



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJC REALTY, LLC
PROJECT NO.: 2023-11
PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 3.22/ NYS ROUTE 32
REVIEW DATE: 30 AUGUST 2023
MEETING DATE: 7 SEPTEMBER 2023
PROJECT REPRESENTATIVE: LANC & TULLY

1. The building is now proposed to be 80 square foot larger than the previous proposal. Total building size is now 10,080 square feet.
2. The building is located very close to setback lines. Staking of the building by a licensed surveyor prior to issuance of the Building Permit.
3. Existing fencing for the self-storage facility crosses the property line. The location of the new fence should be depicted on the plans.
4. Plans should address stormwater management in compliance with NYSDEC and Town requirements.
5. The subsurface sanitary sewer disposal system is depicted to be constructed under pavement. Orange County Department of Health approval for the alternative system will be required.
6. The Planning Board should declare its intent for Lead Agency and circulate to outside agencies including the NYS Department of Transportation, Orange County Health Department and Orange County Department of Planning.
7. The Short Form EAF submitted identifies the project within the Town of Newburgh's Critical Environmental Area, however the project is located outside the Critical Environmental Area.
8. The Tree Preservation Plan should identify the percent of trees to be removed. Species of trees should be identified in the Tree Preservation Plan. It appears that only one tree greater than 20 inches is proposed to be removed.
9. A substantial retaining wall is proposed along the north and westerly side of the development. Wall is approximately 18 feet high at its highest point along the northern property line.
10. The parking in front of the structure in the front yard setback is not consistent with the Towns Design Guidelines. The applicants are proposing a partial stone wall to mitigate parking along the frontage.

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11. ARB approval for the structure is required. Building plans should be submitted for review.
12. Design of the retaining wall should be addressed on the plans.
13. The water line connection for fire and potable water should be depicted on the Utility Plan.
14. NYSDOT approval for utilities and grading within their right-of-way is required.
15. Documentation of the easement for access from Tax Lot 21.2 should be submitted for Dominic Cordisco's review.
16. Parking lot striping should be consistent with Town of Newburgh requirements utilizing double striping. (Detail Attached)
17. Plans contain a bio-retention detail. Location of the bio-retention area is not depicted on the plans.

Respectfully submitted,

MHE Engineering, D.P.C.

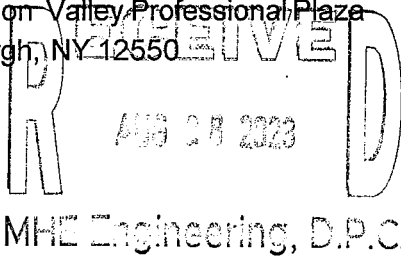
A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive style with a large initial 'P'.

Patrick J. Hines
Principal
PJH/kbw



August 24, 2023

Town of Newburgh Planning Board
Mr. John Ewasutyn - Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550



Re: Site Plan for MKJC Realty LLC
SBL: 35-3-3.22
NYS Route 32
Planning Board #2023-11

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are 11 copies of the following materials for the Board's continued review of the application at the upcoming September 7, 2023 Planning Board Meeting:

- Revised Site Plan entitled "Site Plan Prepared for MKJC Realty, LLC." last revised on August 23, 2023

The plans have been revised to address the comments received from the Planning Board consultants at the May 2023 Planning Board meeting. The comments and responses are provided below:

MHE Engineering comments dated May 26, 2023

1. The project proposes to construct a 10,000 square foot retail building on NYS Route 32 across from Weyants Lane. The parcel is 1.56 +/- acres in size.

Response: The site plan has been updated to reflect a 10,080-sf building on a vacant parcel of 1.56 acres in size.

2. The front yard setback along state highways is 60 feet. 40 feet is shown in the Bulk Table, 80 feet is provided.

Response: The bulk table and setback have been corrected.

3. The right turn into the site immediately adjacent to the access road should be evaluated by Ken Wersted with regard to proximity to the state highway.

Response: CME has provided comment that the right turn into the site was satisfactory. The plan has been revised to provide for additional length as the property has now been formally surveyed.

4. The Planning Board will eventually need to declare its intent for Lead Agency upon receipt of a detailed Site Plan.

Response: The applicant would request that this be completed at the meeting.

5. Access to the site is via an existing commercial driveway. The existing access Easement and Maintenance Agreements for this driveway should be submitted for the Planning Board Attorney's review.

Response: The agreements will be prepared by the applicant's council and submitted prior to final site plan approval.

6. The building will be required to have fire sprinkler system.

Response: Comment noted. The water service is designed to provide for a 4" sprinkler service into the building.

7. Parking in the front is not consistent with design guidelines.

Response: The parking within the front has been revised and has been pushed back from NYS Route 32 due to a DOT property taking. A proposed stone wall is provided for screening a portion of the spaces and landscaping has been provided for buffering along the frontage.

8. The EAF identifies the project in the Town's Chadwick Lake Reservoir Environs Critical Environmental Area. The project site is not located within that area (Copy Attached).

Response: Comment noted.

9. Building height is identified as 35 feet. A 35-foot-high building would require aerial access fire lanes at 26 feet width.

Response: The building architectural plans have not been completed yet, but the site plan has been designed to provide for a 26 ft wide aerial access lane along the rear of the building between 15 and 30 ft away from the building.

10. There are no finished floor elevations provided. Building height is measured along the front of the building, which fronts on the state highway. This building height may be less than 35 feet. Finished floor elevations for each story should be provided.

Response: The first-floor elevation of the building has been provided on the site plan. Upon completion of building architectural plans the additional floor elevations shall be provided.

11. Improvements on the CBPS Realty, LLC Tax Lot 35-3-21.21 should be depicted on future submissions.
Response: The improvements on the CBPS tax parcel have been provided within the plan set.
12. The proximity to the proposed sanitary sewer disposal system and the adjoining well for the self-storage facility should be documented.
Response: The adjoining well is not within 200 ft of the proposed SDS area.
13. A Stormwater Pollution Prevention Plan will be required to be submitted.
Response: This plan will be provided under separate cover.
14. The Long Form EAF submitted should be signed by the preparer or applicant.
Response: The EAF has been signed by our office.
15. Project is subject to Town Landscaping Requirements and ARB.
Response: A landscaping plan has been provided within the plan set for review. The architectural plan will be provided under separate cover.
16. Actual Field Survey will be required as part of the Site Plan.
Response: A field survey has been completed.
17. Tree Preservation Ordinance compliance should be documented.
Response: The property existing trees and sizes have been provided on the plans and the trees to be removed have been denoted.

KALA – Comments dated May 26, 2023

1. Section 172-5 of the new Tree Preservation and Protection Local Law requires a tree survey for the entire site showing location, diameter, and species of all Significant trees on the site, and an identification of all Specimen Trees and Protected Trees. It also requires identification of which Significant Trees and Specimen Trees are to be protected, preserved, or undisturbed, to be removed or disturbed, and exempt from the calculation. Trees which are dead, diseased, or have been damaged must also be identified.
Response: The onsite trees have been located and tagged on the property. The diameter and status of the tree has been provided. Within future submissions, the tree species shall be provided.
2. Trees that are inventoried should be tagged with metal tags and numbered according to the inventory. Numbered trees and corresponding inventory must be shown on the site plan. Use aluminum nails when tagging.
Response: The trees have been located and tagged with nails, on the property. The tree plan has been provided within the plan set.

3. Article V, Section 185-21 gives the planning board authority to require reasonable screening of parking and service areas from public points of view and nearby residences. To be in keeping with nearby commercial projects and streetscapes, we recommend dense screen planting between the site and all abutting properties.

Response: A landscaping plan has been provided for review within the plan set.

4. According to Town of Newburgh design guidelines, street trees must be shown planted 40' on center along the road.

Response: The NYSDOT acquired additional property from the applicant and the distance from the street resulting in a 40 ft distance from edge of pavement to the property line. The landscaping plan has provided a landscaping wall and plantings along this boundary.

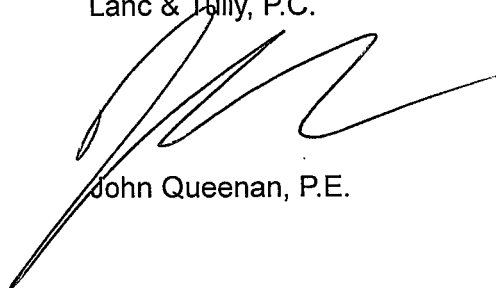
5. Landscaping should not be an afterthought in site design. Areas for landscaping that conforms to Town of Newburgh codes must be purposefully designed. Do not shove landscaping into extra empty areas of the site once the hardscape has been designed.

Response: A landscaping plan has been provided for review.

If you should require any additional information or have any questions, please do not hesitate to contact our office.

Very truly yours,

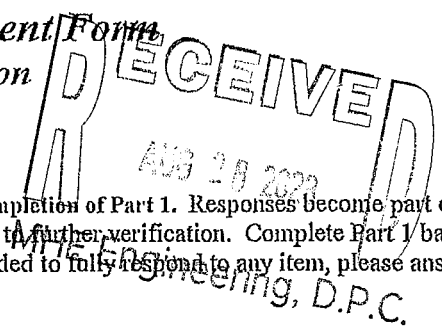
Lanc & Tully, P.C.



John Queenan, P.E.

Short Environmental Assessment Form

Part I - Project Information



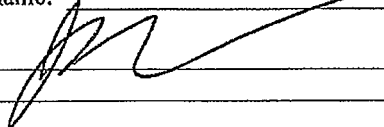
Instructions for Completing

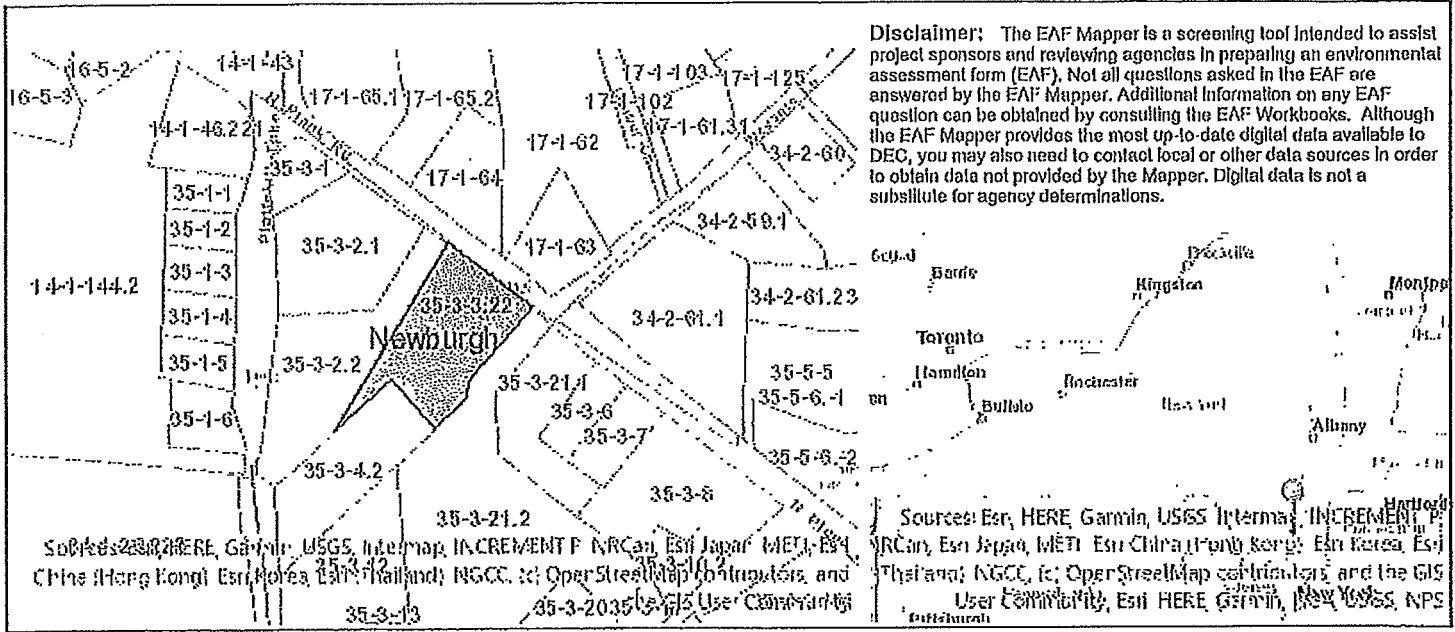
Part I - Project Information. The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I - Project and Sponsor Information			
Name of Action or Project: Site Plan for MKJC Realty, LLC			
Project Location (describe, and attach a location map): Property is located along NYS Route 32 within the Town of Newburgh approx 500 ft southwest of Route 300			
Brief Description of Proposed Action: The proposed project is the development of an existing 1.58 acre parcel into a 10,000 sf commercial office/retail building. The site is within the B zoning district where the uses are permitted and shall contain 77 proposed parking spaces. The site shall obtain access from an existing driveway from NYS Route 32. The site shall be serviced by municipal water and an onsite sewage disposal system.			
Name of Applicant or Sponsor: MKJC Realty, LLC		Telephone: 914-213-1337 E-Mail: Mattconsort@gmail.com	
Address: 208 South Plank Road			
City/PO: Newburgh		State: NY	Zip Code: 12550
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC-Stormwater SPDES		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.58 acres	
b. Total acreage to be physically disturbed?		1.3 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.58 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Chadwick Lake Reservoir, Reason: Development threat to public health, Agency: Newburgh, Town of, If Yes, identify: Date: 5-21-87	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: Onsite sewage disposal system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Private property swale		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stormwater Detention Facility		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: Lanc & Tully, P.C. - Project Engineer	Date: 5-22-23	
Signature: 	Title: Project Engineer	



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri, Esri (China), Swire, Esri Korea, Esri (Thailand), NGCC, iC, OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, USGS, NPS

Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Chadwick Lake Reservoir, Reason:Development threat to public health, Agency:Newburgh, Town of, Date:5-21-87
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
- TOTAL AREA: 1.57± ACRES
- DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONWERH VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
- SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/8" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAT SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED OCTOBER 26, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 8, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3294.



LOCATION PLAN

1 INCH = 2000 FEET

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - B ZONE		
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	68,355 SF
LOT WIDTH	100 FT.	225 FT.
LOT DEPTH	125 FT.	300 FT.
FRONT YARD	60 FT.*	62.3 FT.
ONE SIDE YARD/BOTH	15/30 FT.	17.8/50.5 FT.
REAR YARD	30 FT.	151.6 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	<35 FT.
BUILDING COVERAGE	40%	15±%
DEVELOPMENT COVERAGE	80%	76±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
10,080 SF OFFICE / 200 SF = 51 SPACES REQUIRED FOR OFFICE AREA

RETAIL: 1 PARKING SPACE PER 150 SF
10,080 SF RETAIL / 150 SF = 68 SPACES REQUIRED FOR RETAIL AREA

TOTAL = 68 PARKING SPACES REQUIRED MAX CONDITION
TOTAL = 71 PARKING SPACES PROVIDED INCLUDING 4 HANDICAP SPACES
1 LOADING SPACE HAS BEEN PROVIDED FOR 10,000 SF BUILDING

TOWN OF NEWBURGH WATER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1000 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8" MAIN VALVE OPENING, TWO 2" DIAMETER TAPPING HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-25200N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
- PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTING AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

SITE PLAN SHEET INDEX:

- SITE PLAN
- EXISTING CONDITIONS
- TREE LOCATION AND REMOVAL PLAN
- GRADING AND UTILITY PLAN
- SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS
- LANDSCAPING PLAN AND DETAILS
- LIGHTING PLAN AND DETAILS
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2
- CONSTRUCTION DETAILS 3

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

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TOWN OF NEWBURGH
SITE PLAN APPROVAL:

LANC & TULLY
Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JQ | Checked By: | Scale: 1" = 30' | Tax Map No.: 35 - 3 - 3.22 | Drawing No.: C3D 8- 23 - 0107 - 01

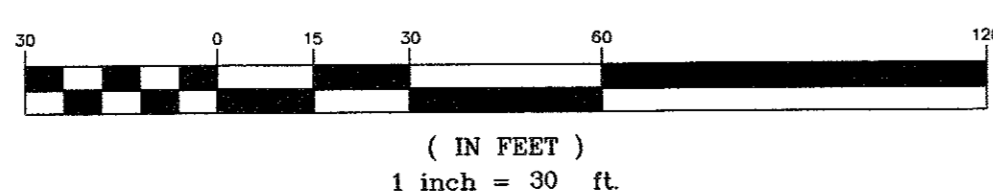
RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250

AREA:

1.569± AC. | 35 - 3 - 3.22 | L. 15137 P. 1318 | FILED MAP NO. 938-05

GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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GENERAL NOTES:

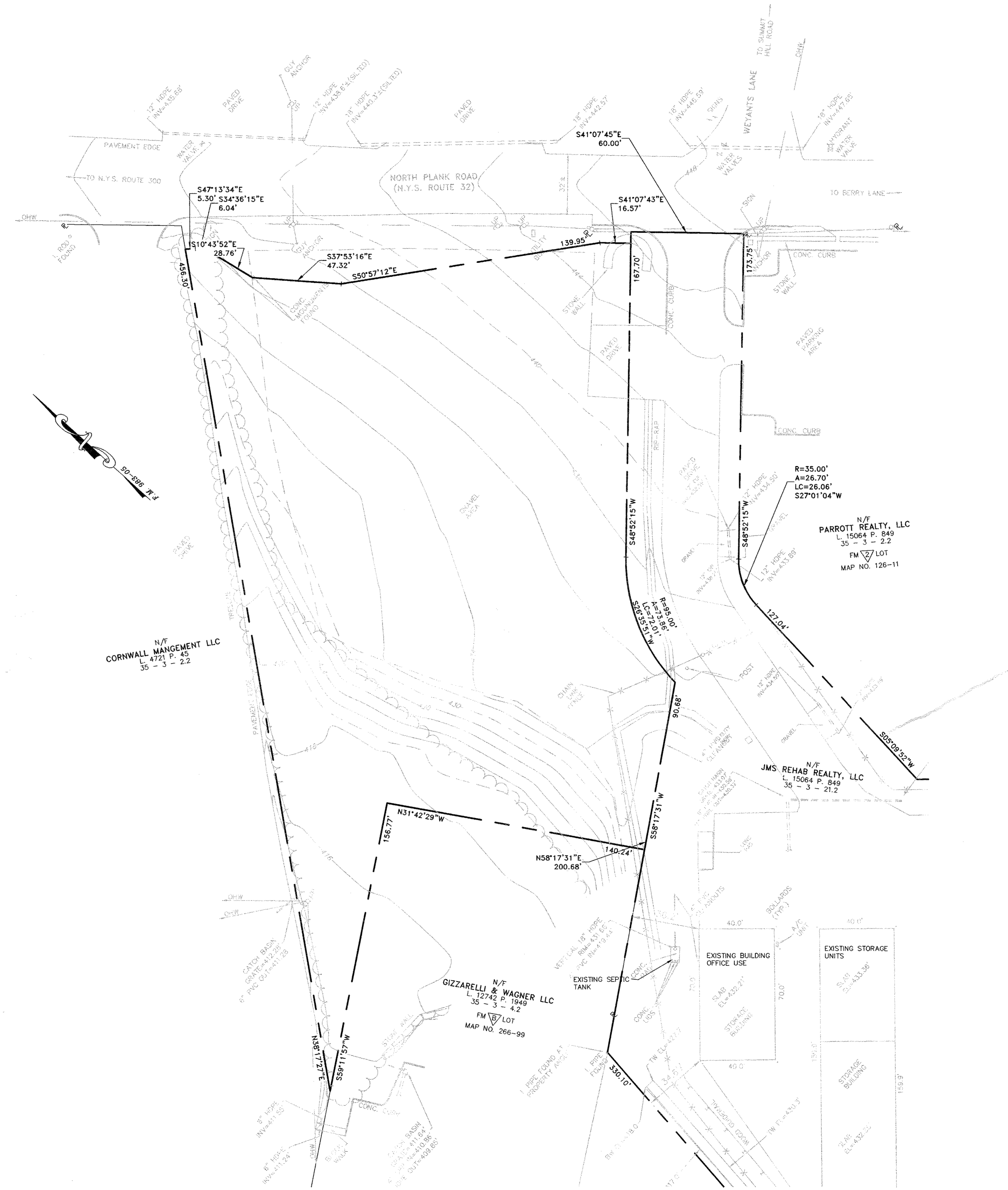
- TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
- TOTAL AREA: 1.57± ACRES
- DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
- SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 1/2" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED OCTOBER 26, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
 MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
 MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
 MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3284.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

RECORD OWNER/APPLICANT:

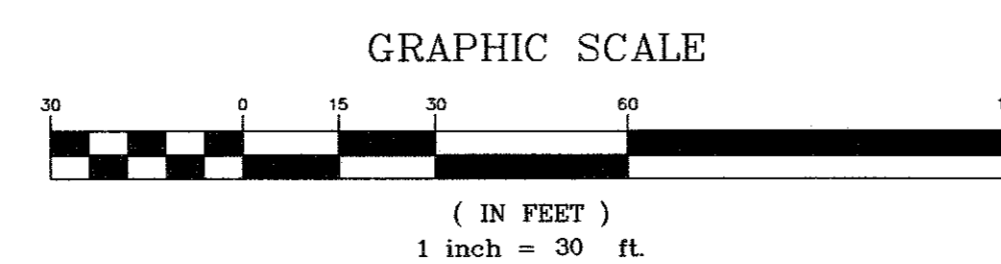
MKJC REALTY, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12250
AREA:
 1.569± AC.
 35 - 3 - 3.22
 L. 15137 P. 1318
 FILED MAP NO. 938-05



LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
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 (845) 294-3700

