



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MONARCH SENIOR HOUSING
PROJECT NO.: 2019-28
PROJECT LOCATION: SECTION 103, BLOCK 7, LOT 18
SECTION 47, BLOCK 1, LOT 46
REVIEW DATE: 25 FEBRUARY 2022
MEETING DATE: 3 MARCH 2022
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

1. The Zoning Board determined that the Planning Board has the authority to set the building height in accordance with Section 185-48B.
2. The project has been revised to remove the proposed bank building and lot line adjustment at the corner of Route 52 and Monarch Drive. Substantial Federal Jurisdictional Wetlands areas have been delineated on the site. Copy of the Jurisdictional Wetland Report should be submitted for the Town of Newburgh's files. Wetland Mitigation areas will be required and approval of the Army Corps of Engineers for the wetlands fill/mitigation is required.
3. This office continues to recommend the installation of emergency power generators on the site based on the senior citizen use.
4. A proposed emergency access drive has been depicted from NYS Route 52 and emergency access roadways are provided to the rear of the structures. Code Compliance Departments comments regarding emergency access to the multi-story structure should be received. Comments from the Jurisdictional Fire Department should similarly be solicited.
5. Orange County Health Department approval for water main extension is required as hydrants are proposed within the site.
6. An SWPPP has been submitted.
7. Plans should be circulated to the Orange County Planning Department for the 239 review.
8. Hydrant detail identifies concrete thrust blocks. Thrust blocks are not permitted. Restrain joint pipe chart compliance must be utilized.
9. The water service connection should be designed per the attached detail. Standard Town of Newburgh Water and Sewer notes attached must be added to the plans.
10. Parking lot striping detail in compliance with Town of Newburgh standards should be added to the plans requiring double striped parking.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

11. All Stormwater Management Facilities which may contain standing water must be fenced per Town Code.
12. Highway Superintendents comments on the location of the access road should be received.
13. A City of Newburgh Flow Acceptance letter is required. The applicants representative should provide a narrative report identifying the proposed hydraulic loading from the site for the Town of Newburgh to submit to the City of Newburgh.
14. The sidewalks appear to terminate at the access drive. Planning Board should determine if sidewalks should be provided along Monarch Drive frontage.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal
PJH/kbw

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Monarch Woods Senior Community

2. Owner of Lands to be reviewed:

Name 52 Monarch Development, INC.
Address 4171 Albany Post Road
Hyde Park, New York, 12538
Phone _____

3. Applicant Information (If different than owner):

Name _____
Address _____

Representative Engineering & Surveying Properties, P.C. c/o Ross Winglovitz, P.E
Phone (845) 457-7727
Fax _____
Email Ross@ep-pc.com

4. Subdivision/Site Plan prepared by:

Name Engineering & Surveying Properties, P.C. c/o Ross Winglovitz, P.E
Address 71 Clinton Street
Montgomery, NY 12549
Phone/Fax (845) 457-7727

5. Location of lands to be reviewed:

Monarch Drive, Town of Newburgh, Orange County, New York

6. Zone B
Acceage 10.88

Fire District Dan Leghorn Engine Company
School District Newburgh Enlarged City School District

7. Tax Map: Section 103 **Block** 7 **Lot** 18
47 1 46

8. Project Description and Purpose of Review:

Number of existing lots 2 Number of proposed lots 2

Lot line change _____

Site plan review for 100 senior apartments

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) N/A

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Partner

Date: 12/16/19

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Monarch Woods Senior Community

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

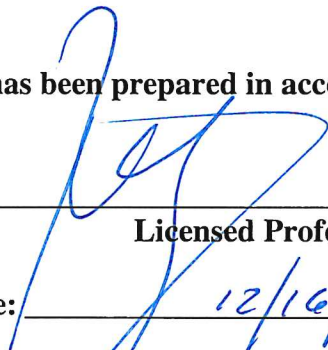
11. TBP Surveyor,s Certification
12. TBP Surveyor's seal and signature
13. Name of adjoining owners
14. Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. Flood plain boundaries
16. TBP Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. TBP Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. TBP Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. Number of lots including residual lot
24. Show any existing waterways
25. A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

- 30. Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31. If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32. TBP Number of acres to be cleared or timber harvested
- 33. TBP Estimated or known cubic yards of material to be excavated and removed from the site
- 34. TBP Estimated or known cubic yards of fill required
- 35. TBP The amount of grading expected or known to be required to bring the site to readiness
- 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

- 37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

- 38. TBP List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  _____
 Licensed Professional

Date: 12/16/19

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

NOT APPLICABLE

TOWN OF NEWBURGH

APPLICATION FOR CLEARING AND GRADING

Name of applicant: _____

Name of owner on premises: _____

Address of owner: _____

Telephone number of owner: _____

Telephone number of applicant: _____

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Location of land on which proposed work will be done: _____

Section: _____ Block: _____ Lot: _____ Sub. Div.: _____

Zoning District of Property: _____ Size of Lot: _____

Area of lot to be cleared or graded: _____

Proposed completion of date: _____

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ Date: _____

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

52 Monarch Development, INC.

APPLICANT'S NAME (printed)

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke, positioned above a horizontal line.

APPLICANTS SIGNATURE

12/16/15

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be placed on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) _____, DEPOSES AND SAYS THAT HE/SHE
RESIDES AT _____ 4171 Albany Post Road, Hyde Park _____
IN THE COUNTY OF _____ Orange _____
AND STATE OF _____ New York _____
AND THAT HE/SHE IS THE OWNER IN FEE OF _____
_____ Tax lot 103-7-18, 47-1-46 _____

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Engineering & Surveying Properties, PC IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 12/16/19 _____



OWNERS SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

52 Monarch Development, Inc.

OWNERS NAME (printed)



WITNESS' SIGNATURE

Ross Wingler

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS


The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12/16/15
DATED

52 Monarch Development, INC.
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X NONE

_____ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

_____ **TOWN BOARD**
 X **PLANNING BOARD**
_____ **ZONING BOARD OF APPEALS**
_____ **ZONING ENFORCEMENT OFFICER**
_____ **BUILDING INSPECTOR**
_____ **OTHER**

 12/16/15
DATED

_____ **INDIVIDUAL APPLICANT**



_____ **CORPORATE OR PARTNERSHIP APPLICANT**

BY: Partner
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

NOT APPLICABLE

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

NOT APPLICABLE
AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

TO BE PROVIDED
ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: _____

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Signature

TO BE PROVIDED

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

TOWN OF NEWBURGH PLANNING BOARD
21 HUDSON VALLEY PROFESSIONAL PLAZA
NEWBURGH, NEW YORK 12550

Re: Monarch Drive Senior Center (2019-28) The proposed project consists of a senior apartment site plan proposing 100 units in two (2) structures. The project also involves a commercial site plan for a proposed 3,150 square foot bank facility. The project involves a lot line change resulting in .095-acre parcel and a 9.63-acre parcel where two (2) existing parcels containing 5.41 and 4.22 acres exist. Access to all parcels is proposed off of Monarch Drive south of NYS Route 52. Senior citizen housing is proposed in accordance with Town Code Section 185-48. The projects are proposed to be served by municipal water and sewer located within Monarch Drive. The project will be seeking variances/interpretation from the Zoning Board of Appeals for building height and unit size. The senior housing component requires Town Board referral to the Planning Board which has been received. The project is located in the Town's B Zoning District. The project site is located in the southeast corner of the intersection of Monarch Drive and NYS Route 52. The project site is known on the Town of Newburgh Tax Maps as Section 103, Block 7, Lot 16 & Section 47, Block 1, Lot 46. The parent parcel is a 10.88 +/- acre parcel of property.

You appear to own property adjacent to, (or within the general area) of the proposed project identified above. Please be advised that an application has recently been submitted to the Town of Newburgh Planning Board for a site plan and lot line revision. A copy of the application and plans are on file in the office of the Building Department located at 21 Hudson Valley Professional Plaza, Newburgh, NY 12550.

The Town of Newburgh Planning Board will consider this action in the near future. As part of the Planning Board's review, a Public Hearing for the project will be held at a future date. If you receive this notice by mail, then you will also receive a Notice of Public Hearing prior to it being held. Notice of any Hearings will also be published in the Town's official newspapers prior to such hearing. All meetings of the Planning Board are open to the public. A schedule of Planning Board meetings as well as information pertaining to all applications is available at the Town Building Department, 21 Hudson Valley Professional Plaza and online at the Town of Newburgh's Website, www.townofnewburgh.org.

Dated: May 7, 2021

JOHN P. EWASUTYN, CHAIRMAN
TOWN OF NEWBURGH PLANNING BOARD

334600 47-1-43.2
Dana Mennerich
Penny Mennerich
22 Patton Rd
Newburgh NY 12550

334600 47-1-43.1
Kathy M Mennerich
26 Patton Rd
Newburgh NY 12550

334600 47-1-39.2
Motel Shobhana
Resorts Shobhana
427 S Plank Rd
Newburgh NY 12550

334600 51-10-11.2
Dan Leghorn Fire Engine
Company of Orange Lake
426 South Plank Rd
Newburgh NY 12550

334600 47-1-123
Deysi Sulaj
Dashnor Sulaj
687 Gardnertown Rd
Newburgh NY 12550

334600 51-10-10
Dan Leghorn Fire Eng Co
Of Orange Lake Inc
426 South Plank Rd
Newburgh NY 12550

334600 47-1-124
Todd Ragni
Jodi Lynn Ragni
685 Gardnertown Rd
Newburgh NY 12550

334600 47-1-46
52 Monarch Development Inc.
P.O. Box 2009
Hyde Park NY 12538

334600 47-1-44
84 Realty LLC
P.O. Box 563
Chester NY 10918

334600 47-1-97
Eugene H Moss
232 Lakeside Rd
Newburgh NY 12550

334600 47-1-48
Michael O'Donnell
Sherri O'Donnell
13 Deer Run Rd
Newburgh NY 12550

334600 47-1-49
Ilene P Siegman
14 Horseshoe Bnd
New Windsor NY 12553

334600 47-1-45
Kevin A Henderson
Susan Henerson
381 S Plank Rd
Newburgh NY 12550

334600 47-1-47
Charles J Morgan
Abigail Alarcon
392 S Plank Rd
Newburgh NY 12550

334600 53-1-4
Kenneth A Mennerich
Beverly Mennerich
384 S Plank Rd
Newburgh NY 12550

334600 53-1-5
George T Warran
Patricia Warran
3 Elmhurst Ave
Newburgh NY 12550

334600 53-1-1
Richard D Morgan
Evva J Morgan
390 S Plank Rd
Newburgh NY 12550

334600 53-1-2
Martha E Carbajal
388 S Plank Rd
Newburgh NY 12550

334600 53-1-6.4
Leonard Diaz
Angela Diaz
9 Charles St
Newburgh NY 12550

334600 53-1-3.21
Kenneth A Mennerich
Beverly R Mennerich
384 S Plank Rd
Newburgh NY 12550

334600 53-1-6.3
Claude G Guertin
Natalene Guertin
5 Mike Ruggiero Rd
Newburgh NY 12550

334600 53-4-2
Richmond Associates, LLC
372 S Plank Rd
Newburgh NY 12550

334600 53-1-7.2
John D Schoonmaker
Dawn M Schoonmaker
7 Charles St
Newburgh NY 12550

334600 103-2-9
Joseph Wrancher
Catherine Wrancher
10 Royal Cir
Newburgh NY 12550

334600 103-2-17
Maureen Pena L.E.
Paul Pena Jr.
103 Castle Ln
Newburgh NY 12550

334600 103-2-8
Beatriz R Rubiano, L.E.
Magda J Hunt
12 Royal Cir
Newburgh NY 12550

334600 103-2-16
Frank Petrilli Jr
Pena Petrilli Deborah
101 Castle Ln
Newburgh NY 12550

334600 103-2-15
William H Cureton
Margie M Cureton
33 Monarch Dr
Newburgh NY 12550

334600 103-2-14
John J Vondras
P.O. Box 10603
Newburgh NY 12552

334600 103-2-12
Penelope M Brady L.E.
Ryan J Brady
4 Royal Cir
Newburgh NY 12550

Town of Newburgh
Office of the Assessor
1496 Route 300
Newburgh, NY 12550

Done 5/11/21
[Signature]

SEC 103
47 BLK 7

LOT 18
410

334600 103-2-10
Michael A D Agostino
Jennifer Pugliese-D Agostino
8 Royal Cir
Newburgh NY 12550

334600 103-2-11
Anthony Guido
Margaret Guido
6 Royal Cir
Newburgh NY 12550

334600 103-1-13.1
Town of Newburgh
20-26 Union Ave Ext
Newburgh NY 12550

334600 103-7-18
52 Monarch Development Inc.
P.O. Box 2009
Hyde Park NY 12538

334600 103-7-3
Charles J Betcher
Marguerite E Betcher
5 Royal Cir
Newburgh NY 12550

334600 103-7-4
Marcia A Sierodzinski L.E.
Beth Sierodzinski Enser
7 Royal Cir
Newburgh NY 12550

334600 103-2-13
Fleenor Family Trust
Kevin Carl Fleenor
2 Royal Cir
Newburgh NY 12550

334600 103-7-1
James Obeng
Mary Obeng
25 Monarch Dr
Newburgh NY 12550

334600 103-7-7
Guardian 81, Inc.
5 Capital Ct
Newburgh NY 12550

334600 103-7-9
Albert L Berry
Patricia A Berry
4 Capitol Ct
Newburgh NY 12550

334600 103-7-11
Peter Mone
Margaret Mone
13 Royal Cir
Newburgh NY 12550

334600 103-7-6
Linda A Contarino Living Trust
3 Capital Ct
Newburgh NY 12550

334600 103-1-13.21
Town of Newburgh
20-26 Union Ave Ext
Newburgh NY 12550

334600 103-7-8
Sarah Cwikla
John Cwikla
6 Capitol Ct
Newburgh NY 12550

334600 103-7-2
Virginia L Wilson
Virginia L Wilson Living Trust
3 Royal Cir
Newburgh NY 12550

334600 103-7-5
Matthew Lewis
Ashley Lewis
1 Capital Ct
Newburgh NY 12550

334600 103-7-12
Linda S Miranda
Luis A Binet
15 Royal Cir
Newburgh NY 12550

334600 103-7-10
Management, LLC Crossroads Construction &
50 Cocoa Ln
Newburgh NY 12550

334600 53-4-1
Serafina Morales
Richard Van Erem
2 Elmhurst Ave Apt 3
Newburgh NY 12550

334600 103-1-13.22
Stewart's Shops Corp
P.O. Box 435
Saratoga Springs NY 12866

Town of Newburgh
Office of the Assessor
1496 Route 300
Newburgh, NY 12550

Done 5/11/21
(Signature)

SEC 103 BLK 7 LOT 18
47 1 46

AFFADAVIT OF MAILING OF NOTICE
TO OWNERS OF PROPERTY WITHIN 500 FEET
OF THE SUBJECT PROPERTY

STATE OF NEW YORK)
)SS.
COUNTY OF ORANGE)

I, Charles M. Sleat, being duly sworn, depose and say that I did on 5/13 ~~2021~~ ²⁰²¹, deposit in the United States mail, postage prepaid, by first class Mail, a Notice of Public Hearing, a copy of which is attached hereto as Exhibit "A" and made a part hereof, addressed to each of the persons identified on Exhibit "B" attached hereto and made a part hereof.

Charles M. Sleat

Sworn to before me this 13
day of MAY, 2021.

Lisa M. Ayers
Notary Public



Monarch
1305.01

**TOWN OF NEWBURGH
PLANNING BOARD
NOTICE OF INTENT FOR DESIGNATION OF LEAD AGENCY**

Please take notice that, according to the provisions of 6 NYCRR Part 617, the Town of Newburgh Planning Board has declared its intent to be lead agency for the purpose of review of and action on the project named below. If within 30 calendar days from the date of mailing this notification no involved agency submits a written objection to the Town of Newburgh Planning Board, the Town of Newburgh Planning Board shall act as lead agency and shall follow the provisions of 6NYCRR Part 617.7 governing determination of significance of the proposed action.

Contact Person/Address: John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550
(845) 564-7804

Name of Project: Monarch Drive Senior Housing

Location: Intersection of Monarch Drive and New York State Route 52 South East Quadrant

Tax Map Parcel: Section 103, Block 7, Lot 18 & Section 47, Block 1, Lot 46

Town of Newburgh, County of Orange, New York

Project Number: 2019-28

SEQRA Status: Type I Action – Greater than 100,000 square feet in a Town with population less than 150,000 people.

Project Description:

The project proposes the construction of 100 senior housing apartments in two structures. The project will be served by connections to existing water and sewer within Town Right of Ways. Units will be a mix of 24 1-bedroom and 76 2-bedroom units located within two proposed structures. The project involves a lot-line change, which will create a 0.9 +/- acre parcel of property at the intersection of Monarch Drive and New York State Route 52, which will be developed conceptually in compliance with the underlying B Zoning requirements. The multi-family project will include a clubhouse, pool, parking areas, and storm water management facilities. Access to the site will be via a Boulevard type entrance from Monarch Drive. The Planning Board is reviewing the project under Town Code Section 185-48 Senior Citizen Housing. The project is located in the B Zoning District. The project must comply with Town of Newburgh buffering requirements.

Date of Action: 16 January 2020

Date of Mailing: 6 February 2020

Involved Agencies:

Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Town of Newburgh
Town Board
1496 Route 300
Newburgh, NY 12550

NYS Department of Transportation
SEQRA Unit
Traffic, Engineering and Safety Division
4 Burnett Boulevard
Poughkeepsie, NY 12603

NYS Department of Environmental Conservation
21 S. Putt Corners Road
New Paltz, NY 12561
Attn: Environmental Permits/SEQRA Unit

City of Newburgh
83 Broadway
Newburgh, NY 12550
Attn: City Manager

Interested Agencies:

Orange County Planning Department
124 Main Street
Goshen, NY 10924

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ None identified on-site Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

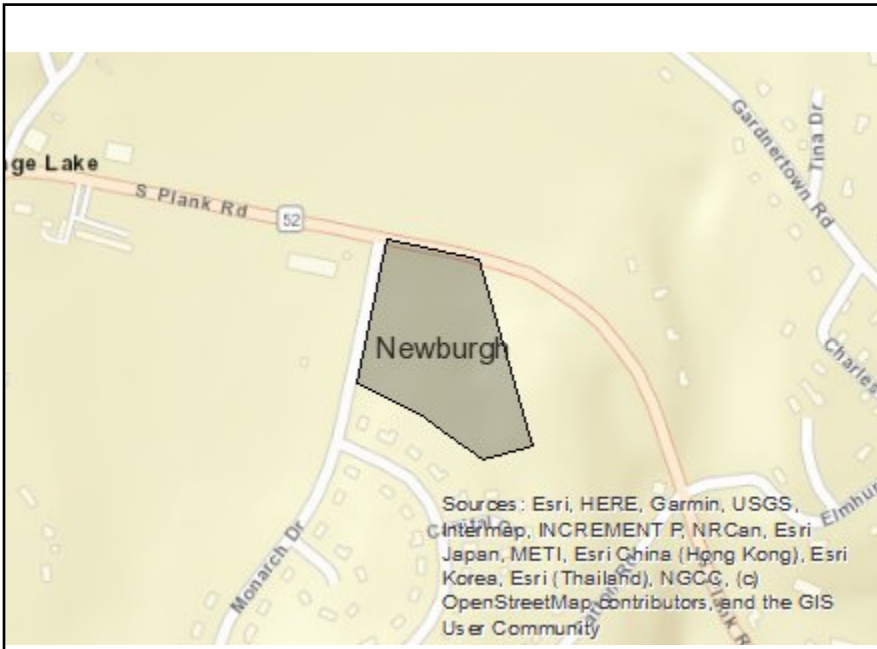
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

~~Applicant/Sponsor~~ Engineer Name _____ Date _____

Signature  _____ Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Project :

Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency’s reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
If “Yes”, answer questions a - h. If “No”, move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part 1. E.2)
If “Yes”, answer questions a - g. If “No”, move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation The proposed action may result in a change to existing transportation systems. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.j) <i>If "Yes", answer questions a - f. If "No", go to Section 14.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy The proposed action may cause an increase in the use of any form of energy. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.k) <i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

15. Impact on Noise, Odor, and Light The proposed action may result in an increase in noise, odors, or outdoor lighting. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.m., n., and o.) <i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans			
The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If “Yes”, answer questions a - h. If “No”, go to Section 18.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action’s land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character			
The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If “Yes”, answer questions a - g. If “No”, proceed to Part 3.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**TOWN OF NEWBURGH
PLANNING BOARD
NOTICE OF INTENT FOR DESIGNATION OF LEAD AGENCY**

Please take notice that, according to the provisions of 6 NYCRR Part 617, the Town of Newburgh Planning Board has declared its intent to be lead agency for the purpose of review of and action on the project named below. If within 30 calendar days from the date of mailing this notification no involved agency submits a written objection to the Town of Newburgh Planning Board, the Town of Newburgh Planning Board shall act as lead agency and shall follow the provisions of 6NYCRR Part 617.7 governing determination of significance of the proposed action.

Contact Person/Address: John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550
(845) 564-7804

Name of Project: Monarch Drive Senior Housing

Location: Intersection of Monarch Drive and New York State Route 52 South East Quadrant

Tax Map Parcel: Section 103, Block 7, Lot 18 & Section 47, Block 1, Lot 46

Town of Newburgh, County of Orange, New York

Project Number: 2019-28

SEQRA Status: Type I Action – Greater than 100,000 square feet in a Town with population less than 150,000 people.

Project Description:

The project proposes the construction of 100 senior housing apartments in two structures. The project will be served by connections to existing water and sewer within Town Right of Ways. Units will be a mix of 24 1-bedroom and 76 2-bedroom units located within two proposed structures. The project involves a lot-line change, which will create a 0.9 +/- acre parcel of property at the intersection of Monarch Drive and New York State Route 52, which will be developed conceptually in compliance with the underlying B Zoning requirements. The multi-family project will include a clubhouse, pool, parking areas, and storm water management facilities. Access to the site will be via a Boulevard type entrance from Monarch Drive. The Planning Board is reviewing the project under Town Code Section 185-48 Senior Citizen Housing. The project is located in the B Zoning District. The project must comply with Town of Newburgh buffering requirements.

Date of Action: 16 January 2020

Date of Mailing: 6 February 2020

Involved Agencies:

Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Town of Newburgh
Town Board
1496 Route 300
Newburgh, NY 12550

NYS Department of Transportation
SEQRA Unit
Traffic, Engineering and Safety Division
4 Burnett Boulevard
Poughkeepsie, NY 12603

NYS Department of Environmental Conservation
21 S. Putt Corners Road
New Paltz, NY 12561
Attn: Environmental Permits/SEQRA Unit

City of Newburgh
83 Broadway
Newburgh, NY 12550
Attn: City Manager

Interested Agencies:

Orange County Planning Department
124 Main Street
Goshen, NY 10924



www.EngineeringPropertiesPC.com
71 Clinton Street
Montgomery, NY 12549
phone: (845) 457-7727
fax: (845) 457-1899

September 21, 2021

Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550
ATTN: John Ewasutyn, Chairman

**RE: W.O. # 1325.01
MONARCH WOODS SENIOR HOUSING
MONARCH DRIVE
EXPANDED PART 3 EAF OUTLINE**

Dear Mr. Chairman and Board Members,

A Part 1 Full Environmental Assessment Form (FEAF) was prepared and submitted as part of the Site Plan/Subdivision Application package for the proposed project and was subsequently revised April 21, 2021. This document was prepared to identify potential environmental impacts associated with Proposed Action. Attached to this letter is a draft Part 2 FEAF that has been completed to identify the severity of the potential environmental impacts and what information is necessary to provide in the form of a Part 3 EAF.

Based on the Parts 1 and 2 FEAFs we offer the following outline to further investigate the issues that have been identified as potential environmental impacts. We intend to provide additional information and reports for each environmental category listed below for further review and discussion, along with a description of appropriate mitigation measures determined to be needed. Before we proceed in preparing an Expanded Part 3 FEAF, we respectfully request that the Board review the below outline along with the FEAF Parts 1 and 2 to assure that all relevant environmental issues of concerned have been identified.

Proposed Expanded Part 3 FEAF Outline

Impacts on Land

The Proposed Action involves construction on slopes of 15% or greater and the construction may continue for more than one year. The Project may also result in increased erosion from physical disturbance and vegetation removal due to the construction of buildings, parking lots, stormwater facilities etc.

To address these potential impacts grading plans will be prepared specifically for the Project. A narrative will be provided addressing the existing site conditions and the potential impacts earth moving activities will create. Mitigation measures will be proposed as required.

Impacts on Surface Water

The Proposed Action involves construction that may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies or may affect the water quality of any water bodies within or downstream of the Site. In addition, the Proposed Action may involve construction within the adjacent area of a NYSDEC freshwater wetlands.

The Part 3 EAF will describe the onsite and surrounding surface waters. The NYSDEC will be contacted to confirm the presence or absence of wetland adjacent areas on the property due to the NYSDEC wetlands on the north side of NYS Route 52. Potential impacts to the surface waters will be identified, such as the amount and location of proposed disturbance. To mitigate potential impacts, a Storm Water Pollution Prevention Plan (SWPPP) will be prepared including a pre- and post-development stormwater analysis in accordance with applicable State Pollution Discharge Elimination System (SPDES) regulations for construction activities and the findings will be summarized. Additional mitigation measures will be proposed as required.

Impact on Plants and Animals

The Proposed Action may result in a reduction or degradation of habitat used by rare, threatened or endangered species, as listed by New York State or the federal government, specifically the Indiana Bat (endangered).

Potential impacts to any identified habitat resulting from construction and operation of the Site will be noted and necessary mitigation measures will be described.

Impact on Agricultural Resources

The Proposed Action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System. The Part 3 narrative will describe the types of soils found on the Site, identify potential impacts to the agricultural district and soils, and indicate any necessary mitigation measures.

Impacts on Historical and Archaeological Resources

The project site is located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory. SHPO will be contacted regarding the site. If required, an archaeological investigation will be conducted and a discussion of the existing archaeological resources along with potential impacts will be identified. Mitigation will be presented as required. A Part 3 narrative of the existing conditions, potential impacts and any necessary mitigation will be provided.

Impacts on Transportation

The projected traffic increase generated by the Proposed Action may exceed the capacity of the existing road network. A Traffic Impact Study (TIS) will be completed evaluating the existing road network and the impact from the traffic expected to be generated by this Project, as well as other nearby approved and proposed developments (project list will be confirmed with the Town's traffic consultant), at the following intersections:

- NYS Route 52/Monarch Drive
- Site entrance on Monarch Drive

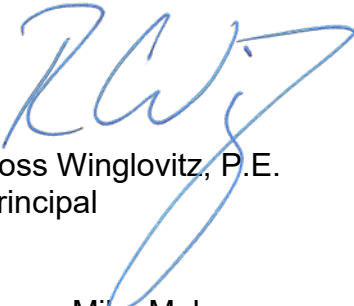
A narrative summarizing the transportation impacts identified in the TIS and any necessary mitigation measures will be provided.

Impacts on Light

The proposed project could result in light shining onto adjoining properties. A lighting plan will be completed evaluating the proposed outdoor lighting. A Part 3 EAF narrative discussion will be provided addressing the potential lighting impacts of the proposed uses along with a discussion of any necessary mitigation.

If any additional information is required, please let us know.

Sincerely,
Engineering & Surveying Properties, PC



Ross Winglovitz, P.E.
Principal

cc: Mike Maher
John Cappello, ESQ



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

GIL PIAQUADIO
Supervisor

845-564-4552
Fax: 845-566-9486
e-mail: supervisor@townofnewburgh.org

January 29, 2021

VIA E-MAIL AND HAND DELIVERY

John P. Ewasutyn, Planning Board Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, New York 12550

RE: Monarch Woods Senior Community Site Plan;
Planning Board Project No. 2019-28

Dear John:

The Town Board has reviewed the letter of Dominic Cordisco of January 30, 2020 advising of the Planning Board's January 16, 2020 recommendation that the Town Board authorize its review of the Monarch Woods Senior Community project under the gross density provisions of Section 185-48 of the Zoning Code. The applicant and its' representatives have presented the project plans and made various submissions to the Town Board in order to meet the Code's requirement for a satisfactory market analysis and documentation demonstrating to the Board's satisfaction that there is an identifiable need for the project. Its' most recent submission is a November 2020 Senior Housing Market Study prepared by Hudson Valley Patterns for Progress.

The Town Board has authorized me to forward a letter advising that the Planning Board may proceed with the review. The Town Board will not act to authorize the Planning Board to modify the provisions of the Zoning Code relative to density until the Planning Board, as lead agency, has concluded the coordinated environmental review of the project.

Should you have any questions in this regard, please do not hesitate to contact me.

Sincerely,

Gilbert J. Piaquadio, Supervisor

MCT/sel
Enclosure

cc: Town Board Members *(via e-mail)*
Planning Board Members *(via e-mail)*
Hon. Joseph Pedi, Town Clerk
James Osborne, Town Engineer *(via e-mail)*
Gerald Canfield, Code Compliance Supervisor *(via e-mail)*
Mark C. Taylor, Attorney for the Town *(via e-mail)*
Dominic Cordisco, Planning Board Attorney *(via e-mail)*
Patrick Hines, McGoey Hauser & Edsal *(via e-mail)*
Ross Winglovitz, P.E. *(via e-mail)*
John Cappello, Esq. *(via e-mail)*

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



**Department of
Environmental
Conservation**

February 18, 2020

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

RE: Monarch Drive Senior Housing – Monarch Drive & State Route 52
Tax ID #s 103-7-18 & 47-1-46
Town of Newburgh, Orange County
CH# 8667
SEQR Lead Agency Designation

Dear Chairman Ewasutyn:

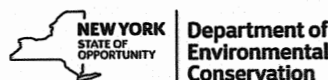
The New York State Department of Environmental Conservation (Department or DEC) has reviewed the State Environmental Quality Review (SEQR) Notice of Intent to Serve as Lead Agency submitted by the Town of Newburgh Planning Board for the above-referenced project. According to the submitted information, the applicant proposes to construct two senior housing buildings comprised of 50 dwelling units each (100 units total). Additionally, the applicant proposes to construct a clubhouse, a pool, two parking lots (comprised of 20 and 201 spaces respectively, for a total of 221 spaces), and stormwater management facilities. The site will be accessed via a boulevard-type entrance extending from Monarch Drive. To facilitate the proposed development, the two above-referenced parcels will be combined into a single lot.

