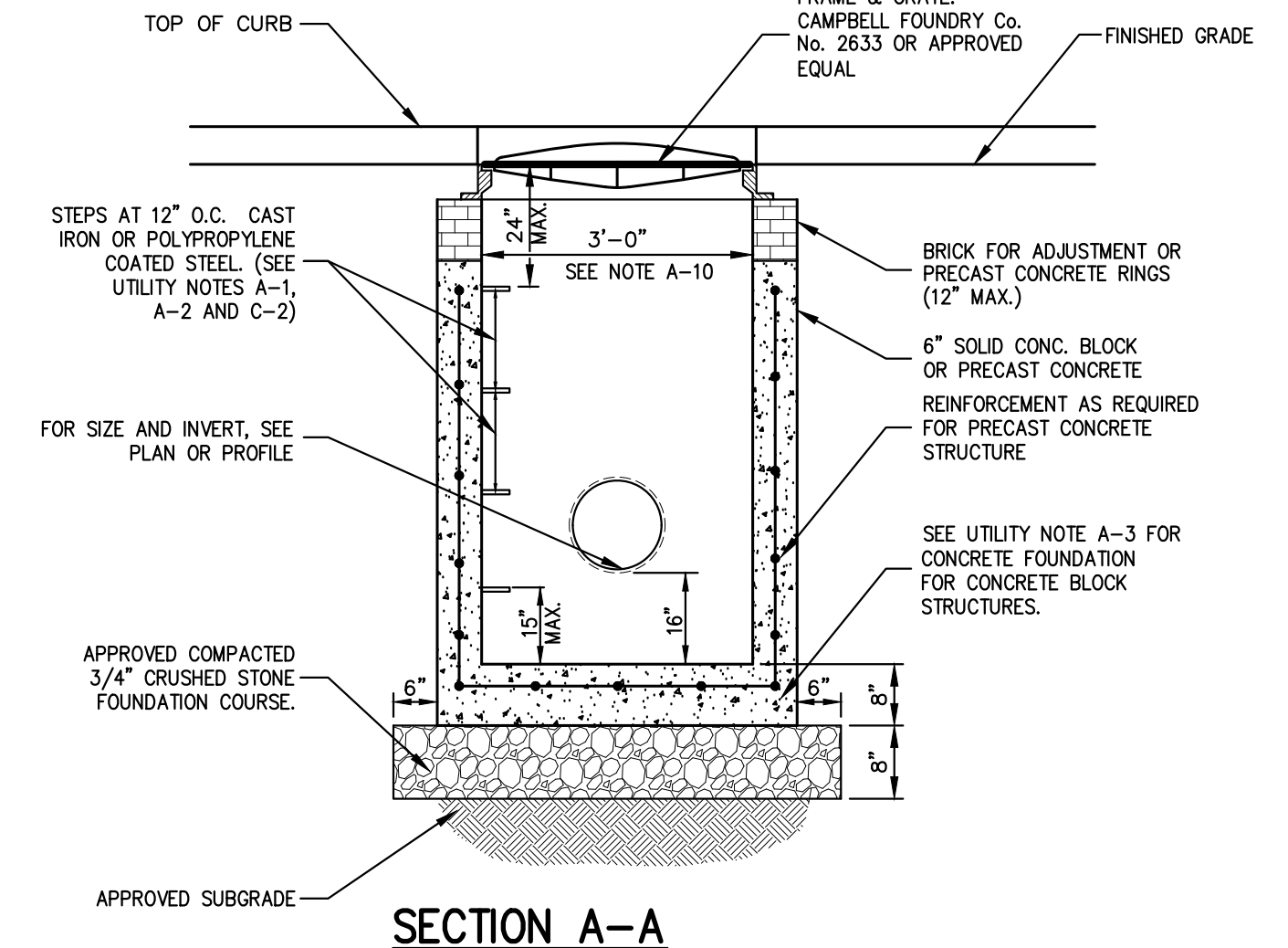
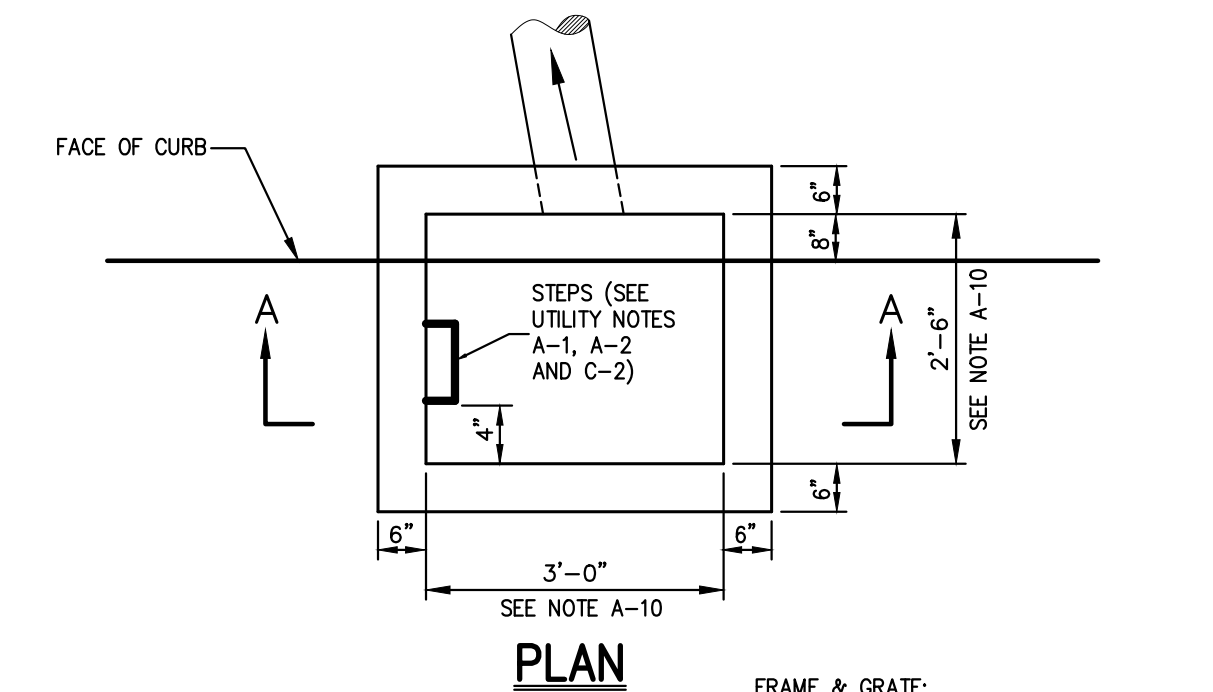
- A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SKA-SET AS MANUFACTURED BY THE SKA CHEMICAL CORP.
- A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- A-10 FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTES PERTAINING TO MANHOLES**

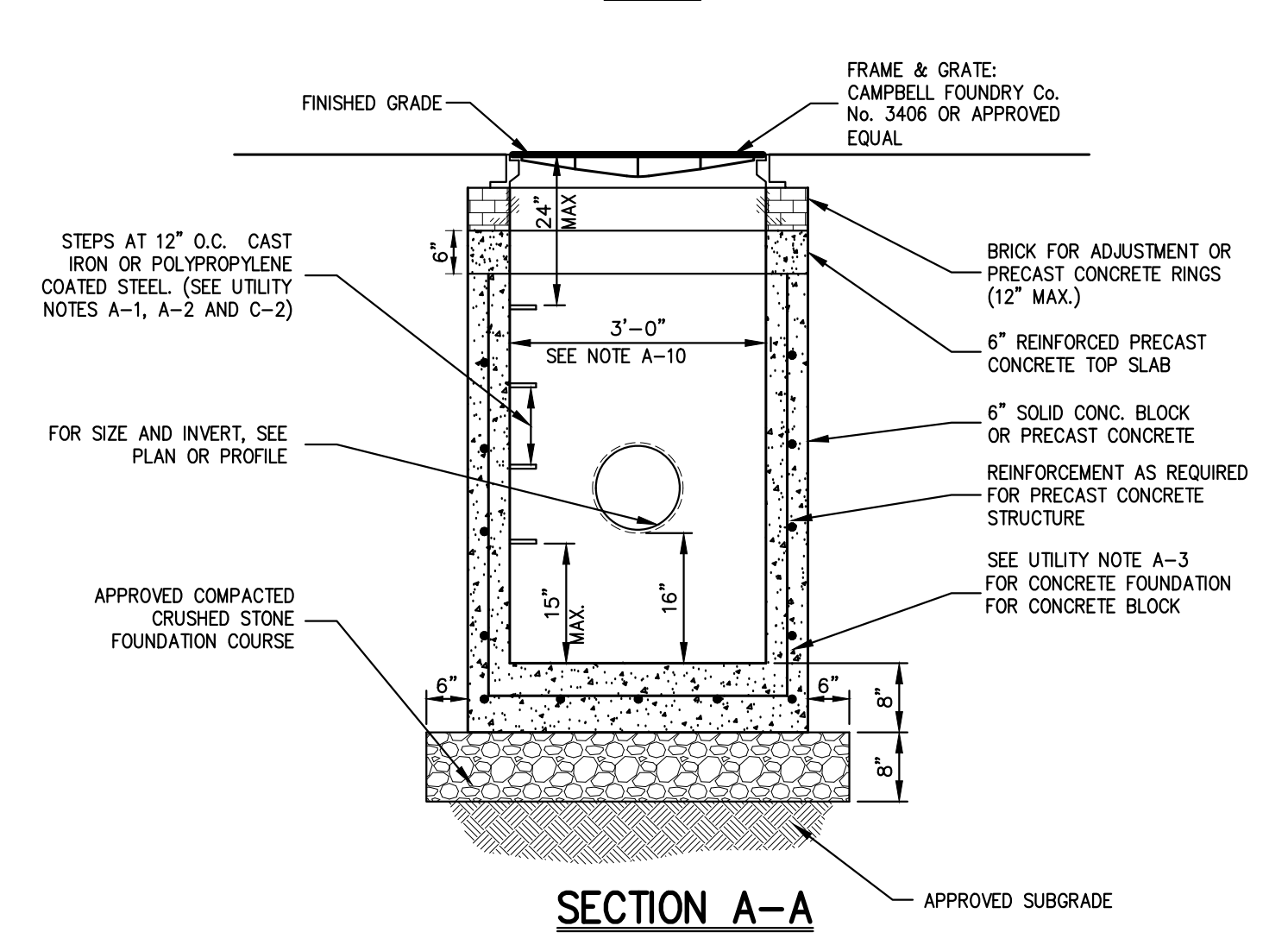
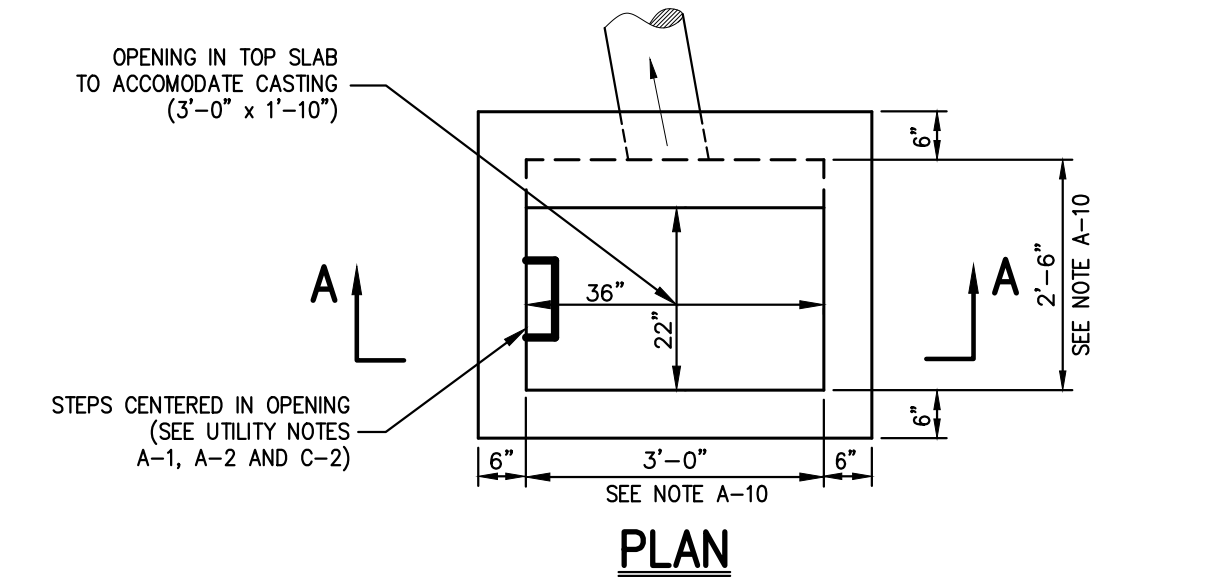
- B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- B-3 FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

**NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**

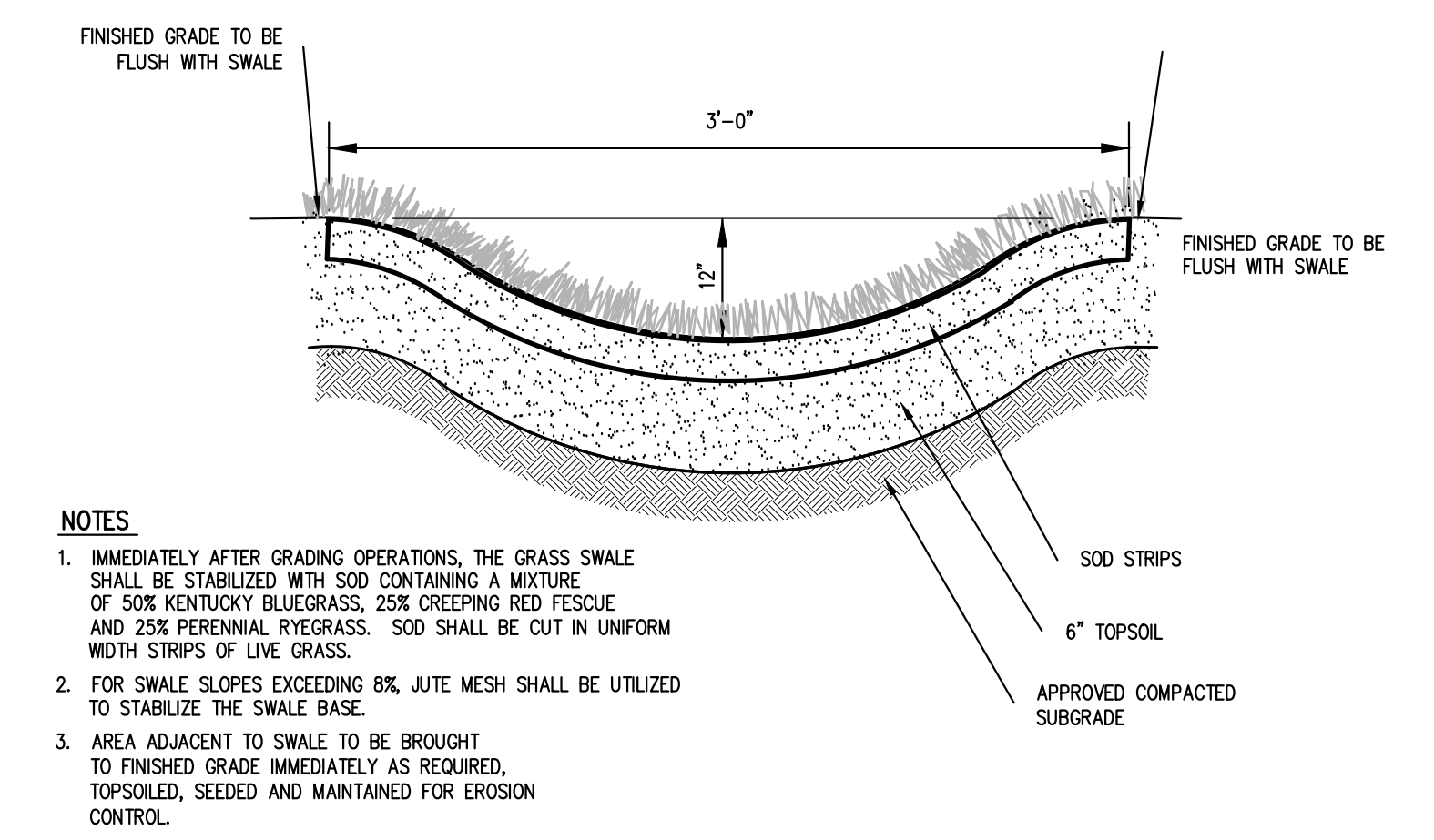
- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.



**NOTE:**  
1. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.



**NOTE:**  
1. REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.  
2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.



**NOTES:**  
1. IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 20% CREeping RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF 1/2" GRASS.  
2. FOR SWALE SLOPES EXCEEDING 8%, JUTE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.  
3. AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.

