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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

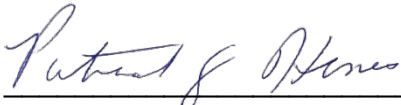
PROJECT: MONARCH DRIVE SENIOR HOUSING
PROJECT NO.: 19-28
PROJECT LOCATION: SECTION 103, BLOCK 7, LOT 18
SECTION 47, BLOCK 1, LOT 46
REVIEW DATE: 30 APRIL 2021
MEETING DATE: 6 MAY 2021
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

1. Town Board authorization has been granted for the Planning Board to process and consider this application pursuant to Town Zoning Law 185-48(A). The Planning Board has previously declared its intent for Lead Agency on 16 January 2020, mailing the Notice of Intent to interested agencies on 6 February 2020.
2. The Planning Board can declare itself Lead Agency having circulated its Notice of Intent and received no objections.
3. The maximum building height is identified as 46.5-feet whereas the zone permits 35-foot maximum building height.
4. Town Code Section 185-4(B)(3) identifies the maximum size for a one-bedroom senior unit at 700-square feet and a two-bedroom senior unit at 900-square feet. The applicants are requesting the one-bedroom units be designed at 840-square feet and the two-bedroom units be designed at 1,060-square feet.
5. Comments from the jurisdictional emergency services should be received regarding the single access point to the senior housing facility.
6. The front yard setback on proposed Lot #1 should be identified as 60-feet from the State highway frontage.
7. The sidewalk and crosswalk seem to terminate at Monarch Drive and not connect to sidewalks in a northerly direction.
8. The status of the wetland review should be updated. While the site may not contain wetlands, the wetlands may exist on the north side of NYS Route 52, which may have an associated regulated buffer.

9. The Planning Board should consider requesting a traffic study for the project entrance at Monarch Drive and Monarch Drive and NYS Route 52.
10. The applicants should provide the Planning Board with market analysis and documentation provided to the Town Board for identifying the need for affordable housing in accordance with Section 185-48D(5).
11. Future submissions must address Section 185-48D(1-5).
12. A City of Newburgh Flow Acceptance Letter will be required for the project. This request will be processed further after the applicant proceeds through the Zoning Board of Appeals approvals.
13. The applicants have identified that garage parking for twenty-two (22) spaces for each building will be provided to address the parking count required.
14. The Code Enforcement Offices requested to evaluate the need for emergency access to the rear of the multi-family structures.
15. Further review will be undertaken once the detailed design plans have been prepared.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**



Patrick J. Hines
Principal

PJH/dns



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April 19, 2021

Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

ATTN: John Ewasutyn, Chairman

**RE: W.O. # 1325.01
MONARCH DRIVE SENIOR HOUSING
MONARCH DRIVE
RESPONSE LETTER**

Dear Mr. Ewasutyn,

We are in receipt of the comment memos regarding the above-mentioned project from Karen Arent Landscape Architect dated January 9, 2020, McGoey, Hauser and Edsall dated January 9, 2020 and Creighton Manning dated January 13, 2020. Below is a comment by comment response to each memo;

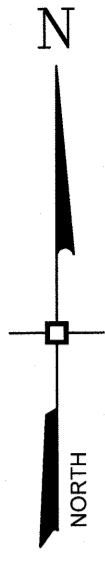
Karen Arent Landscape Architect Memorandum Dated January 9, 2020

1. A sidewalk has been shown to connect the senior center property to the commercial development along with a crosswalk over Monarch Drive.
2. Every effort will be made to preserve the existing vegetative screening. If grading necessitates tree removal, landscaping will be proposed to enhance the buffer areas.
3. A stone wall is not proposed at this time. It will be considered as part of the landscape plans.
4. The entire site is wooded except for the lawn area encroachments along the southwest boundary line. When appropriate a landscape plan will be developed that will include preservation of existing trees where possible.
5. The design of the stormwater management pond will be determined after detailed design.
6. Smaller gathering spaces in front of the building will be taken into consideration during the detailed design phase.
7. Details of the community patio areas will be provided during the detailed design phase.

