



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MOFFAT PROPERTIES, LLC
PROJECT NO.: 22-14
PROJECT LOCATION: 224 & 226 NY - 17K
SECTION 32, BLOCK 29, LOT 64 & 65
REVIEW DATE: 9 SEPTEMBER 2022
MEETING DATE: 15 SEPTEMBER 2022
PROJECT REPRESENTATIVE: INDEPENDENCE ENGINEERING

1. This office is aware the Adjoiner's Notices have been sent out by the Town of Newburgh. Notice of Intent for Designation of Lead Agency was circulated to various involved agencies on 4 August 2022. Status of any DOT review should be addressed by the applicant's representative.
2. Comments should be solicited by the applicant from the Water Department. This should be regarding the sprinkler service lateral and re-location of the hydrant proposed.
3. The applicants must still evaluate the existing Town sewer main in NYS Route 17K to ensure that this portion of the sewer line is under gravity flow.
4. A City of Newburgh Flow Acceptance letter will be required for connection to the Town's sanitary sewer collection system.
5. Detail of fence utilized for screening in compliance with outdoor storage requirements should be detailed on the plans.
6. It is now proposed that the two lots involved in the project will be consolidated into one lot as part of the planning process.
7. A complete SWPPP will be required prior to the Planning Board making an SEQRA determination. The SWPPP has been revised significantly based on the revised layout. The new SWPPP is under review by this office.
8. The plans have been revised regarding provisions for one access into and out of the site. Relocating the building in an easterly direction and modifications to the parking layout. The Stormwater Management facilities have been revised based on the revised access layout.
9. The applicants were previously requested to determine the ultimate discharge location from the site. The change in this layout should be addressed by the applicant' representative. It appears that the proposed 24 inch pipe will discharge to a 12 inch pipe downgradient in the State highway right-of-way.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

10. Additional information for the oil water separator depicted on the sanitary sewer line must be submitted for review by the Sewer Department. Additional permitting may be required for the installation of the oil water separator.
11. Plans depict depth to existing sanitary sewer manhole to be "field verified". This information should be provided on Design Plans.
12. The 4 inch water line identifies as a copper service. Water mains of 4 inches or larger must be Ductile Iron pipe.
13. A restraint joint pipe Schedule must be added to the plans. Utility notes identify concrete thrust blocks which are not permitted in the Town of Newburgh. Mechanical joints shall utilize restraint joint fittings and a Restraint Joint Chart must be added to the plans.
14. Outlet Control Structures should be coordinated with Stormwater Management Report. Outlet control structure identifies 15 inch diameter pipe while ends depict 4 inch diameter pipe.
15. Existing Utility Notes identify the Town of Newburgh Public Works. The Town of Newburgh Sewer Department will be the agency coordinated with.
16. 100 Year Flood Plains should be depicted on the plan sheets.
17. Town of Newburgh Water and Sewer notes must be added to the plans (Copies of required notes are attached)
18. A Stormwater Facilities Maintenance Agreement will be required to be executed.
19. The applicants must provide security for all Stormwater Management and Erosion Control proposed on the site. Similar security and inspection fees are required for landscaping. Comments from the Town's Landscape Architect should be received for the Landscape Plan. Board approval for all security amounts is required.
20. Orange County Planning referral is required. Plans are of sufficient detail to provide to the County.
21. The 4 inch sanitary clean-out detail on Sheet C-810 identifies a City of Newburgh standard detail.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

PJH/kbw

FINAL LAND DEVELOPMENT PLAN SET

FOR

SUNBELT RENTALS - NEWBURGH

224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

PROPERTY:

224 NY ROUTE 17K
TAX LOT 89-1-64
14479 P.10
0.372 ACRES

226 NY ROUTE 17K
TAX LOT 89-1-65
14479 P.10
5.543 ACRES

ZONING: IB INTERCHANGE BUSINESS

OWNER:

EUGENE A. MAZZARELLI LIVING TRUST
739 HEWIT LANE
NEW WINDSOR, NY 12553

APPLICANT:

MOFFAT PROPERTIES, INC.
701 FINGER LAKES DRIVE
WAKE FOREST, NC 27587

ENGINEER:

INDEPENDENCE ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805

SURVEYOR:

LANG & TULLY ENGINEERING & SURVEYING, P.C.
PO BOX 687
ROUTE 207
GOSHEN, NY 10924

GEOTECHNICAL CONSULTANT:

MULA DESIGN GROUP
325 COTTAGE HILL ROAD
YORK, PA 17401

ARCHITECT:

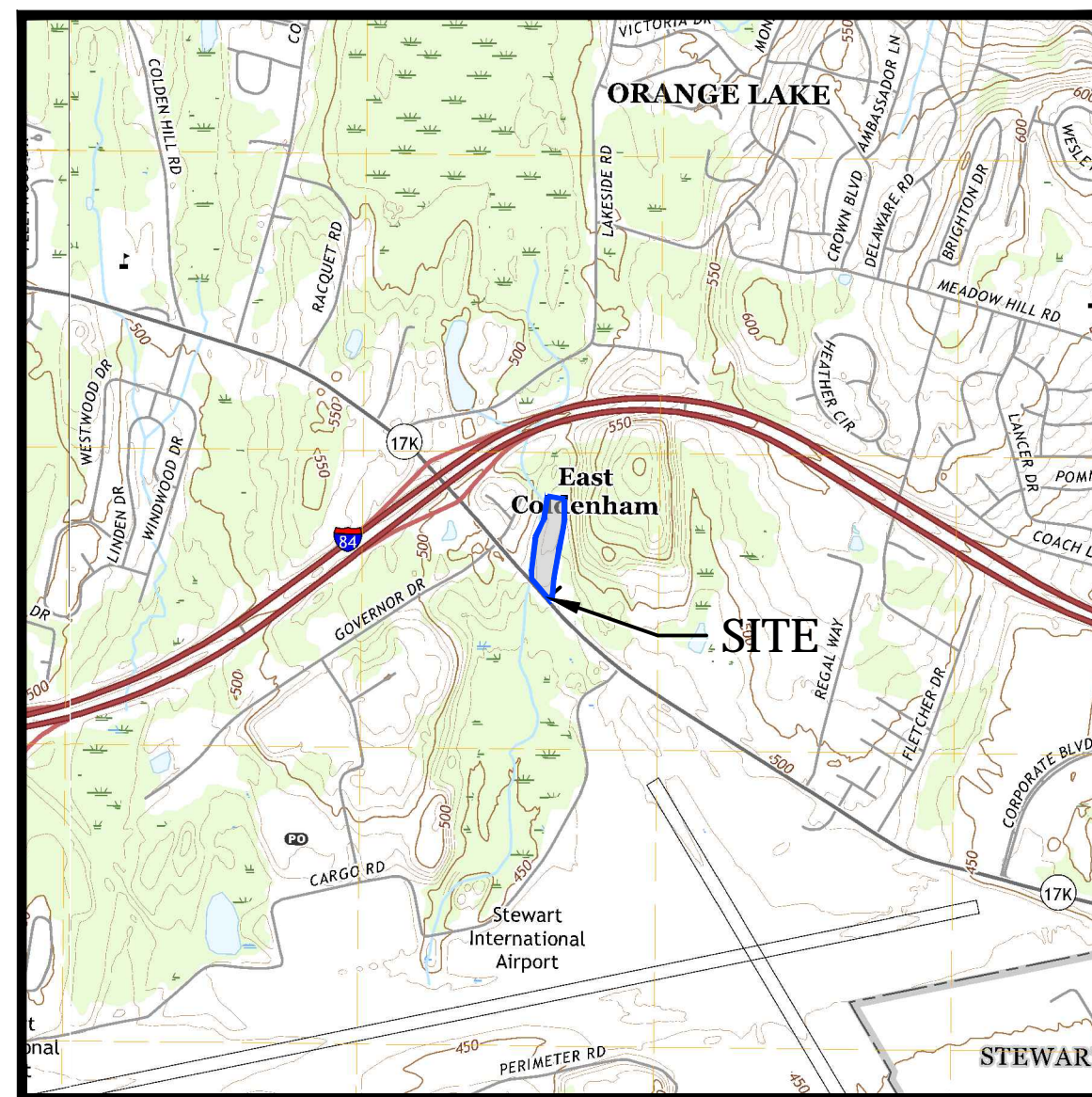
ALIGN DESIGN ASSOCIATES
145 CHURCH STREET NE, SUITE 240
MARIETTA, GA 30060

DEVELOPMENT DESCRIPTION:

THE DEVELOPMENT PROPOSES TO DEMOLISH AN EXISTING VACANT STRUCTURE AND CONSTRUCT A NEW INDUSTRIAL EQUIPMENT YARD, INCLUDING PARKING, UTILITIES, AND STORM WATER MANAGEMENT FACILITIES.

TABLE OF LOT REQUIREMENTS FOR IB DISTRICT FOR THE TOWN OF NEWBURGH:

BULK & AREA CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM TOTAL LOT AREA (SQ. FEET)	40,000	257,660	257,660
MINIMUM WIDTH (FEET)	150	346.20	346.20
MINIMUM DEPTH (FEET)	150	1040.44	1040.44
MAXIMUM LOT BUILDING COVERAGE (%)	40 %	4.13%	5.00%
MAXIMUM BUILDING HEIGHT (FEET)	40	15	25
MAXIMUM LOT SURFACE COVERAGE (%)	80 %	16.90%	55.00%
FRONT YARD SETBACK (FEET)	50	103.00	95.39
SIDE YARD SETBACK (FEET)	30 (SINGLE)	46.65	79.16
SIDE YARD SETBACK (FEET)	80 (COMBINED)	162.54	186.76
REAR YARD SETBACK (FEET)	60	780	685.86



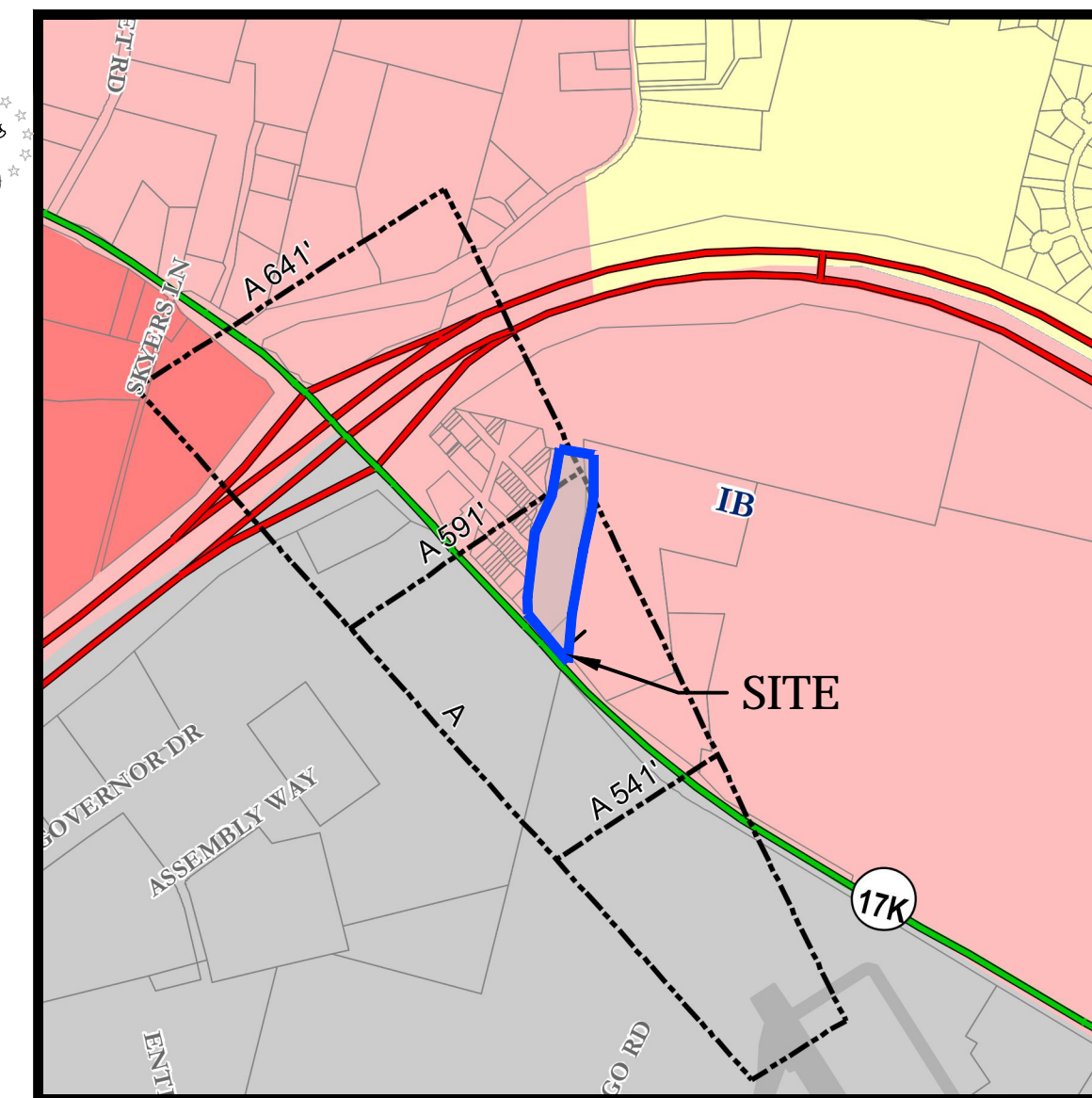
USGS QUAD MAP - NEWBURGH

SCALE: 1" = 2,000'



AERIAL MAP

SCALE: 1" = 1,000'



ZONING MAP

SCALE: 1" = 1,000'

SHEET NO.	REFERENCE	SHEET TITLE
1	C000	COVER SHEET
2	C300	DEMOLITION PLAN
3	C400	SITE PLAN
4	C500	GRADING PLAN
5	C600	UTILITY PLAN
6	C800	SITE DETAILS
7	C810	UTILITY DETAILS
8	C820	STORMWATER MANAGEMENT DETAILS
9	C900	LANDSCAPING PLAN AND DETAILS
10	C1000	VEHICLE TURNING PLAN-WB 67
11	C2000	SOIL EROSION & SEDIMENT CONTROL PLAN
12	C2100	E&S DETAILS

REV	DATE	DESCRIPTION
1	06/30/22	UPDATED PRELIM REVIEW LETTERS DATED 07/21/22 AND CREGHTON MANNING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369 INDEPENDENCE@INDEPENDENG.COM

FINAL LAND DEVELOPMENT PLAN SET
COVER SHEET
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #
0 1000 2000
GRAPHIC SCALE: 1" = 2000'

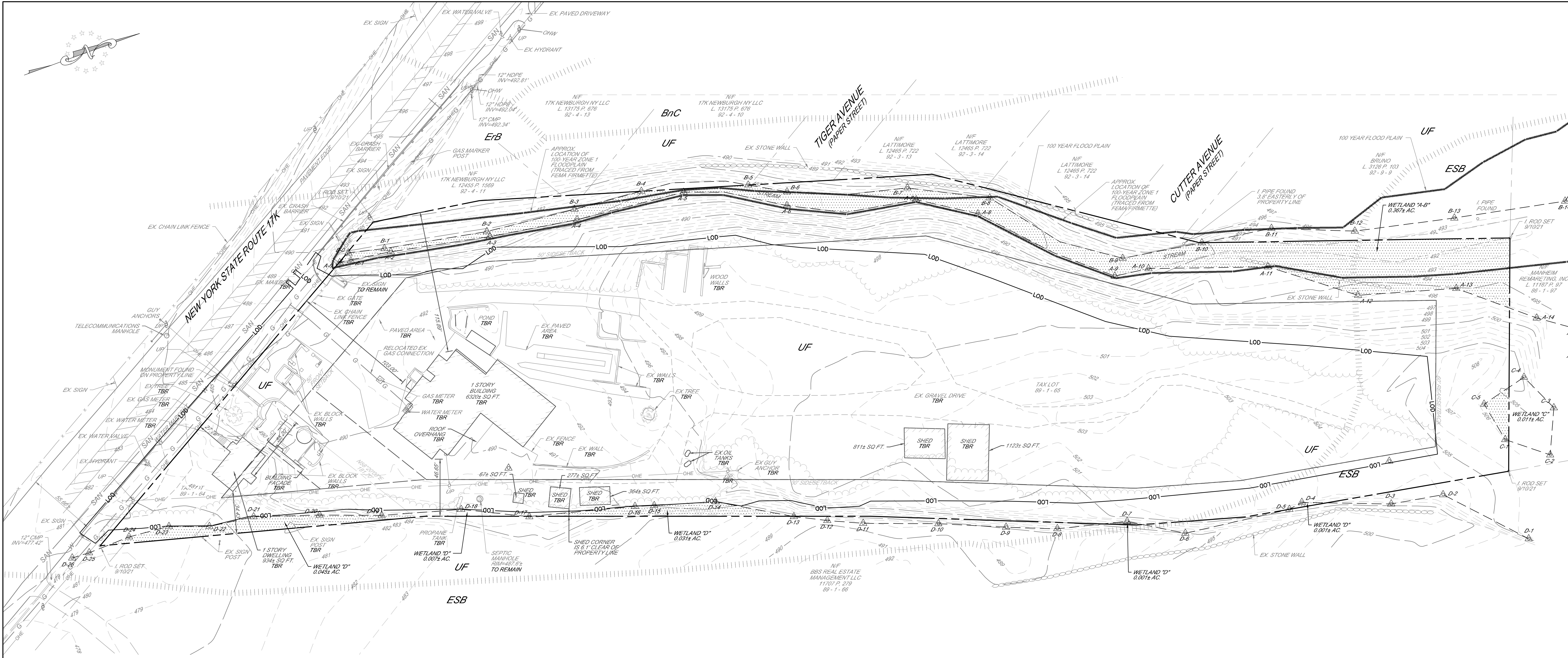
PROJECT
028-004
DATE
06/17/2022
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DESIGNED JWJ CHECKED NES/JWJ

STATE OF NEW YORK
Nail S. Sander
7961
PROFESSIONAL ENGINEER
08/30/2022

C000
SHEET 1 OF 12



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GENERAL DEMOLITION NOTES:

- ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "ALTANSPS SURVEY PREPARED FOR MOFFAT PROPERTIES TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK" DATED MAY 16, 2022 PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.
- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 FOR UTILITY MARK OUT PRIOR TO ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ANY EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- DEMOLITION SHALL PROCEED FROM THE TOP OF THE STRUCTURE TO THE GROUND.
- ALL DEMOLITION WORK SHALL BE COMPLETED ON A GIVEN FLOOR OF A BUILDING BEFORE ANY STRUCTURAL ELEMENTS OF THE LOWER FLOORS ARE DISTURBED.
- CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS.
- STRUCTURAL MEMBERS SHALL BE REMOVED AND LOWERED TO THE GROUND USING HOISTS, DERRICKS, AND/OR OTHER INDUSTRY-ACCEPTED METHODS.
- CONCRETE SLABS-ON-GRADE SHALL BE BROKEN UP UNLESS OTHERWISE DIRECTED.
- DEMOLITION EQUIPMENT SHALL BE LOCATED SPARSELY THROUGHOUT THE STRUCTURE AND MATERIALS REMOVED IN A MANNER TO AVOID THE IMPOSITION OF EXCESSIVE LOADS ON REMAINING STRUCTURAL ELEMENTS.
- INTERIOR AND EXTERIOR SHORING, BRACING, AND/OR SUPPORTS SHALL BE PROVIDED TO PREVENT MOVEMENT, SETTLEMENT, AND COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES.
- ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE FOOTPRINT OF THE FUTURE STRUCTURE SHALL BE DEMOLISHED. ALL OTHER FOUNDATION SYSTEMS SHALL BE DEMOLISHED TO A DEPTH OF NO LESS THAN TWELVE (12) INCHES BELOW THE GRADE OF PROPOSED PAVEMENT. BASEMENT FLOOR SLABS SHALL BE BROKEN. ALL OPEN UTILITY LINES SHALL BE SEALED WITH CONCRETE.
- COVERED PASSAGEWAYS SHALL BE ERRECTED ADJACENT TO AREAS OF DEMOLITION TO PROVIDE SAFE PASSAGE TO PEDESTRIANS. ALL DEMOLITION OPERATIONS SHALL BE PERFORMED TO PREVENT DAMAGE TO STRUCTURES AND ADJACENT BUILDINGS, AND INJURY TO PERSONS.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION.
- DEMOLITION SHALL BE PERFORMED TO MINIMIZE INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER WAYS. ROADS, STREETS, WALKS, AND OTHER WAYS SHALL NOT BE CLOSED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION. ALTERNATE TRAVEL ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- WATERING, TEMPORARY ENCLOSURES, AND/OR OTHER APPROPRIATE METHODS SHALL BE EMPLOYED AS NECESSARY TO MINIMIZE THE AMOUNT OF DUST LEAVING THE DEMOLITION SITE. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. ALL ADJACENT AREAS SHALL BE RETURNED TO THE CONDITIONS IN EXISTENCE AT THE COMMENCEMENT OF WORK.
- DEMOLITION SHALL BE PERFORMED TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS TO THE SITE AT ANY TIME.
- BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES AND FOUNDATIONS SHALL BE FILLED WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES LARGER THAN SIX (6) INCHES IN DIMENSION SHALL NOT BE USED. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. AREAS TO BE FILLED SHALL BE FREE STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILLING. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING SIX (6) INCHES IN LOOSE DEPTH, AND EACH COMPACTED TO 95% OPTIMUM DRY DENSITY. THE SURFACE SHALL BE GRADED TO MEET ADJACENT CONTOURS AND TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM FILL AREA.

- ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, AND HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EARLIEST POSSIBLE TIME. MATERIALS TO BE REMOVED MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND PROCEDURES ENFORCED BY THE FIRE DEPARTMENT AND OTHER AUTHORITIES HAVING JURISDICTION.
- ALL UTILITIES SERVICING STRUCTURES TO BE DEMOLISHED SHALL BE DISCONNECTED, SHUT OFF, AND SEALED IN CONCRETE PRIOR TO THE COMMENCEMENT OF DEMOLITION. ALL UTILITY, DRAINAGE, AND SANITARY LINES SHALL BE MARKED FOR POSITION PRIOR TO DISCONNECTION, AND ALL ACTIVE LINES SHALL BE PROTECTED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS. ALL UTILITY SERVICES TO BE INTERRUPTED SHALL BE CLEARLY MARKED PRIOR TO DEMOLITION, AND ALL LOCAL UTILITY AGENCIES SHALL BE NOTIFIED TO ENSURE THE CONTINUATION OF SERVICE.
- ALL EXISTING UTILITIES SHALL BE REMOVED, AS NECESSARY, IN ACCORDANCE WITH LOCAL UTILITY AGENCY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
- TEMPORARY SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.
- A DEMOLITION PERMIT FOR ANY MATERIALS PROPOSED TO BE REMOVED FROM THE SITE IS REQUIRED.
- PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF X AND A ON FLOOD INSURANCE RATE MAP NO. 30071C0138E WITH A DATE OF AUGUST 3, 2009, FOR COMMUNITY NUMBER 306627 IN ORANGE COUNTY, NY.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	DISSOLVED PROPERTY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	LIMIT OF DISTURBANCE
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING STORM
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING SOILS LINE
	EXISTING WETLANDS FLAG
	EXISTING SOILS LABEL
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SPOT ELEVATION

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CREGHTON MANNING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC

102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369 INDEPENDENCE@INDEPENDENG.COM

FINAL LAND DEVELOPMENT PLAN SET
DEMOLITION PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

ID #

40 20 0
GRAPHIC SCALE: 1" = 40'

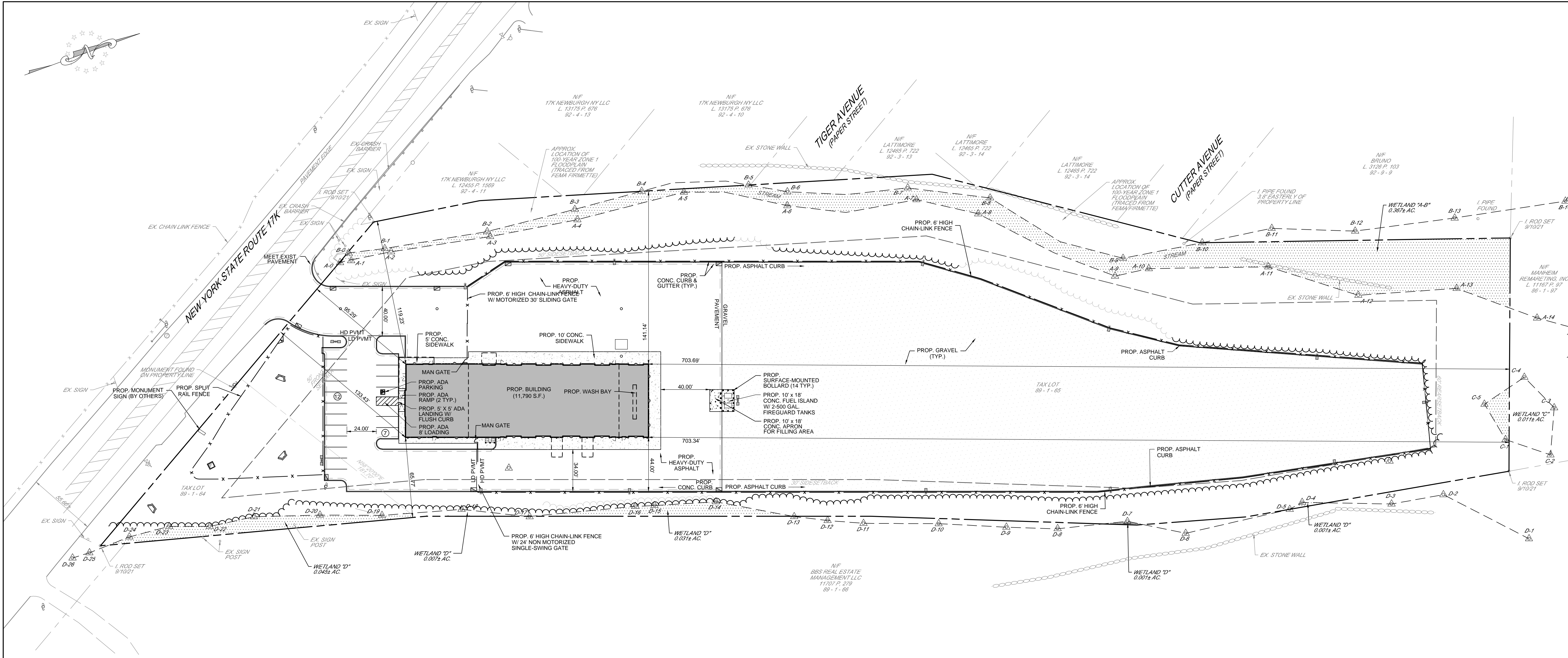
PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DESIGNED	JWJ
CHECKED	NES/JWJ

08/30/2022

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SHEET	2	OF	12
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SITE PLAN NOTES:

- APPLICANT:
MOFFAT PROPERTIES, INC.
701 FINGER LAKES DRIVE
WAKE FOREST, NC 27687
- ENGINEER:
INDEPENDENCE ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08505
- SURVEYOR:
LANC & TULLY ENGINEERING & SURVEYING, P.C.
PO BOX 687
ROUTE 207
GOSHEN, NY 10924
- GEOTECHNICAL CONSULTANT:
MULA DESIGN GROUP
325 COTTAGE HILL ROAD
YORK, PA 17401
- ARCHITECT:
ALIGN DESIGN ASSOCIATES
145 CHURCH STREET NE, SUITE 240
MARIETTA, GA 30060
- BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED 'ALTANSPS SURVEY PREPARED FOR MOFFAT PROPERTIES TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK' DATED MAY 16, 2022, PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING P.C.
- NO SOILS REPORT HAS BEEN PERFORMED IN PREPARATION OF THIS PLAN. IF ONE IS REQUIRED, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW YORK, TO PERFORM TESTING AND ANALYSIS AS NECESSARY.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUESTED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS PROVIDED BY ALL APPLICABLE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS TO EXISTING CONDITION, INCLUDING PAVED AREAS AND LANDSCAPED AREAS.
- SOLID WASTE SHALL BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL UNSUITABLE EXCAVATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING CONSTRUCTION. SHORING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CURRENT OSHA STANDARDS. CONTRACTOR SHALL MAKE SUFFICIENT ADDITIONAL PROVISIONS TO ENSURE STABILITY OF ALL CONTIGUOUS AND ADJACENT STRUCTURES, AS FIELD CONDITIONS MAY DICTATE.
- CONTRACTOR AND ANY SUBCONTRACTORS SHALL CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE, AND COMMERCIAL GENERAL LIABILITY INSURANCE AT REQUIRED LIMITS OF COVERAGE. ALL CONTRACTORS SHALL HAVE COI POLICIES ISSUED TO INCLUDE INDEPENDENCE ENGINEERING LLC, WITH ITS SUBCONSULTANTS LISTED AS ADDITIONAL INSURED. ALL CONTRACTORS MUST FURNISH INDEPENDENCE ENGINEERING LLC WITH CERTIFICATES OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK, AND UPON RECEIPT OF EACH POLICY DURING THE TERM OF CONSTRUCTION. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS INDEPENDENCE ENGINEERING LLC AND ITS SUBCONSULTANTS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- NEITHER THE PROFESSIONAL ACTIVITIES OF INDEPENDENCE ENGINEERING LLC NOR THE PRESENCE OF ITS EMPLOYEES AT THE PROJECT SITE SHALL RELIEVE THE CONTRACTOR OF ITS DUTIES, OBLIGATIONS, AND/OR RESPONSIBILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCING AND/OR PROTOCOLS NECESSARY FOR PERFORMING, COORDINATING, AND/OR SUPERINTENDING THE WORK IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND APPLICABLE HEALTH AND SAFETY REGULATIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR SITE SAFETY PLANNING, PROVISIONING, IMPLEMENTATION, AND MAINTENANCE. INDEPENDENCE ENGINEERING LLC BEARS NO AUTHORITY TO EXERCISE CONTROL OVER CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH CONSTRUCTION.
- INDEPENDENCE ENGINEERING LLC SHALL REVIEW AND TAKE APPROPRIATE ACTION ON SUBMITTALS TO BE SUBMITTED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PRODUCT, DATA, AND MATERIAL SAMPLES. INDEPENDENCE ENGINEERING LLC SHALL REVIEW SUBMITTALS ONLY FOR CONSISTENCY WITH THE DESIGN DRAWINGS. SUBMITTALS SHALL NOT BE REVIEWED FOR CONSTRUCTION MEANS AND METHODS, COORDINATION OF TRADES, OR SITE SAFETY, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INDEPENDENCE ENGINEERING LLC SHALL NOT BE LIABLE FOR DEVIATIONS OR THE RESULTS THEREFROM FROM THE APPROVED CONSTRUCTION DRAWINGS, UNLESS SAID DEVIATIONS ARE PROVIDED IN WRITING BY THE CONTRACTOR PRIOR TO IMPLEMENTATION, AND APPROVED IN WRITING BY INDEPENDENCE ENGINEERING LLC.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES THEREON, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM INDEPENDENCE ENGINEERING LLC AND THE PROJECT OWNER. SHOULD THE CONTRACTOR DEVIATE FROM THE APPROVED PROJECT DOCUMENTS, HE SHALL BEAR SOLE RESPONSIBILITY FOR FINES, PENALTIES, AND ALL COMPENSATORY AND PUNITIVE DAMAGES RESULTING THEREFROM. IN SUCH CASE, THE CONTRACTOR SHALL INDEMNIFY AND HOLD INDEPENDENCE ENGINEERING LLC HARMLESS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- DISPUTES BETWEEN INDEPENDENCE ENGINEERING LLC AND THE CONTRACTOR SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL INCLUDE A PROVISION IN THEIR CONTRACTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS, PROVIDING FOR MEDIATION AS THE PRIMARY METHOD OF DISPUTE RESOLUTION BETWEEN THOSE PARTIES.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS,' PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, INCLUDING LOCALLY ADOPTED REVISIONS THERETO.
- BUILDING SETBACKS SHOWN HEREON ARE MEASURED FROM THE EXTERIOR FACE OF BUILDING WALLS. SETBACKS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ARCHITECTURAL ELEMENTS, SIGNAGE, OR OTHER EXTERIOR EXTENSION UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES AND CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY IN THE FIELD AND WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY "DIG SAFE 811" 72 HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER AUTHORITIES TO MARK OUT THEIR SYSTEMS.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES SHALL NOT BE LARGER THAN 6 INCHES IN ANY DIMENSION. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- ALL DEBRIS, RUBBISH, SALVAGE, HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED AT THE EARLIEST POSSIBLE TIME. REMOVED MATERIALS MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH PROCEDURES ADOPTED BY THE LOCAL FIRE DEPARTMENT AND OTHER JURISDICTIONAL AGENCIES.