In addition, an approximate 9-acre parcel will be created at the intersection of Monarch Drive and State Route 52 as a result of the lot line change. The project plans, titled "Sketch Plan", prepared by Engineering & Surveying Properties, dated September 17, 2019, indicate that this new parcel will be developed with a bank and an associated 20-space parking lot.

The DEC has no objection to the Town of Newburgh Planning Board serving as lead agency for this project. Based upon our review of your inquiry received by this office on February 10, 2020, the Department offers the following comments:

PROTECTION OF WATERS

There are no waterbodies that appear on our regulatory maps at the project site you identified. Therefore, if there is a stream or pond outlet present at the site with year-round flow, it assumes the classification of the watercourse into which it feeds, and a Protection of Waters permit may be required. If there is a stream or pond outlet present at the site



that runs intermittently (seasonally), it is not protected, and a Protection of Waters permit is not required.

If a permit is not required, please note, however, you are still responsible for ensuring that work shall not pollute any stream or waterbody. Care shall be taken to stabilize any disturbed areas promptly after construction, and all necessary precautions shall be taken to prevent contamination of the stream or waterbody by silt, sediment, fuels, solvents, lubricants, or any other pollutant associated with the project.

FRESHWATER WETLANDS

The project site is not within a New York State protected Freshwater Wetland. However, please note that DEC-regulated freshwater wetland NB-22, Class 2, is located on the lot across from the proposed project site. A Freshwater Wetlands permit is required for any physical disturbance within these boundaries or within the 100-foot adjacent area. Please contact Michael Fraatz, Bureau of Ecosystem Health, for a determination. He can be reached at (845) 256-3057 or by email at Michael.fraatz@dec.ny.gov.

WATER QUALITY CERTIFICATION

The project site does not appear to contain a federally-regulated wetland area. If the United States Army Corps of Engineers (ACOE) requires a permit for work completed in or impacting a federal wetland, you will need a Section 401 Water Quality Certification from the Department. Please contact the ACOE at (917) 790-8411 for a determination.

STATE-LISTED SPECIES

The DEC has reviewed the State's Natural Heritage records. We have determined that the site is located within or near records of the following state-listed species:

<u>Name</u>	<u>Status</u>
Indiana bat (<i>Myotis sodalis</i>)	Endangered

Any potential impacts of the proposed project on this species should be fully evaluated during the review of the project pursuant to SEQR. A permit is required for the incidental taking of any species identified as "endangered" or "threatened," which can include the removal of habitat. To avoid adverse impacts to Indiana bats and the need for an Incidental Take Permit pursuant to 6 NYCRR Part 182, all tree removal must take place from October 1st through March 31st. If the project sponsor cannot complete tree clearing within this time of year restriction, then the Department will require further review on the impacts to this species. Additional project modifications may be needed to avoid or adequately mitigate any potential impacts identified.

Please note that a project sponsor may not commence site preparation, including tree clearing, until the provisions of SEQR are complied with and all necessary permits are issued for the proposed project.

For technical questions regarding these species and their associated avoidance and mitigation measures, please contact the NYSDEC Bureau of Wildlife at (845) 256-3098.

The absence of data does not necessarily mean that other rare or state-listed species, natural communities, or other significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information which indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

STATE POLLUTION DISCHARGE ELIMINATION SYSTEM (SPDES)

Since project activities will disturb over one acre of land, the project sponsor must obtain coverage under the current SPDES General Permit for Stormwater Discharge from Construction Activity (GP-0-20-001) and develop a Stormwater Pollution Prevention Plan (SWPPP) that conforms to requirements of the General Permit.

As this site is within a Municipal Separate Storm Sewer System (MS4) community, the municipality is responsible for review and acceptance of the SWPPP, and the MS-4 Acceptance Form must be submitted to the Department. For information on stormwater and the general permits, see the DEC website at <http://www.dec.ny.gov/chemical/8468.html>.

According to the Full Environmental Assessment Form (EAF), the proposed project site will generate approximately 20,812 gallons per day (gpd) of sanitary wastewater that will be discharged to the existing City of Newburgh Sewer District. Please be aware that an engineering report must be prepared to confirm the capacity of that wastewater facility to serve the proposed project and that our Department's Division of Water is required to review and approve plans for any proposed sewer extensions or facility expansions.

WATER WITHDRAWAL

According to the EAF, the proposed project site will generate a demand for water of approximately 20,812 gpd, which will be served by the existing WD001 and WD002 Water Districts. Please note that additional Department approval may be required to ensure that the site is covered under an existing Water Withdrawal permit and does not exceed the authorized maximum taking of water into the existing water district or service area. For more information, please contact DEC Division of Water at (914) 428-2505.

AIR RESOURCES

If the project activities include the installation of a stationary or portable combustion system that exceeds one of the following thresholds, then an air facility registration may be required:

- A maximum rated heat input capacity less than 10 million British Thermal Units (Btu) per hour burning fuels other than coal or wood; or
- A maximum rated heat input capacity of less than 1 million Btu/hr burning coal or wood.

For more information, please contact the DEC Division of Air Resources at (845) 256-3185.

CULTURAL RESOURCES

We have reviewed the statewide inventory of archaeological resources maintained by the New York State Museum and the New York State Office of Parks, Recreation, and Historic Preservation. These records indicate that the project is located within an area considered to be sensitive with regard to archaeological resources. The project sponsor should submit project materials to the New York State Historic Preservation Office's online Cultural Resource Information System (CRIS) to initiate the review process. Information on submitting to the system and access to it are available at <http://www.nysparks.com/shpo/>.

OTHER

Other permits from this Department or other agencies may be required for projects conducted on this property now or in the future. Also, regulations applicable to the location subject to this determination occasionally are revised and the project sponsor should, therefore, verify the need for permits if your project is delayed or postponed. This determination regarding the need for permits will remain effective for a maximum of one year. More information about DEC permits may be found on our website, www.dec.ny.gov, under "Regulatory" then "Permits and Licenses." Application forms may be downloaded at <http://www.dec.ny.gov/permits/6081.html>.

Please contact this office if you have questions regarding the above information. Thank you.

Sincerely,



Christina Pacella
Division of Environmental Permits
Region 3, Telephone No. (845) 256-2250

Enc: Indiana Bat Project Review Fact Sheet

cc: Michael Fraatz, NYSDEC Bureau of Ecosystem Health
Aparna Roy, NYSDEC Division of Water
Lisa Masi, NYSDEC Bureau of Wildlife
George Sweikert, NYSDEC Division of Air Resources
52 Monarch Development, Inc., Applicant
Ross Winglovitz, P.E., Engineering & Surveying Properties, P.C.

Indiana Bat Project Review Fact Sheet

New York Field Office

The following fact sheet is intended to provide information to assist project sponsors, as well as any involved Federal and State agencies, with the review of activities that occur within the likely range of the Indiana bat (*Myotis sodalis*) within the State of New York. This fact sheet can be used to assist with compliance with the Endangered Species Act (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*). **PLEASE NOTE - this fact sheet does not apply to wind development projects as they involve many unique considerations.** Contact the U.S. Fish and Wildlife Service (Service) directly for technical assistance for wind projects. In addition, information on evaluating impacts from wind projects on Indiana bats can be found at <http://www.fws.gov/midwest/endangered/mammals/inba/WindEnergyGuidance.html>.

Background

The Indiana bat is federally- and New York State-listed as an endangered species with a range that extends from the Midwest to northeastern and southeastern parts of the United States. Additional information on Indiana bat occurrences can be found at <http://ecos.fws.gov> and <https://www.fws.gov/northeast/nyfo/es/NYSpecies.htm>.

The Indiana bat typically hibernates in caves/mines in the winter and roosts under bark or in tree crevices in the spring, summer, and fall. Suitable potential summer roosting habitat is characterized by trees (dead, dying, or alive) or snags with exfoliating bark, or containing cracks or crevices that could potentially be used by Indiana bats as a roost. The minimum size roost tree observed to date is 2.5 inches diameter breast height (d.b.h.) for males and 4.3 inches d.b.h. for females. However, maternity colonies generally use trees greater than or equal to 9 inches d.b.h. Overall, roost tree structure appears to be more important to Indiana bats than a particular tree species or habitat type. Females appear to be more habitat specific than males presumably because of the warmer temperature requirements associated with gestation and rearing of young. As a result, they are generally found at lower elevations than males may be found. Roosts are warmed by direct exposure to solar radiation, thus trees exposed to extended periods of direct sunlight are preferred over those in shaded areas. However, shaded roosts may be preferred in very hot conditions. As larger trees afford a greater thermal mass for heat retention, they appear to be preferred over smaller trees. Additional information on potentially suitable summer habitat can be found in the Draft Indiana Bat Recovery Plan (Service 2007) at <http://www.fws.gov/northeast/nyfo/es/IndianaBatapr07.pdf> and at <http://www.fws.gov/midwest/endangered/mammals/inba/inbasummersurveyguidance.html>

Streams associated with floodplain forests, and impounded water bodies (ponds, wetlands, reservoirs, etc.) where abundant supplies of flying insects are likely found, provide preferred foraging habitat for Indiana bats, some of which may fly up to 2-5 miles from upland roosts on a regular basis. Indiana bats also forage within the canopy of upland forests, over clearings with early successional vegetation (*e.g.*, old fields), along the borders of croplands, along wooded fencerows, and over farm ponds in pastures (Service 2007). While Indiana bats appear to forage in a wide variety of habitats, they seem to tend to stay fairly close to tree cover.

Threats include disease (white-nose syndrome), habitat loss or degradation, human disturbance, contaminants, and collision with wind turbines.

Indiana Bat Project Review Fact Sheet
New York Field Office

Evaluation of Presence or Probable Absence

To determine whether the proposed project site may be occupied by the Indiana bat, the Service recommends the following analytical approach¹:

Step 1. Is the proposed project within an area² identified by the Service as known or likely to contain Indiana bats?

- No: No further coordination regarding the Indiana bat is necessary at this time.
- Yes: Proceed to Step 2.

Step 2. Is there existing information regarding probable presence/absence of Indiana bats (e.g., proximity to hibernacula, prior summer netting/acoustics)³?

- No: Proceed to Step 3.
- Yes: Document existing information and coordinate with the Service.

Step 3. Is there any suitable Indiana bat habitat⁴ present within the proposed action project area?

- No: No further coordination regarding the Indiana bat is necessary at this time.
- Yes: Determine whether the proposed project involves any effects to Indiana bats.

Determination of Effects

Determine for each project whether effects to Indiana bats or their habitat are expected. If there are impacts to habitat while bats are not present, assess the scale and scope of those impacts to determine whether bats returning in the spring may be affected.

For example, consider whether a project may result in temporary or permanent increases in noise, vibration, dust, chemical use, lighting, vehicle use, and general levels of human activity. Also, consider whether a project may result in temporary or permanent loss, degradation, and/or fragmentation of roosting, foraging, swarming, commuting, or wintering habitat.

Certain transportation projects have already been evaluated and processes developed in accordance with a Rangewide Consultation and Conservation Strategy:

<https://www.fws.gov/Midwest/endangered/section7/fhwa/>

Surveys for Indiana Bats

Should suitable Indiana bat habitat be present and should the proposed project have the potential for impacting Indiana bats, coordinate with the Service to determine whether 1) assuming presence or 2) conducting surveys⁵ is the best approach. Due to the limited time frame when bat surveys can be completed and in order to avoid project delays, it is strongly recommended that the project sponsor (or involved Federal agency) contact the Service as early as possible during

¹ This reflects our current understanding but future studies may require a revision to this guidance.

² <https://ecos.fws.gov/ipac/>

³ <http://www.fws.gov/northeast/nyfo/es/NYSpecies.htm> and <http://www.dec.ny.gov/animals/38801.html>

⁴ <http://www.fws.gov/midwest/endangered/mammals/inba/inbasummersurveyguidance.html>

⁵ <http://www.fws.gov/midwest/endangered/mammals/inba/inbasummersurveyguidance.html>

Indiana Bat Project Review Fact Sheet

New York Field Office

project planning to determine if surveys or additional avoidance and/or minimization measures are appropriate. Should Indiana bat presence be detected, the Service should be contacted immediately for further assistance in determining whether your action may impact Indiana bats. If no bats are detected after protocol surveys, submit the results as soon as possible for our review in accordance with the timeframes agreed upon during the review of the survey scope of work.

Conservation Measures

Conservation measures are designed to minimize the likelihood of adverse impacts or result in beneficial effects to Indiana bats from projects. The following guidance represents general recommendations that may be incorporated into the proposed project design as appropriate.

Project Siting

- Avoid removing or damaging documented roosts or trees surrounding roosts.
- Avoid impacts to forest patches with documented roosts/foraging use (e.g., forest within 0.25 mile of known roosts).
- Minimize impacts to all forest patches.
- Maintain forest patches and forested connections (e.g., hedgerows, riparian corridors) between patches.
- Maintain natural vegetation between forest patches/connections and developed areas.
- Maintain at least 35%⁶ of forest habitat within maternity colony home range⁷.
- Restore and/or protect on- and off-site habitat.
- Avoid impacting potential roost trees to the greatest extent practicable
 - Retain standing live trees that have exfoliating (separated from cambium) bark.
 - Retain black locust, shellbark, shagbark, and bitternut hickories as possible, regardless of size or condition (live, dead, or dying).
 - Retain standing snags as much as possible regardless of species.

Project Construction

- When >10 miles from a P3 or P4 hibernaculum or >20 miles from a P1 or P2 hibernaculum⁸, but within the summer range of the Indiana bat, the clearing of potential roost trees, generally ≥ 4 inches should occur from October 1 through March 31⁹.
- When <10 miles from a P3 or P4 hibernaculum or <20 miles from a P1 or P2 hibernaculum, clearing should be conducted from October 31 to March 31.
- Use bright flagging/fencing to demarcate trees to be cleared.

⁶ Minimum % forest cover within Indiana bat maternity colony home range (NYSDEC unpublished data)

⁷ For explanation of how to delineate Indiana bat maternity colony home range, please see the Indiana Bat Section 7 and Section 10 Guidance for Wind Energy Projects document located at <http://www.fws.gov/midwest/Endangered/mammals/inba/index.html>

⁸ See Service 2007 for definitions of Priority 1-4 hibernacula. Contact the NYFO for information regarding the closest hibernaculum to your project

⁹ Site specific information may allow for deviations from the listed dates. Also, there may be cases (e.g., very small number of trees) when we believe the likelihood of impacts is low regardless of when tree removal occurs.

Indiana Bat Project Review Fact Sheet
New York Field Office

Project Operations/Maintenance

- Minimize lighting impacts (*e.g.*, limit number of lights, direct lights downward, fully shield lights, use motion sensors or timers).
- Conduct activities in a manner that will minimize impacts to potential drinking water sources for bats.

As we better understand a given proposed project, including any proposed conservation measures for Indiana bats, we may have additional recommendations. Project sponsors should seek assistance from the Service to develop these measures.

Information to Provide to the Service

The project's environmental documents should identify project activities that might result in impacts to the Indiana bat or their habitat. Information on any potential impacts and the results of any recommended habitat analyses or surveys for the Indiana bat should be provided to the New York Field Office and will be used to evaluate potential impacts to the Indiana bat and/or their habitat, and to determine the need for further coordination or consultation pursuant to the ESA. We encourage the project sponsor to submit these materials as early in the planning process as possible to all appropriate parties (*e.g.*, involved Federal/State agencies, the New York State Department of Environmental Conservation, Service).

Specifically, the following information should be provided:

- whether a Federal agency is involved or not;
- a detailed project description;
- a map of the proposed project area with coarse vegetation cover types (*e.g.*, emergent wetland, open field) in acres;
- a summary table of current vs. proposed future acreage of each cover type;
- provide number or acreage of trees proposed for removal and timing of removal;
- an overlay of the project on the vegetation map;
- a description of the forested area onsite, including the type of forest (*e.g.*, oak-hickory), approximate stand age, and presence of dead or live trees with split branches or trunks or exfoliating bark;
- photographs representative of all cover types on the site and encompassing views of the entire site;
- a topographic map with the project area identified; and
- a summary of proposed conservation measures.

References:

U.S. Fish and Wildlife Service. 2007. Indiana Bat (*Myotis sodalis*) Draft Recovery Plan: First Revision. U.S. Fish and Wildlife Service, Fort Snelling, MN. 258 pp.



**Department of
Transportation**

ANDREW M. CUOMO
Governor

MARIE THERESE DOMINGUEZ
Commissioner

LANCE MacMILLAN, P.E.
Regional Director

February 26, 2020

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

**Re: NYSDOT SEQR No. 20-036
Monarch Drive Senior Housing
Town of Newburgh, Orange County**

Dear Mr. Ewasutyn:

The New York State Department of Transportation (NYSDOT) is in receipt of a Notice of Intent for Designation of Lead Agency for the subject project which was received in our office on February 13, 2020. We have no objection to the Town serving as Lead Agency.

Based on a cursory review of the sketch plan that was submitted with the NOI, we request the following items be submitted for a review to determine the need for a NYSDOT Highway Work Permit (HWP):

- Please provide a copy of the SWPPP for this site.
- A Traffic Impact Study will be needed for the intersection of NYS Route 52 and Monarch Drive.
- A plan set that includes sight distances on Route 52 to show where the connections to the existing water and sewer will be made.

Detailed comments will follow more advanced submissions.

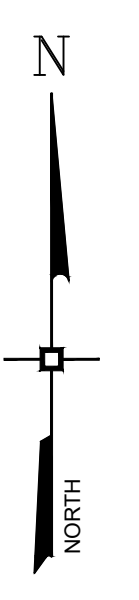
Please submit subsequent plans and documents for this project as well as those for any future development proposal in DIGITAL (.pdf) FORMAT or CD, DVD or Thumb drive.
Email correspondence can be sent to dot.sm.r08.HWPermits@dot.ny.gov.

If you have any questions on any of the above items or if I can be of any assistance, I can be reached at 845-431-5814 or by email at Barbara.Knisell@dot.ny.gov.

Very truly yours,

Barbara Knisell
Assistant Engineer

cc: Shaid Quadri, P.E., Resident Engineer, Residency 8-4
Siby Zachariah-Carbone, Permit Engineer, Residency 8-4
Ross, Winglovitz, PE, Engineering and Surveying, PC

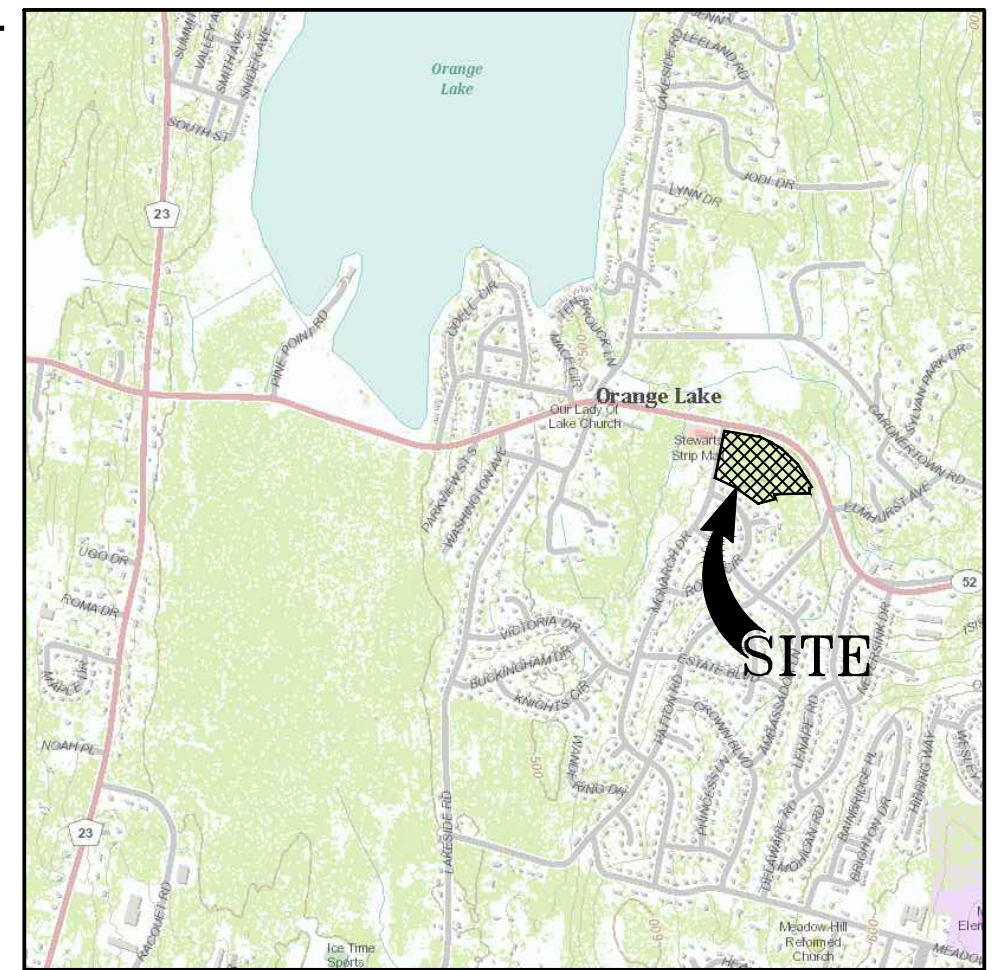


LIST OF DRAWINGS

DRAWING #	TITLE	SHEET #
O-100	OVERALL PLAN	1
C-101	SITE PLAN	2
C-102	GRADING, DRAINAGE PLAN	3
C-103	UTILITIES PLAN	4
C-104	PHASING & EROSION CONTROL PLAN	5
C-105	PHASING PLAN	6
C-106	LIGHTING PLAN	7
C-201	PROFILE	8
C-301	DETAILS	9
C-302	DETAILS	10
C-303	DETAILS	11
C-304	DETAILS	12
C-305	DETAILS	13
C-306	DETAILS	14

LEGEND

	BUILDING LINE
	BUILDING ROOF LINE
	CONCRETE PAD LINE
	CONCRETE HATCH
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	CURB LINE
	DRIVEWAY LINE
	EASEMENT LINE
	FENCE LINES
	PARKING STALL STRIPE
	LAND BANKED PARKING
	PROPERTY LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT LINE
	BUILDING SETBACK LINES
	EDGE OF SIDEWALK LINES
	STRIPING LINE
	EXISTING BUILDING LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING CURB LINE
	EXISTING EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EXISTING SILT FENCE LINES
	EXISTING FENCE LINES
	EXISTING GUIDERAIL LINES
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EXISTING SEWER MAIN LINES
	EXISTING SEWER SERVICE LINES
	EXISTING SEWER FORCE MAIN LINES
	EXISTING EDGE OF SIDEWALK LINES
	EXISTING STORM DRAIN LINES
	EXISTING LIMIT OF TREE LINES
	EXISTING WATER MAIN LINES
	EXISTING WATER SERVICE LINES
	LIMIT OF ACOE WETLAND
	LIMIT OF NYSDEC WETLAND
	LIMIT OF NYSDEC WETLAND BUFFER LINE
	MUNICIPAL BOUNDARY



LOCATION MAP

SCALE: 1" = 2000'

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 103, BLOCK 7, LOT 18 SECTION 47, BLOCK 1, LOT 46
- TOTAL AREA OF SUBJECT PARCEL: 10.579± ACRES.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMs) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER/APPLICANT: 52 MONARCH DEVELOPMENT, INC. 4171 ALBANY POST ROAD HYDE PARK, NEW YORK, 12538
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS, THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO KNOWN NORTHERN LONG-EARED BAT & INDIANA BAT HIBERNACULUM, POTENTIAL ROOST TREES SHALL ONLY BE CUT AND REMOVED DURING KNOWN HIBERNATION MONTHS BETWEEN THE DATES OF NOVEMBER 1ST THROUGH MARCH 31ST, IN ORDER TO AVOID DIRECT ADVERSE IMPACTS TO BOTH SPECIES.
- ALL RESIDENTIAL BUILDINGS WILL BE EQUIPPED WITH AN APPROVED FIRE SPRINKLER SYSTEM.

DENSITY CALCULATIONS

TOWN OF NEWBURGH - ZONING DISTRICT B
SENIOR CITIZEN HOUSING [§185-48] (LOT 2)

PARCEL AREA:	103-7-18	±276,845 SF = ±6.35 AC
	47-1-46	±184,013 SF = ±4.22 AC
TOTAL		±460,858 SF = ±10.57 AC
NET AREA (TOTAL - 75% WETLAND AREA)		±105,707.75 SF = ±2.40 AC

UNITS PERMITTED:
24% 1-BEDROOM & 76% 2-BEDROOM
12 UNITS PER ACRE FOR 1-BEDROOM
10 UNITS PER ACRE FOR 2-BEDROOM
(12 UNITS * 9.76 AC * .24) + (10 UNITS * 9.76 AC * .76) = 102.3 UNITS

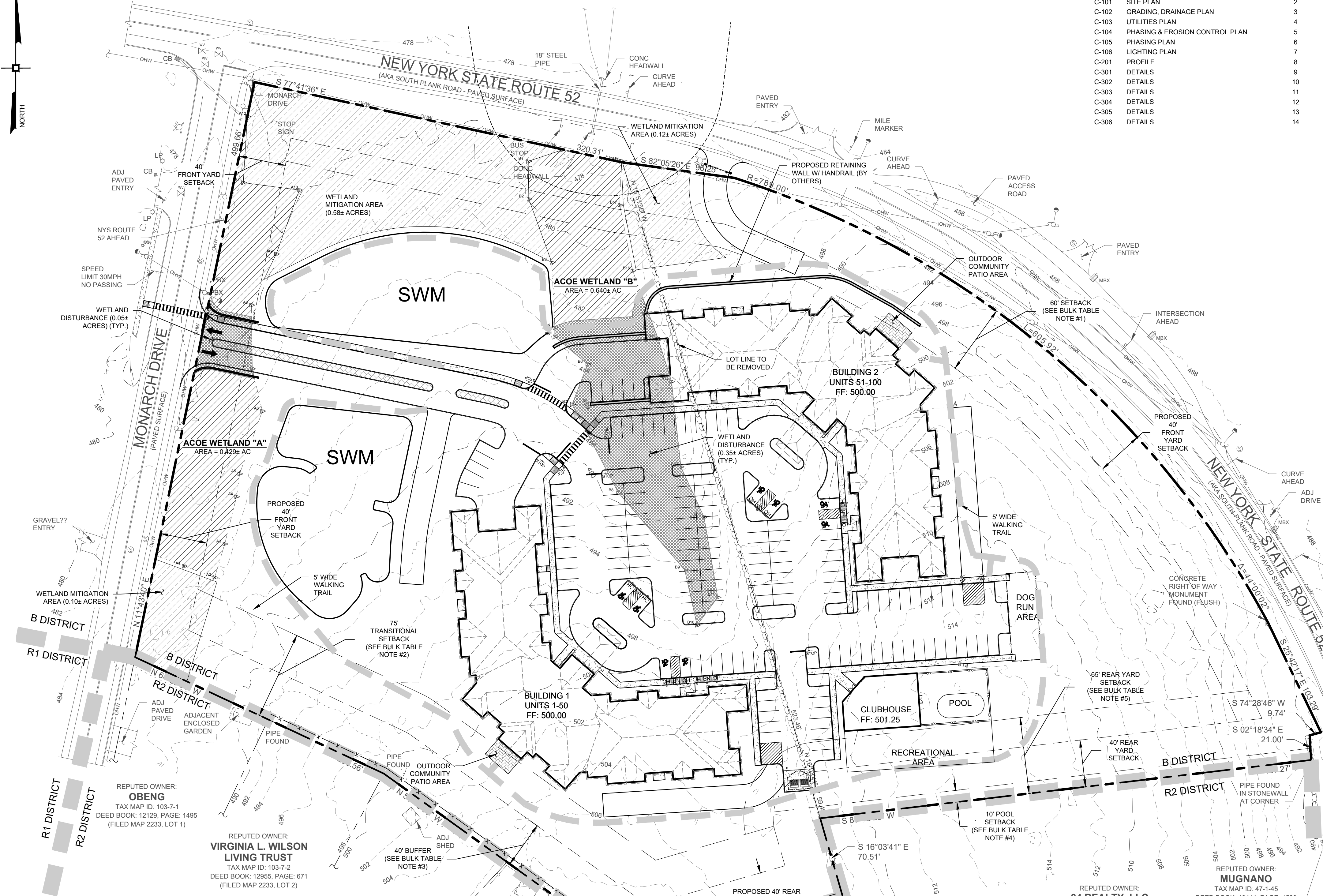
TOTAL UNITS = 102.3 UNITS

UNITS PROPOSED:
APARTMENTS: 2 BUILDINGS X (12) 1-BEDROOM UNITS EACH = 24 UNITS
2 BUILDINGS X (30) 2-BEDROOM UNITS EACH = 78 UNITS

TOTAL APARTMENT UNITS PROPOSED = 102 UNITS

PARKING CALCULATIONS

TOTAL UNIT COUNT:	78 2-BEDROOM UNITS 24 1-BEDROOM UNITS
TOTAL PARKING REQUIRED FOR 1 & 2-BEDROOM UNITS IN B ZONE:	1-BEDROOM: 2.0 SPACES PER DWELLING UNIT 24 UNITS X 2.0 = 48 SPACES 2-BEDROOM: 2.0 SPACES PER DWELLING UNIT 78 UNITS X 2.0 = 156 SPACES
TOTAL PARKING REQUIRED:	204 SPACES
PROVIDED:	TOTAL PARKING PROVIDED = 204 SPACES
SUMMARY:	200 PARKING SPACES REQUIRED 157 PARKING SPACES PROVIDED 47 BUILDING GARAGE PARKING SPACES



BULK REQUIREMENTS

TOWN OF NEWBURGH - ZONING DISTRICT B
PROPOSED USE (LOT 1): POTENTIAL BANK (USE §185 ATCH 11)
PROPOSED USE (LOT 2): SENIOR CITIZEN HOUSING (USE §185-48)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	N/A	419,491 SF
LOT WIDTH	N/A	900 FEET
LOT DEPTH	N/A	638 FEET
FRONT YARD	N/A (MONARCH DR) 60 FEET (NYS RTE 52)	40 FEET 64 FEET
REAR YARD	N/A	40 FEET
TRANSITIONAL YARD	75 FEET (ABUTTING RES. ZONE)	75 FEET
SIDE YARD (ONE / BOTH)	N/A	40 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	N/A	46.5 FEET *
LOT BUILDING COVERAGE	N/A	13%
LOT SURFACE COVERAGE	N/A	34%
ONE-BEDROOM AREA	700 SF	840 SF **
TWO-BEDROOM AREA	900 SF	1060 SF ***

* THE TOWN OF NEWBURGH ZBA HAS DETERMINED THAT A HEIGHT VARIANCE IS NOT REQUIRED AND THAT THE PLANNING BOARD HAS JURISDICTION AS PART OF THE SENIOR CITIZEN HOUSING REGULATIONS SECTION 185-48-B.
** ONE-BEDROOM FLOOR AREA VARIANCE REQUIRED.
*** TWO-BEDROOM FLOOR AREA VARIANCE REQUIRED.