EXISTING CONDITIONS FOR

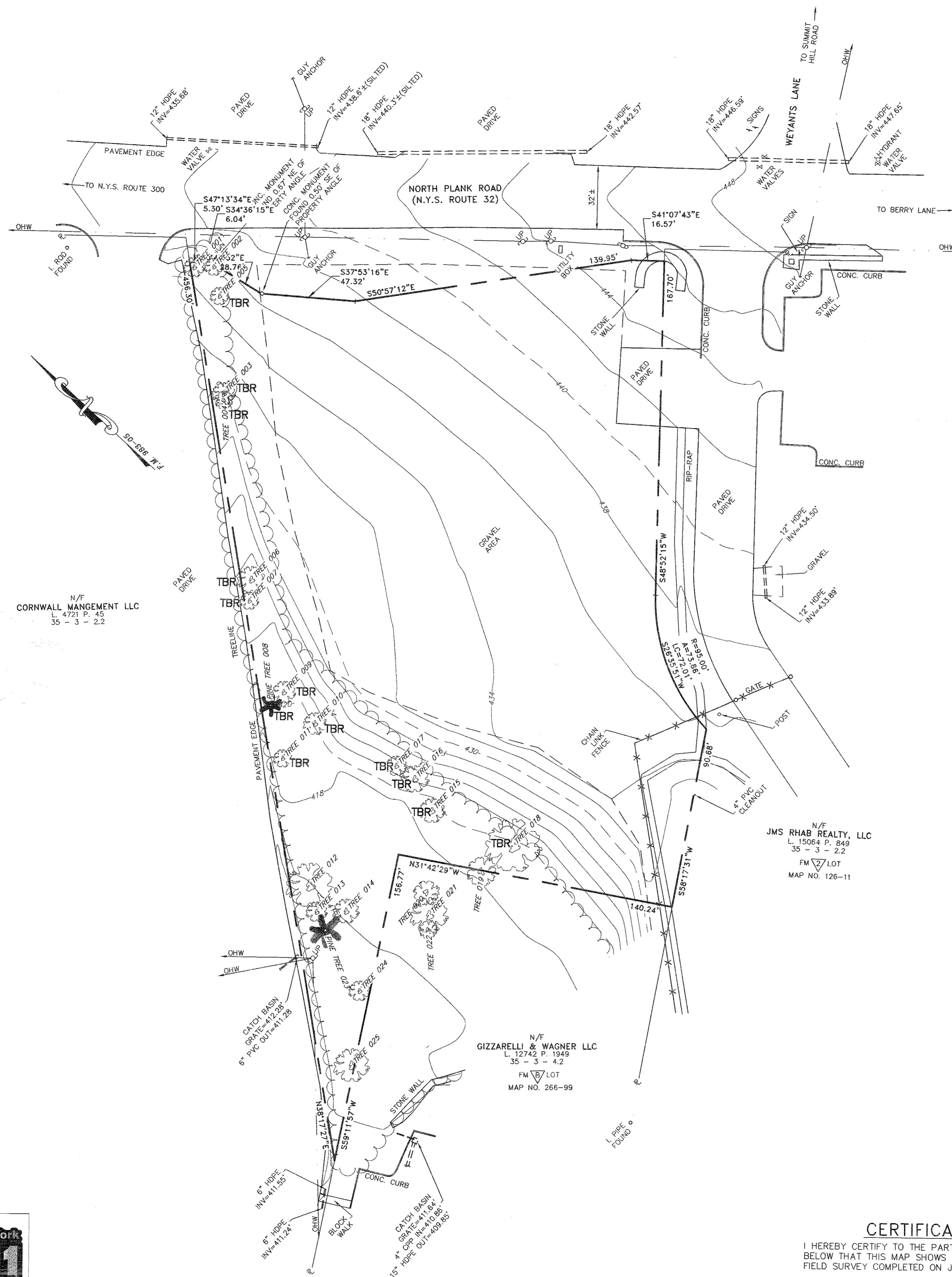
MKJC REALTY, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Drawn By: JQ	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22	Date: JUNE 27, 2023
Revisions:				Revisions:
				JULY 5, 2023
				AUGUST 23, 2023
Drawing No.: B-23-0107-01				Sheet No.: 2 OF 12

TAG NO.	TYPE	SIZE (IN)	REMOVE
001	TREE	9	
002	TREE	8	
003	TREE	10	X
004	PINE	8	X
005	TREE	8	X
006	TREE	12	X
007	TREE	8	X
008	TREE	8	X
009	TREE	10	X
010	TREE	10	X
011	TREE	8	X
012	TREE	20	
013	TREE	9	
014	TREE	10	
015	TREE	11	X
016	TREE	12	X
017	TREE	8	X
018	TREE	24	X
019	TREE	13	
020	TREE	12	
021	TREE	16	
022	TREE	8	
023	PINE	12	
024	TREE	9	
025	TREE	15	

TOTAL TREES REMOVED=13
TOTAL INCHES REMOVED = 137
TBR=TREE TO BE REMOVED



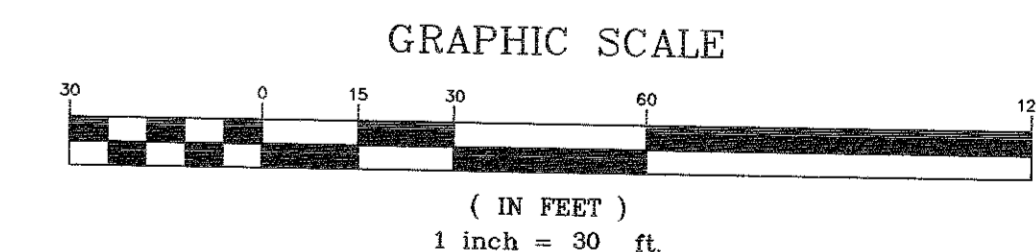
NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
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- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- THE TREES SHOWN ON THIS PLAN WERE FIELD LOCATED BY LANC & TULLY, P.C. ON AUGUST 7, 2023 AND ALL TREES WERE TAGGED WITH CORRESPONDING NUMBER ON THE CHART.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250
35 - 3 - 3.22
L. 15137 P. 1318
FILED MAP NO. 938-05

AREA:
1.569± AC.



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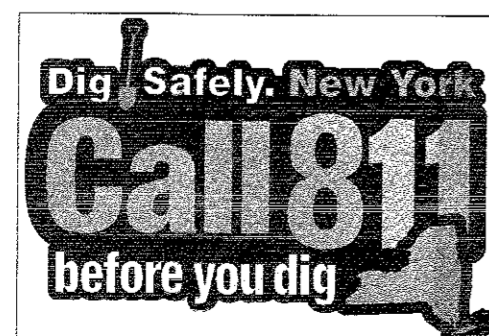
LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	DATE: AUGUST 23, 2023 Revisions:
		TREE LOCATION AND REMOVAL PLAN PREPARED FOR MKJC REALTY, LLC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK
CAD File: 230107-SV-DWG Layout: SVY Sheet No.: 3 OF 12 Drawing No.: C3D B-23-0107-01	Drawn By: EK	Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON JUNE 16, 2023.

BY:
RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

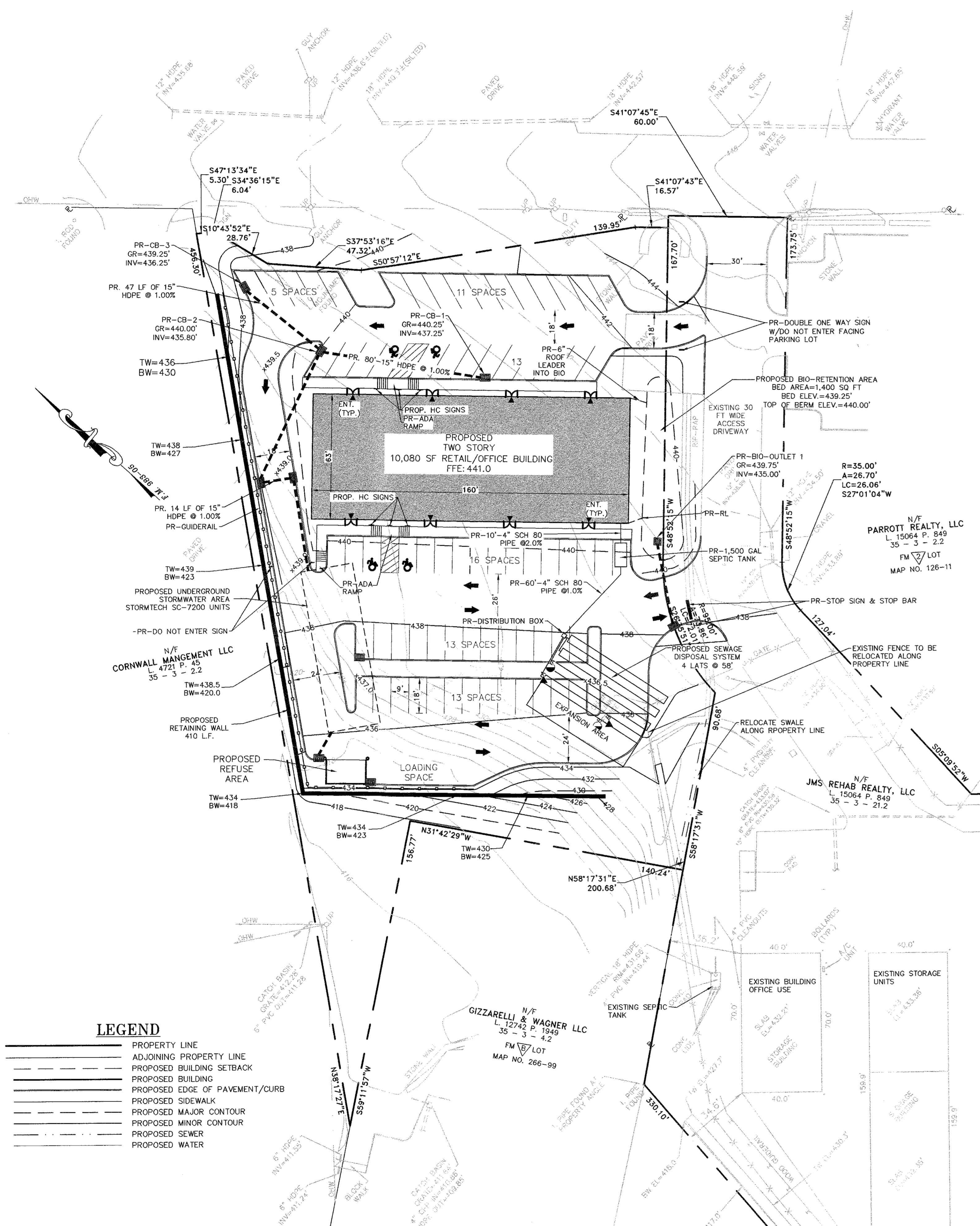
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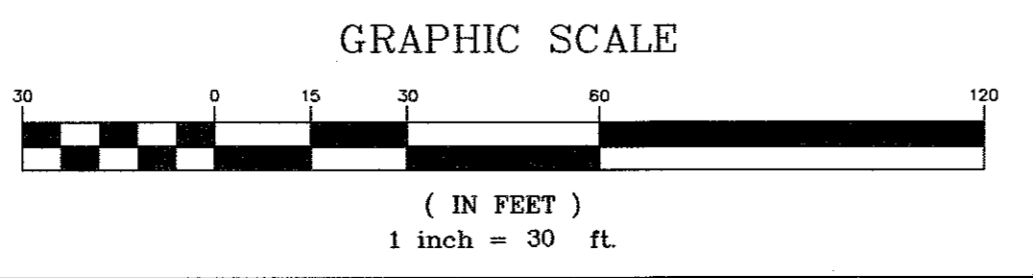
CONSTRUCTION NOTES:

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER



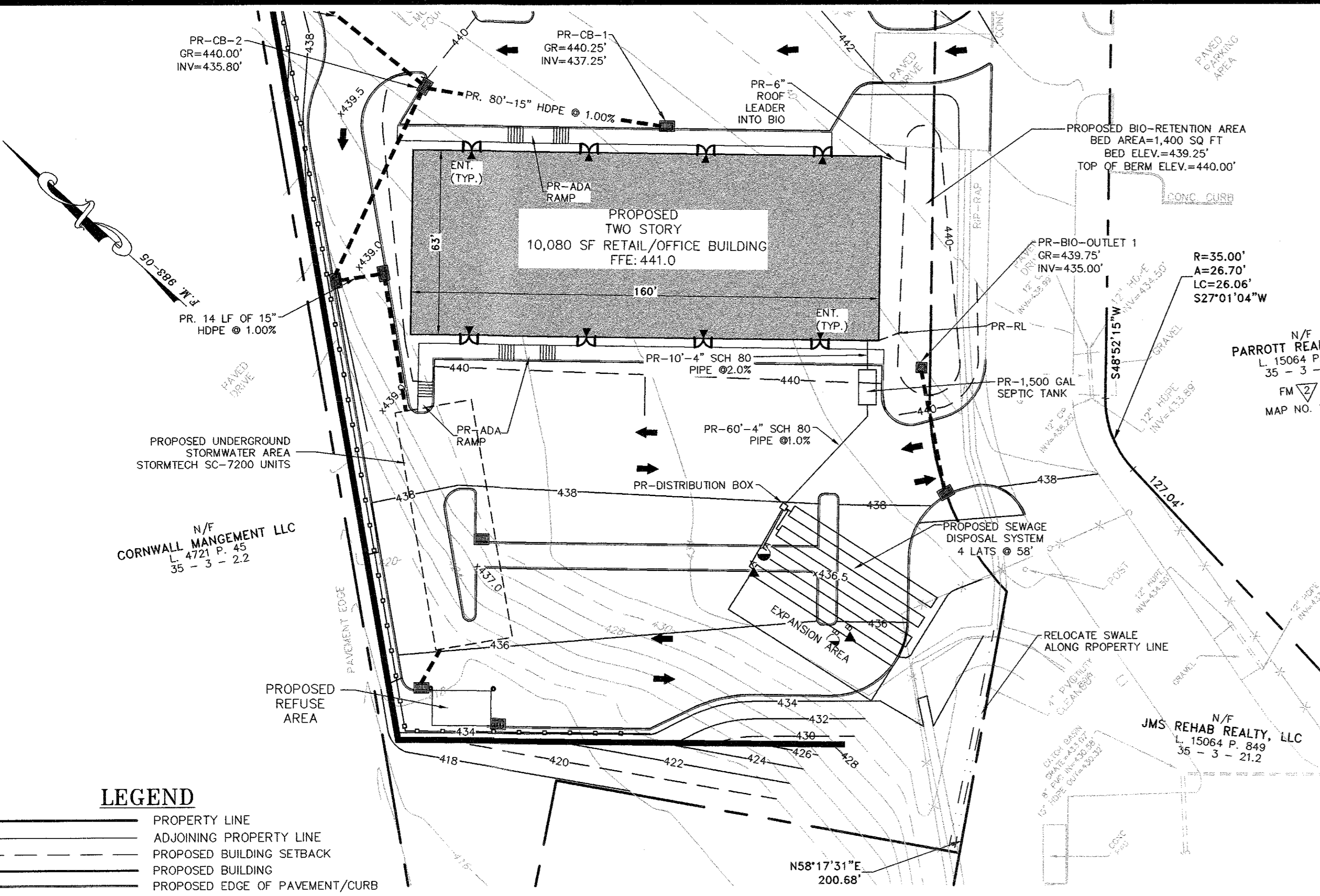
RECORD OWNER/APPLICANT:

AREA:
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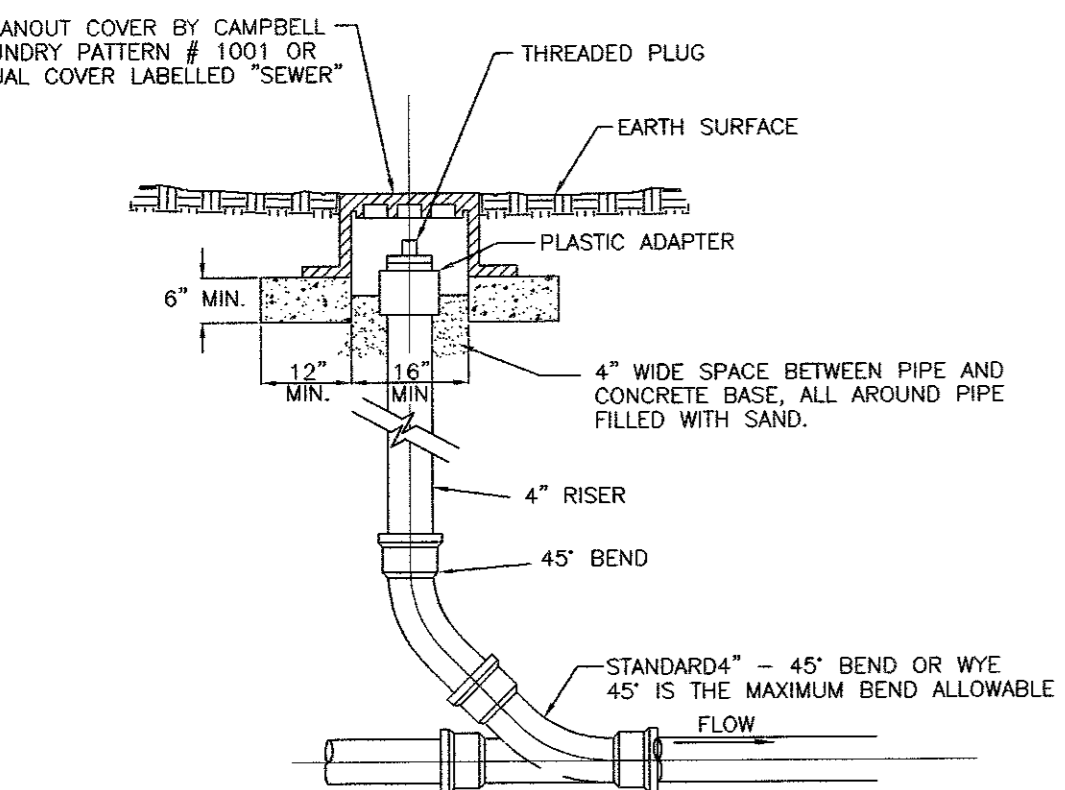
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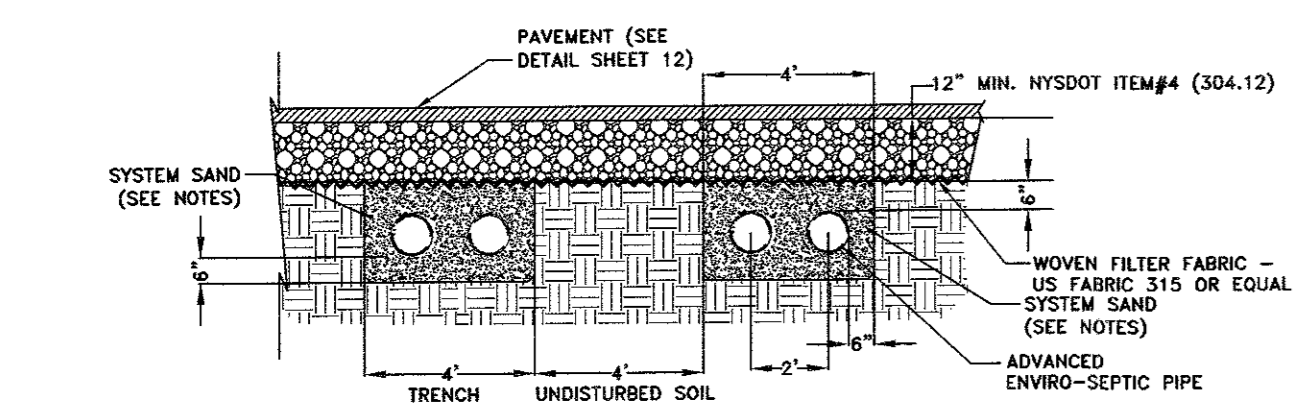
<p>Engineering and Surveying, P.C.</p>		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
GRADING AND UTILITY PLAN PREPARED FOR			Date: JUNE 27, 2023 Revisions: JULY 5, 2023 AUGUST 23, 2023
<p style="text-align: center;">MKJC REALTY, LLC</p> <p style="text-align: center;">TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>			CAD File: ENG.DWG Layout: G & U PLAN Sheet No.: 4 OF 12
Drawn By: JO	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22 Drawing No.: B- 23 - 0107 - 01



- LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
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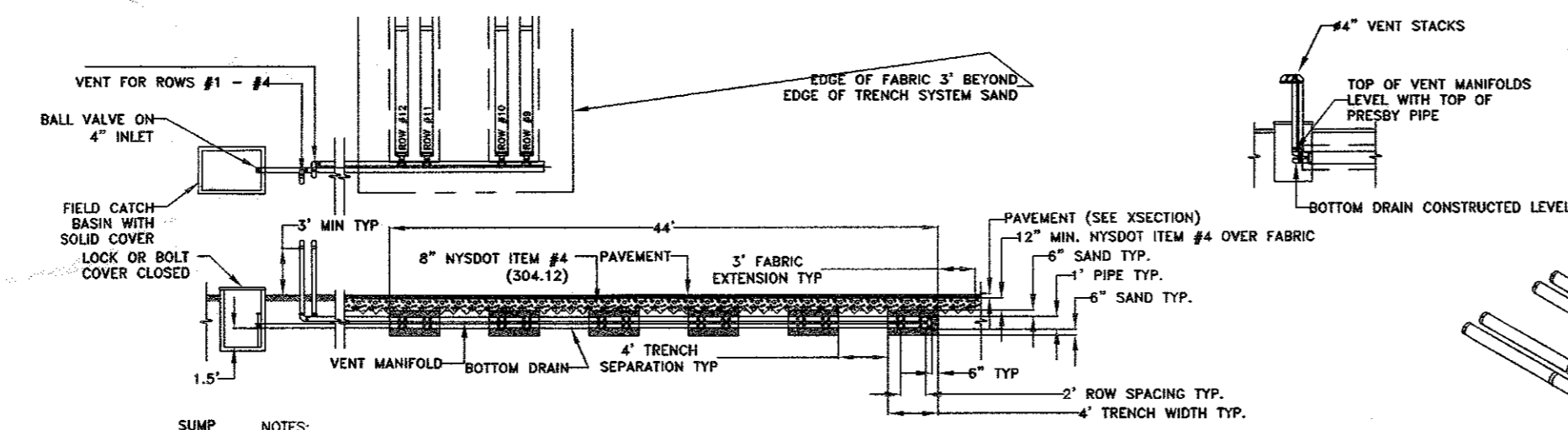


CLEANOUT DETAIL
NOT TO SCALE

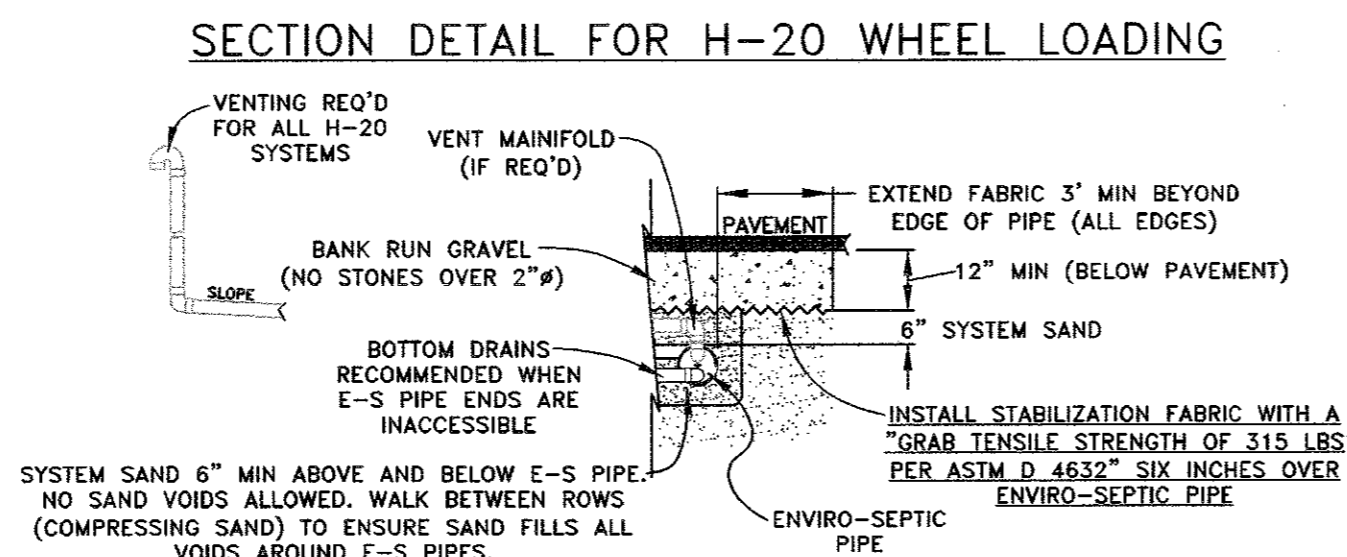


SEWAGE DISPOSAL SYSTEM CROSS SECTION DETAIL

- SYSTEM SAND REQUIREMENTS:**
1. COARSE TO VERY COARSE, CLEAN, GRANULAR SAND, FREE OF ORGANIC MATTER
 2. NO STONES OVER 1/4" IN DIAMETER
 3. 35% MAXIMUM RETAINED BY A #10 SIEVE
 4. 40-90% RETAINED BY A #35 SIEVE
 5. A MAXIMUM OF 3% OF TOTAL SAND MAY PASS THROUGH A #200 SIEVE WHEN WASHED
 6. ASTM C-33 OR NY DOT C-33 SAND MAY BE ACCEPTABLE FOR USE AS SYSTEM SAND PROVIDING THAT NO MORE THAN 3% CAN PASS A #200 SIEVE WHEN WASHED.
 7. A MINIMUM OF 6" OF SAND SHALL SURROUND ADVANCED ENVIRO-SEPTIC PIPE ON ALL SIDES.