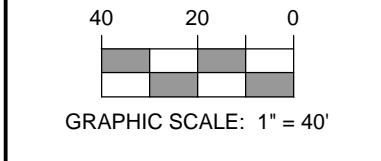
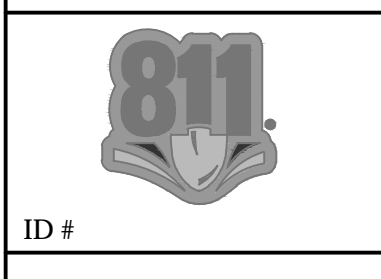
LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	DISSOLVED PROPERTY LINE
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	EXISTING EASEMENT
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	EXISTING WETLANDS
	EXISTING WETLANDS FLAG
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	PROP. INLET
	PROP. END WALL
	PROP. UTILITY POLE

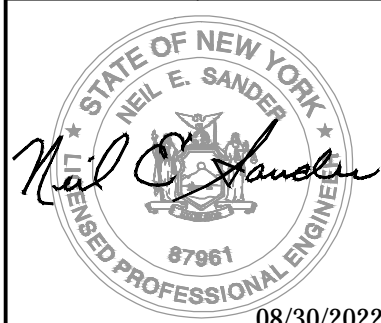
REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CREDITON MANNING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08505
(609) 496-9369 INDEPENDENCE@INDEPENGG.COM

FINAL LAND DEVELOPMENT PLAN SET
SITE PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



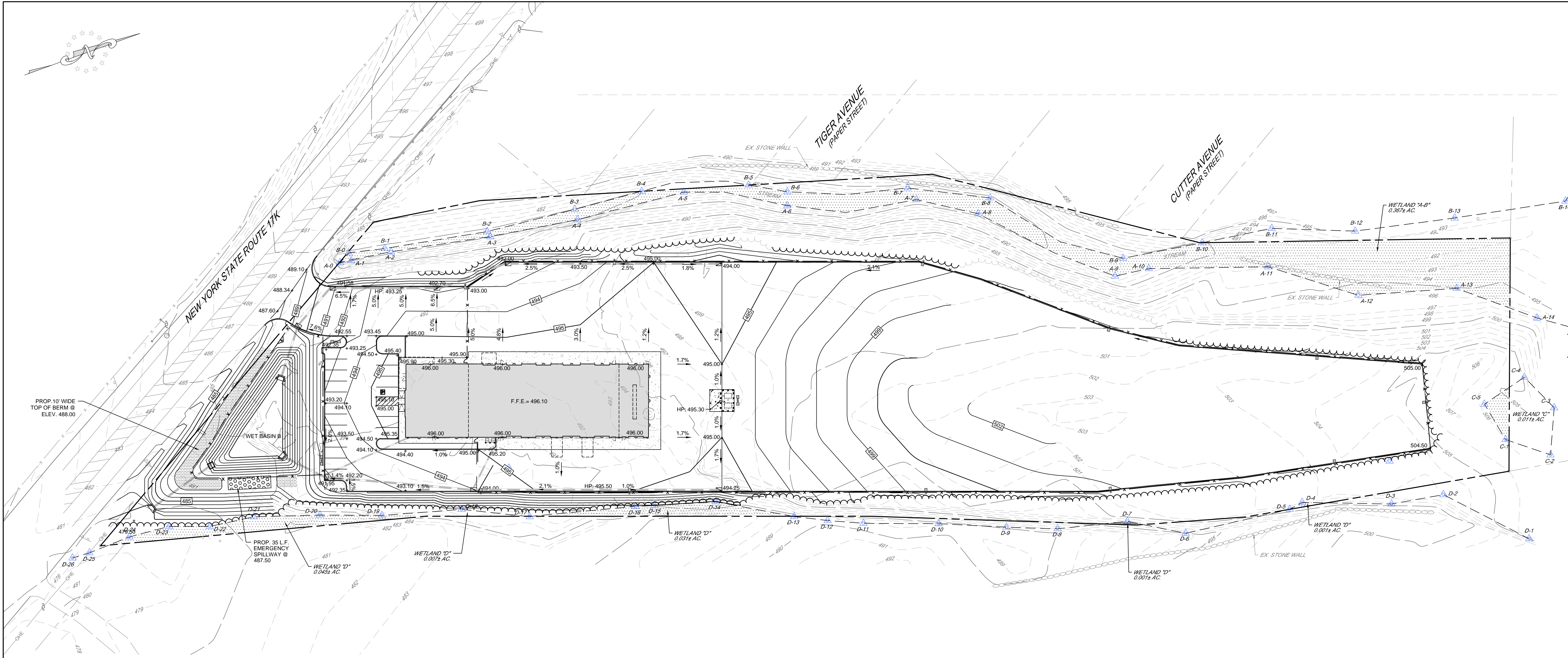
PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES/JWJ



C400

SHEET	OF
3	12

N:\028-ALIGNED\028-004-SUNBELT\NEWBURGH\PROJECT\ENGINEERING\DRAWINGS\028-004-S-SITE-MARK-SHEARER-2022-08-30



GRADING NOTES:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING, OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT (IF ONE HAS BEEN PREPARED). ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED IN THE STATE IN WHICH THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, CURBS, AND MINIMUM 0.7% SLOPE ON ALL CONCRETE AND ASPHALT SURFACES TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OF PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH KNOWN DESIGN TOLERANCE DISCREPANCIES SHALL BE AT THE CONTRACTOR'S RISK.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY, AS DETERMINED BY MODIFIED PROCTOR METHOD.
- IN CASE OF DISCREPANCIES BETWEEN THE PLANS, THE SITE PLAN SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND ACCESSIBLE STRIPING AREAS.
- OWNER SHALL RETAIN A QUALIFIED GEOTECHNICAL ENGINEER TO TEST PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF BASIN BOTTOM MATERIALS, INCLUDING INFILTRATION AND RETENTION BASINS. CONTRACTOR SHALL REMOVE UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK MATERIAL AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND PLACED FILL SHALL HAVE A PERMEABILITY GREATER THAN OR EQUAL TO DESIGN CRITERIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM MEANS, METHODS, AND MATERIALS, AND TO SCHEDULE REQUIRED INSPECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- PERMANENT SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.
- THE SITE CUT-FILL IS EXPECTED TO BALANCE. NO IMPORT OR EXPORT OF FILL MATERIAL IS EXPECTED.
- REFER TO SITE PLAN NOTES FOR ADDITIONAL NOTES.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	EXISTING OVERHEAD WIRES
	EXISTING WETLANDS
	EXISTING WETLANDS FLAG
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SPOT ELEVATION
	PROP. INLET
	PROP. END WALL
	PROP. CURB INLET
	PROP. STORM PIPE
	PROP. CONTOUR - MAJOR
	PROP. CONTOUR - MINOR

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTERS DATED 07/21/22 AND CREDITON MANNING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369 INDEPENDENCE@INDEPENDENCE.COM

FINAL LAND DEVELOPMENT PLAN SET
GRADING PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #

GRAPHIC SCALE: 1" = 40'

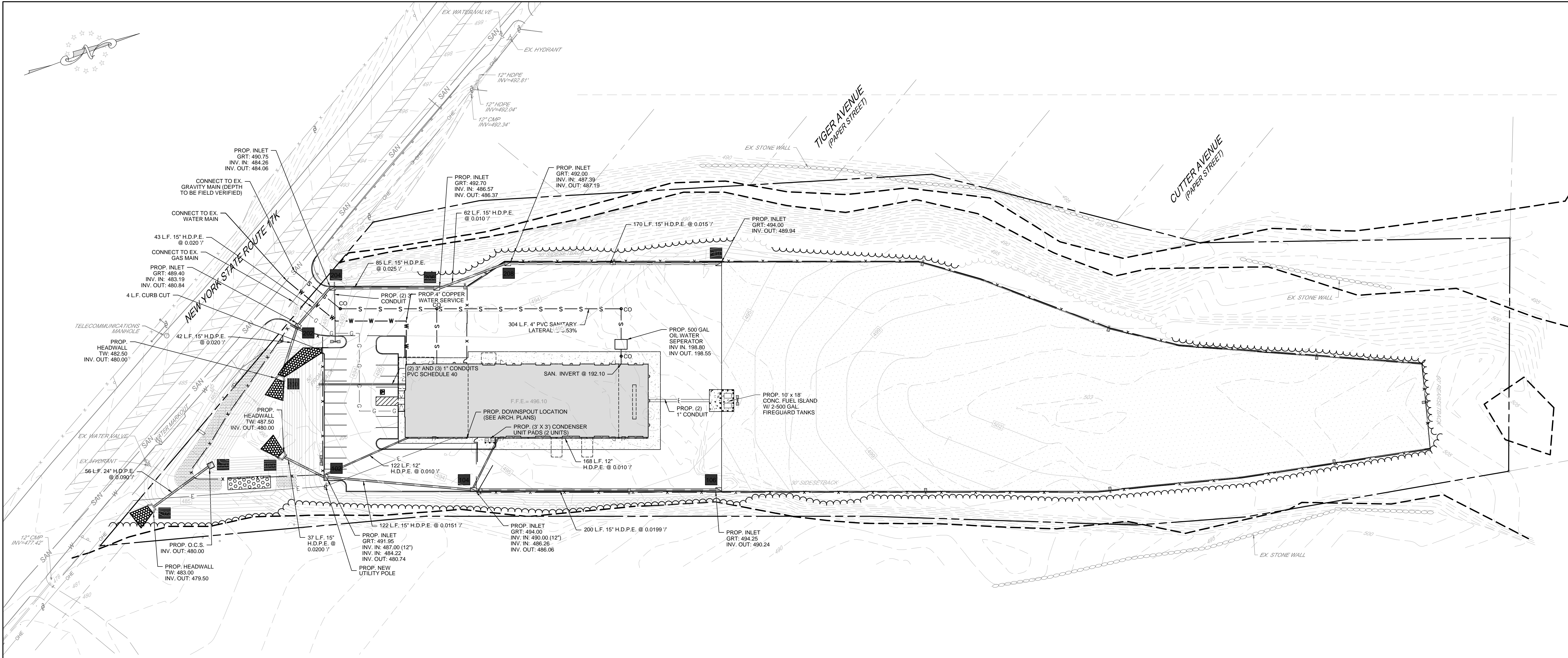
PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES/JWJ

STATE OF NEW YORK
Nal S. Sander
REGISTERED PROFESSIONAL ENGINEER
87961
08/30/2022

C500

SHEET	OF
4	12

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EXISTING UTILITY NOTES:

- CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE.
- IF REUSE OF EXISTING WATER SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE PUBLIC MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS. TERMINATION MUST BE APPROVED BY THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS PRIOR TO COMPLETION.
- NEW WATER SERVICE LOCATIONS SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING WATER SERVICES AND/OR INSTALLATION OF NEW WATER SERVICES.
- CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE.
- IF REUSE OF EXISTING GAS SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GAS COMPANY. TERMINATION MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION.
- NEW GAS SERVICE LOCATIONS SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING GAS SERVICES AND/OR INSTALLATION OF NEW GAS SERVICES.
- CONTRACTOR TO LOCATE AND UTILIZE EXISTING SANITARY SEWER SERVICE CONNECTION IF FEASIBLE AND ADEQUATELY SIZED.
- IF REUSE OF EXISTING SANITARY SEWER SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE PUBLIC MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS. TERMINATION MUST BE APPROVED BY THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS PRIOR TO COMPLETION.
- NEW SANITARY SEWER SERVICE LOCATIONS SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SANITARY SEWER SERVICES AND/OR INSTALLATION OF NEW SANITARY SEWER SERVICES.

UTILITY NOTES:

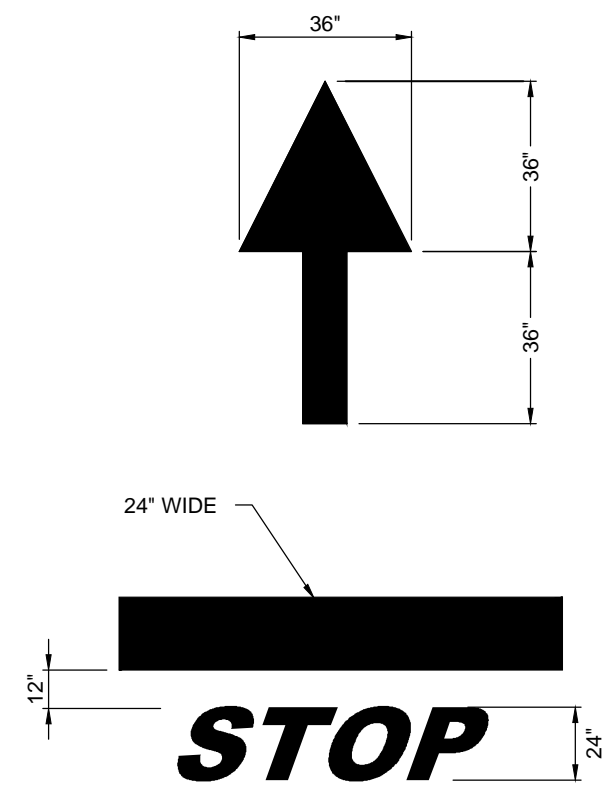
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES, INCLUDING BUT NOT LIMITED TO SANITARY, WATER, ELECTRIC, STORM, GAS, AND TELECOMMUNICATIONS, ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY AGENCIES AND AUTHORITIES PRIOR TO ANY CONSTRUCTION OR EXCAVATION. ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- CONSTRUCTION OF SANITARY AND STORM FACILITIES SHALL BEGIN AT THE LOWEST ELEVATION (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY DIG SAFE 811 AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL UTILITY AGENCIES AND AUTHORITIES TO MARK OUT FACILITIES PRIOR TO EXCAVATION.
- EXACT LOCATIONS AND SERVICE SIZES OF BUILDING UTILITY CONNECTIONS ARE SHOWN ON THE ARCHITECTURAL PLANS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE SPECIFIED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL WATER UTILITY. ENGINEER IS NOT RESPONSIBLE FOR THE COSTS ASSOCIATED WITH FEES AND APPURTENANCES REQUIRED BY THE LOCAL WATER UTILITY.
- SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST TEN (10) FEET HORIZONTALLY. WHERE SUCH SEPARATION IS NOT POSSIBLE, SEWER AND WATER MAINS SHALL BE IN SEPARATE TRENCHES, WITH THE SEWER MAIN AT LEAST EIGHTEEN (18) INCHES BELOW THE WATER MAIN.
- ALL SEWER PIPE INSTALLED WITH LESS THAN THREE (3) FEET OF COVER, GREATER THAN TWENTY (20) FEET OF COVER, OR WITHIN EIGHTEEN (18) INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, UNLESS OTHERWISE SPECIFIED.
- WHERE SANITARY SEWER LATERAL CONNECTIONS ARE GREATER THAN TEN (10) FEET DEEP AT THE POINT OF CONNECTION TO THE MAIN, A CONCRETE DROP MANHOLE SHALL BE USED.
- GAS, ELECTRIC, AND TELECOMMUNICATIONS LINES LOCATED HEREON ARE APPROXIMATE. ACTUAL LOCATION AND LAYOUT FOR GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE AT THE DIRECTION OF THE APPROPRIATE PROVIDER.
- MEANS, METHODS, AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE OWNER'S SPECIFICATIONS. IF SAID SPECIFICATIONS DO NOT EXIST, ALL MEANS, METHODS, AND MATERIALS SHALL BE PROVIDED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING STORM
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING WETLANDS FLAG
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SPOT ELEVATION
	PROP. INLET
	PROP. END WALL
	PROP. CURB INLET
	PROP. STOP SIGN
	PROP. UTILITY POLE
	PROP. SANITARY CLEAN OUT
	PROP. SANITARY LATERAL
	PROP. WATER SERVICE
	PROP. ELECTRIC
	PROP. GAS LATERAL
	PROP. CONTOUR - MAJOR
	PROP. CONTOUR - MINOR
	PROP. FENCE

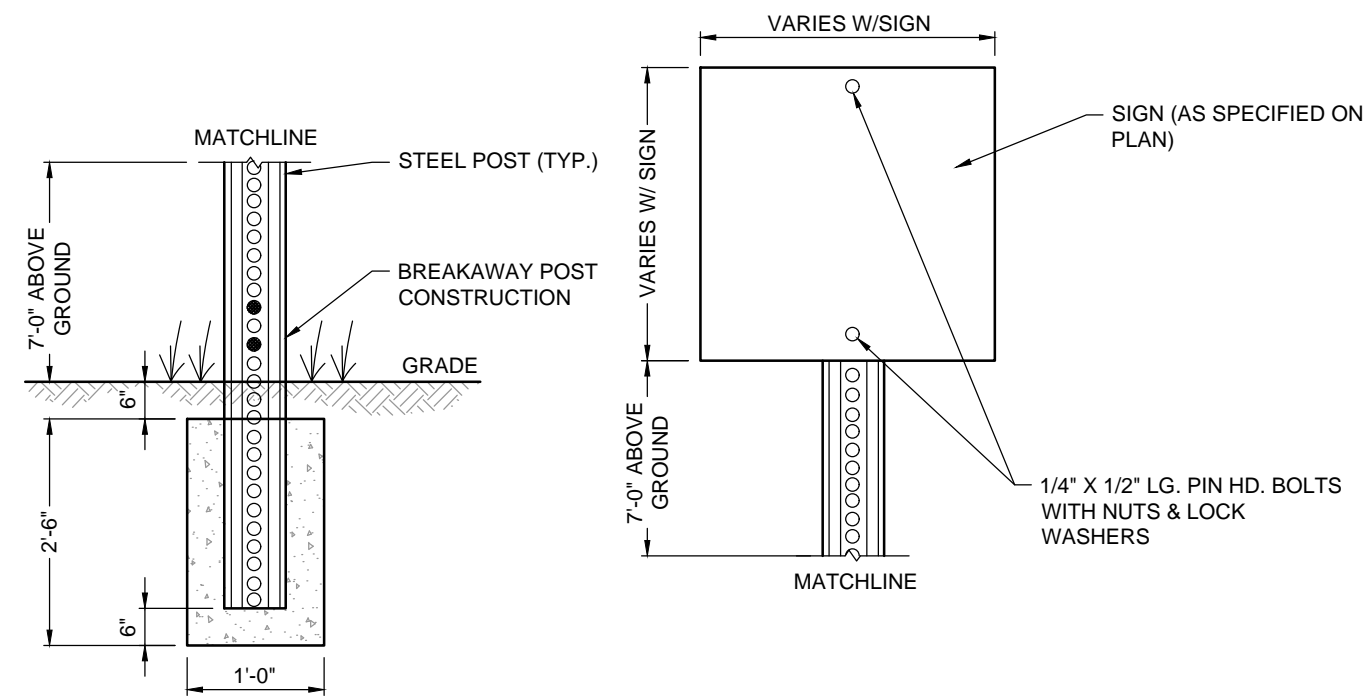
BY MAS	DESCRIPTION UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CREIGHTON MANNING REVIEW LETTER DATED 07/20/22
DATE 08/30/22	
REV 1	
 Independence ENGINEERING LLC 102 FARNSWORTH AVENUE, SUITE 310 BORDENTOWN, NJ 08805 (609) 496-9369 INDEPENDENCE@INDEPENDENG.COM	
FINAL LAND DEVELOPMENT PLAN SET UTILITY PLAN for SUNBELT RENTALS - NEWBURGH 224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
ID #	PROJECT 028-004
	DATE 06/17/2022
	SCALE 1" = 40'
DESIGNED JWJ	CHECKED NES/JWJ
08/30/2022	
C600	
SHEET 5	OF 12

A:\028 ALI\DESIGN\004 SUN BELT NEWBURGH\PROJECT ENGINEERING\DRAWINGS\028004-S-UTILITY-MARK SHEETER-2022-08-30

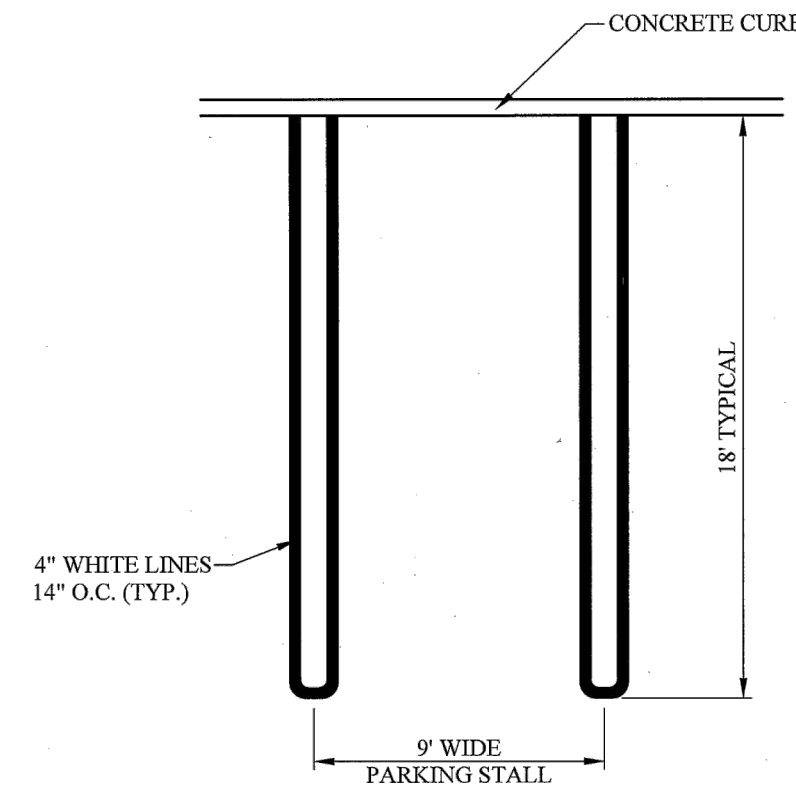


NOTE:
ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

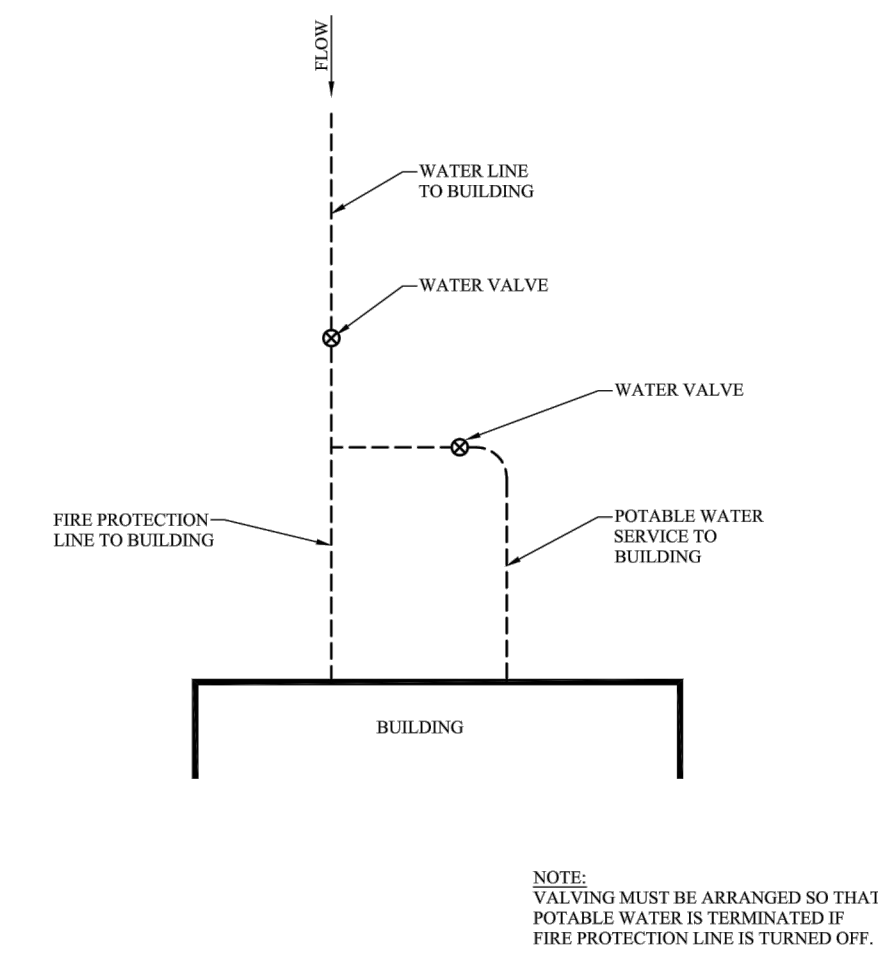
PAINTED PAVEMENT MARKING DETAIL
N.T.S.



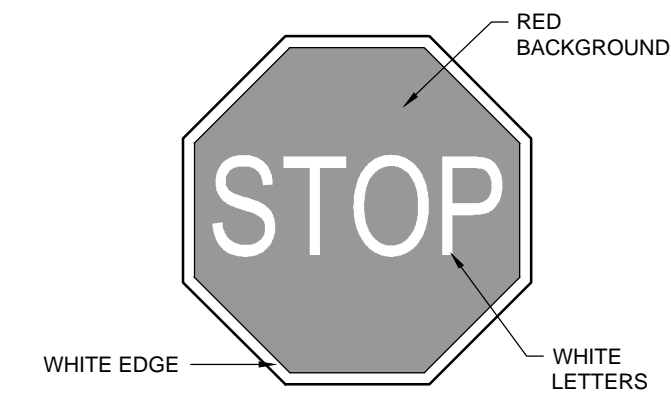
SIGN POST AND FOOTING DETAIL
N.T.S.