- NOTE:
- FRONT YARD PER SECTION 185-18 C(4)(B).
 - REAR YARD PER SECTION 185-18 C(5)(B)(1), BUILDING OVER 40 FT.
 - BUFFER PER SECTION 185-21 D(3).
 - POOL SETBACK PER SECTION 185-43 B.
 - REAR YARD PER SECTION 185-18 C(5)(B)(1), BUILDING UNDER 40 FT.

BULK REQUIREMENTS

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TRANSITIONAL YARD	75 FEET (ABUTTING RES. ZONE)	75 FEET
SIDE YARD (ONE / BOTH)	N/A	40 FEET
MAXIMUM ALLOWABLE		
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NO.	DATE	DESCRIPTION
0	09/17/19	INITIAL SUBMISSION
1	04/12/21	REVISED PER COMMENT LETTERS
2	09/21/21	REVISED PER PLANNING BOARD COMMENTS
3	02/03/22	REVISED PER PLANNING BOARD COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1 OF 14
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071201

1 inch = 50 ft.

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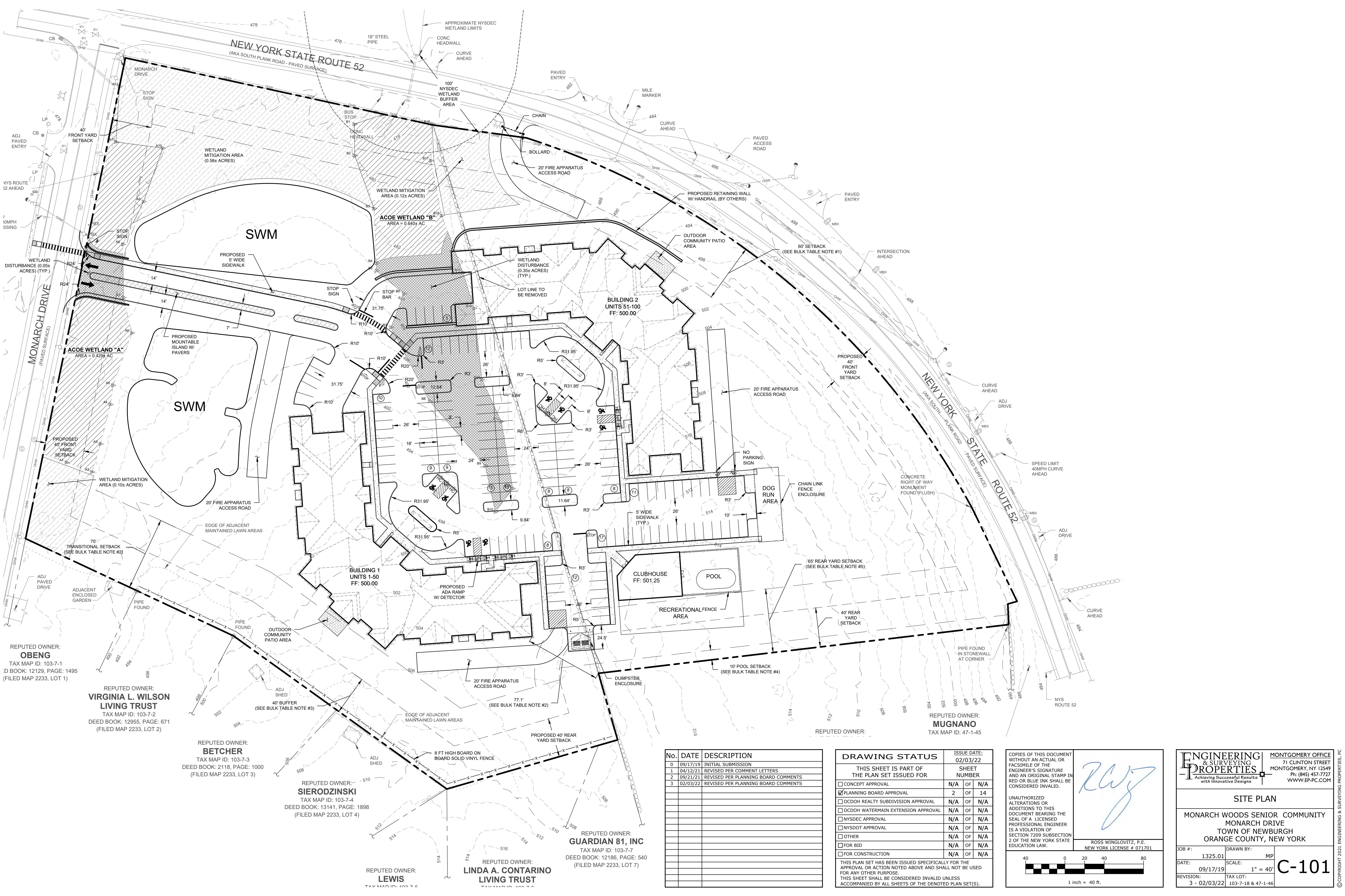
OVERALL PLAN

MONARCH WOODS SENIOR COMMUNITY
MONARCH DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #: 1325.01
DATE: 09/17/19
REVISION: 3 - 02/03/22

DRAWN BY: MP
SCALE: 1" = 50'
TAX LOT: 103-7-18 & 47-1-46

O-100



REPUTED OWNER:
OBENG
TAX MAP ID: 103-7-1
D BOOK: 12129, PAGE: 1495
(FILED MAP 2233, LOT 1)

REPUTED OWNER:
**VIRGINIA L. WILSON
LIVING TRUST**
TAX MAP ID: 103-7-2
DEED BOOK: 12955, PAGE: 671
(FILED MAP 2233, LOT 2)

REPUTED OWNER:
BETCHER
TAX MAP ID: 103-7-3
DEED BOOK: 2118, PAGE: 1000
(FILED MAP 2233, LOT 3)

REPUTED OWNER:
SIERODZINSKI
TAX MAP ID: 103-7-4
DEED BOOK: 13141, PAGE: 1898
(FILED MAP 2233, LOT 4)

REPUTED OWNER:
LEWIS

REPUTED OWNER:
**LINDA A. CONTARINO
LIVING TRUST**

REPUTED OWNER:
GUARDIAN 81, INC
TAX MAP ID: 103-7-7
DEED BOOK: 12186, PAGE: 540
(FILED MAP 2233, LOT 7)

REPUTED OWNER:
MUGNANO
TAX MAP ID: 47-1-45

No.	DATE	DESCRIPTION
0	09/17/19	INITIAL SUBMISSION
1	04/12/21	REVISED PER COMMENT LETTERS
2	09/21/21	REVISED PER PLANNING BOARD COMMENTS
3	02/03/22	REVISED PER PLANNING BOARD COMMENTS

DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2	OF 14
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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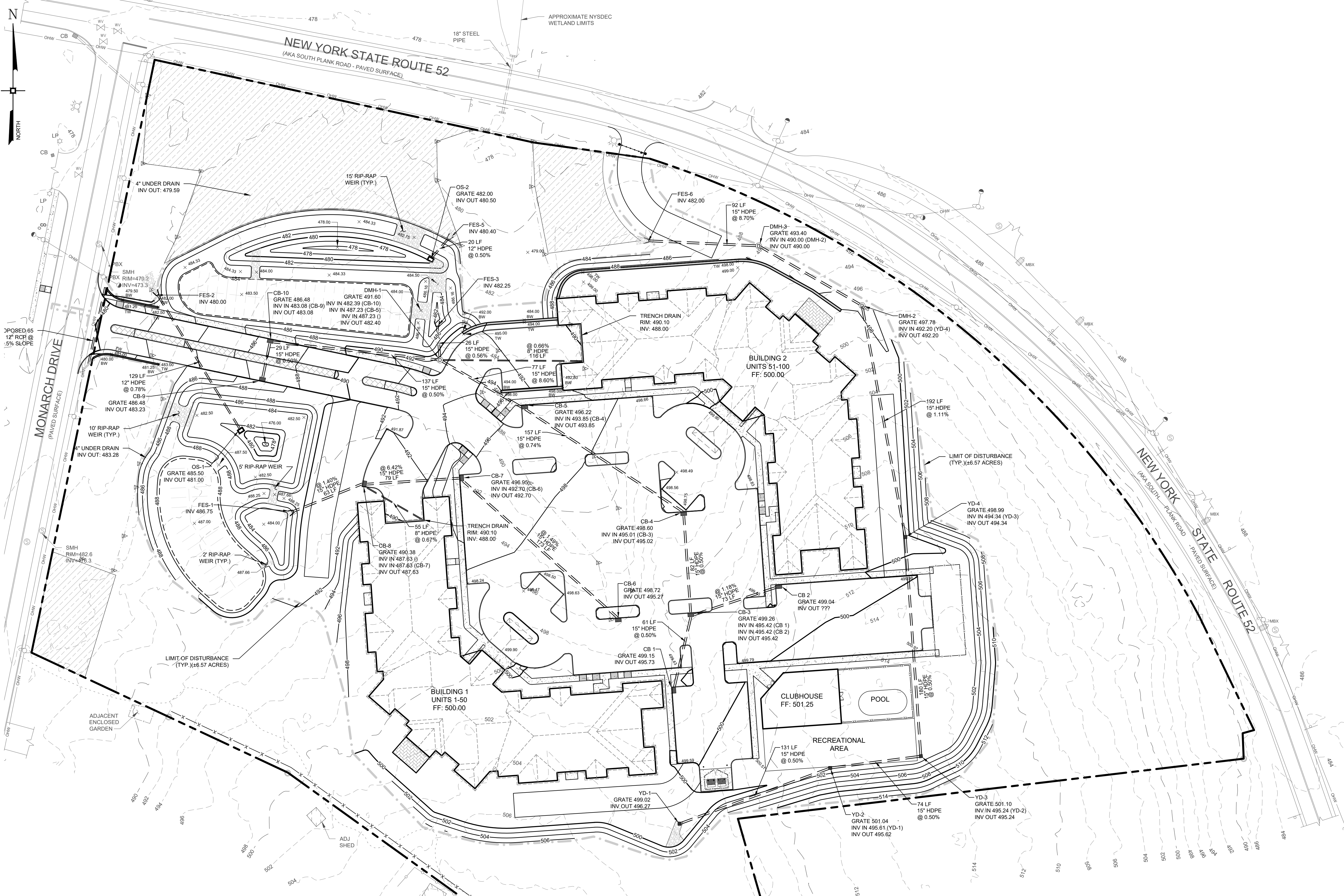
SITE PLAN

MONARCH WOODS SENIOR COMMUNITY
MONARCH DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #:	1325.01	DRAWN BY:	MP
DATE:	09/17/19	SCALE:	1" = 40'
REVISION:	3 - 02/03/22	TAX LOT:	103-7-18 & 47-1-46

C-101

1 inch = 40 ft.



NO.	DATE	DESCRIPTION
0	09/17/19	INITIAL SUBMISSION
1	04/12/21	REVISED PER COMMENT LETTERS
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3	02/03/22	REVISED PER PLANNING BOARD COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		02/03/22
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF 14
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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GRADING & DRAINAGE PLAN

MONARCH WOODS SENIOR COMMUNITY
MONARCH DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #: 1325.01
DATE: 09/17/19
REVISION: 3 - 02/03/22

DRAWN BY: MP
SCALE: 1" = 40'
TAX LOT: 103-7-18 & 47-1-46

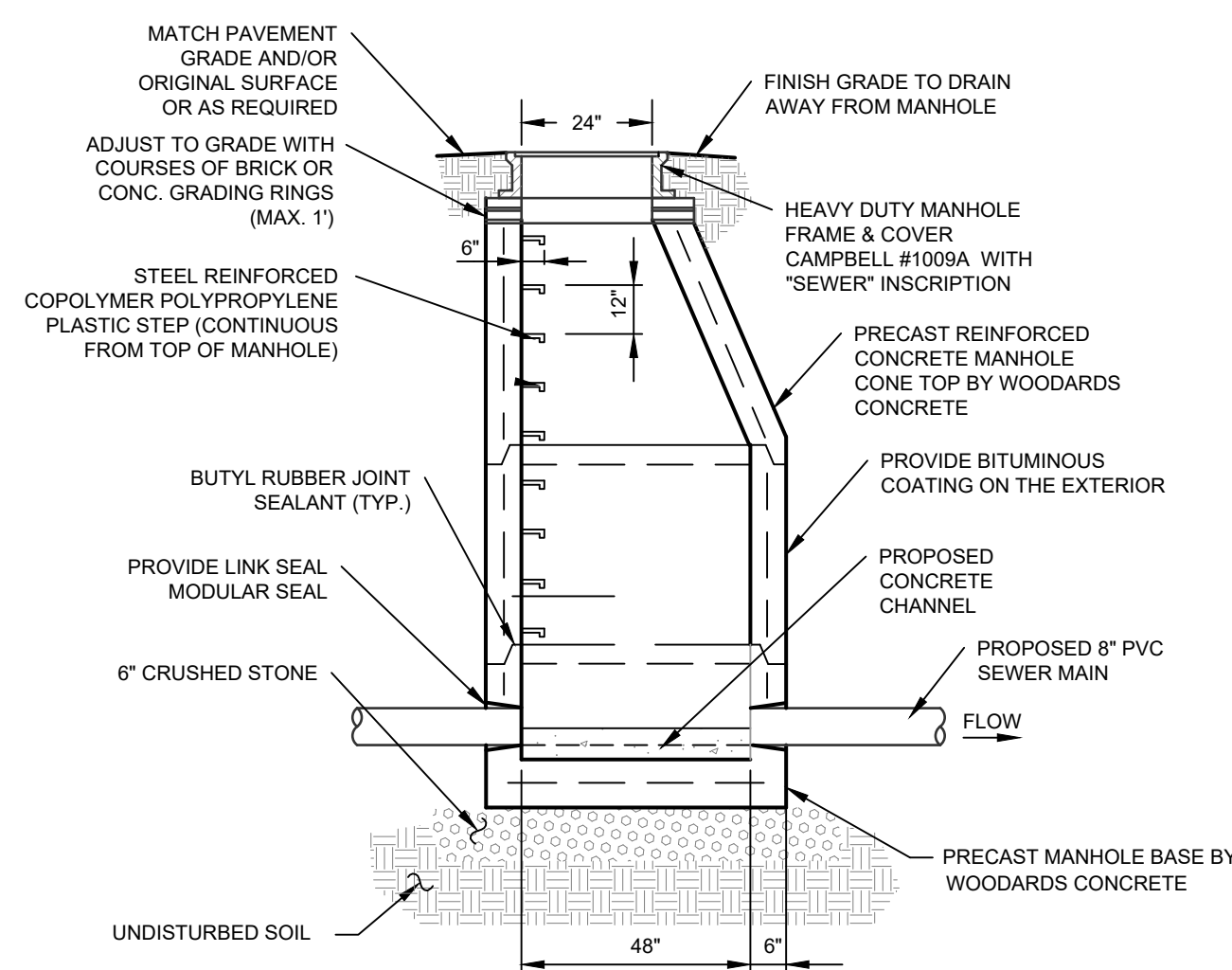
C-102

SEWER SYSTEM NOTES

- ALL GRAVITY SEWER PIPE SHALL BE SDR-35 PVC.
- IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DE-WATER THE TRENCH PRIOR TO INSTALLATION. ALL DE-WATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL CALL THE TOWN OF NEWBURGH SEWER DEPARTMENT AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
- CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
- THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH TOWN CODE, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.

GENERAL UTILITY NOTES

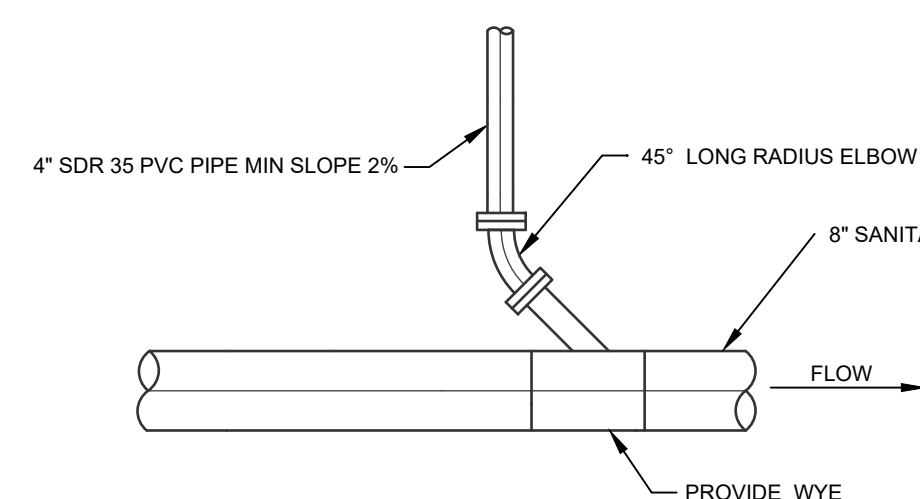
- THE LOCATION AND SIZE OF EXISTING DRAINAGE FACILITIES ARE FROM SURVEYS, FIELD RECONNAISSANCE OR PLANS OF RECORD. ALL FACILITIES WHICH ARE TO REMAIN OR BE MODIFIED FOR REUSE SHALL BE FIELD VERIFIED AS TO ACTUAL LOCATION, ELEVATIONS, SIZE, TYPE AND CONDITION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S FIELD REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL REFER TO THE BUILDING MECHANICAL AND PLUMBING PLANS FOR THE EXACT LOCATIONS AND INVERTS OF ALL BUILDING SERVICE CONNECTIONS.
- ALL UTILITY STRUCTURE CASTINGS SHALL BE ADJUST AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED GRADE.
- CONTRACTOR TO CALL UPPO AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR COMPLETE UTILITIES MARKOUT.
- CONTRACTOR TO CONTACT TOWN OF NEWBURGH WATER DEPARTMENT AT (845) 564-7813 AT LEAST 2 DAYS PRIOR TO CONSTRUCTION.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER & WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTION AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER & WATER DEPARTMENT.



- NOTES:
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 - REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
 - ALL MANHOLES WITHIN PAVEMENT AREAS SHALL BE DESIGNED TO WITHSTAND H-20 LOADING.

SEWER MANHOLE

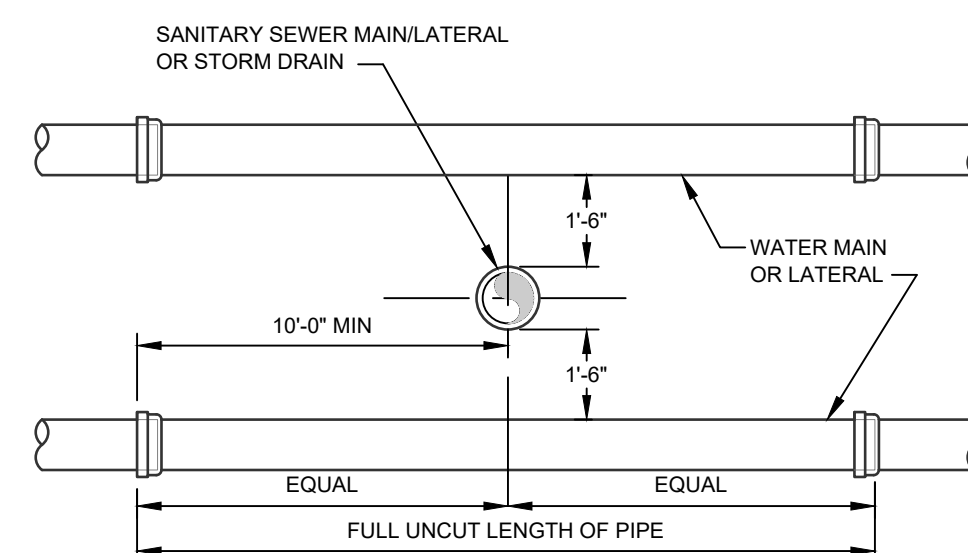
SCALE: NTS



- NOTES:
- A SEWER CLEANOUT IS REQUIRED EVERY 75' OR LESS ALONG THE SERVICE.

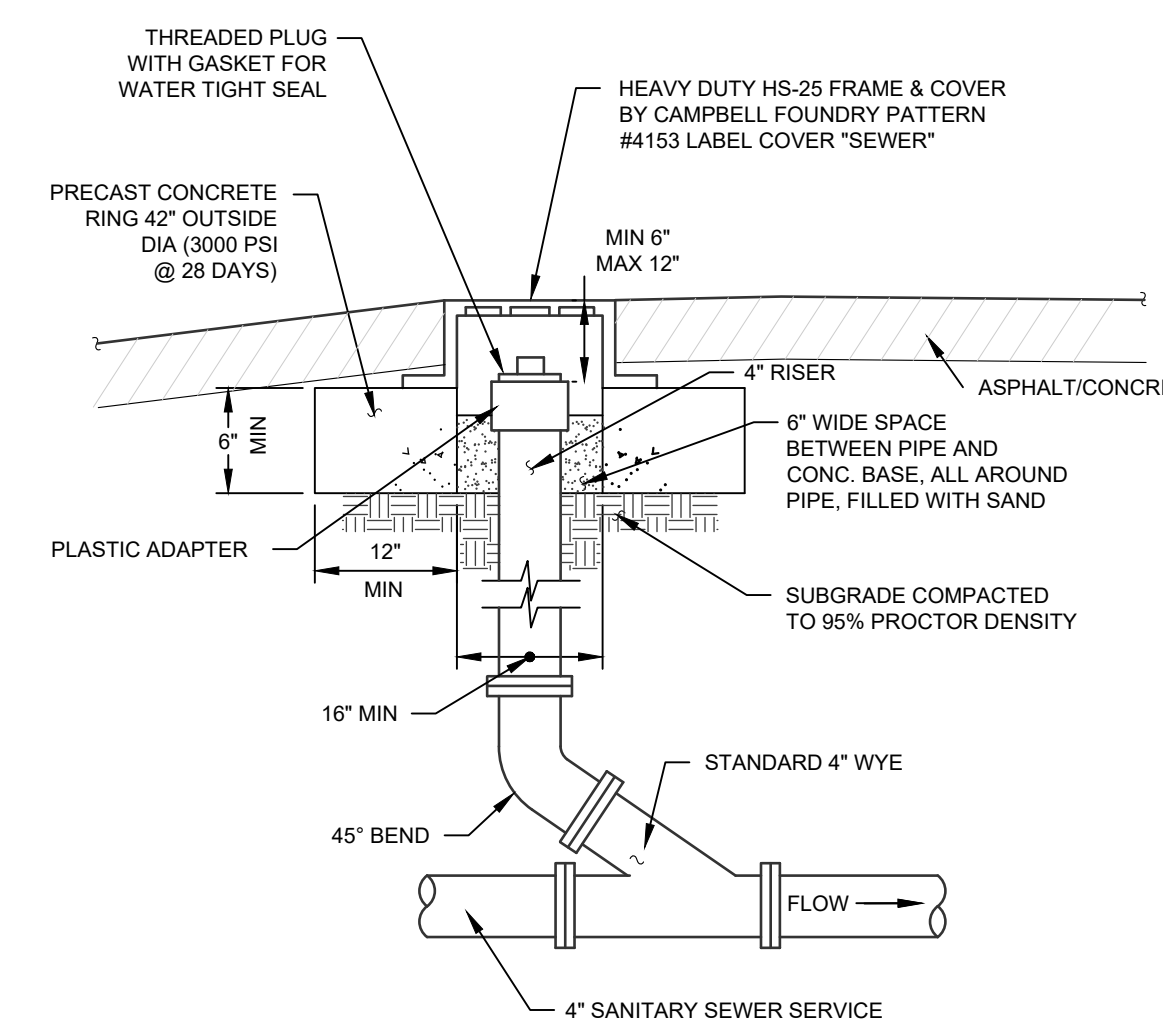
SEWER SERVICE CONNECTION

SCALE: NTS



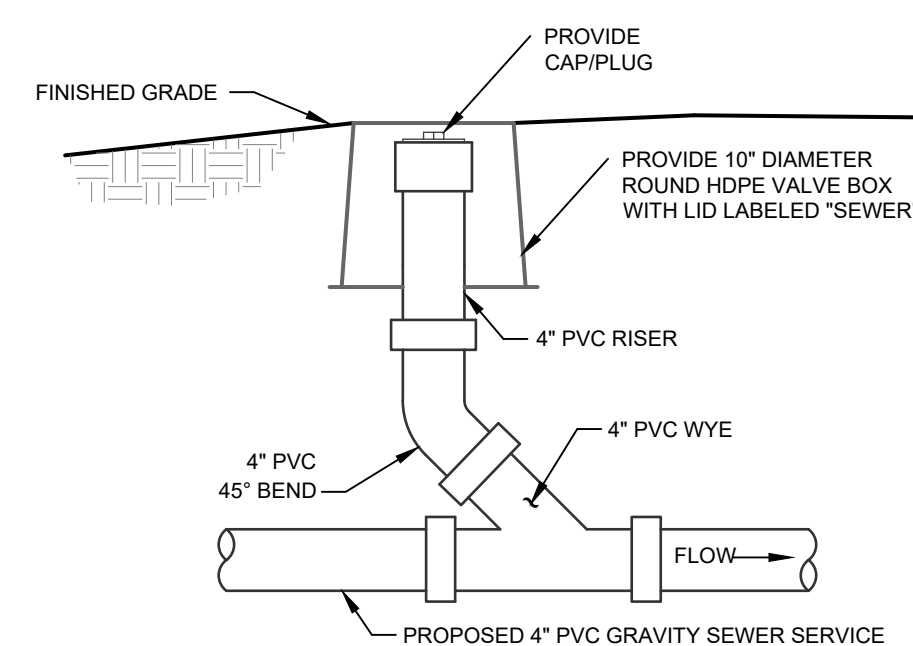
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SCALE: NTS