**UTILITY NOTES**

15

**DRAIN INLET (TYPE CI)**

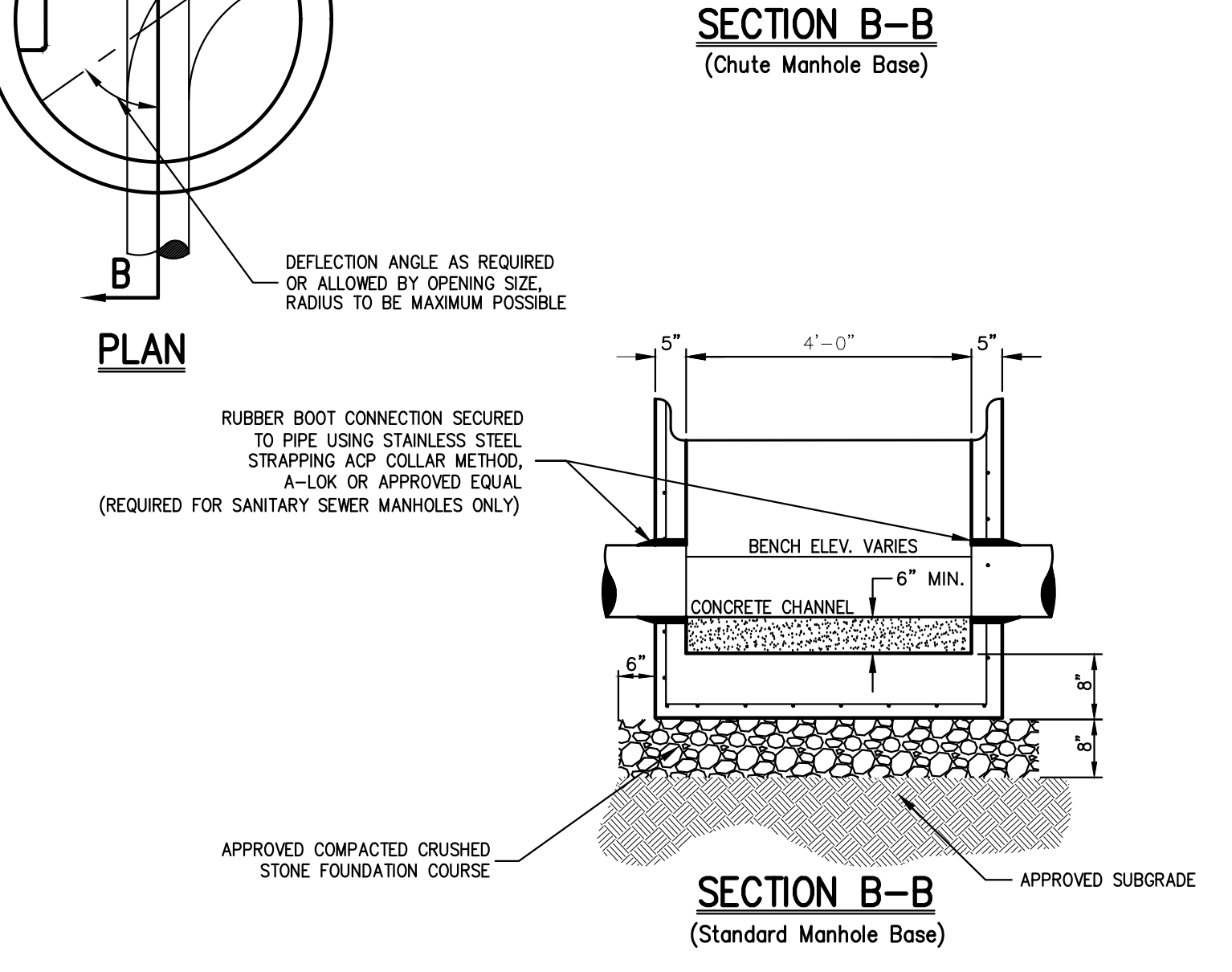
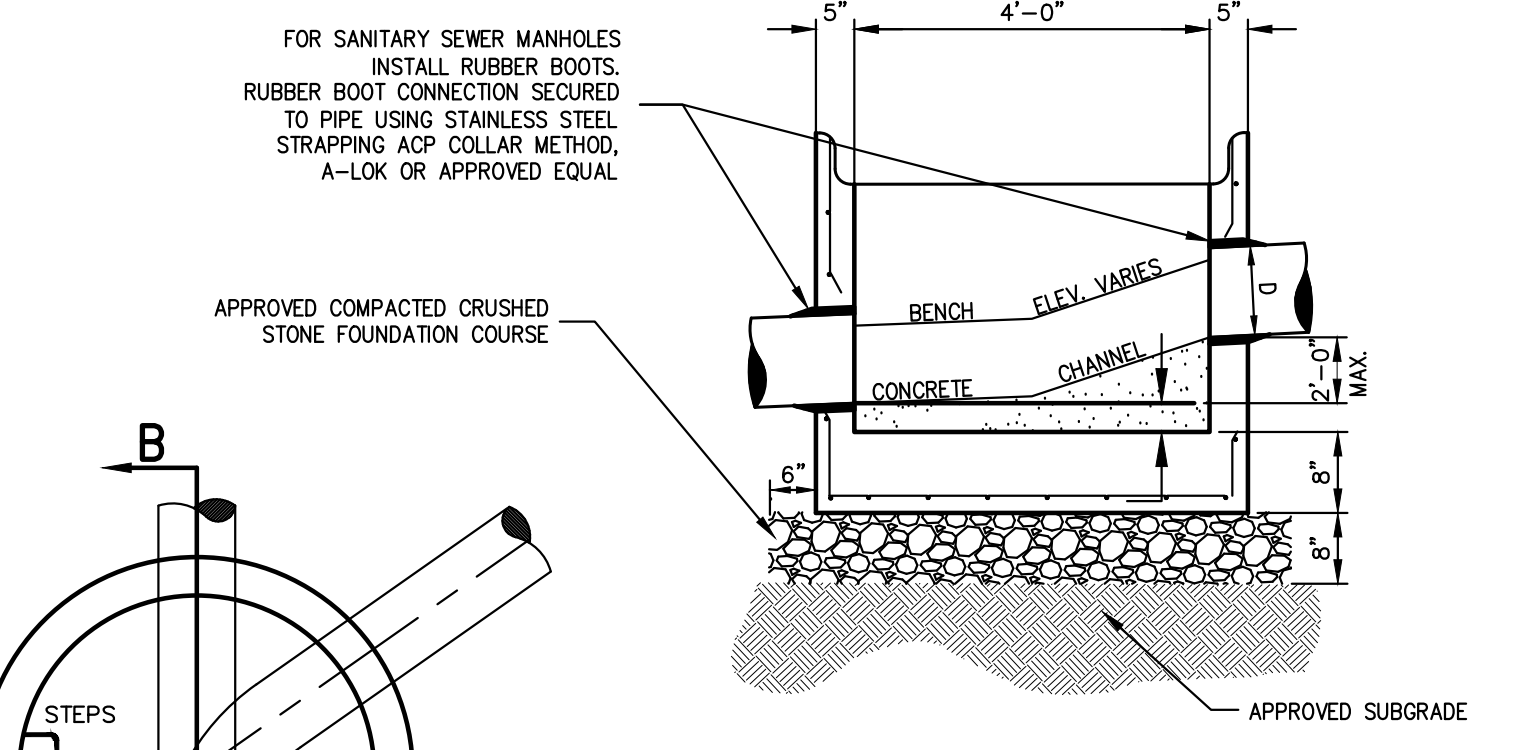
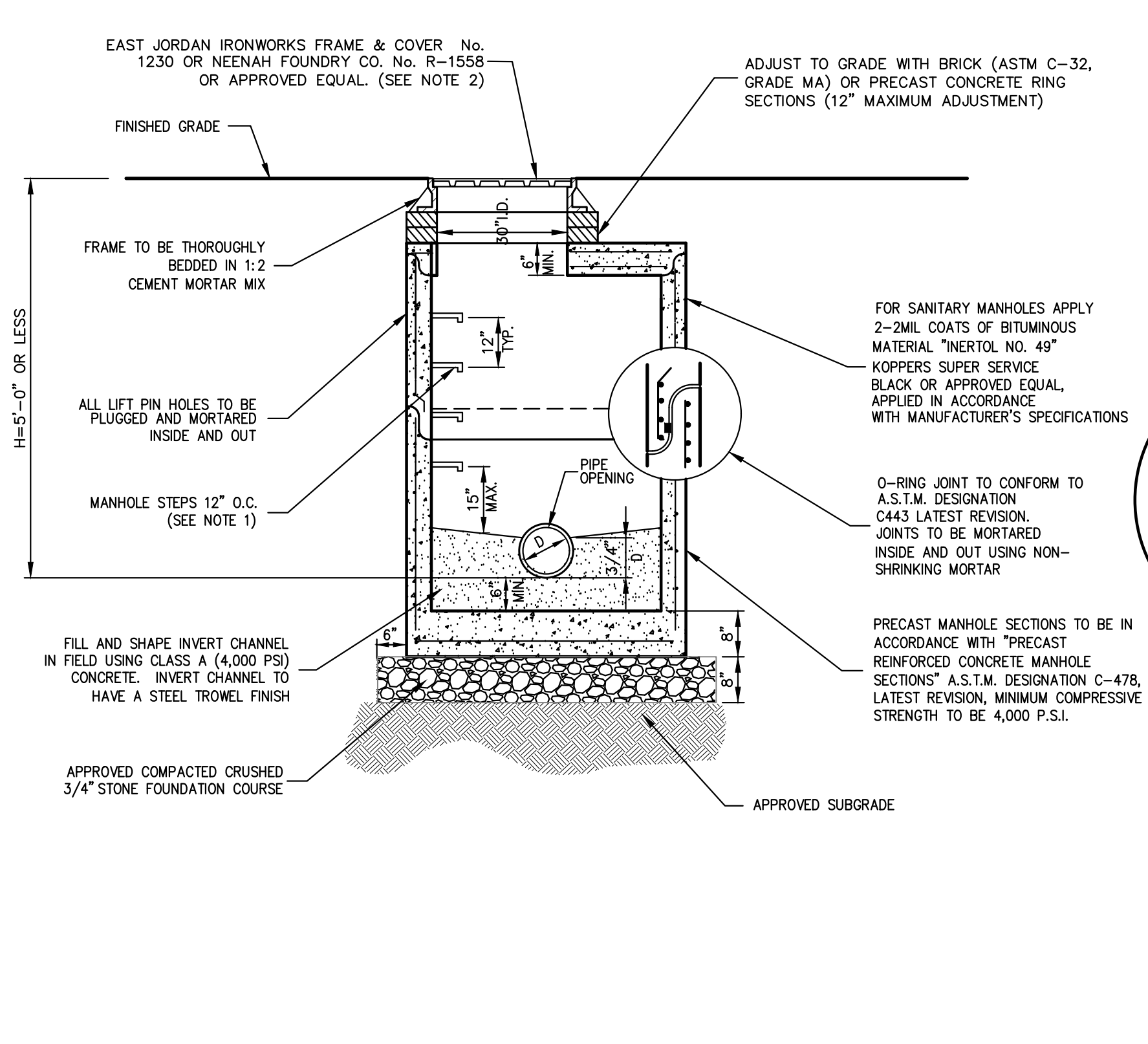
16

**DRAIN INLET (TYPE DI)**

17

**GRASS SWALE**

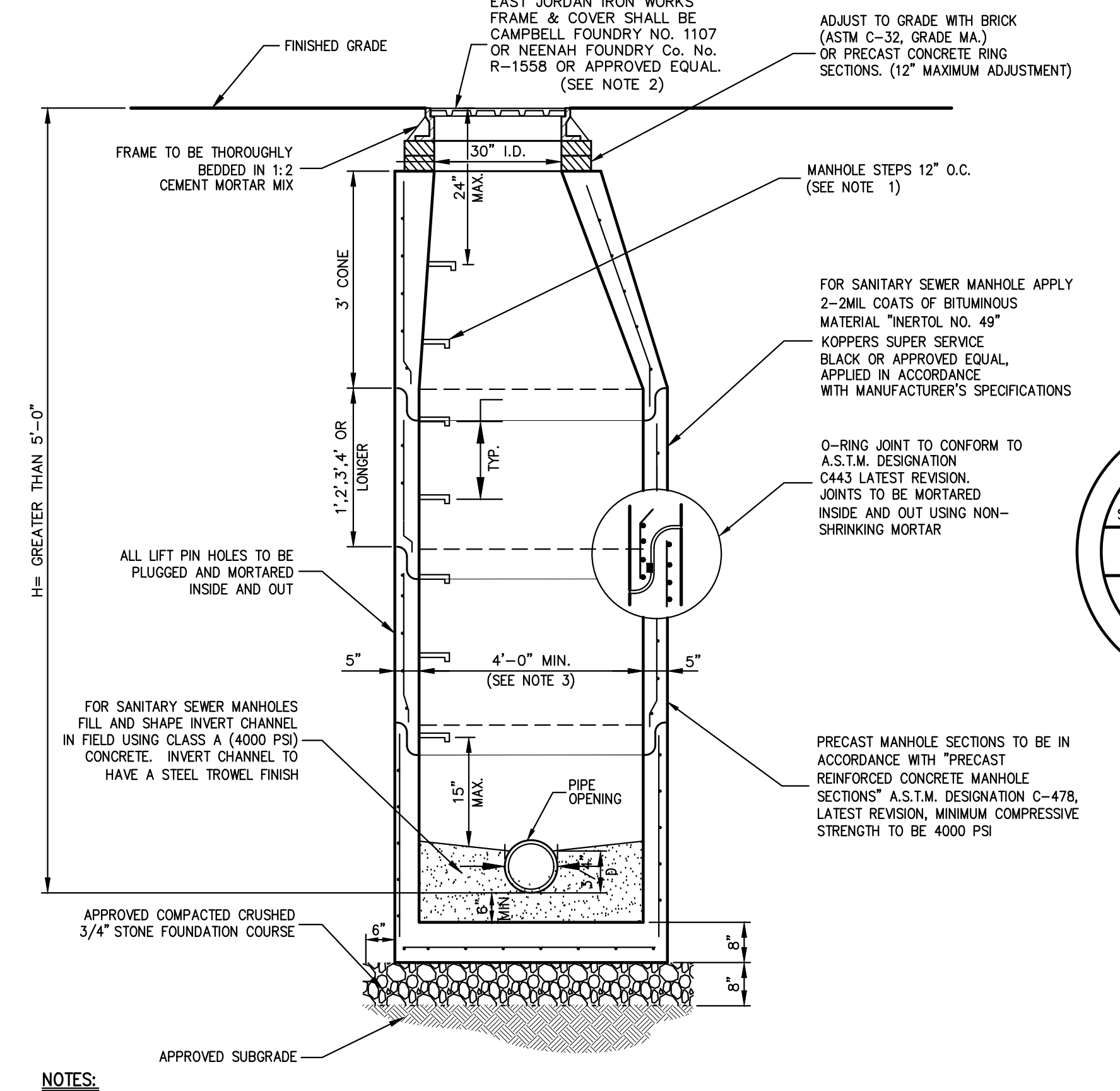
18



**NOTES:**  
1. MANHOLE STEPS SHALL BE CAST IRON NEENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.  
2. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.  
3. MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.  
4. SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.

**MANHOLE (TYPE A)**  
(H < 5'-0")

19



**NOTES:**  
1. MANHOLE STEPS SHALL BE CAST IRON NEENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.  
2. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.  
3. MANHOLES WITH DEPTH (h) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.  
4. MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.  
5. SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.

**MANHOLE (TYPE B)**  
(H > 5'-0") < 10'-0")

20

NOT FOR CONSTRUCTION

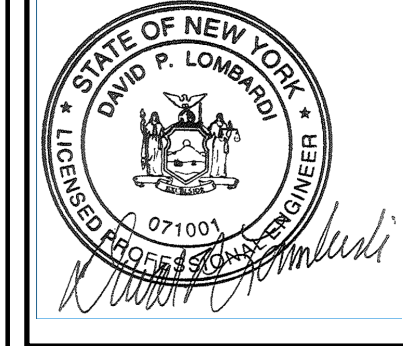
By	
Date	
Revision	
No.	

APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946

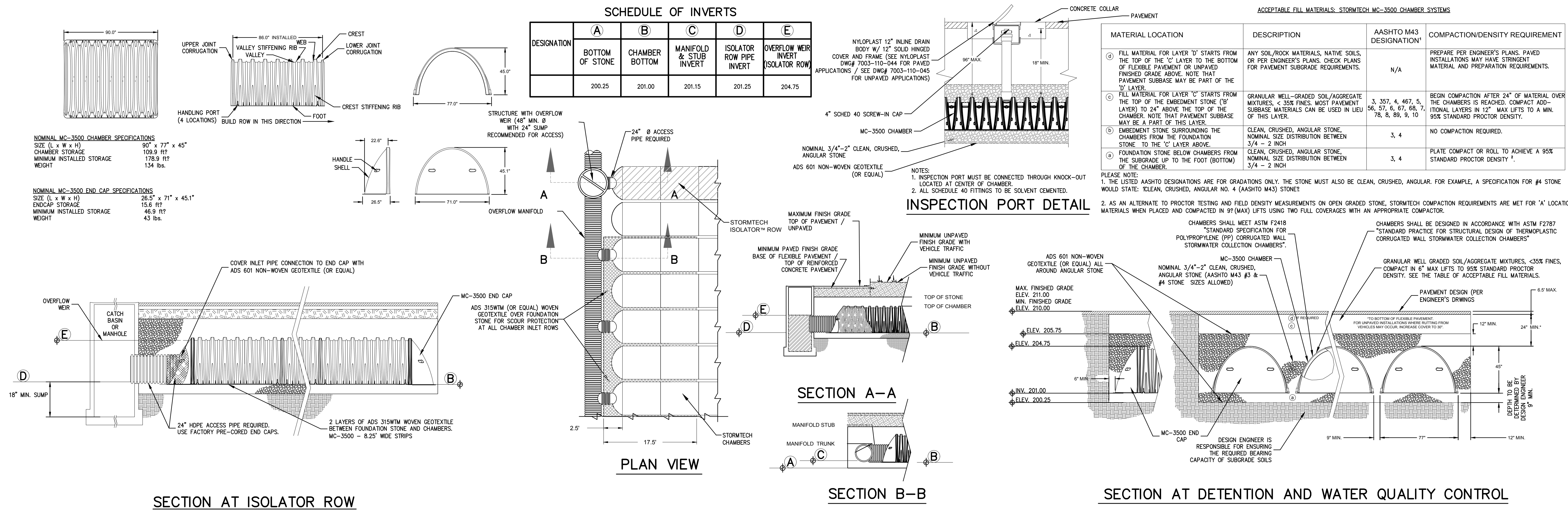
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.6225 • fax 914.273.2102  
www.jmcpic.com

**JMC**  
CONSTRUCTION DETAILS  
NEWBURGH COMMONS  
5430 & 5450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

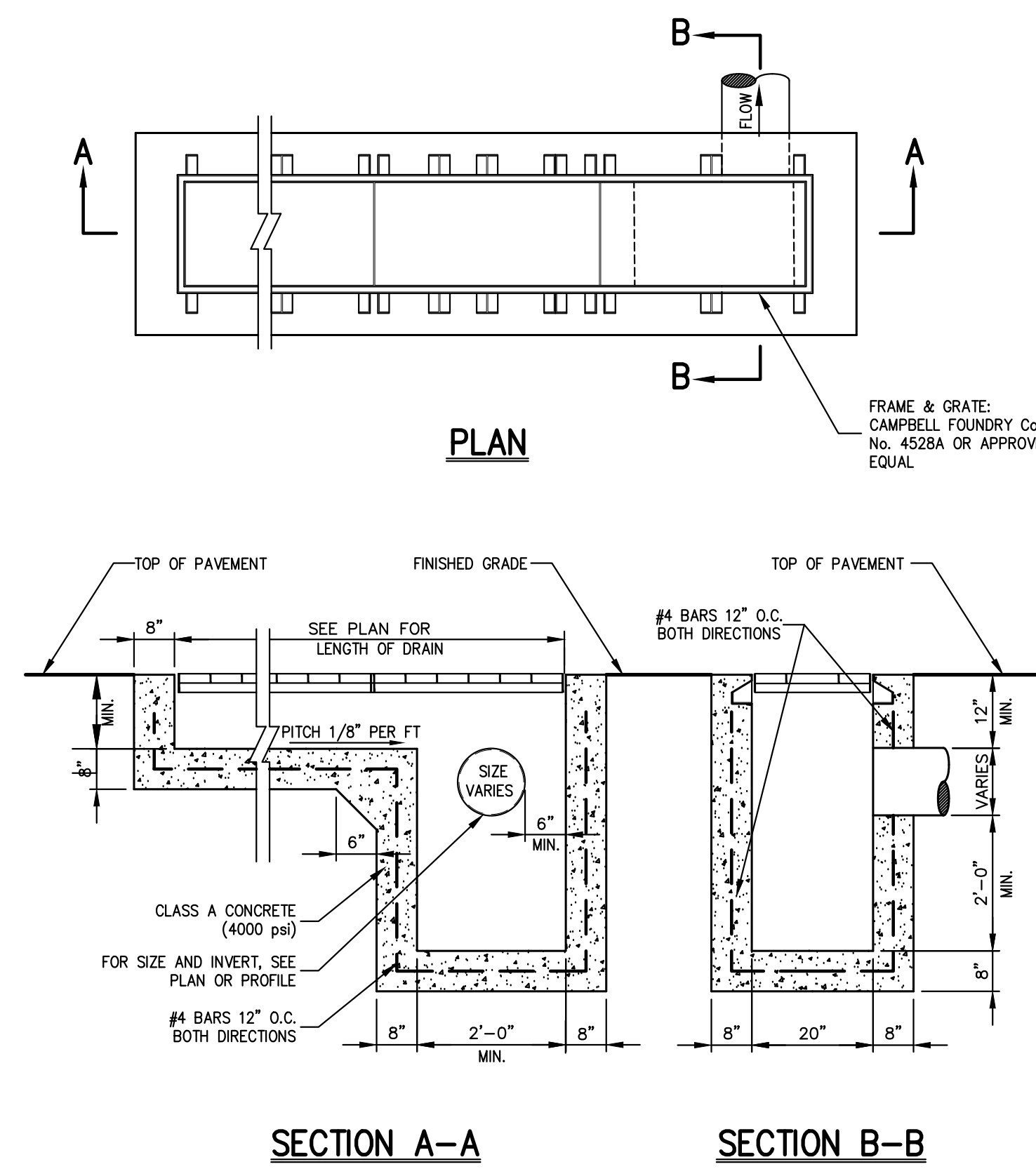
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



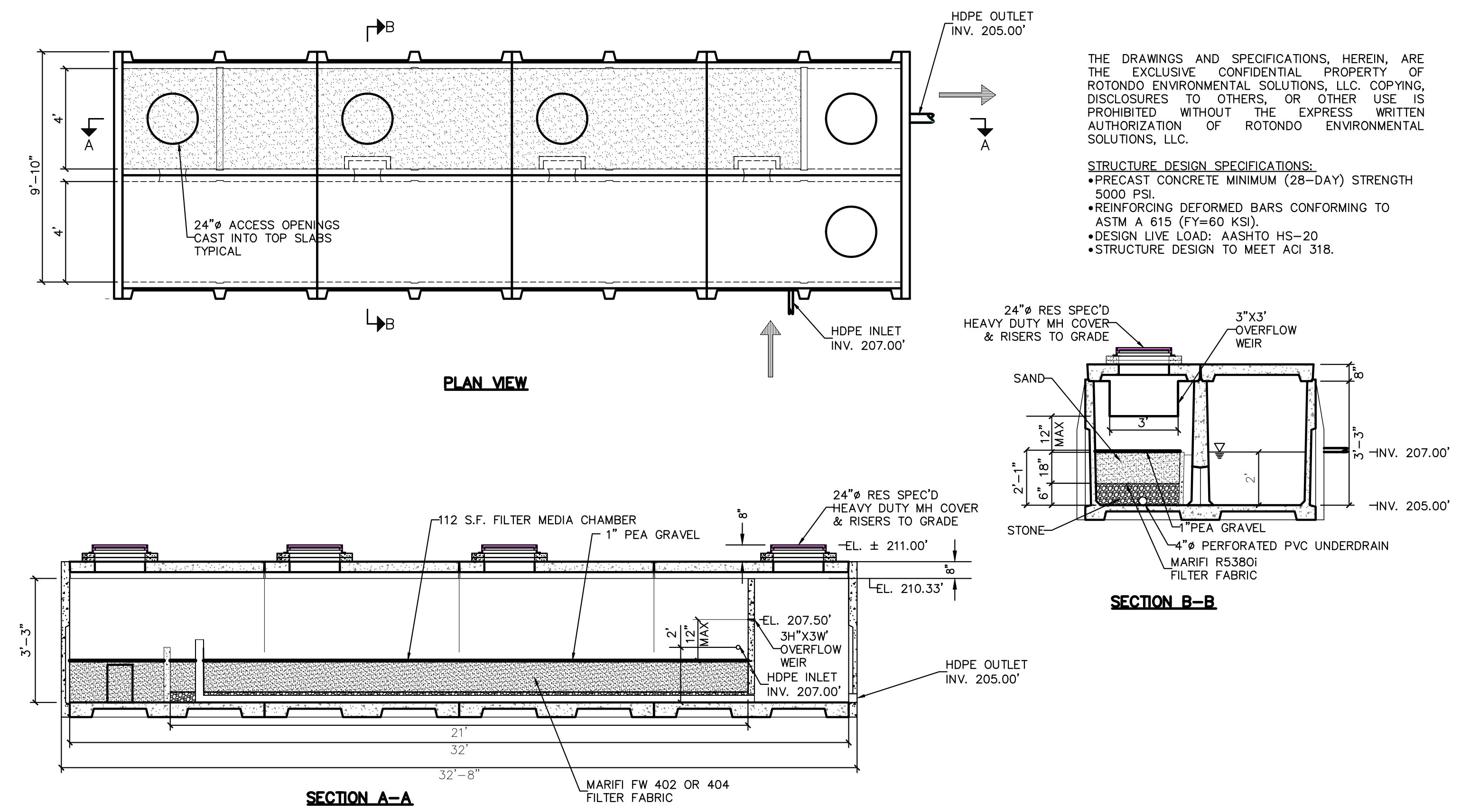
Drawn: **BMS** Approved: **XX**  
Scale: **NOT TO SCALE**  
Date: **11/13/2023**  
Project No: **17180**  
Title: **C-902**  
Drawing No: **C-902**