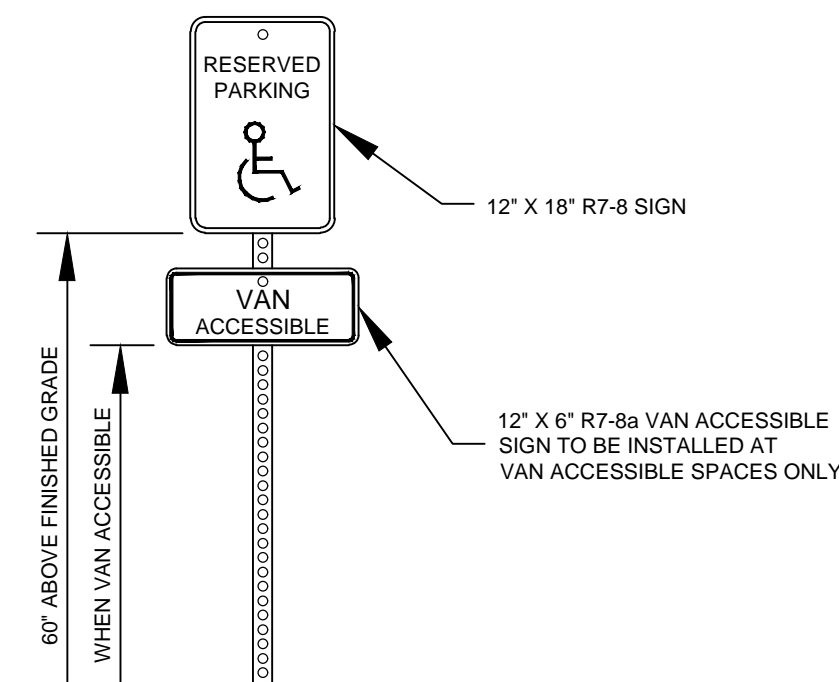
TYPICAL PARKING SPACE DETAIL
SCALE: N.T.S.



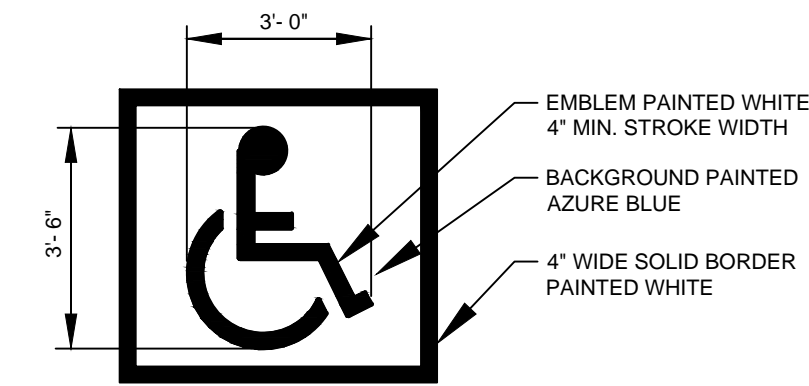
TOWN OF NEWBURGH FIRE PROTECTION
FLOW TO BLDG. CONNECTION DETAIL
SCALE: N.T.S.



STOP SIGN (R1-1) DETAIL
N.T.S.

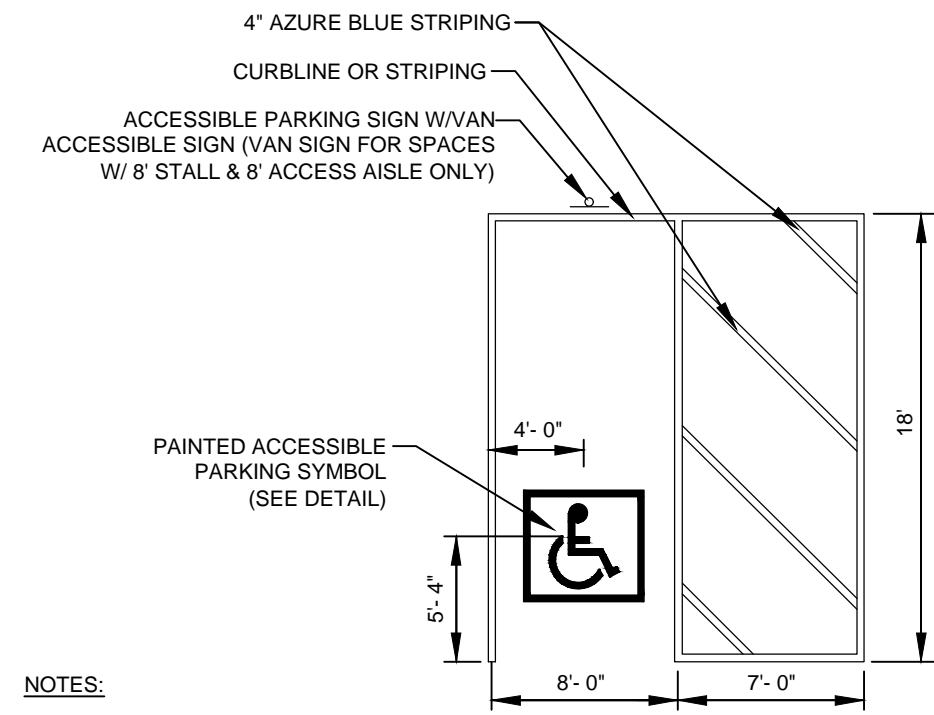


ACCESSIBLE PARKING SIGN
W/VAN ACCESSIBLE SIGN
N.T.S.



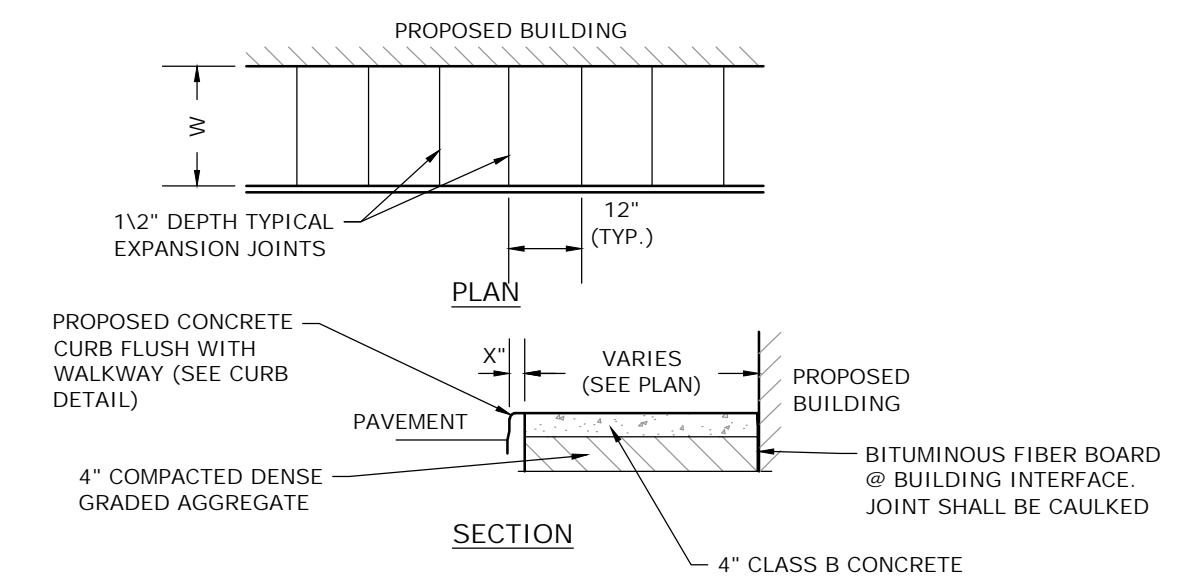
PAINTED ACCESSIBLE PARKING SYMBOL
N.T.S.

NOTES:
ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST NEW YORK ACCESSIBILITY STANDARDS.



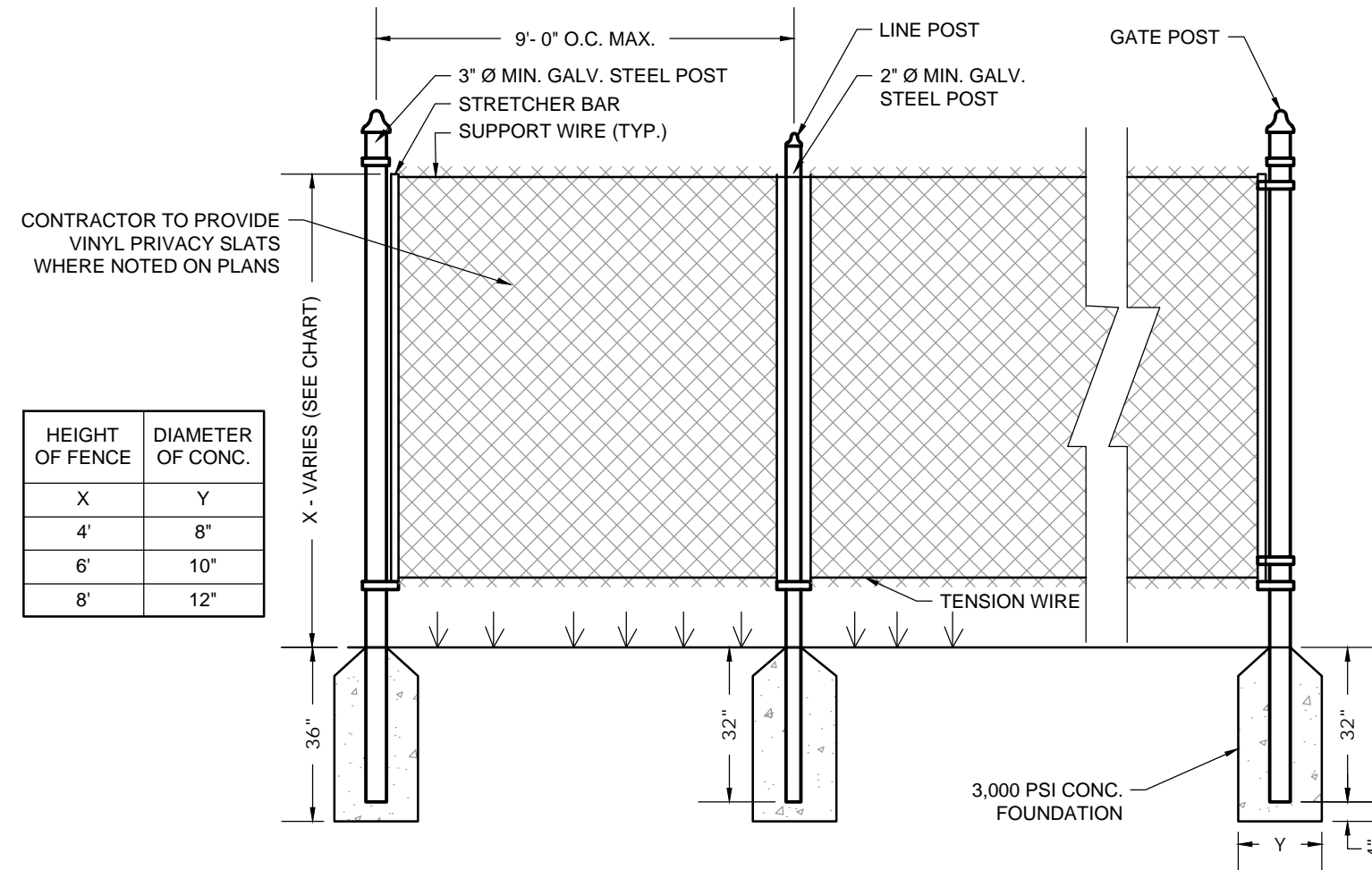
NOTES:
1. PAVEMENT STRIPING FOR ALL ACCESSIBLE PARKING SPACES SHALL BE PAINTED AZURE BLUE.
2. WHERE AN ACCESSIBLE PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED.
3. ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST NEW YORK ACCESSIBILITY STANDARDS.
4. CONTRACTOR TO ENSURE THAT GRADES WITHIN ACCESSIBLE SPACES DO NOT EXCEED 1.8% AT ANY POINT.

ACCESSIBLE PARKING STALL STRIPING
N.T.S.

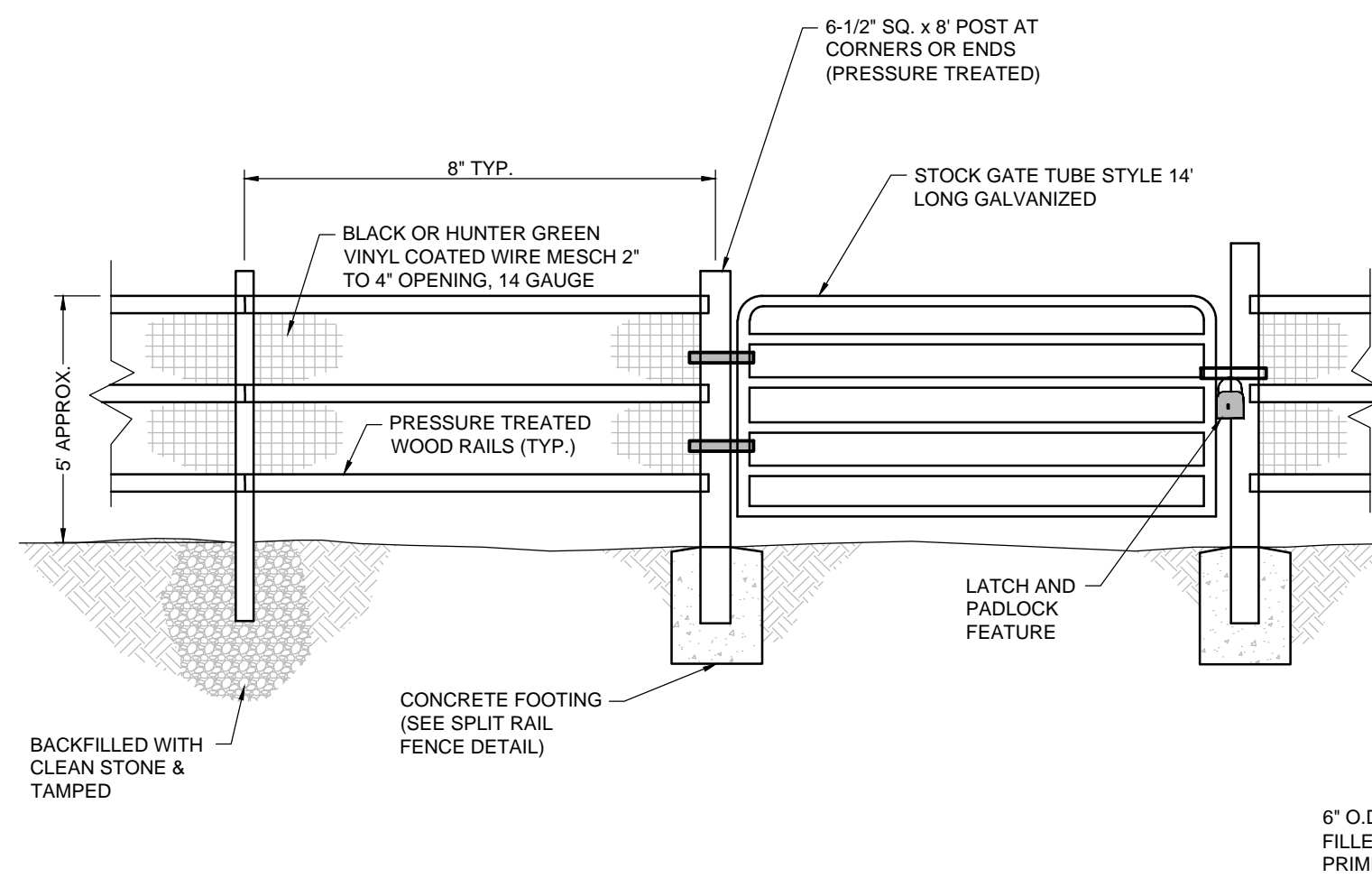


NOTES:
1. MAX. CROSS SLOPE 2% PITCHED AWAY FROM BUILDING.
2. PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT AT 12' INTERVALS.
3. REFER TO SEE PLAN FOR SIDEWALK WIDTH (W)
4. PROVIDE A BROOM FINISH FOR A SLIP-RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS.

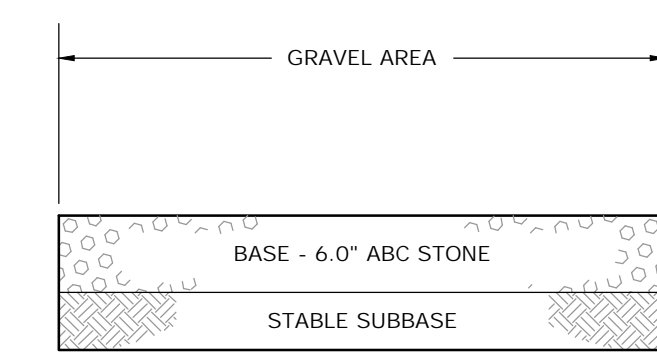
SIDEWALK AT BUILDING DETAIL
N.T.S.



CHAIN LINK FENCE DETAIL
N.T.S.

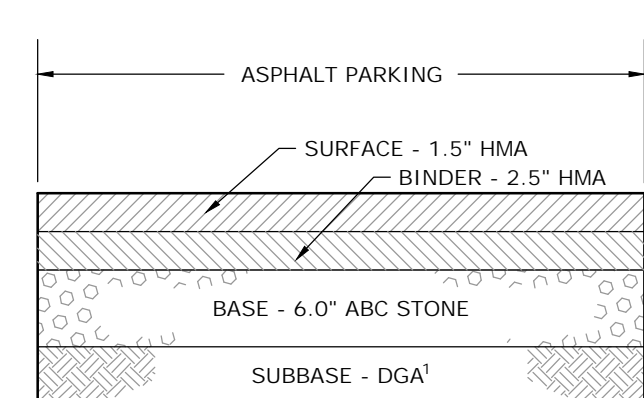


SPLIT RAIL FENCE & GATE DETAIL
N.T.S.



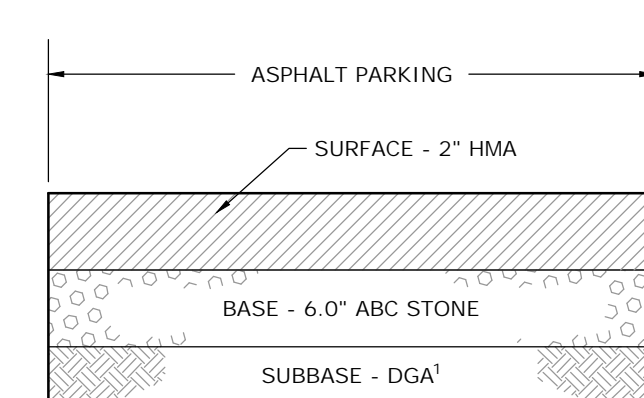
NOTES:
1. ALL GRAVEL MATERIALS SHALL BE IN ACCORDANCE WITH NYSDOT SPECIFICATIONS.
2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

GRAVEL SURFACE DETAIL
N.T.S.



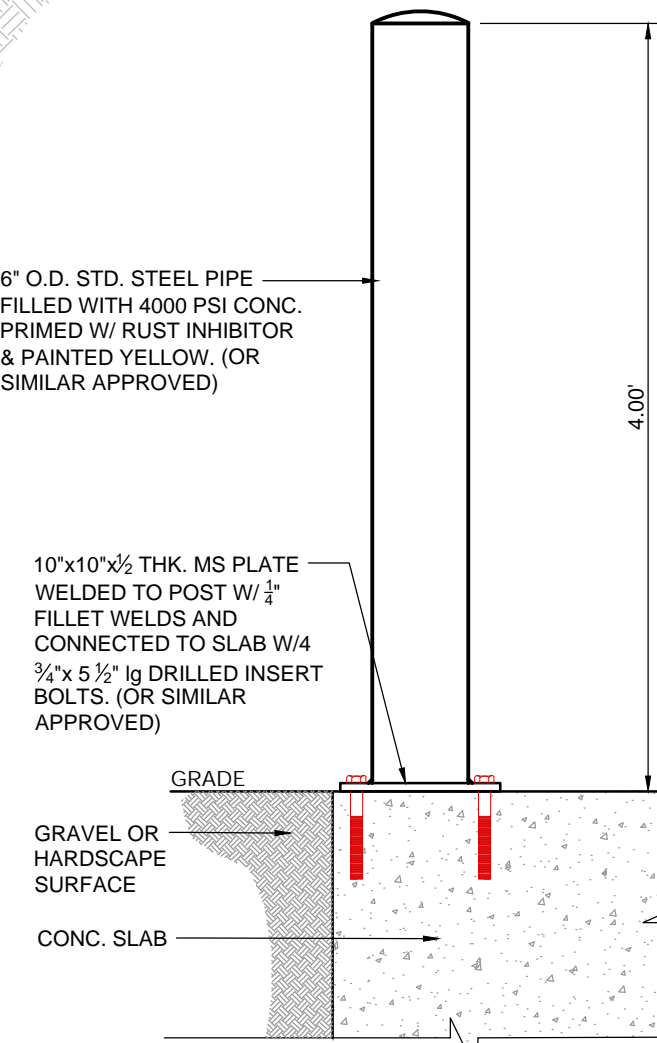
NOTES:
1. ALL PAVEMENT MATERIALS SHALL BE IN ACCORDANCE WITH NYSDOT SPECIFICATIONS.
2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

HEAVY DUTY PAVEMENT DETAIL
N.T.S.

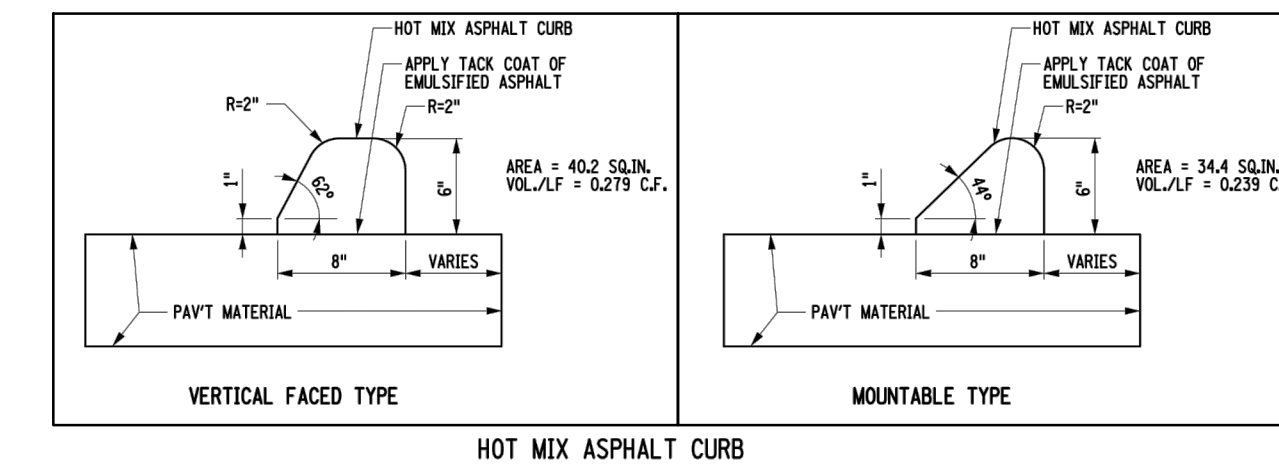


NOTES:
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2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

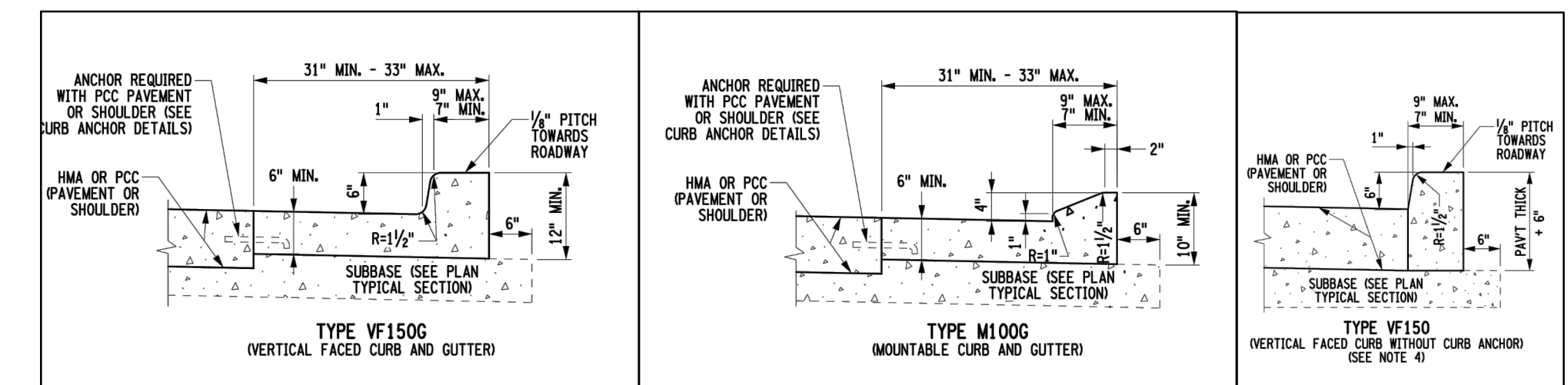
LIGHT DUTY PAVEMENT DETAIL
N.T.S.



SURFACE MOUNTED BOLLARD DETAIL
N.T.S.



HOT MIX ASPHALT CURB



CAST-IN-PLACE CONCRETE CURB AND GUTTER

CONCRETE AND HMA CURB AND GUTTER DETAIL
N.T.S.