PRESBY ABSORPTION FIELD DETAIL FOR H-20 LOADING
NOT TO SCALE



SECTION DETAIL FOR H-20 WHEEL LOADING

PERCOLATION TEST RESULTS:

PERCOLATION TESTS 'A' & 'B' WERE PERFORMED ON APRIL 9, 2023, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

PERC. TEST RATE (MIN.) DEPTH = 24"	DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)	TYPE OF SYSTEM		
A	B		REQUIRED	PROPOSED		
18	23	21-30	807 GPD	225	232	PRESBY

SYSTEM DESIGN

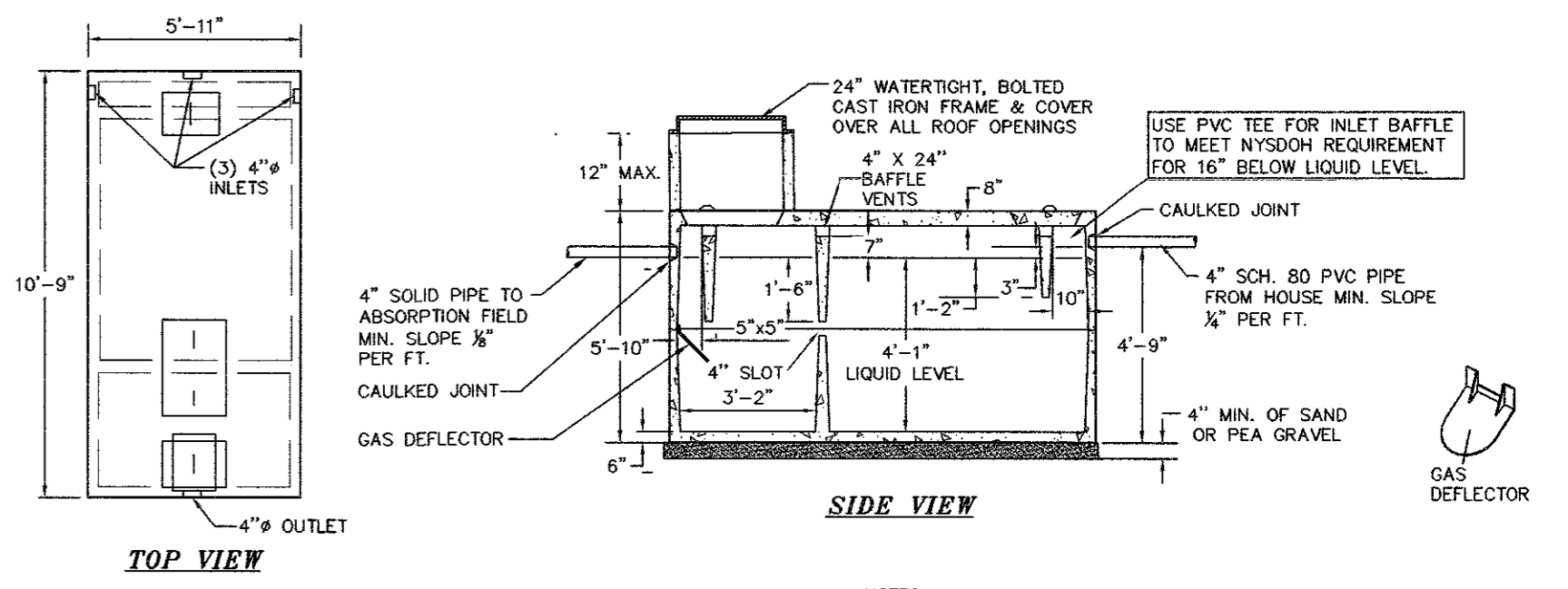
SYSTEM FLOWS AND DESIGN FOR NEW SDS:
 FLOW RATE FOR OFFICE/RETAIL = 1,008 GPD (10,080 SF * 0.1 GPD/SF)
 20% WATER SAVINGS = 201 GPD
 1,008 GPD - 201 GPD = 807 GPD (DESIGN FLOW)
 DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
 DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT
 APPLICATION RATE (PRESBY): 6 SQ FT/LIN. FT. OF TRENCH
 SQUARE FOOTAGE REQ'D: 807 GPD / 0.6 GPD/SQ FT = 1,345 SQ FT
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,345 SQ FT / 6 SQ FT PER LIN. FT. = 225 LIN. FT. OF TRENCH
 ABSORPTION FIELD TRENCH PROVIDED: 4 LATERALS @ 58 FEET = 232 LINEAR FEET
 SEPTIC TANK SIZING: 807 GPD X 1.5 = 1,210 GPD - USE 1,500 GAL TANK

DEEP TEST RESULTS

A & B - SITE INSPECTION PERFORMED ON APRIL 9, 2023 BY LANC AND TULLY ENGINEERING, P. C.

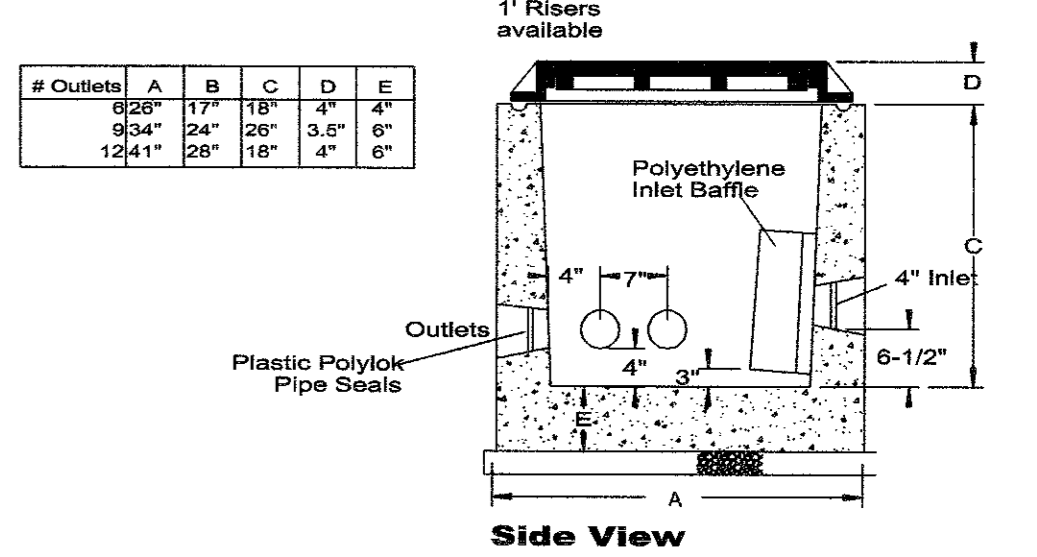
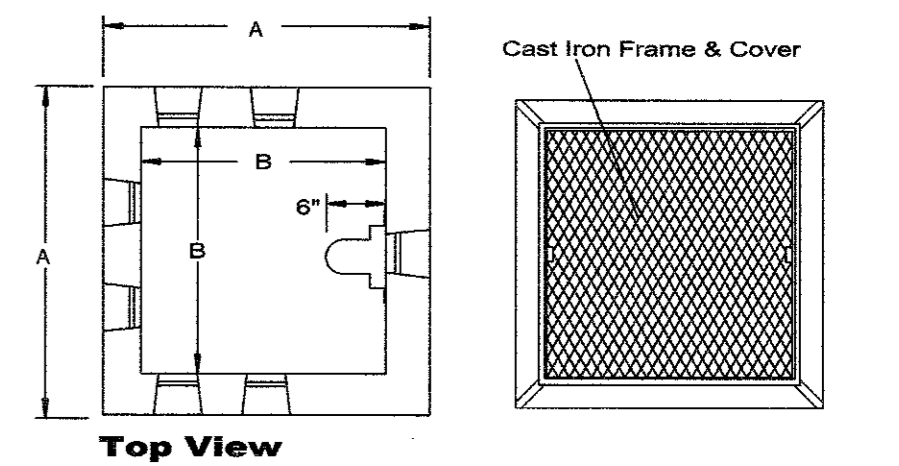
GROUND LEVEL	A	GROUND LEVEL	B
	GRAVEL 8"		GRAVEL 8"
1'	SILT LOAM/ GRAVEL	1'	SILT LOAM/ GRAVEL
2'	36"	2'	36"
3'	SILT LOAM WITH STONES	3'	SILT LOAM WITH STONES
4'		4'	
5'		5'	
6'	72"	6'	72"
7'		7'	

NO BR NO MOTTLING NO CW



- NOTES:**
1. CONCRETE SEPTIC TANK BY TO BE TRAFFIC DUTY 1500 GALLON CONCRETE SEPTIC TANK BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
 2. AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF MANHOLE COVERS, INSPECTION COVERS, AND CLEANOUT COVERS.
 3. CONCRETE MIN. STRENGTH: 4,000 PSI @ 28 DAYS.
 4. STEEL REINFORCEMENT: #4 & #5 REBAR
 5. ALL JOINTS TO BE CAULKED.

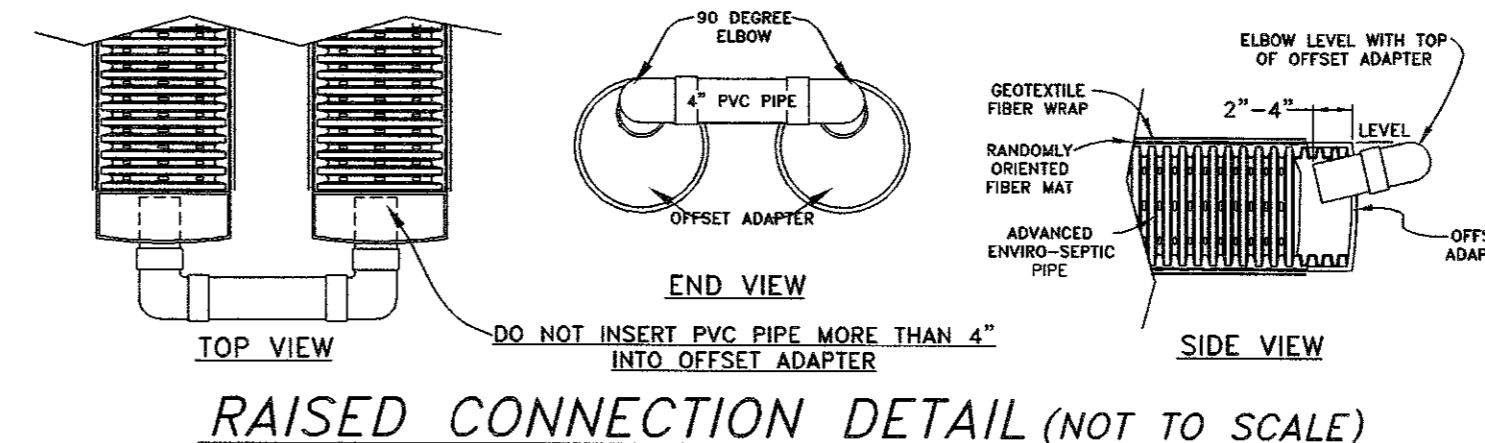
TRAFFIC DUTY 1,500 GAL CONCRETE SEPTIC TANK
NOT TO SCALE



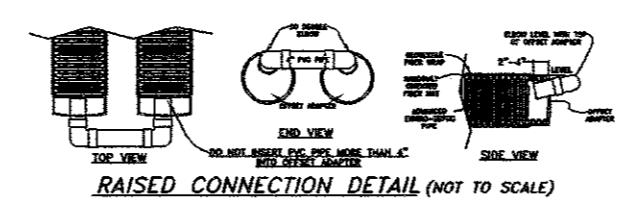
- SPECIFICATIONS**
- Concrete Min. Strength: 4,000 psi at 28 days
 Reinforcement: #4 Rebar / ASTM A615
 Air Entrainment: 6%
 Pipe Connection: Polylok Seal
 Weights: 650 lb / 1,300 lb / 2,000 lb
 Load Rating: H20-44 + 30% / ASTM C857
- PRECAST TRAFFIC RATED DISTRIBUTION BOXES**
- Woodard's Concrete Products, Inc.
 629 Lyboll Road, Bullville, NY 10915
 (845) 361-9471 / Fax 361-1050
 5/18/12
- www.woodardsconcrete.com

- NOTES:**
1. PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 2. INVERT ELEVATIONS OF ALL OUTLET PIPE MUST BE EQUAL. USE OF SPEED LEVELING DEVICES IS REQUIRED.
 3. THE SLOPE OF OUTLET PIPES BETWEEN DISTRIBUTION BOXES & DISTRIBUTOR LATERALS SHOULD BE AT LEAST 1/32" PER FOOT
 4. ADJUST FRAME AND GRATE TO GRADE WITH RISER.

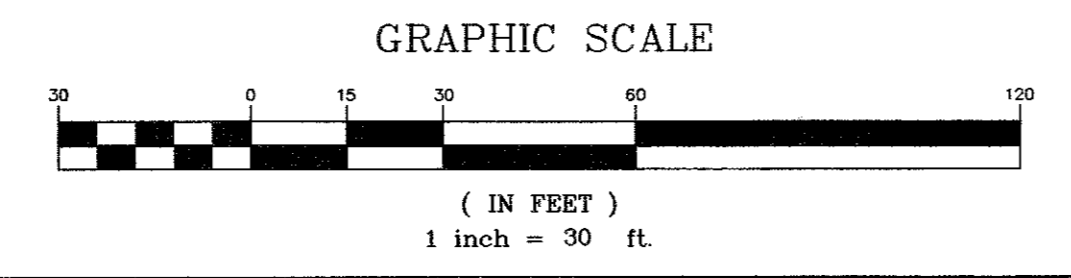
12-OUTLET TRAFFIC RATED DISTRIBUTION BOX
NOT TO SCALE



RAISED CONNECTION DETAIL (NOT TO SCALE)



ENVIRO-SEPTIC DETAIL FOR H-20 WHEEL LOADING (DO NOT SCALE)



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LANC & TULLY
 Engineering and Surveying, P.C.

P.O. Box 667, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

SEWAGE DISPOSAL SYSTEM DESIGN
 PREPARED FOR

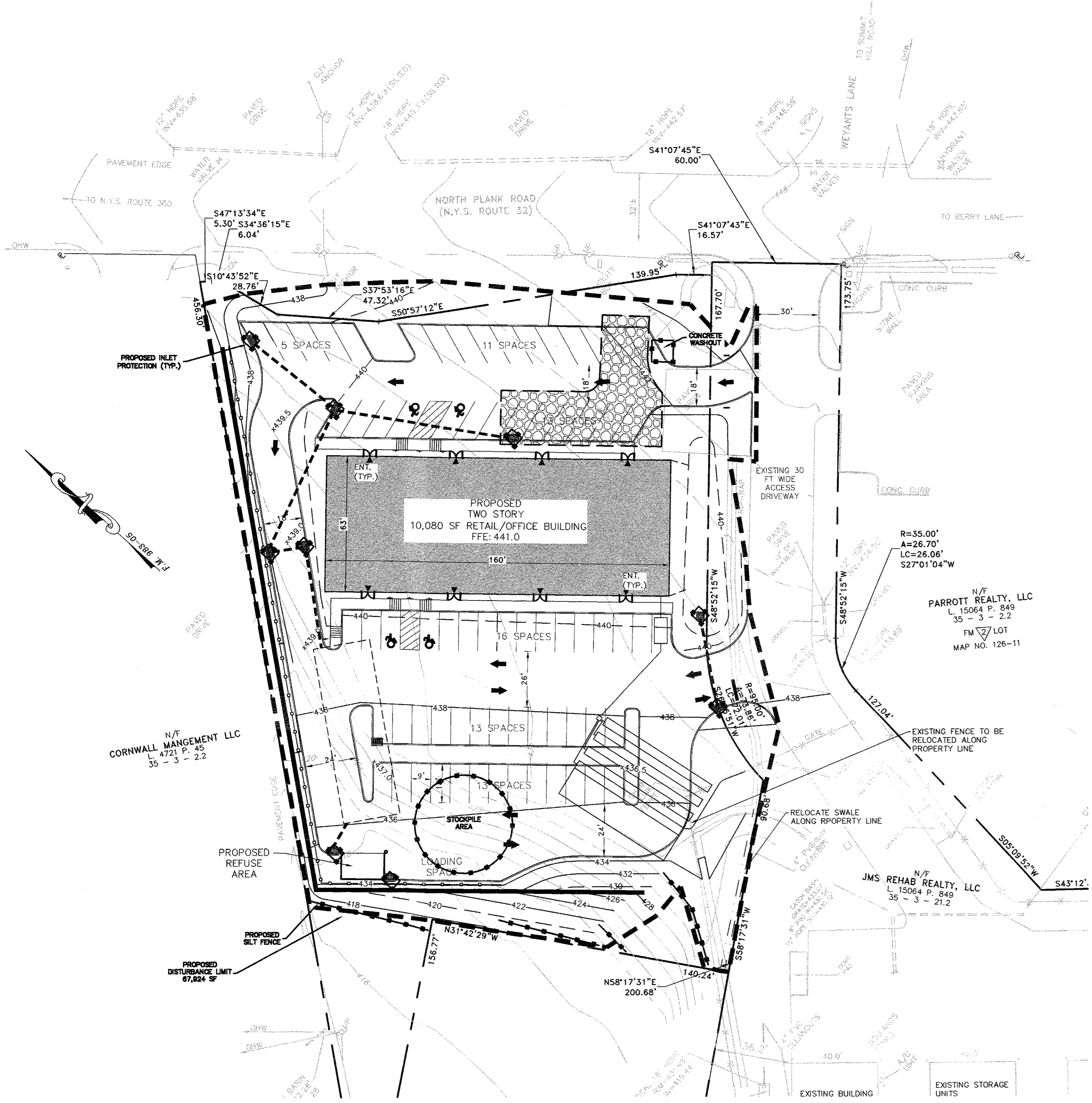
MKJC REALTY, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
 Revisions: JULY 5, 2023
 AUGUST 23, 2023

CAD File: PNG.DWG
 Layout: SDS
 Sheet No.: 5 OF 12
 Drawing No.: C-30

Drawn By: JO
 Checked By: []
 Scale: 1" = 30'
 Tax Map No.: 35 - 3 - 3.22
 B- 23 - 0107 - 01



LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROOSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

NOTES:

- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

PERIMETER SEEDING

- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.