## STORMTECH CHAMBERS MC-3500



TROUGH DRAIN



SAND FILTER DETAIL

NOT FOR CONSTRUCTION

No.	Revision
Date	

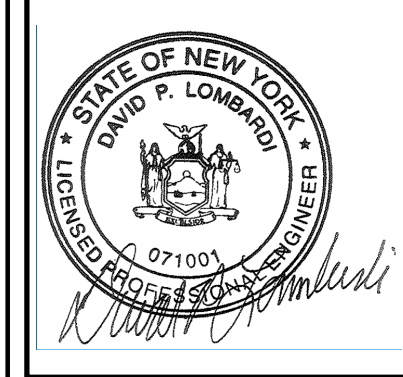
5450 RTE 9W LLC  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
 120 BEDFORD ROAD • BRIDGEMAN, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpic.com

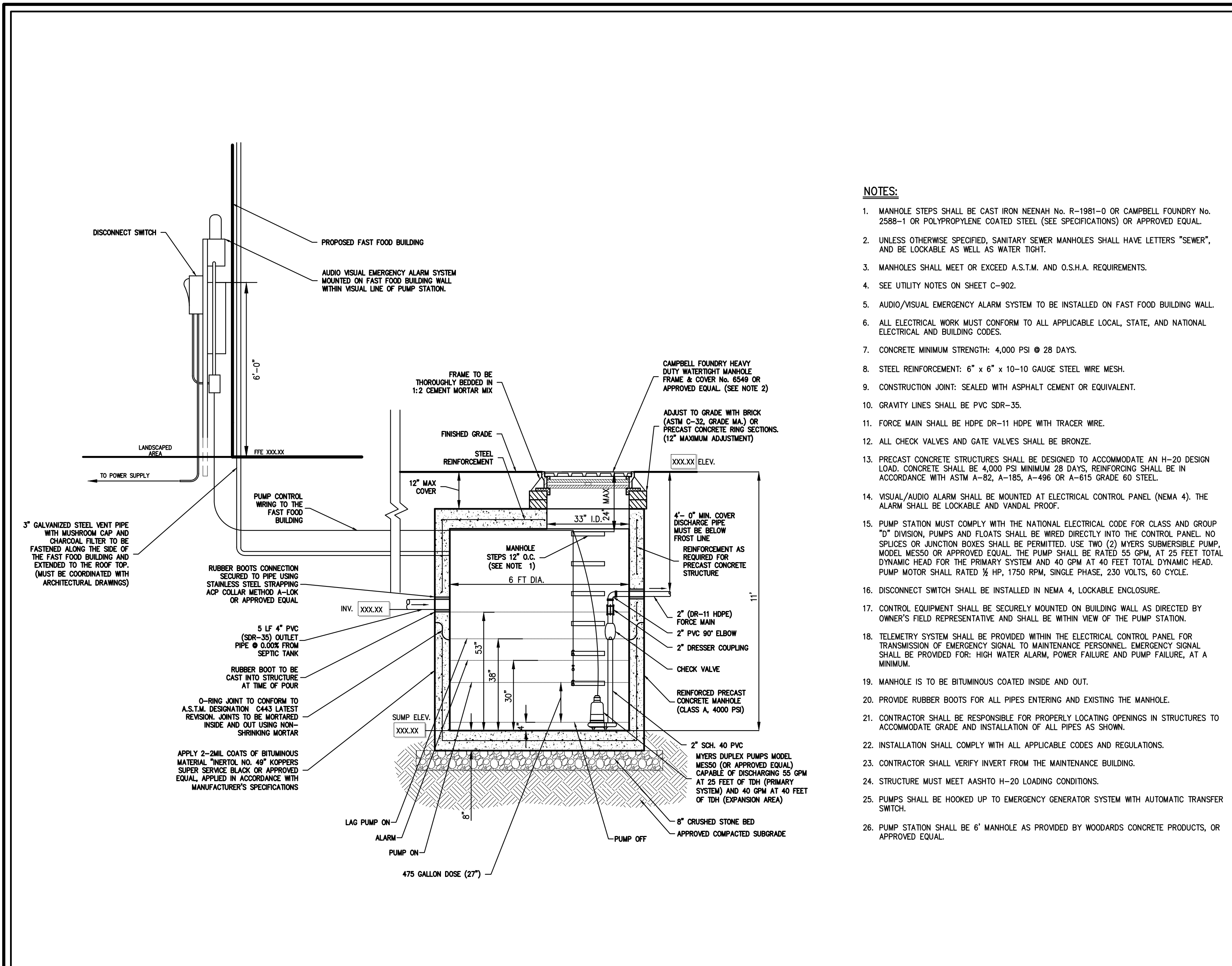
**CONSTRUCTION DETAILS**

**NEWBURGH COMMONS**  
 5430 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

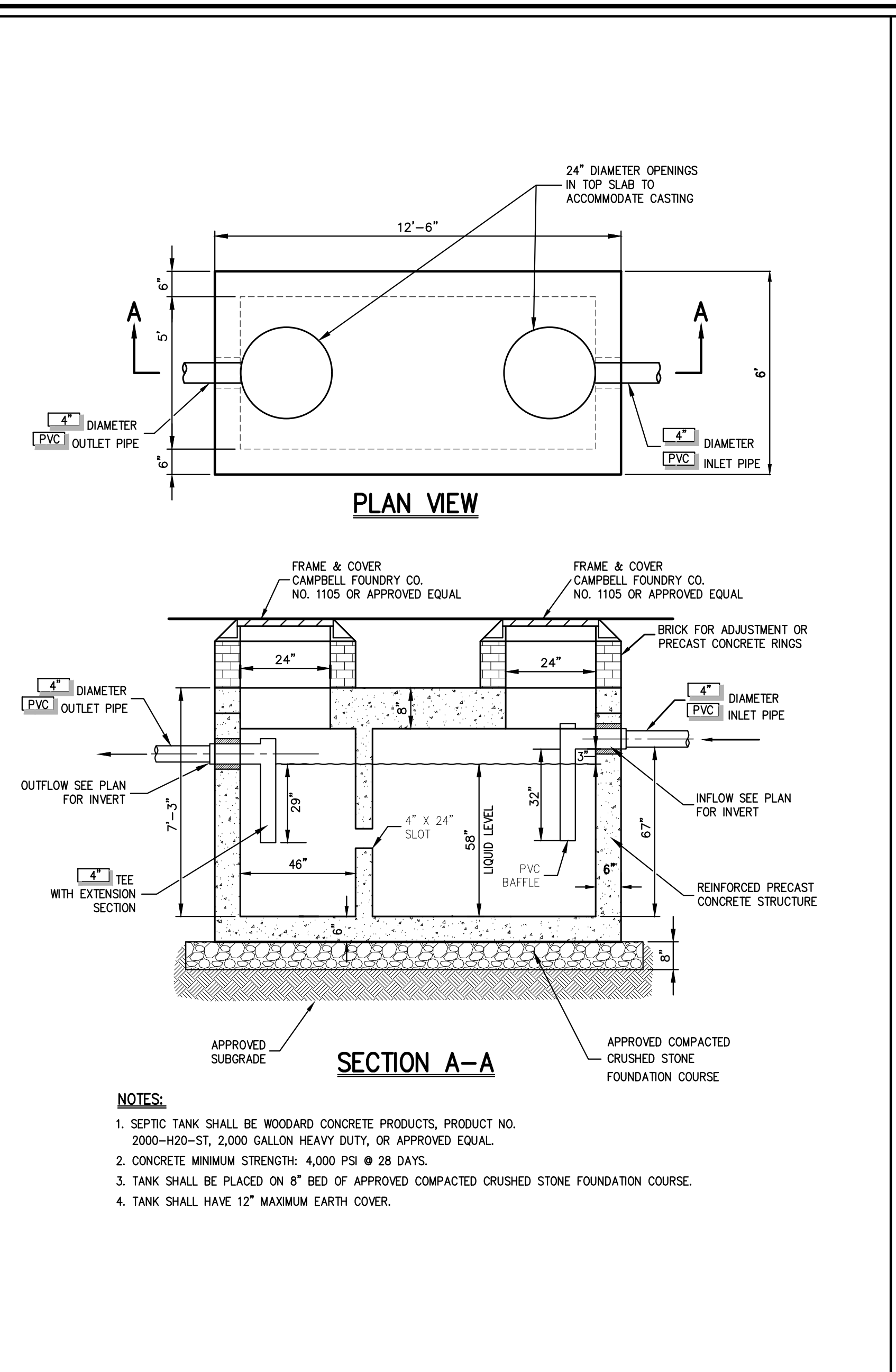
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



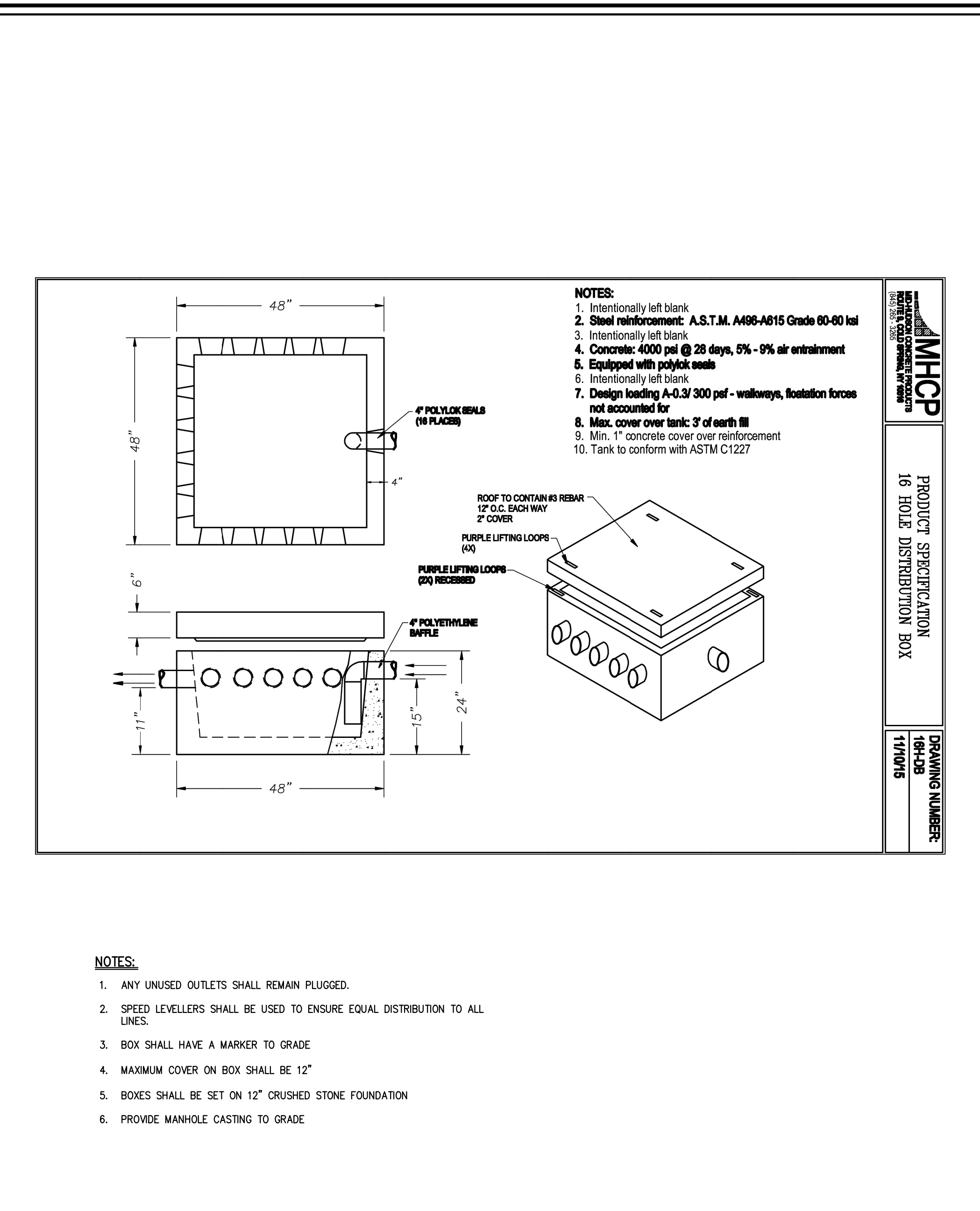
Drawn: <b>BMS</b>	Approved: <b>XX</b>
Scale: <b>NOT TO SCALE</b>	
Date: <b>11/13/2023</b>	
Project No: <b>17160</b>	
TYPED NAME: <b>C-903</b>	
Drawing No: <b>C-903</b>	



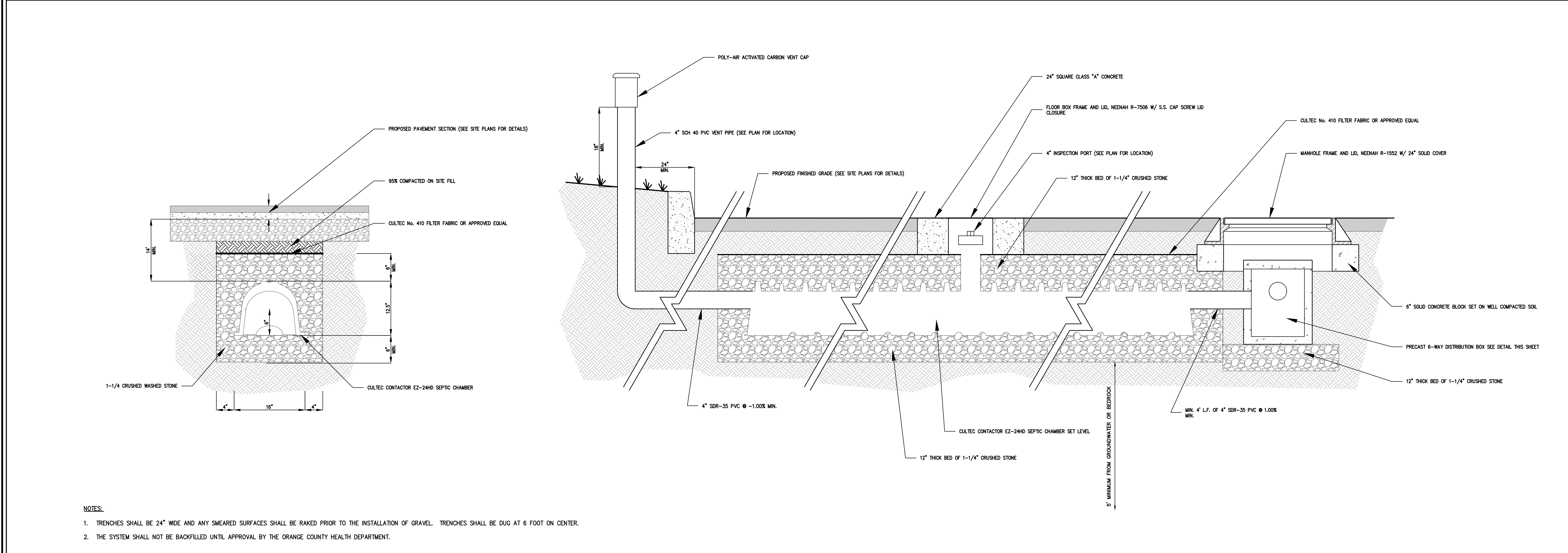
WET WELL PUMP STATION STORAGE TANK



2,000 GALLON SEPTIC TANK



16 HOLE DISTRIBUTION BOX



CULTEC EZ-24HD INSTALLATION

No.	Revision	Date	By

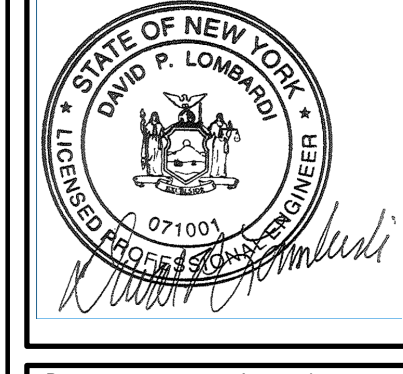
5450 RTE 9W LLC  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.6225 • fax 914.273.2102  
www.jmcpic.com



**CONSTRUCTION DETAILS**  
NEWBURGH COMMONS  
5430 & 5450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

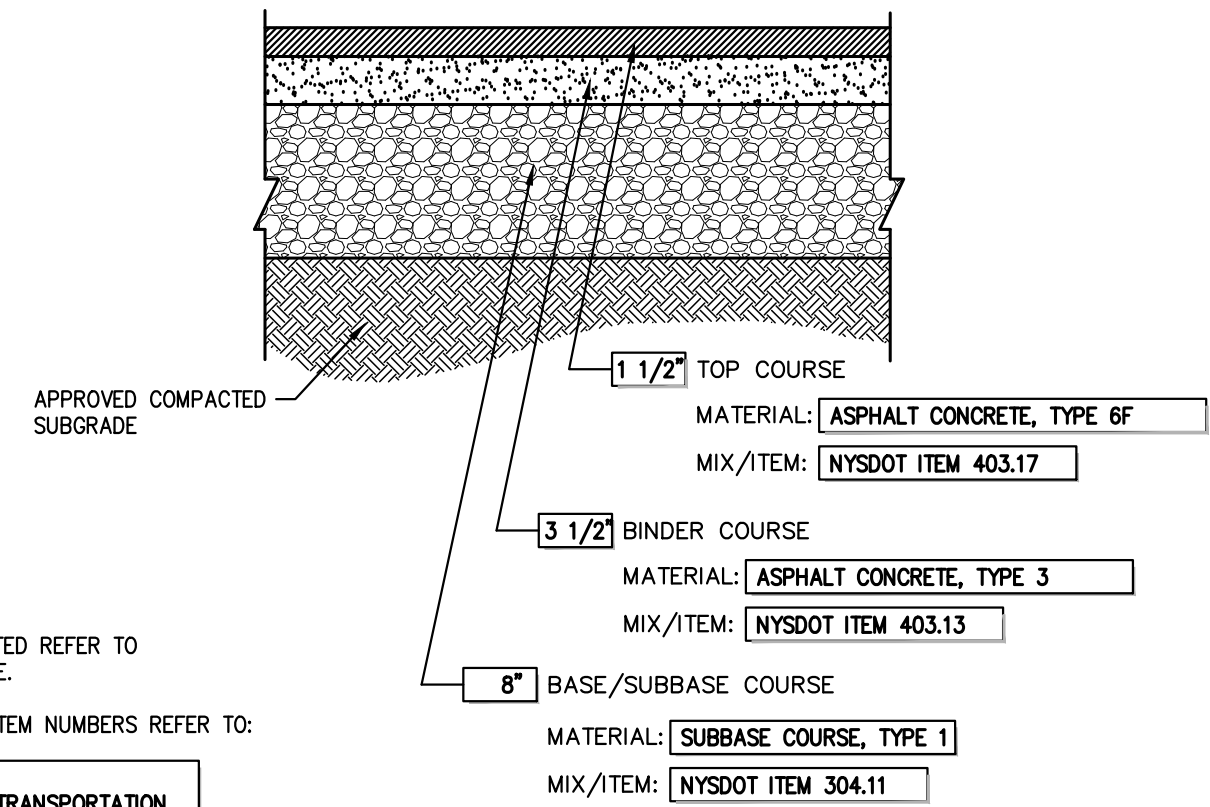
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