NEW YORK STATE OF OPPORTUNITY. **Department of Transportation**
U.S. CUSTOMARY STANDARD SHEET
CONCRETE AND HMA CURB AND GUTTER - GENERAL DETAILS BEDDING AND BACKFILL
APPROVED SEPTEMBER 19, 2008 ISSUED UNDER EB 08-036
/S/ DANIEL D'ANGELO, P.E. 609-03
DEPUTY CHIEF ENGINEER (DESIGN)

Independence ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
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FINAL LAND DEVELOPMENT PLAN SET
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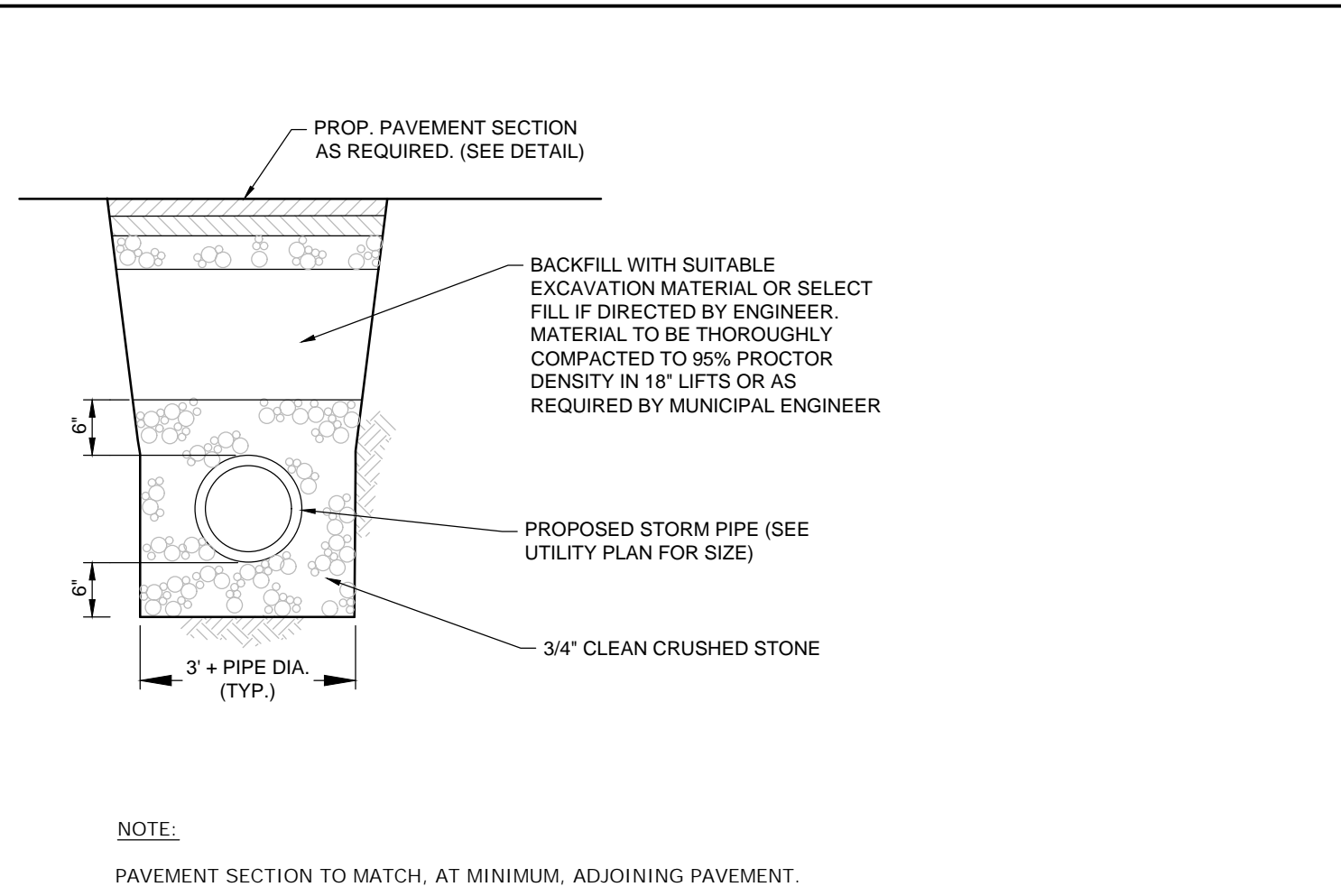
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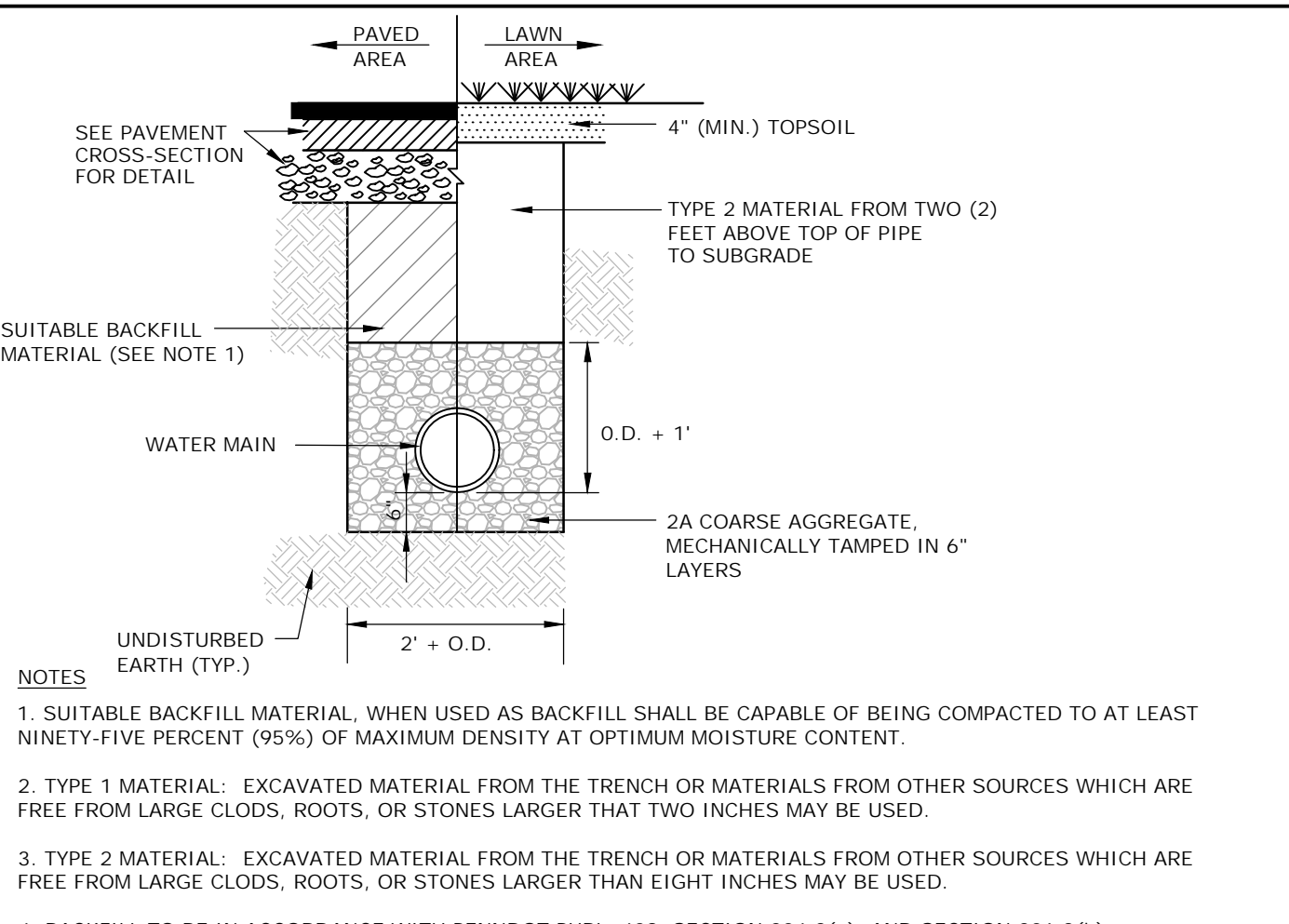
STATE OF NEW YORK
Nal E. Sander
REGISTERED PROFESSIONAL ENGINEER
87961
08/30/2022

C800
SHEET 6 OF 12

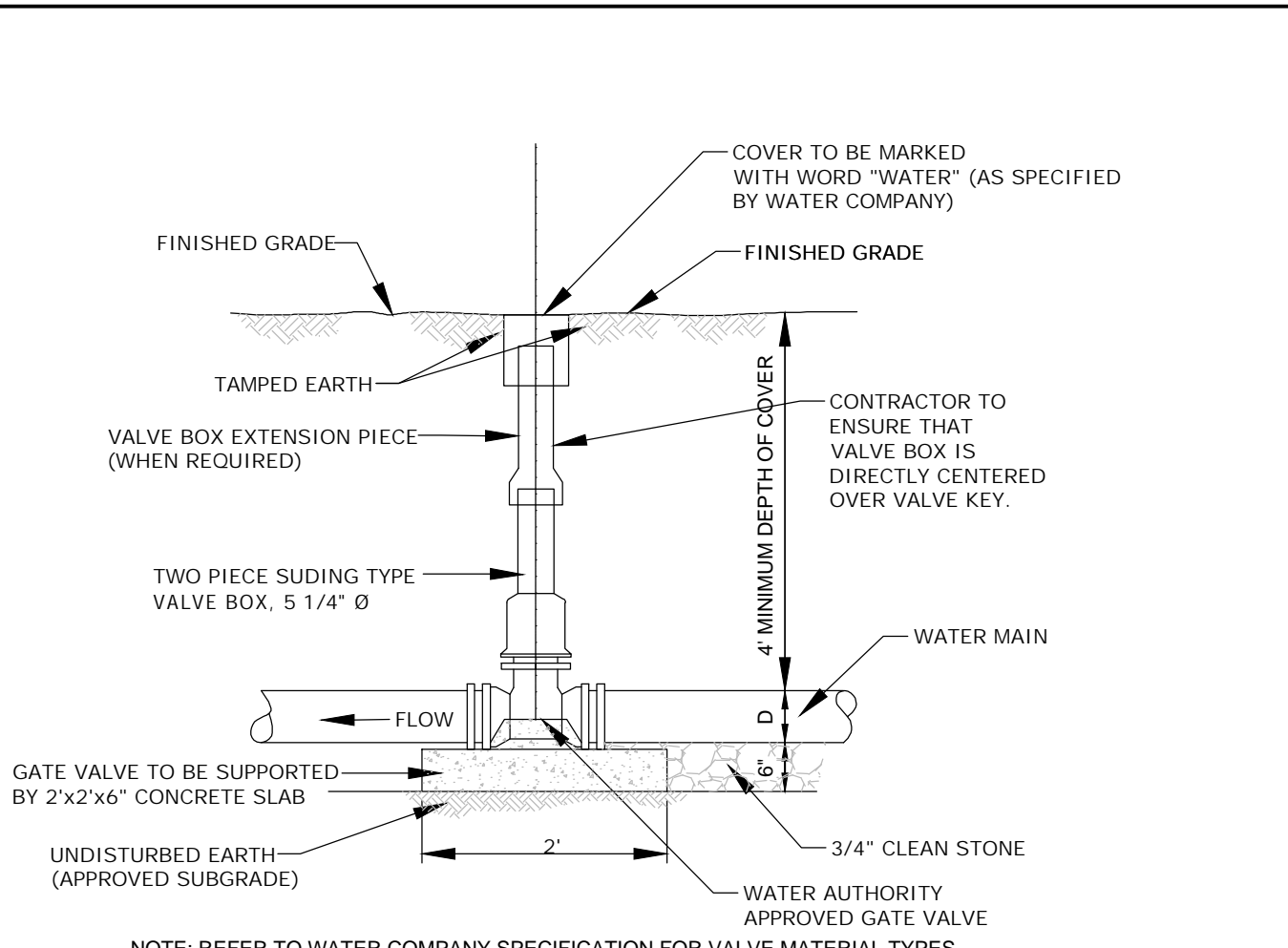
GENERAL DETAIL NOTE:
1. ALL DETAILS TO MEET MUNICIPAL, COUNTY, STATE, AND FEDERAL REQUIREMENTS.



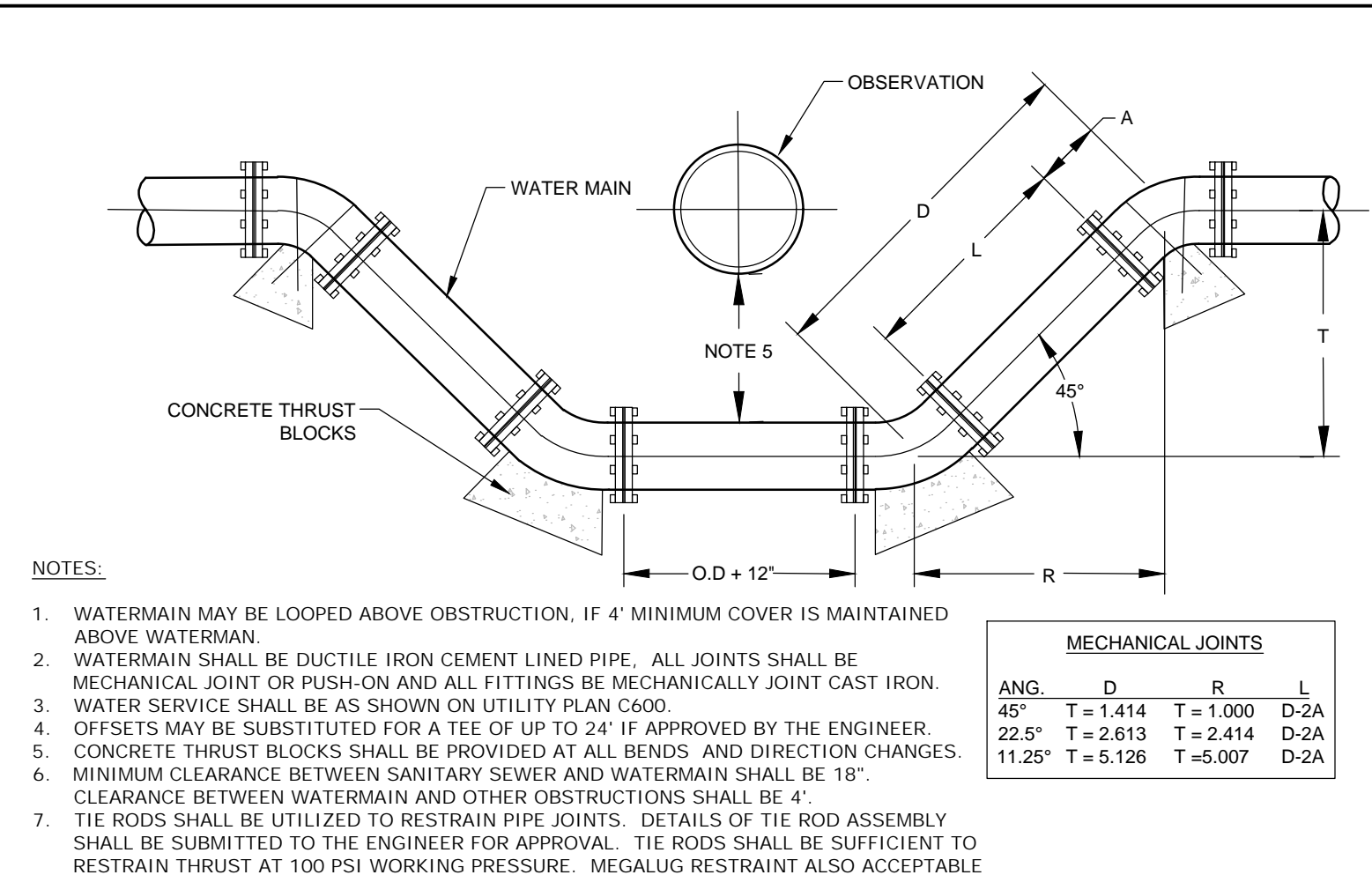
STORM SEWER TRENCH DETAIL
N.T.S.



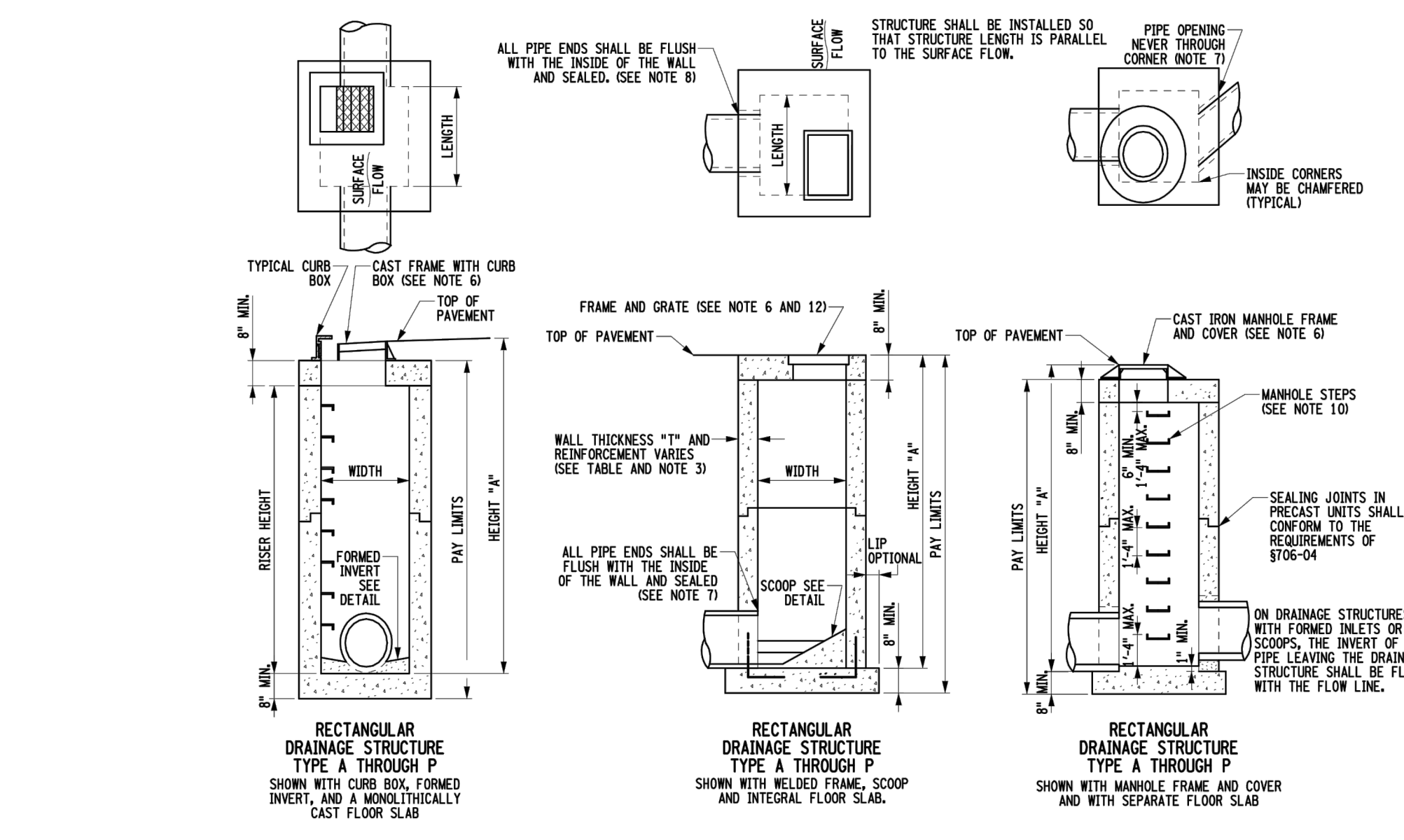
WATER MAIN TRENCH DETAIL
N.T.S.



GATE VALVE AND BOX DETAIL
N.T.S.



UTILITY CROSSING DETAIL
N.T.S.

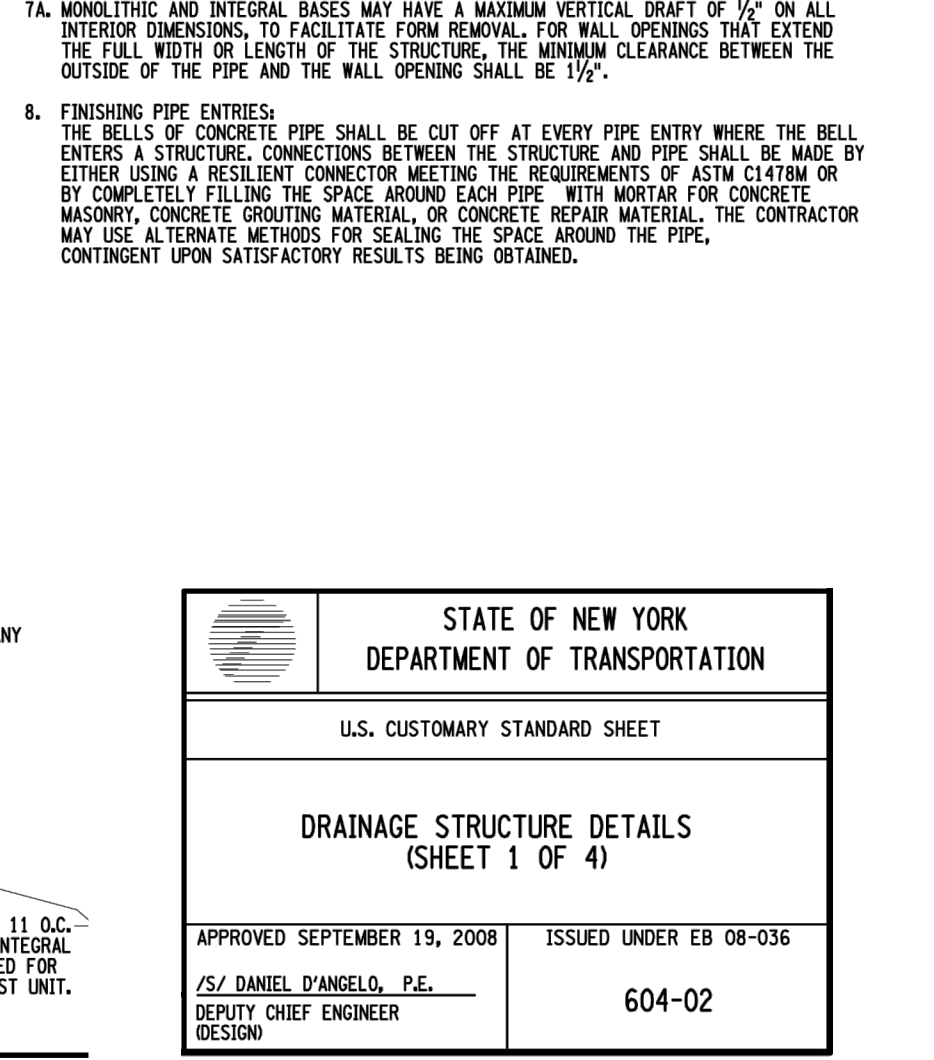
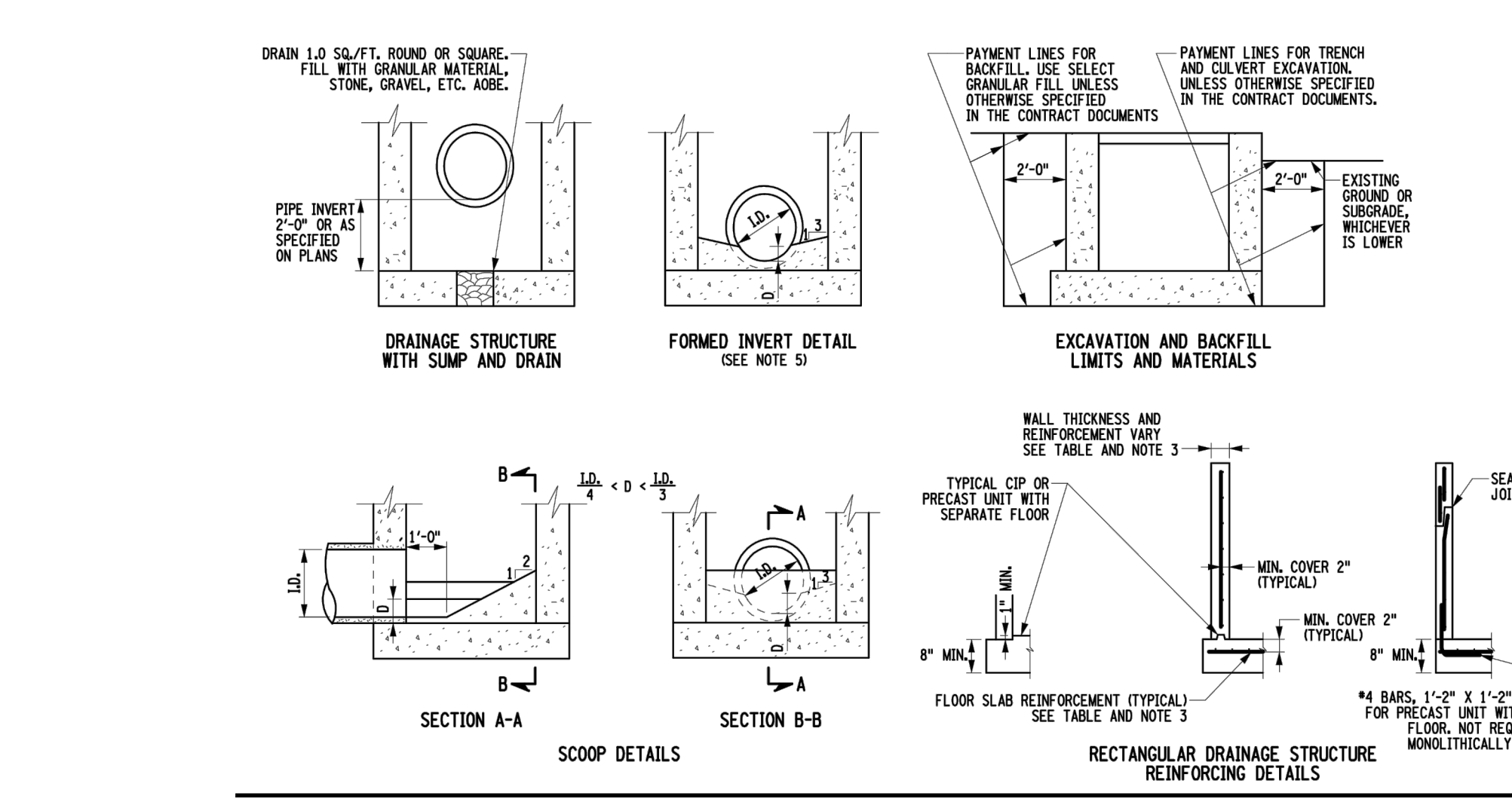


GENERAL NOTES:

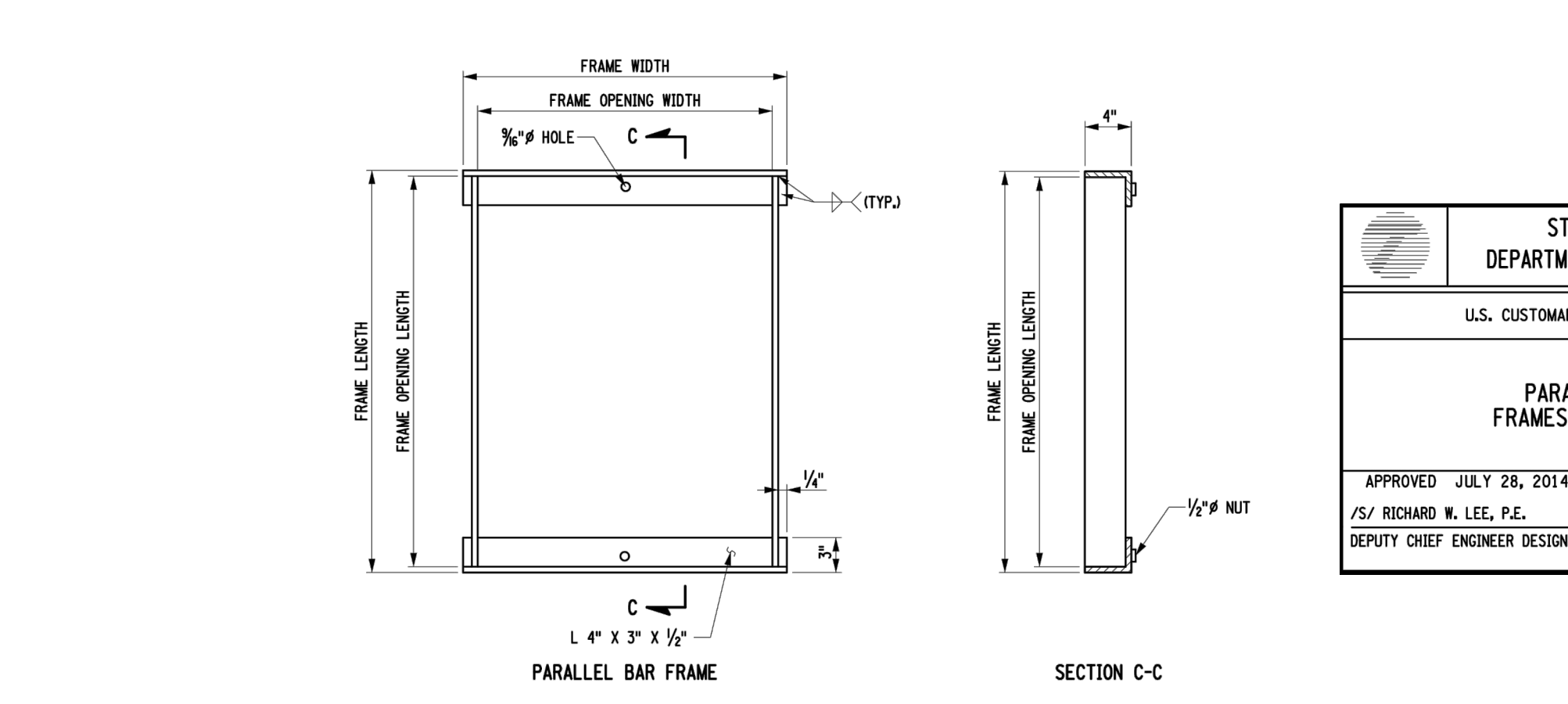
1. DRAINAGE STRUCTURES SHALL BE CAST IN PLACE OR PRECAST UNITS. ROUND DRAINAGE STRUCTURES SHALL BE PRECAST ONLY. ALL CAST IN PLACE CONCRETE SHALL BE CLASS A. THE CONTRACTOR SHALL SUBMIT WORKING DRAWINGS FOR REVIEW AND APPROVAL OF ANY CHANGES TO THE STRUCTURES SHOWN ON THE STANDARD SHEETS OR CONTACT PLANS, OTHER THAN MINOR CHANGES APPROVED BY THE ENGINEER. USE OF FLAT SLAB TOPS ON ROUND PRECAST UNITS SHALL REQUIRE SUBMISSION OF WORKING DRAWINGS.
2. SEE PLANS FOR ELEVATIONS, DRAINAGE STRUCTURE LOCATIONS, TYPE OF GRATE MATERIALS, GRADE ADJUSTMENT FOR TOP SLABS, AND/OR FRAME AND GRATES OF UP TO 2 1/2" SHALL BE MADE WITH BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIALS OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAME AND GRATES OF UP TO 1" TO 1 1/2" SHALL BE MADE WITH COMBINATION OF PRECAST CONCRETE PAVERS AND BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIALS OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAME AND GRATES OF UP TO 1" TO 1 1/2" MAY BE MADE WITH RECYCLED RUBBER ELEMENTS OR UP TO 3" WITH MORE ELEMENTS. RECYCLED RUBBER AND/OR ELEMENTS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR MAY USE ALTERNATE METHODS OF GRADE ADJUSTMENT, CONTINGENT UPON SATISFACTORY RESULTS BEING OBTAINED.
3. CORBELED OR CONICAL RISER SECTIONS AND FLAT SLAB REDUCERS. ROUND PRECAST DRAINAGE STRUCTURES OR MANHOLES WHEN ALLOWED OR SPECIFIED MAY BE FITTED WITH CONCENTRIC OR ECCENTRIC CONICAL SECTIONS TO REDUCE THEIR DIAMETERS, PROVIDED THE USE OF SUCH DEVICES IS COMPATIBLE WITH THE DRAINAGE SYSTEM DESIGN. THE CONTRACTOR SHALL SUBMIT WORKING DRAWINGS FOR REVIEW AND APPROVAL OF FLAT SLAB REDUCERS FOR ROUND OR RECTANGULAR STRUCTURES. A WALL SECTION WITH A HEIGHT LESS THAN 6" BETWEEN THE TOP OF THE HIGHEST PIPE ENTRY AND THE BOTTOM OF A CONICAL SECTION OR FLAT SLAB REDUCER SHALL NOT BE PERMITTED.
4. WHEN PIPE LOCATIONS PROVIDE FOR LESS THAN 6" BETWEEN THE TOP OF THE UPPEST PIPE AND THE TOP OF THE RISER AND THE STRUCTURE MAY BE SUBJECTED TO HIGHWAY LOADS, CONTACT STRUCTURES DIVISION FOR A SPECIAL DESIGN.
5. WHEN PIPE CONDITIONS REQUIRE A DRAINAGE STRUCTURE TO BE INSTALLED TO A DEPTH GREATER THAN THAT SHOWN ON THE CONTRACT DOCUMENTS, AN INSTALLATION TOLERANCE OF 6" IS PERMITTED WITHIN THE RANGE OF AN INCREASE IN WALL THICKNESS OR REINFORCING STEEL AS REQUIRED BY THE DRAINAGE STRUCTURE REINFORCEMENT TABLE.
6. THE PAY ITEMS FOR DRAINAGE STRUCTURES SPECIFY THE STRUCTURE TYPE AND FRAME. DRAINAGE STRUCTURE ITEM NUMBERS: RECTANGULAR DRAINAGE STRUCTURE WITH ROUND OPTION ITEM 604.31XXXXX RECTANGULAR DRAINAGE STRUCTURE WITH CONCRETE CAP ITEM 604.32XXXXX SEE TABLES BELOW FOR BY AND YY CODES. EXAMPLE: 604.3000R - RECTANGULAR STRUCTURE TYPE C WITH TYPE 6 WELDED FRAME. SEE SHEET 4 OF 4 FOR ITEM NUMBERS FOR STRUCTURE TYPE C, R, S, T, U, AND V.
7. MONOLITHIC AND INTEGRAL BASES MAY HAVE A MAXIMUM VERTICAL DRAFT OF 1/2" ON ALL INTERIOR DIMENSIONS TO FACILITATE FORM REMOVAL. FOR WALL OPENINGS THAT EXTEND THE FULL WIDTH OR LENGTH OF THE STRUCTURE, THE MINIMUM CLEARANCE BETWEEN THE OUTSIDE OF THE PIPE AND THE WALL OPENING SHALL BE 1/2".
8. FINISHING PIPE ENTRIES: THE BELLS OF CONCRETE PIPE SHALL BE CUT OFF AT EVERY PIPE ENTRY WHERE THE BELL ENTRIES A STRUCTURE. CONNECTIONS BETWEEN THE STRUCTURE AND PIPE SHALL BE MADE BY EITHER USING A RESILIENT CONNECTOR MEETING THE REQUIREMENTS OF ASTM C147M OR BY COMPLETELY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL. THE CONTRACTOR MAY USE ALTERNATE METHODS FOR SEALING THE SPACE AROUND THE PIPE, CONTINGENT UPON SATISFACTORY RESULTS BEING OBTAINED.