PLANTING SCHEDULE

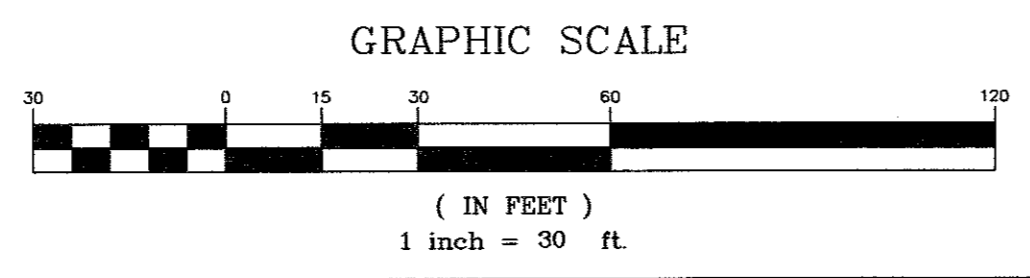
TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- ▬ PROPOSED BUILDING
- ▬ PROPOSED EDGE OF PAVEMENT/CURB
- ▬ PROPOSED SIDEWALK
- ▬ PROPOSED MAJOR CONTOUR
- ▬ PROPOSED MINOR CONTOUR
- ▬ PROPOSED SEWER
- ▬ PROPOSED WATER

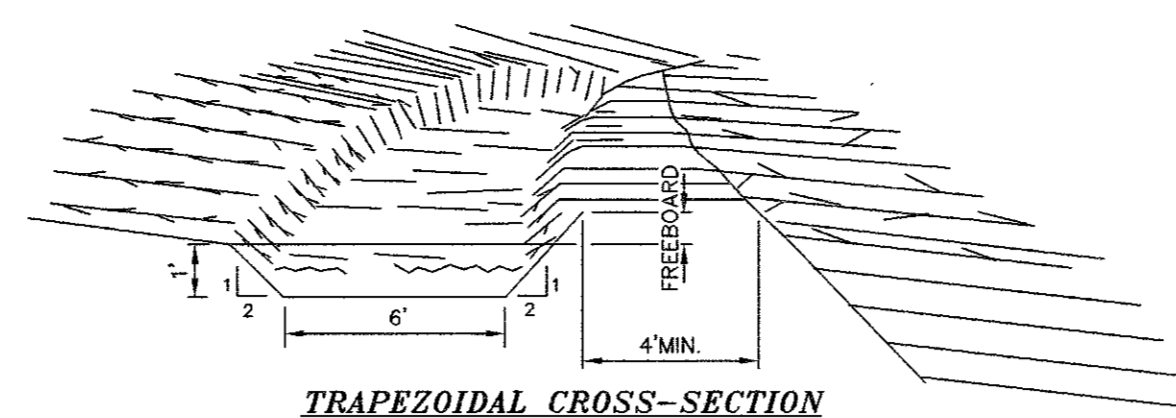
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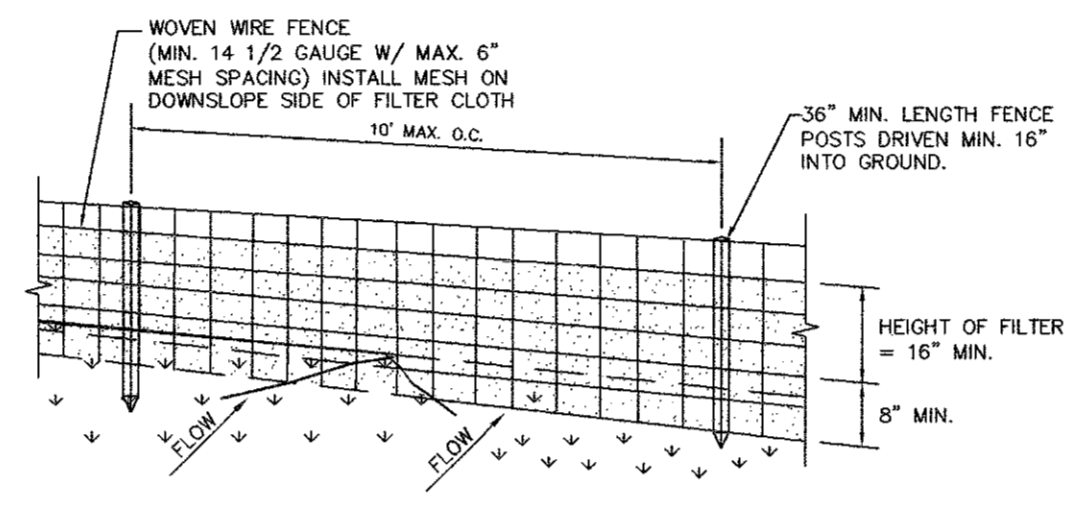
<p>Engineering and Surveying, P.C.</p>		<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	
<p>EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR</p>		<p>Date: JUNE 27, 2023 Revision: JULY 5, 2023 AUGUST 23, 2023</p>	
<p>MKJC REALTY, LLC</p>		<p>CAD File: ENG.DWG Layout: EROSION Sheet No.: 6 OF 12</p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		<p>Drawn By: JO Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22 Drawing No.: B- 23 - 0107 - 01</p>	



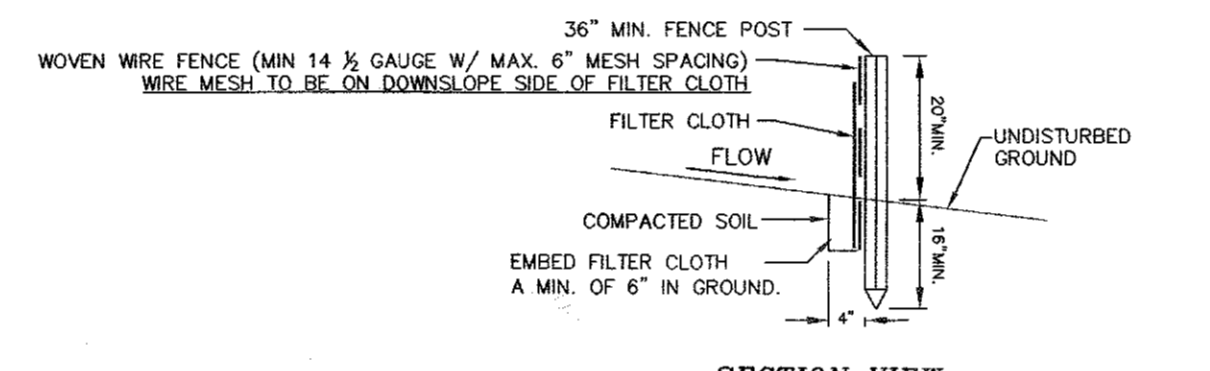
CONSTRUCTION SPECIFICATIONS

1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
 2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
 4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
 5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
- A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOO, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

TEMPORARY DIVERSION SWALE
NOT TO SCALE



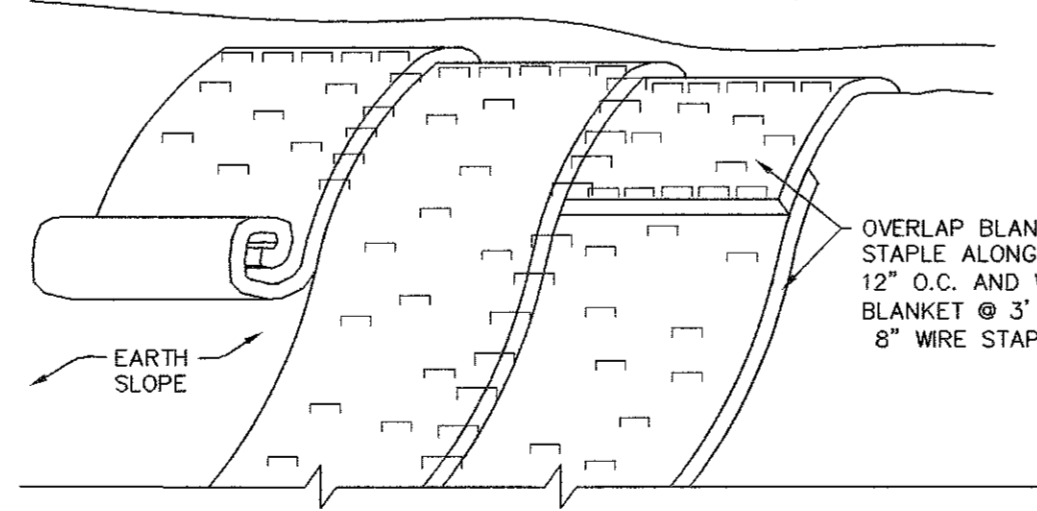
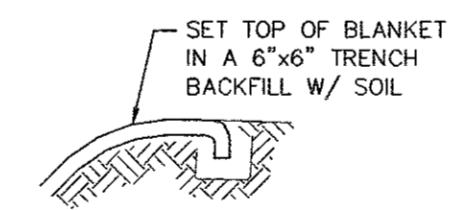
SECTION VIEW



CONSTRUCTION SPECIFICATIONS

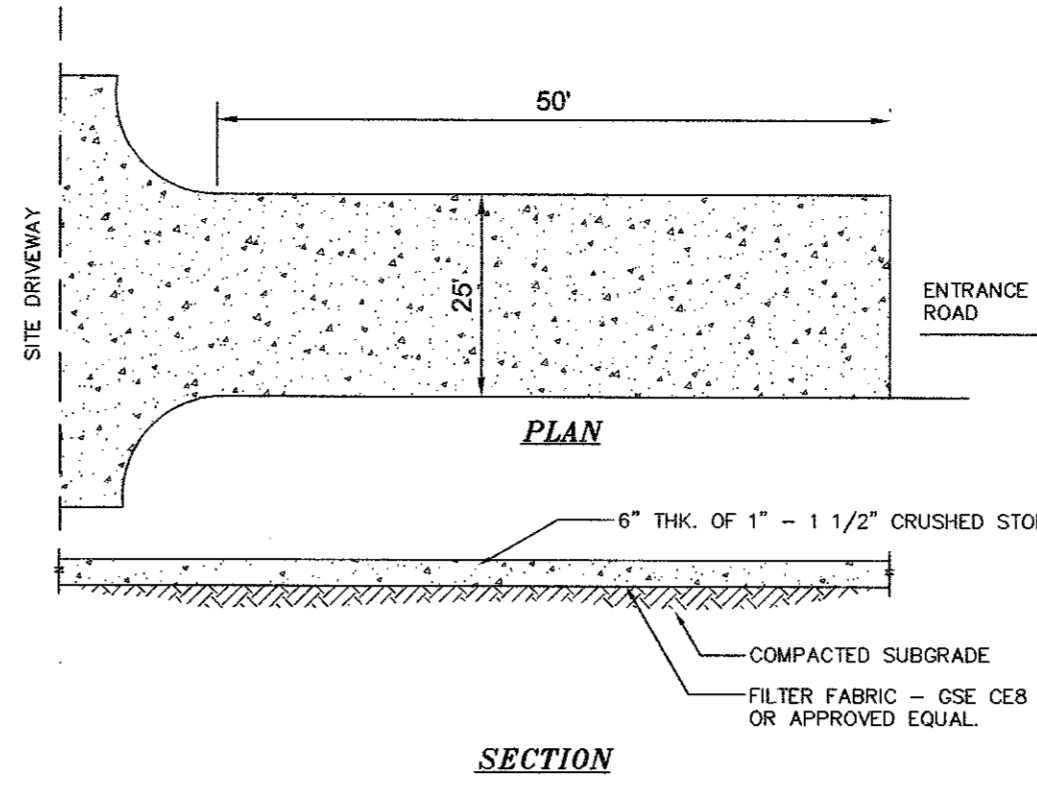
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

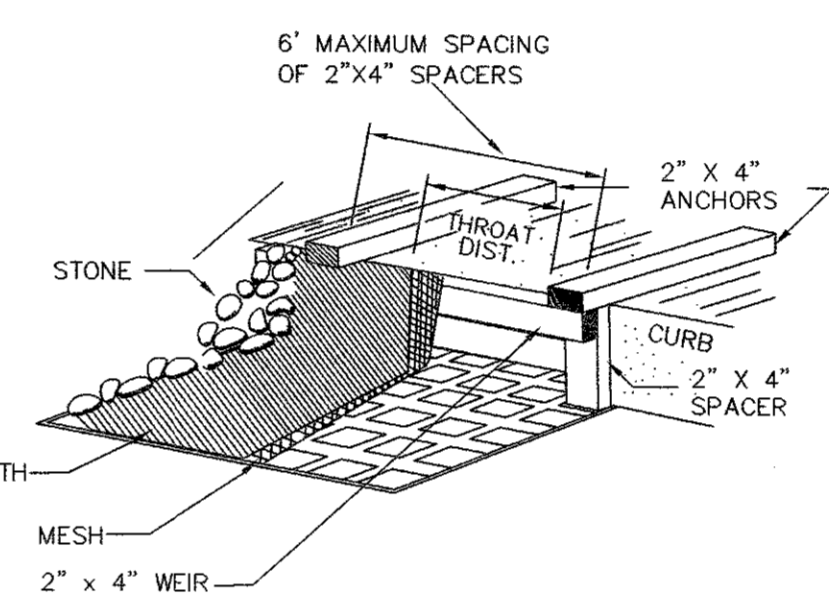
- NOTES:
1. SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
 2. STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
-S1505N - NORTH AMERICAN GREEN 1-800-772-2040
-ECS-2B - EAST COAST EROSION BLANKET 1-800-582-4005
-APPROVED EQUAL
 3. ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
 4. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
 5. AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.



NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

CONSTRUCTION SPECIFICATIONS

- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE, WILL BE AT LEAST 24' X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
6. THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

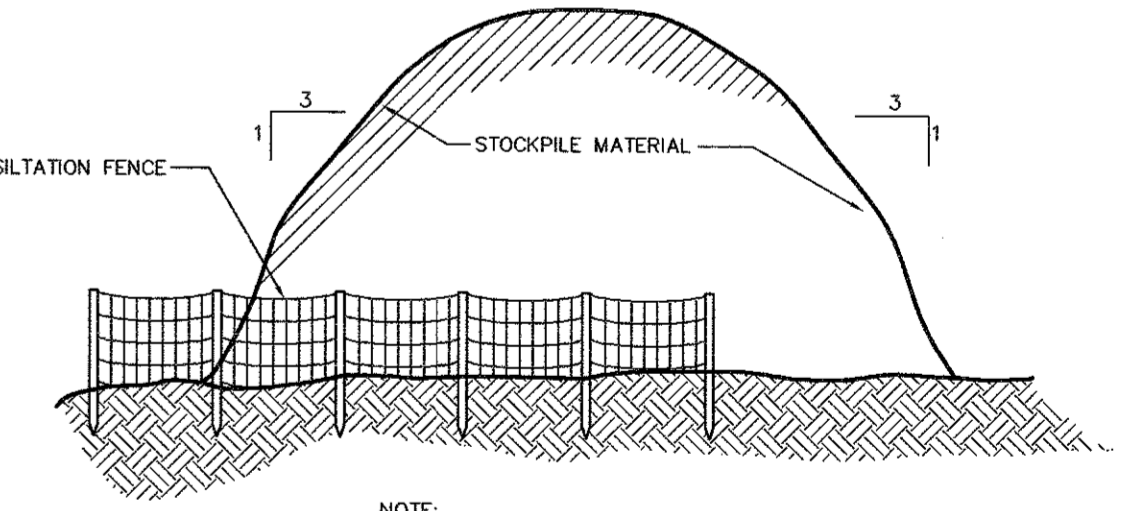
STORM DRAIN INLET FILTER DETAIL
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
3. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
4. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
6. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
7. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
8. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
9. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
10. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
11. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
12. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
13. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
14. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
15. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
16. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
17. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
A. LIME TOPSOIL TO pH 6.0.
B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
18. DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
19. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
20. MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP), NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
21. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
22. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".
23. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

SOIL RESTORATION REQUIREMENTS

1. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
2. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".



CONSTRUCTION SPECIFICATIONS

NOTE: SEE DETAILS FOR INSTALLATION OF SILTATION FENCE

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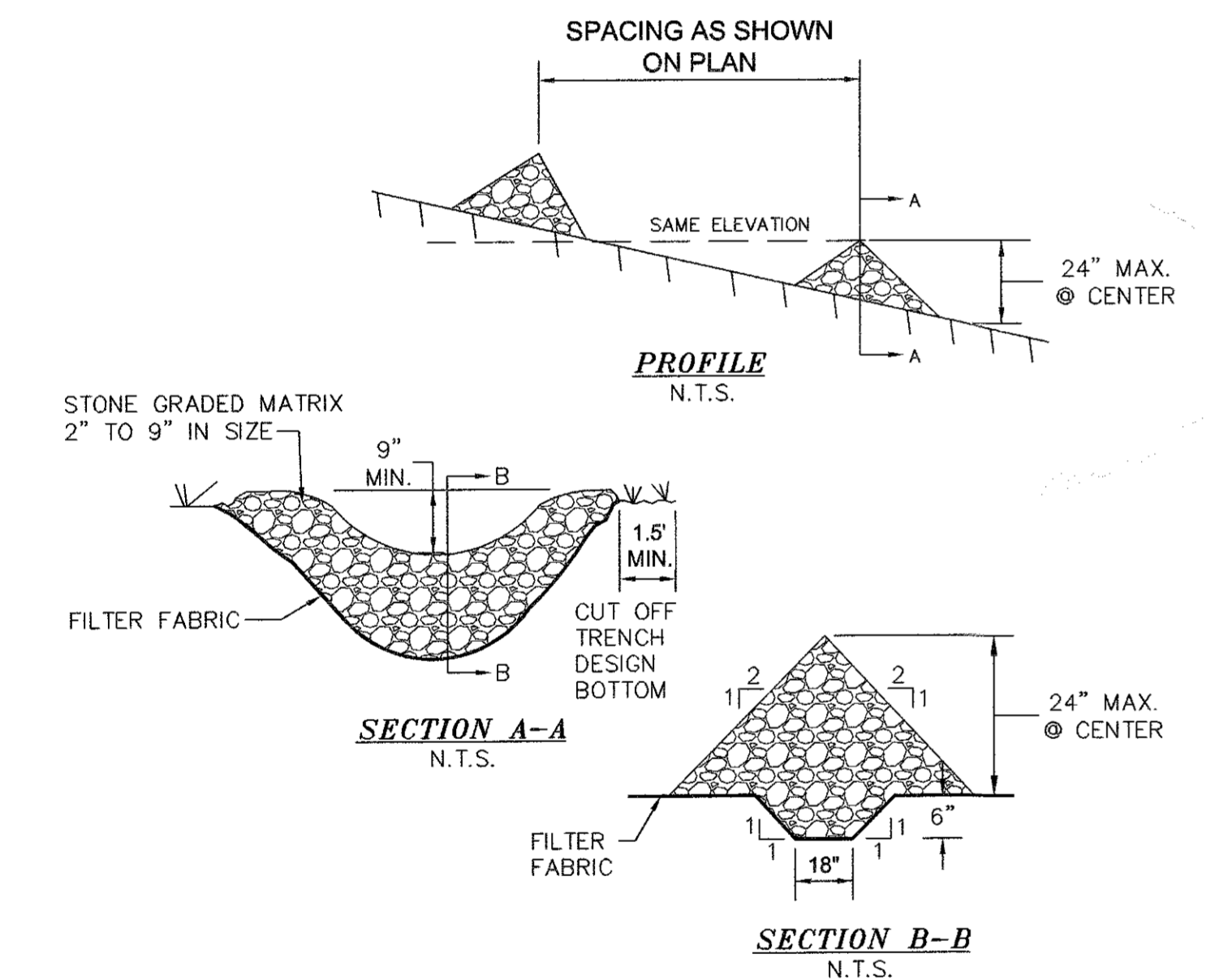
LANC & TULLY
Engineering and Surveying, P.C.
P.O. Box 887, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EROSION AND SEDIMENT CONTROL
DETAILS PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JO	Checked By:	Scale: N.T.S.	Tax Map No.: 35 - 3 - 3.22
Date: JUNE 27, 2023	Revisions: JULY 5, 2023 AUGUST 23, 2023	Layer: EROSION DETAILS	Sheet No.: 7 OF 12
Drawing No.: B-23-0107-01		CSD	



CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT THE CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

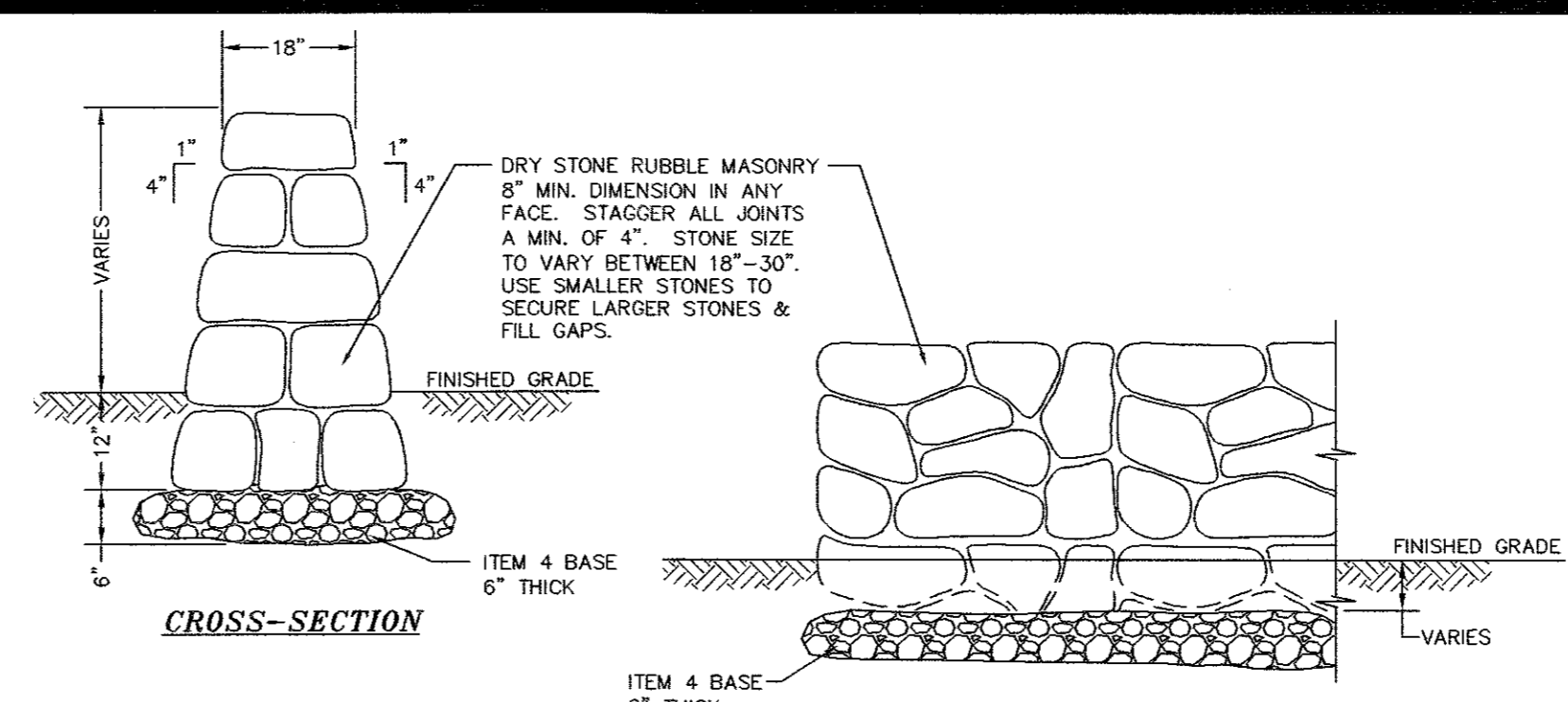
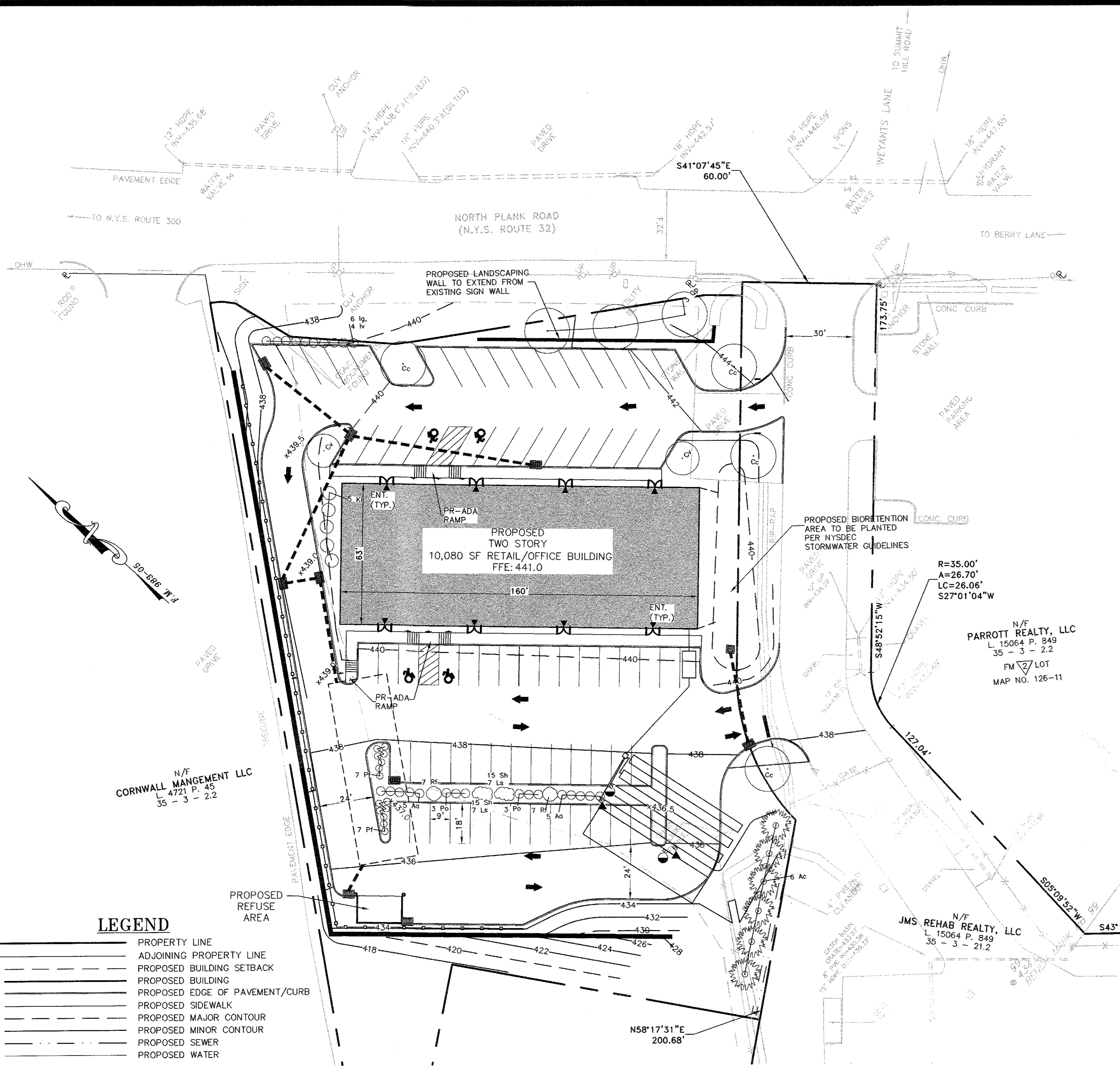
CHECK DAM DETAIL
NOT TO SCALE

FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

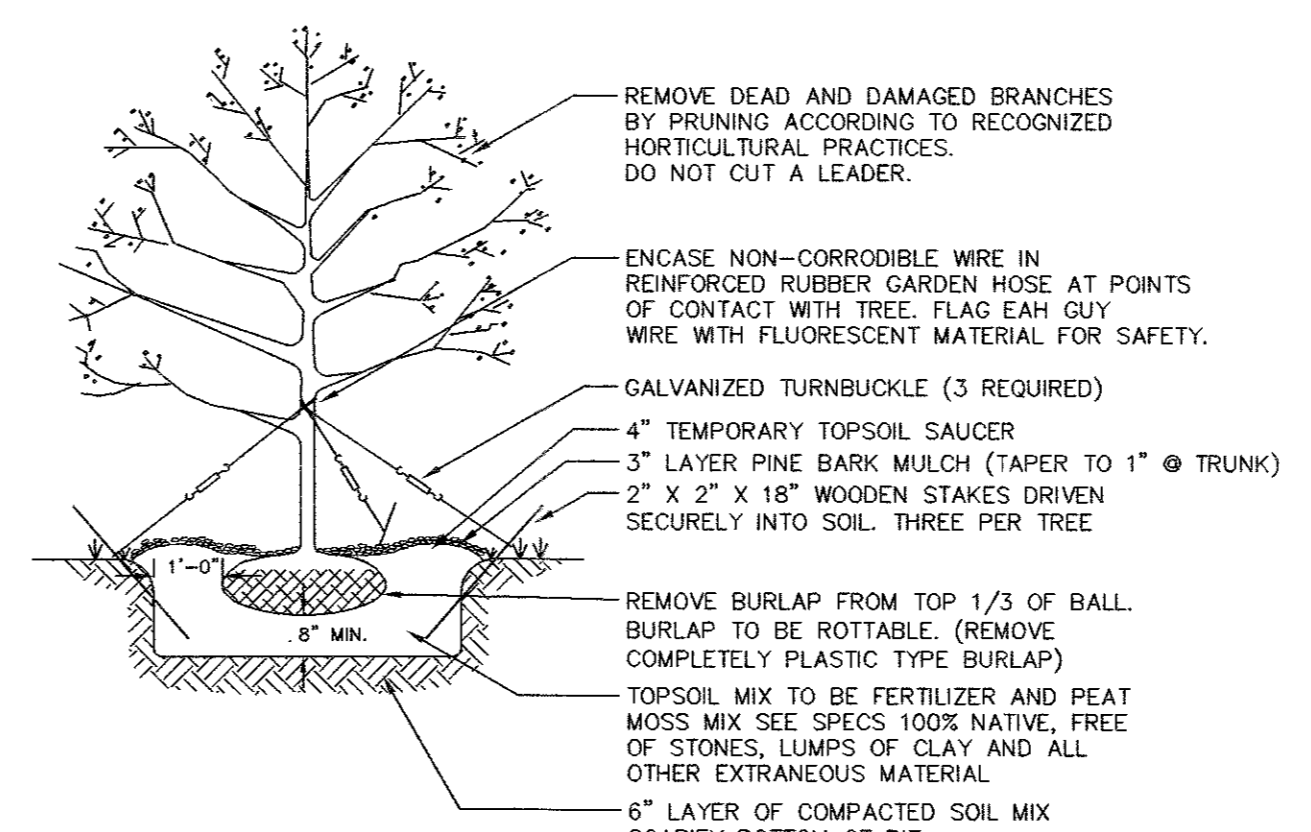
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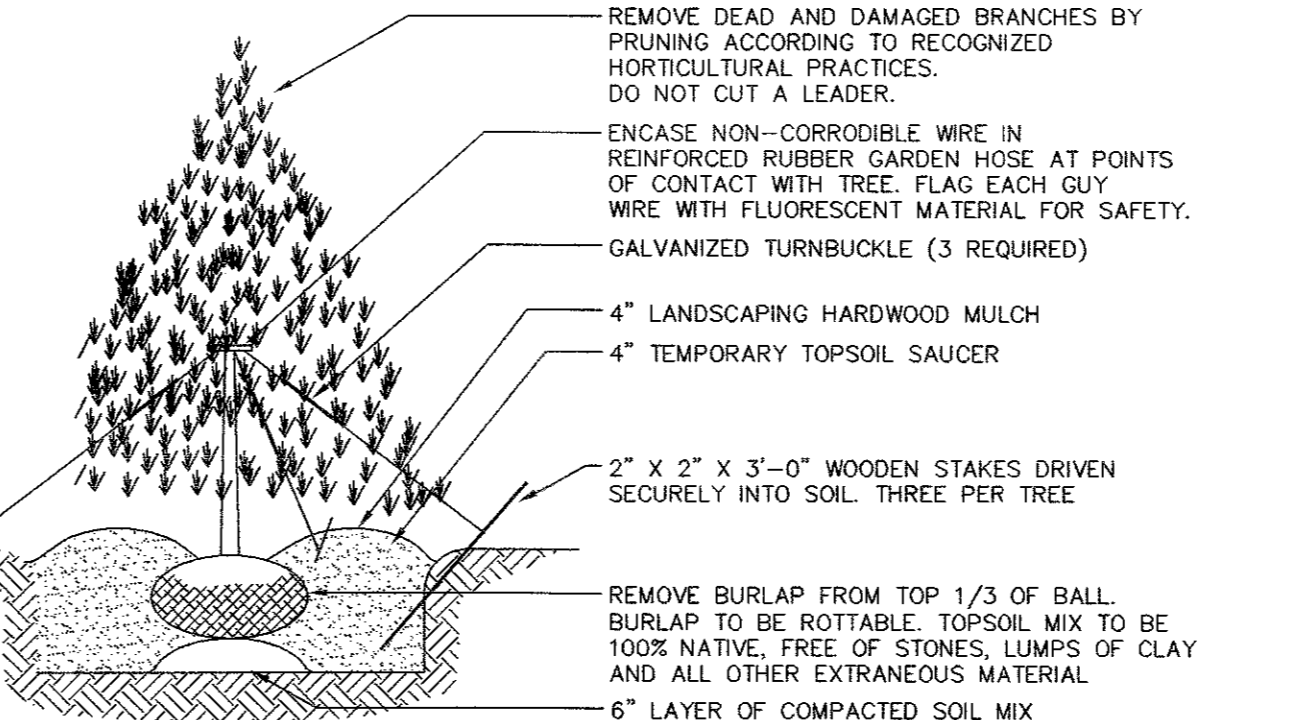




LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL
NOT TO SCALE

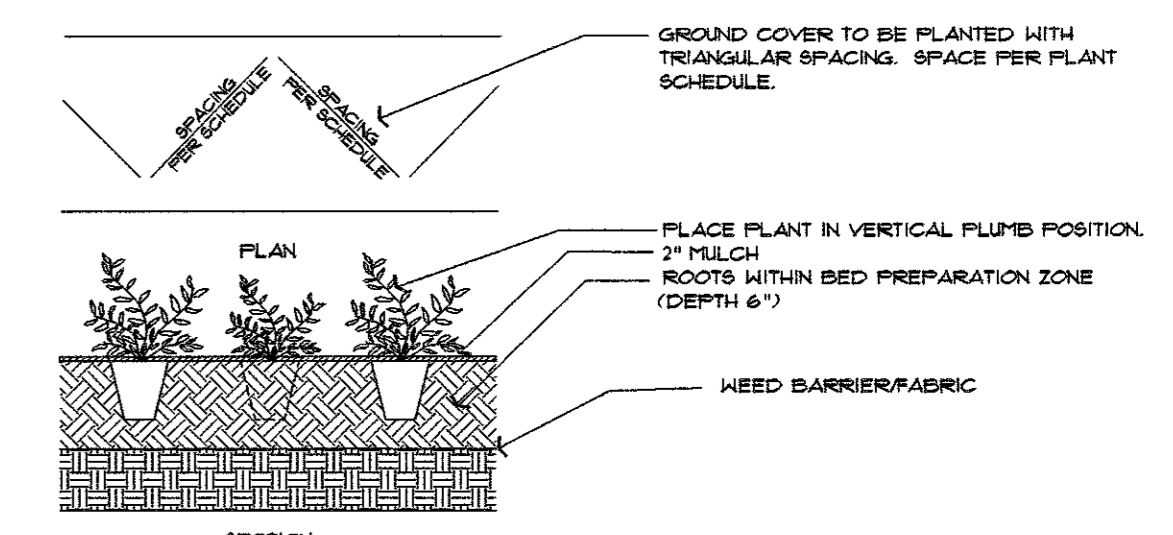


DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

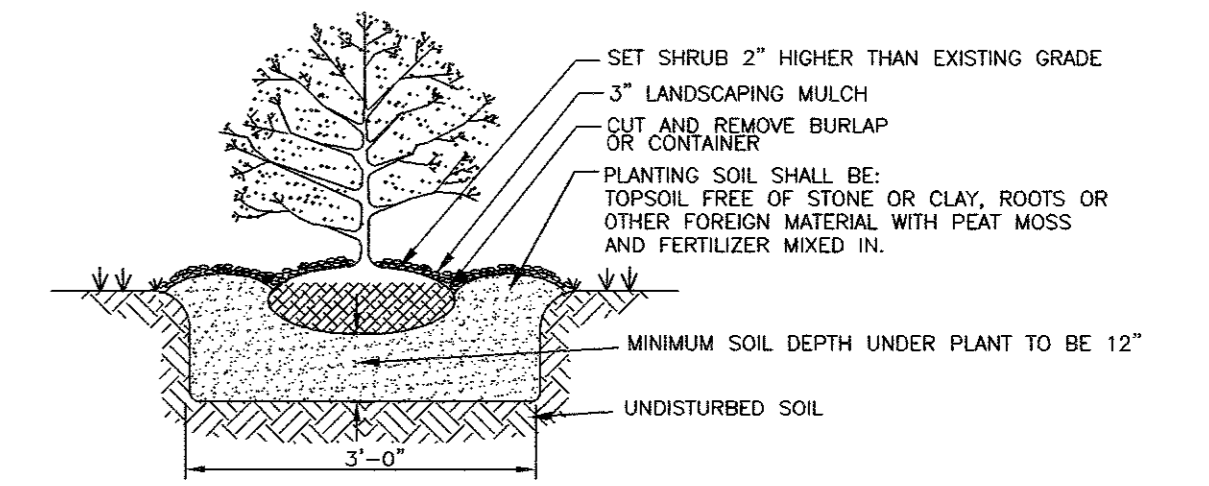


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- ALL DISTURBED AREAS TO BE TOPSOILED TO A DEPTH OF 6" AND SEEDED.
 - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
 - ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
 - A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
 - UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



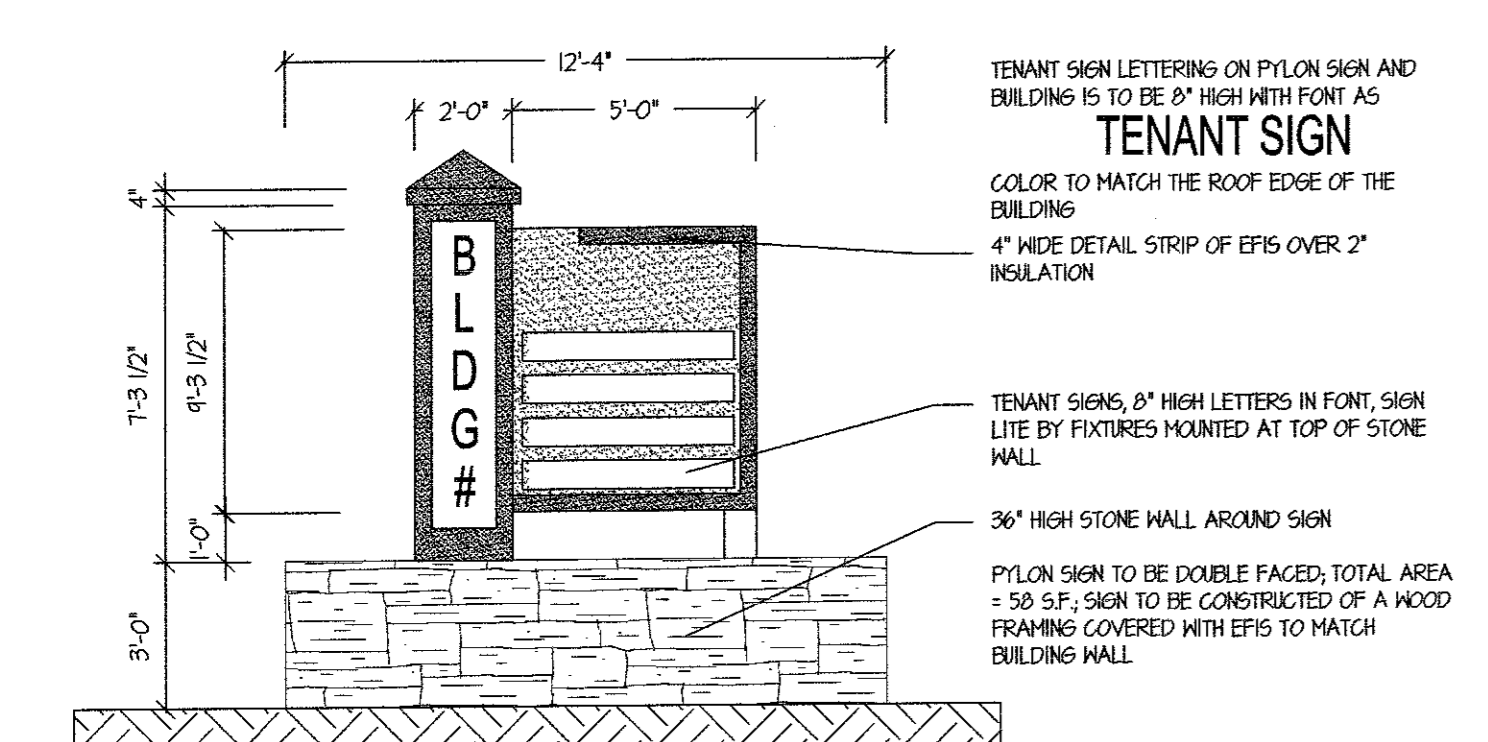
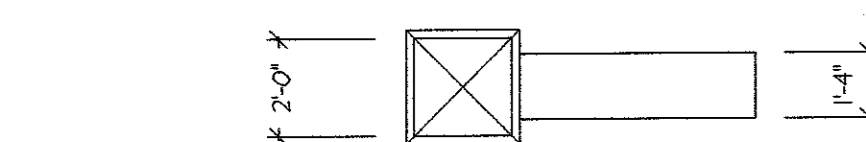
SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
- ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 4" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 12" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.
- MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3" DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER



GENERAL SIGN DETAIL
NOT TO SCALE

SITE PLANT LIST				
Symbol	Qty	SCIENTIFIC NAME	COMMON NAME	INSTALLATION SIZE
Cc	4	CERCIS CANADENSIS	RED BUD	1.5'-2' CAL. B&B
Cv	2	CRAE TAGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	1.5'-2' CAL. B&B
Qp	3	QUERCUS PALUSTRIS	PIN OAK	2'-2.5' CAL. B&B
EVERGREEN TREES				
Ac	6	ABIES CONCOLOR	WHITE FIR	6-7 FT. B&B
SHRUBS (DECIDUOUS AND EVERGREEN)				
Aa	10	ARONIA ARBUTIFOLIA	CHOKEBERRY	5 GAL
Ig	6	ILEX GLABRA 'SHAMROCK'	INKBERRY	5 GAL
Iv	4	ILEX VERTICILLATA	WINTERBERRY	3 GAL
Kl	5	KALMIA LATIFOLIA	MOUNTAIN LAUREL	5 GAL
Pf	14	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	3 GAL
Po	6	PHYSOCARPUS OPULIFOLIUS	NINEBARK	5 GAL
GROUNDCOVER/PERENNIALS				
Ls	14	LIA TRIS SPICATA	BLAZING STAR	1 GAL, 12" SPACING
Rf	14	RUDBECKIA FULGIDA	BLACK EYED SUSAN	1 GAL, 18" SPACING
Sh	30	SPOROBOLUS HETEROLEPIS	PRAIRIE DROP SEED	1 GAL, 18" SPACING

LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

- NOTES:
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
 - SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SQ. YD AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SQ. YD AFTER SEEDING. HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

PERIMETER SEEDING

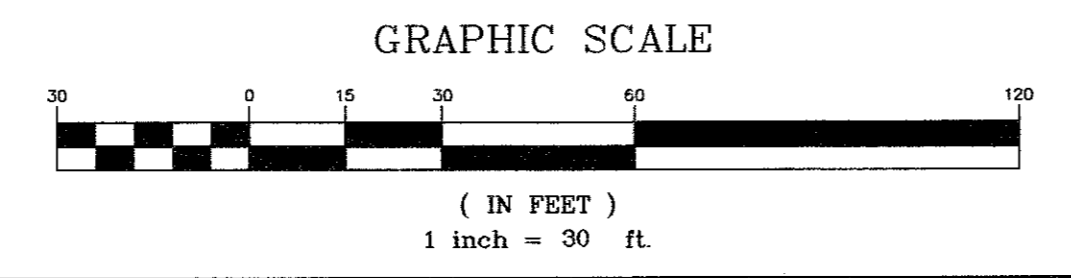
A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.