Drawn: BMS Approved: XX  
Scale: NOT TO SCALE  
Date: 11/10/10  
Project No: 17160  
1760-BEMS C-904  
Drawing No: 27

C-904

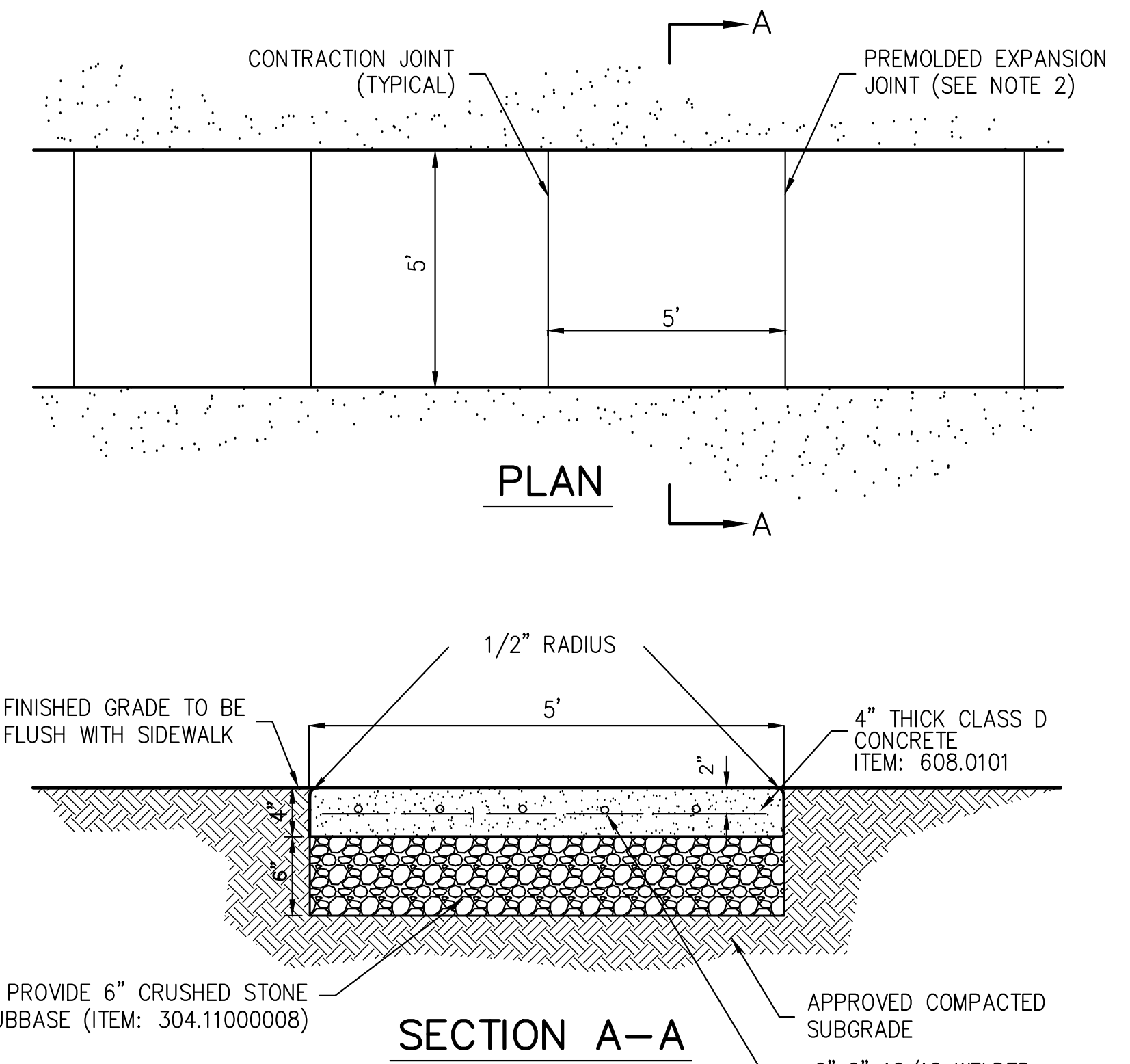
NOT FOR CONSTRUCTION



**NOTES:**  
 1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.  
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:  
 NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

**SITE PAVEMENT**  
(Heavy Duty)

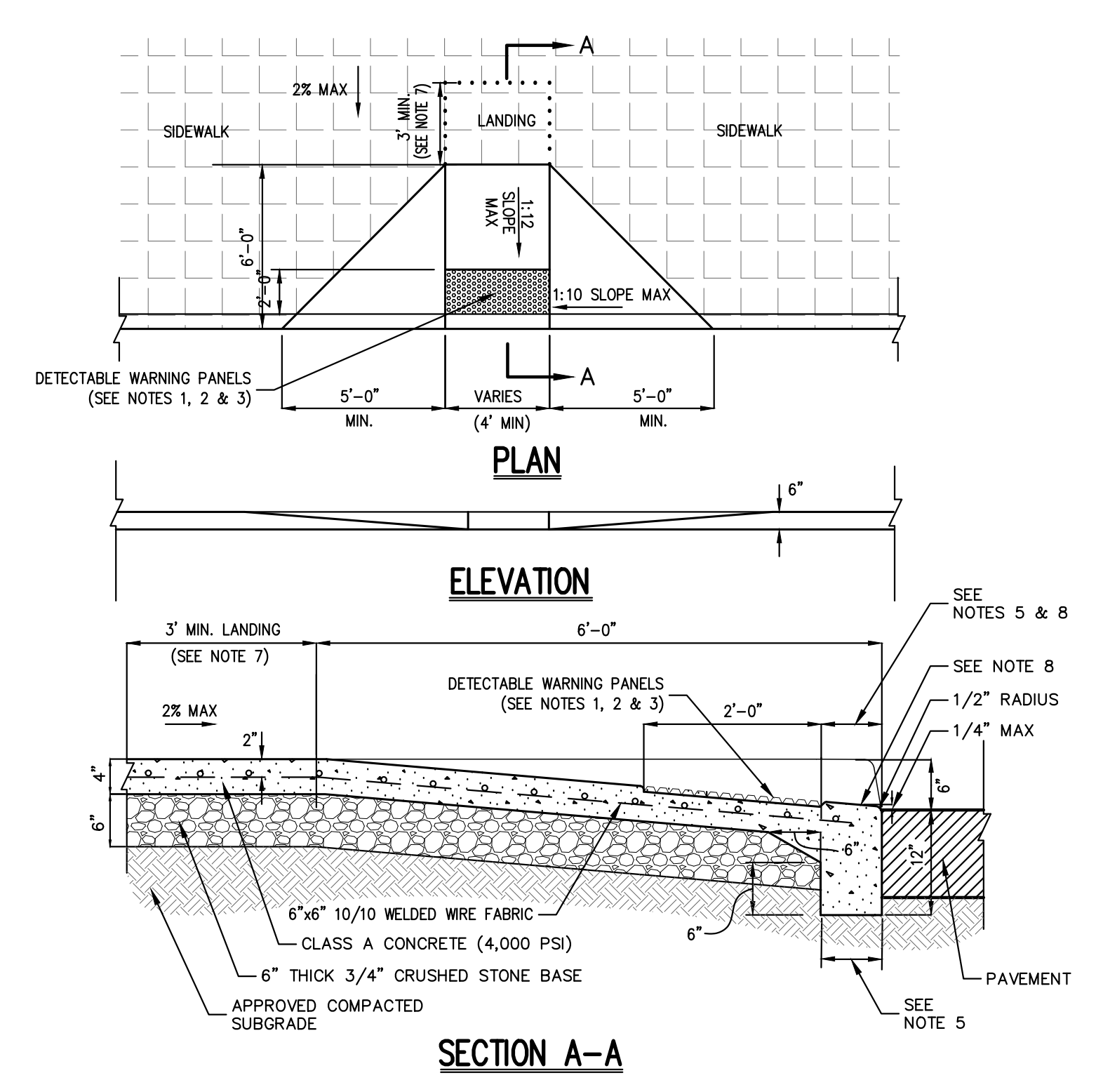
28



**NOTES:**  
 1. SIDEWALK CROSS SLOPE SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE.  
 2. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.  
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.  
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH  
 5. ANY CONCRETE SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 6" AND INCLUDE STEEL MESH REINFORCEMENT WITH 3" OF TOP COVER.

**CONCRETE SIDEWALK**

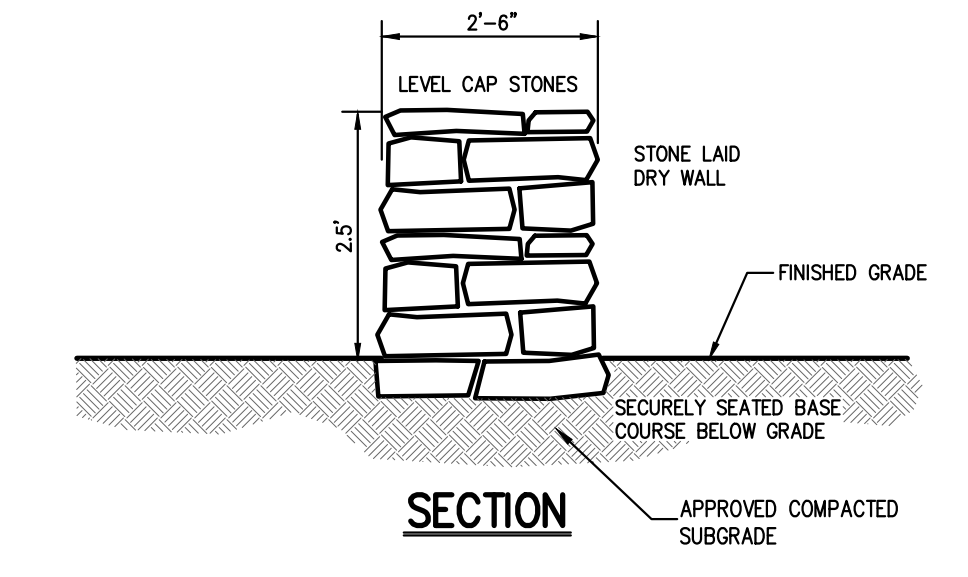
29



**NOTES:**  
 1. RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.  
 2. DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.  
 3. 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)  
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.  
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT FLOODING.  
 7. WHEN LANDING OF RAMP ADJACENT TO A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:  
 MANUAL SWING DOORS = 60" MIN.  
 FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.  
 8. CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

**DROP CURB & RAMP (TYPE A)**  
WITH DETECTABLE WARNING

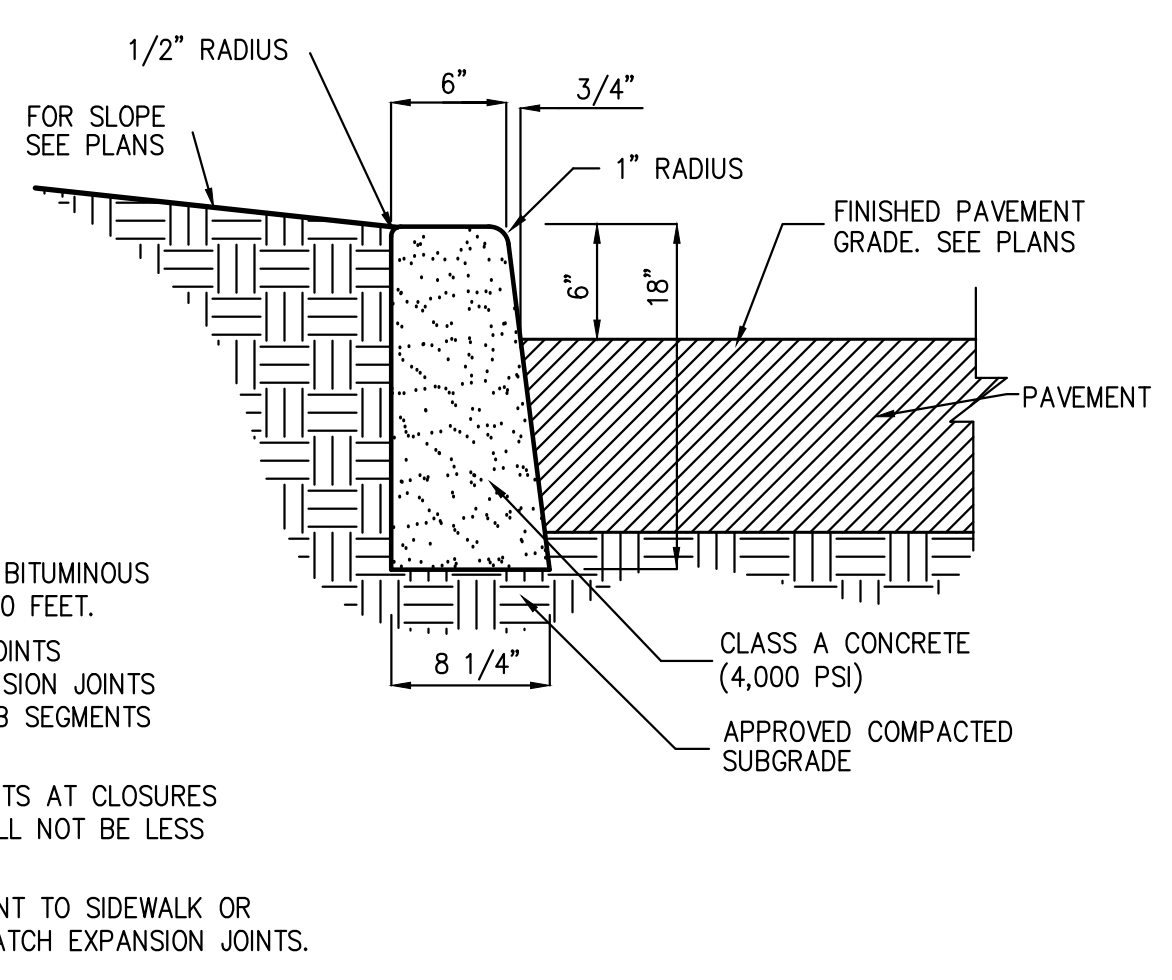
30



**NOTES:**  
 1. THE CONTRACTOR MAY LAY STONE AVAILABLE FROM THE JOB SITE, PROVIDED THE STONE MEETS THE APPROVAL OF THE OWNERS FIELD REPRESENTATIVE.  
 2. STAGGER VERTICAL JOINTS FOR STRENGTH.  
 3. SET STONES TIGHTLY WITH MINIMAL MOVEMENT.  
 4. BATTER WALL 1 INCH PER FOOT OF HEIGHT.

**DRY LAID STONE WALL**

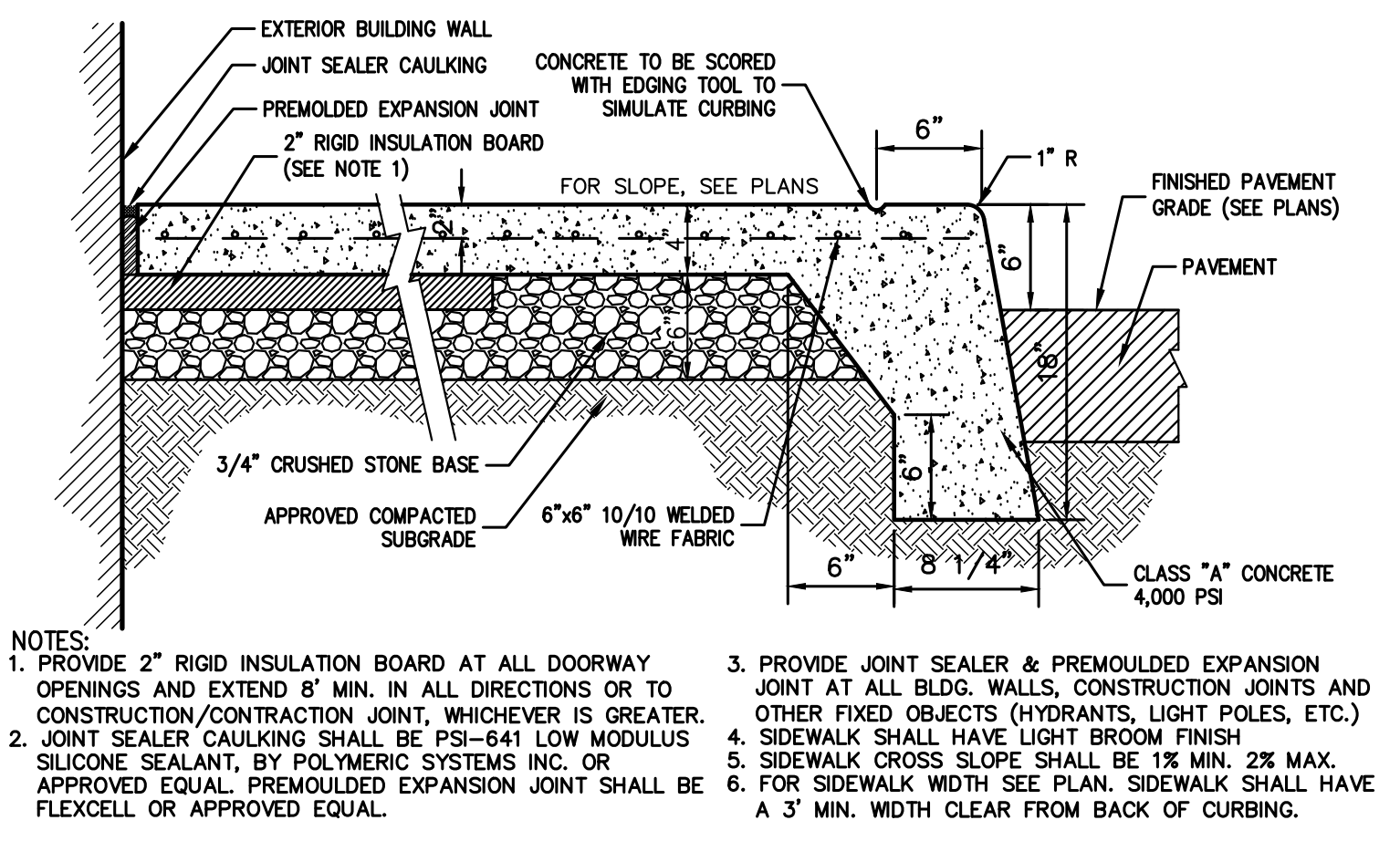
31



**NOTES:**  
 1. INSTALL 1/2" PREFORMED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.  
 2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.  
 3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.  
 4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

**CAST-IN-PLACE CONCRETE CURB**

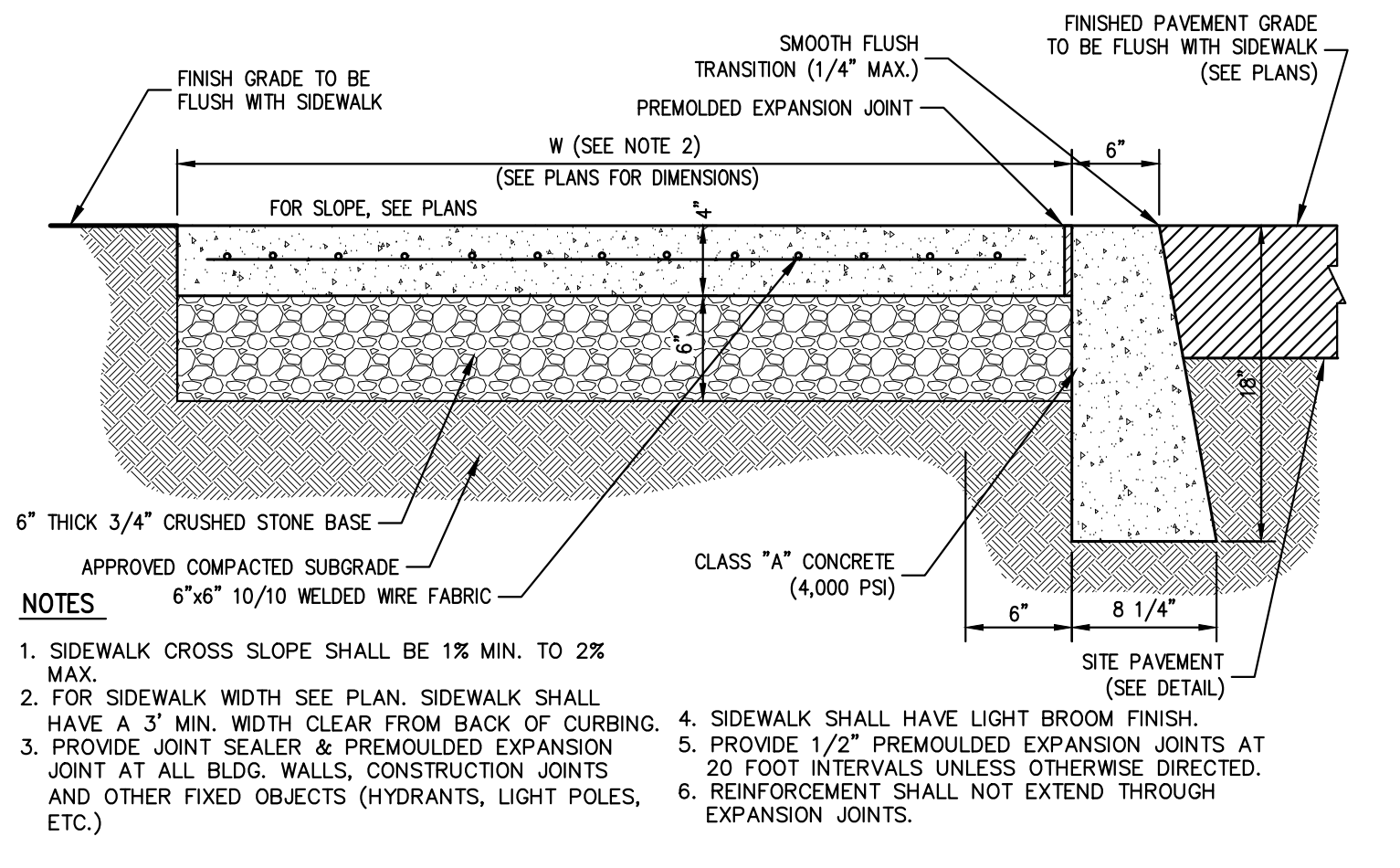
32



**NOTES:**  
 1. PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 8" MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONTRACTION JOINT, WHICHEVER IS GREATER.  
 2. JOINT SEALER CAULKING SHALL BE PSI-641 LOW MODULUS SILICONE SEALANT, BY POLYMER SYSTEMS INC. OR APPROVED EQUAL. PREFORMED EXPANSION JOINT SHALL BE FLEXCELL OR APPROVED EQUAL.  
 3. PROVIDE JOINT SEALER & PREFORMED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.)  
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH  
 5. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. 2% MAX.  
 6. FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3' MIN. WIDTH CLEAR FROM BACK OF CURBING.

**BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK**

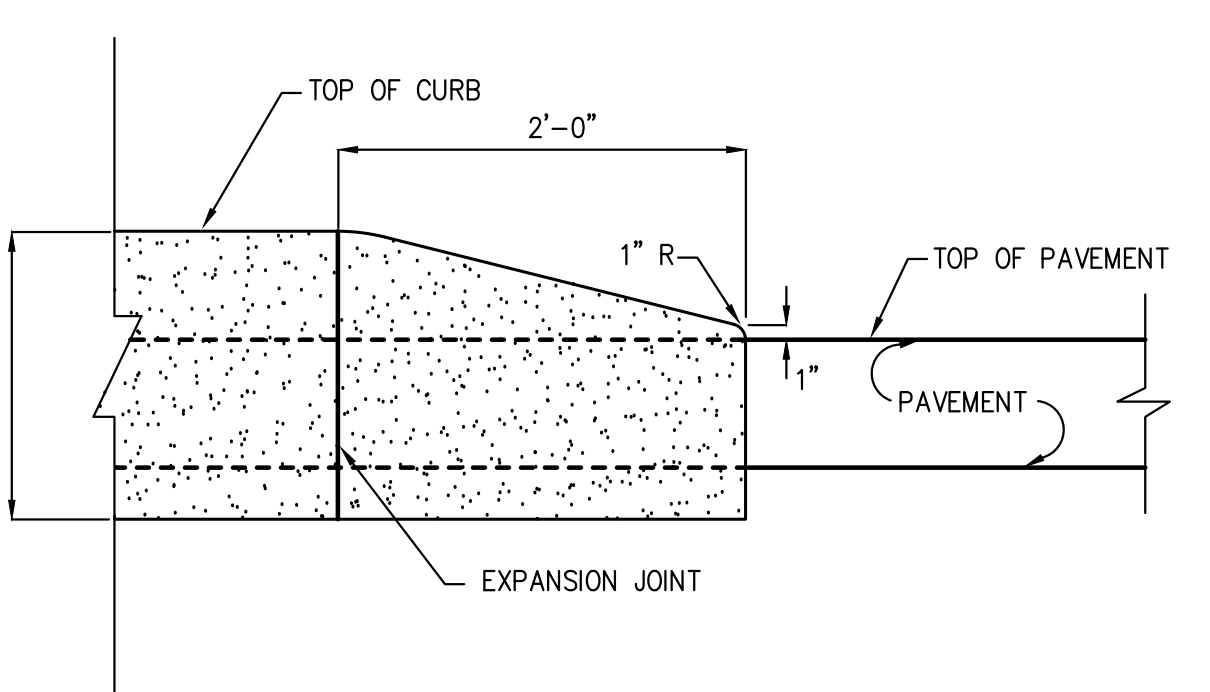
34



**NOTES:**  
 1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.  
 2. FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3' MIN. WIDTH CLEAR FROM BACK OF CURBING.  
 3. PROVIDE JOINT SEALER & PREFORMED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.)  
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.  
 5. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' FOOT INTERVALS UNLESS OTHERWISE DIRECTED.  
 6. REINFORCEMENT SHALL NOT EXTEND THROUGH EXPANSION JOINTS.

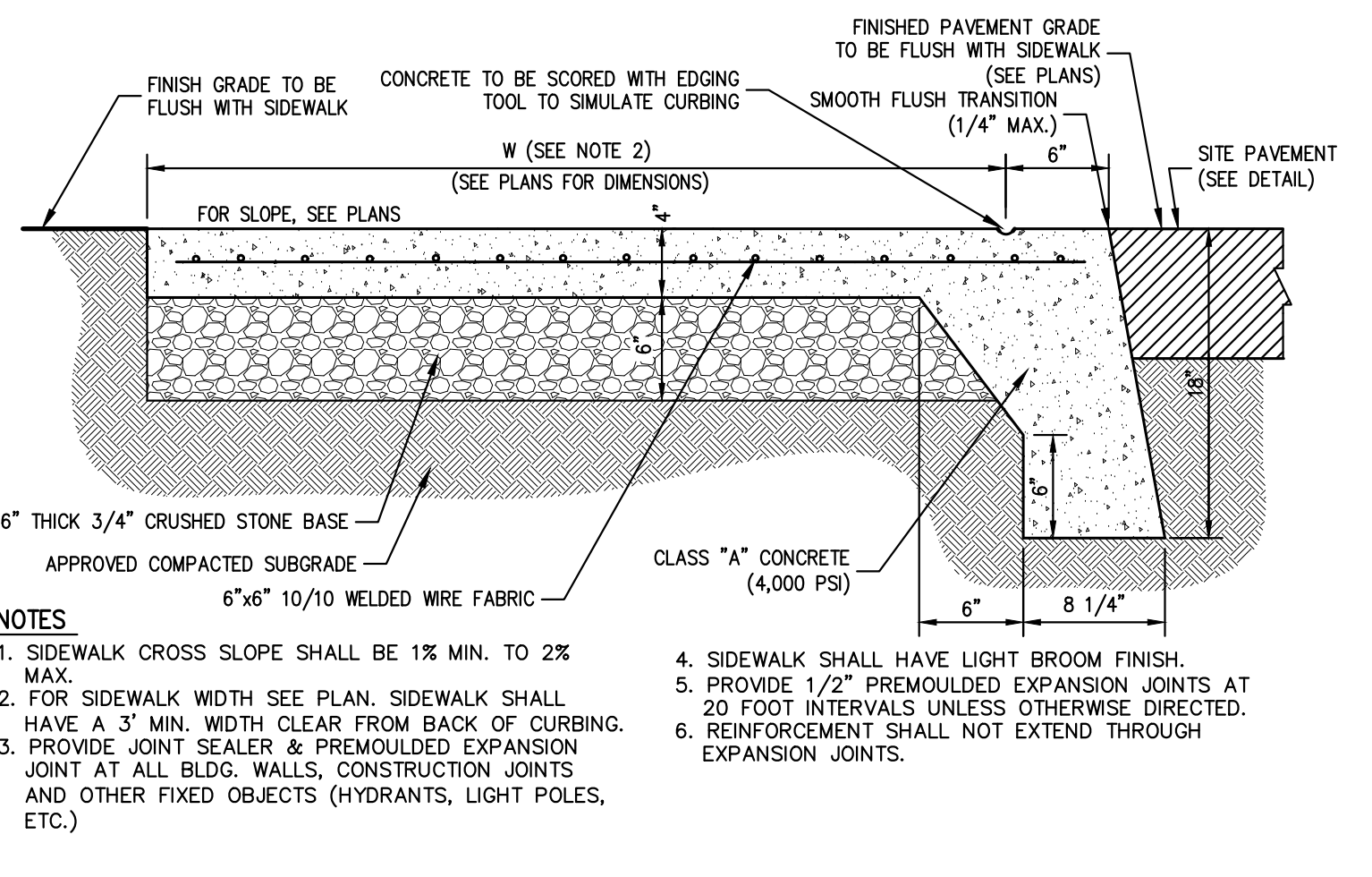
**CONCRETE FLUSH CURB AND SIDEWALK**

36



**CONCRETE CURB ENDING**

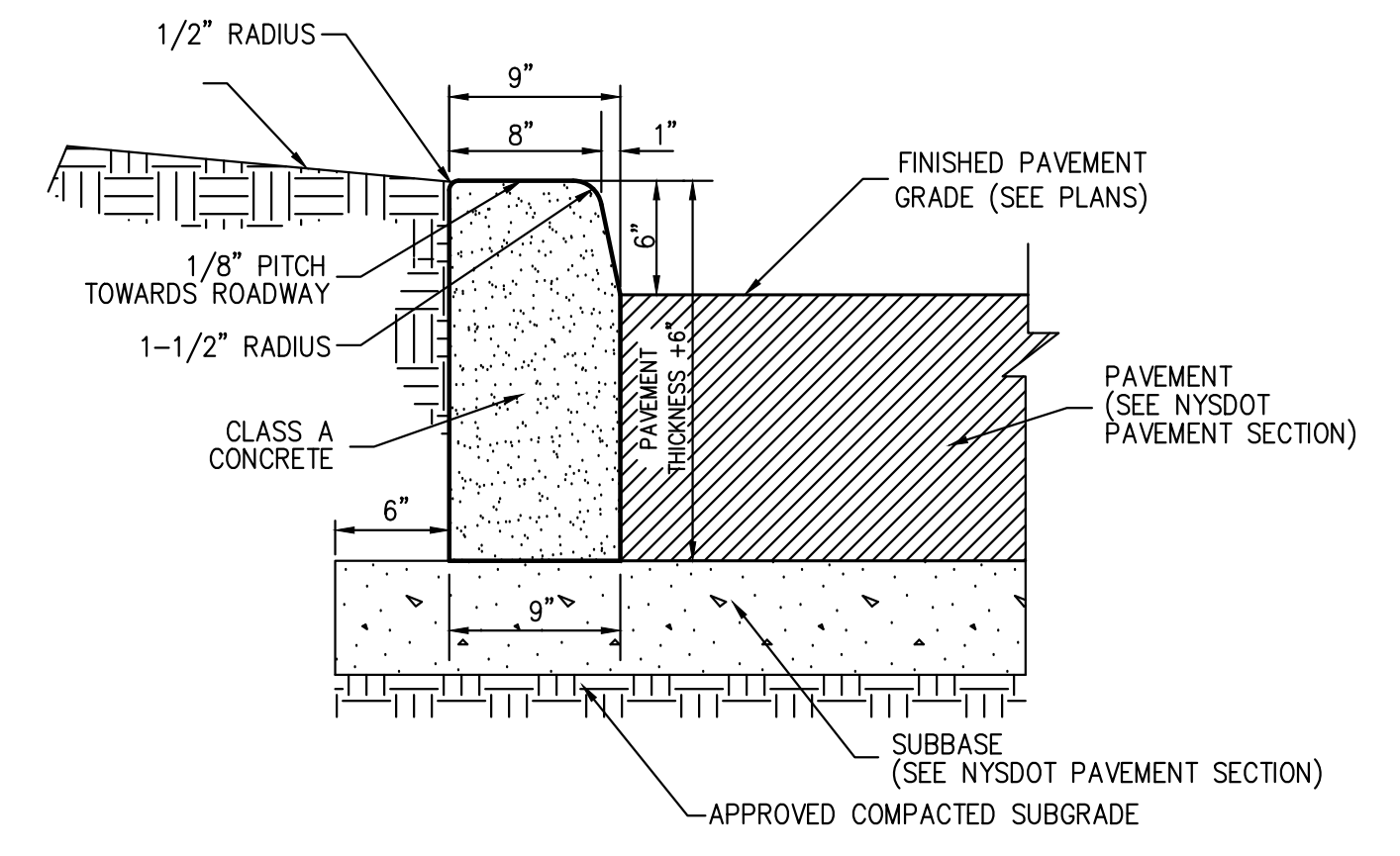
33



**NOTES:**  
 1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.  
 2. FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3' MIN. WIDTH CLEAR FROM BACK OF CURBING.  
 3. PROVIDE JOINT SEALER & PREFORMED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.)  
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.  
 5. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20 FOOT INTERVALS UNLESS OTHERWISE DIRECTED.  
 6. REINFORCEMENT SHALL NOT EXTEND THROUGH EXPANSION JOINTS.

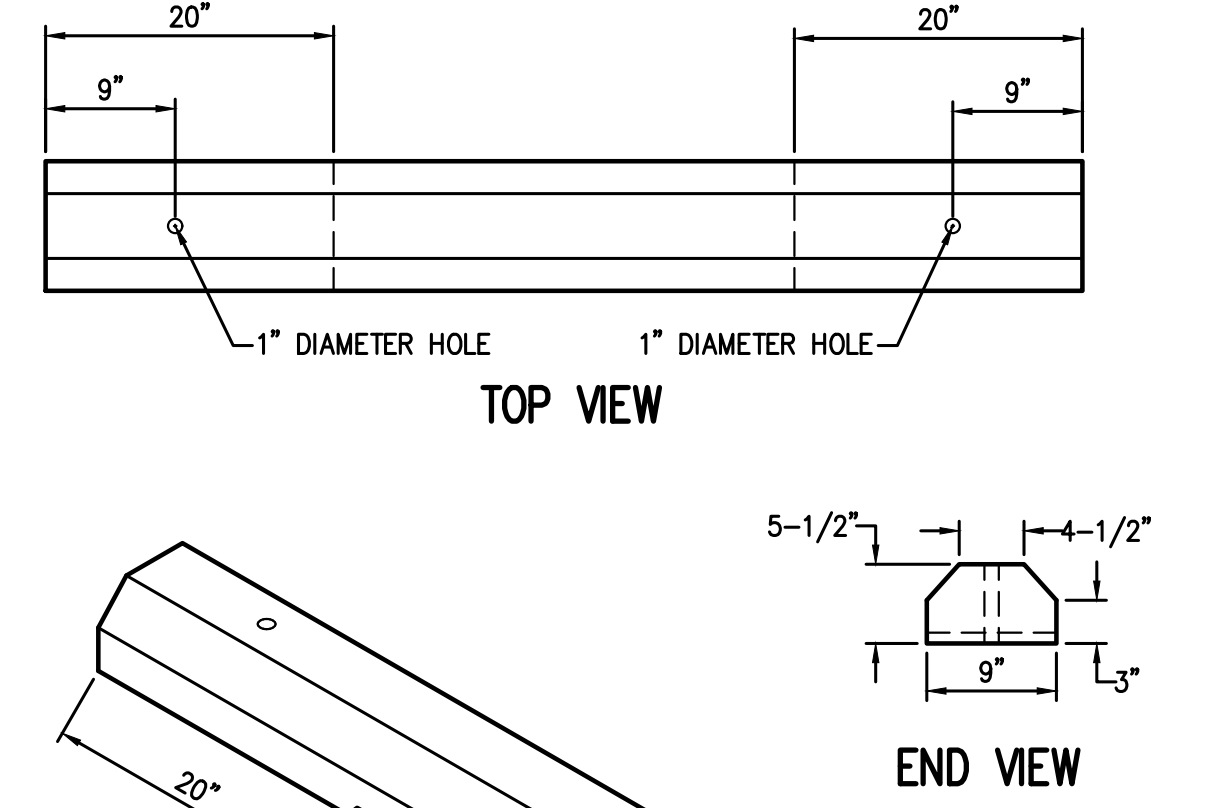
**MONOLITHIC CONCRETE FLUSH CURB AND SIDEWALK**

35



**NYSDOT TYPE VF150 CONCRETE CURB**  
(ITEM 609.0401)

37



**NOTES:**  
 1. CONCRETE MINIMUM STRENGTH-4,000 PSI AT 28 DAYS  
 2. REINFORCEMENT-#4 REBAR

**CONCRETE BUMPER BLOCK**

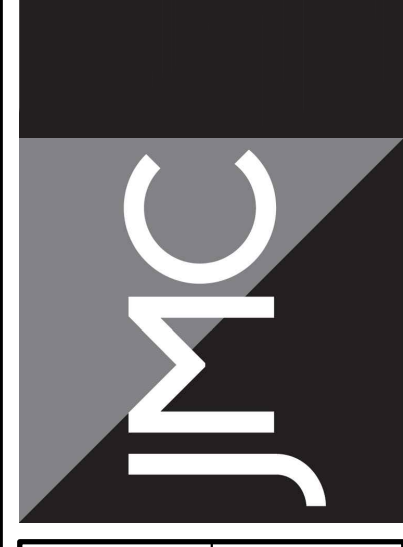
38

NOT FOR CONSTRUCTION

By	
Date	
Revision	
No.	

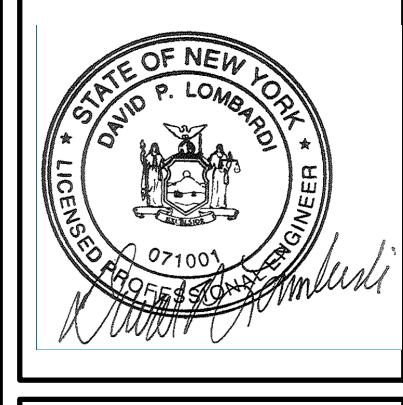
APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscaping  
 Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BERGER ROAD - BERKHAM, NY 10504  
 voice 514.273.5225 - fax 514.273.2102  
 www.jmcplic.com