GENERAL NOTES:

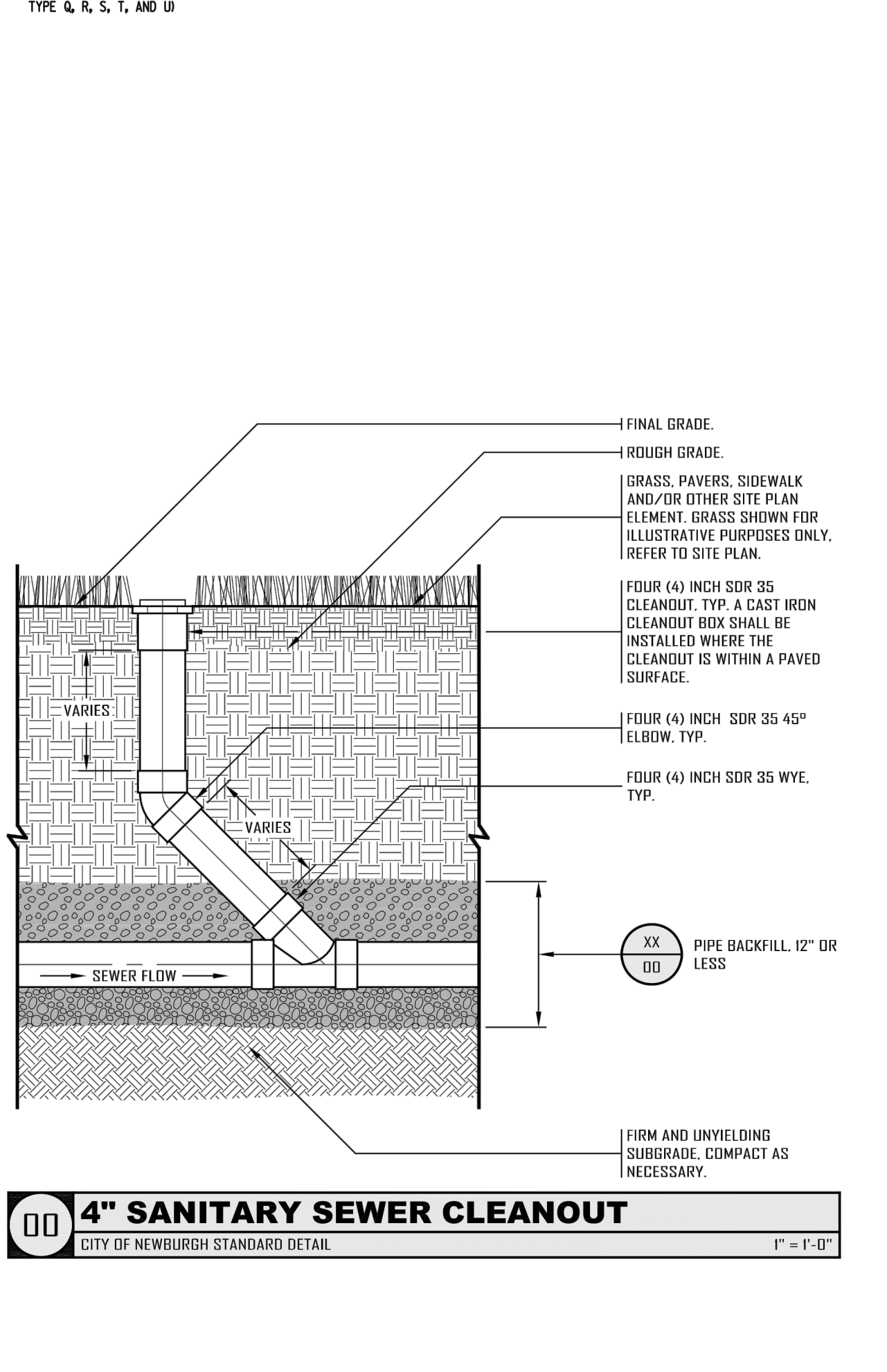
1. STRENGTH DESIGN METHOD IN ACCORDANCE WITH (I.A.M.) ACI 318.
2. APPLICABLE DESIGN CODES:
 - ACI 318 (MINIMUM DESIGN SPECIFICATION)
 - ASTM C193 (PRODUCT SPECIFICATION)
3. PRECAST RATED FOR 150 PSI LIVE LOAD WITH IMPACT IAW. AASHTO SPECIFICATION.
4. DESIGN FILL RANGE = 1" (MIN) TO 21" (MAX).
5. GROUND WATER TABLE ASSUMED AT 2' BELOW GRADE. IF DESIGN OR LOADS EXCEED THIS STRUCTURE, THE REVIEWING ENGINEER TO NOTIFY CONTRACTOR PRECAST UPON REVIEW OF THIS SUBMITTAL.
6. LATERAL DESIGN PRESSURE:
 - EQUIDIRECTED SOLE FLOOR PRESSURE = 40 PSF
 - EQUIDIRECTED SOLE FLOOR PRESSURE = 40 PSF
 - LIVE LOAD SURCHARGE PRESSURE = 2'
7. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
 - 4" TO 8" BARS = 4000 PSI (MIN)
 - 8" BARS = 4000 PSI (MIN)
8. REINFORCEMENT:
 - CARBON/STEEL DEFORMED BARS ASTM A615, FY = 60,000 (MIN)
9. JOINT SEALANT:
 - CS-102 CONCRETE BUTYL RUBBER SEALANT (OR EQUIV.) IAW ASTM C926, SPEC. 8.8.2.1.1.
10. PRECAST DESIGN DOES NOT INCLUDE ANY LATERAL OR SURCHARGE LOADS FROM OTHER BUILDINGS OR FOUNDATIONS ADJACENT TO THIS STRUCTURE. THIS STRUCTURE SHALL BE KEPT A MINIMUM OF 15' AWAY FROM OTHER FOUNDATIONS OR FOUNDATIONS.



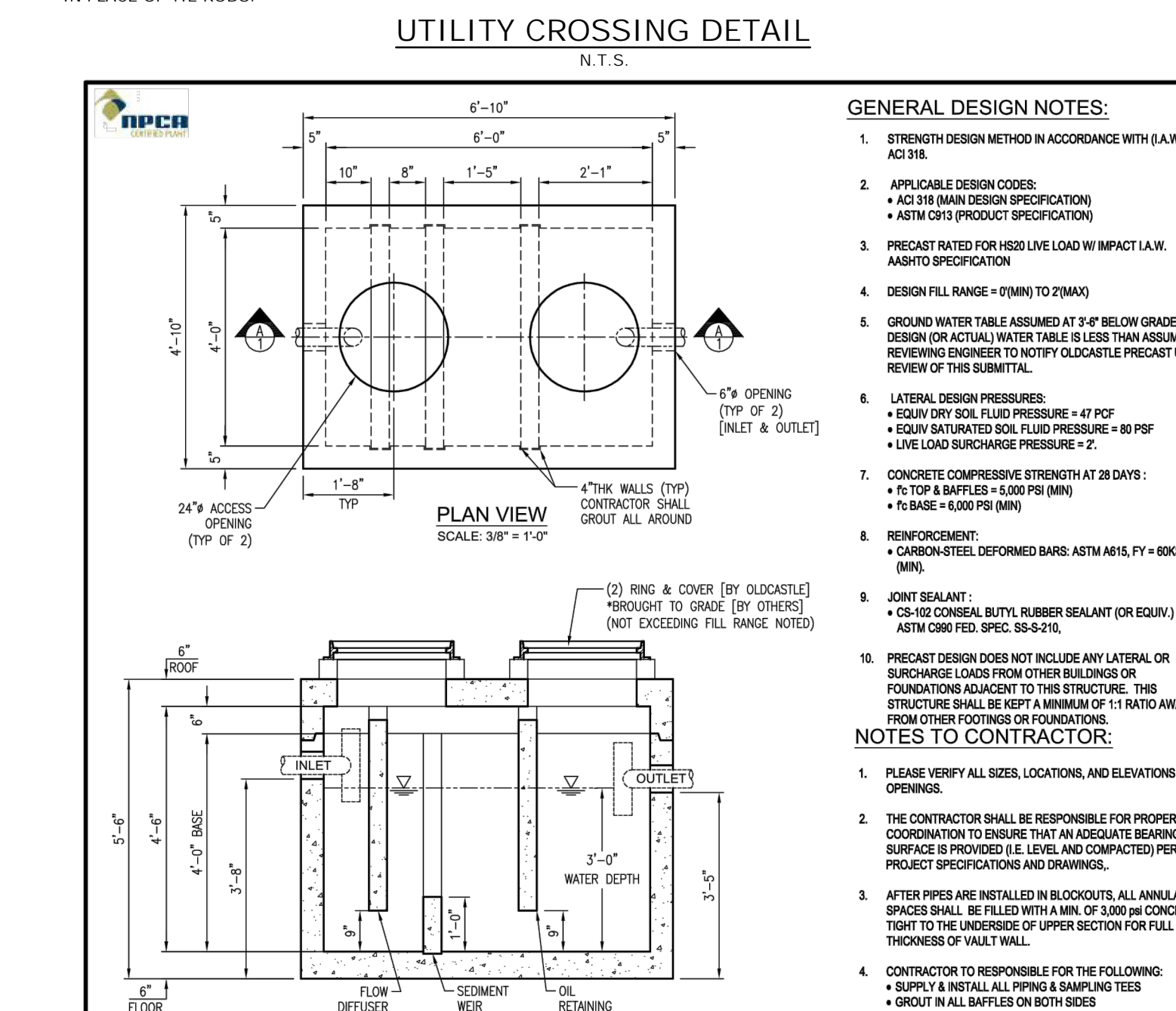
STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET
DRAINAGE STRUCTURE DETAILS
(SHEET 1 OF 4)
APPROVED SEPTEMBER 19, 2008 ISSUED UNDER EB 08-036
/S/ DANIEL D'ANGELO, P.E.
DEPUTY CHIEF ENGINEER DESIGN
604-02



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET
PARALLEL BAR FRAMES AND GRATES
APPROVED JULY 28, 2014 ISSUED UNDER EB 08-049
/S/ RICHARD W. LEE, P.E.
DEPUTY CHIEF ENGINEER DESIGN
655-02



4" SANITARY SEWER CLEANOUT
CITY OF NEWBURGH STANDARD DETAIL
1" = 1'-0"



APPROX. WEIGHTS

SECTION	WEIGHT (LBS)	CUMULATIVE (LBS)
6" TOP	2,900	0.72
48" BASE	7,500	1.25
BAFFLES	750 EACH	0.18
WEIR	250	0.06

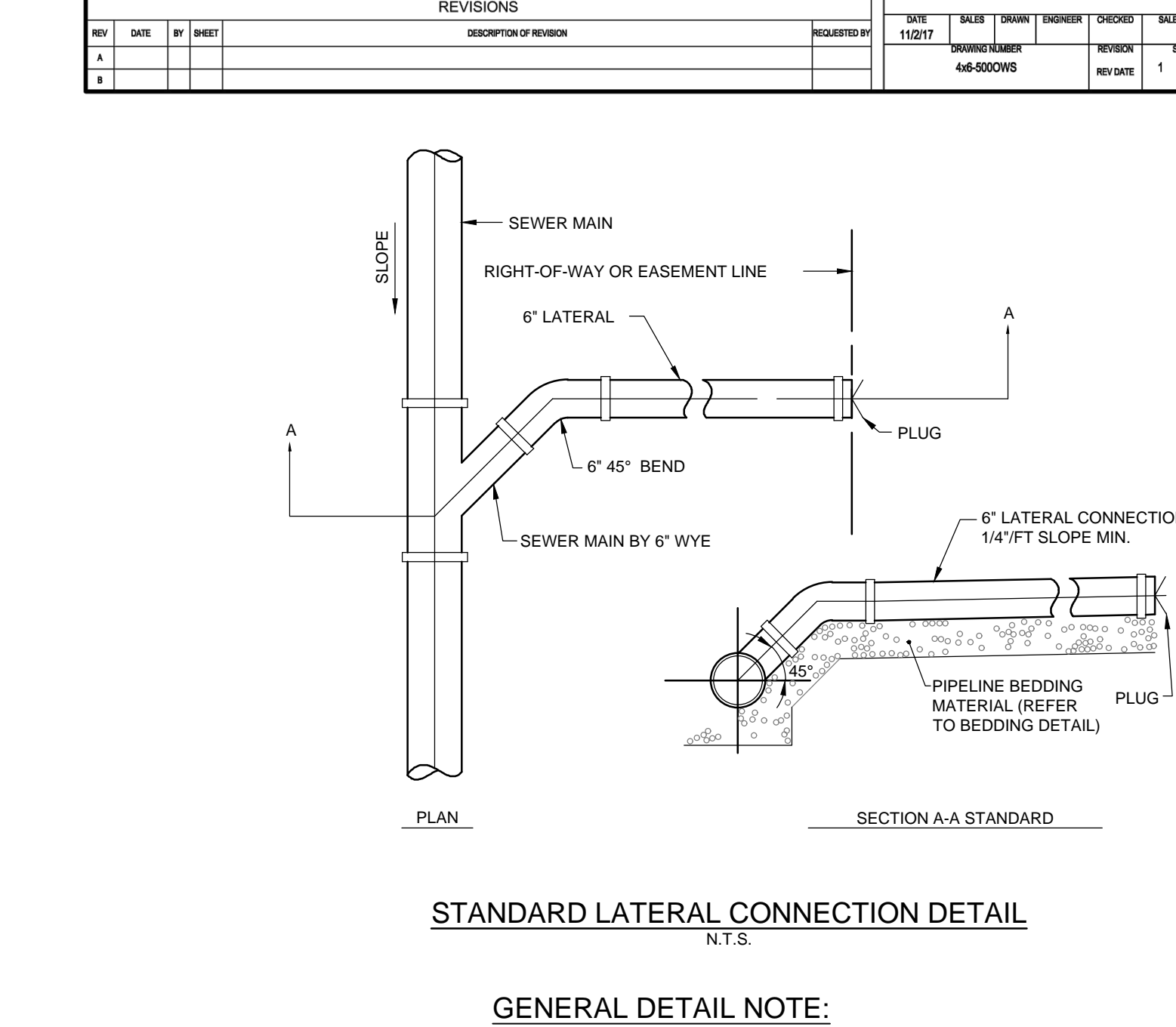
Oldcastle Precast®
500 GALLON OIL/WATER SEPARATOR
SUBMITTAL LAYOUT

INFORMATION NEEDED:

1. TOP OF SEPARATOR ELEVATION
2. INLET PIPE ELEVATION
3. INLET PIPE DIAMETER
4. OUTLET PIPE SIZE
5. OUTLET PIPE ELEVATION

REVISIONS

REV	DATE	BY	DESCRIPTION OF REVISION	REVISION
1				
2				
3				



STANDARD LATERAL CONNECTION DETAIL
N.T.S.
GENERAL DETAIL NOTE:
1. ALL DETAILS TO MEET MUNICIPAL, COUNTY, STATE, AND FEDERAL REQUIREMENTS.

BY: MAS
DATE: 08/30/22
REV: 1

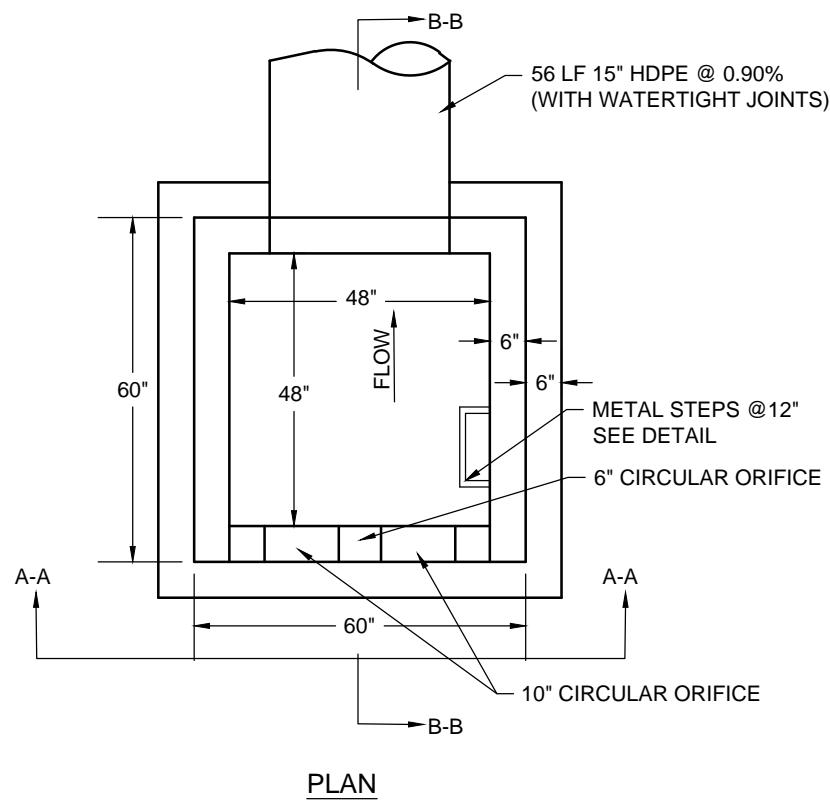
Independence
ENGINEERING, LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369 INDEPENDENCE@INDEPENDENCE.G.COM

FINAL LAND DEVELOPMENT PLAN SET
UTILITY DETAILS
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

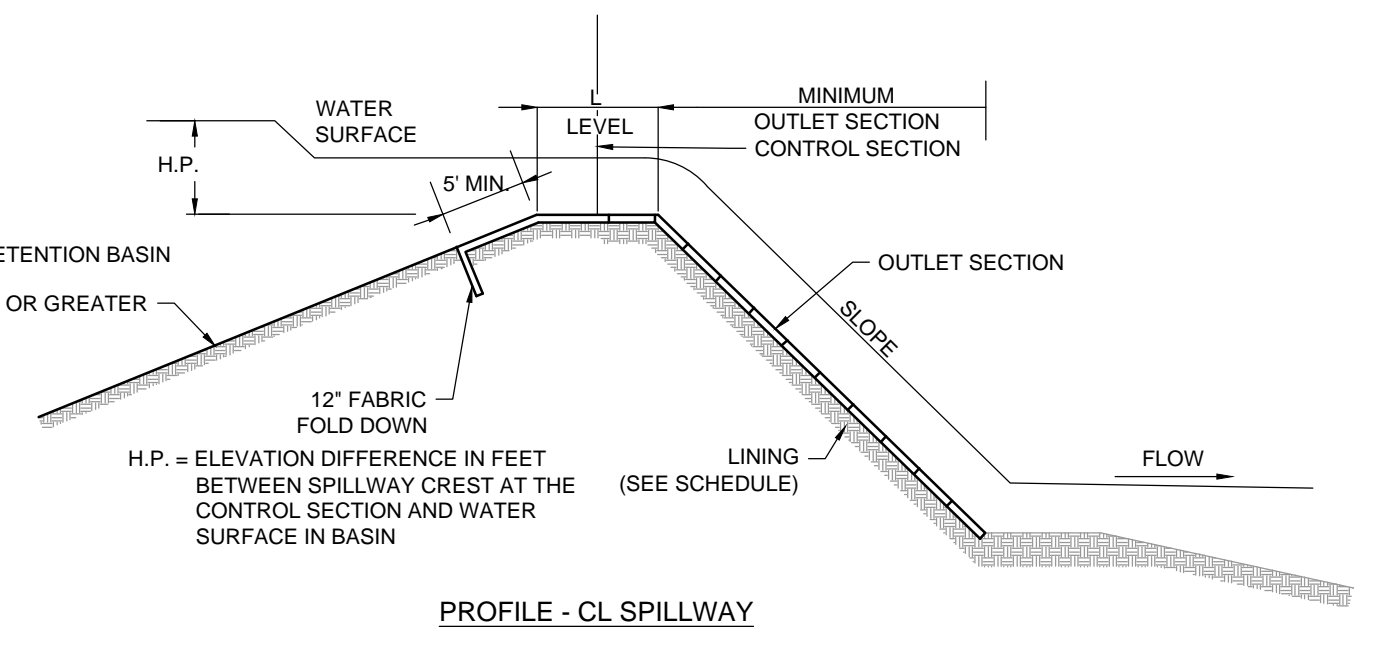
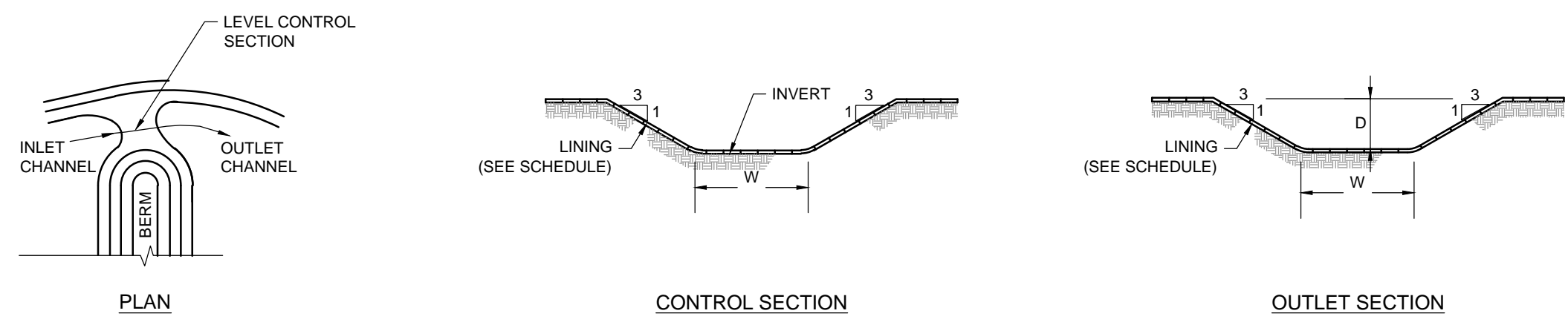
PROJECT: 028-004
DATE: 06/17/2022
SCALE AS NOTED
DESIGNED: JWJ
DRAWN: ESC
CHECKED: NES/JWJ

STATE OF NEW YORK
JULIE E. SANDER
REGISTERED PROFESSIONAL ENGINEER
87961
08/30/2022

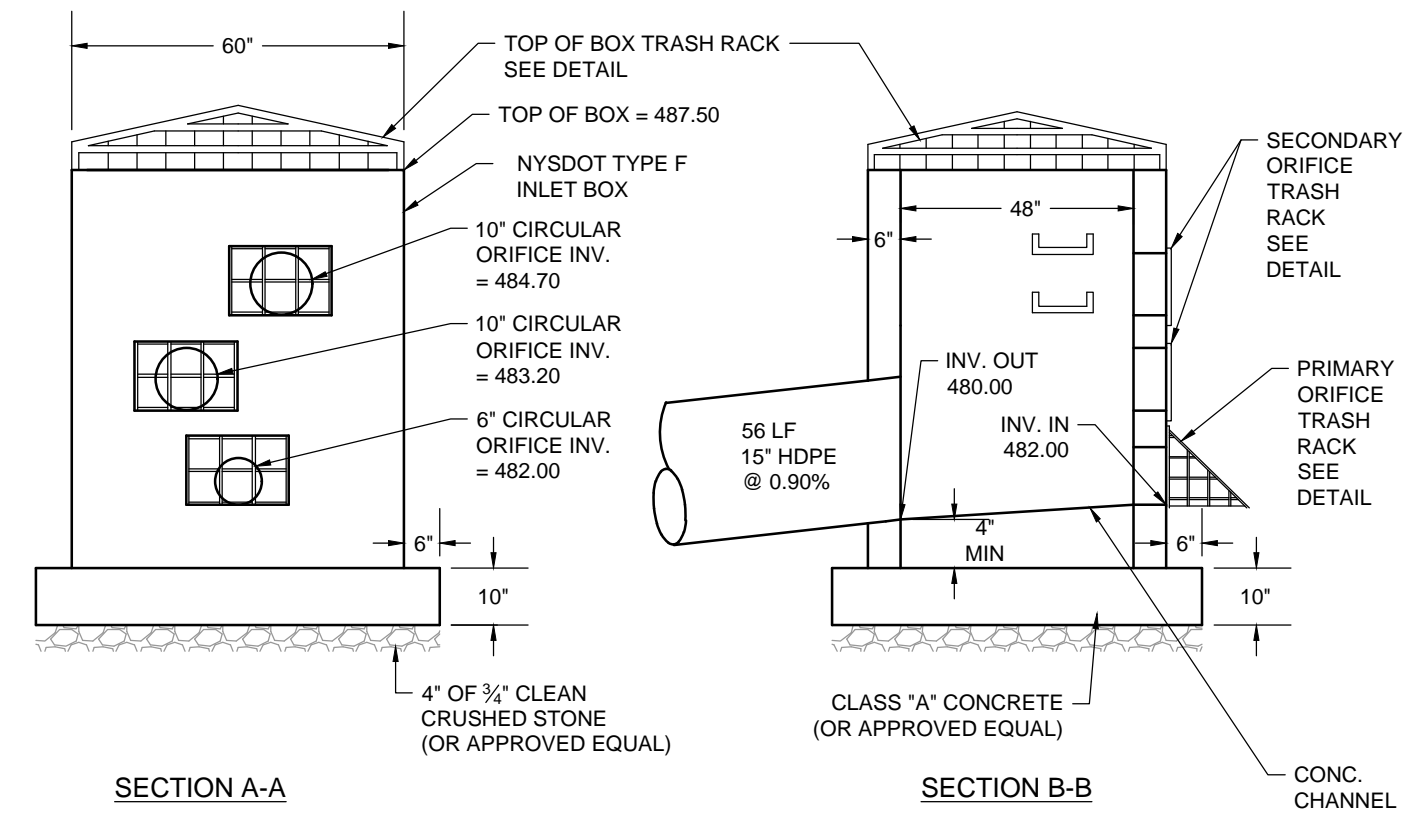
C810
SHEET 7 OF 12



DESIGN WATER SURFACE ELEVATION:
 1-YR = 483.04
 10-YR = 484.46
 25-YR = 485.22
 100-YR = 486.63



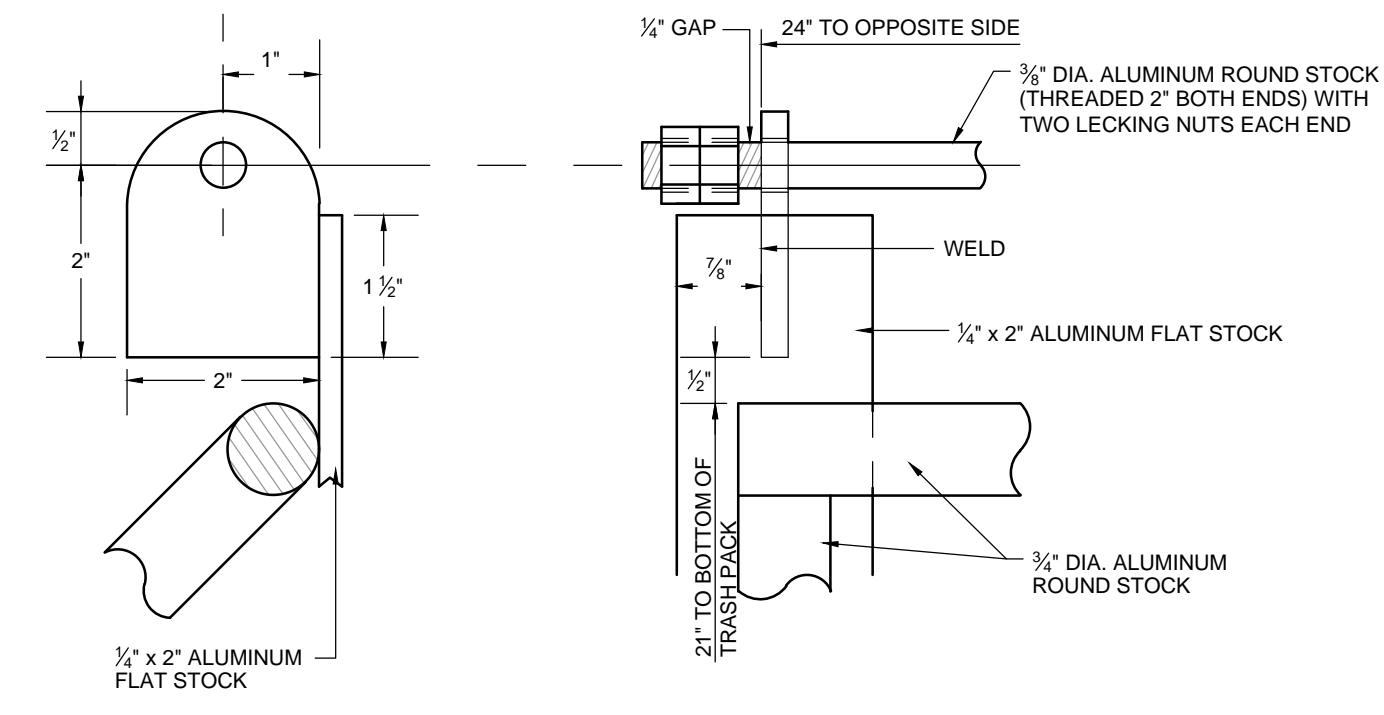
BASIN	TOP OF BERM	PERMANENT CONTROL SECTION		TEMPORARY CONTROL SECTION		OUTLET SECTION			
		WIDTH	INVERT	WIDTH	INVERT	MAX SLOPE	W	D	LINING
B	488.00	35	487.50	C125	SAME	3.00	45	2.0	C125