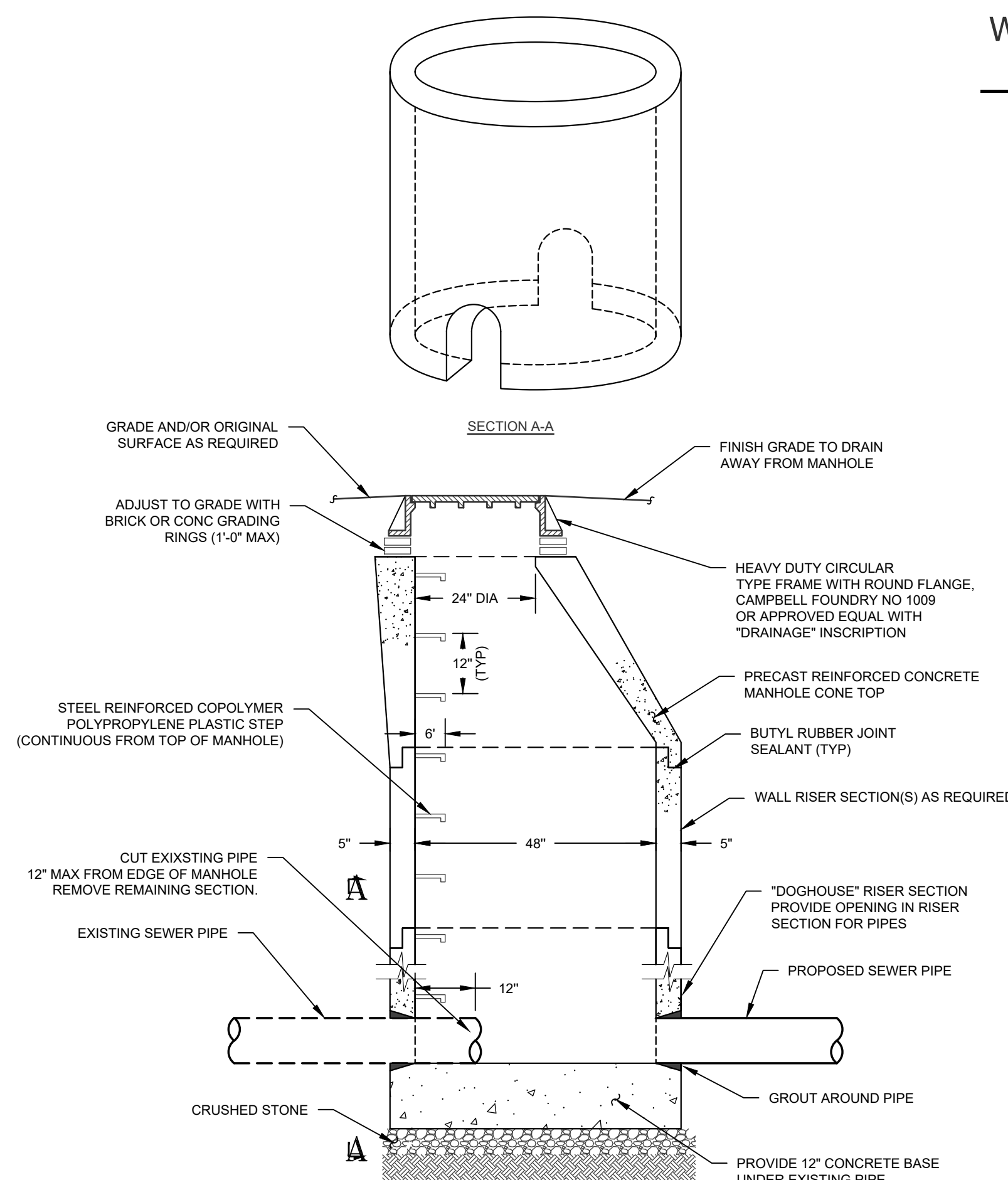
TYPICAL CLEANOUT IN PAVED AREA

SCALE: NTS



TYPICAL CLEANOUT

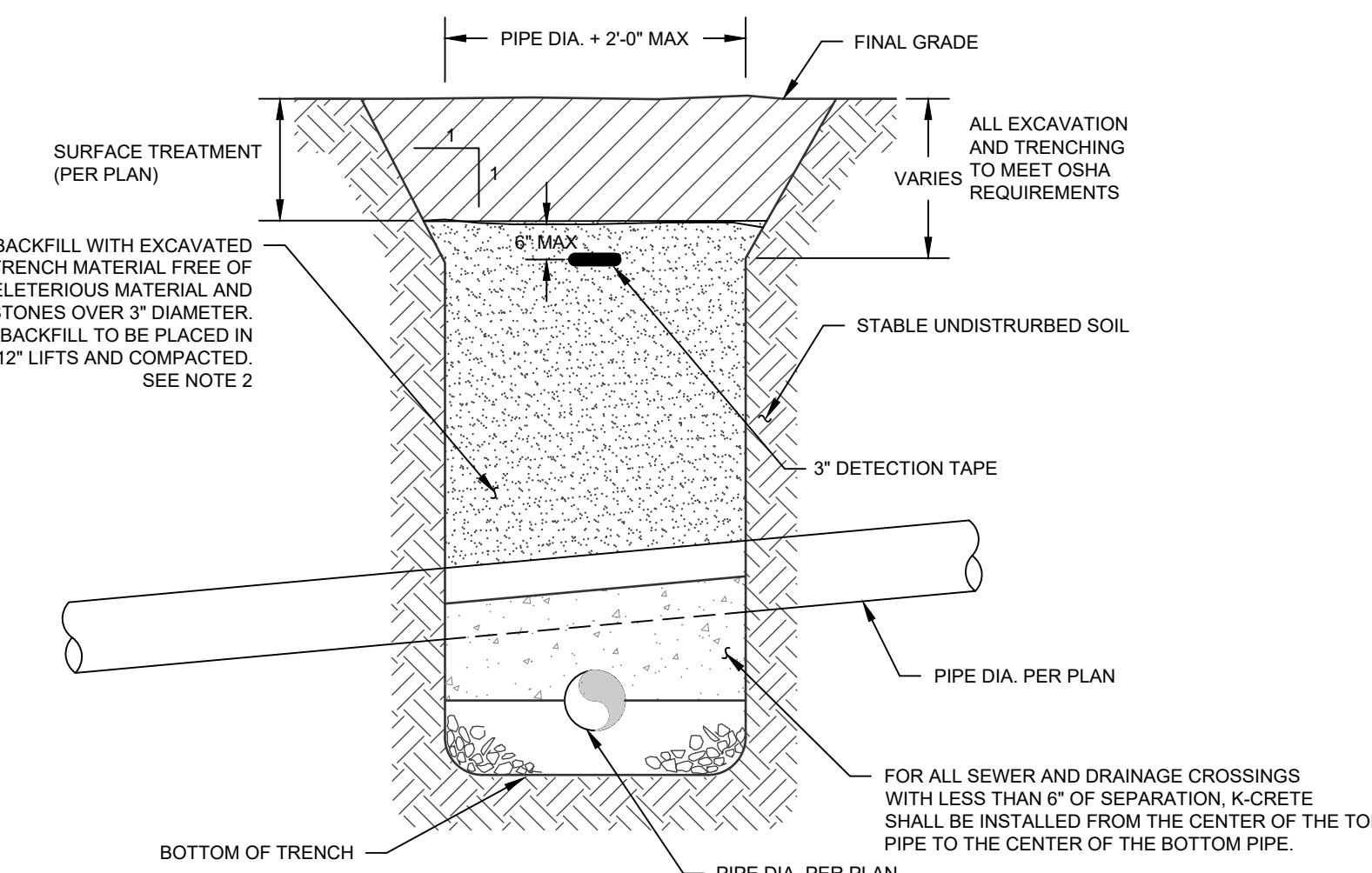
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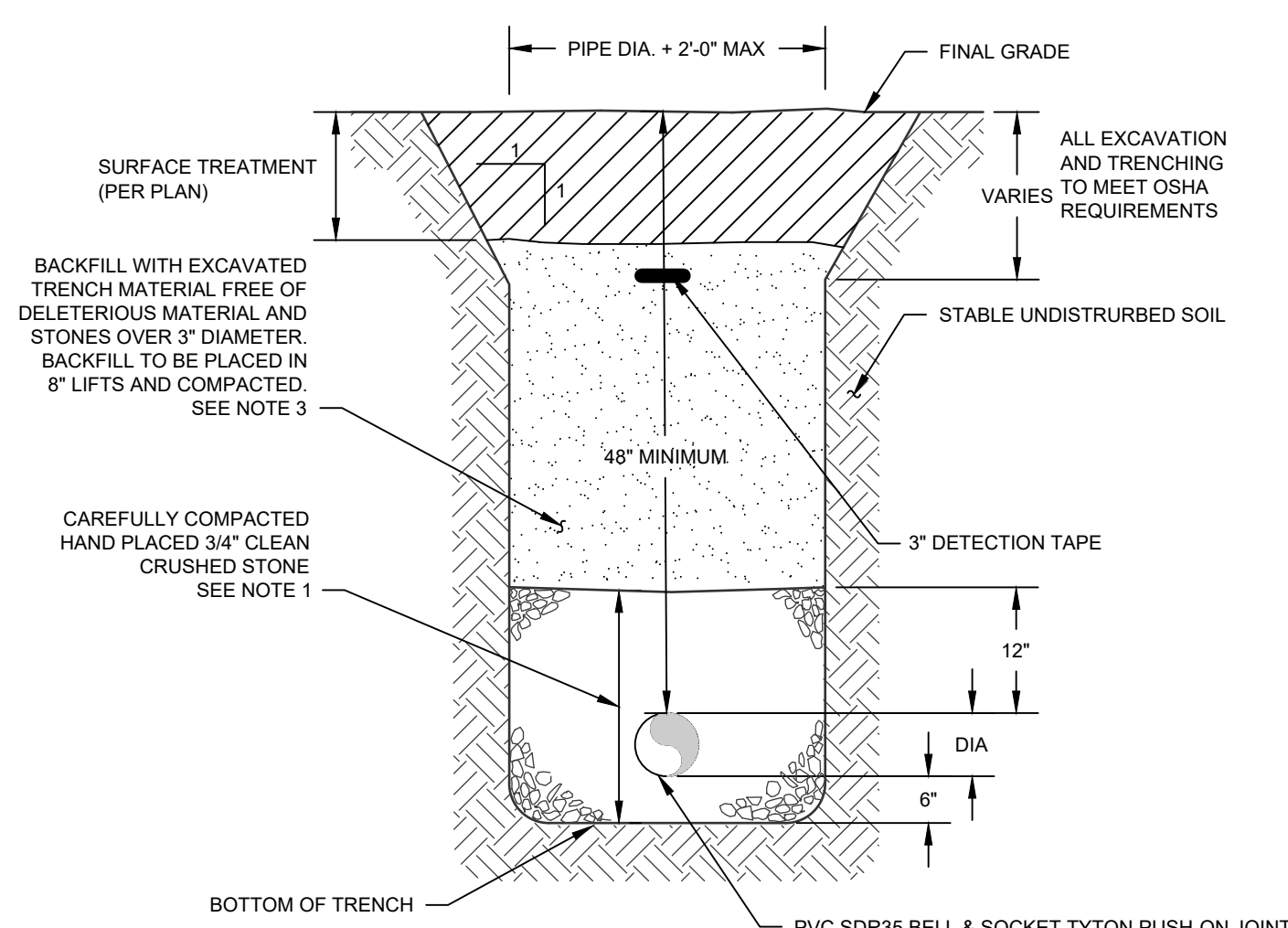
- NOTES:
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 - REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
 - CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
 - MANHOLE CONSTRUCTION TO BE CAPABLE OF WITHSTANDING H-20 LOADINGS.
 - PRECAST CONCRETE MANHOLE COMPONENTS BY FORT MILLER OR EQUAL.
 - FOR INSTALLATION: FIRST EXCAVATE AROUND EXISTING SEWER PIPE, THEN POUR THE BASE FOR THE DOGHOUSE MANHOLE. SET THE MANHOLE WALLS OVER THE POURED BASE, GROUT ALL SEAMS THEN CUT THE EXISTING PIPE INSIDE OF THE DOGHOUSE MANHOLE.

DOGHOUSE MANHOLE

SCALE: N.T.S.



SEWER & DRAINAGE CROSSING WITH LESS THAN 6\"/>



- NOTES:
- ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - ALL SEWER MAINS SHALL BE 8\"/>

SEWER PIPE TRENCH

SCALE: NTS

No.	DATE	DESCRIPTION
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DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		02/03/22	
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<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
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<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF	N/A

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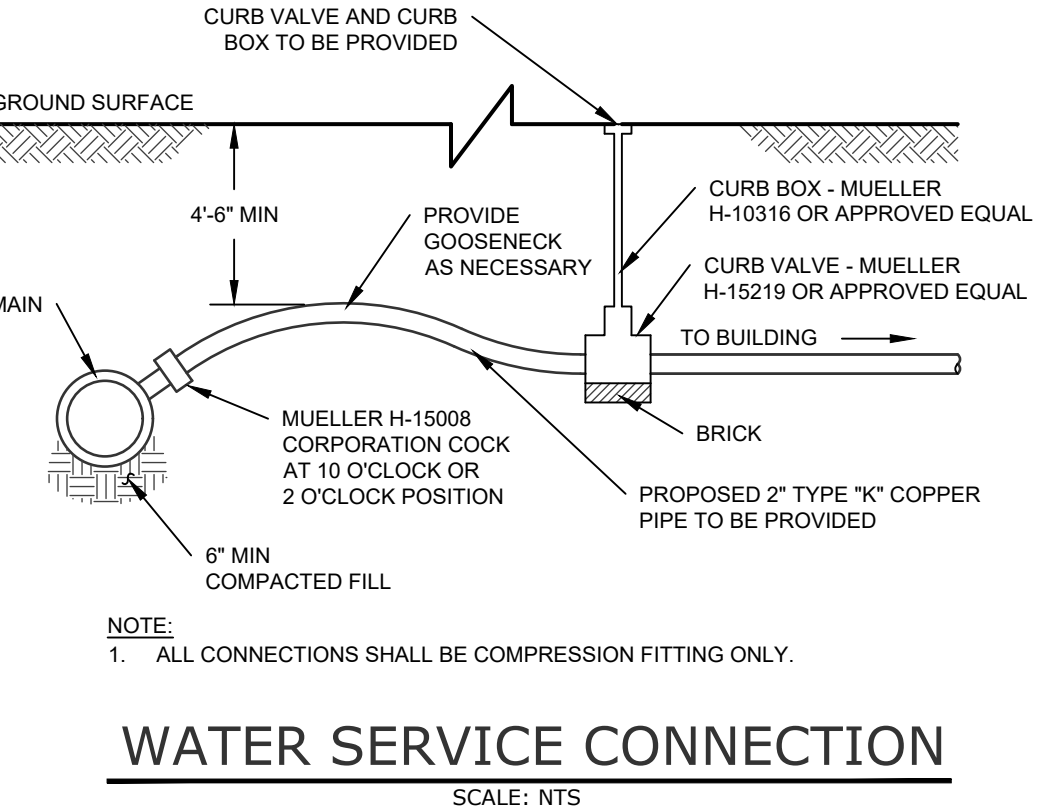
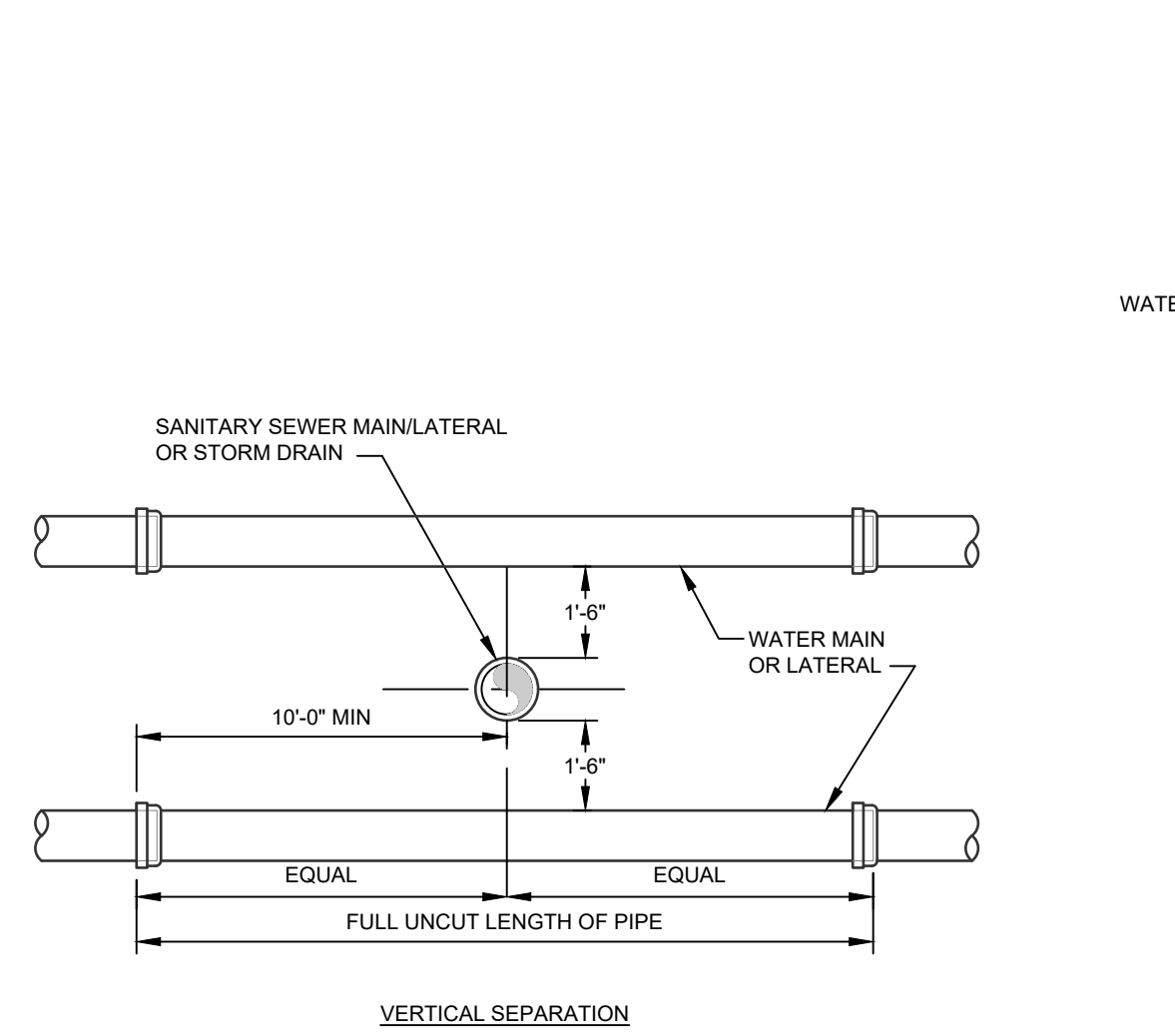
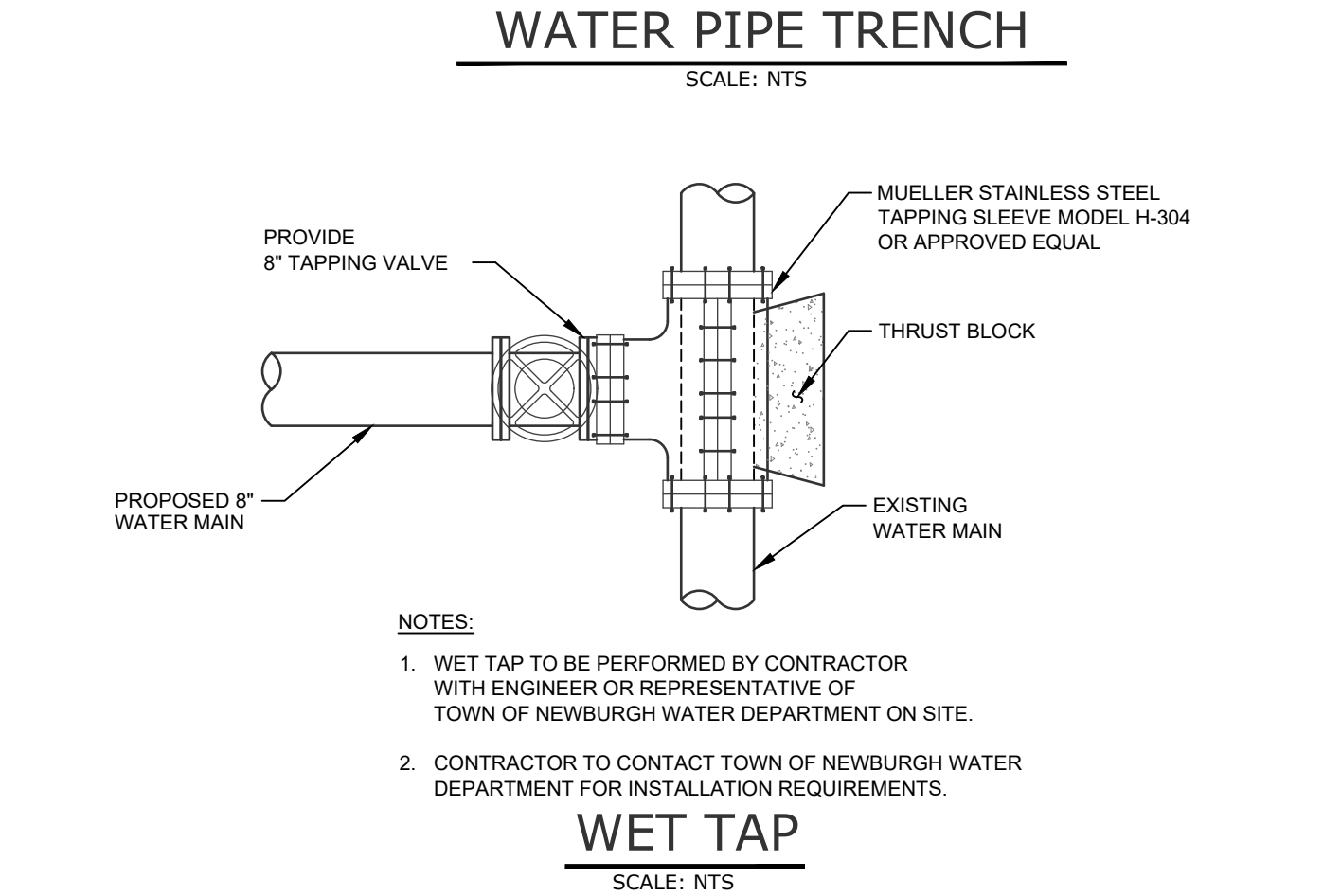
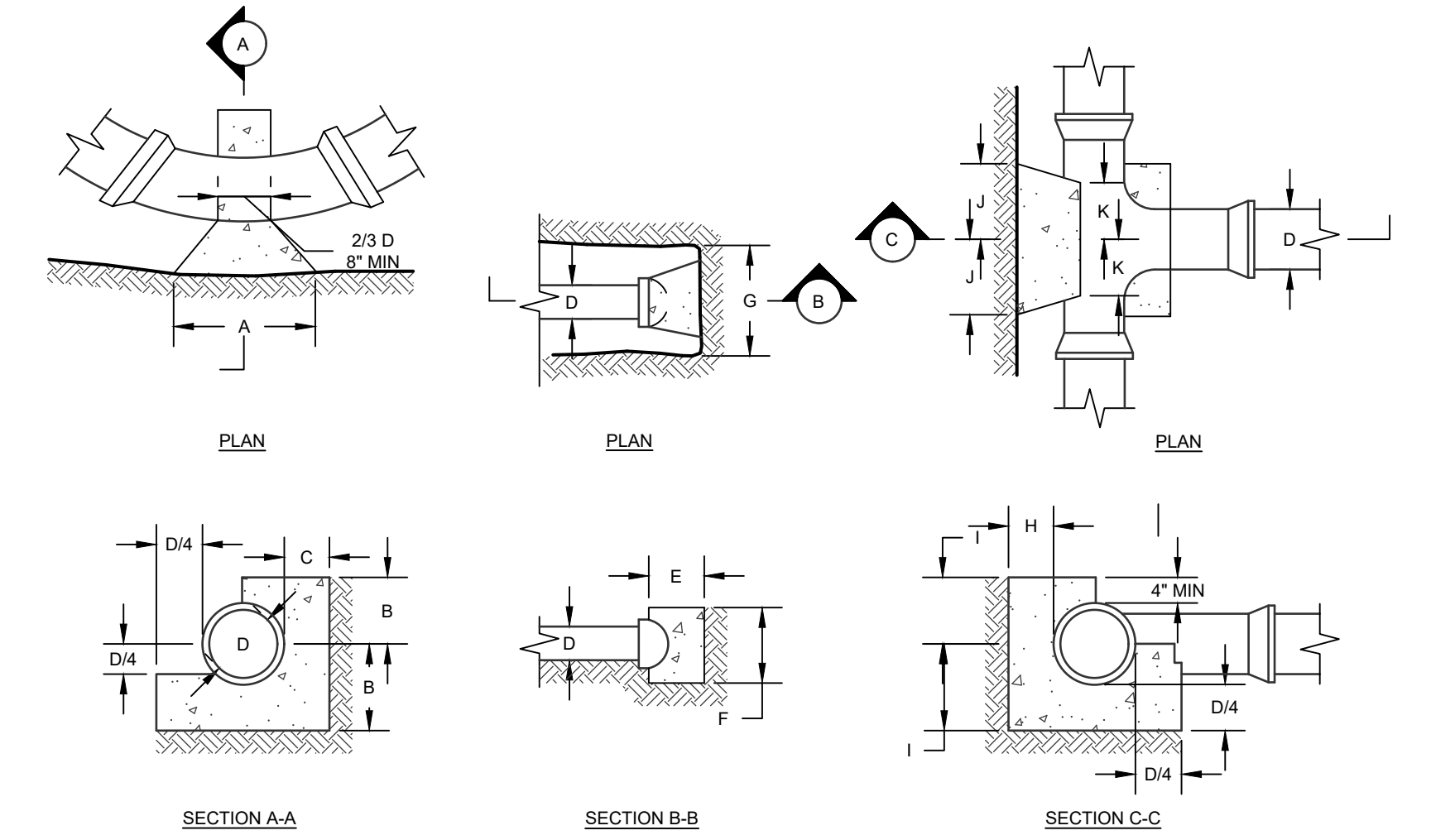
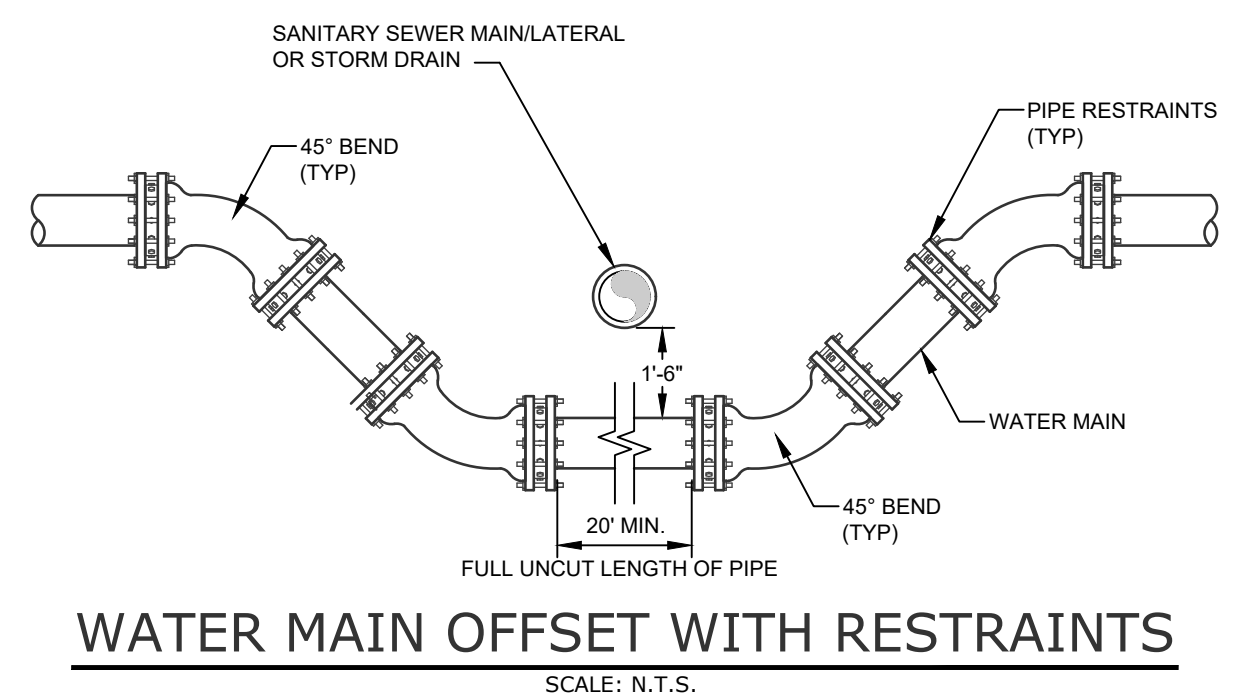
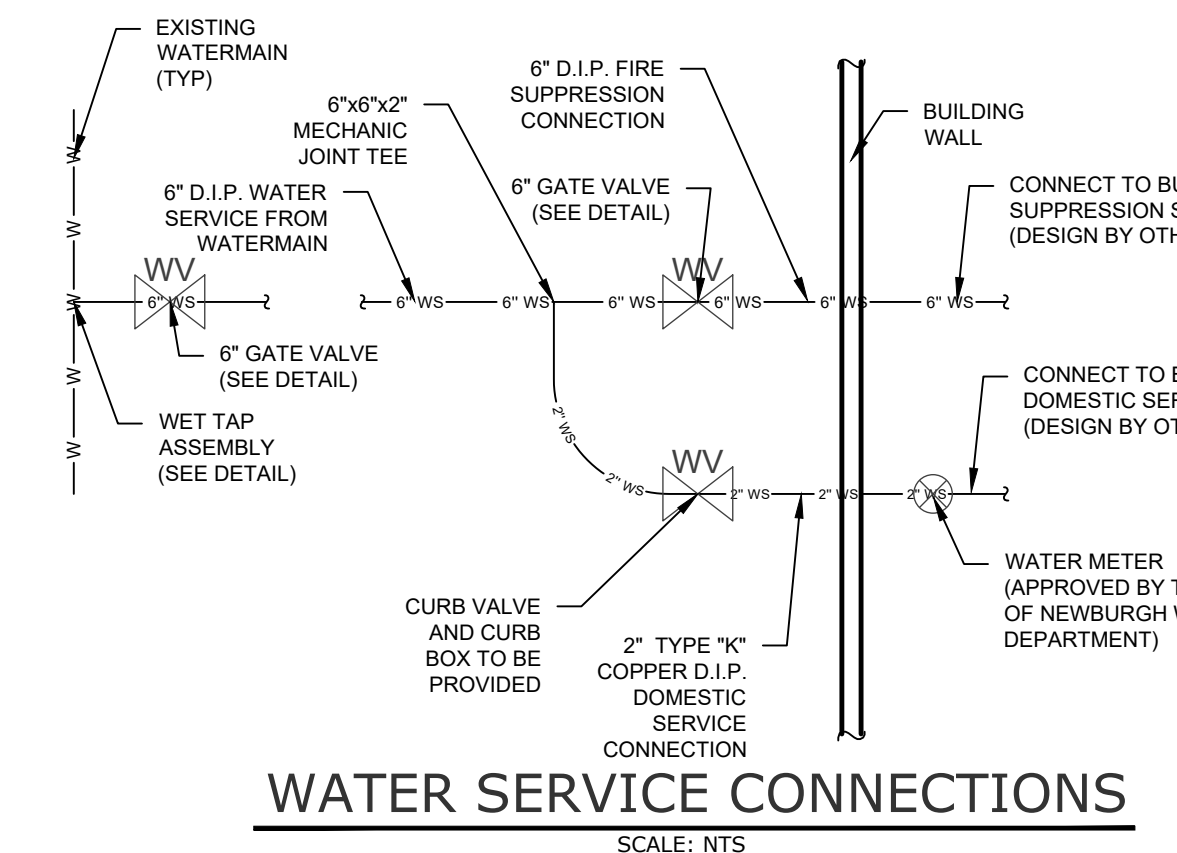
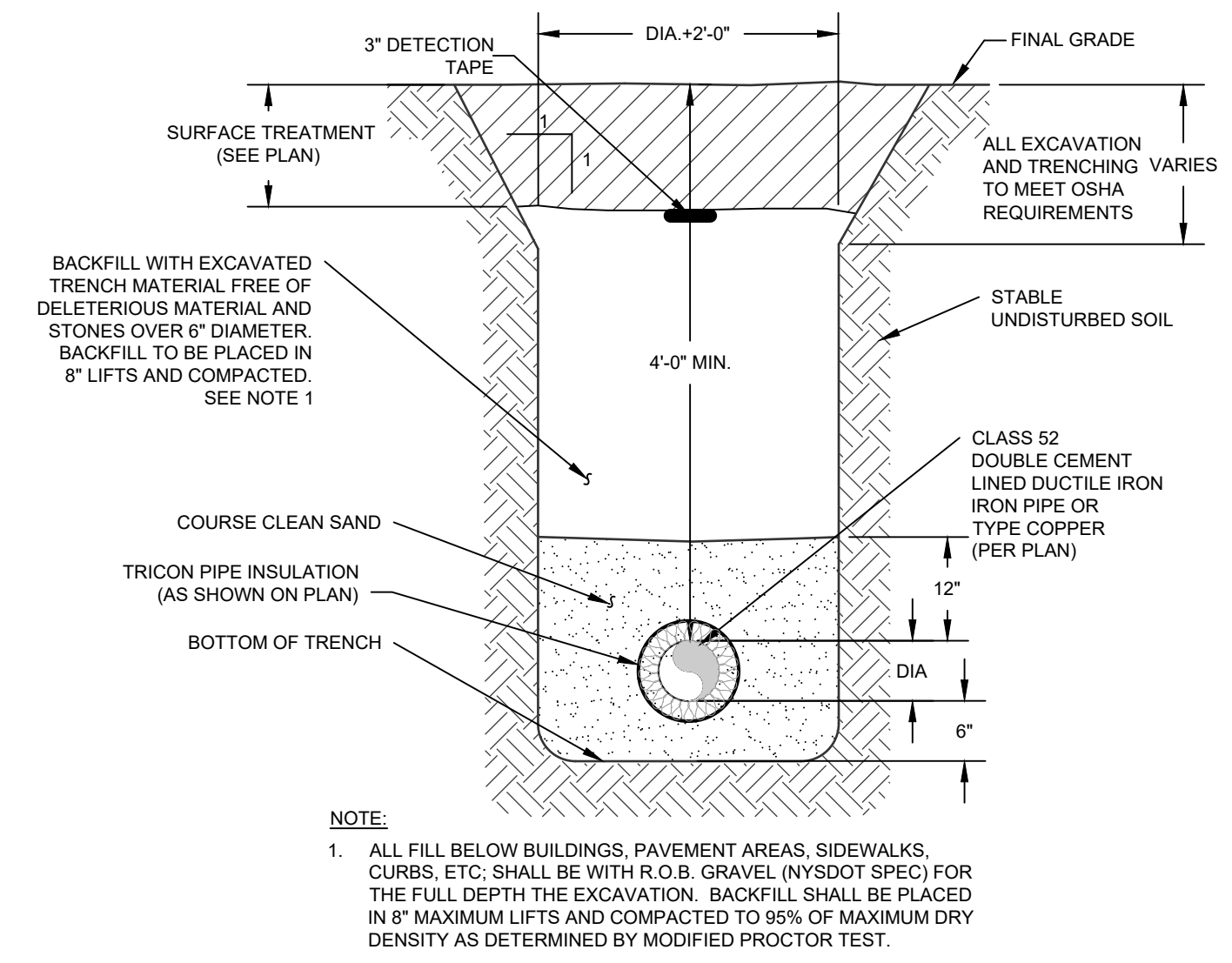
DETAILS