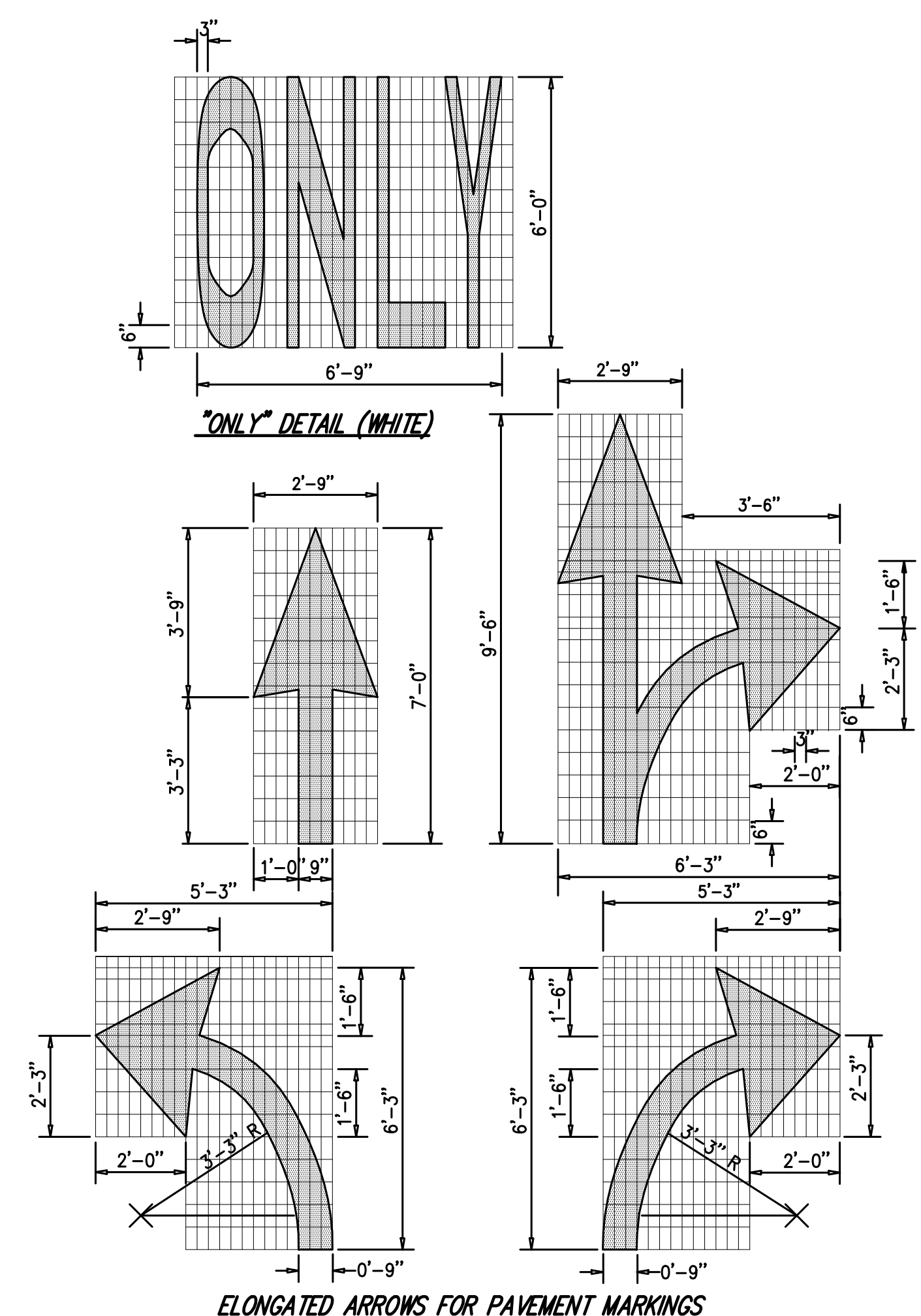


**CONSTRUCTION DETAILS**  
 NEWBURGH COMMONS  
 5450 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

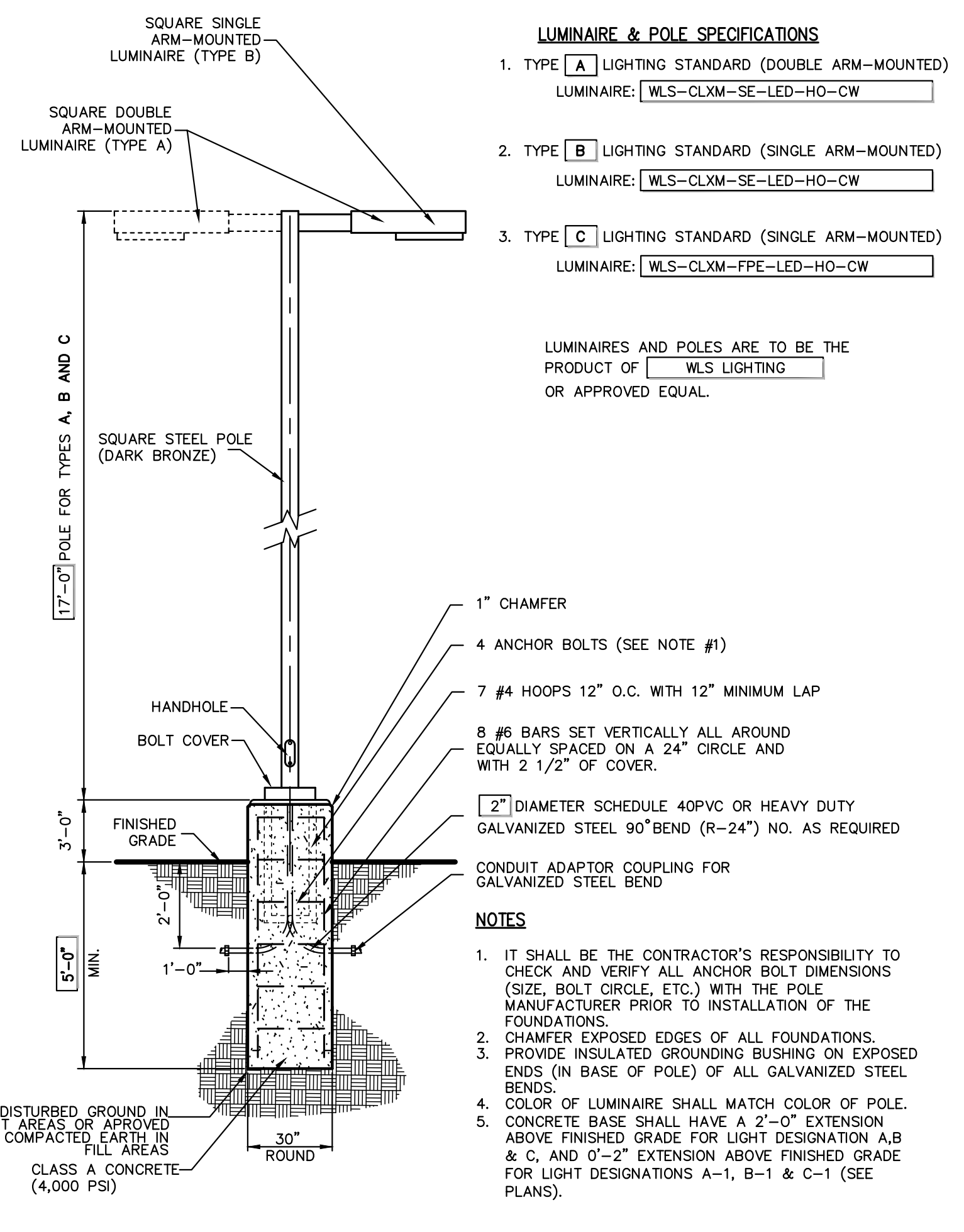


Drawn	BMS	Approved	XX
Scale	NOT TO SCALE		
Date	11/13/2023		
Project No.	17160		
17160-DETA	C-905		
Drawing No.	C-905		



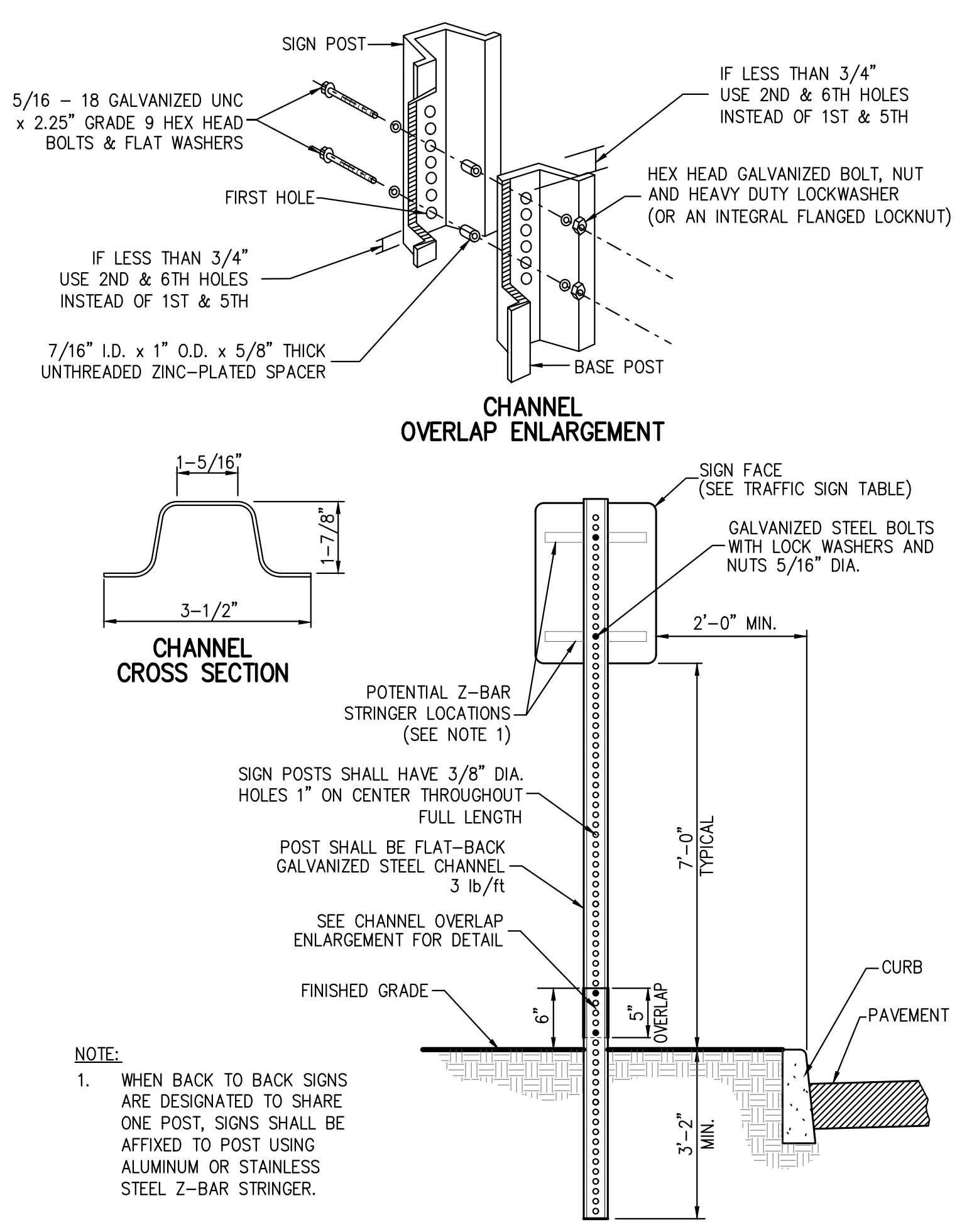
**PAVEMENT TEXT & ARROWS**  
(ON-SITE)

39



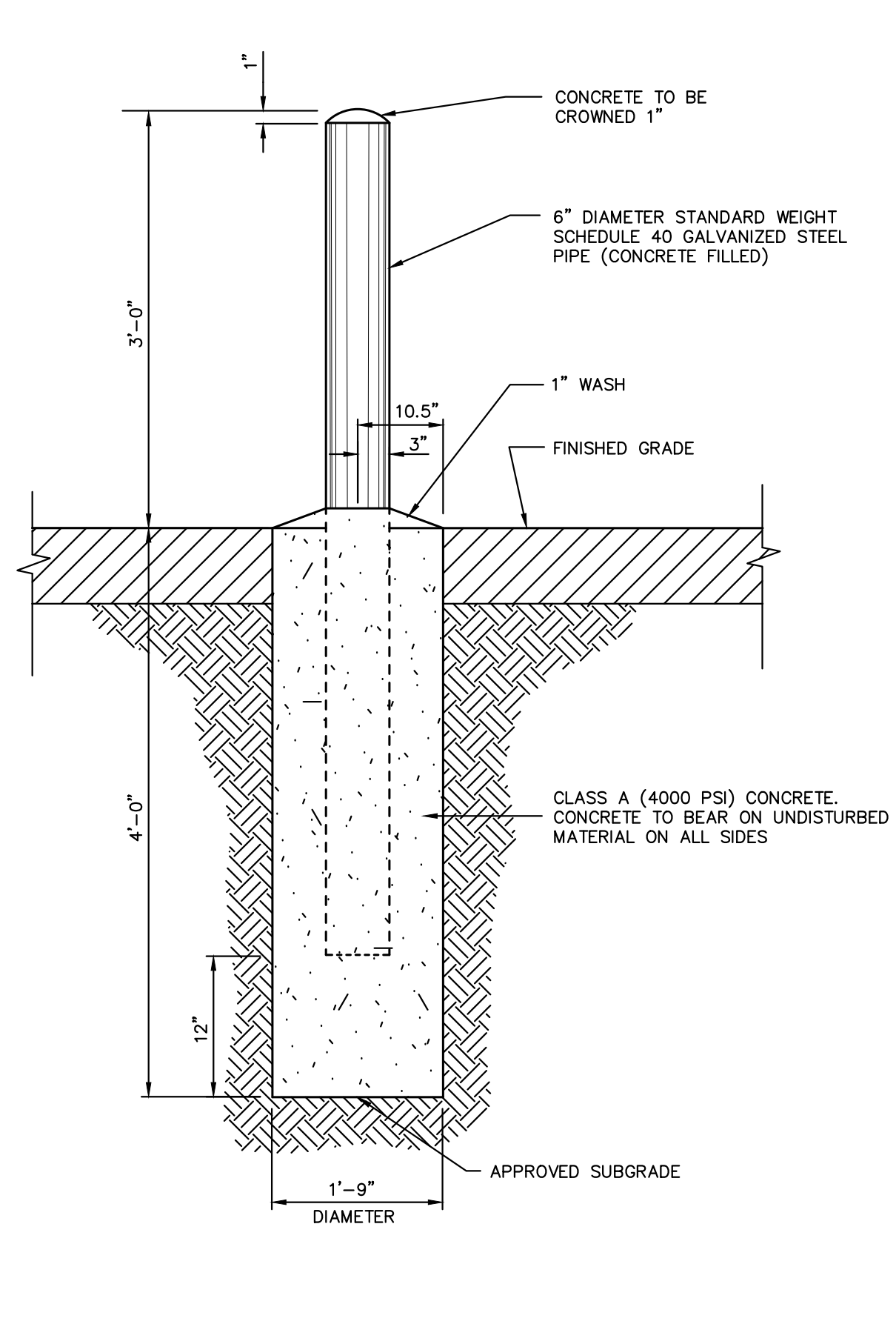
**LIGHTING STANDARD**  
(Arm Mounted)

40



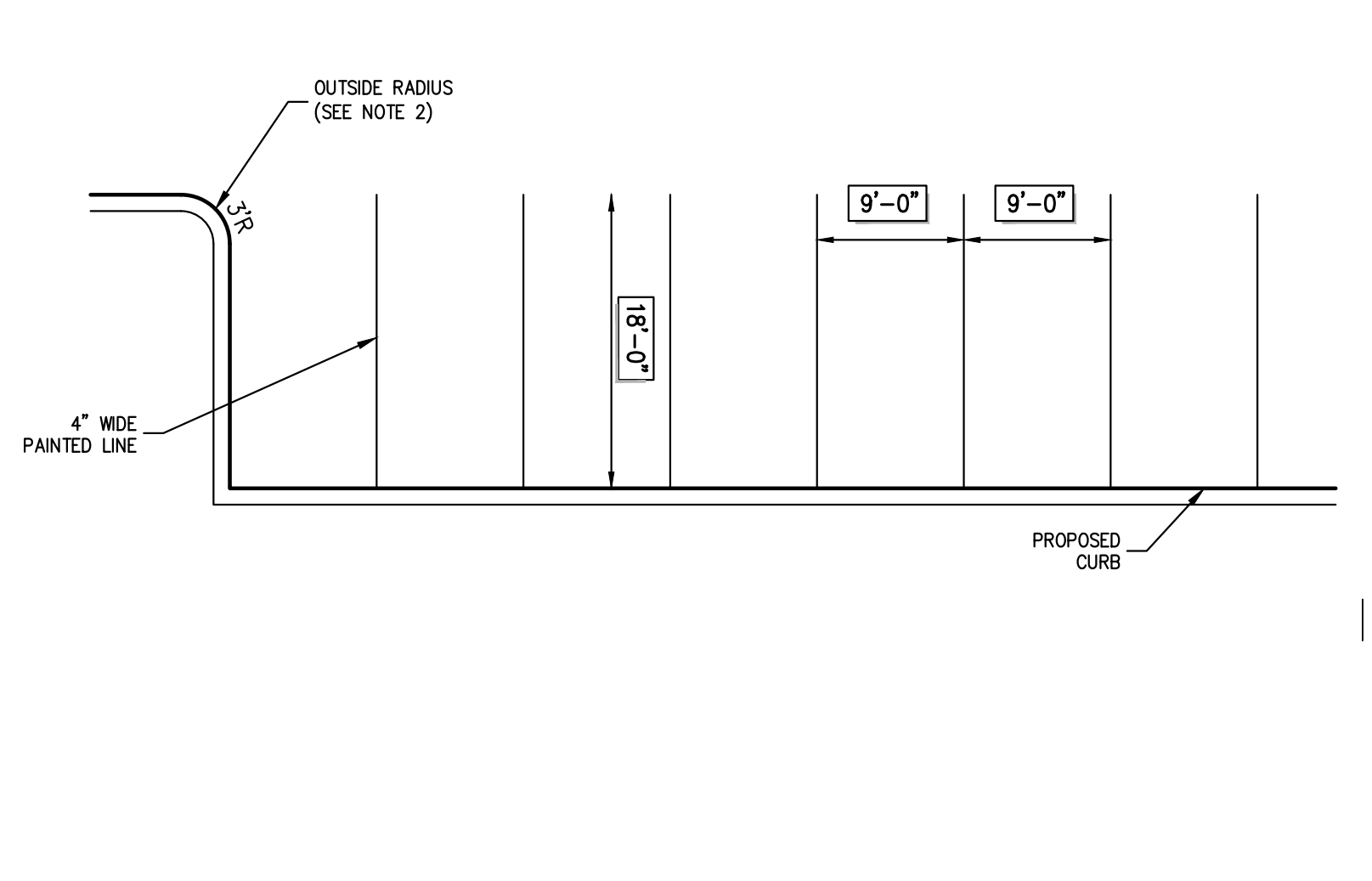
**TRAFFIC SIGN POST**  
(BREAKAWAY STEEL CHANNEL)