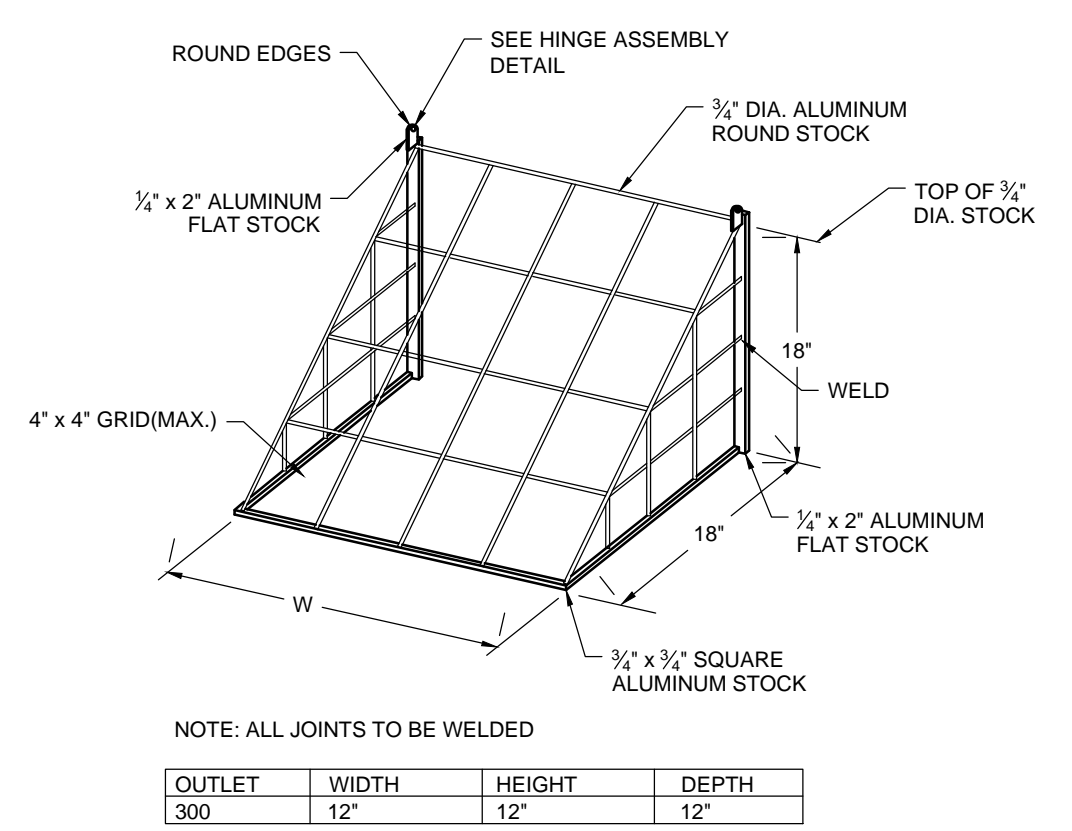
NOTES:
 1. WATERTIGHT SEALS TO BE USED ON ALL JOINTS.

OUTLET STRUCTURE #300 DETAIL
 N.T.S.

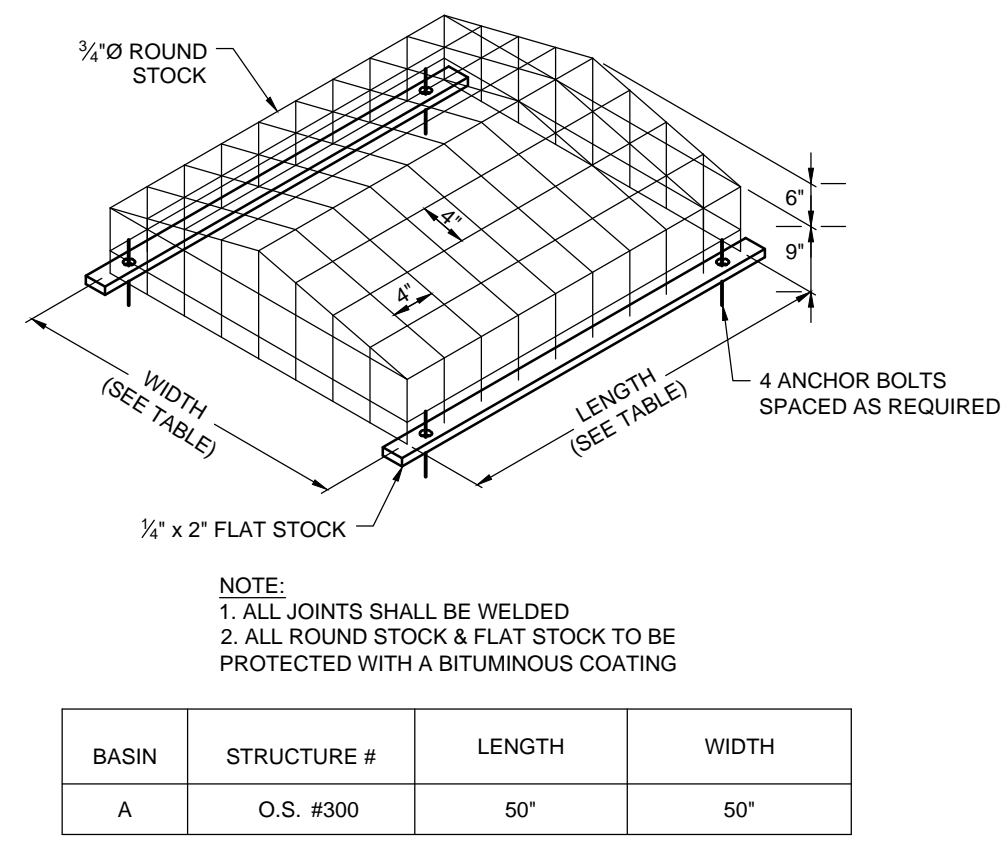
EMERGENCY SPILLWAY SCHEDULE DETAIL
 N.T.S.



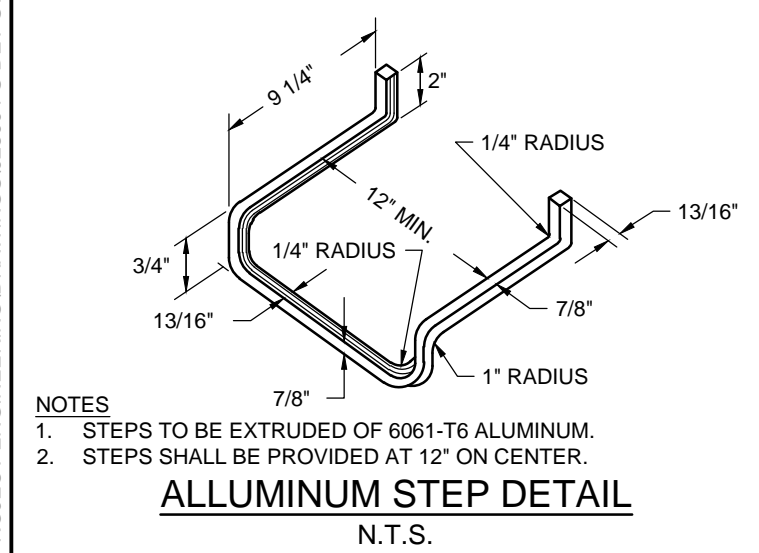
HINGE ASSEMBLY DETAIL
 N.T.S.



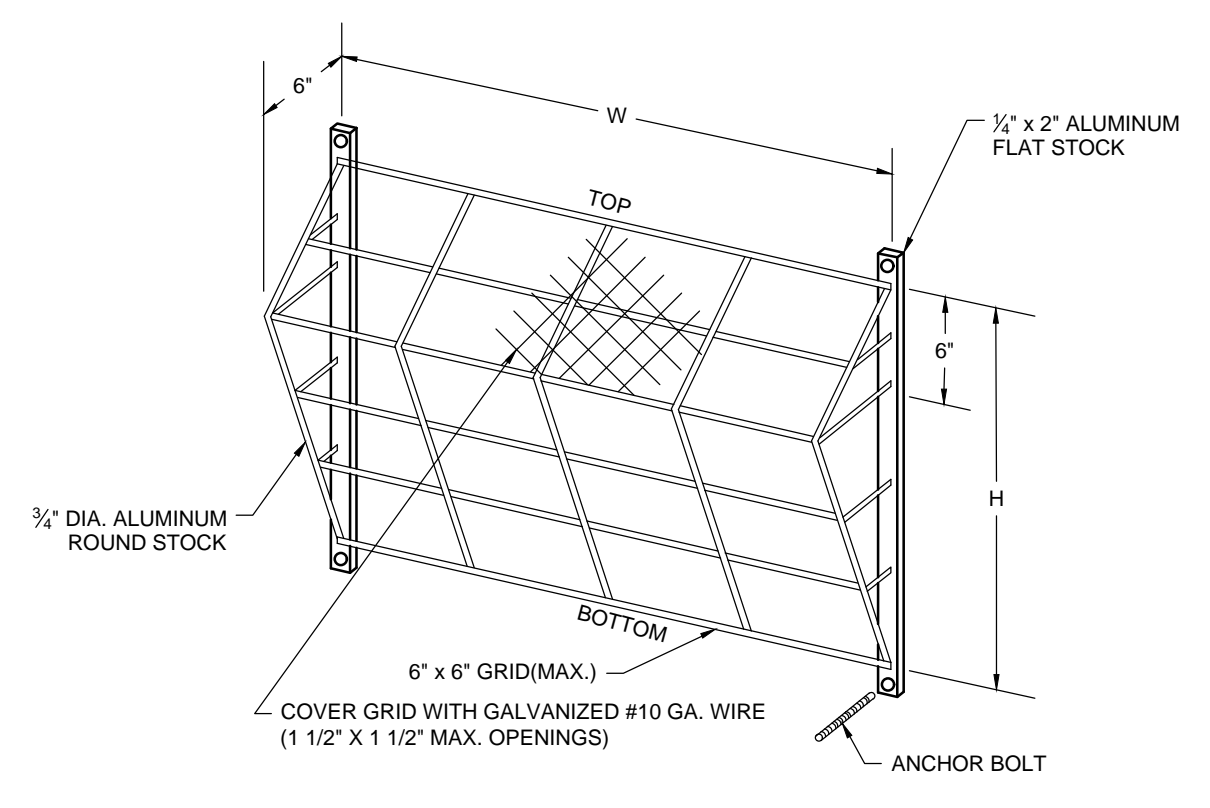
PRIMARY ORIFICE OUTLET STRUCTURE TRASH RACK DETAIL
 N.T.S.



TOP OF OUTLET STRUCTURE TRASH RACK DETAIL
 N.T.S.



ALLUMINUM STEP DETAIL
 N.T.S.



RECTANGULAR SECONDARY STAGE TRASH RACK DETAIL
 N.T.S.

7/10/2024 ALONDRESIGN004-SUN BELT NEWBURGH HYDRO PROJECT ENGINEERING DRAWINGS 02/20/24-S-DT-SWM-MARK SHEARER-2022-08-30

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTERS DATED 07/21/22 AND CREDITON MANNING REVIEW LETTER DATED 07/20/22

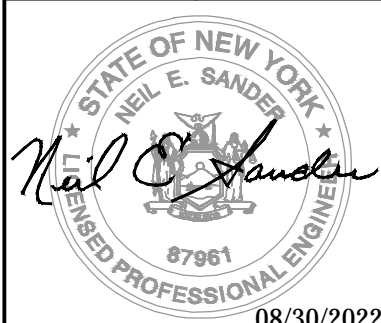
Independence
 ENGINEERING LLC
 102 FARNSWORTH AVENUE, SUITE 310
 BORDENTOWN, NJ 08805
 (609) 496-9369 INDEPENDENCE@INDEPENDENCE.COM

FINAL LAND DEVELOPMENT PLAN SET
STORMWATER MANAGEMENT DETAILS
 for
 SUNBELT RENTALS - NEWBURGH
 224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

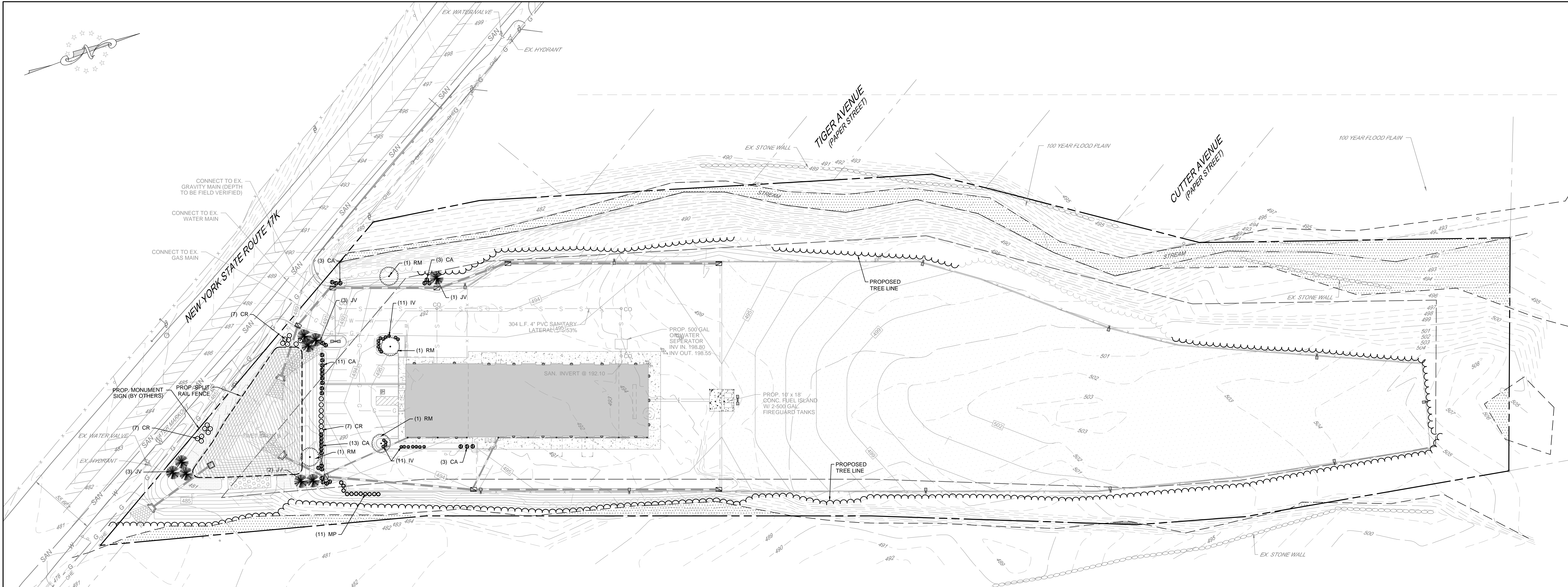


ID #

PROJECT	028-004
DATE	06/17/2022
SCALE	N.T.S.
DRAWN	MAS
DESIGNED	JWJ
CHECKED	NES/JWJ



C820
 SHEET 8 OF 12



LANDSCAPE AND MAINTENANCE NOTES:

- REQUIRED PLANTS SHALL BE NURSERY STOCK. THEY SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, AND BE SUITABLE FOR TREES USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.
- ALL PLANTS SHALL MEET MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITIONS AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS AND SHALL BE HARDY WITHIN APPROPRIATE USDA HARDNESS ZONE.
- AT THE TIME OF INSTALLATION, THE TRUNK DIAMETER MEASURED AT A HEIGHT OF SIX INCHES ABOVE FINISHED GRADE LEVEL SHALL BE 2 1/2 INCHES.
- REQUIRED LANDSCAPING TREES SHALL BE MAINTAINED PERMANENTLY AND ANY PLANT MATERIAL WHICH DOES NOT SURVIVE SHALL BE REPLACED WITHIN SIX MONTHS.
- ALL PROPOSED CANOPY TREES SHALL BE LIMBED TO A MINIMUM OF 7 FEET.
- LAWN AREA IS TO BE MOWED AT REGULAR INTERVALS DEPENDING ON WEATHER CONDITIONS. IN NO CASE SHALL THE GRASS BE HIGHER THAN 6 INCHES FOR A PERIOD OF TIME LONGER THAN 1 WEEK. WEED CONTROL, PEST CONTROL, AND FERTILIZING, IS TO BE PERFORMED AS NEEDED, AND IF CHEMICAL USAGE IS REQUIRED, IT SHALL BE USED IN ACCORDANCE WITH TOWNSHIP AND STATE REGULATIONS.
- LANDSCAPE/PLANTING AREAS LOCATED AROUND THE BUILDING SHALL BE MAINTAINED AS NEEDED AND AT THE DISCRETION OF THE PROPERTY OWNER. PLANTINGS SHALL BE AS LISTED ON THIS LANDSCAPING PLAN. WEED CONTROL, PEST CONTROL, AND FERTILIZING, IS TO BE PERFORMED AS NEEDED, AND IF CHEMICAL USAGE IS REQUIRED, IT SHALL BE USED IN ACCORDANCE WITH TOWNSHIP AND STATE REGULATIONS.
- NOTIFY ALL UTILITY COMPANIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN FIELD TO AVOID INTERFERENCE WITH UTILITIES.
- TREES SHALL BE LOCATED IN A MANNER WHICH WILL NOT OBSTRUCT ACCESS TO FIRE HYDRANT OR VISIBILITY OF STREET OR TRAFFIC SIGNS. NO TREES OR SHRUBS SHALL BE PLANTED IN A SIGHT TRIANGLE. NO TREES SHALL BE PLANTED IN ANY UTILITY OR MUNICIPAL EASEMENTS.
- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
- THE EXISTING VEGETATION TO REMAIN IS TO BE PROTECTED BY THE USE OF TREE PROTECTION FENCE AS SHOWN ON THIS LANDSCAPING PLAN. THE TREE PROTECTION IS TO BE INSTALLED PRIOR TO VEGETATION REMOVAL AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
- EXISTING VEGETATION ALONG THE PROPERTY LINES TO SERVE AS BUFFER PLANTING.

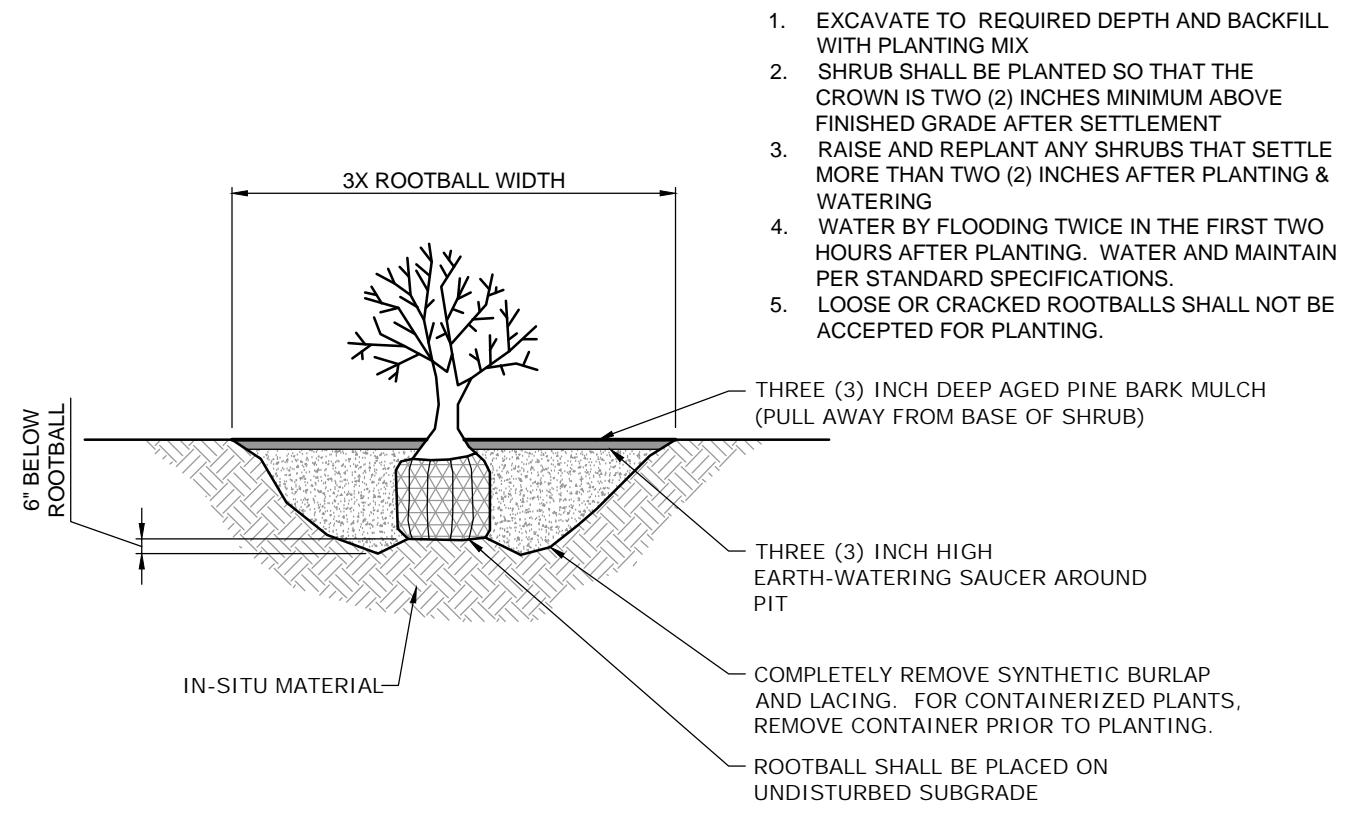
SEEDING SPECS FOR LAWN AREA:

ERNMX-136, THREE-WAY TALL FESCUE MIX BY ERNST SEEDS (OR APPROVED EQUAL *)

34%	FESTUCA ARUNDINACEA, FIRECRACKER SLS	TALL FESCUE
33%	FESTUCA ARUNDINACEA, VALKYRIE LS	TALL FESCUE
33%	FESTUCA ARUNDINACEA, COCHISE III	TALL FESCUE

SEEDING RATE: 7-10 LBS PER 1,000 SQFT

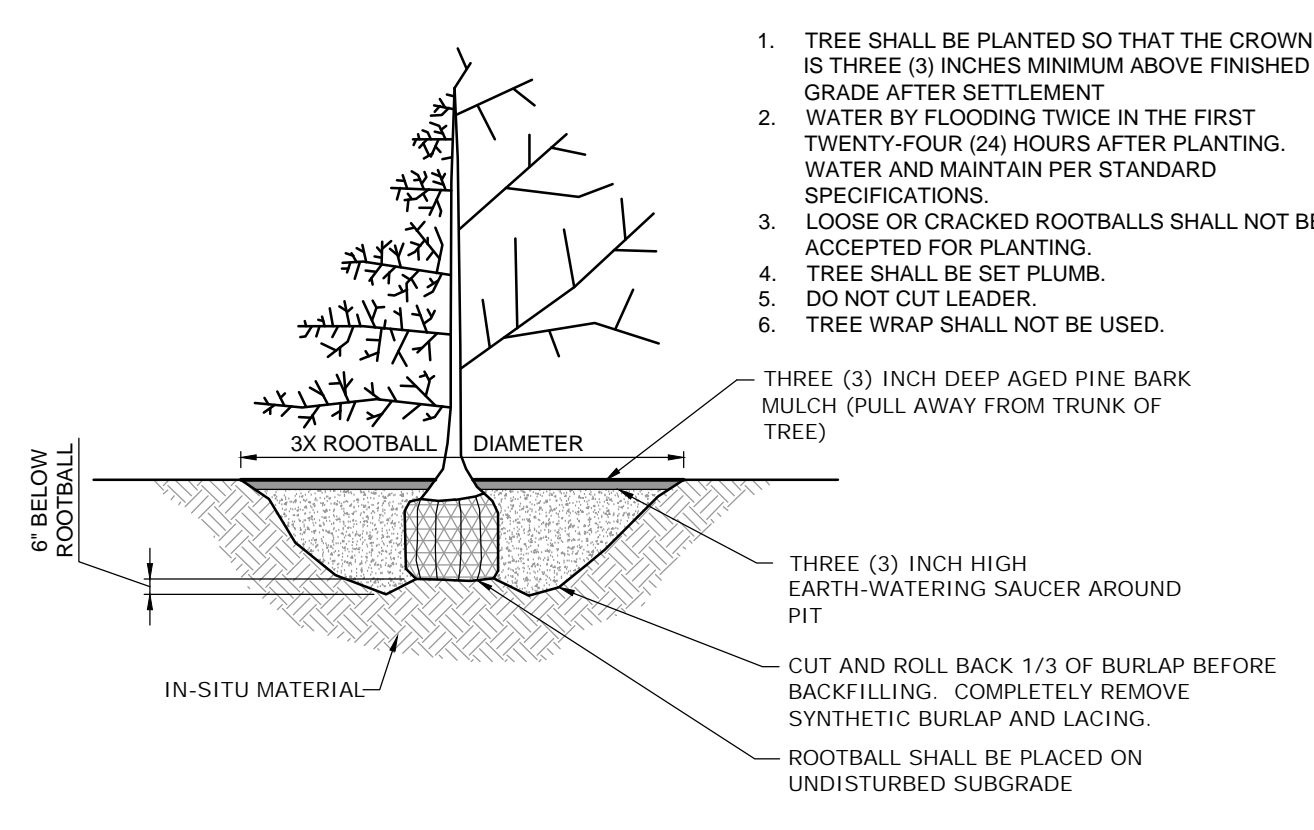
* IF A DIFFERENT SEED MIX IS USED, IT WILL NEED TO CONSIST OF GRASSES NATIVE TO THE PNELANDS. THE FOLLOWING SPECIES ARE NATIVE AND CAN BE USED: FESCUE SPECIES, SMOOTH BROMEGRASS, REED CANARY GRASS, LITTLE BLUESTEM, DEERTONGUE, RED TOP, OR SWITCH GRASS.



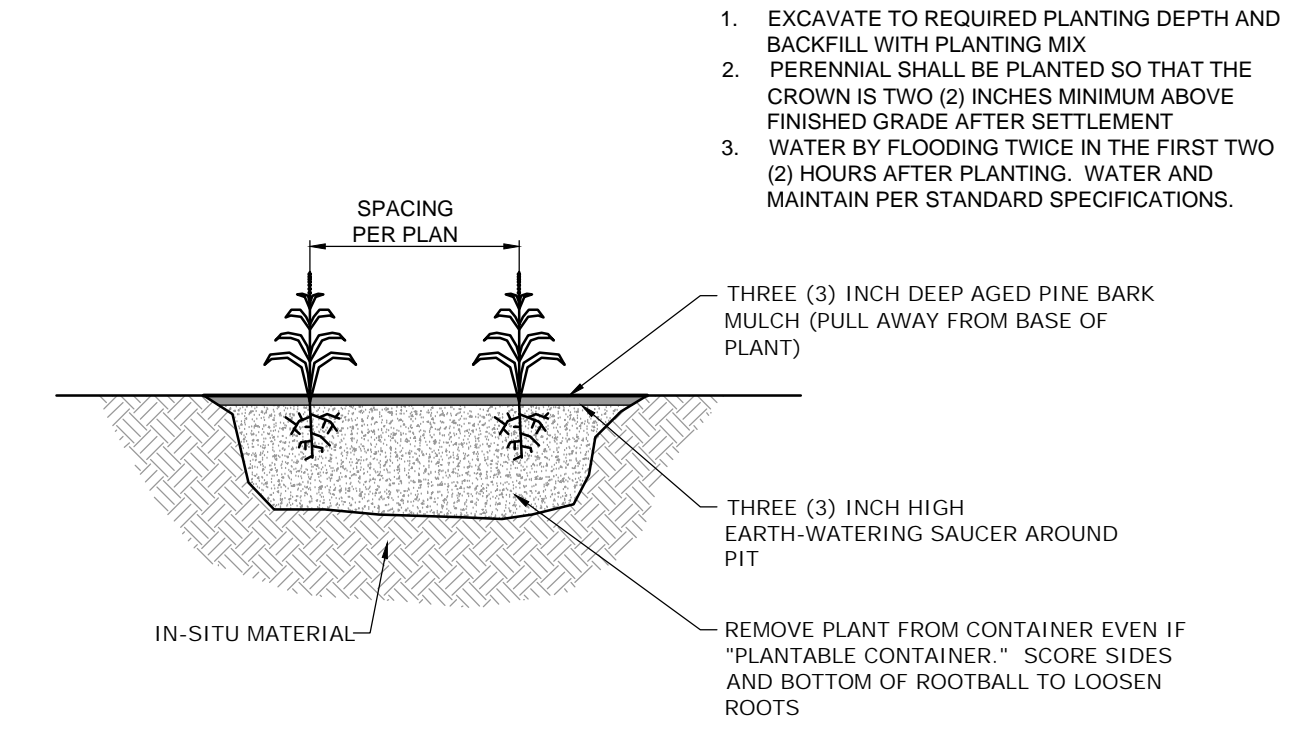
SHRUB PLANTING DETAIL
N.T.S.