MONARCH WOODS SENIOR COMMUNITY
MONARCH DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #: 1325.01
DATE: 09/17/19
REVISION: 3 - 02/03/22

DRAWN BY: MP
SCALE: AS NOTED
TAX LOT: 103-7-18 & 47-1-46

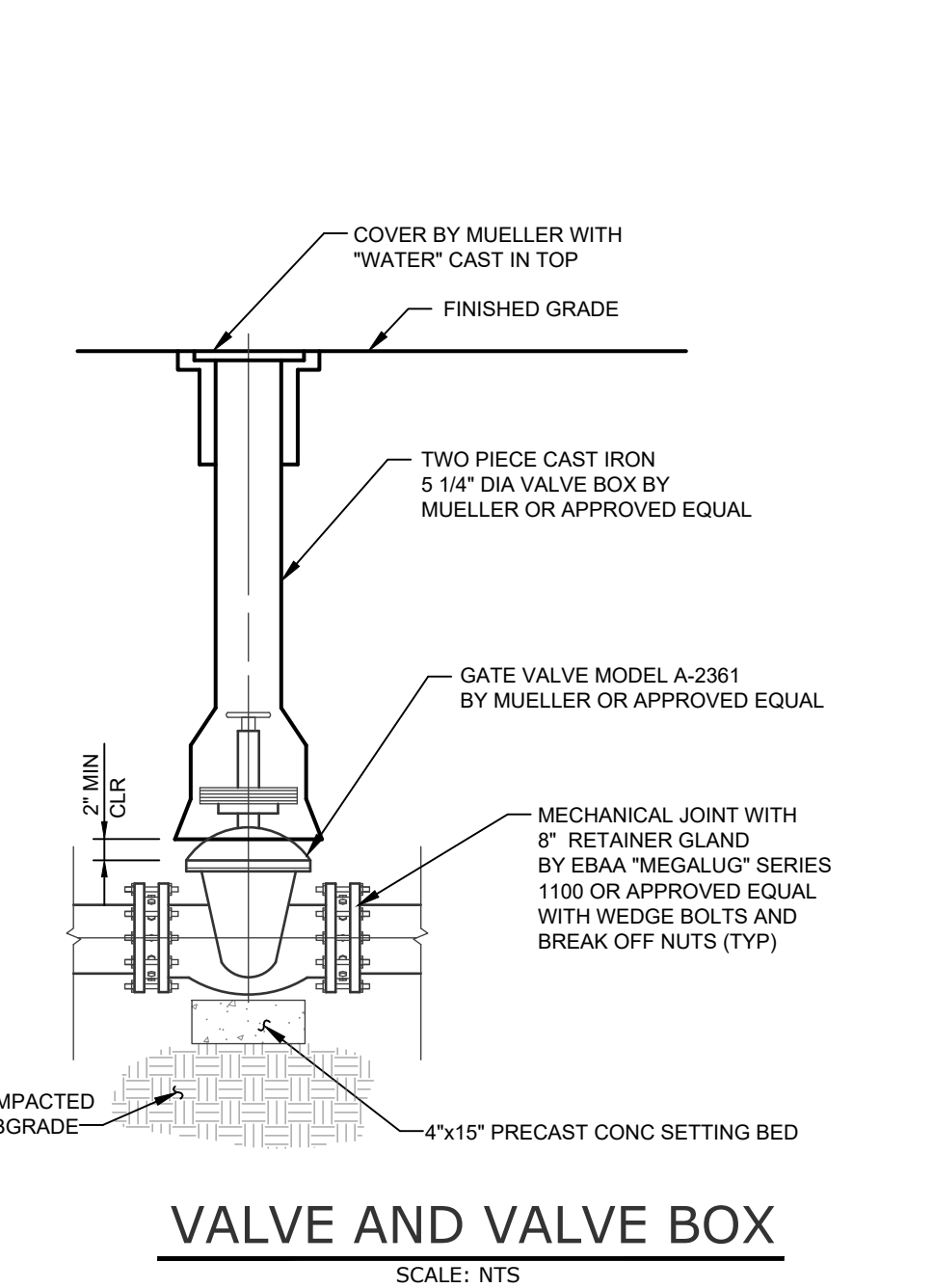
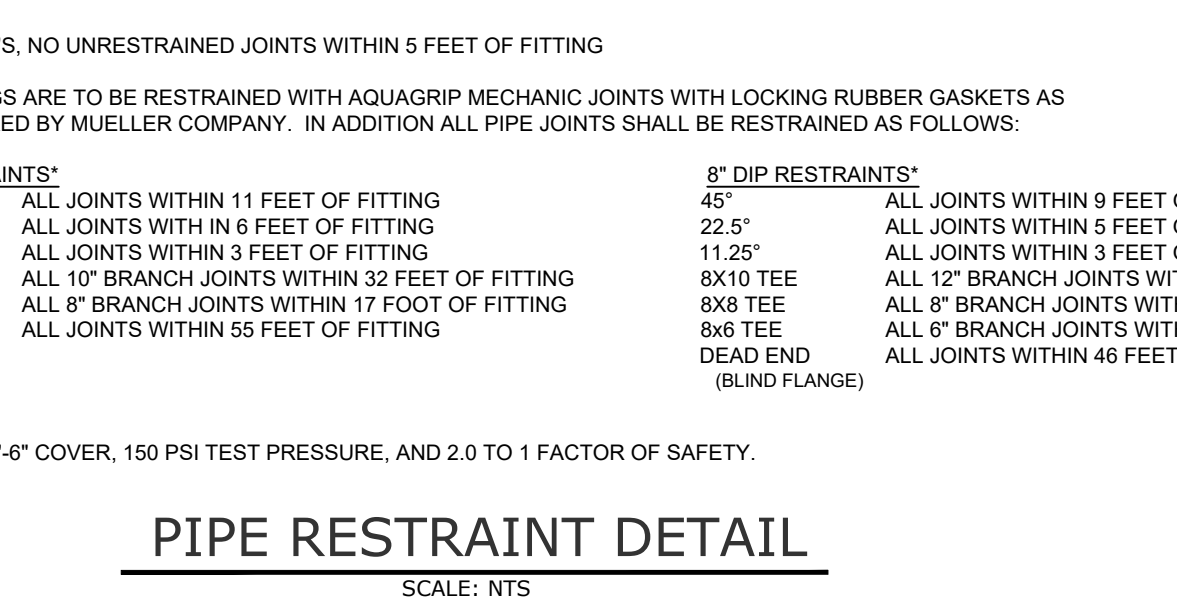
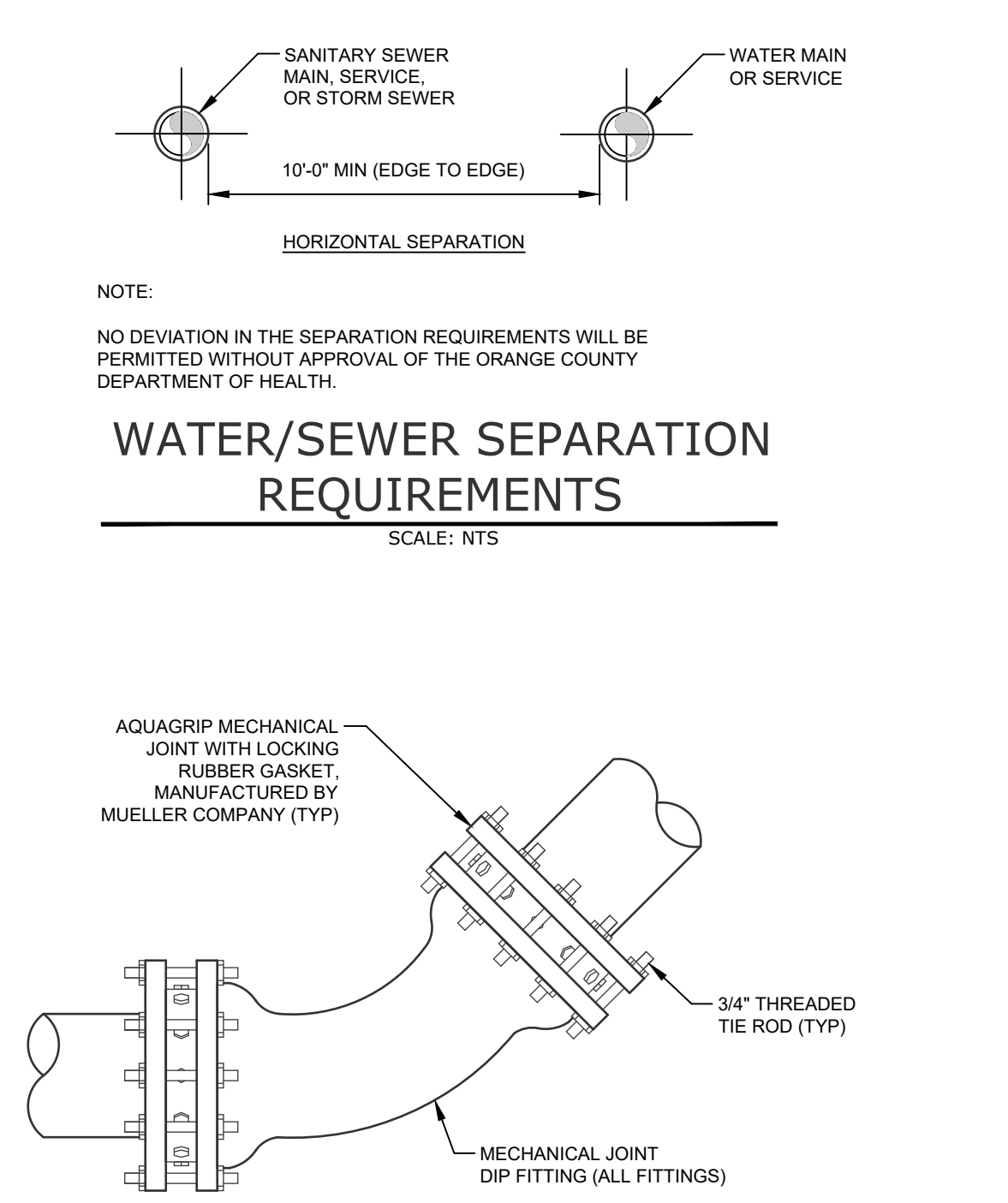
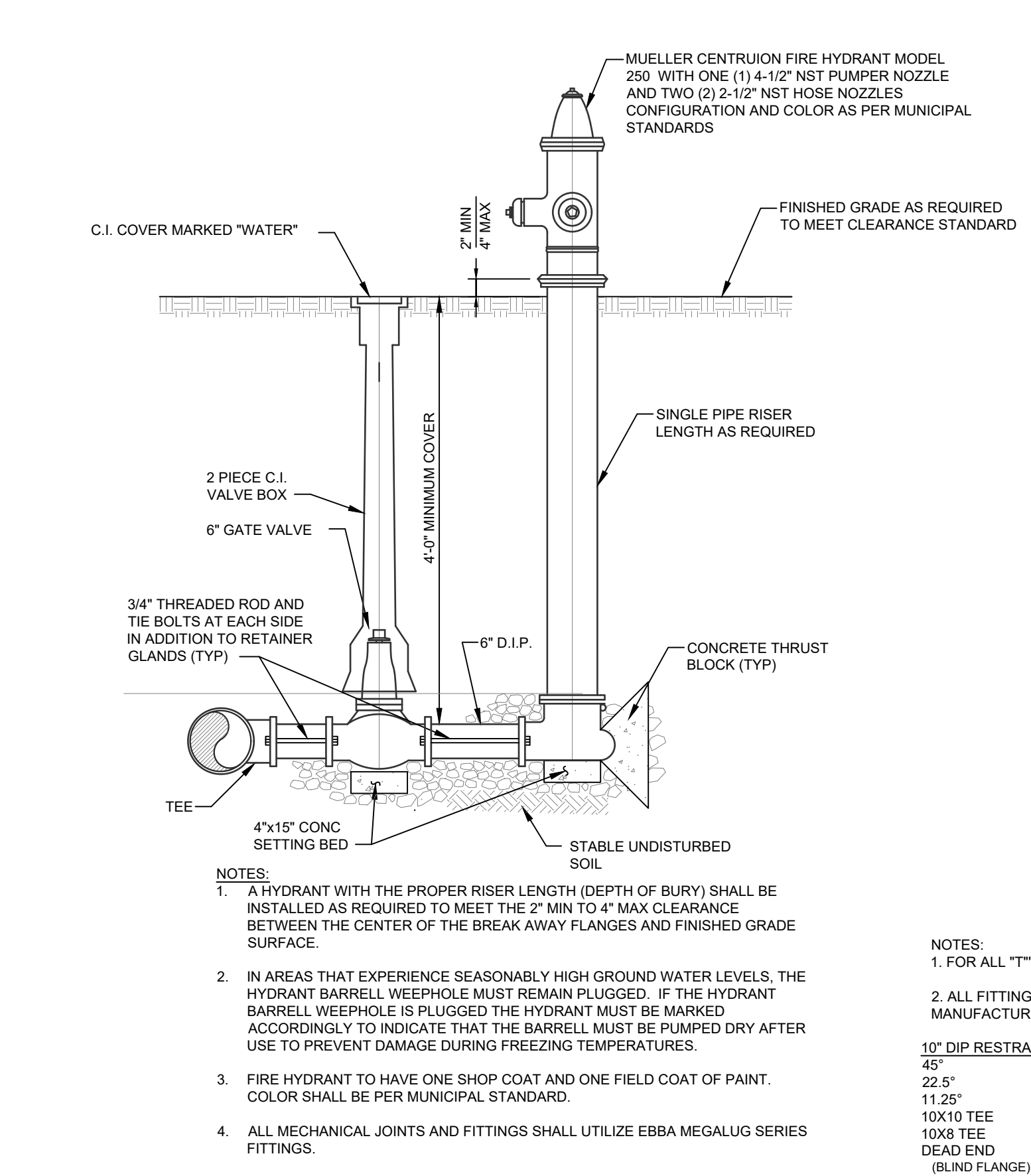
C-301



NOTES:

- ALL CONCRETE TO BE 3000 PSI.
- ALL THRUST BLOCKS TO BE CARRIED TO UNDISTURBED EARTH.
- THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM.