41



**STEEL PIPE PROTECTION POST**

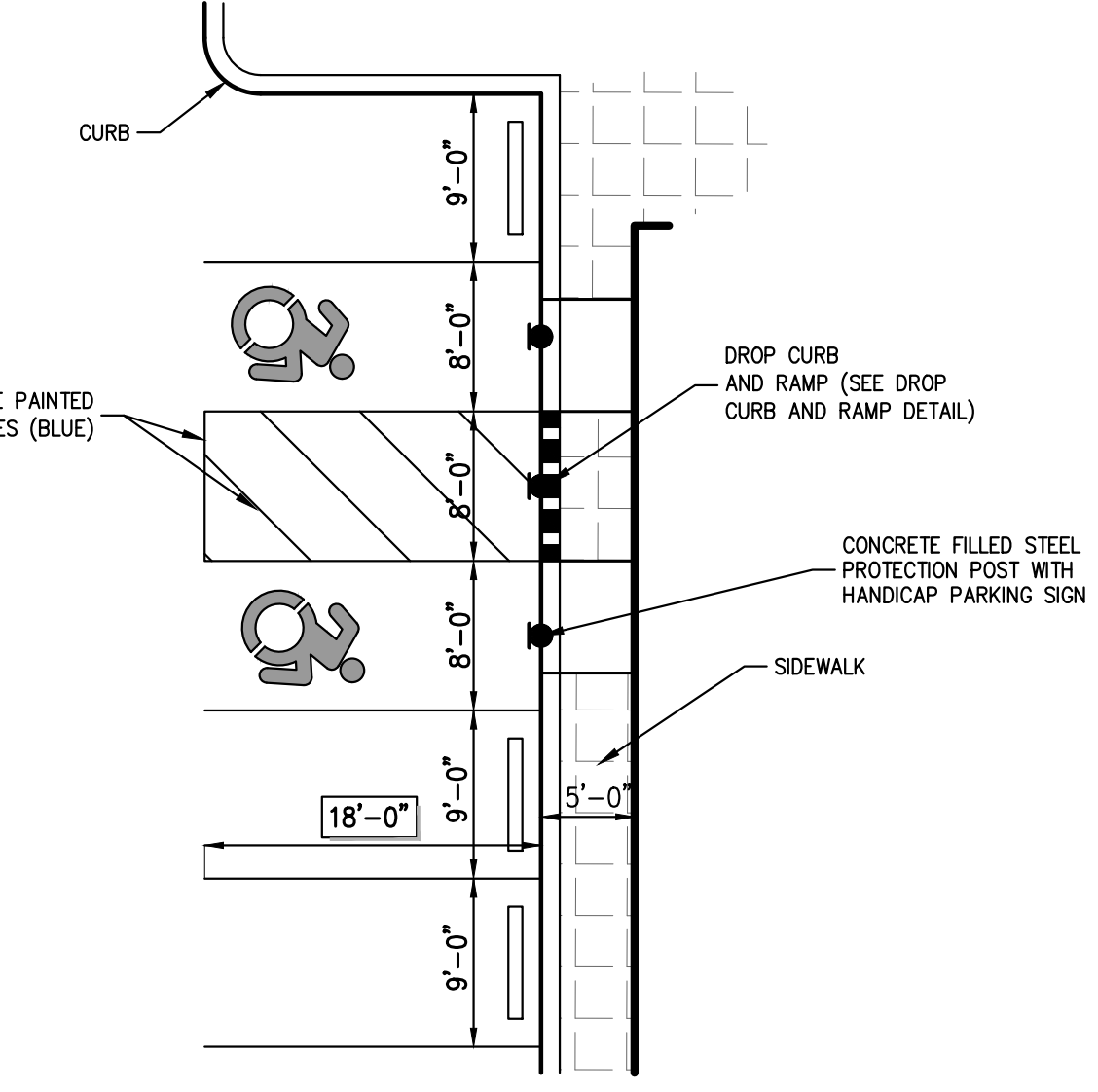
42



**NOTES**  
1. COLOR OF PAINT SHALL BE WHITE.  
2. OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

**90° PARKING**

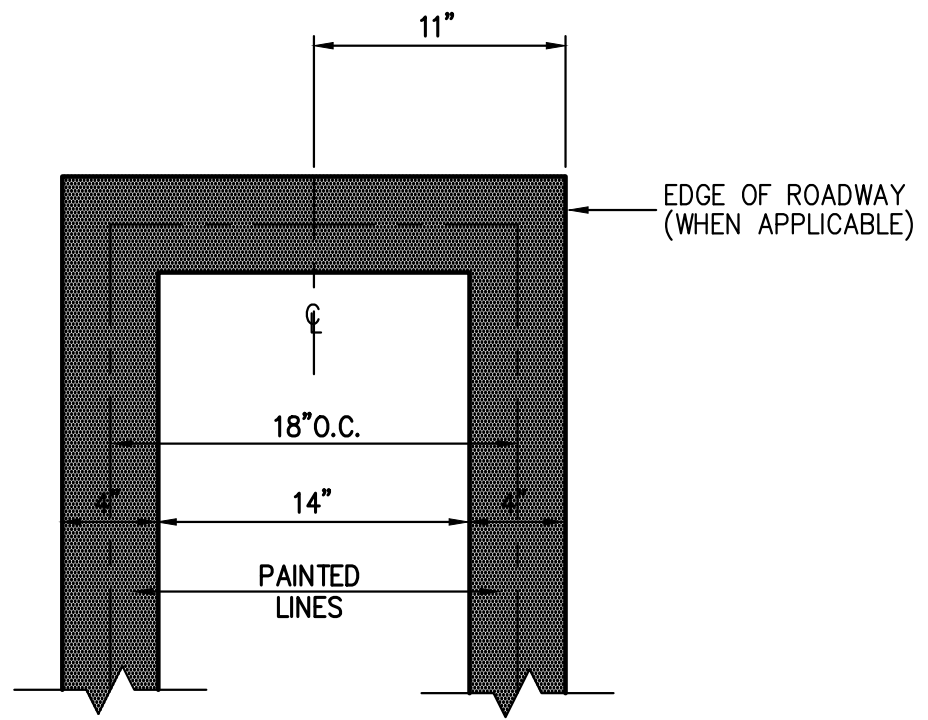
43



**NOTE:** SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%

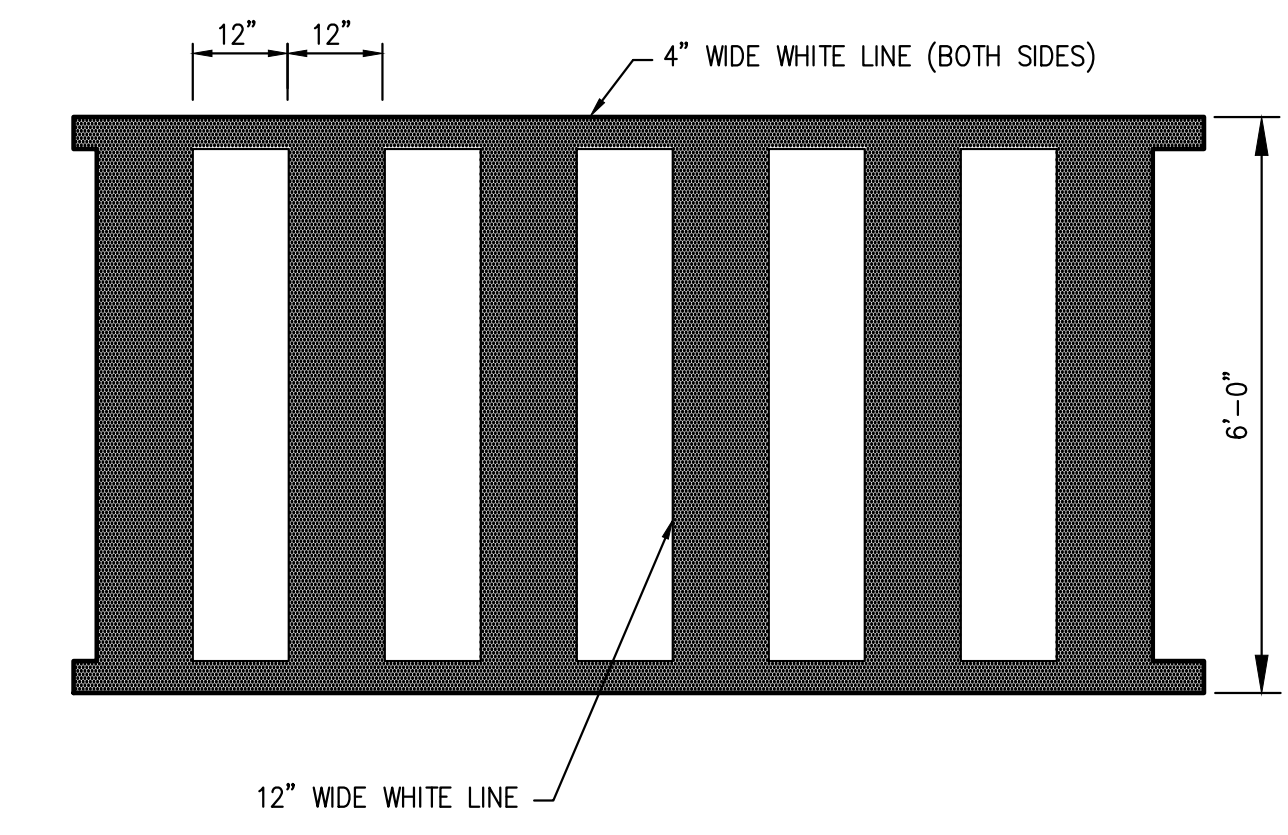
**HANDICAP PARKING**

44



**STRIPING END ENLARGEMENT**

45



**PEDESTRIAN CROSSING**

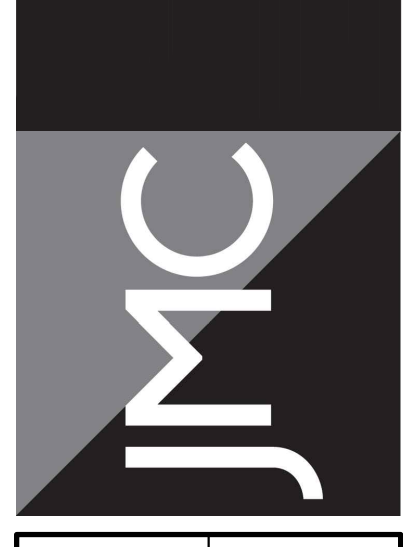
46

**NOT FOR CONSTRUCTION**

No.	Revision	Date	By

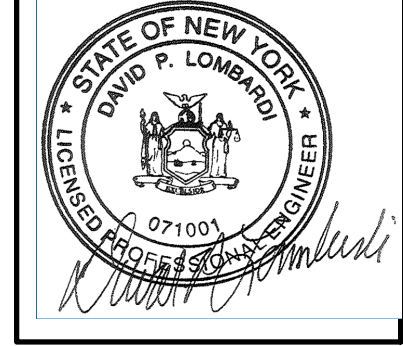
APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946

JMC Planning, Engineering & Landscaping  
Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, Inc.  
John Meyer Consulting, Inc.  
120 BERGSDORF ROAD • ARTHUR, NY 10504  
VOICE 914.273.5225 • FAX 914.273.2102  
[www.jmcpllc.com](http://www.jmcpllc.com)

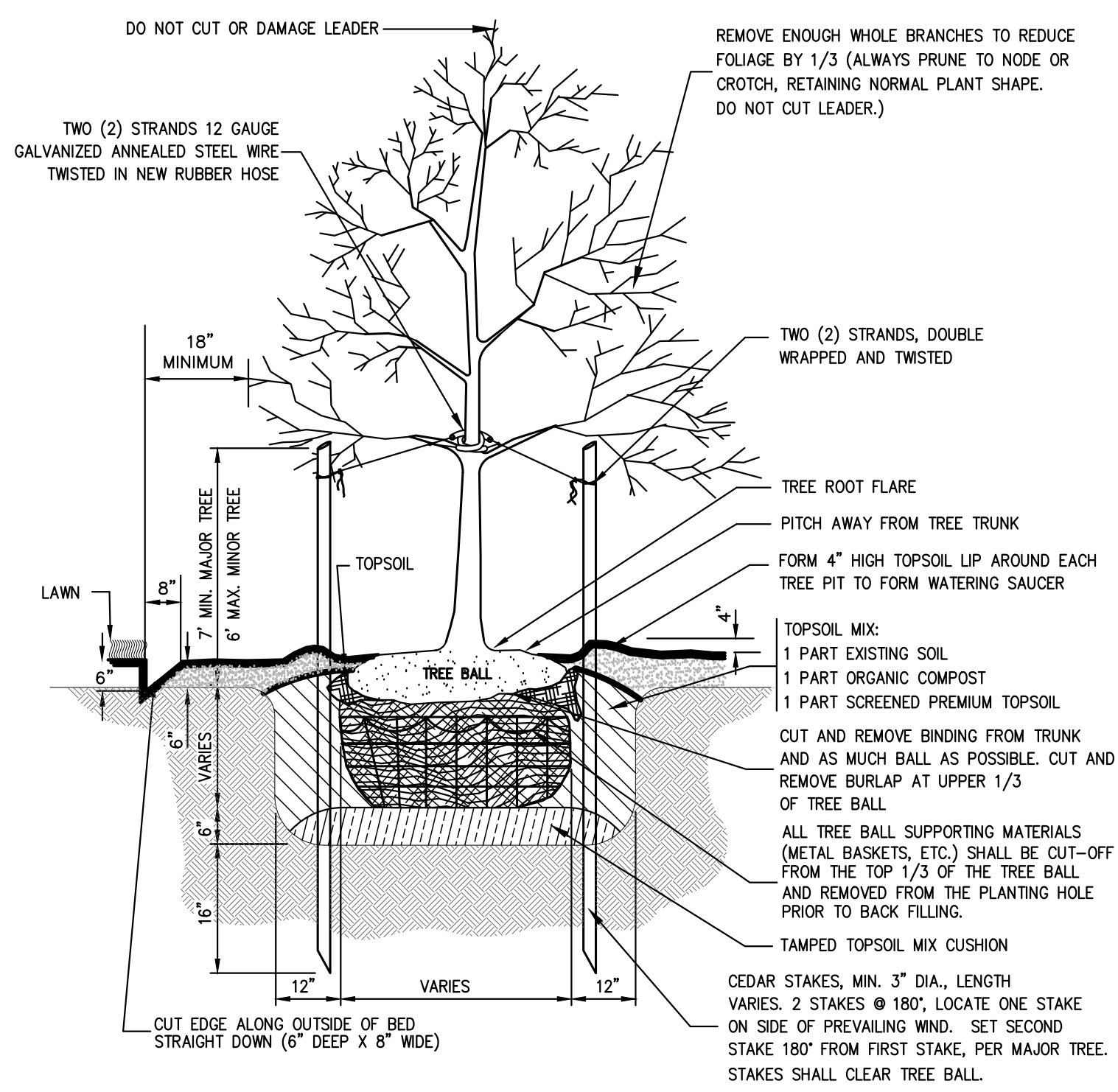


**CONSTRUCTION DETAILS**  
**NEWBURGH COMMONS**  
5450 & 9450 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

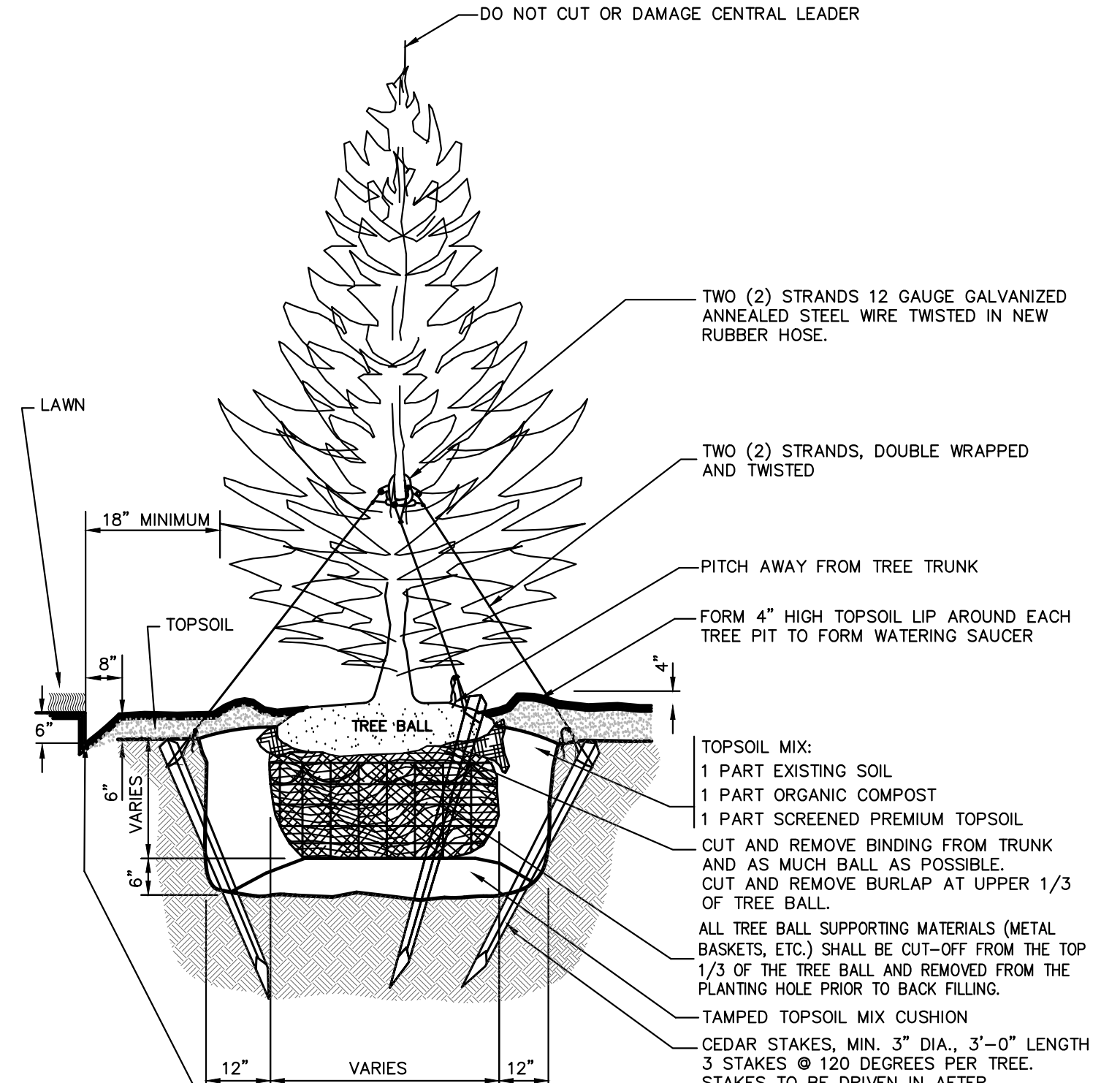
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.



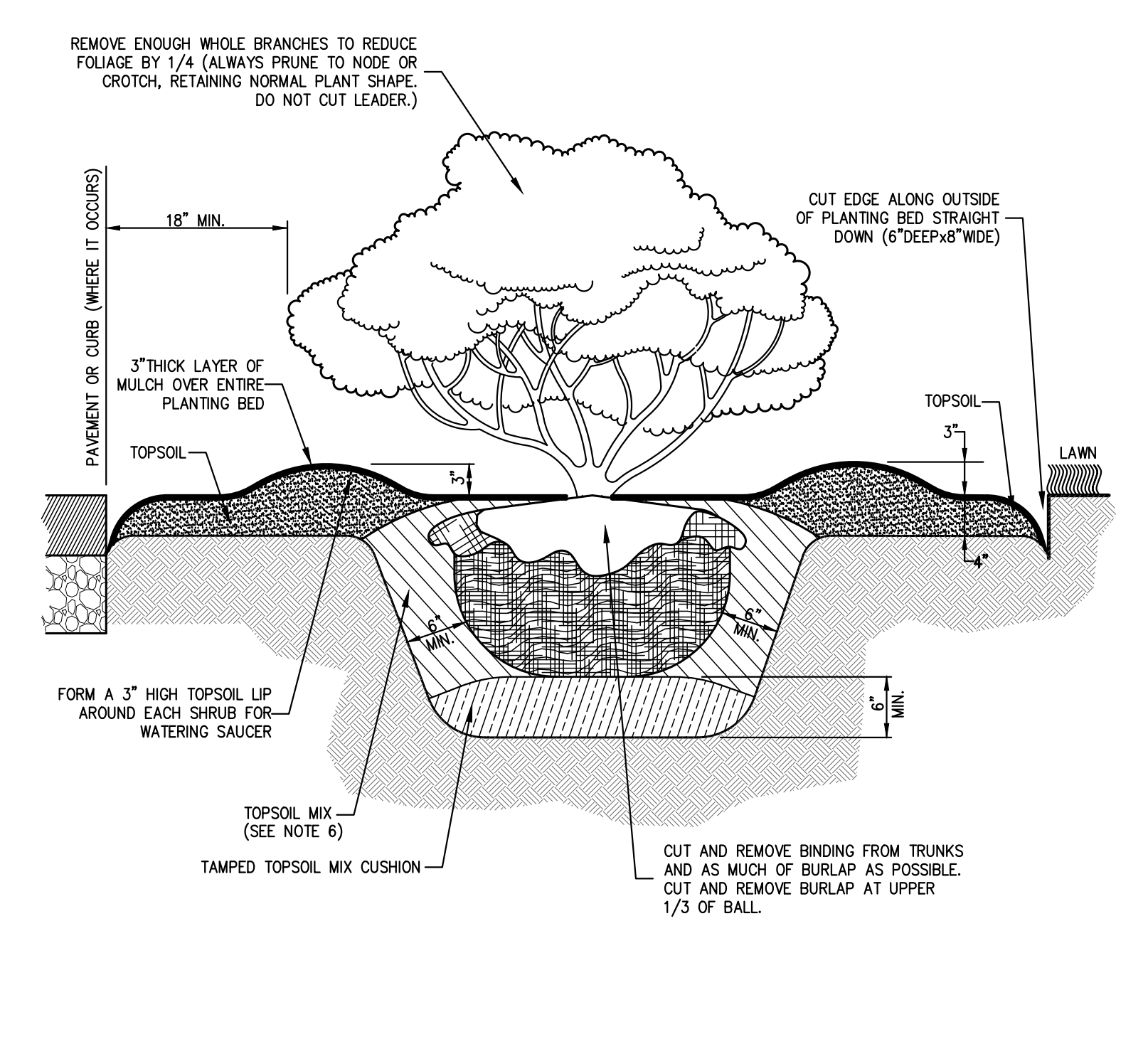
Drawn: **BMS** Approved: **YX**  
Scale: **NOT TO SCALE**  
Date: **11/13/2023**  
Project No: **17160**  
Title: **C-906**  
Drawing No: **C-906**



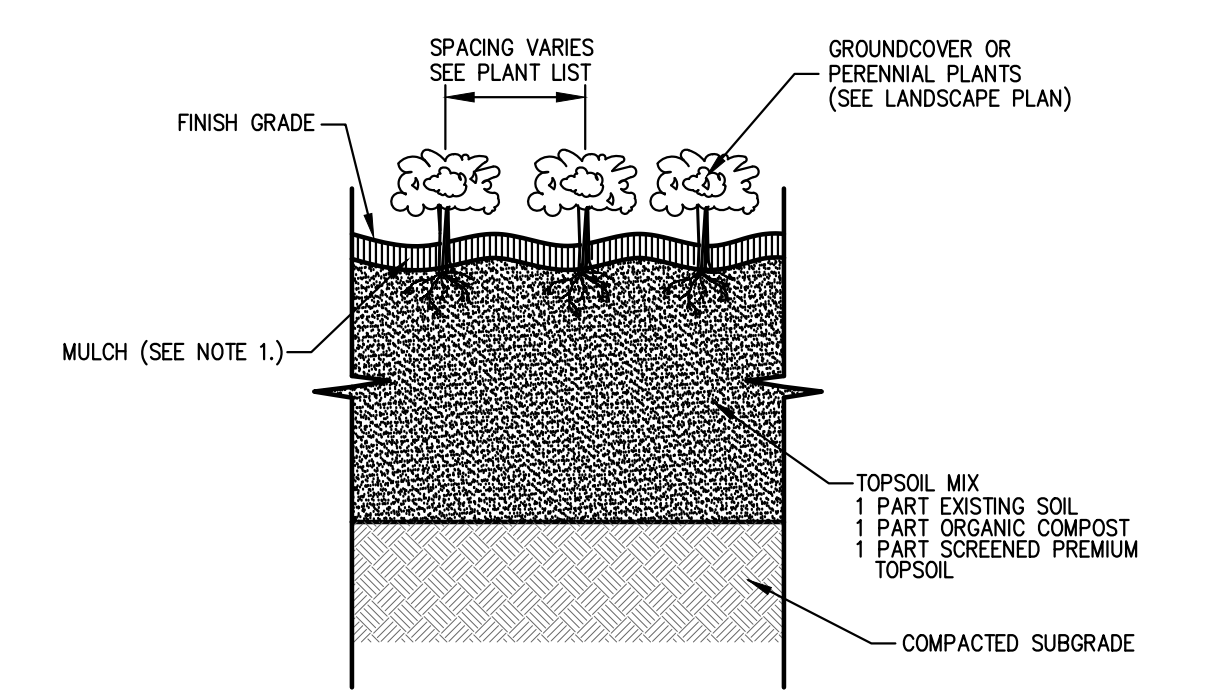
- NOTES:**
1. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS POTBOUND ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
  2. AFTER THE TREE HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE TREE ONE-THIRD OF THE WAY UP. A SLOW RELEASE SUPER PHOSPHATE FERTILIZER WILL BE ADDED TO THE SOIL AROUND THE TREE, AND THEN FILL THE REMAINDER OF HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  3. PROVIDE 3" LAYER OF SHREDDED HARDWOOD MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED. THE SHREDDED HARDWOOD MULCH SHALL NOT COME IN CONTACT WITH THE TREE ROOT FLARE.
  4. REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.
  5. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
  6. THE CENTRAL LEADER OF ALL DECIDUOUS PLANTINGS SHALL NOT BE CUT OR DAMAGED.