BASIN SIDE SLOPE SEED MIX (6,100 SF)
ERNMX-181
60 LB PER ACRE, OR 1.5 LB PER 1,000 SF
(OR APPROVED EQUAL)

PLANT SCHEDULE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE AT PLANTING	NOTES	MATURE SIZE
PARKING LOT STREET TREES							
RM	4	ACER RUBRUM	RED MAPLE	B & B	2 1/2" CAL.MIN.	NATIVE	40'-60" HEIGHT/ 40' WIDTH
JV	9	JUNIPERUS VIRGINIANA	RED CEDAR	B & B	5-7 FT.	NATIVE	40'-50" HEIGHT/ 8'-20' WIDE
TOTAL	13						
SHRUBS							
CA	33	CLETHRA ALNIFOLIA	RUBY SPICE SUMMERSWEET	B & B	30'-36" HEIGHT	NATIVE	4'-6" H 4'-6" W
CR	21	CORNUS RACEMOSA	GRAY DOGWOOD	B & B	30'-36" HEIGHT	NATIVE	3'-8" H 3'-8" W
IV	22	ILEX VETICULATA	WINTERBERRY	B & B	30'-36" HEIGHT	NATIVE	3'-8" H 3'-8" W
MP	11	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	B & B	30'-36" HEIGHT	NATIVE	3'-8" H 3'-8" W
TOTAL	87						



EVERGREEN/DECIDUOUS PLANTING DETAIL
N.T.S.



PERENNIAL PLANTING DETAIL
N.T.S.

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING ADJOINING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING STONE WALL
---	EXISTING FENCE
---	EXISTING CONTOUR - MAJOR
---	EXISTING CONTOUR - MINOR
---	EXISTING OVERHEAD WIRES
---	EXISTING RCP PIPE
---	EXISTING ELECTRIC
---	EXISTING GAS
---	EXISTING TELEPHONE
---	EXISTING SANITARY
---	EXISTING STORM
---	EXISTING WATER
---	EXISTING WETLANDS
---	EXISTING WETLANDS FLAG
---	EXISTING SIGN
---	EXISTING UTILITY POLE
---	EXISTING STORM MANHOLE
---	EXISTING SEWER MANHOLE
---	EXISTING TELEPHONE MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER VALVE
---	EXISTING SPOT ELEVATION
---	PROP. INLET
---	PROP. ENDWALL
---	PROP. UTILITY POLE

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CREDITON MANNING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369 INDEPENDENCE@INDEPENDENCE.COM

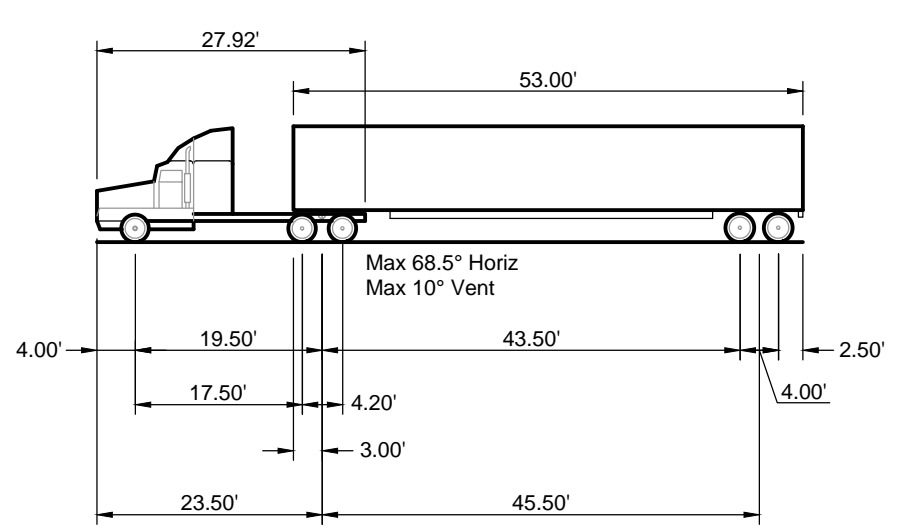
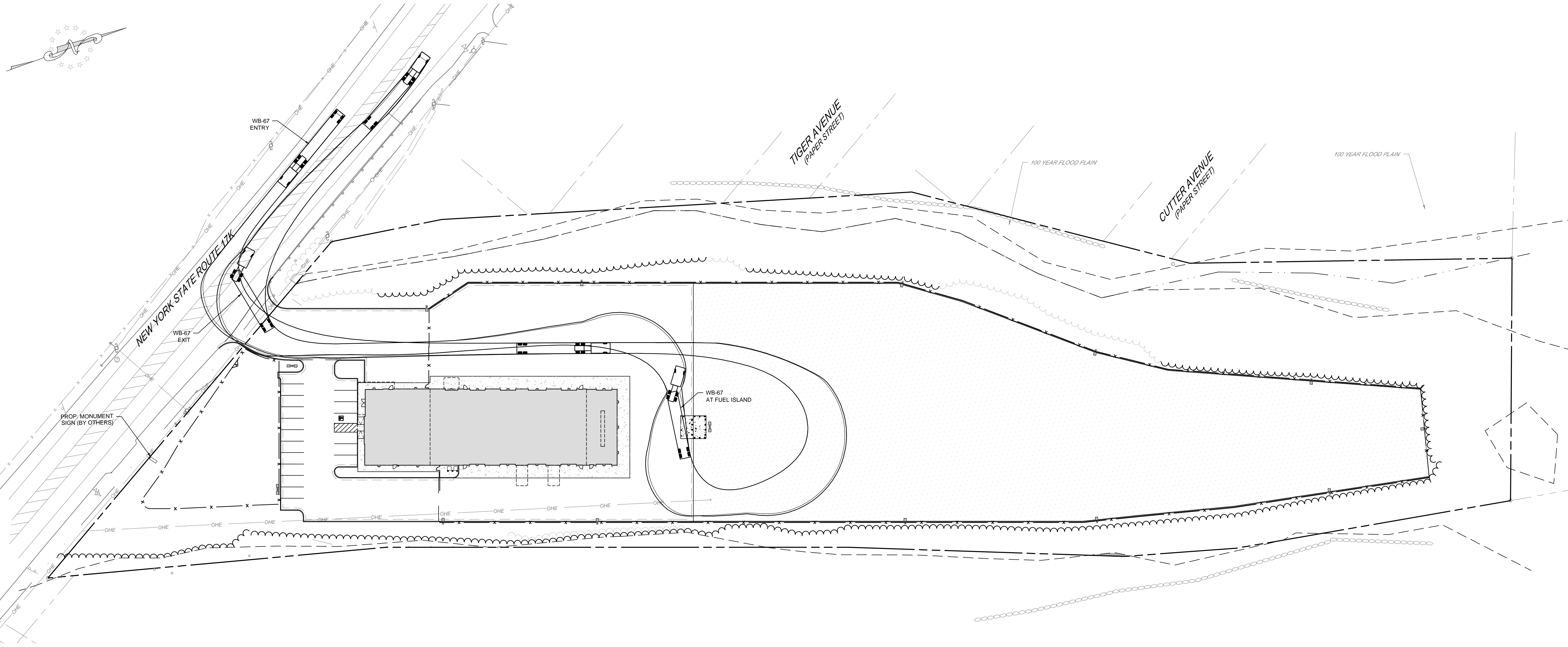
FINAL LAND DEVELOPMENT PLAN SET
LANDSCAPING PLAN AND DETAILS
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #
GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DESIGNED	JWJ
CHECKED	NES/JWJ

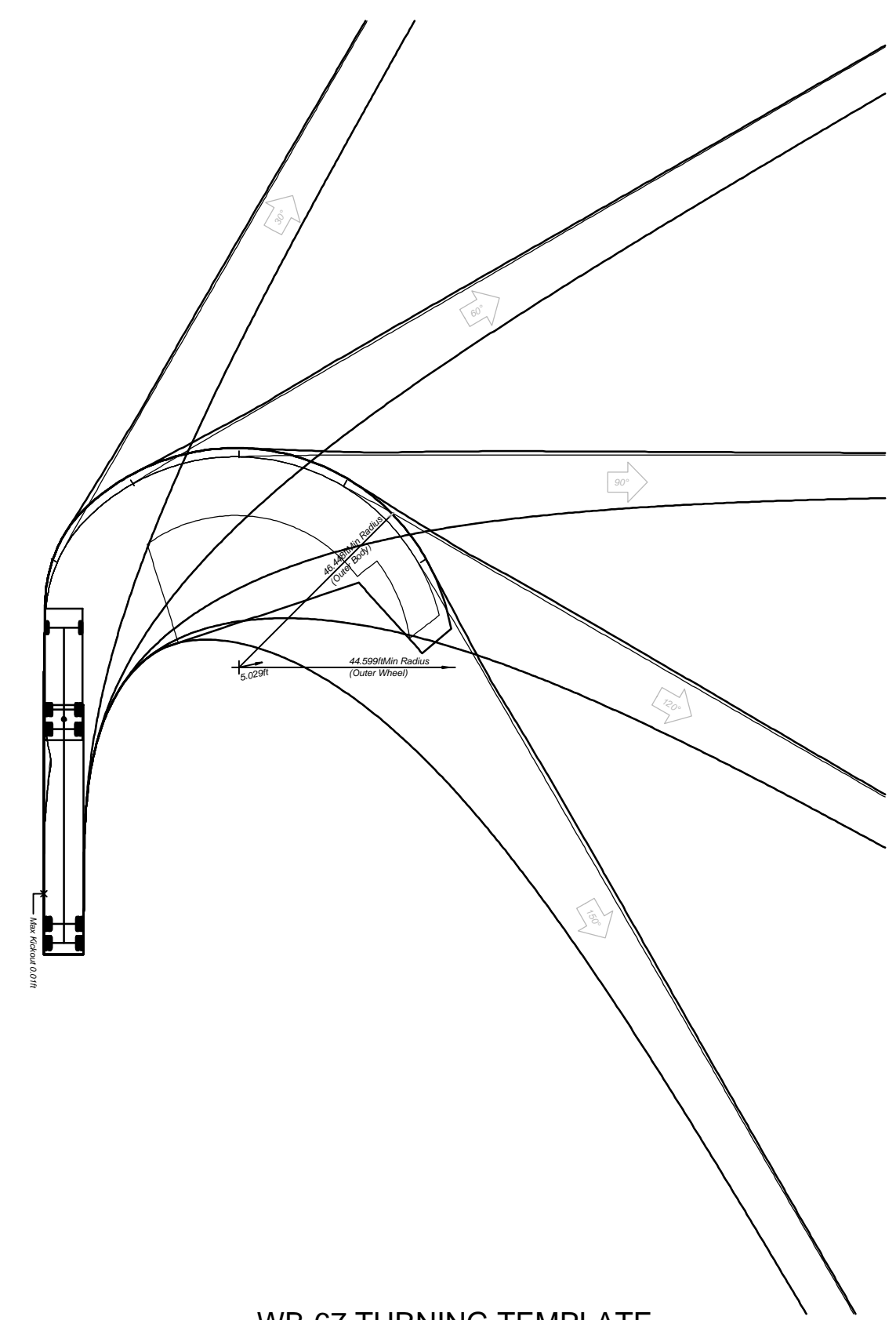
STATE OF NEW YORK
JULIE E. SANDER
PROFESSIONAL ENGINEER
87961
08/30/2022

C900
SHEET 9 OF 12



WB-67 - Interstate Semi-Trailer
 Overall Length 73.500FT
 Overall Width 8.500FT Overall
 Body Height 12.052FT Min
 Body Ground Clearance 1.334FT
 Max Track Width 8.500ft
 Lock-to-lock time 8.00S Max
 Steering Angle (Virtual) 28.40°

WB-67 PROFILE
 N.T.S.



WB-67 TURNING TEMPLATE
 N.T.S.

A:\028 ALI\DESIGN\04 SUN BELT NEWBURGH HV\PROJECT ENGINEERING\DRAWINGS\028\04-5\TURN-MARK SHEARER-2022\08-30

REV	DATE	DESCRIPTION	BY
1	06/30/22	UPDATED PREHIE REVIEW LETTER DATED 07/21/22 AND CREIGHTON MANNING REVIEW LETTER DATED 07/20/22	MAS

Independence
ENGINEERING LLC

102 FARNSWORTH AVENUE, SUITE 310
 BORDENTOWN, NJ 08805
 (609) 496-9369 INDEPENDENCE@INDEPENDENG.COM

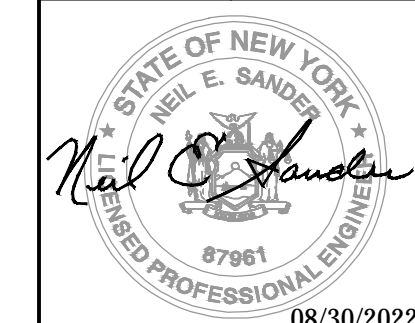
FINAL LAND DEVELOPMENT PLAN SET
 for
 VEHICLE TURNING PLAN-WB 67
 SUNBELT RENTALS - NEWBURGH
 224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

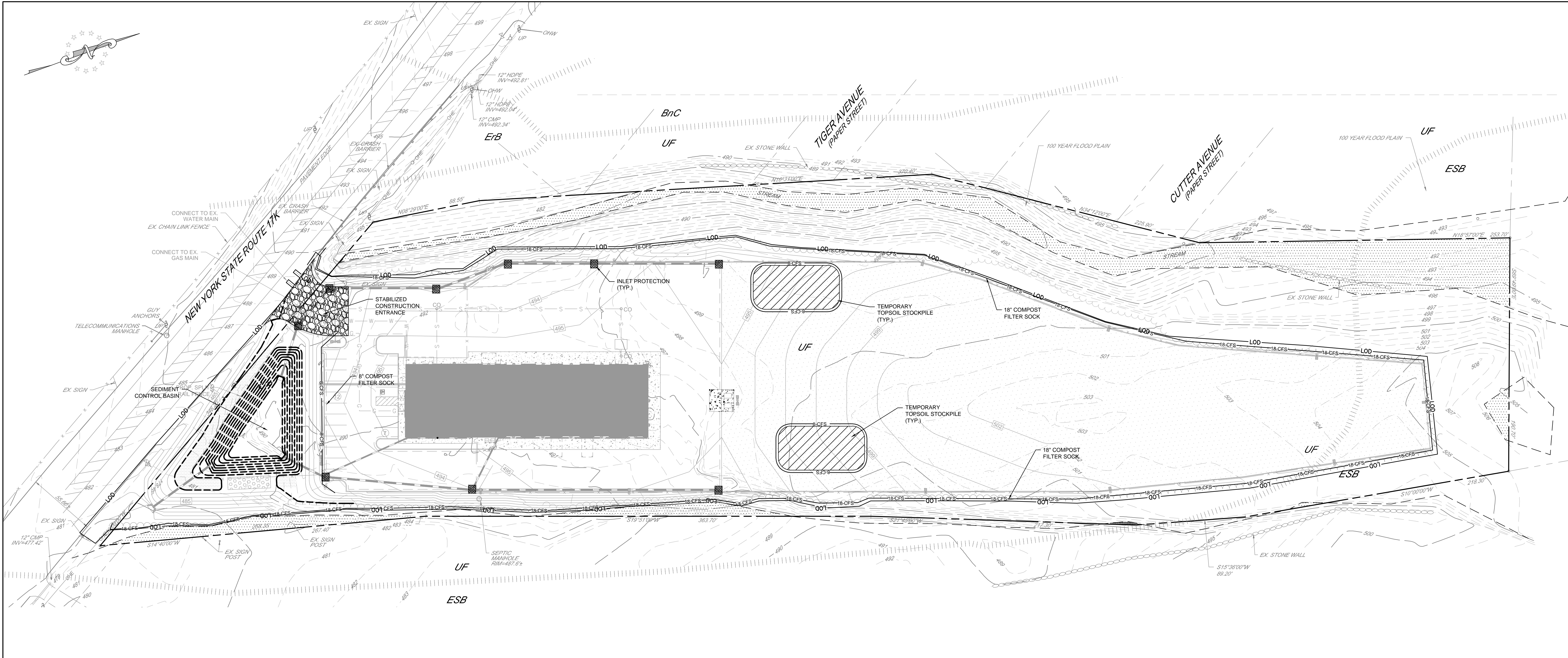
811

ID #

0 20 40
 GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES/JWJ





EROSION/SEDIMENT CONTROL PLAN NOTES:

- ALL EROSION AND SEDIMENT DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, NOVEMBER 2016 OR LATEST EDITION.
- THE OPERATOR/RESPONSIBLE PERSON (ORP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE ORP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE ORP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED AND APPROVED BY THE CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOILS AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER AN UNDISTURBED AREA.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE ORP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE ORP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY, DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.
- DISTURBED AREAS THAT ARE AT A FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEPS SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

SOIL TYPES AND LIMITATIONS

THE SOILS INFORMATION FOR THE PROJECT IS FOUND ON THE NATURAL RESOURCES CONSERVATION SERVICE ON THE "WEB SOIL SURVEY, [HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/](http://websoilsurvey.nrcs.usda.gov/). THE SOIL SURVEY AREA IS ORANGE COUNTY, NY AND THE SURVEY AREA DATA IS VERSION 22, AUGUST 19, 2021.

THE FOLLOWING SOIL TYPES ARE FOUND ON THE SITE:

SOIL TYPE	SYMBOL
UDIFLUVENTS - FLUVAQUENTS COMPLEX (95%), FREQUENTLY FLOODED	UF
ERIE EXTREMELY STONY SOILS (5%), GENTLY SLOPING	ESB

CONSTRUCTION SEQUENCE:

- PRIOR TO START OF CONSTRUCTION A SITE MEETING WITH THE TOWN'S ENGINEER AND CONTRACTOR SHALL BE SCHEDULED TO REVIEW PLANS AND ADDRESS ANY COMMENTS PRIOR TO CONSTRUCTION.
- INSTALL THE CONSTRUCTION ENTRANCE WHERE SHOWN ON THE PLAN.
- INSTALL THE COMPOST FILTER SOCKS WHERE INDICATED ON THE PLAN.
- REMOVE AND CLEAR ANY AND ALL STRUCTURES AND UTILITIES PER THE DEMOLITION PLAN AND IN ACCORDANCE WITH THE DEMOLITION NOTES ON THAT DEMOLITION PLAN.
- CLEAR THE AREAS DESIGNATED FOR THE NEW PROPOSED BUILDING.
- GRADE THE AREA DESIGNATED FOR, AND START THE CONSTRUCTION OF, THE NEW PROPOSED BUILDING. INSTALL THE NEW PAVEMENT IN FRONT AND ON THE SIDE OF THE BUILDING, INCLUDING THE ADA PARKING STALLS.
- INSTALL SANITARY LATERAL, INCLUDING OIL AND WATER TRAP, AND WATER LATERAL CONNECTION.
- PLACE ANY TOPSOIL FROM THE BUILDING SITE IN THE LOCATION SHOWN ON THE PLAN. TEMPORARILY SEED AND STRAW-MULCH THE STOCKPILE AS REQUIRED.
- AFTER MAIN BUILDING CONSTRUCTION HAS COMMENCED, CLEAN THE ENTIRE REMAINING NEW AND EXISTING PAVED AREA. REMOVE ANY PADS, CONCRETE CURBS, ETC. THAT ARE NOT REQUIRED.
- INSPECT, MAINTAIN, AND REPAIR EROSION CONTROLS AROUND THE SITE ON A WEEKLY BASIS AND AFTER MEASURABLE (MIN. 0.25") RAINFALL UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- AFTER BUILDING CONSTRUCTION, PAVEMENT AND PARKING CONSTRUCTION, AND GENERAL AREA CONSTRUCTION HAS ENDED, DEMOLITION AND CONSTRUCTION OF THE NEW CONCRETE ENTRANCE CAN START.
- CRITICAL STAGE** ONCE ALL TRIBUTARY AREAS HAVE BEEN STABILIZED AND AUTHORIZATION FROM THE BUCKS COUNTY CONSERVATION DISTRICT AND BRISTOL TOWNSHIP HAS BEEN RECEIVED, EROSION CONTROLS CAN BE REMOVED. DISPOSE OF/RECYCLE ANY SILT FENCE, CONSTRUCTION WASTES, AND/OR OTHER BMPs. PERMANENTLY STABILIZE AREAS DISTURBED BY REMOVAL OF THE BMPs. REMOVE ANY SEDIMENT OUT OF THE BASINS WITHOUT COMPACTING THE BOTTOMS (MANUALLY) AND REPLACE TOPSOIL WHERE NEEDED.
- CLEAN ANY AREAS AFTER CONSTRUCTION OF ANY DEBRIS.

SOIL LIMITATION

SOIL LIMITATION
CUTBANKS CAVE
CORROSIVE TO CONCRETE/STEEL
DROUGHTY
EASILY ERODIBLE
DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE
HYDRIC / HYDRIC INCLUSION
LOW STRENGTH / LANDSLIDE PRONE
SLOW PERCOLATION
POOR SOURCE OF TOPSOIL
FROST ACTION
SHRINK-SWELL
WETNESS

RESOLUTION

THE CONTRACTOR SHALL TAKE EXTRA CARE WHILE CONSTRUCTING CUTBANKS. ADDITIONAL EROSION CONTROL MEASURE, SUCH AS TRENCH BOXES, SHALL BE USED AS NEEDED.

THE CONTRACTOR SHALL REMAIN COGNIZANT OF THE CORROSION POTENTIAL OF THESE SOILS AND CONSIDER WHAT MATERIALS SHOULD BE USED FOR BACKFILL.

SOILS SHALL BE AMENDED WITH COMPOST AS NEEDED TO INCREASE THE SOIL'S WATER HOLDING CAPACITY. IF THE DRY SOIL CREATES A DUST NUISANCE DURING CONSTRUCTION, THEN A WATER TRUCK SHALL BE AVAILABLE ON-SITE AS A MEANS OF CONTROL.

EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED ON THE APPROVED PLAN. USE ADDITIONAL E&S MEASURES IF SITE CONDITIONS REQUIRE THEM.

DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIME DURING CONSTRUCTION.

THE CONTRACTOR SHALL AVOID DISTURBANCE TO HYDRIC SOIL AS MUCH AS POSSIBLE.

THE CONTRACTOR SHALL PROPERLY STABILIZE ALL SLOPES TO PREVENT LANDSLIDES. EROSION CONTROL BLANKET AND OTHER E&S MEASURES SHALL BE USED AS NEEDED.

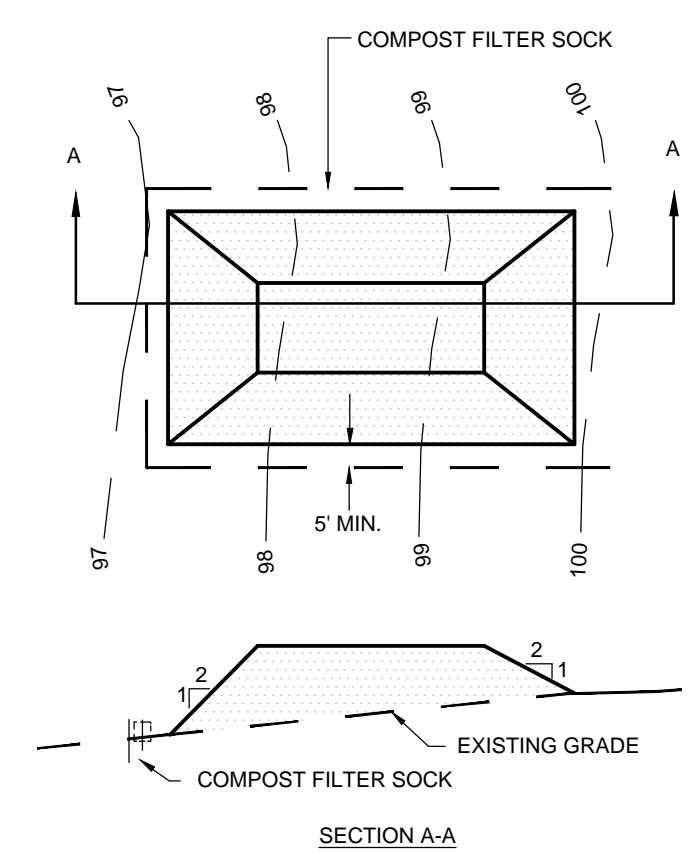
DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY THAT ANY SOILS USED FOR TOPSOIL ARE APPROPRIATE FOR SUCH USE.

THE CONTRACTOR SHALL TAKE EXTRA CARE WHILE PERFORMING GRADING OPERATIONS IN THESE SOILS DURING THE WINTER MONTHS AND UTILIZE ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AS NEEDED.

THE CONTRACTOR SHALL ENSURE THAT ALL SOILS ARE PROPERLY COMPACTED. IF UNANTICIPATED SHRINK-SWELL RESULTS IN A EARTHWORK MISBALANCE, THE CONTRACTOR SHALL VERIFY THAT ANY SOIL IMPORTED TO OR EXPORTED FROM THE SITE IS CLEAN FILL.

DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.



- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - HEIGHT SHALL NOT EXCEED 35 FEET. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS TO MINIMIZE EROSION.
 - COMPOST FILTER SOCK SHALL BE INSTALLED AS DETAILED HEREON.
 - LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 - SEE SEQUENCE OF CONSTRUCTION NOTES ON SHEET 67.
- **MAINTENANCE AND INSPECTION**
- INSPECT STOCKPILES REGULARLY, ESPECIALLY AFTER LARGE STORMS. STABILIZE ANY AREAS THAT HAVE ERODED.