THRUST BLOCK
SCALE: NTS



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<input type="checkbox"/> FOR BID	N/A	OF	N/A
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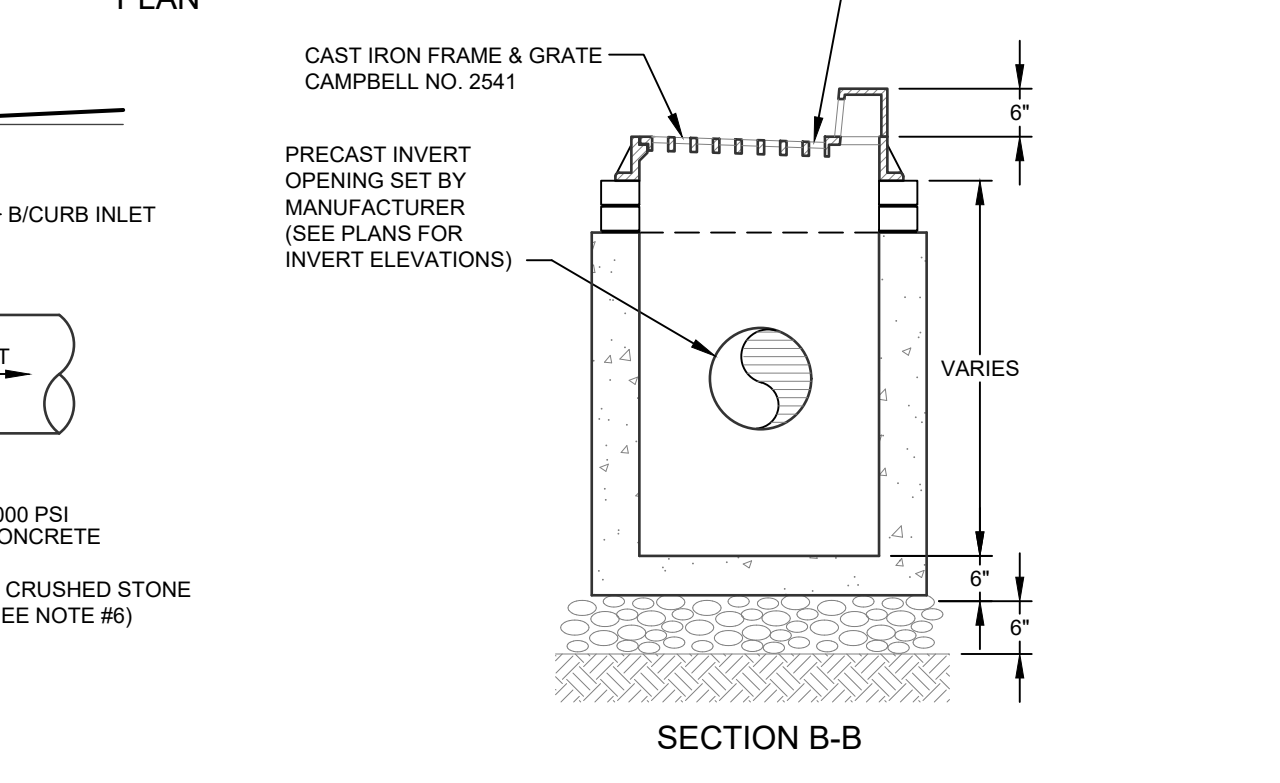
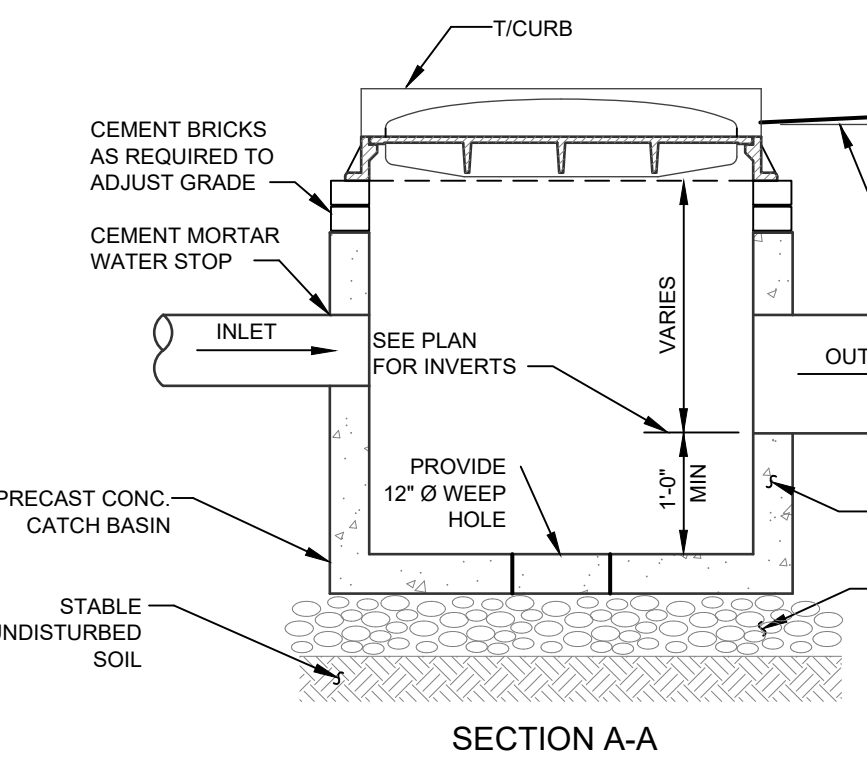
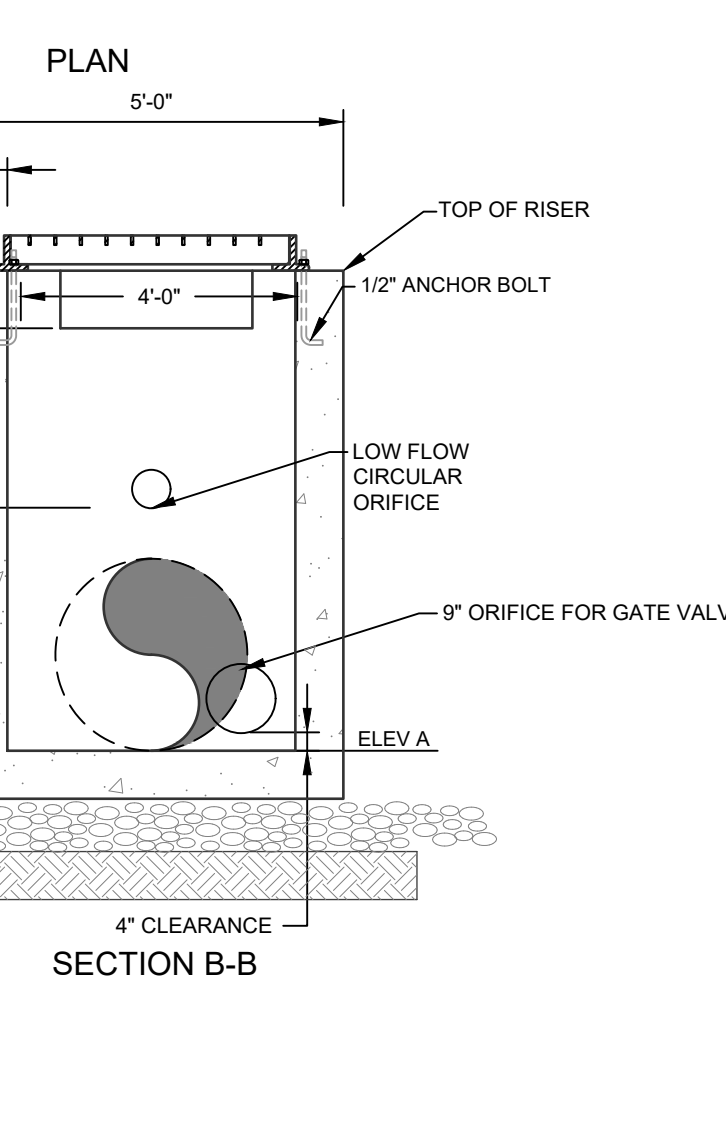
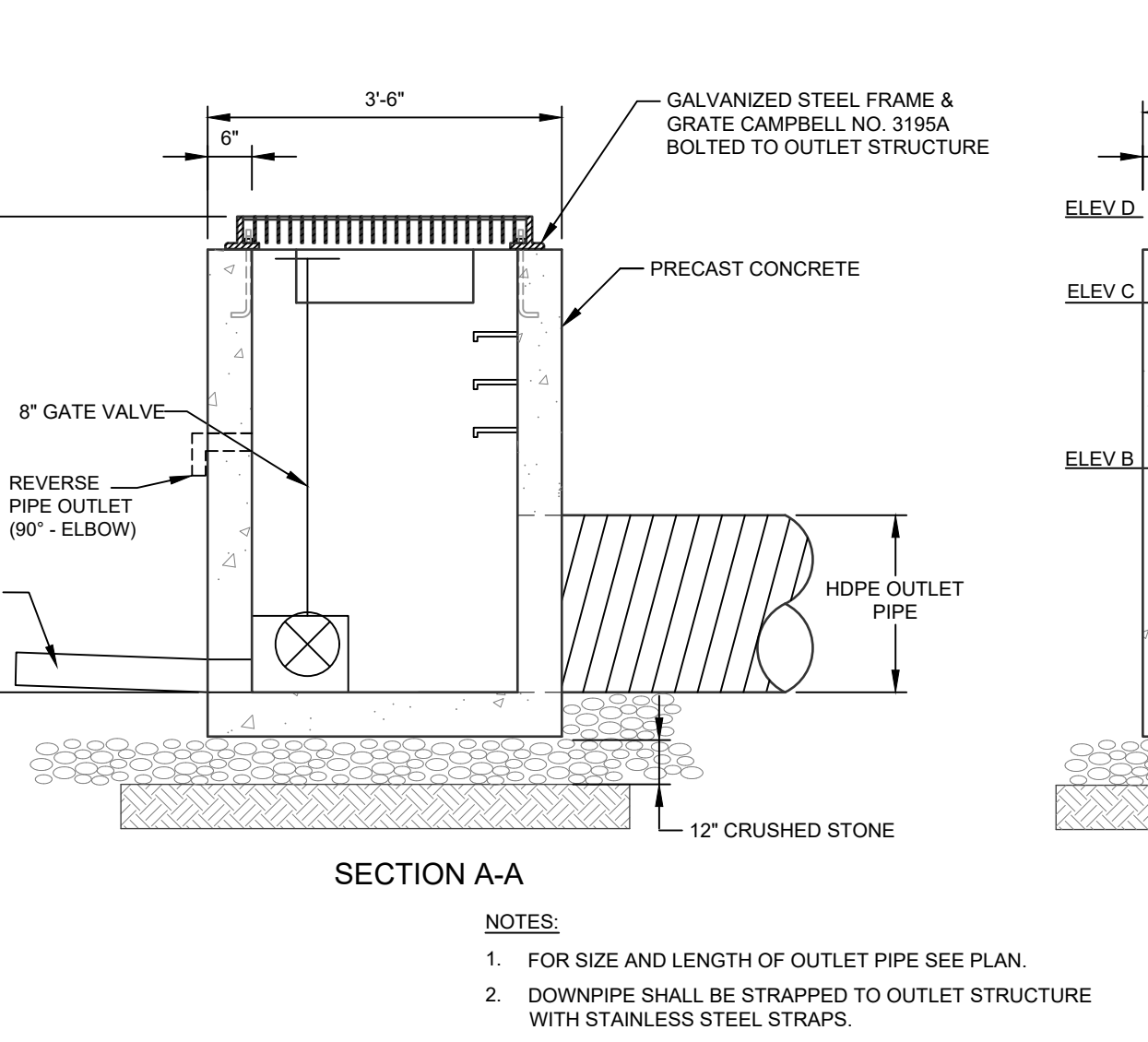
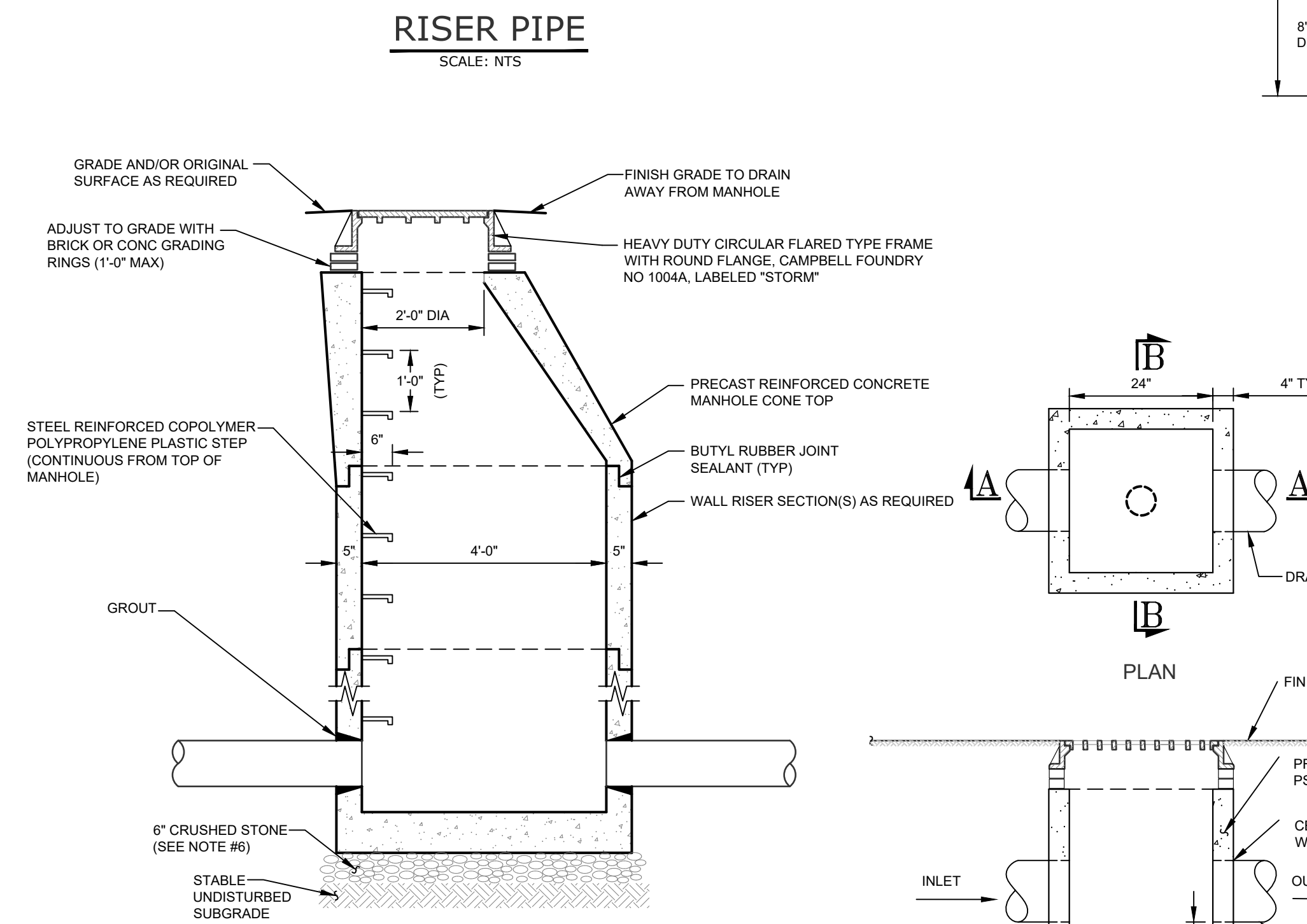
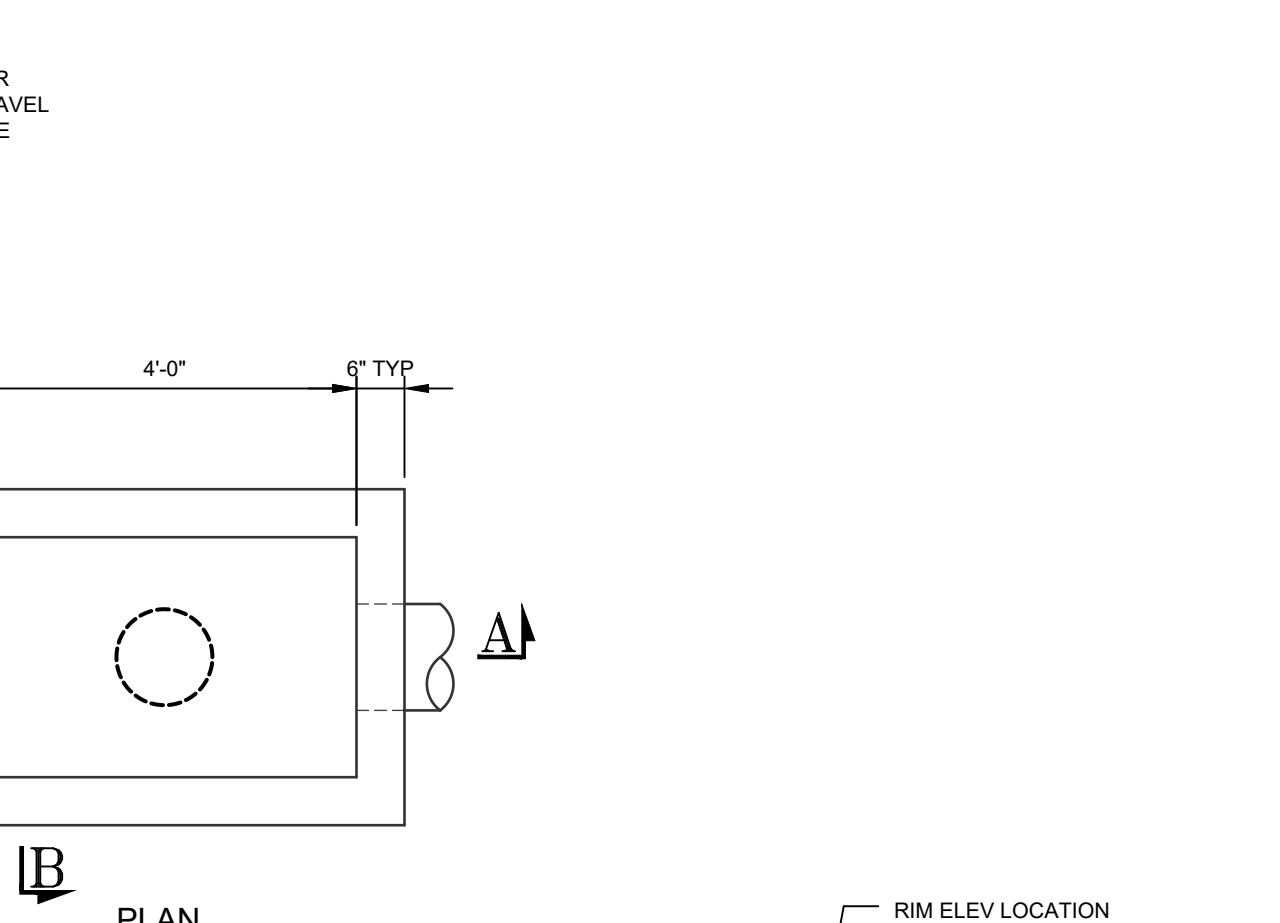
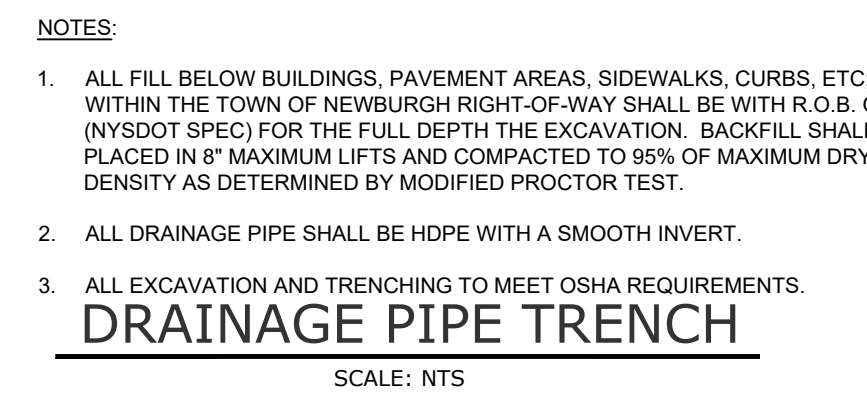
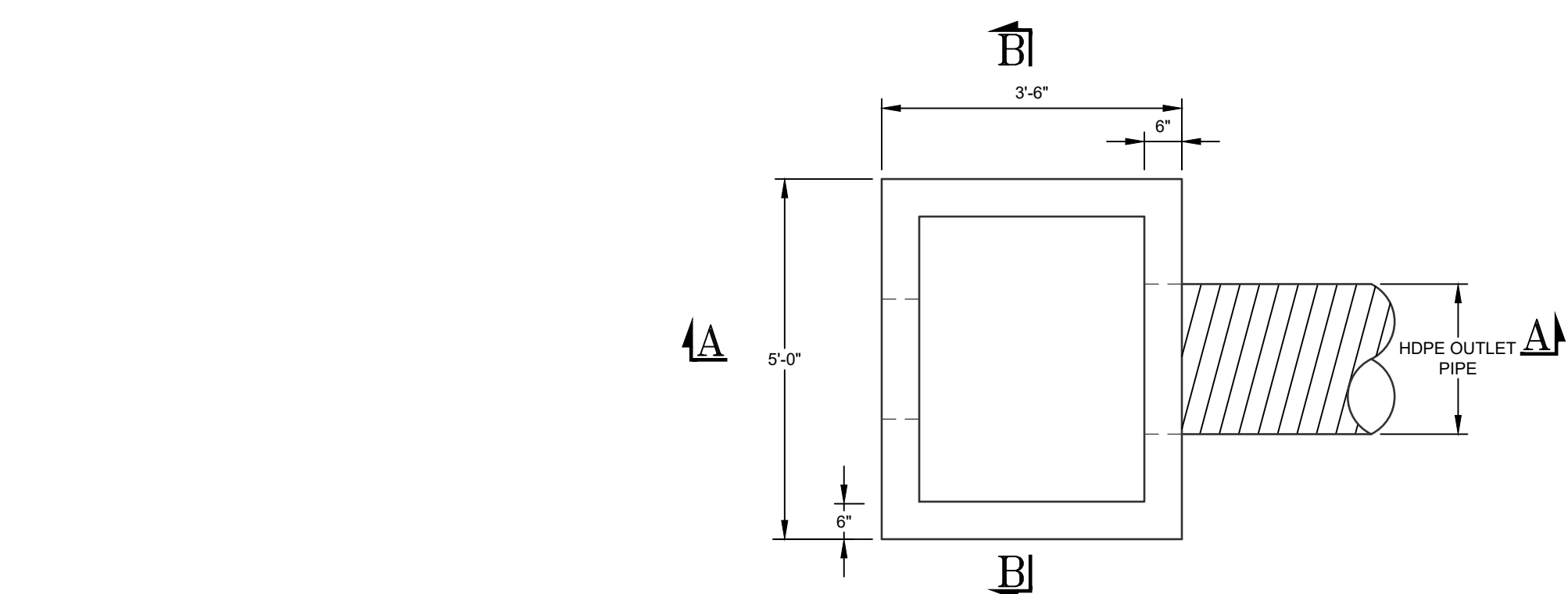
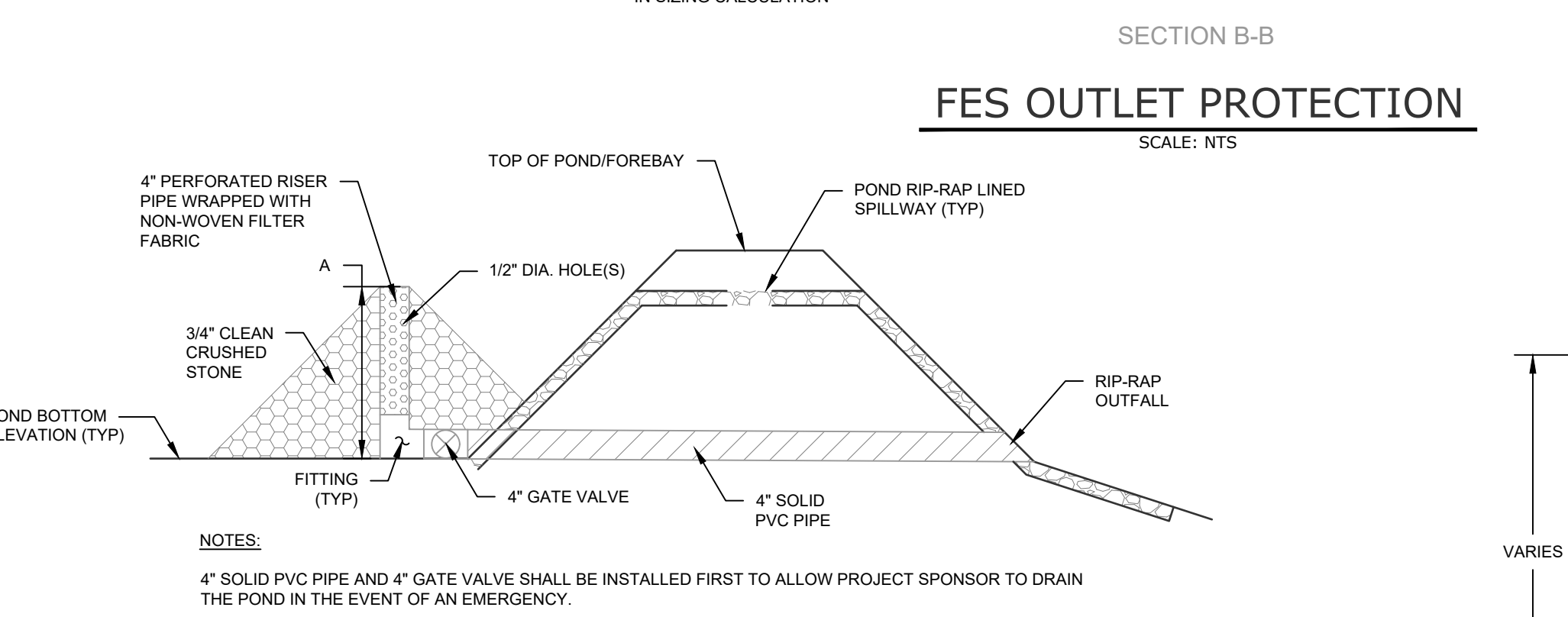
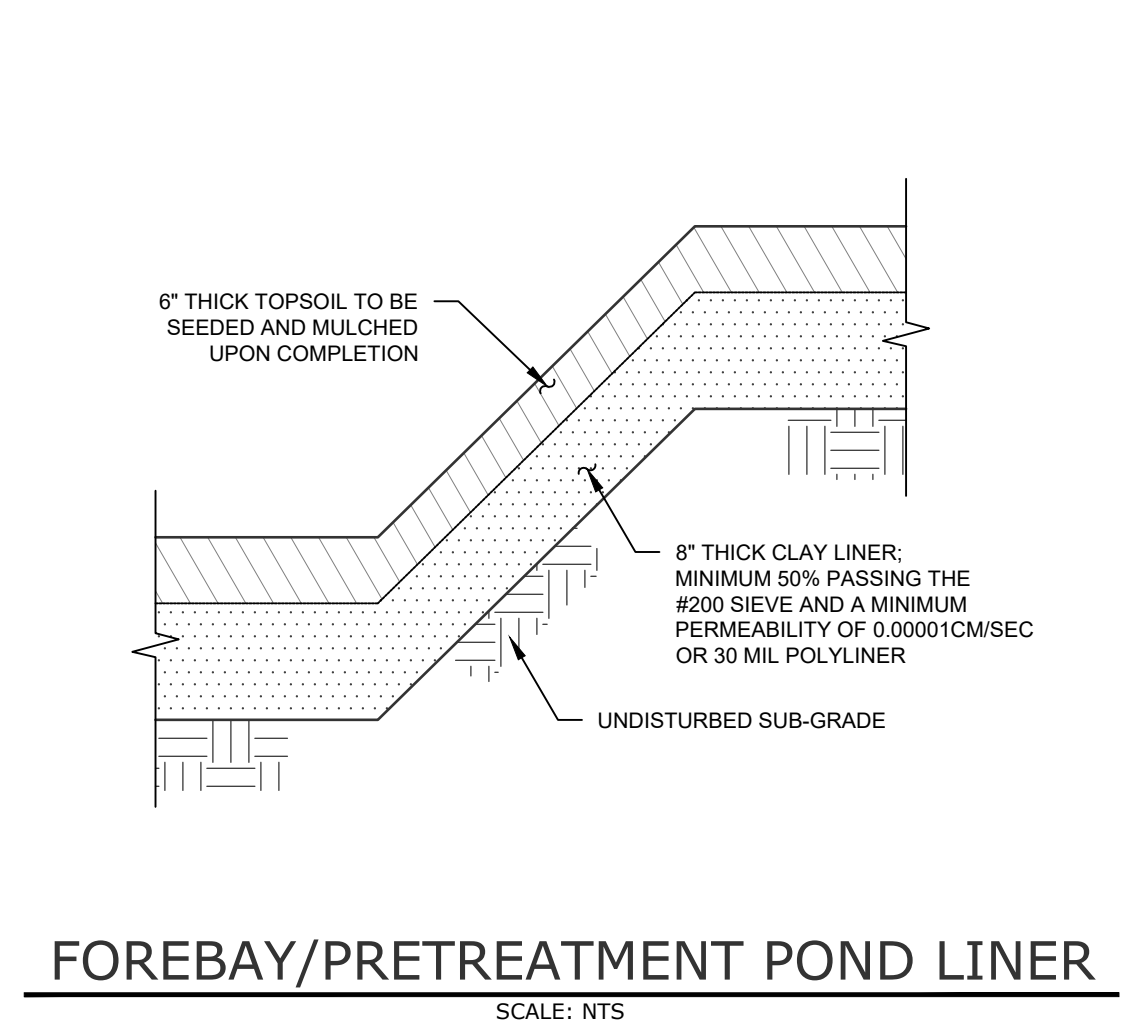
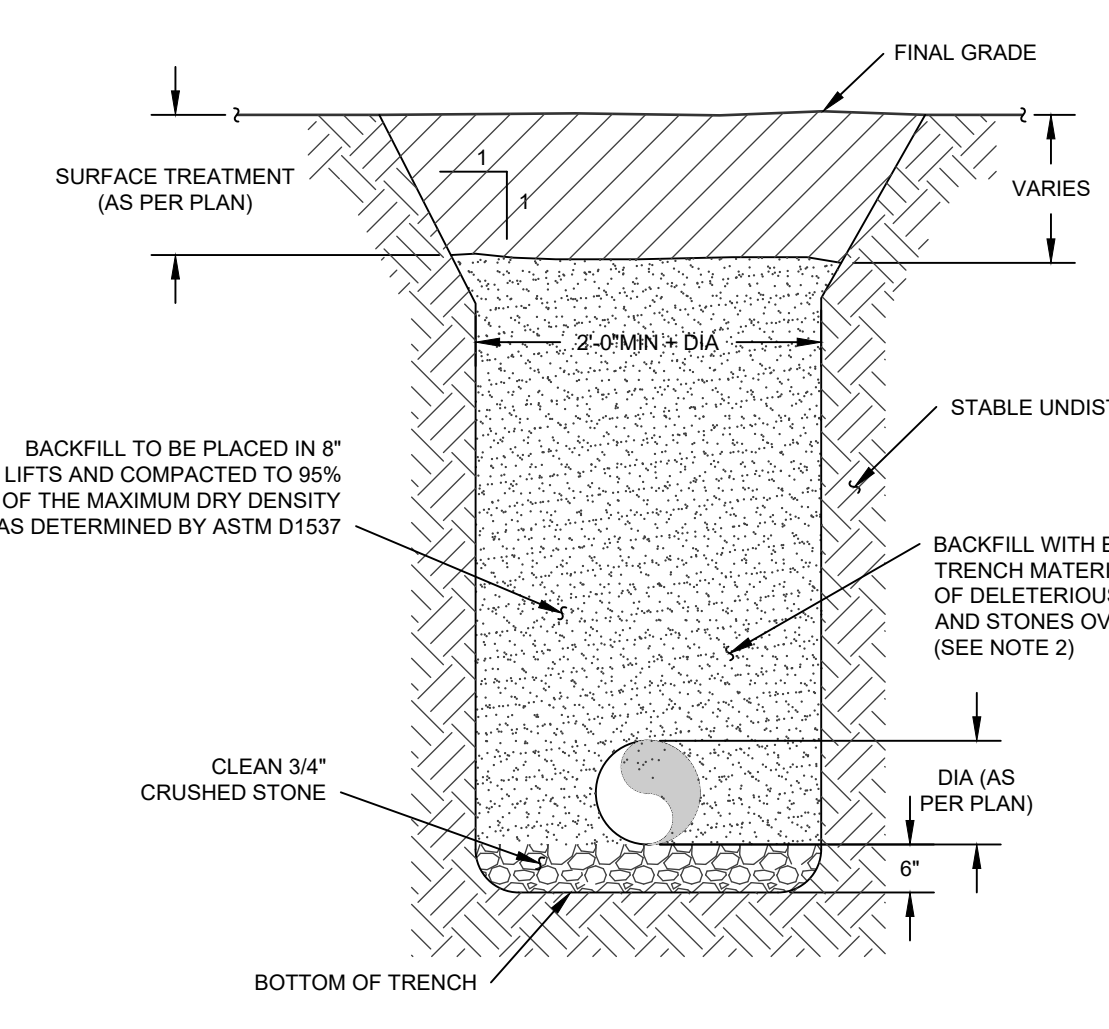
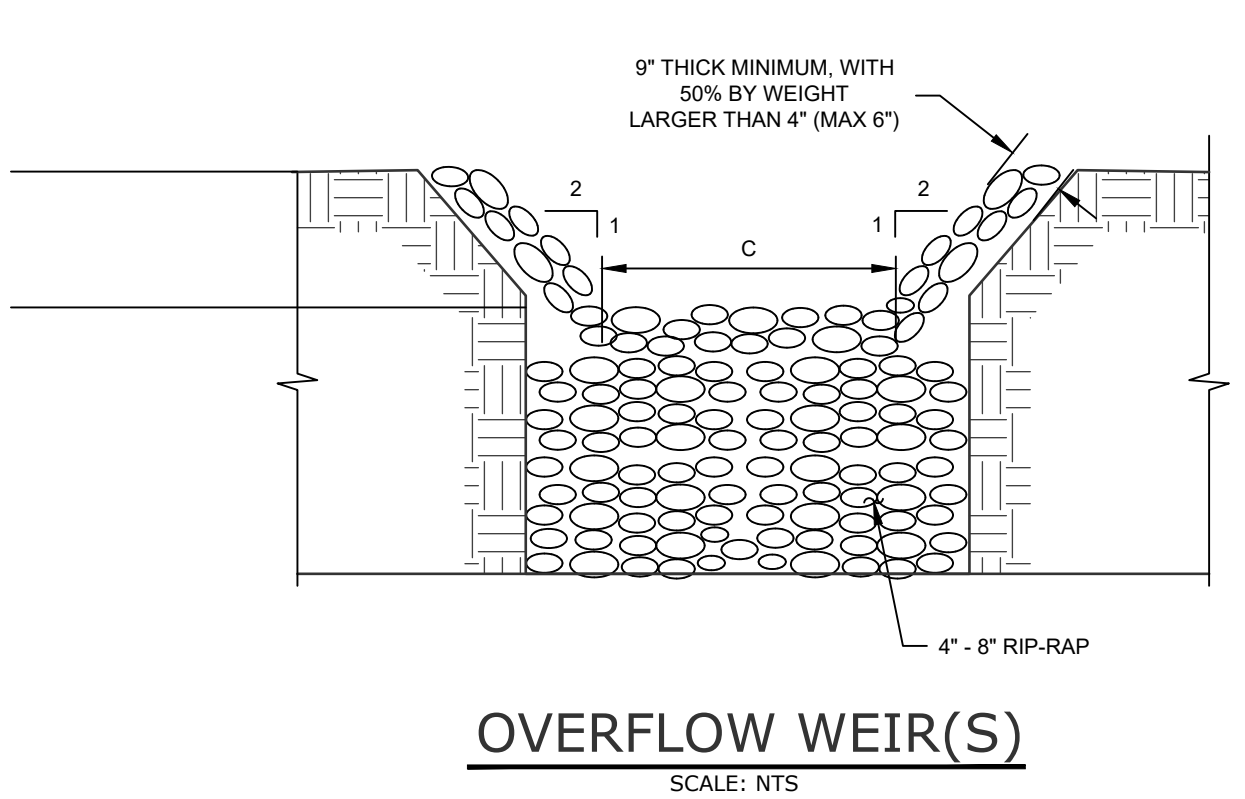
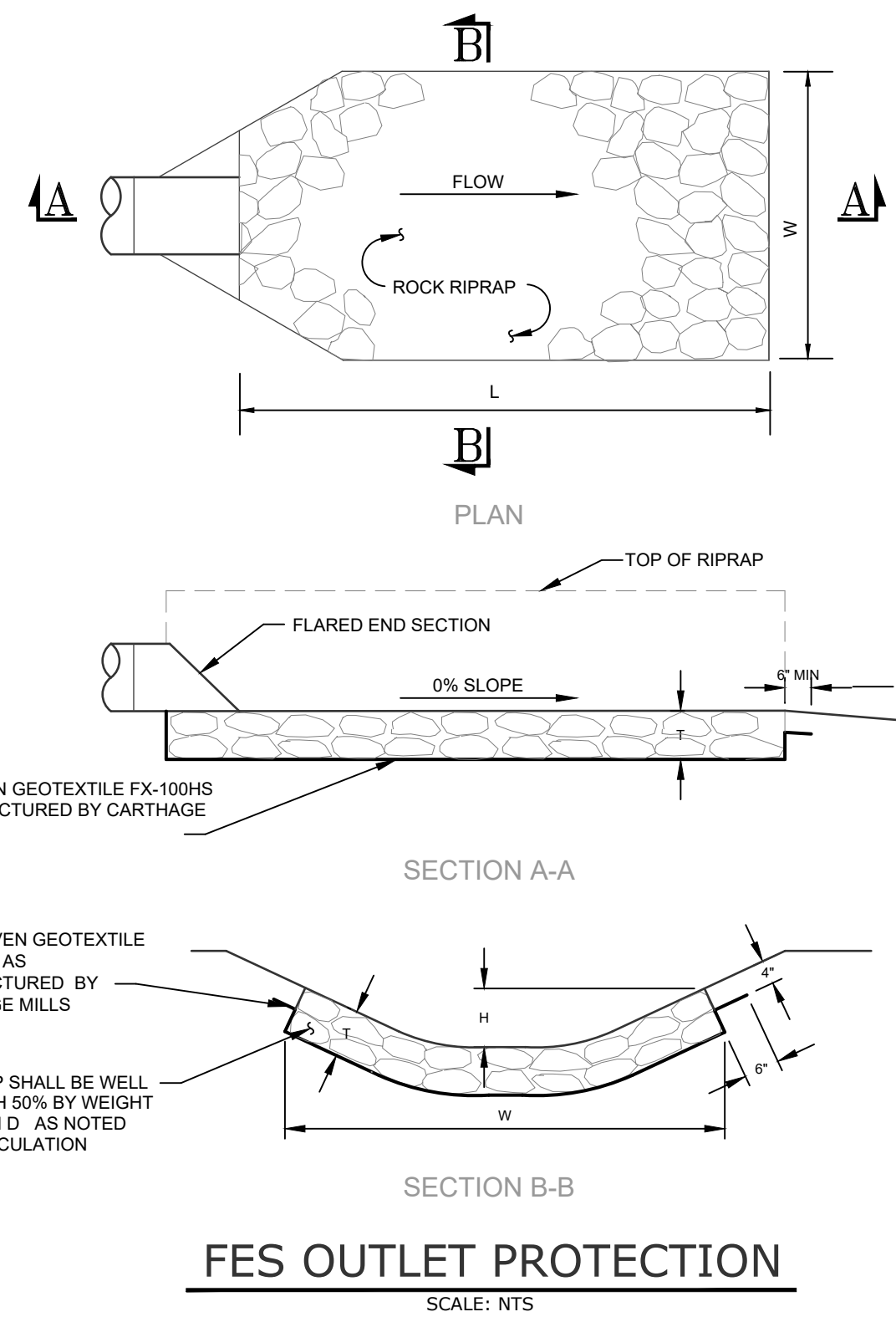
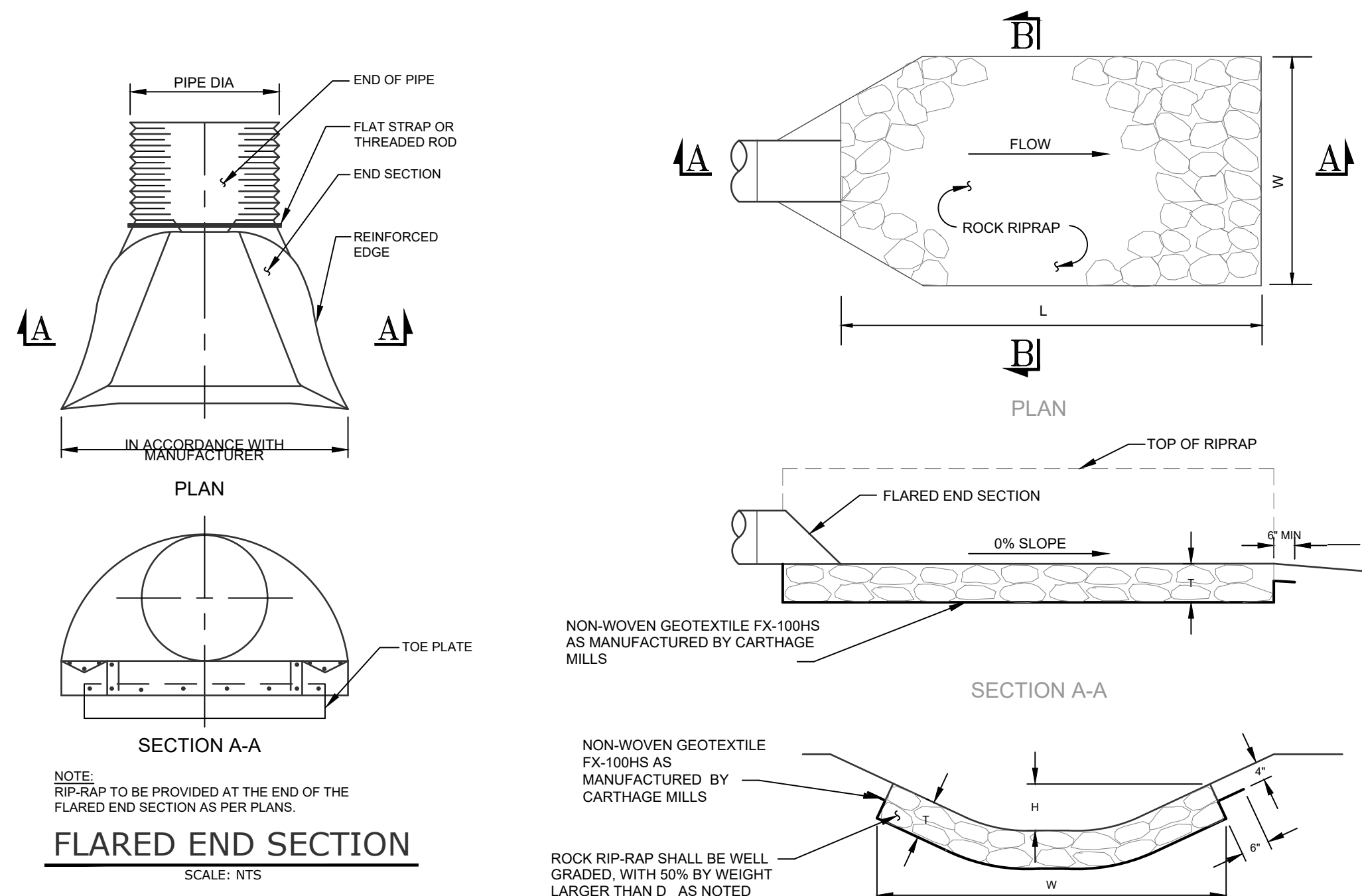
JOB #: 1325.01
DATE: 09/17/19
REVISION: 3 - 02/03/22