14. The biologist has been requested to review the site to confirm the absence or presence of wetlands. Their response will be forwarded upon receipt.
15. If determined necessary, a traffic study will be prepared as part of the SEQRA process to address the concerns of the Town and the NYSDEC.
16. The bank facility parking location has been updated in the plan to comply with the design guidelines.
17. In accordance with Section 185-18 (c) (5) (b) building area is not considered in the required setback if the proposed use in the B zone is residential. In that instance the setback required is 75 feet.
18. The proposed residential buildings will be 46.5 feet in height. In addition, a variance is required for the maximum allowable one- and two-bedroom floor area.
19. Water and sewer will be provided via connection to the existing mains on Monarch Drive. Design of water and sewer will be depicted in future submissions.
20. Architectural plans and renderings of the proposed buildings were provided at the Planning Board meeting.
21. A cross grading access and maintenance easement is shown on the plan. The legal agreement will be proved prior to final approval.
22. The bulk table has been revised to depict required setbacks and the proposed setbacks for each lot.
23. Detailed landscaping will be provided in future submission.

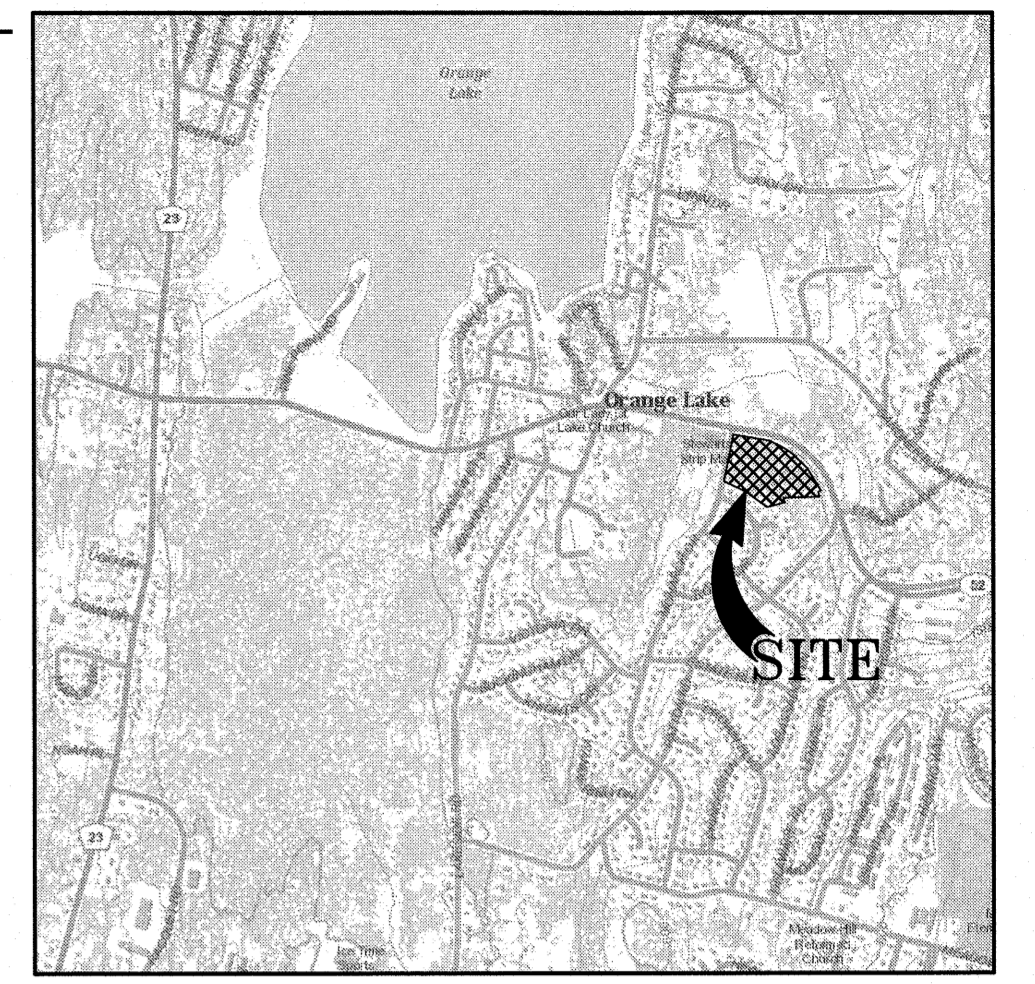
Creighton Manning Dated January 13, 2020