STOCKPILE DETAIL
N.T.S.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	LIMIT OF DISTURBANCE
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING STORM
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING WETLANDS FLAG
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING SPOT ELEVATION

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CREGGTON MANNING REVIEW LETTER DATED 07/20/22

Independence
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FINAL LAND DEVELOPMENT PLAN SET
SOIL EROSION & SEDIMENT CONTROL PLAN

for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

ID #

GRAPHIC SCALE: 1" = 40'

PROJECT
028-004

DATE
06/17/2022

SCALE
1" = 40'

DESIGNED
JWJ

CHECKED
NES/JWJ

C2000

SHEET 11 OF 12

Figure 2.1
Stabilized Construction Access

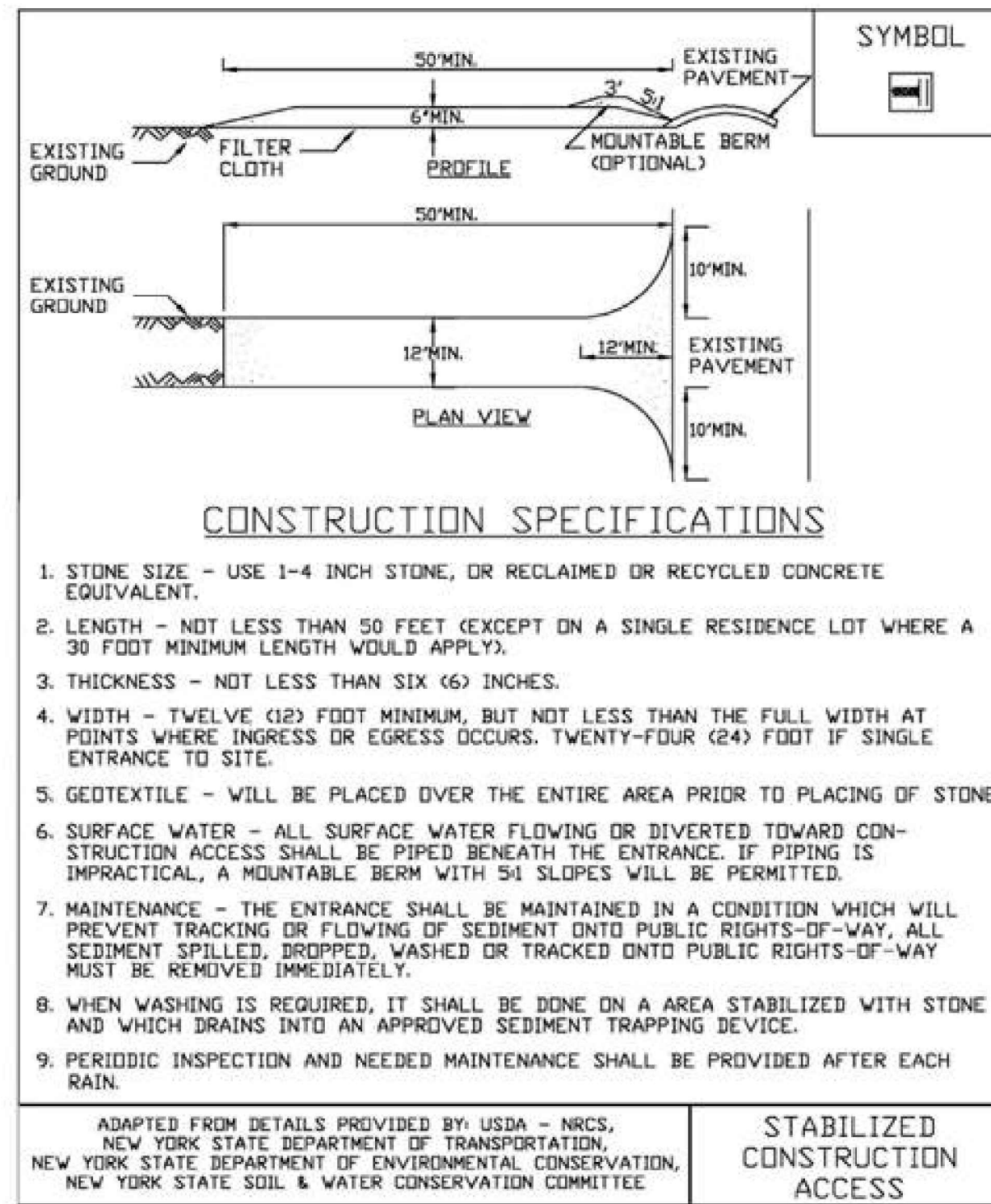


Figure 3.1
Stone Check Dam Detail

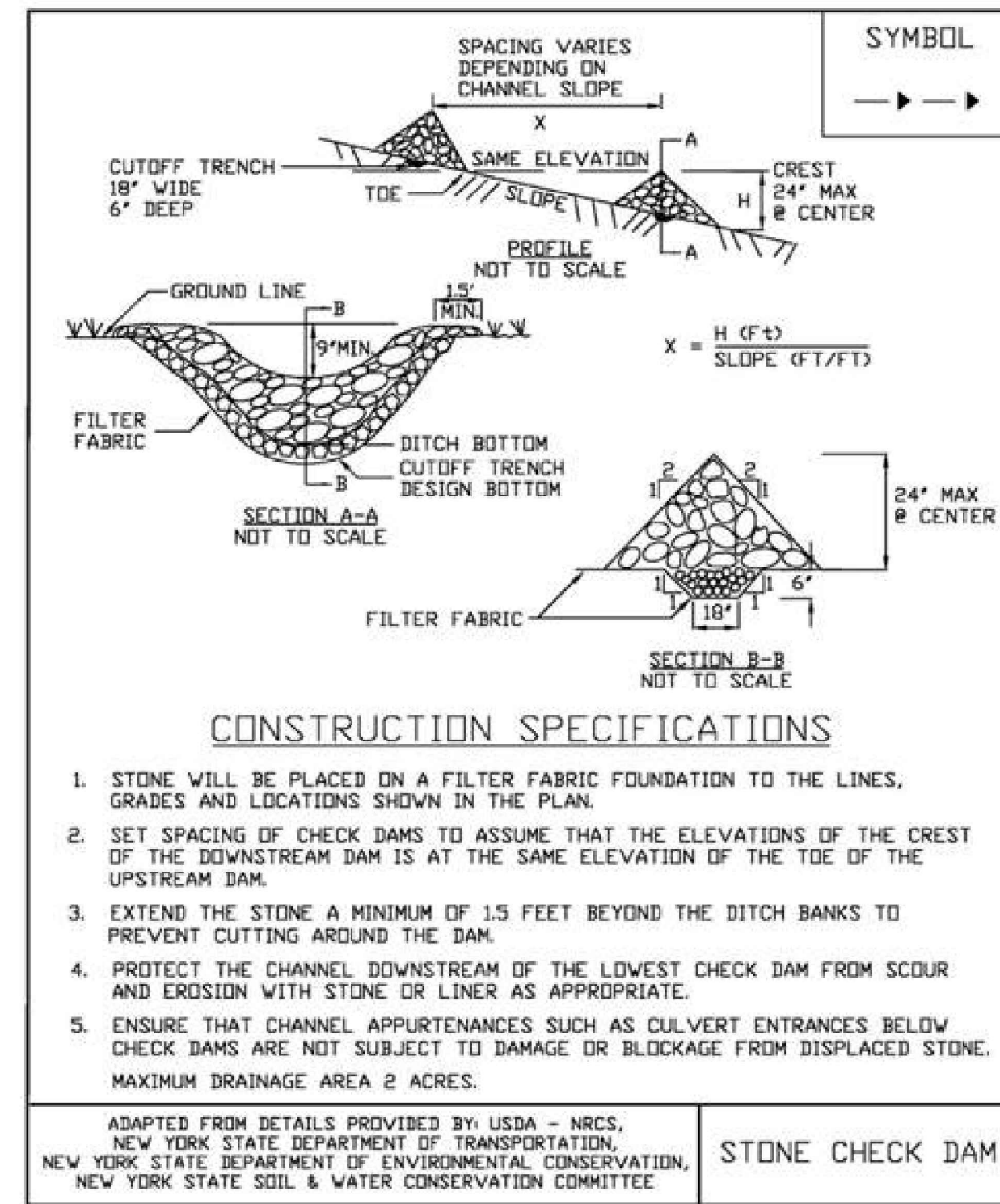


Figure 3.18
Riprap Outlet Protection Detail (1)

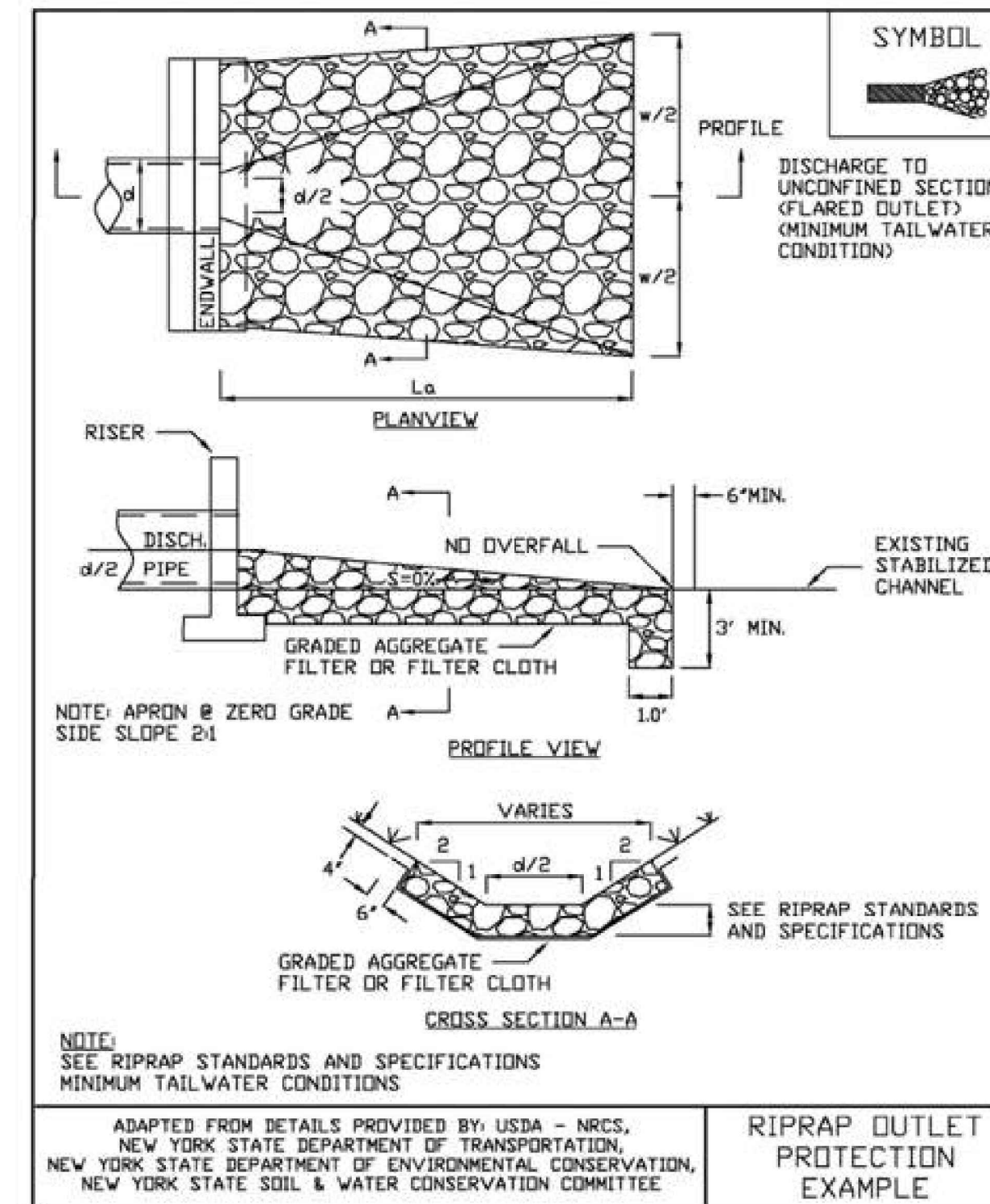


Figure 4.1
Angles of Repose of Riprap Stones (FHWA)

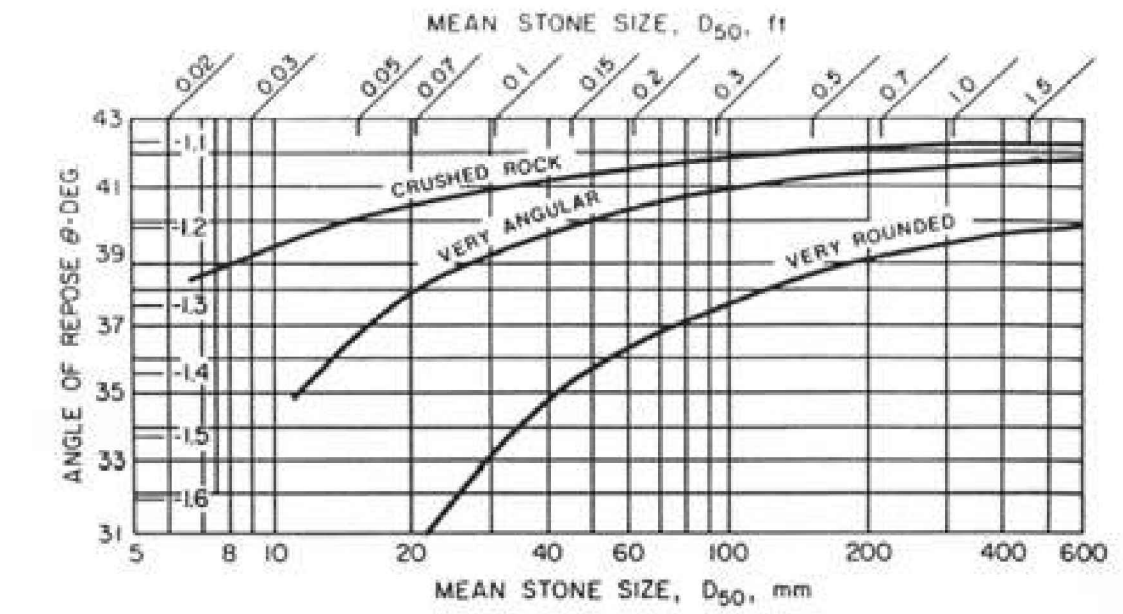


Figure 4.2
Typical Riprap Slope Protection Detail

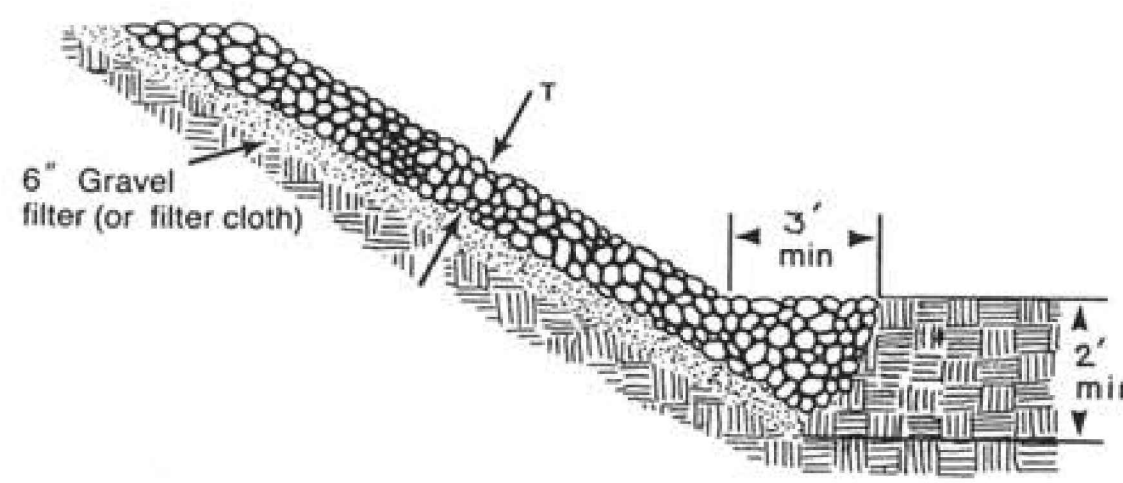


Figure 4.11
Landgrading - Construction Specifications

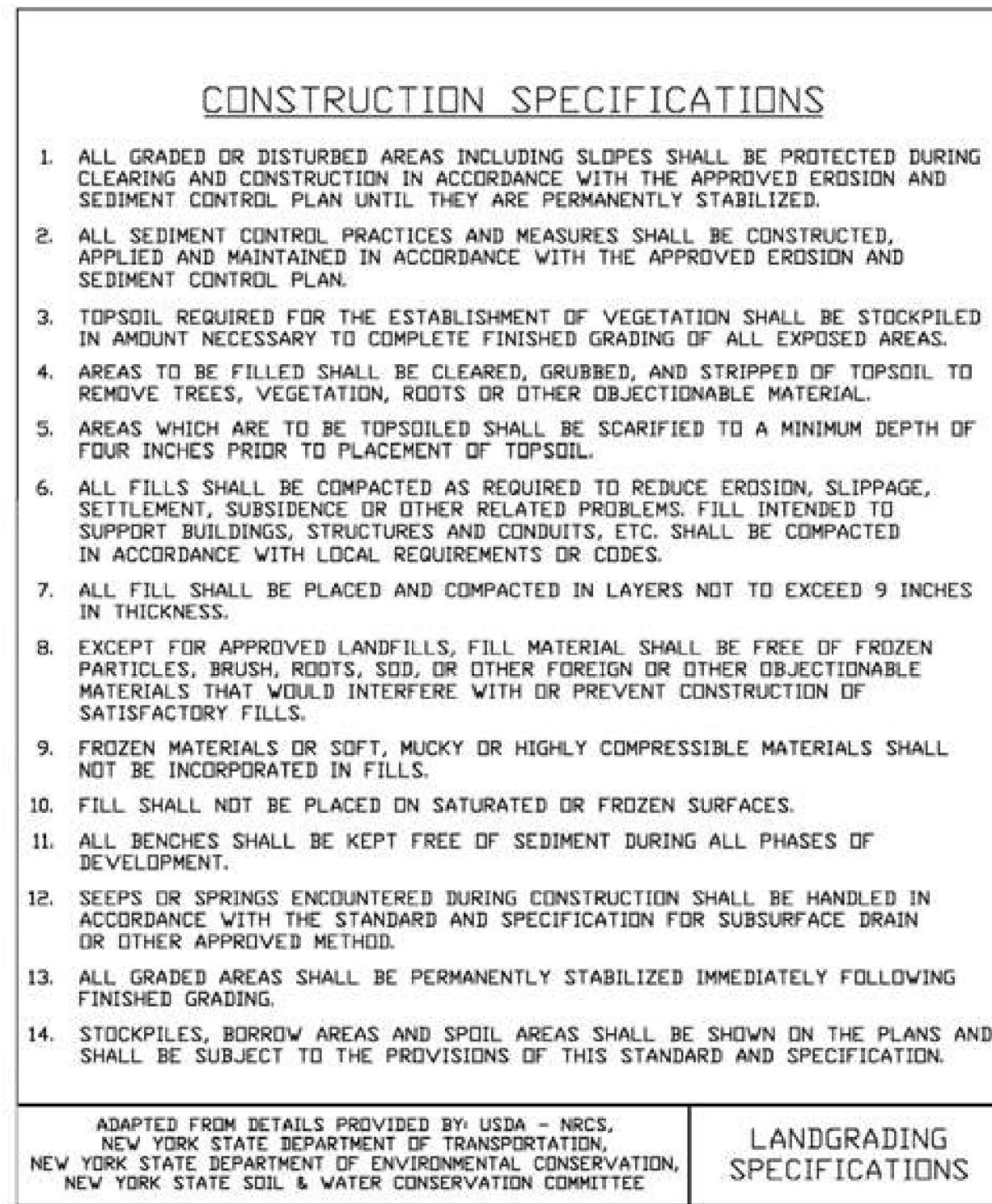


Figure 5.2
Compost Filter Sock

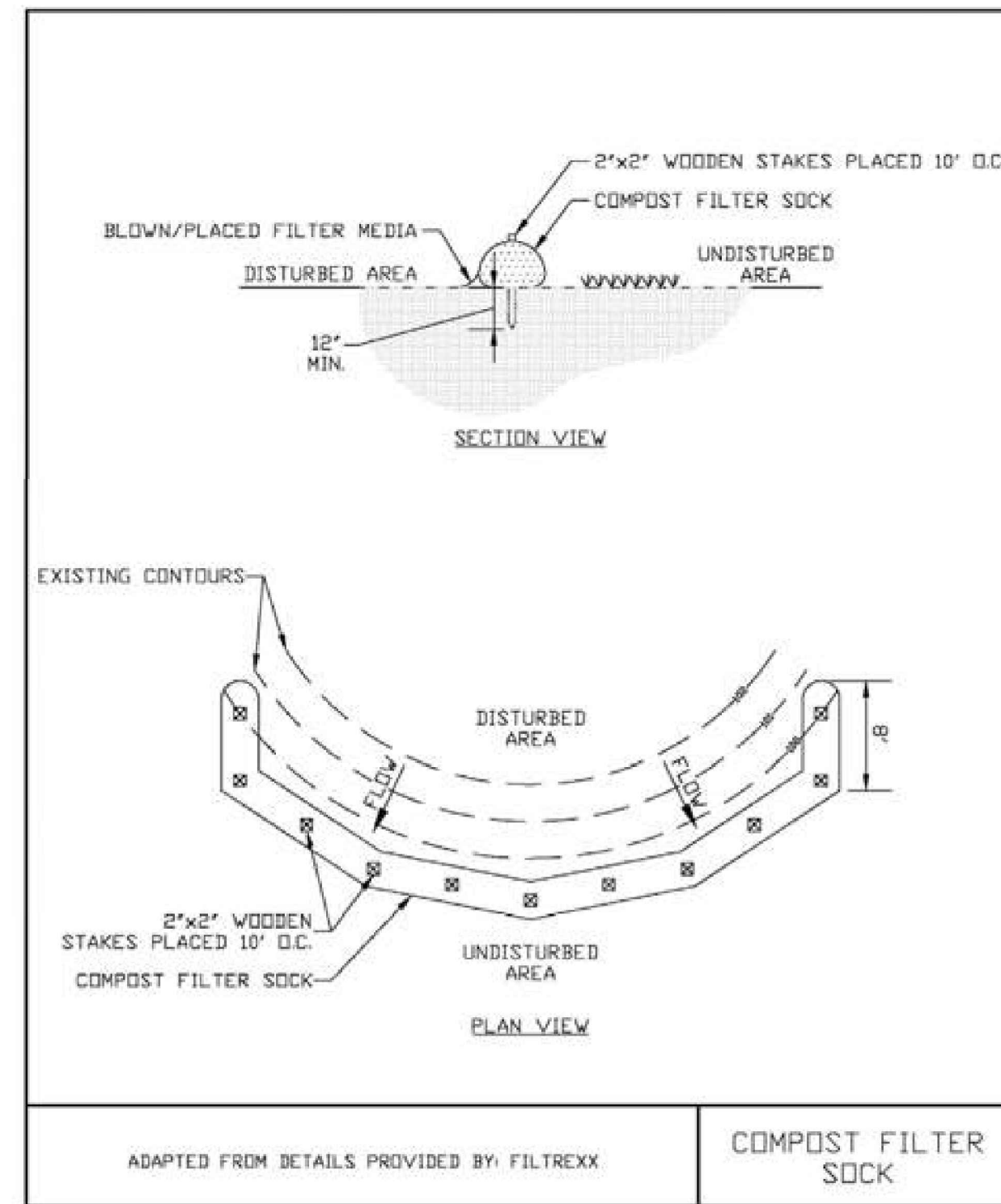


Figure 5.33
Stone & Block Drop Inlet Protection

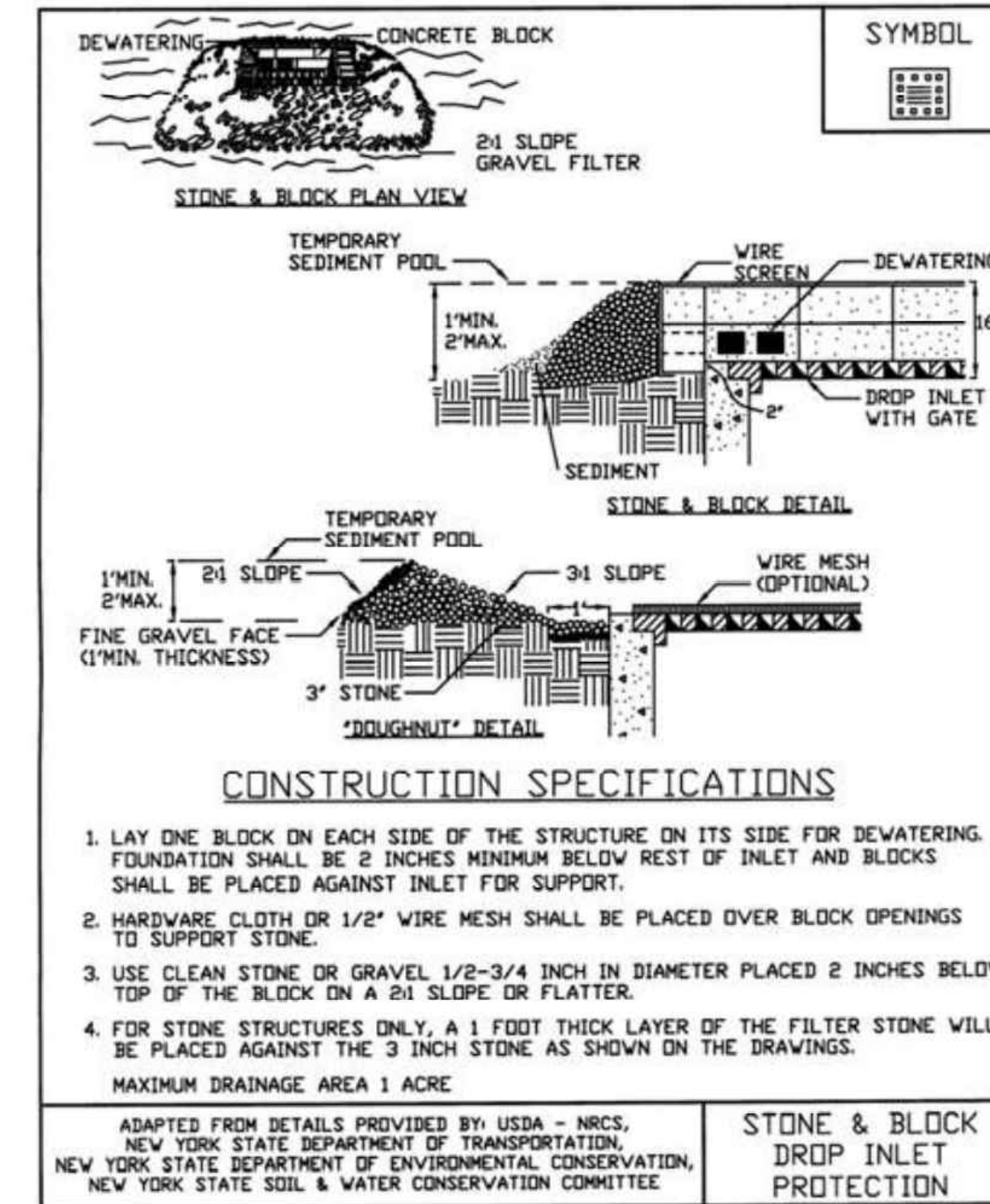
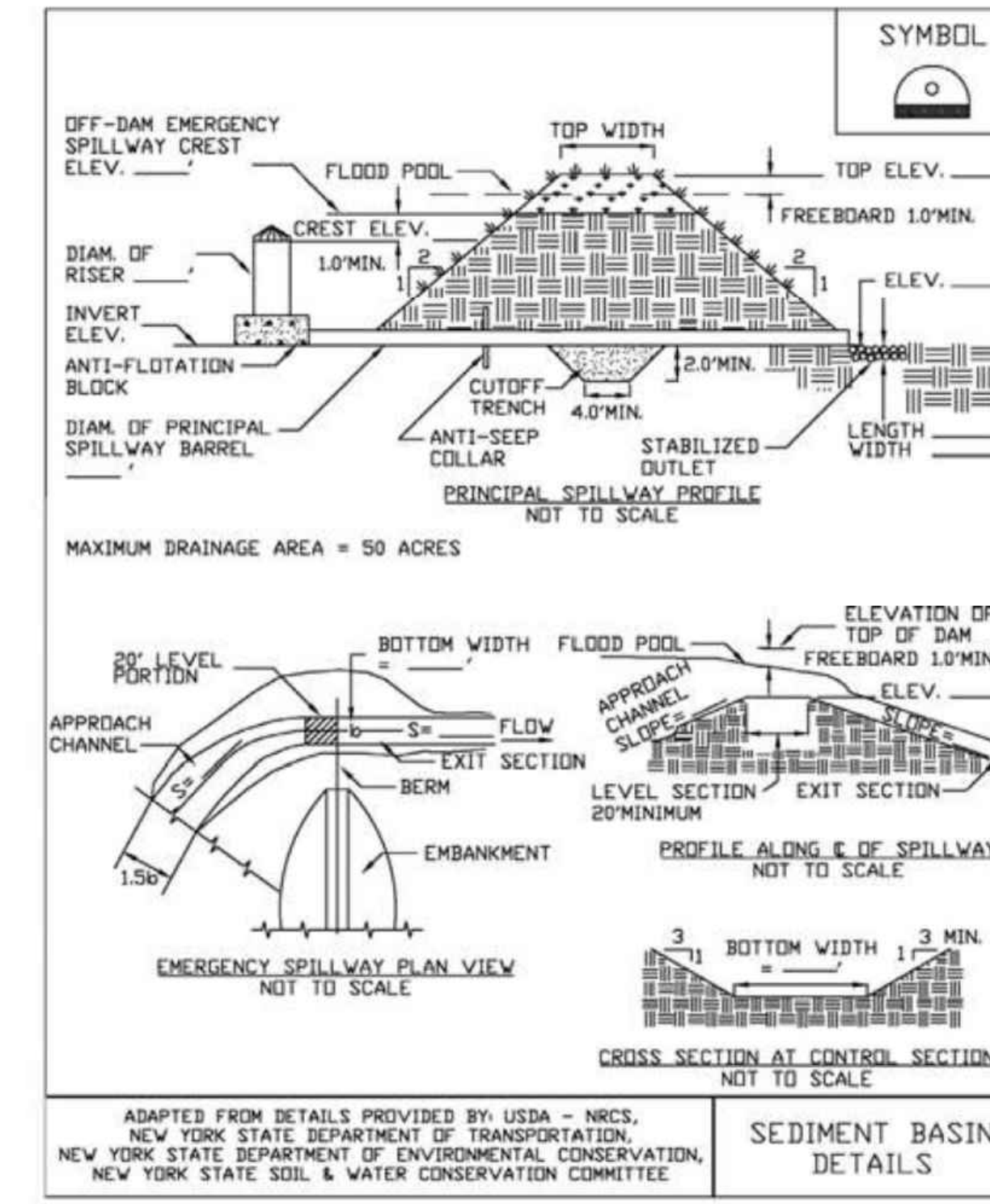


Figure 5.9
Sediment Basin



BY: MAS
DATE: 08/30/22
REV: 1

DESCRIPTION: UPDATED PRELIMINARY REVIEW LETTER DATED 07/21/22 AND CREDITON MANNING REVIEW LETTER DATED 07/20/22

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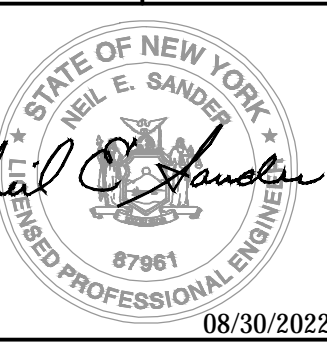


ID #

PROJECT: 028-004
DATE: 06/17/2022

SCALE: N.T.S.
DRAWN: ESC

DESIGNED: JWJ
CHECKED: NES/JWJ



08/30/2022

C2100
SHEET 12 OF 12