DRAWN BY: MP
SCALE: AS NOTED
TAX LOT: 103-7-18 & 47-1-46

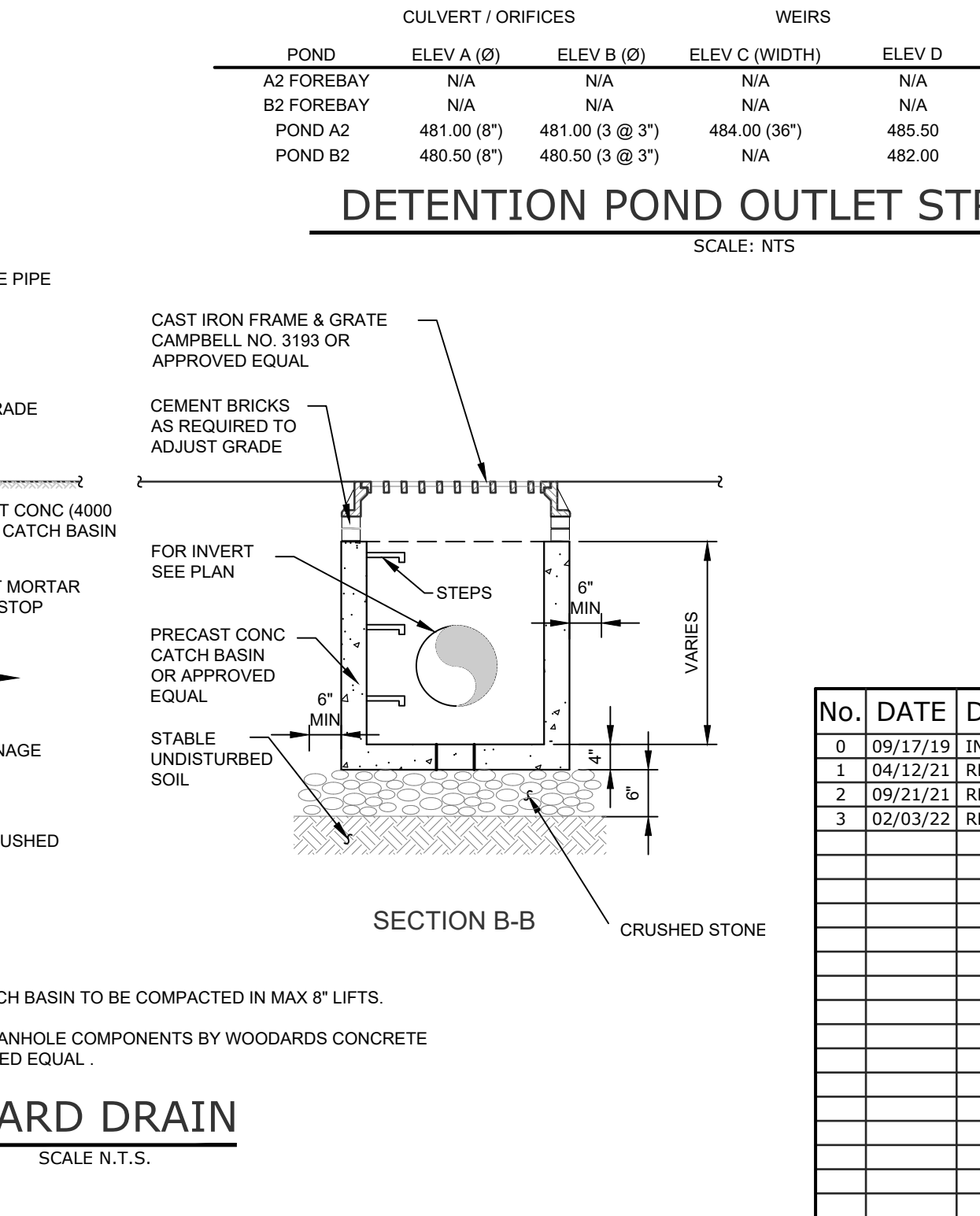
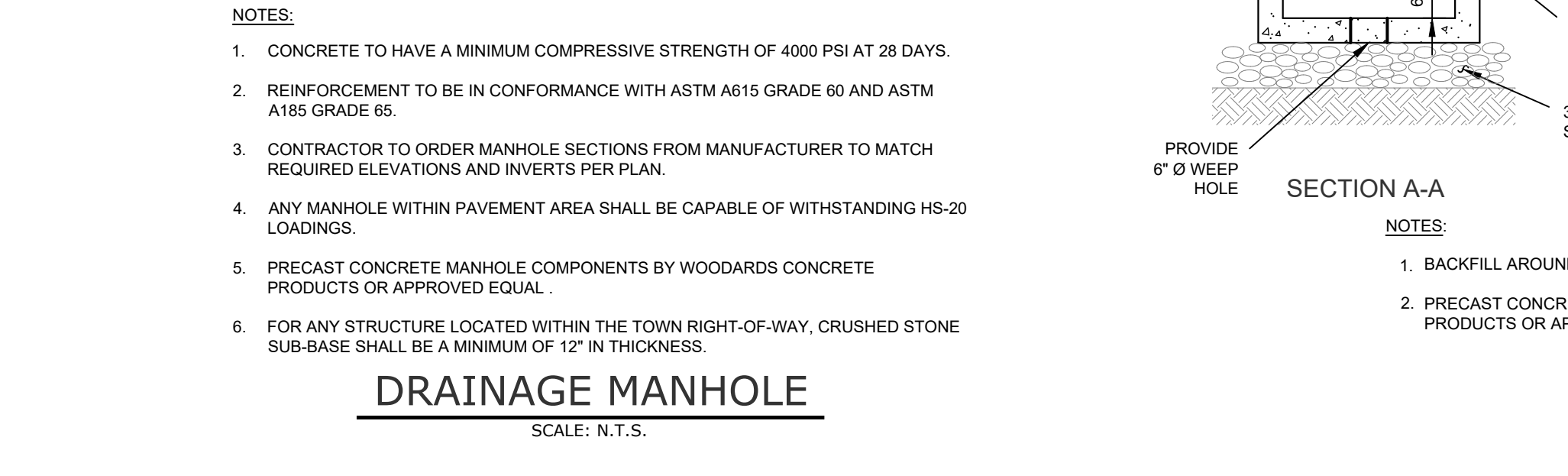
C-302

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POND	CULVERT / ORIFICES			WEIRS		OVERFLOW WEIR ELEVATION (WIDTH)	
	ELEV A (Ø)	ELEV B (Ø)	ELEV C (WIDTH)	ELEV D	ELEV E	WIDTH	WIDTH
A2 FOREBAY	N/A	N/A	N/A	N/A	487.66 (5')		
B2 FOREBAY	N/A	N/A	N/A	N/A	484.50 (5')		
POND A2	481.00 (8')	481.00 (3 @ 3')	484.00 (36")	485.50	487.25 (10')		
POND B2	480.50 (8')	480.50 (3 @ 3')	N/A	482.00	482.75 (15')		



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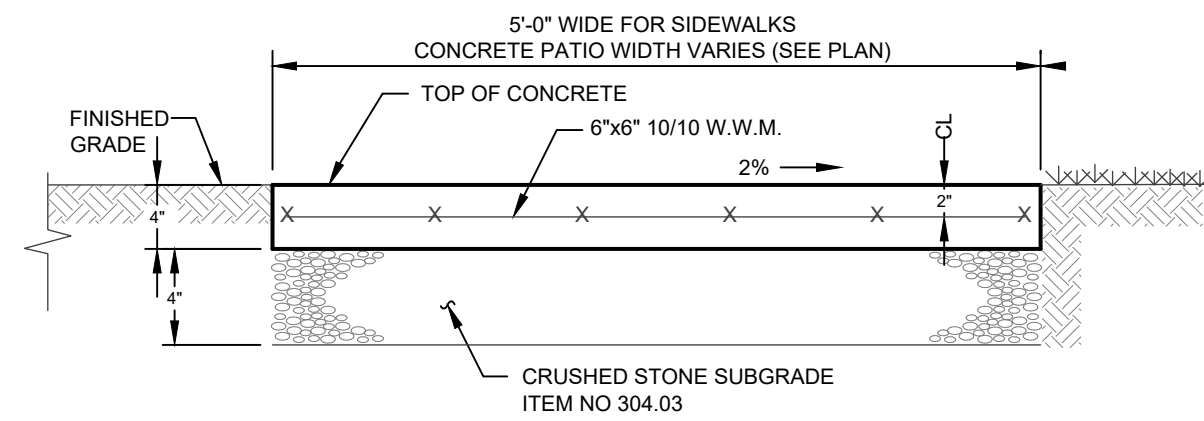
DETAILS

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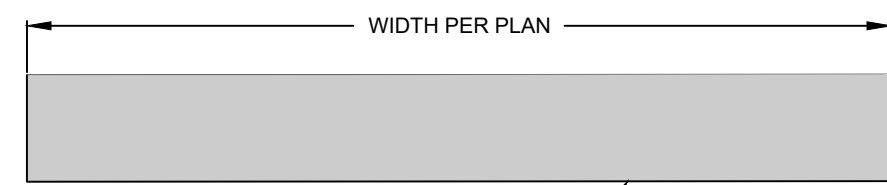
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SCALE: AS NOTED
TAX LOT: 103-7-18 & 47-1-46

C-303

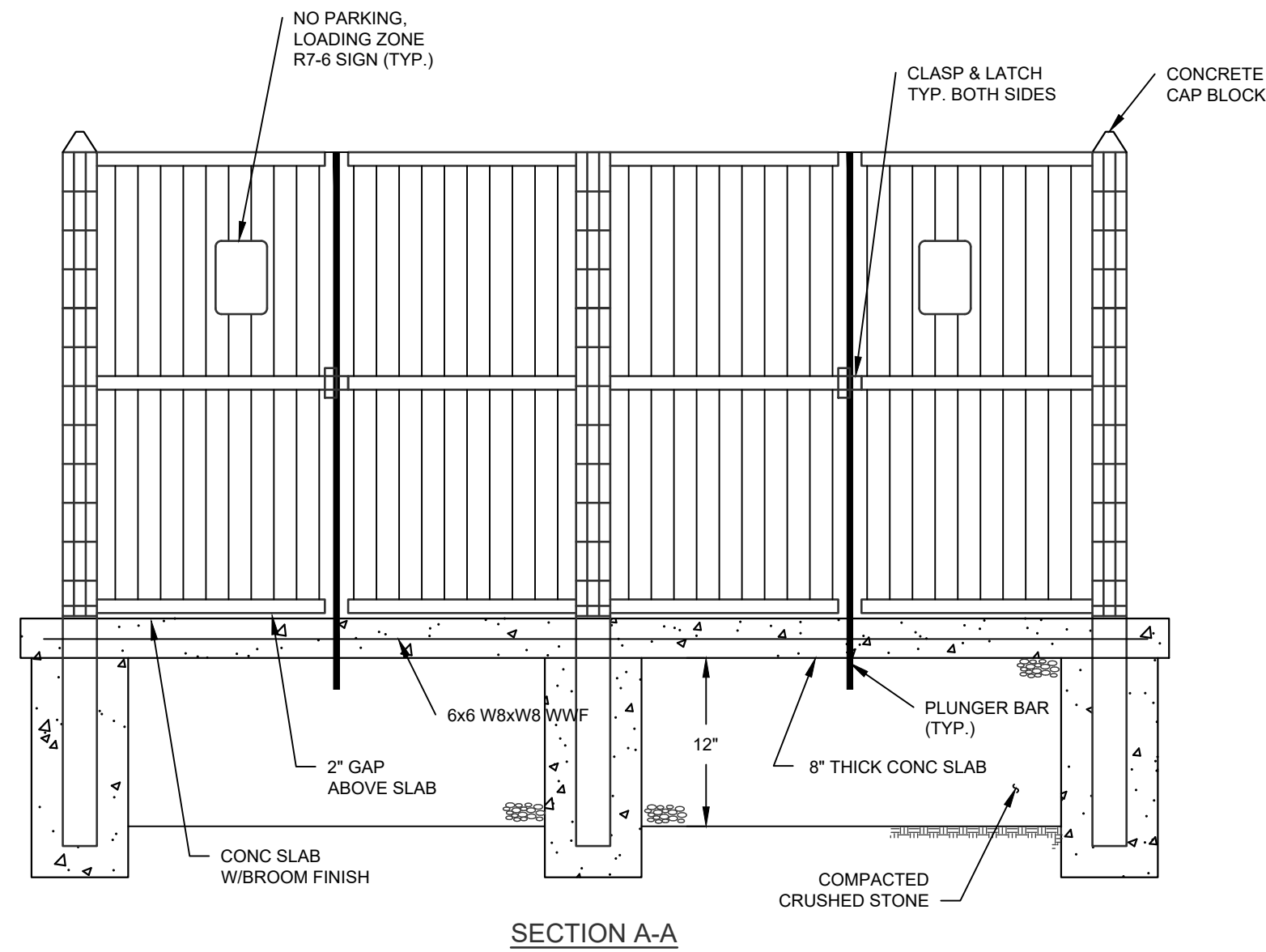


- NOTES:
- CURB EXPANSION JOINTS OF 1/4" PREFORMED BITUMINOUS COATED CELLULOSE OR SIMILAR MATERIAL AT TEN FOOT INTERVALS.
 - SIDEWALK EXPANSION JOINTS SHALL BE SPACED AT 20' INTERVALS AND SHALL BE 4" DEEP, EDGED WITH 1/4" RADIUS.
 - ALL CONCRETE FOR SIDEWALKS SHALL BE 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND CROSS SLOPE.
 - SIDEWALKS GREATER THAN 8" IN GRADE SHALL BE STEPPED IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE REQUIREMENTS.

SIDEWALK/CONCRETE PATIO DETAIL
SCALE: N.T.S.

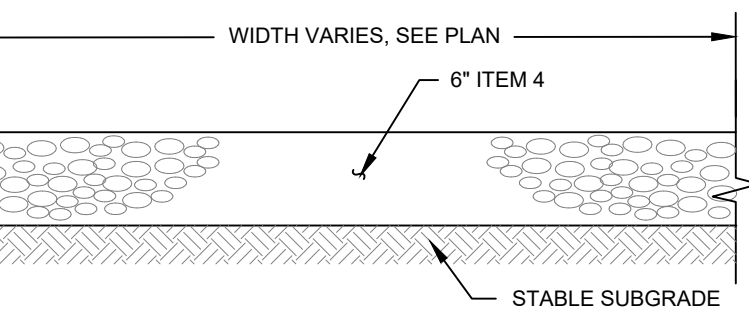


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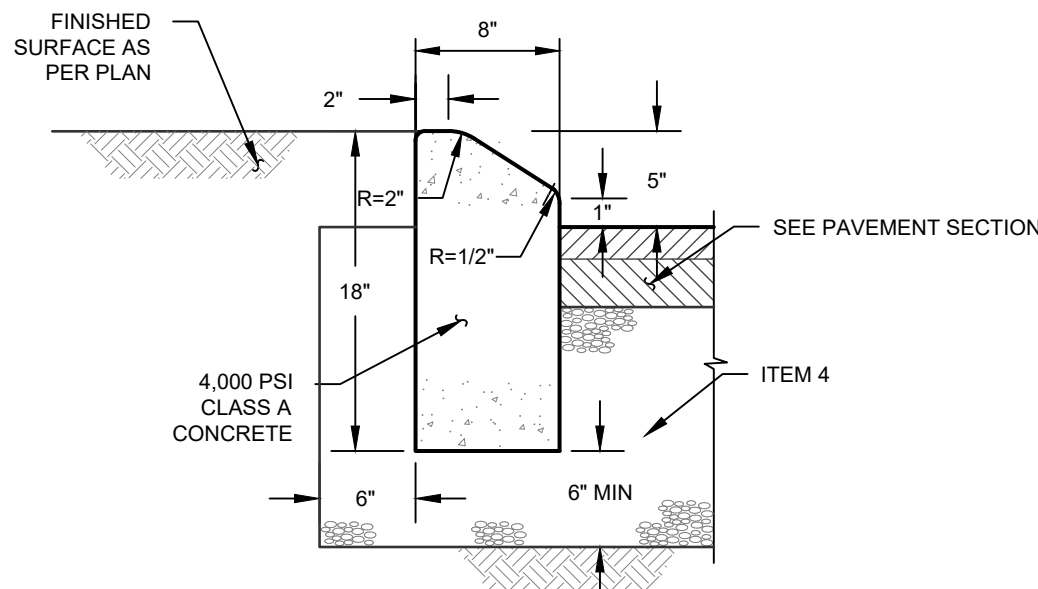


- NOTES:
- CURB SHALL BE CAST IN PLACE AT ATMOSPHERIC TEMPERATURES ABOVE 40° FAHRENHEIT.
 - EXPANSION JOINTS OF 1/4" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 (TEN) FOOT INTERVALS.
 - TEMPORARY FORM SUPPORTS SHALL BE REMOVED DURING CONCRETE POUR.

MOUNTABLE CONCRETE CURB
SCALE: N.T.S.

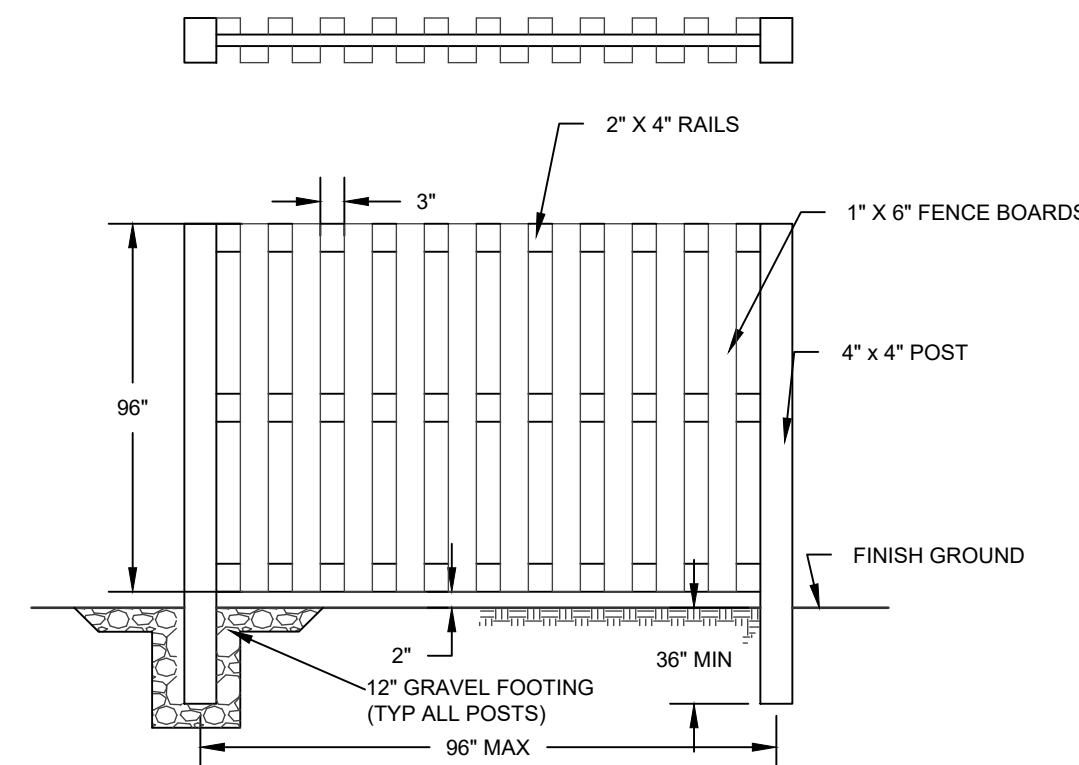


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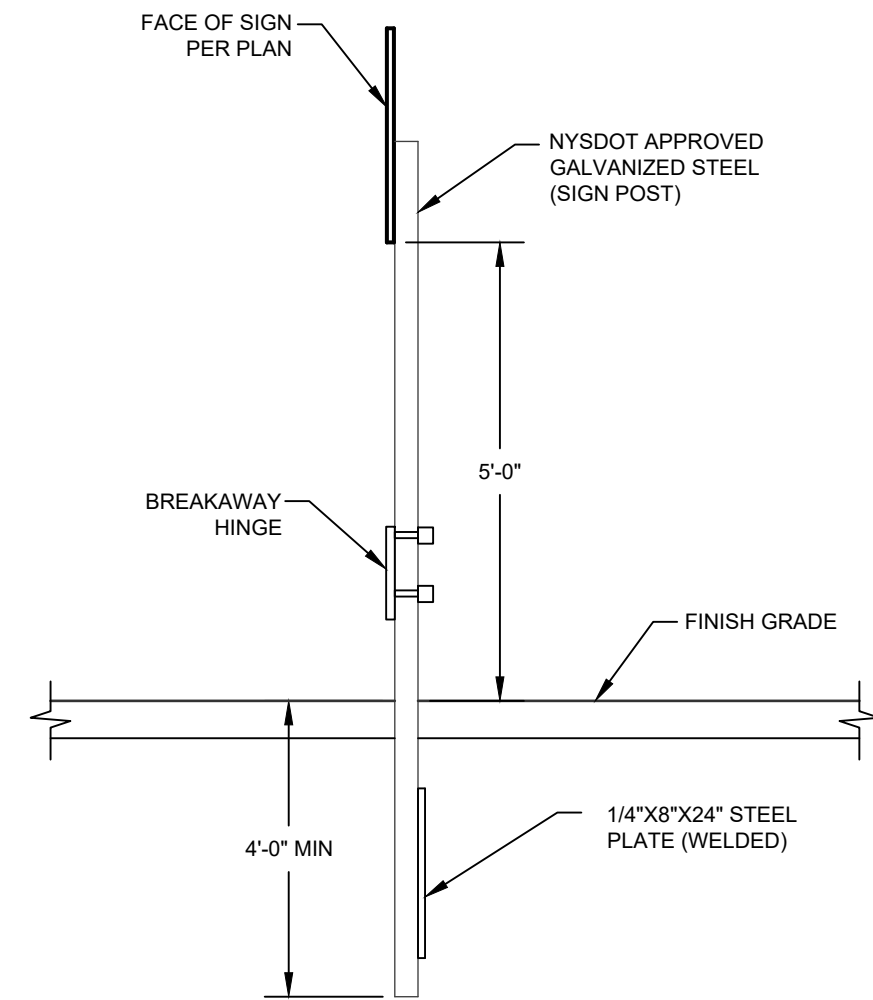


- NOTES:
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 - EXPANSION JOINTS OF 1/4" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 (TEN) FOOT INTERVALS.
 - TEMPORARY FORM SUPPORTS SHALL BE REMOVED DURING CONCRETE POUR.

MOUNTABLE CONCRETE CURB
SCALE: N.T.S.



BOARD-ON-BOARD FENCE
SCALE: N.T.S.

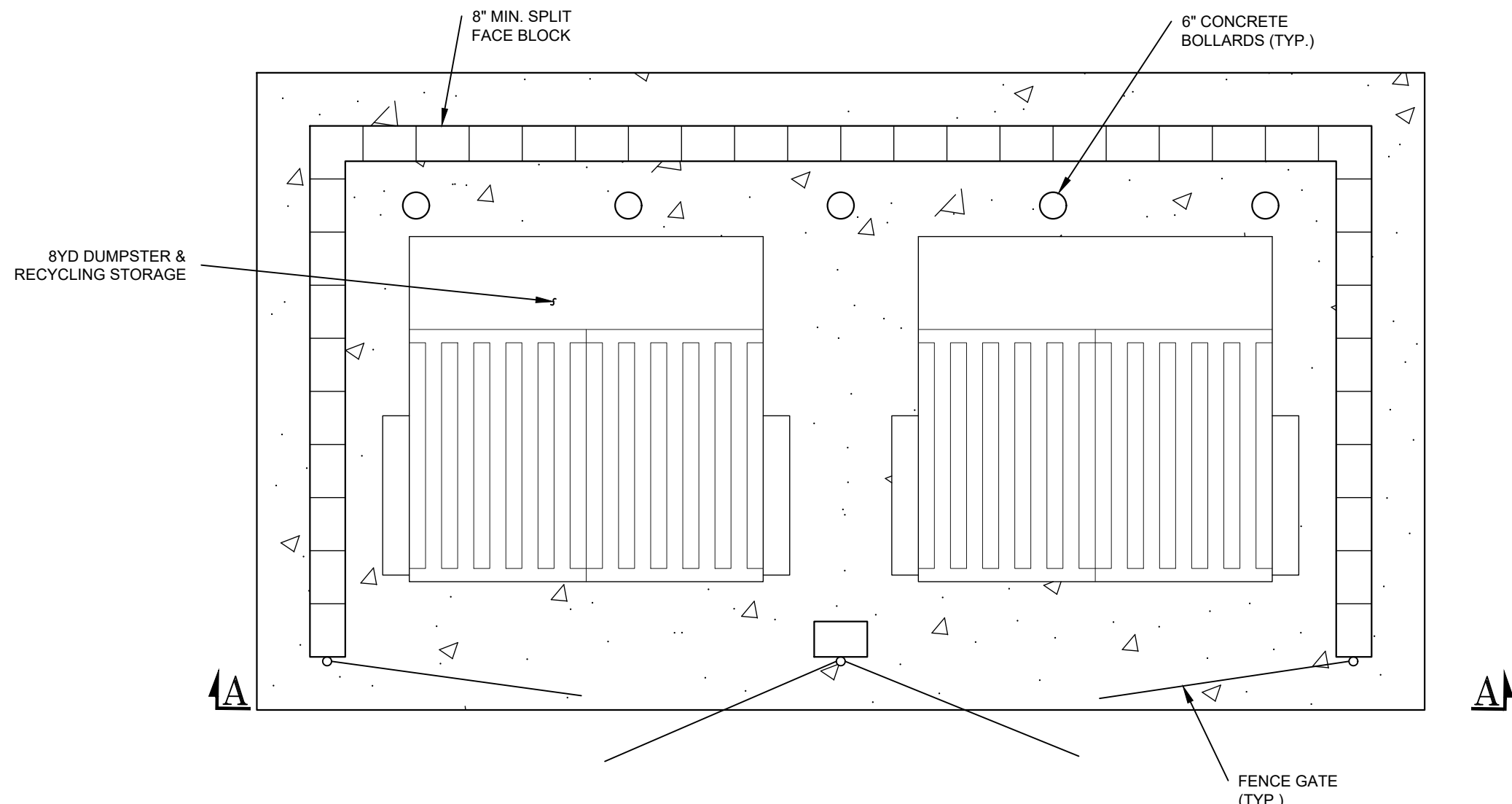


- NOTES:
- ALL ASSEMBLY HARDWARE TO BE CAST ALUMINUM WITH ALUMINUM BOLTS.
 - ALL SIGNS SHALL CONFORM TO ALL NYSOT AND MUTCD REQUIREMENTS.