PLANTING SCHEDULE

	SPRING PLANTING	FALL PLANTING
TREES AND SHRUBS:		
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

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Goshen, N.Y. 10924
(845) 294-3700

DATE: JUNE 27, 2023
REVISIONS: JULY 5, 2023
AUGUST 23, 2023

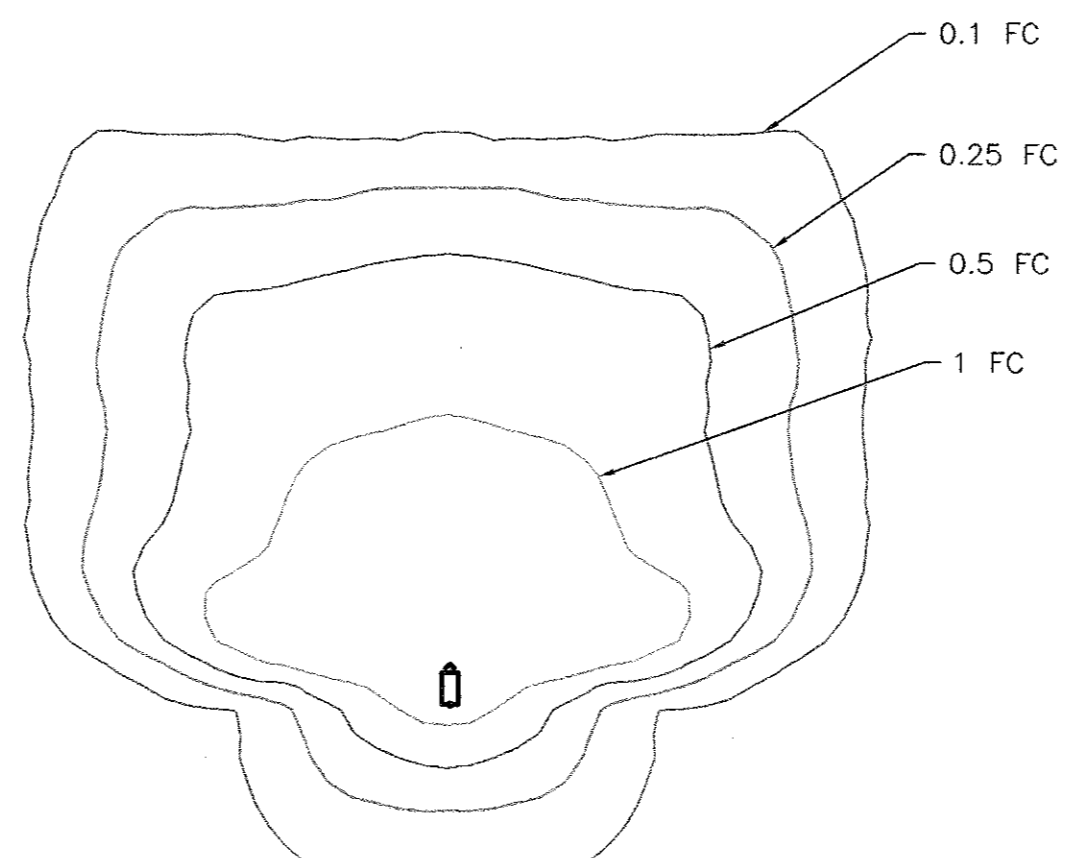
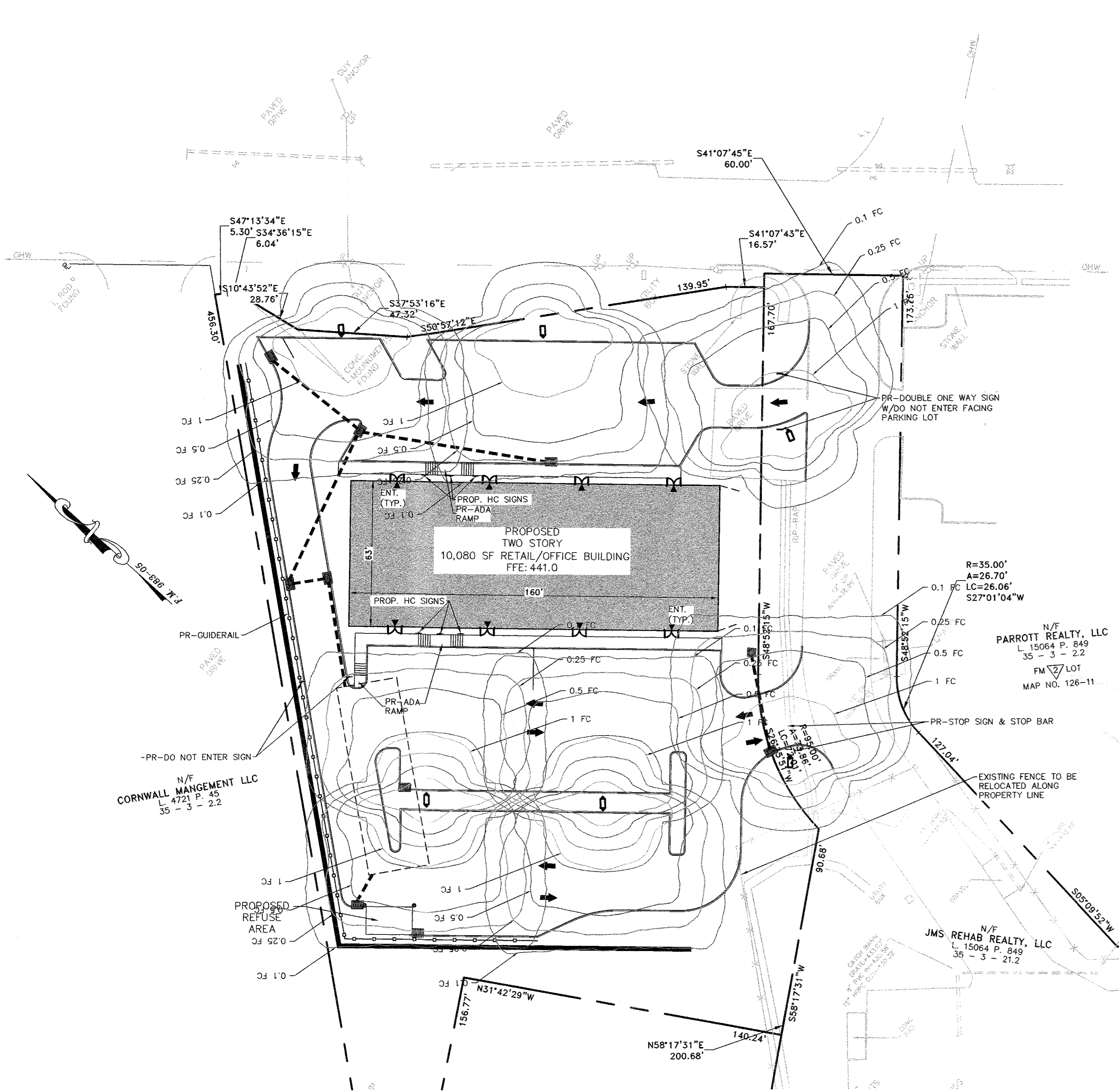
LANDSCAPING PLAN AND DETAILS
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

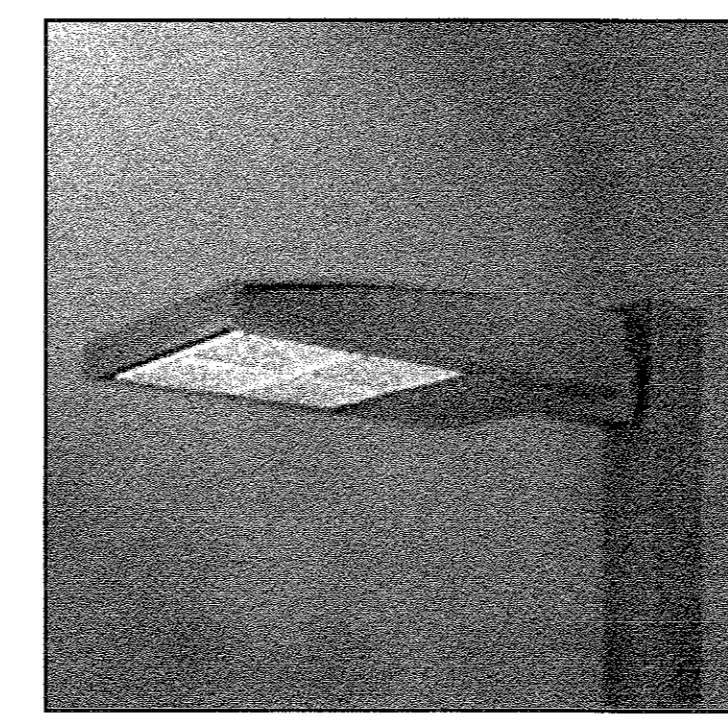
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Checked By:
Scale: 1" = 30'
Tax Map No.: 35 - 3 - 3.22

CD File: ENG.DWG
Layout: LANDSCAPING
Sheet No.: 8 OF 12
Drawing No.: C3D
B-23 - 0107 - 01

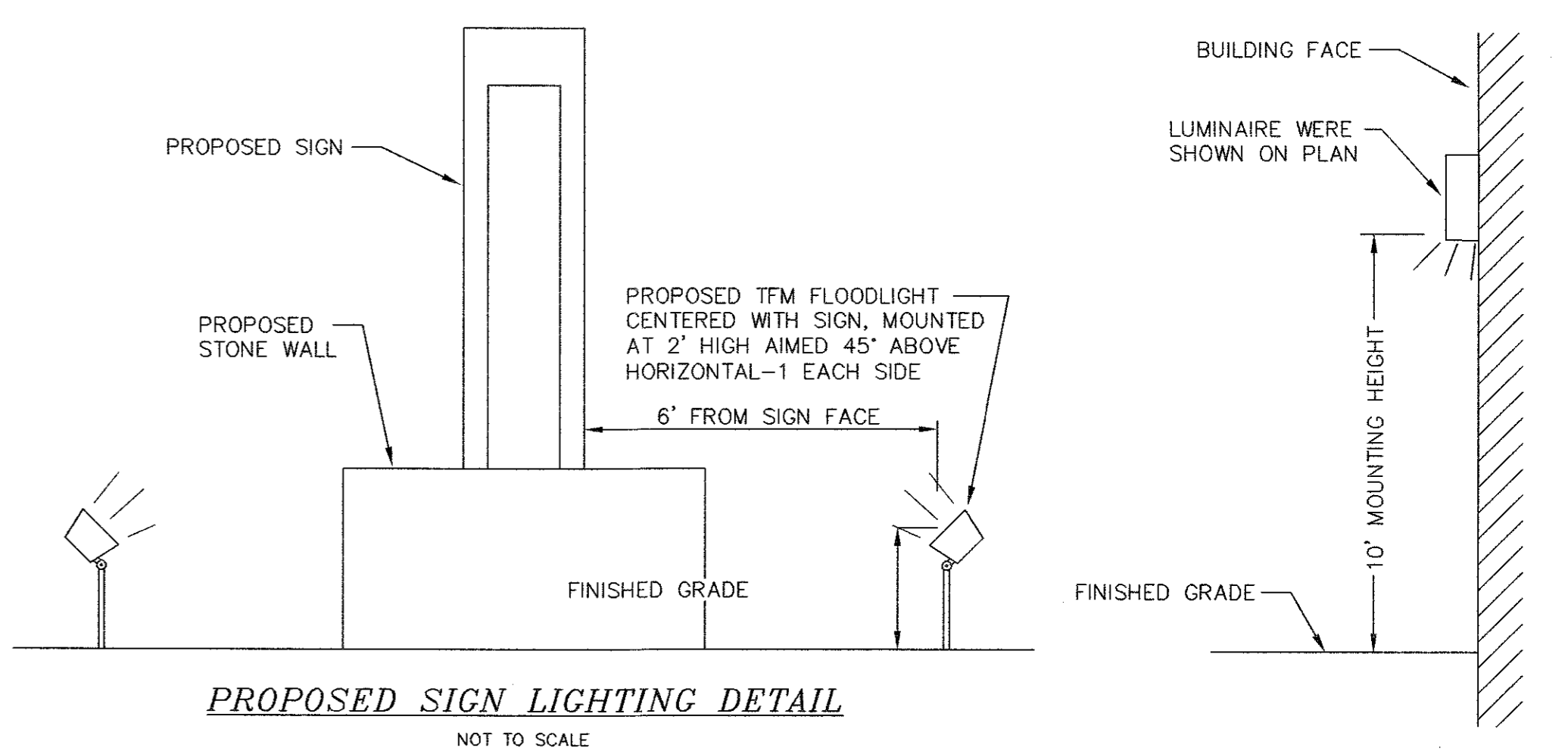


NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

EATON "GAN GALLEON"
LUMINAIRE 'C'
TYPE T4FT DISTRIBUTION
PHOTOMETRIC DIAGRAM

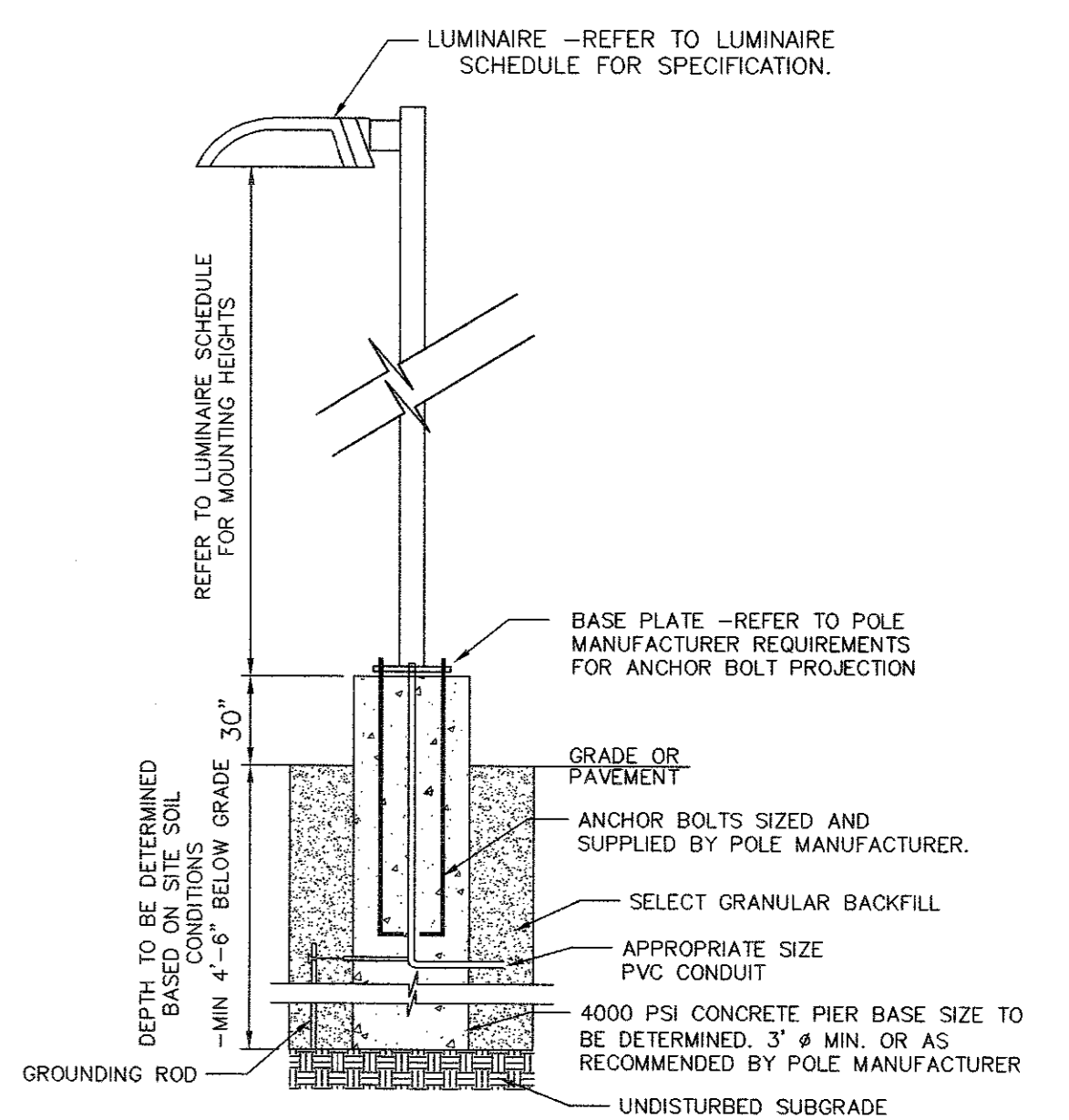


EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL POLE MOUNT AREA LUMINAIRE



PROPOSED SIGN LIGHTING DETAIL
NOT TO SCALE

BUILDING MOUNTED LIGHTING DETAIL
NOT TO SCALE



NOTE:
1. INSTALL LIGHT POLE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
2. POLE BASE SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

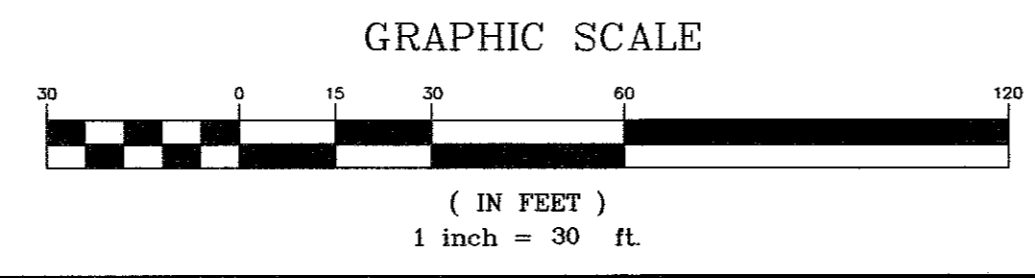
LIGHT POLE BASE DETAIL
NOT TO SCALE

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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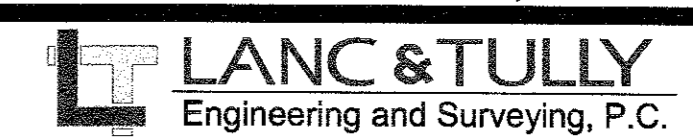


AREA:
1.674± AC.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250
35 - 3 - 3.22
L. 15137 P. 1318
FILED MAP NO. 938-05

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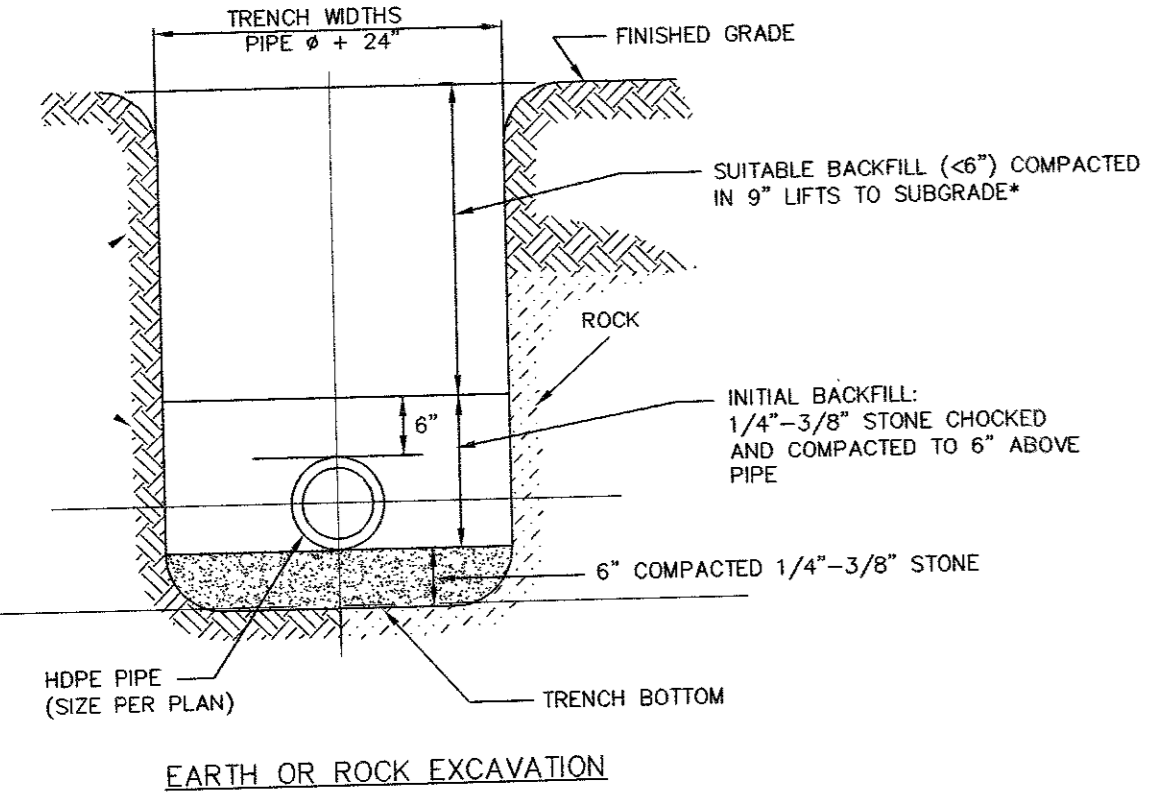
LIGHTING PLAN AND DETAILS
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revisions:
JULY 5, 2023
AUGUST 23, 2023

Drawn By: JQ Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22 Drawing No.: C30 B- 23 - 0107 - 01

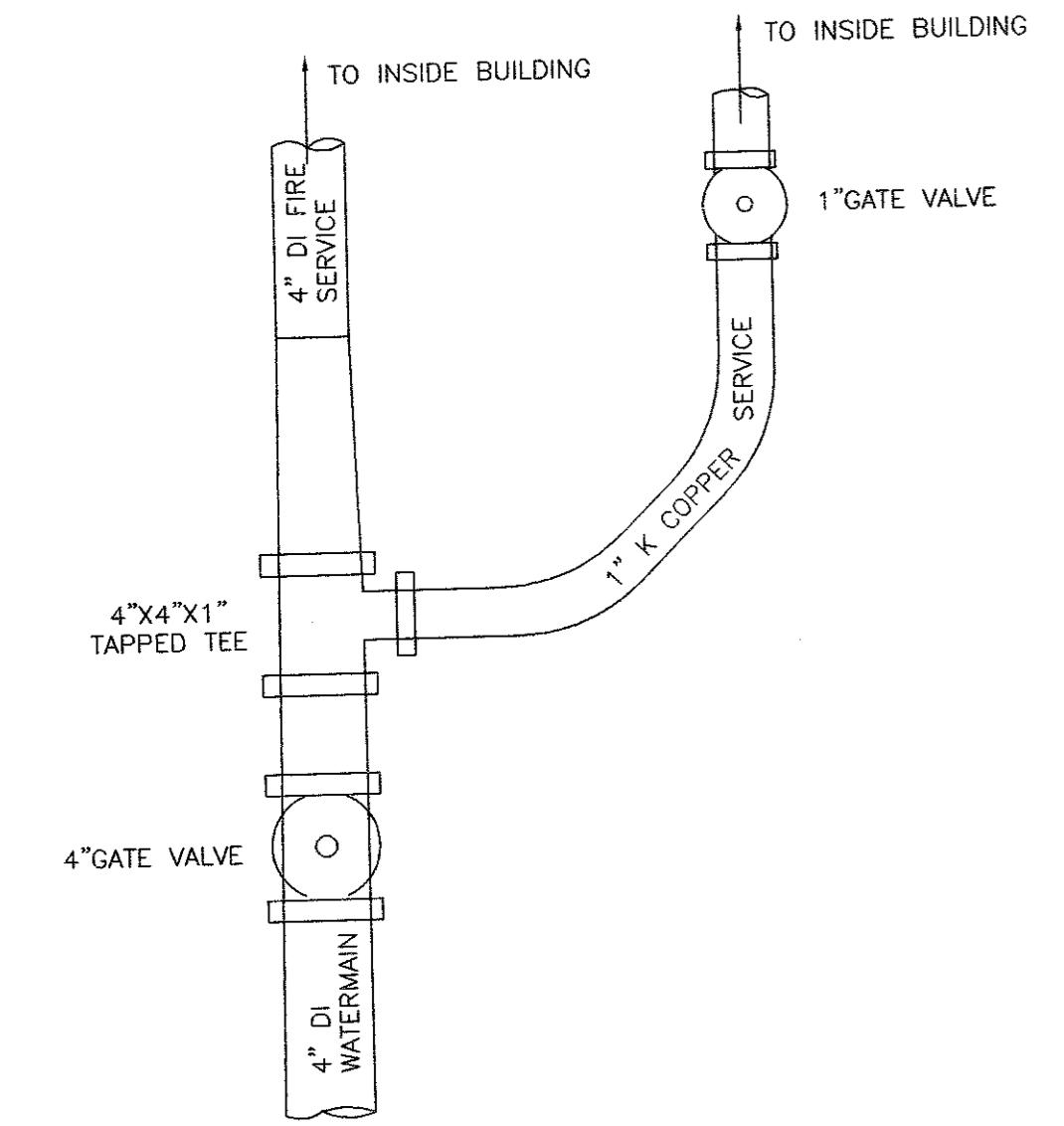


ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS

SOIL CLASSIFICATION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

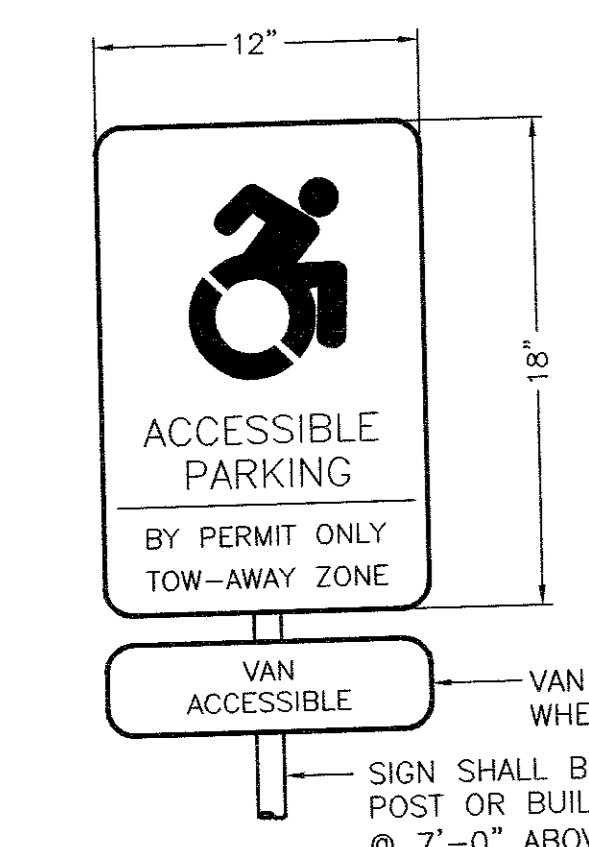
NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE.