1. No response required.
2. The location of the drive through and parking have been flipped to move the driveway further away from Monarch Drive.
3. A proposed dumpster location has been included on the sketch plan.
4. As a response to a request at the planning board meeting, twenty-two (22) parking spaces will be provided under each building. The site parking now complies with the required parking spaces and as a result, land banked parking spaces are no longer proposed.
5. No response required.
6. The plan has been updated to include a 5-foot path around the development and to its amenities in order to allow for another form of recreation. A striped pedestrian crossing has been included across Monarch Drive.



LEGEND

	BUILDING LINE
	BUILDING ROOF LINE
	CONCRETE PAD LINE
	CONCRETE HATCH
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	CURB LINE
	DRIVEWAY LINE
	EASEMENT LINE
	FENCE LINES
	PARKING STALL STRIPE
	LAND BANKED PARKING
	PROPERTY LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT LINE
	BUILDING SETBACK LINES
	EDGE OF SIDEWALK LINES
	STRIPING LINE
	EXISTING BUILDING LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING CURB LINE
	EXISTING EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EXISTING SILT FENCE LINES
	EXISTING FENCE LINES
	EXISTING GUIDERAIL LINES
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EXISTING SEWER MAIN LINES
	EXISTING SEWER SERVICE LINES
	EXISTING SEWER FORCE MAIN LINES
	EXISTING EDGE OF SIDEWALK LINES
	EXISTING STORM DRAIN LINES
	EXISTING LIMIT OF TREE LINES
	EXISTING WATER MAIN LINES
	EXISTING WATER SERVICE LINES
	LIMIT OF ACOE WETLAND
	LIMIT OF NYSDEC WETLAND
	LIMIT OF NYSDEC WETLAND BUFFER LINE
	MUNICIPAL BOUNDARY



LOCATION MAP

SCALE: 1" = 2000'

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 103, BLOCK 7, LOT 18 SECTION 47, BLOCK 1, LOT 46
- TOTAL AREA OF SUBJECT PARCEL: 10.88± ACRES
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-ENGINEERED DIGITAL ELEVATION MODELS (DEMs) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER/APPLICANT: 52 MONARCH DEVELOPMENT, INC. 4171 ALBANY POST ROAD HYDE PARK, NEW YORK, 12538
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS, THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO KNOWN NORTHERN LONG-EARED BAT & INDIANA BAT HIBERNACULUM, POTENTIAL ROOST TREES SHALL ONLY BE CUT AND REMOVED DURING KNOWN HIBERNATION MONTHS BETWEEN THE DATES OF NOVEMBER 1ST THROUGH MARCH 31ST, IN ORDER TO AVOID DIRECT ADVERSE IMPACTS TO BOTH SPECIES
- ALL RESIDENTIAL BUILDINGS WILL BE EQUIPPED WITH AN APPROVED FIRE SPRINKLER SYSTEM.

DENSITY CALCULATIONS

TOWN OF NEWBURGH - ZONING DISTRICT B
SENIOR CITIZEN HOUSING (§185-48) (LOT 2)

PARCEL AREA: 1037.18
47-1-46

1235.477 SF = 45.41 AC
184.013 SF = 4.22 AC

UNITS PERMITTED:
24% 1-BEDROOM & 76% 2-BEDROOM
12 UNITS PER ACRE FOR 1-BEDROOM
10 UNITS PER ACRE FOR 2-BEDROOM

(12 UNITS * 9.63 AC * .24) + (10 UNITS * 9.63 AC * .76) = 100.9 UNITS

TOTAL UNITS = 100.9 UNITS

UNITS PROPOSED:
APARTMENTS: 2 BUILDINGS X (1) 1-BEDROOM UNITS EACH = 24 UNITS
2 BUILDINGS X (30) 2-BEDROOM UNITS EACH = 76 UNITS