SIGN POST
SCALE: N.T.S.

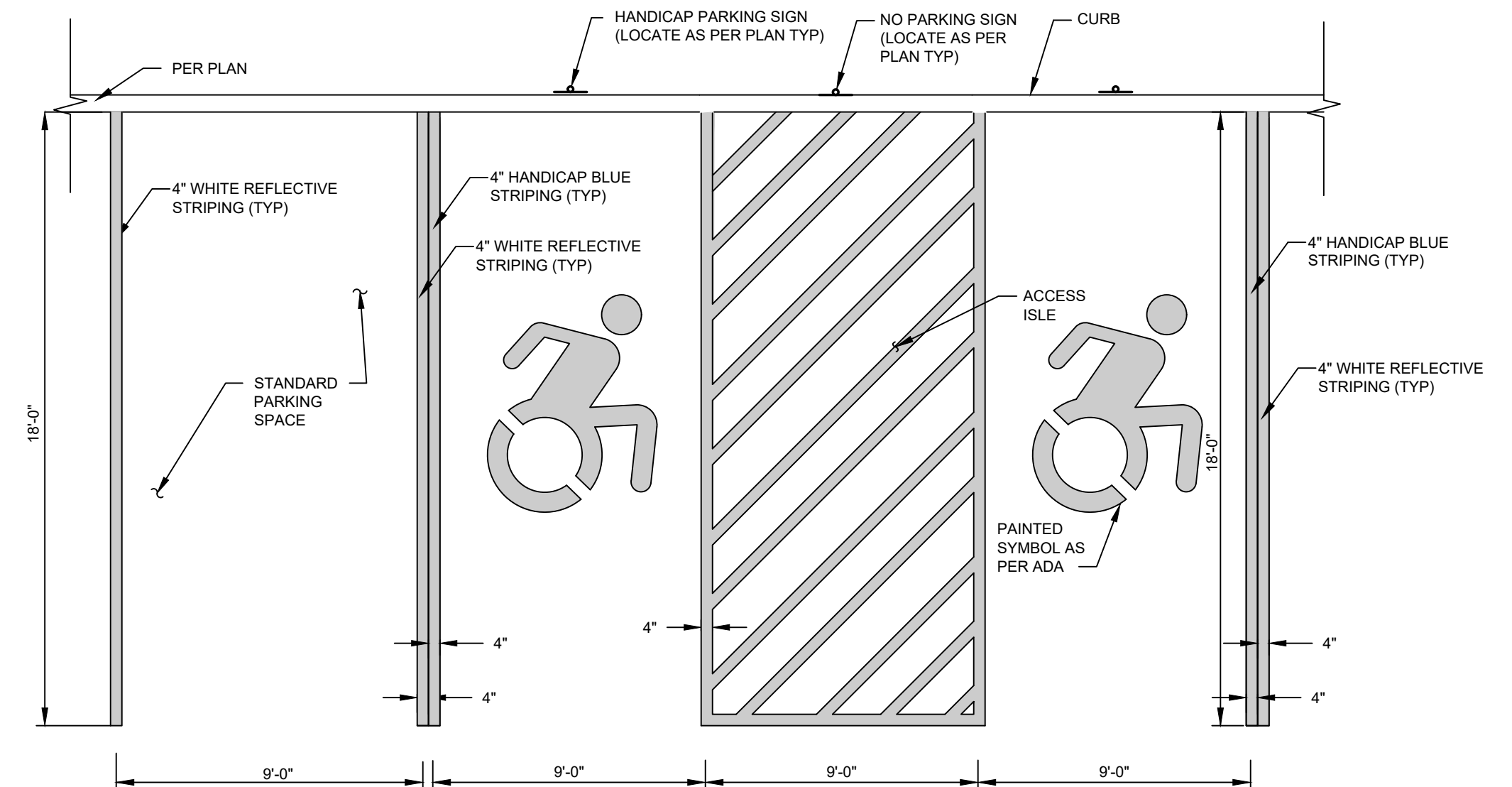
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STOP		R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC		M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING

SIGN SCHEDULE
SCALE: N.T.S.



- NOTES:
- ALL CONCRETE SHALL BE 4000 PSI AT 28 DAYS.
 - HARDWARE CLOTH (GALVANIZED WIRE MESH WITH 1/2 INCH SQUARE WEAVE) SHALL BE INSTALLED FROM THE GROUND TO 3 FEET UP THE SIDES OF ALL FIXED FENCES AROUND THE DUMPSTER ENCLOSURES AND DOG RUNS. ALTERNATIVELY THE FENCING CAN BE CONSTRUCTED TO HAVE LESS THAN A 1 INCH GAP.

DUMPSTER ENCLOSURE
SCALE: N.T.S.



- NOTES:
- MAX SLOPE OF 2% IN ALL DIRECTIONS WITHIN ALL HANDICAP PARKING SPACES.
 - ALL STRIPING FOR HANDICAP PARKING TO BE PAINTED IN HANDICAP BLUE.

PARKING SPACE
SCALE: N.T.S.

HANDICAP PARKING SPACES
SCALE: N.T.S.

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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	12	OF 14
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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DRAWN BY: MP
SCALE: AS NOTED
TAX LOT: 103-7-18 & 47-1-46

C-304

EROSION AND SEDIMENTATION CONTROL NOTES

- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
- TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALE DIKES, SEDIMENT BASIN, TEMPORARY DIVERSION SWALE DRAINAGE STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL. FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
 - AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
 - DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS. CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) PER ACRE.
 - PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE:

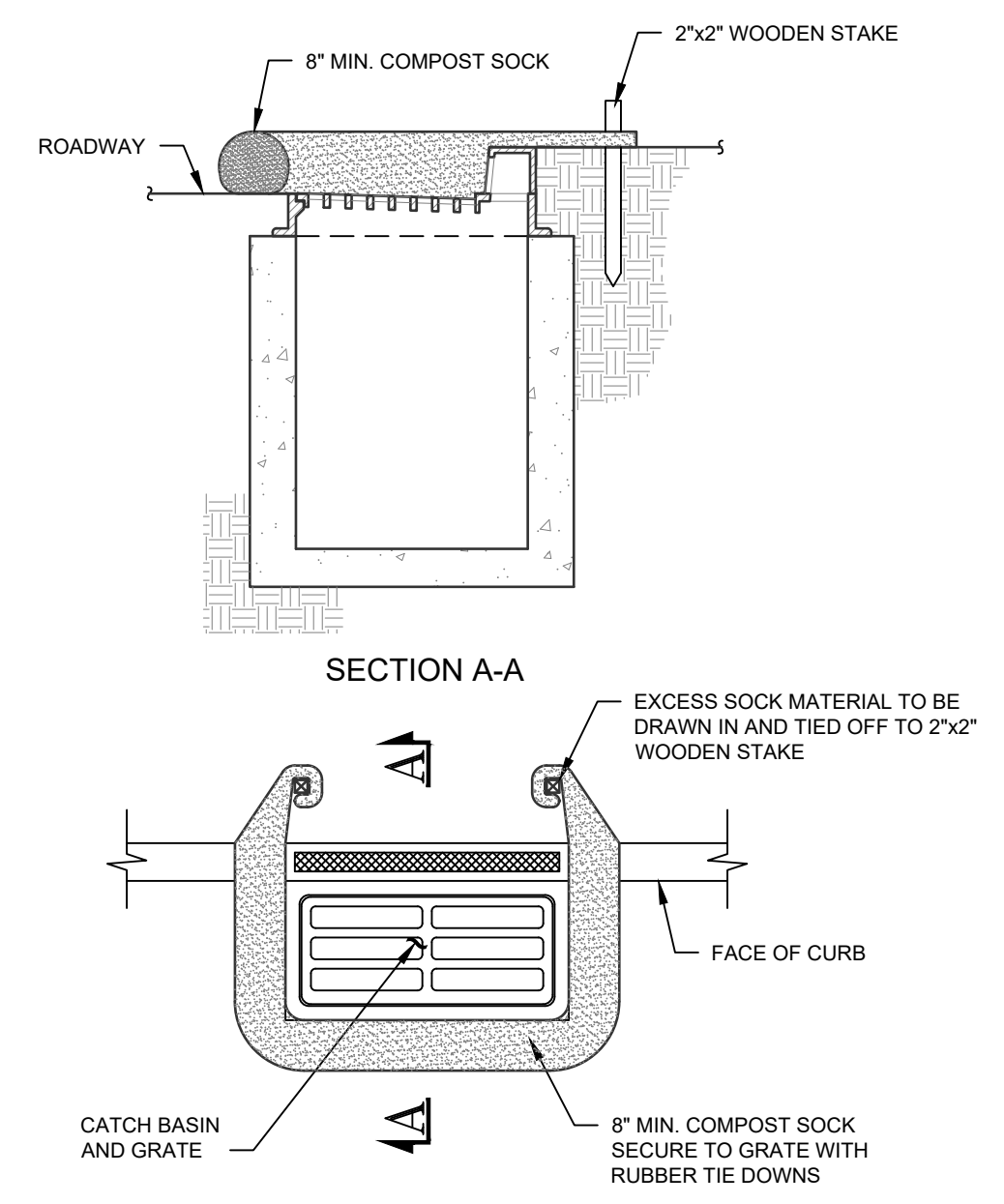
8 LBS EMPIRE BIRDSFOOT TREFOLI OR COMMON WHITE CLOVER	PER ACRE PLUS
20 LBS TALL FESCUE PER ACRE	PLUS
2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE	PLUS
 - ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
 - ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
- TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
- ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
- MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
- STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

MATERIAL	LBS/ACRE
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
- OPTIMUM SEEDING PERIODS ARE 3/15-6/1 AND 8/1-10/15.
- ALL UPSTREAM SITE WORK AND STABILIZATION SHALL OCCUR BEFORE CONNECTING UNDERGROUND DETENTION/FILTRATION FACILITY TO PREVENT ANY ERODED SEDIMENTS FROM ENTERING UNDERGROUND FACILITY.
- IN ACCORDANCE WITH THE NYSDEC SPDES GP 0-20-001, THERE SHALL BE NO MORE THAN 5 ACRES DISTURBED AT ANYONE TIME.

SOIL RESTORATION NOTES

Type of Soil Disturbance	Soil Restoration Requirement	Comments / Examples
No Soil Disturbance	Restoration not permitted	Preservation of Natural Features
Minimal Soil Disturbance	Restoration not required	Clearing and Grubbing
Areas where topsoil is stripped only - NO change in grade.	HSG A & B Apply 6" of topsoil	HSG C & D Aerate* and apply 6" of topsoil
Areas of cut or fill	HSG A & B Aerate* and apply 6" of topsoil	HSG C & D Apply full Soil Restoration**
Heavy traffic areas on site (especially in a zone 5'-25' around buildings, but not within the 5' perimeter around the foundation walls)	Apply full Soil Restoration** (de-compaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration Practices are applied.	Restoration not required, but maybe applied to enhance the reduction specified for appropriate practices	Keep construction equipment from crossings these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area.
Areas where existing impervious area will be converted to pervious area	Soil restoration is required on redevelopment projects. Apply full Soil Restoration** (de-compaction and compost enhancement)	

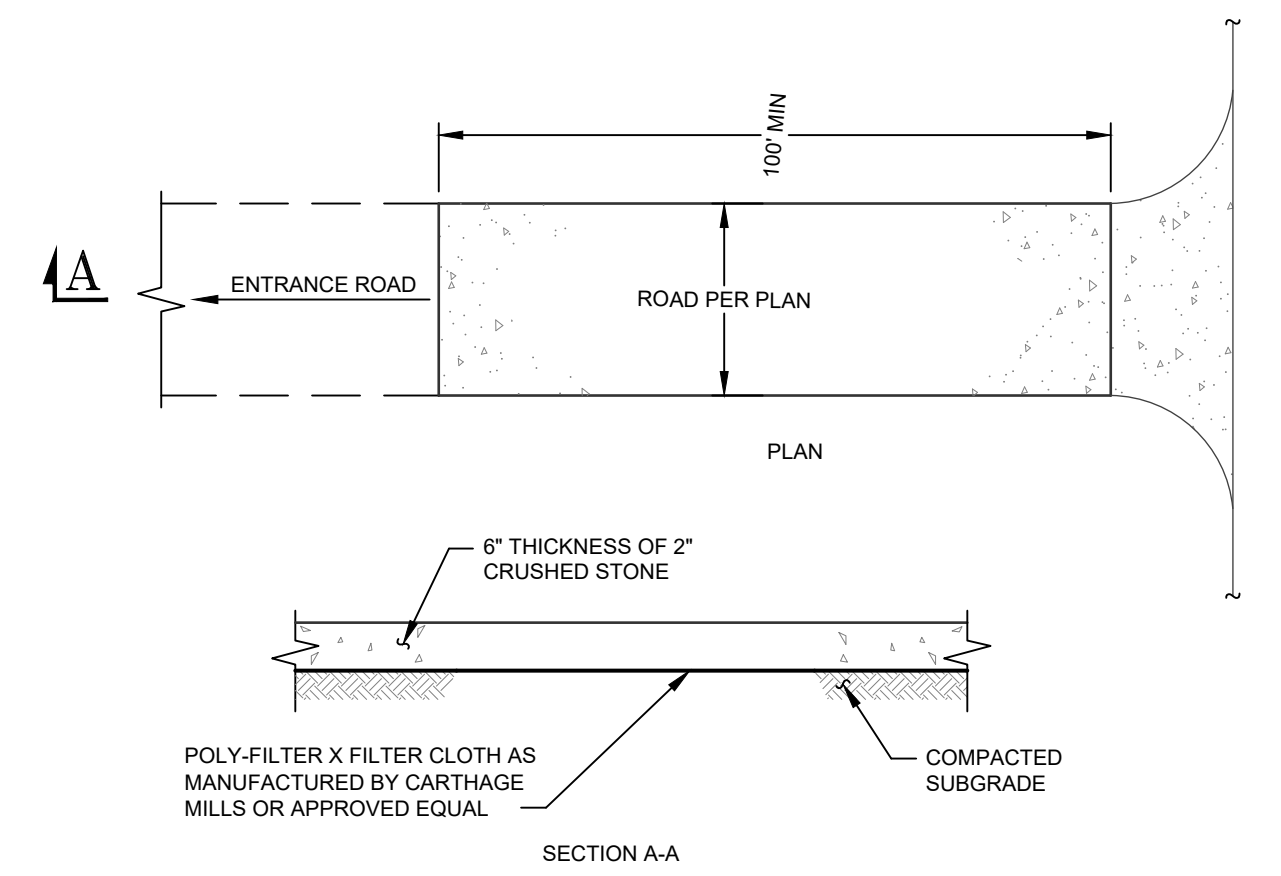
* Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
 ** Per "Deep Ripping and De-compaction Guidelines", NYSDEC 2008



- NOTES:**
- COMPOST SOCK BY FILTREXX SILT-SOXX 8" DIAMETER, OR APPROVED EQUAL.
 - ALL MATERIAL AND FILTER MEDIA FILL TO MEET MANUFACTURER'S SPECIFICATIONS.
 - SEDIMENT SHALL BE REMOVED AND THE COMPOST SOCK REPAIRED OR REPLACED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SOCK. REMOVED SEDIMENT SHALL BE DISPOSED OF IN A SUITABLE MANNER.
 - THE COMPOST SOCK SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 - THE COMPOST SOCK SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

INLET PROTECTION

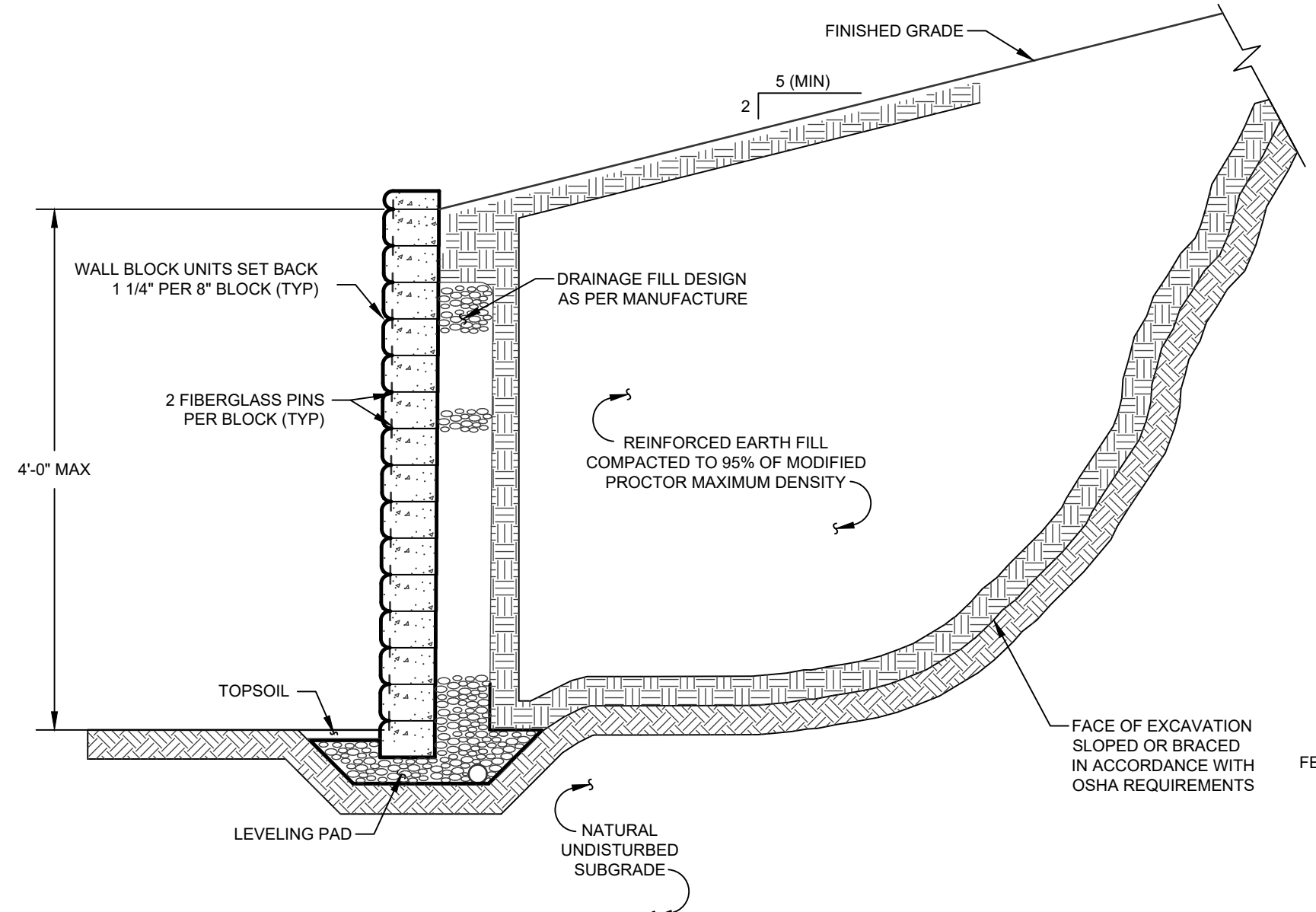
SCALE: N.T.S.



- NOTES:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - WIDTH - 35 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

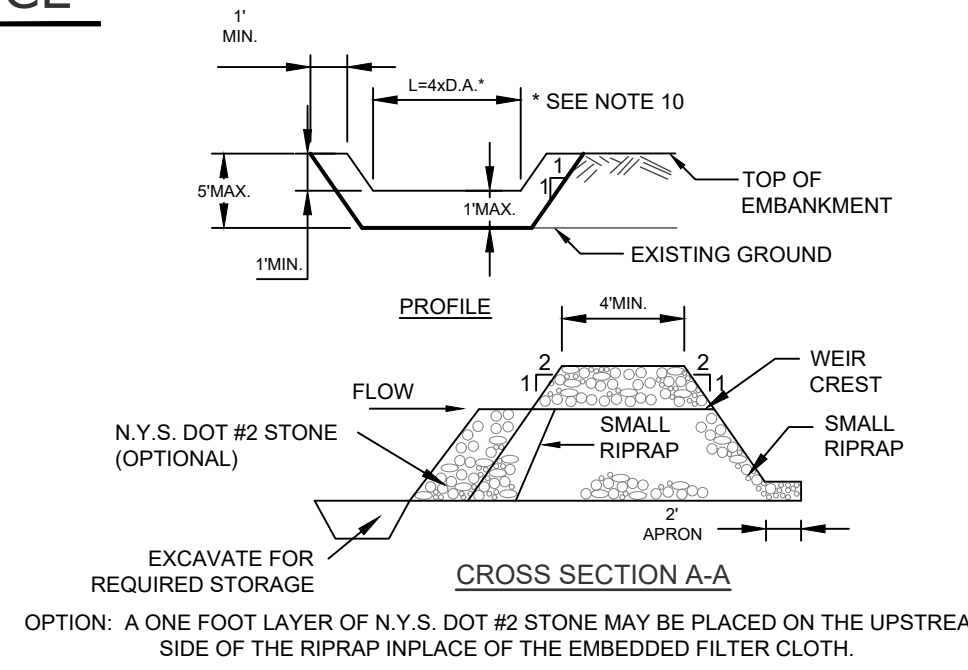
SCALE: N.T.S.



- NOTES:**
- PROPOSED KEystone KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
 - FENCING SHALL BE INSTALLED FOR AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - COLORS TO MATCH FOUNDATION STONE.
 - FOR WALLS OVER HEIGHTS OF 4'-0" SEE SPECIFIC ENGINEERED WALL DETAILS AS PREPARED BY OTHERS.

TYPICAL MSE RETAINING WALL

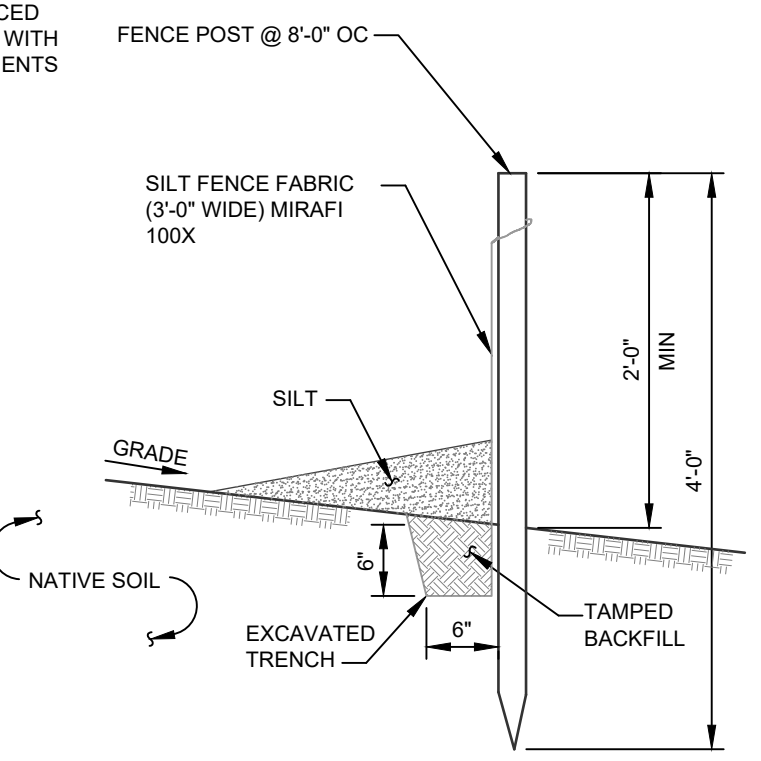
SCALE: N.T.S.



- CONSTRUCTION SPECIFICATIONS**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
 - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
 - THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
 - SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
 - THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED. MAXIMUM DRAINAGE AREA 5 ACRES.
 - LOCATION OF TRAP(S) TO BE DETERMINED IN THE FIELD BY EROSION & SEDIMENT CONTROL INSPECTOR.
 - THE LENGTH (FEET) OF THE OUTLET STRUCTURE SHALL BE EQUAL TO FOUR (4) TIMES THE DRAINAGE AREA (ACRES).

TEMPORARY STONE OUTLET SEDIMENT TRAP

NOT TO SCALE



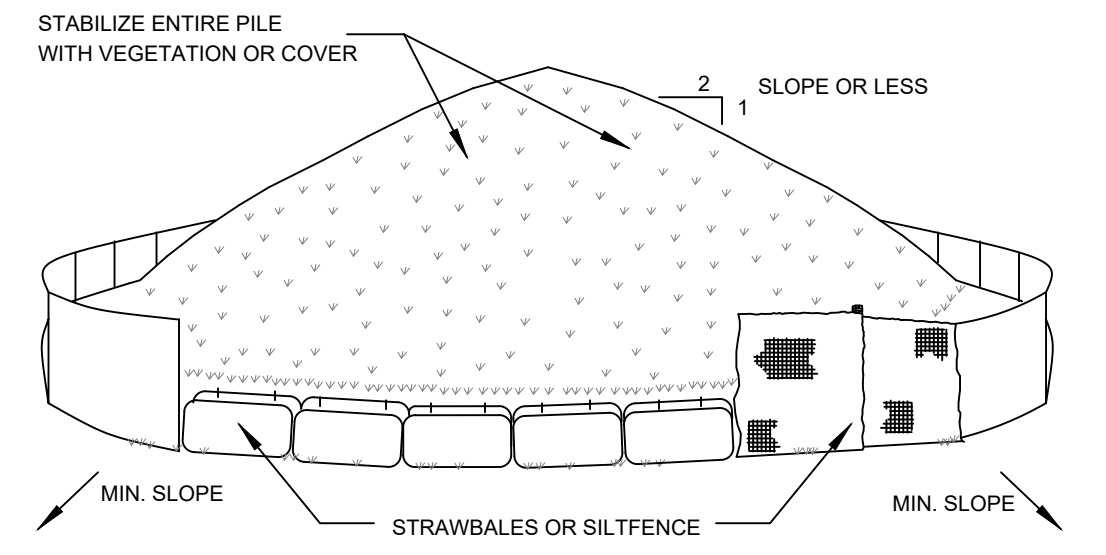
- NOTES:**
- SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.

SILT FENCE

SCALE: N.T.S.

EARTHWORK CONSTRUCTION NOTES

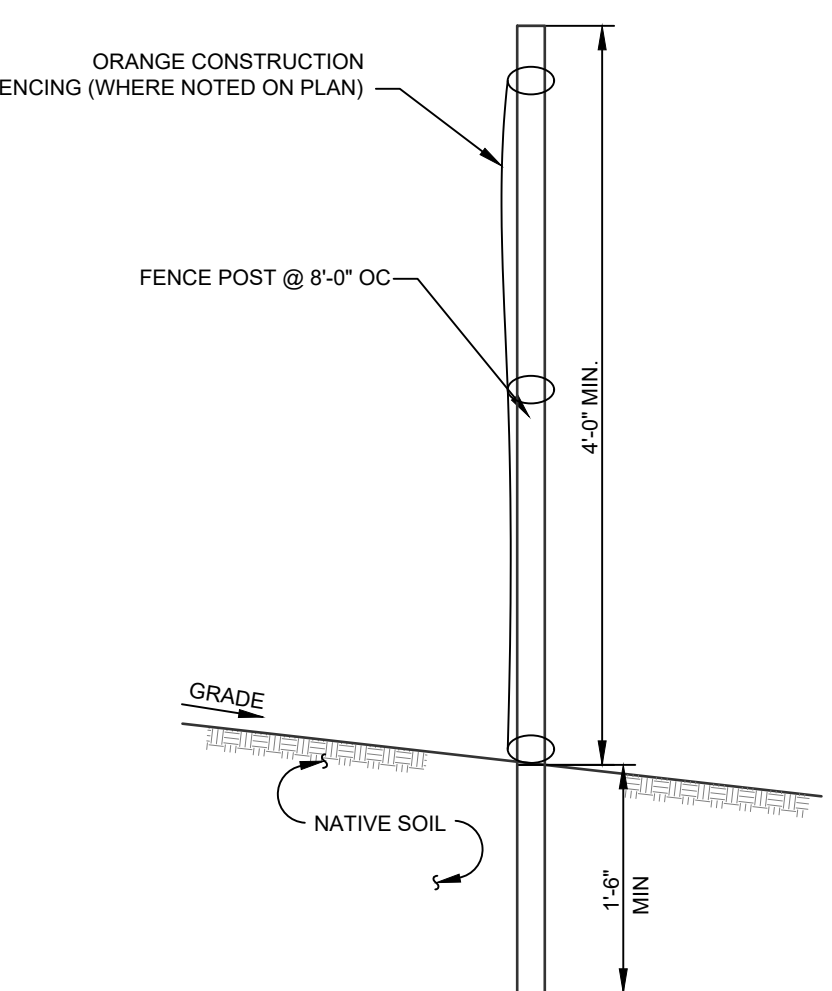
- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF NEWBURGH.
- ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
- ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
- COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
- ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH THICK LIFTS. EACH LIFT SHALL BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SIDE SLOPES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
- ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
- SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.



- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED A WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILING

SCALE: N.T.S.



- NOTES:**
- ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND AND IN AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED.
 - ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS.
 - THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCING.

ORANGE CONSTRUCTION FENCE

SCALE: N.T.S.

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