UTILITY TRENCH CROSS SECTION
NOT TO SCALE

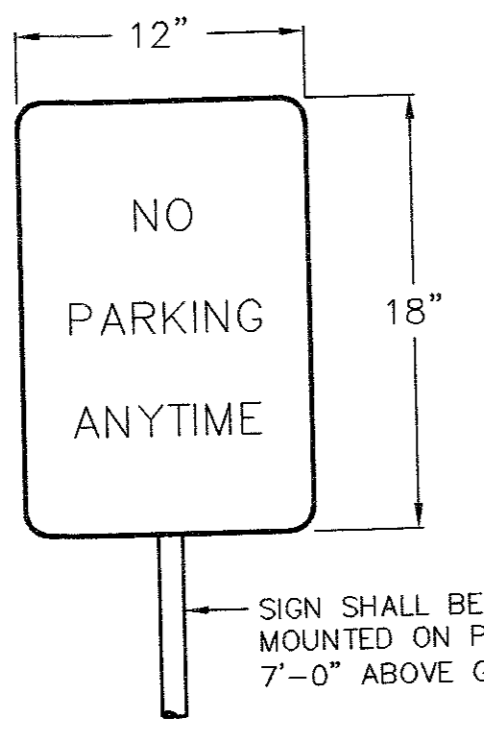


BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

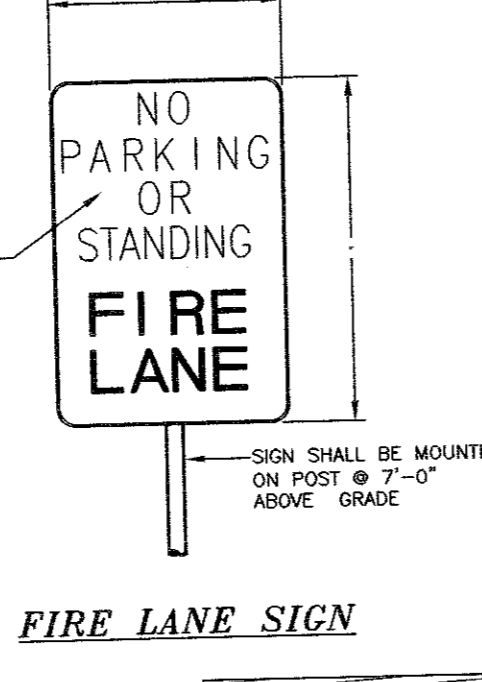
- TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
- VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.



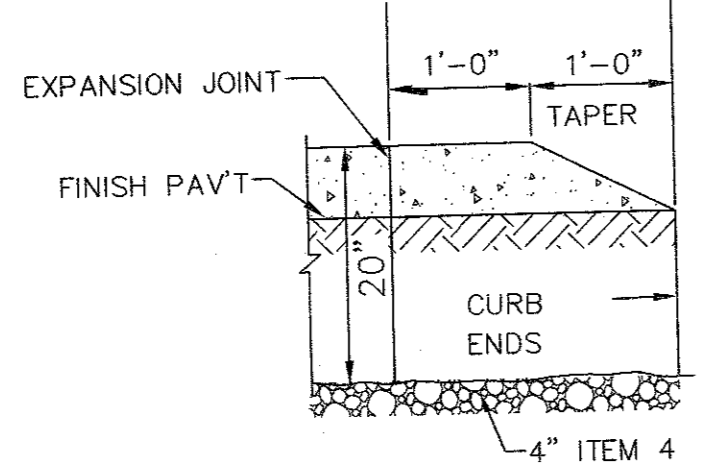
HANDICAP SIGN
NOT TO SCALE



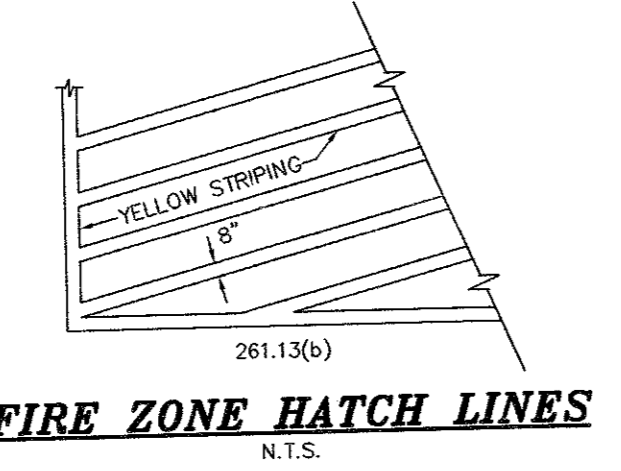
NO PARKING SIGN
NOT TO SCALE



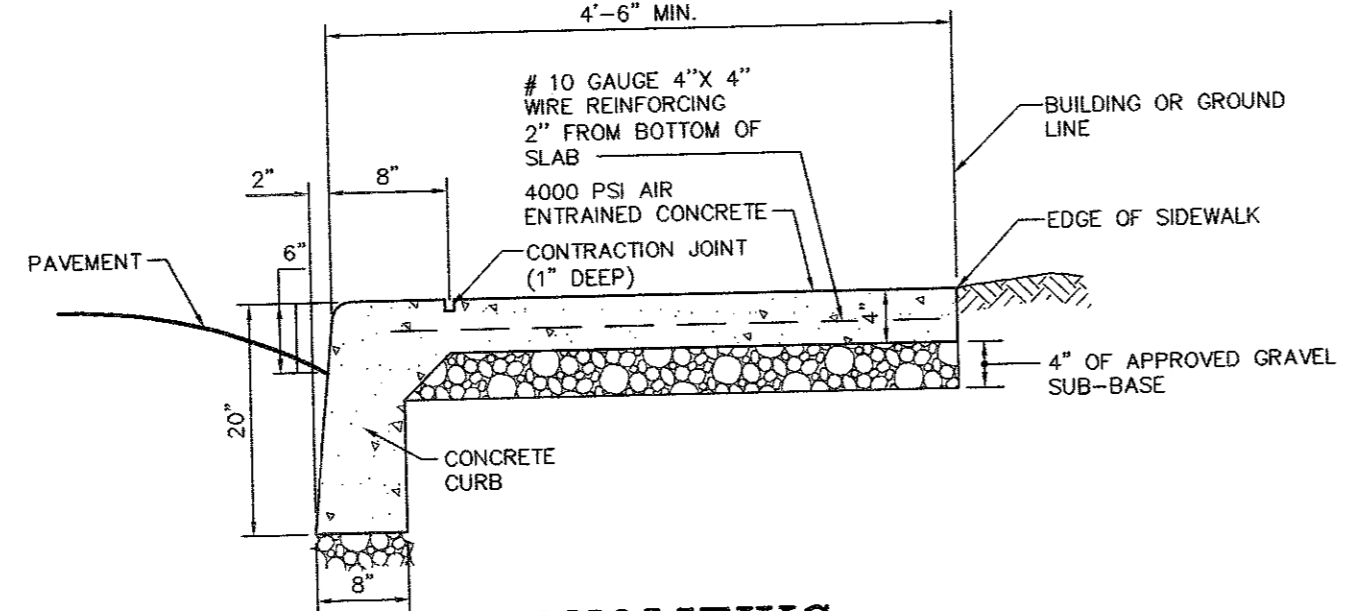
FIRE LANE SIGN



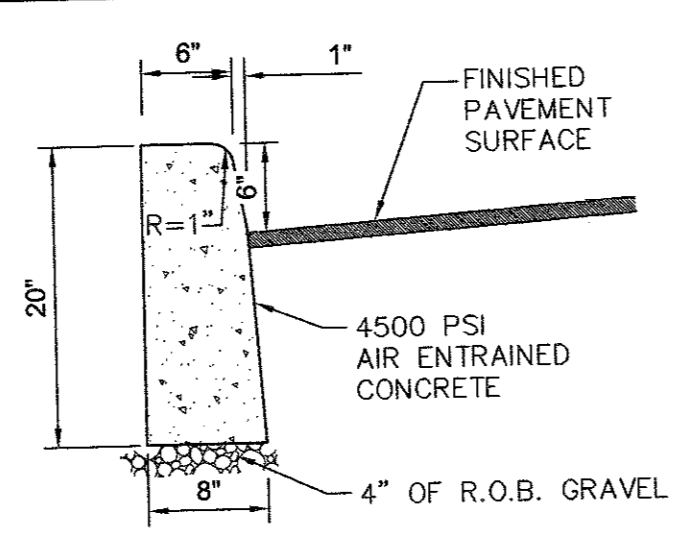
BULLNOSE CURB TERMINAL
NOT TO SCALE



FIRE ZONE HATCH LINES
N.T.S.

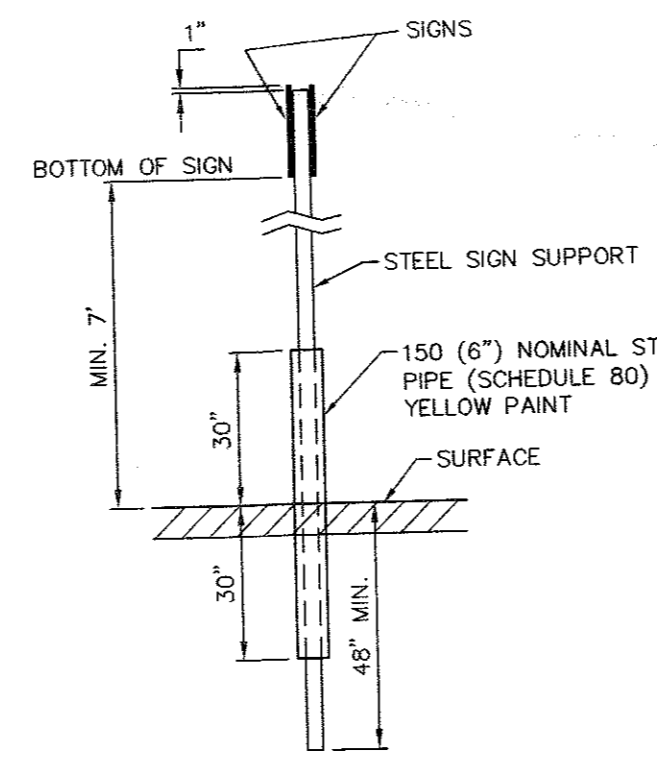


MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE

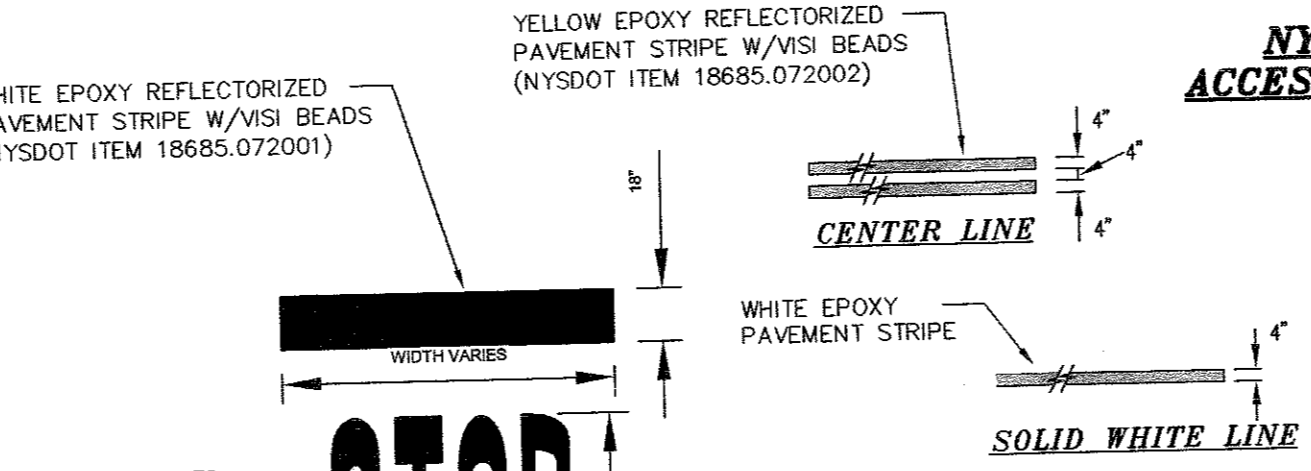


CONCRETE CURB
NOT TO SCALE

CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".



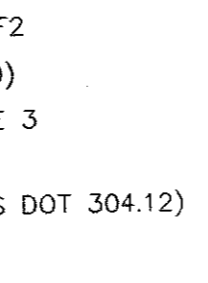
POST BASE DETAIL
NOT TO SCALE



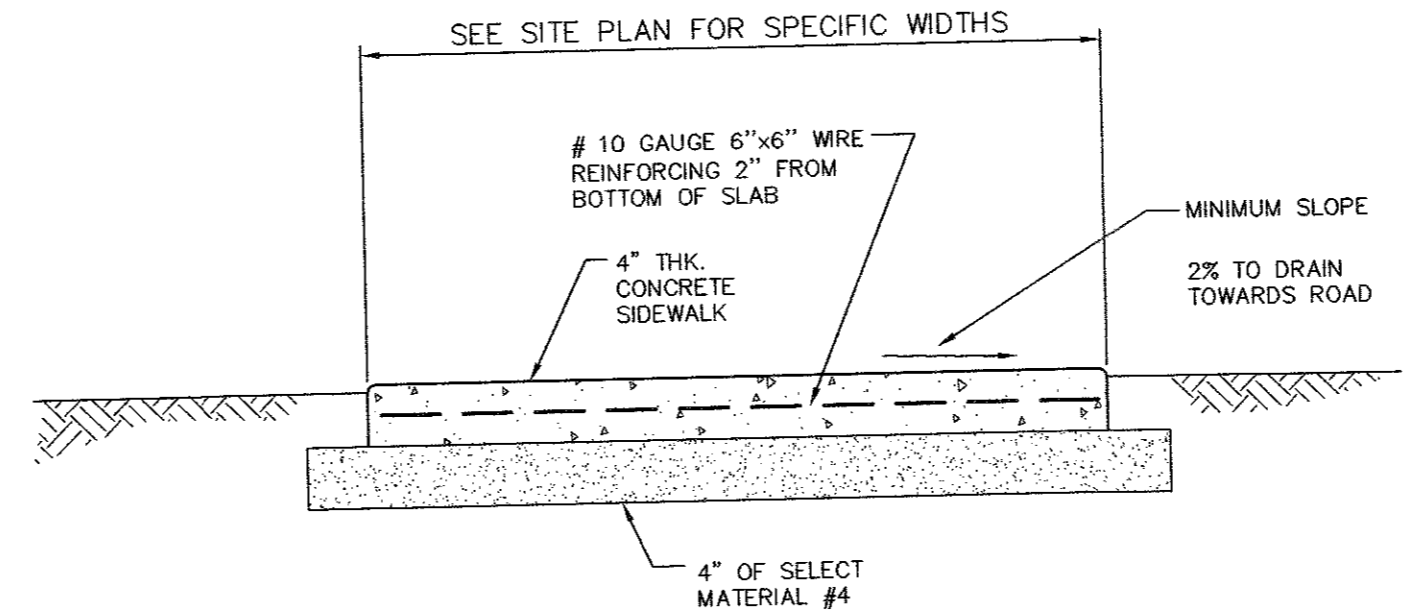
STRIPING DETAILS
NOT TO SCALE

- NOTE:
- ALL STRIPING AND LETTERING WITHIN NYS DOT ROW TO MEET NYS DOT STANDARDS. REFER TO NYS DOT STANDARD SHEETS M685 FOR SIZING AND LAYOUT
 - IN PARKING LOTS, STOP BARS MAY BE REDUCED TO 12" WIDE AND LETTER MAY BE REDUCED TO 6" TALL

STRIPING DETAILS
NOT TO SCALE

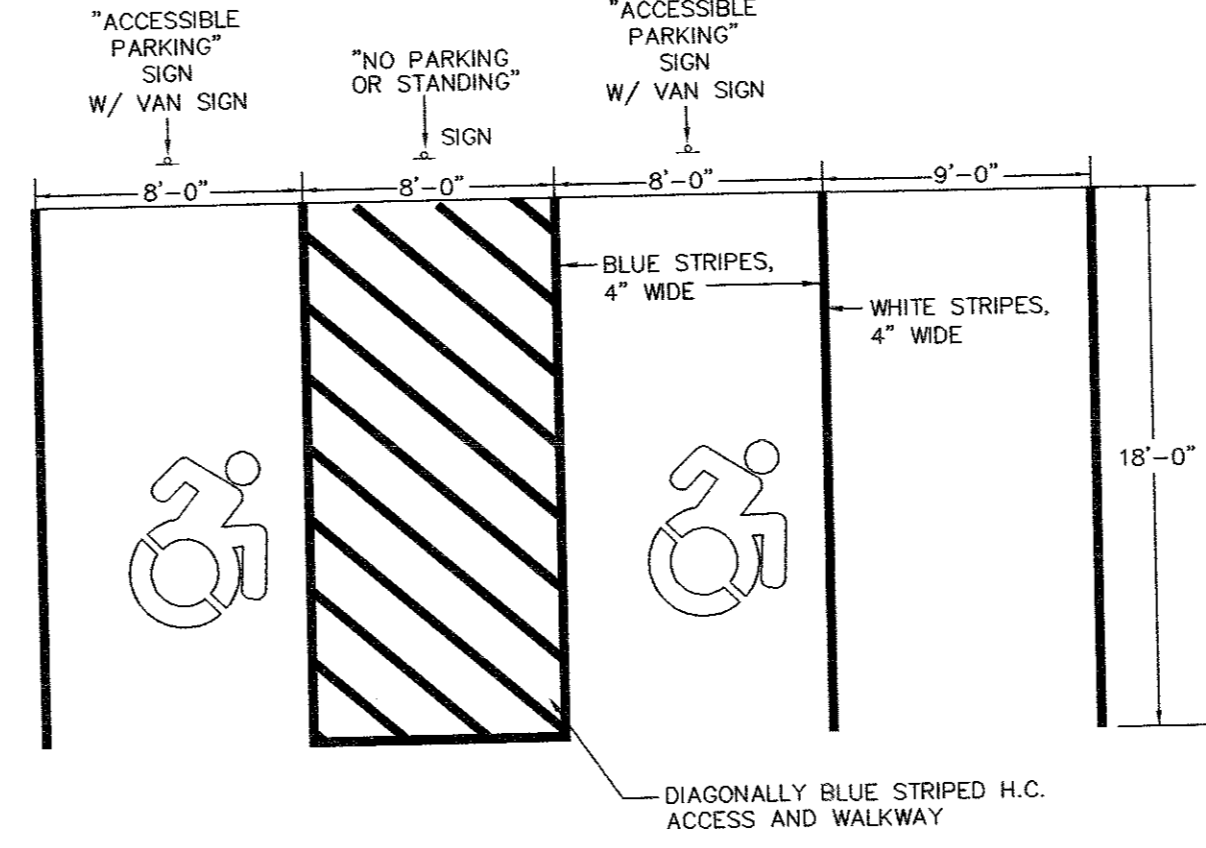


PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



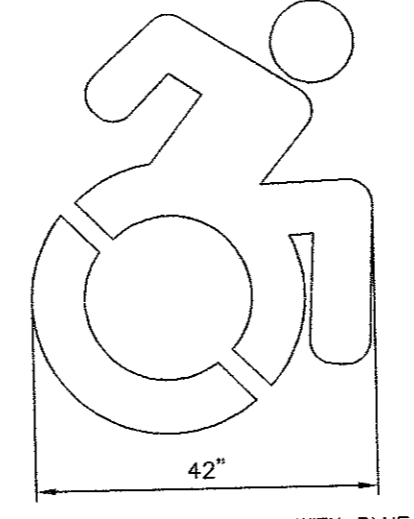
STANDARD SIDEWALK DETAIL
NOT TO SCALE

- NOTES:
- EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 - CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 - EDGES SHALL HAVE 1/2" RADIUS.
 - USE 4500 PSI CONCRETE.
 - BROOM FINISH TOP SURFACE.

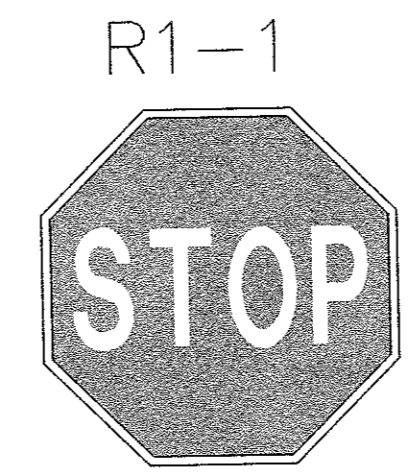


HANDICAP AND TYPICAL PARKING SPACE STRIPING DETAIL
NOT TO SCALE

NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.