- NOTES:**
1. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS POTBOUND ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
  2. AFTER THE TREE HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE PLANT ONE-THIRD OF THE WAY UP. A SLOW RELEASE SUPER PHOSPHATE FERTILIZER WILL BE ADDED TO THE SOIL AROUND THE TREE, AND THEN FILL THE REMAINDER OF HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  3. PROVIDE 3" LAYER OF MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED.
  4. REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.



- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO INSTALLATION OF PLANTS.
  2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  3. AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHALL BE PLACED AROUND THE PLANT 1/3 OF THE WAY UP. A SLOW RELEASE FERTILIZER SHALL THEN BE ADDED TO THE SOIL AROUND THE SHRUB, AND THEN FILL THE REMAINDER OF THE HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHALL THEN BE GENTLY COMPACTED.
  4. TOPSOIL SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, STONES OVER 1 1/2" DIAMETER AND NOxious WEEDS.
  5. PLANT MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
  6. TOPSOIL MIX SHALL CONSIST OF:  
1 PART SCREENED PREMIUM TOPSOIL  
1 PART EXISTING SOIL  
1 PART ORGANIC COMPOST



- NOTES:**
1. PROVIDE 3" LAYER OF MULCH AS SPECIFIED OVER ENTIRE PLANTING BED.
  2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS POTBOUND ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
  3. AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE PLANT ONE-THIRD OF THE WAY UP. A SLOW RELEASE SUPER PHOSPHATE FERTILIZER WILL BE ADDED TO THE SOIL AROUND THE SHRUB, AND THEN FILL THE REMAINDER OF HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  4. REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.

DECIDUOUS TREE PLANTING

47

EVERGREEN TREE PLANTING

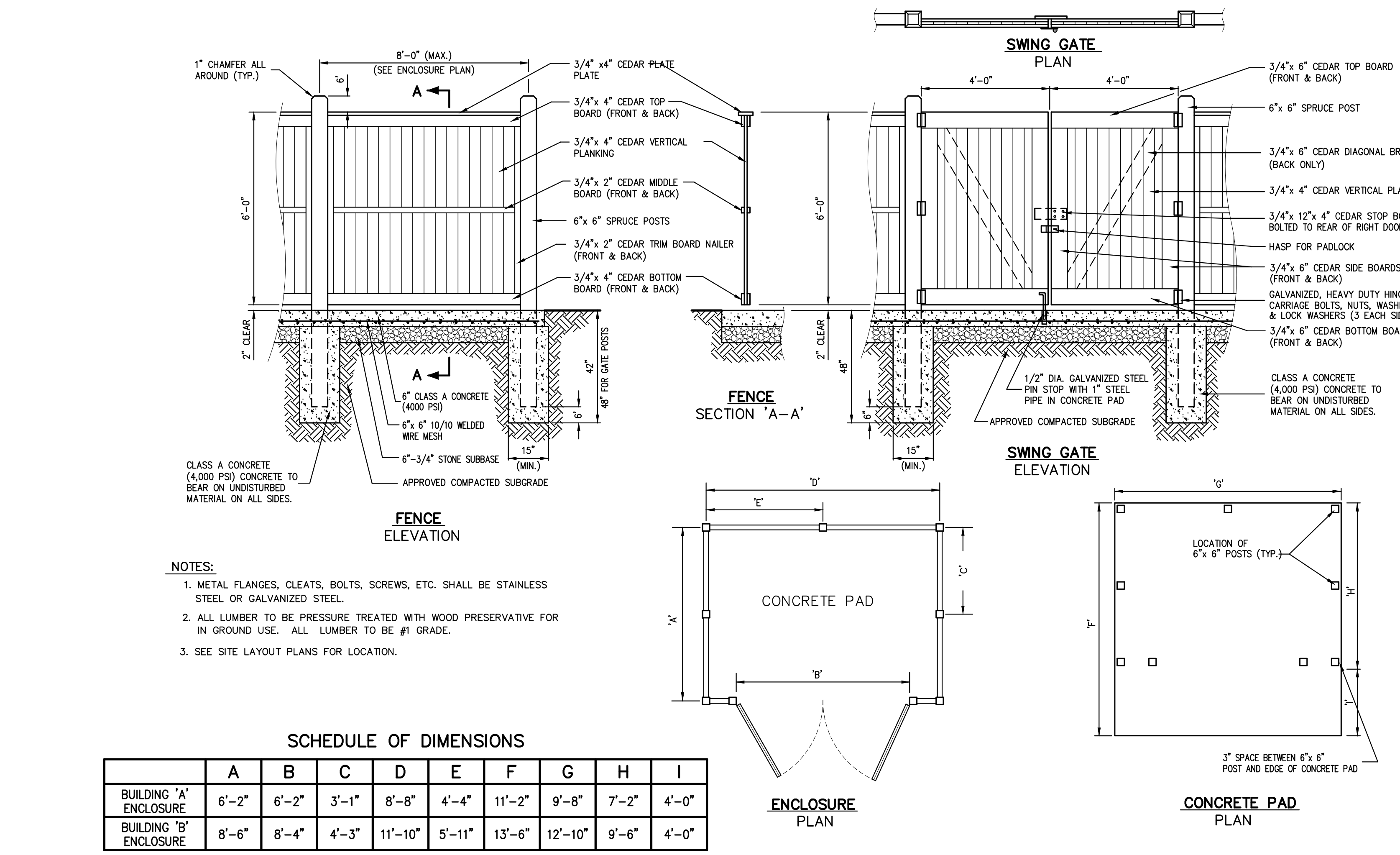
48

SHRUB PLANTING

49

GROUND COVER PLANTING

50



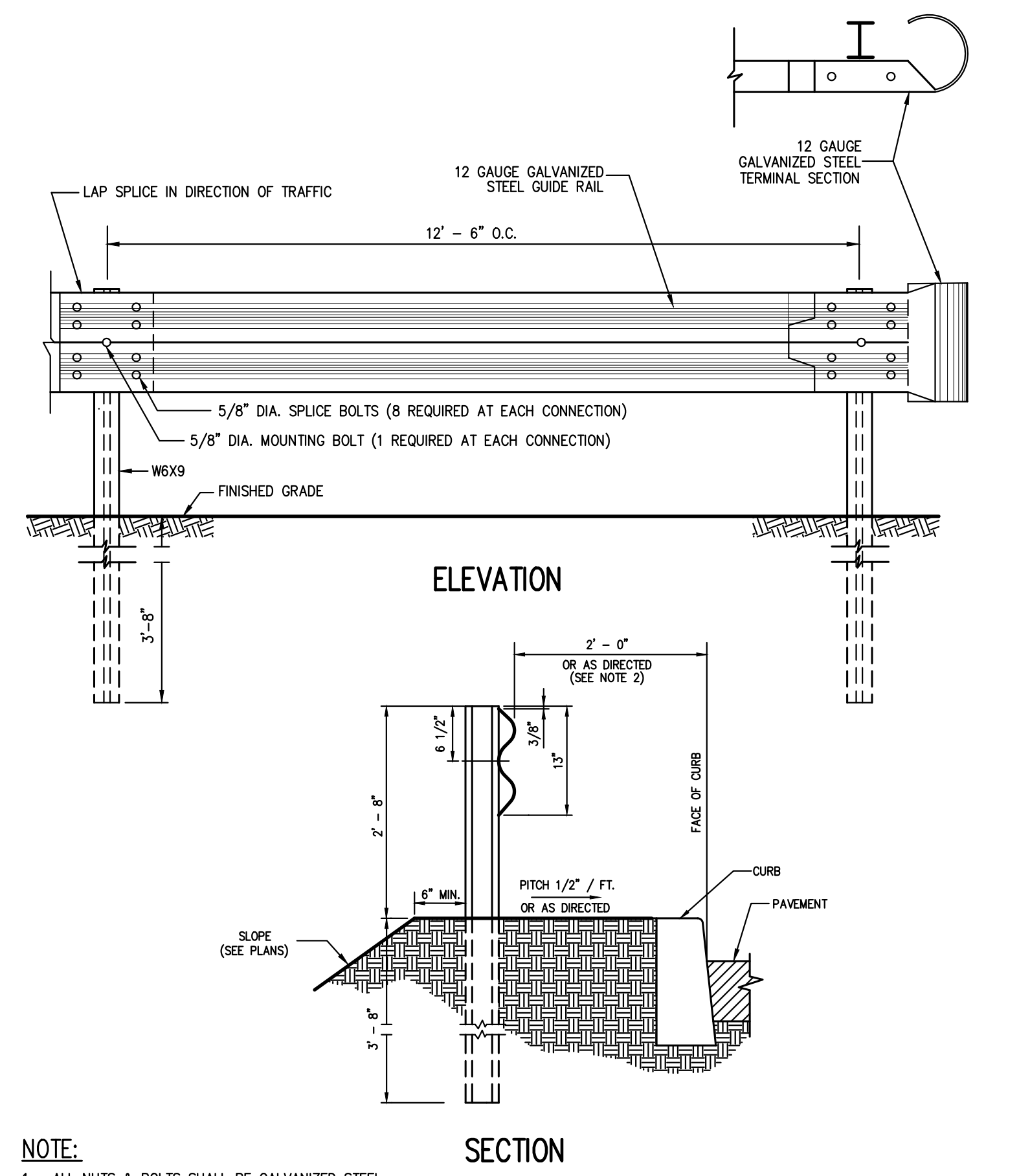
- NOTES:**
1. METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
  2. ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
  3. SEE SITE LAYOUT PLANS FOR LOCATION.

SCHEDULE OF DIMENSIONS

	A	B	C	D	E	F	G	H	I
BUILDING 'A' ENCLOSURE	6'-2"	6'-2"	3'-1"	8'-8"	4'-4"	11'-2"	9'-8"	7'-2"	4'-0"
BUILDING 'B' ENCLOSURE	8'-6"	8'-4"	4'-3"	11'-10"	5'-11"	13'-6"	12'-10"	9'-6"	4'-0"

TRASH ENCLOSURE WITH CONCRETE PAD (WOOD)

51



- NOTE:**
1. ALL NUTS & BOLTS SHALL BE GALVANIZED STEEL.
  2. THE OFFSET OF THE GUIDE RAIL SHALL BE MEASURED FROM THE FACE OF CURB TO THE FACE OF THE RAIL. THE RAIL MOUNTING HEIGHT OF ALL GUIDE RAIL PLACED BEHIND CURB (REGARDLESS OF CURB HEIGHT OR SPEED) SHALL BE MEASURED FROM THE PAVEMENT WHEN THE OFFSET IS 1'-0" OR LESS AND TO THE GROUND SURFACE UNDER THE FACE OF THE RAIL WHEN THE OFFSET IS GREATER THAN 1'-0".

CORRUGATED STEEL GUIDE RAIL

52

CONSTRUCTION DETAILS

NEWBURGH COMMONS  
3430 & 3450 ROUTE 9  
TOWN OF NEWBURGH, NY 12550



Drawn: BMS Approved: YX  
Scale: NOT TO SCALE  
Date: 11/13/2023  
Project No: 17160  
Title: C-907  
Drawing No: C-907

C-907

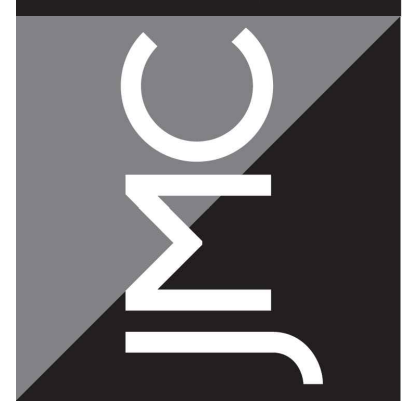
X

NOT FOR CONSTRUCTION

No.	Revision	Date

APPLICANT/OWNER:  
JMC Planning, Engineering & Landscape Architecture & Land Surveying, PLLC  
John Meyer Consulting, Inc.  
120 BERGSDORF ROAD • ARMONK, NY 10504  
VOICE 914.273.3225 • FAX 914.273.2102  
WWW.JMCPLE.COM

5450 RTE 9W LLC  
225 WEST MONTAUK HIGHWAY, SUITE 1  
HAMPTON BAYS, NY 11946



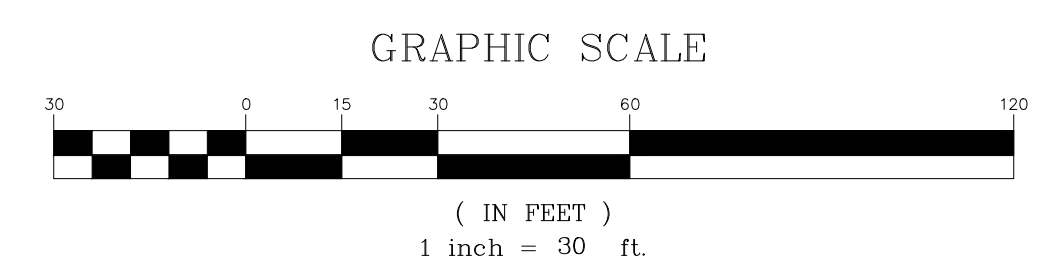
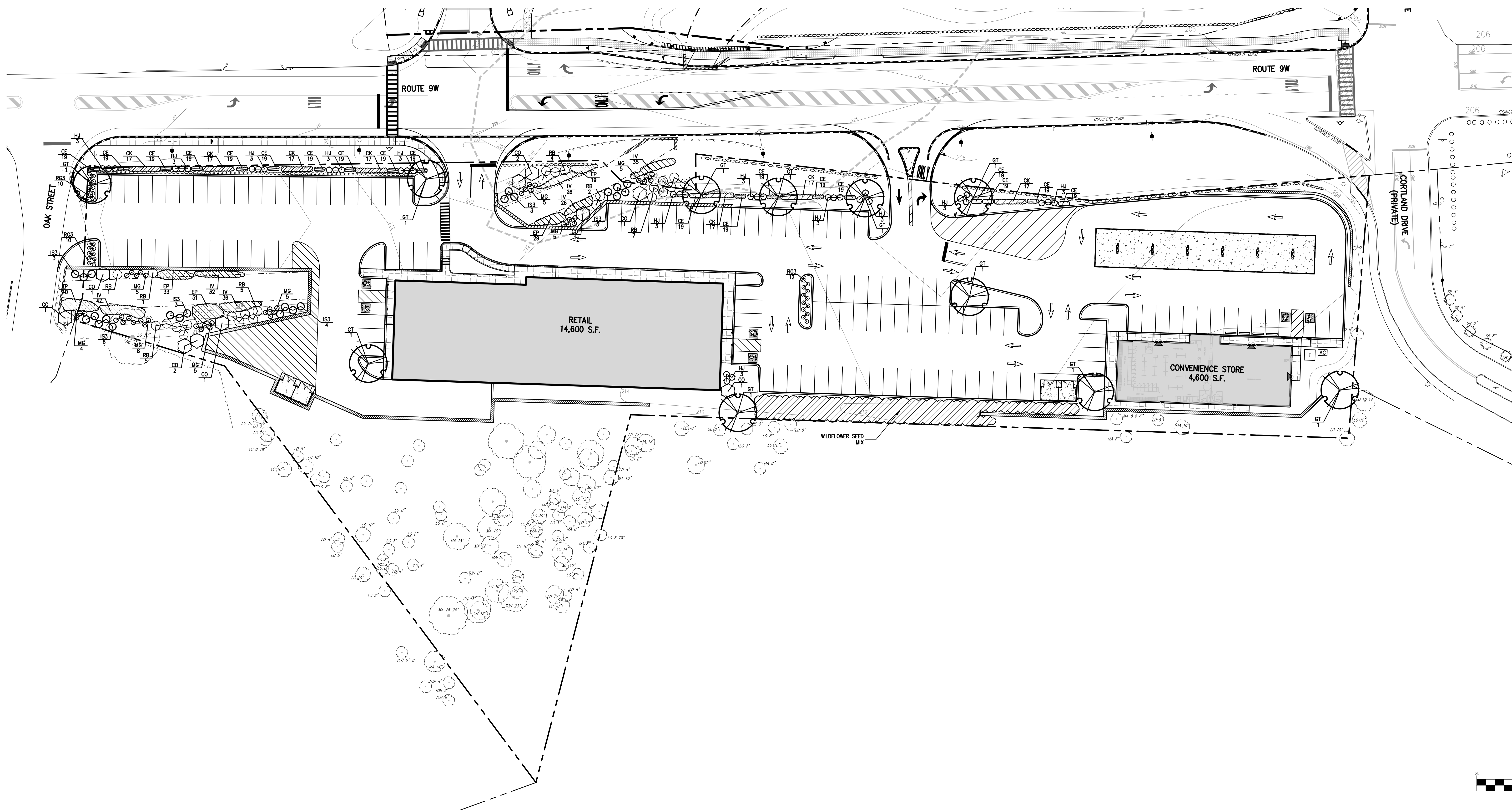


PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
<b>DECIDUOUS TREES</b>						
GT	11	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Honey Locust	2 1/2" - 3" CAL.	B & B	
<b>SHRUBS</b>						
CO	10	Cephalanthus occidentalis	Buttonbush	5 gal	CONT.	
HJ	36	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	5 gal	CONT.	
IS3	23	Ilex verticillata 'Spray'	Berry Heavy® Winterberry	5 gal	CONT.	
WG	42	Myrica gale	Sweetgale	3 GAL.	CONT.	
RG3	32	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	CONT.	
RB	25	Rhus typhina 'Baltiger'™	Tiger Eyes Staghorn Sumac	5 gal	CONT.	
<b>PERENNIALS / GRASSES</b>						
CK	119	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 GAL.	CONT.	
CE	361	Carex oshimensis 'Everillo'	EverColor® Everillo Japanese Sedge	1 GAL.	CONT.	
EP	172	Eutrochium purpureum	Joe Fye Weed	1 GAL.	CONT.	
IV	202	Iris versicolor	Blue Flag	1 GAL.	CONT.	

**LANDSCAPE NOTES:**

- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE 'AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (ANSI Z60.1); LATEST EDITION.
- ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
- ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDED HARDWOOD, ROOT MULCH SHREDED CEDAR, OR BARK CHIPS. AS APPROVED BY THE OWNERS FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS; AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL LAWN AREAS (SOO OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOO OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
- ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.
- ALL DISTURBED AREAS NOT IDENTIFIED WITH PLANT MATERIAL AND / OR SPECIFIC SEED MIX SHALL BE SEEDED WITH A DROUGHT TOLERANT LAWN SEED MIX.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED SAWCUT LINE
	PROPOSED CONCRETE APRON
	PROPOSED MULCH TRAIL
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED 30' HT. FREESTANDING STONE WALL
	PROPOSED FENCE
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	2-4" WIDE YELLOW LINES 8" O.C.
	12" WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED DECIDUOUS TREE
	PROPOSED FLOWERING TREE
	PROPOSED EVERGREEN TREE
	PROPOSED SHRUBS/PERENNIALS
	PROPOSED SHRUB MASSING
	PROPOSED NATIVE WILDFLOWER MIX



No.	Revision	Date

APPLICANT/OWNER:  
**5450 RTE 9W LLC**  
 225 WEST MONTAUK HIGHWAY, SUITE 1  
 HAMPTON BAYS, NY 11946

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
 120 BEDFORD ROAD • BRIDGEVIK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpllc.com



**LANDSCAPE PLAN**  
**NEWBURGH COMMONS**  
 5430 & 5450 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550



Drawn: **BMS** Approved: **AG**  
 Scale: **1" = 30'**  
 Date: **11/09/2023**  
 Project No: **17160**  
 1789-LAND L-100 LAND.scr  
 Drawing No: **L-100**

NOT FOR CONSTRUCTION

COPYRIGHT © 2023 BY JMC. All Rights Reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A SUBSTITUTE FOR PROFESSIONAL ADVICE. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A SUBSTITUTE FOR PROFESSIONAL ADVICE.