TOTAL APARTMENT UNITS PROPOSED = 100 UNITS

PARKING CALCULATIONS

LOT 1 PARKING CALCULATIONS:

TOTAL BUILDING SQUARE FOOTAGE: 3,150 SQFT

TOTAL PARKING REQUIRED FOR A POTENTIAL BANK IN THE B ZONE:
1 SPACE PER 200 SQFT OF FLOOR AREA
3,150 SQFT / 200 SQFT = 15.75 = 16 SPACES

TOTAL PARKING REQUIRED: 16 SPACES

PROVIDED:
TOTAL PARKING PROVIDED = 16 SPACES

SUMMARY:
16 PARKING SPACES REQUIRED
16 PARKING SPACES PROVIDED

LOT 2 PARKING CALCULATIONS:

TOTAL UNIT COUNT: 76 2-BEDROOM UNITS
24 1-BEDROOM UNITS

TOTAL PARKING REQUIRED FOR 1 & 2-BEDROOM UNITS IN B ZONE:
1-BEDROOM: 2.0 SPACES PER DWELLING UNIT
24 UNITS X 2.0 = 48 SPACES
2-BEDROOM: 2.0 SPACES PER DWELLING UNIT
76 UNITS X 2.0 = 152 SPACES

TOTAL PARKING REQUIRED: 200 SPACES

PROVIDED:
TOTAL PARKING PROVIDED = 201 SPACES

SUMMARY:
200 PARKING SPACES REQUIRED
157 PARKING SPACES PROVIDED
44 BUILDING GARAGE PARKING SPACES

BULK REQUIREMENTS

TOWN OF NEWBURGH - ZONING DISTRICT B
PROPOSED USE (LOT 1): POTENTIAL BANK (USE §185 ATCH 11)
PROPOSED USE (LOT 2): SENIOR CITIZEN HOUSING (USE §185-48)

MINIMUM BUILDING REQUIREMENTS	REQUIRED (LOT 1)	PROPOSED (LOT 1)	REQUIRED (LOT 2)	PROPOSED (LOT 2)
LOT AREA	15,000 SF	41,388 SF	N/A	419,491 SF
LOT WIDTH	100 FEET	186 FEET	N/A	900 FEET
LOT DEPTH	125 FEET	223 FEET	N/A	638 FEET
FRONT YARD	40 FEET	53 FEET	0 FEET (MONARCH DR) 60 FEET (NYS RTE 52)	238 FEET 64 FEET
REAR YARD	30 FEET	100 FEET	0 FEET	77 FEET
SIDE YARD (ONE / BOTH)	15 / 30 FEET	57 / N/A FEET	0 FEET	50 FEET N/A
MAXIMUM ALLOWABLE				
BUILDING HEIGHT	35 FEET	< 35 FEET	35 FEET	46.5 FEET*
LOT BUILDING COVERAGE	60%	8%	N/A	13%
LOT SURFACE COVERAGE	85%	58%	N/A	34%
ONE-BEDROOM AREA	N/A	N/A	700 SF	840 SF**
TWO-BEDROOM AREA	N/A	N/A	900 SF	1060 SF***

* BUILDING HEIGHT VARIANCE REQUIRED
** ONE-BEDROOM AREA VARIANCE REQUIRED
*** TWO-BEDROOM AREA VARIANCE REQUIRED

BULK REQUIREMENTS

TOWN OF NEWBURGH - ZONING DISTRICT B
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** ONE-BEDROOM AREA VARIANCE REQUIRED
*** TWO-BEDROOM AREA VARIANCE REQUIRED

No.	DATE	DESCRIPTION
0	09/17/19	INITIAL SUBMISSION
1	04/12/21	REVISED PER COMMENT LETTERS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/12/21
<input checked="" type="checkbox"/> CONCEPT APPROVAL	1 OF 1
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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1 inch = 50 ft.

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SKETCH PLAN

MONARCH WOODS SENIOR COMMUNITY
MONARCH DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #: 1325.01
DATE: 09/17/19
REVISION: 1 - 04/12/21

DRAWN BY: MP
SCALE: 1" = 50'
TAX LOT: 103-7-18 & 47-1-46

SK-5