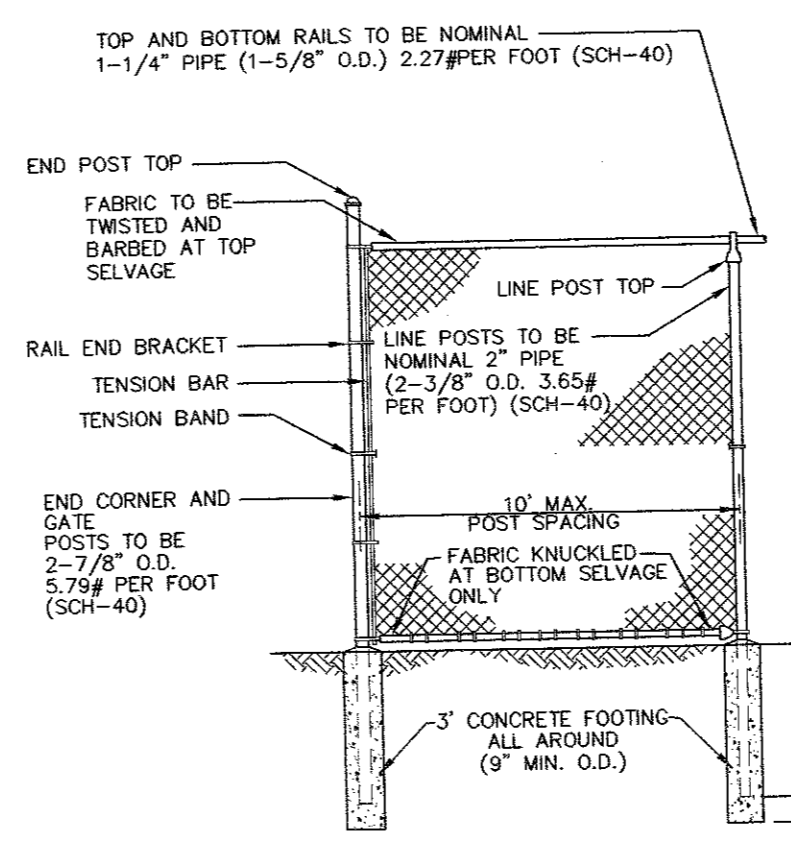


NYS COMPLIANT ACCESSIBILITY SYMBOL
NOT TO SCALE



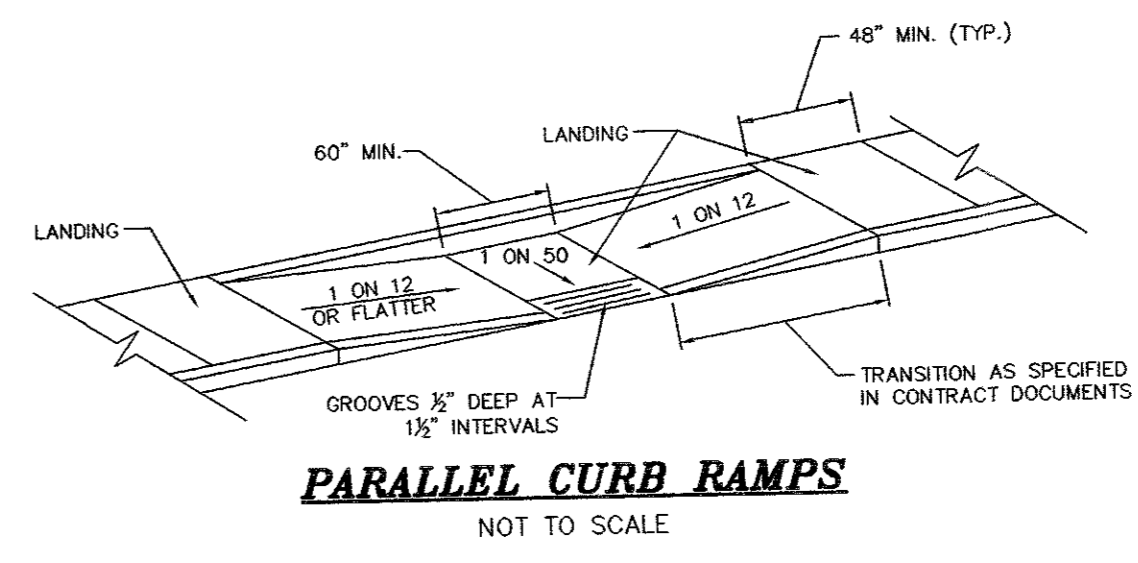
REGULATORY SIGNS
NOT TO SCALE

NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 26 OF THE MUTCD.

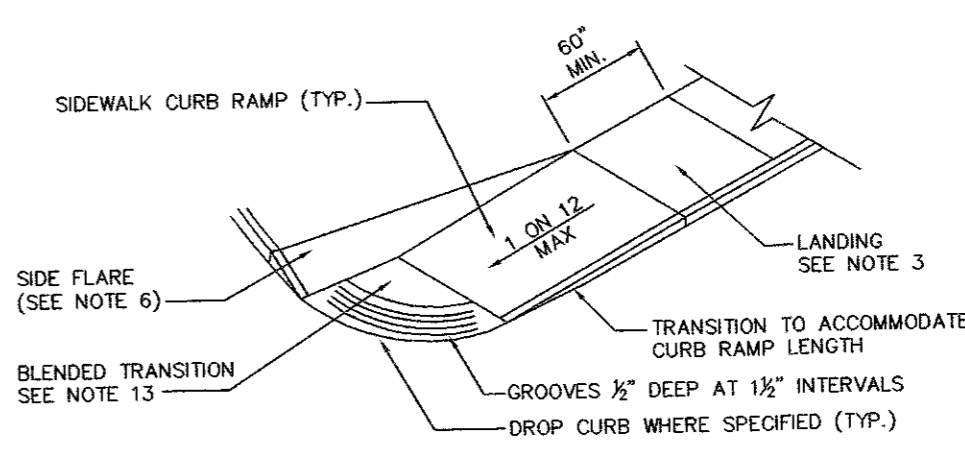


TYPICAL CHAIN LINK FENCE
NOT TO SCALE

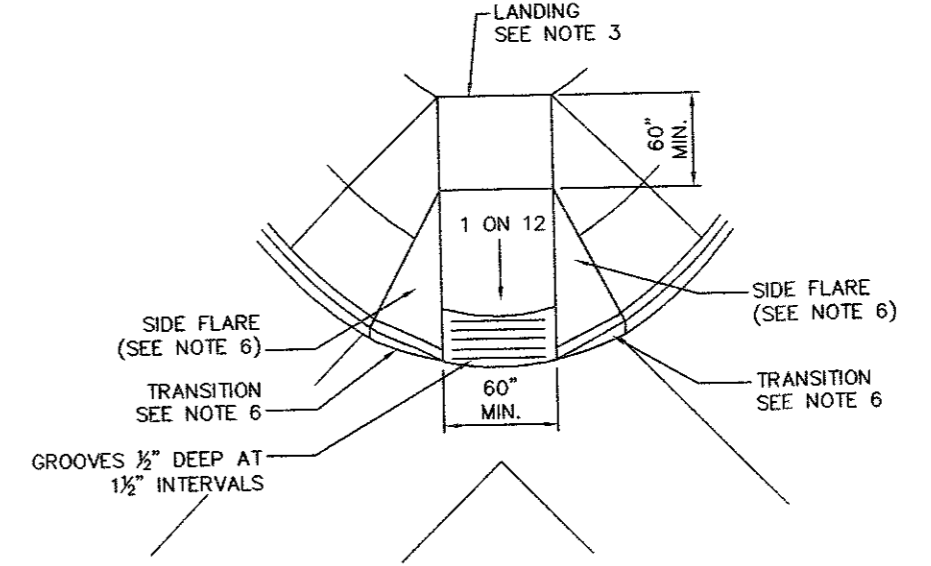
- FENCE SPECIFICATIONS:**
- FENCING MATERIAL SHALL BE CYCLONE TYPE 1 FENCE AS MANUFACTURED BY USS OR EQUAL.
 - FABRIC HEIGHT IS TO BE 4'.
 - FABRIC SHALL BE 2" MESH 9 GAUGE (MIN.) WITH FUZZED BLACK VINYL COATING.
 - GATE SHALL HAVE LATCHING DEVICES WITH PROVISIONS FOR PADLOCKING.
 - ALL POSTS, RAILS, AND APPURTENANCES SHALL BE GALVANIZED STEEL. PIPE POSTS SHALL HAVE TOPS WHICH EXCLUDE MOISTURE.
 - END CORNER, PULL, AND GATE POSTS ARE TO BE BRACED WITH THE SAME MATERIAL AS TOP RAIL. ALL POSTS SHALL BE SET IN A CONCRETE FOUNDATION OF 12" x 4" MIN. LINE POSTS SHALL BE EVENLY SPACED 10' OR LESS.
 - FENCE IS TO BE INSTALLED IN A PROFESSIONAL MANNER TO ENHANCE THE APPEARANCE OF THE INSTALLATION, TO PREVENT ENTRANCE OF PERSONS AND ANIMALS AND TO PROTECT EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THAT THE GRADE AT THE FENCE LINE IS CORRECT, LEVEL, AND FINAL BEFORE THE FENCE IS INSTALLED. ALL POSTS SHALL BE ALIGNED TOP RAIL SHALL BE HELD LEVEL.
 - EXPERIENCED PERSONNEL IN THE FENCE INDUSTRY SHALL INSTALL THE FENCE.



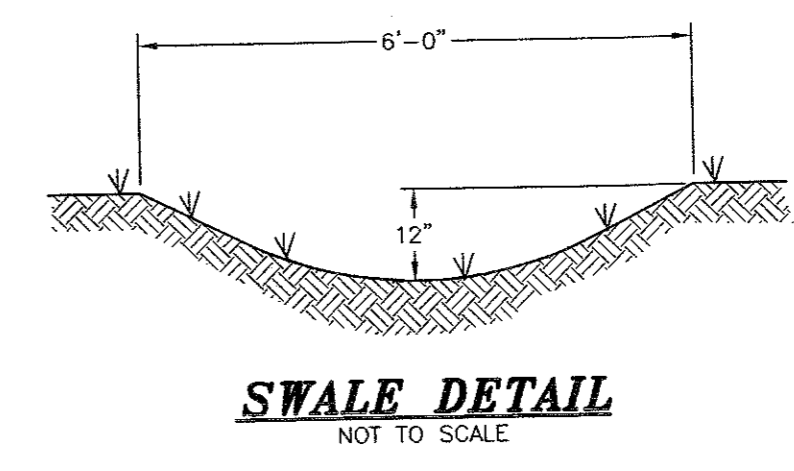
PARALLEL CURB RAMPS
NOT TO SCALE



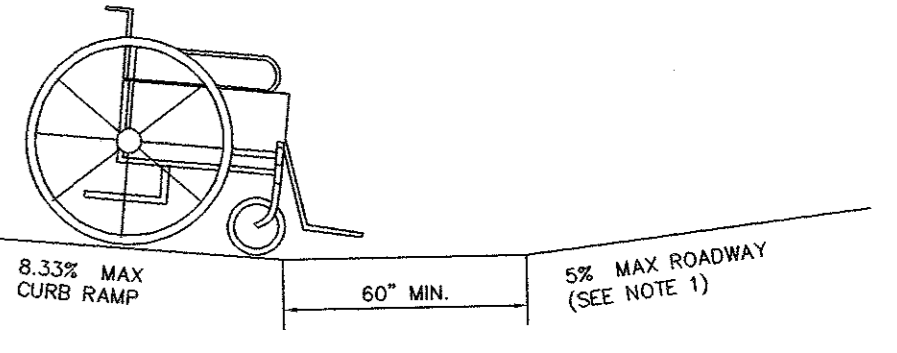
SIDEWALK CURB RAMP
NOT TO SCALE



DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE

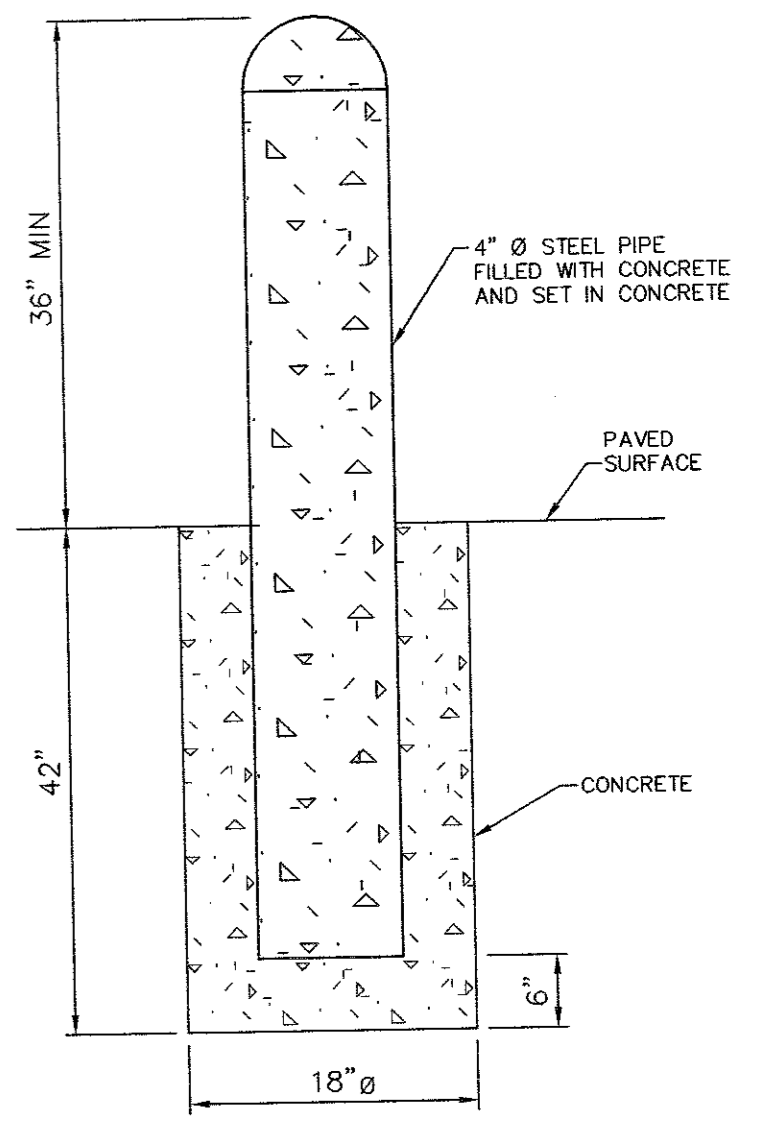


SWALE DETAIL
NOT TO SCALE



COUNTER SLOPE CONDITIONS CURB RAMP DETAILS
NOT TO SCALE

NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.



BOLLARD DETAIL
NOT TO SCALE

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Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 1
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revisions: JULY 5, 2023
AUGUST 23, 2023

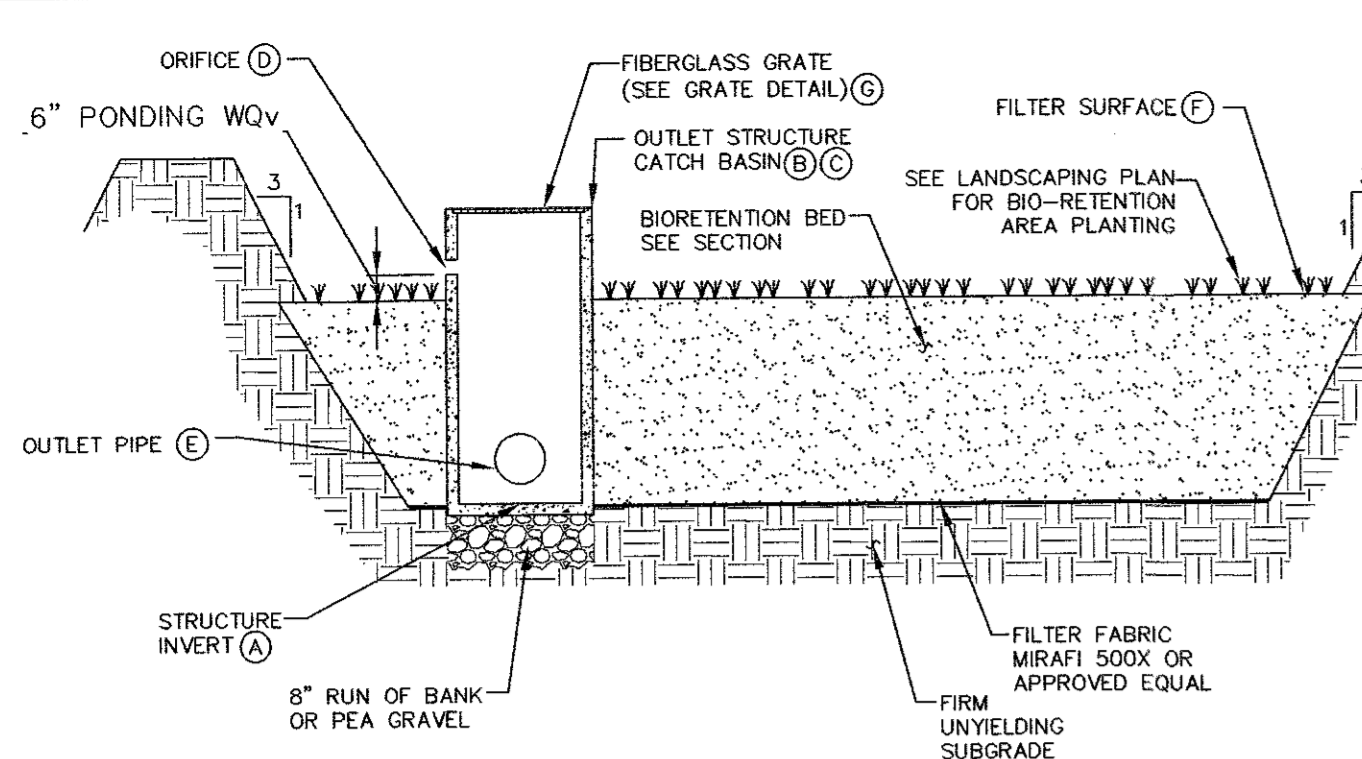
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Checked By: N.T.S.
Scale: 3/8" = 1'-0"
Tax Map No.: 35-3-3.22

CAD File: ENG.DWG
Layout: EROSION DETAILS
Sheet No.: 10 OF 12
Drawing No.: B-23-0107-01

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BIO-RETENTION AREA DETAIL
NOT TO SCALE

BIO-RETENTION AREA MAINTENANCE REQUIREMENTS:
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
2. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THAN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
3. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
4. ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
5. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
6. REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

BIO-RETENTION AREA DATA

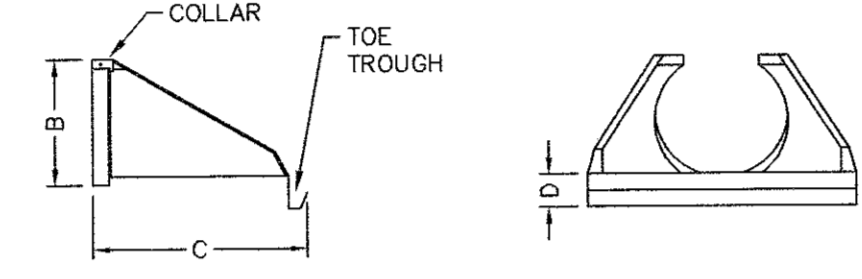
BIO-RETENTION AREA OUTLET STRUCTURE	
A INVERT OF OUTLET STRUCTURE	435.00'
B OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	36" x 60"
C TOP OF STRUCTURE ELEVATION	439.75'
D ORIFICE SIZE/INVERT ELEVATION	N/A
E OULVERT: DIAMETER/INVERT ELEVATION	15" HDPE @ 435.00'
F FILTER SURFACE ELEVATION	439.25'
G GRATE DIMENSION	30" x 48"
H TOP OF PERIMETER BERM	440.00'

BIO-RETENTION SOIL NOTES:
BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYS DOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)

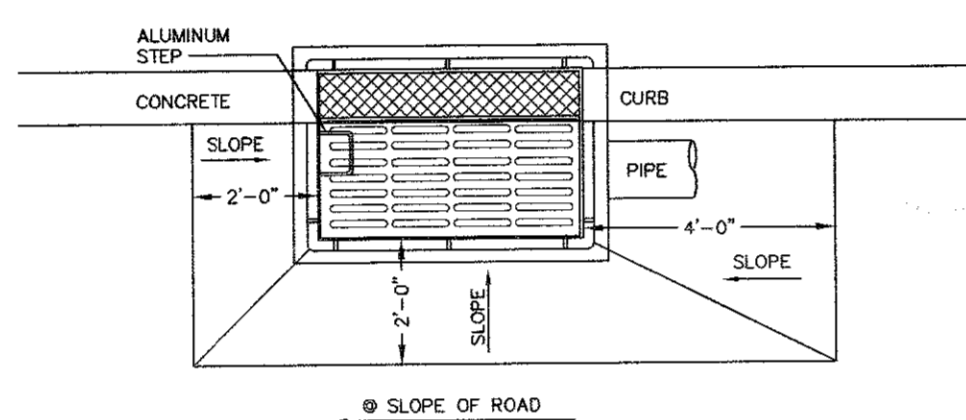
PIPE DIAMETER

DIMENSION	10/12	15	18
A	42	41	49
B	14.5	19	22
C	33	34	43
D	6	6	6

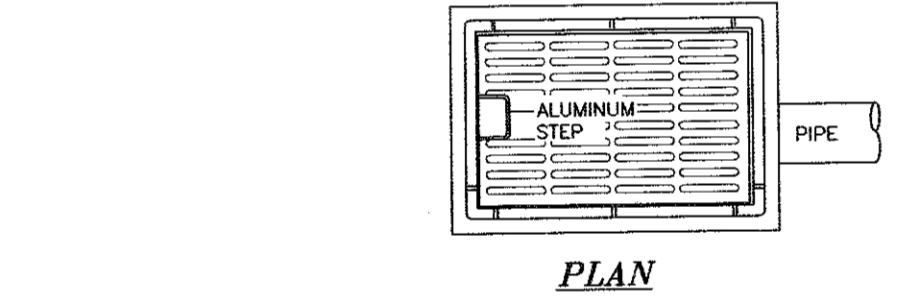
NOTE: ALL MEASUREMENTS IN INCHES



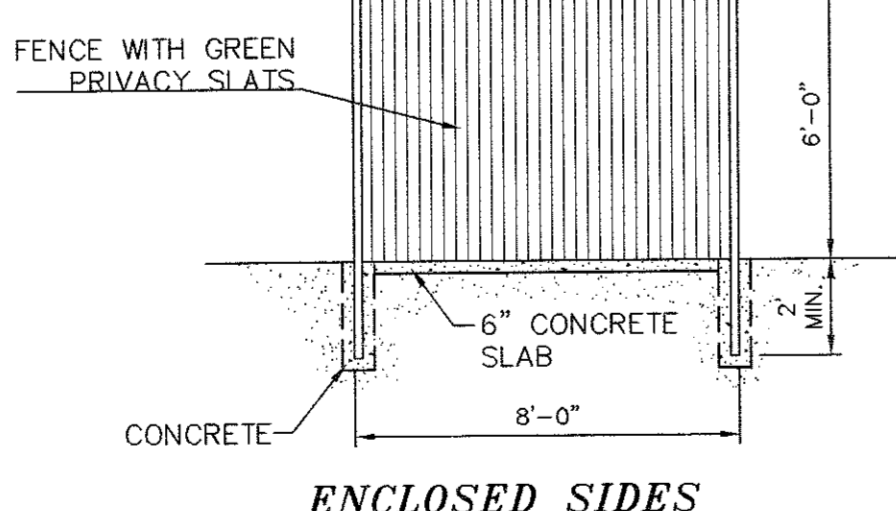
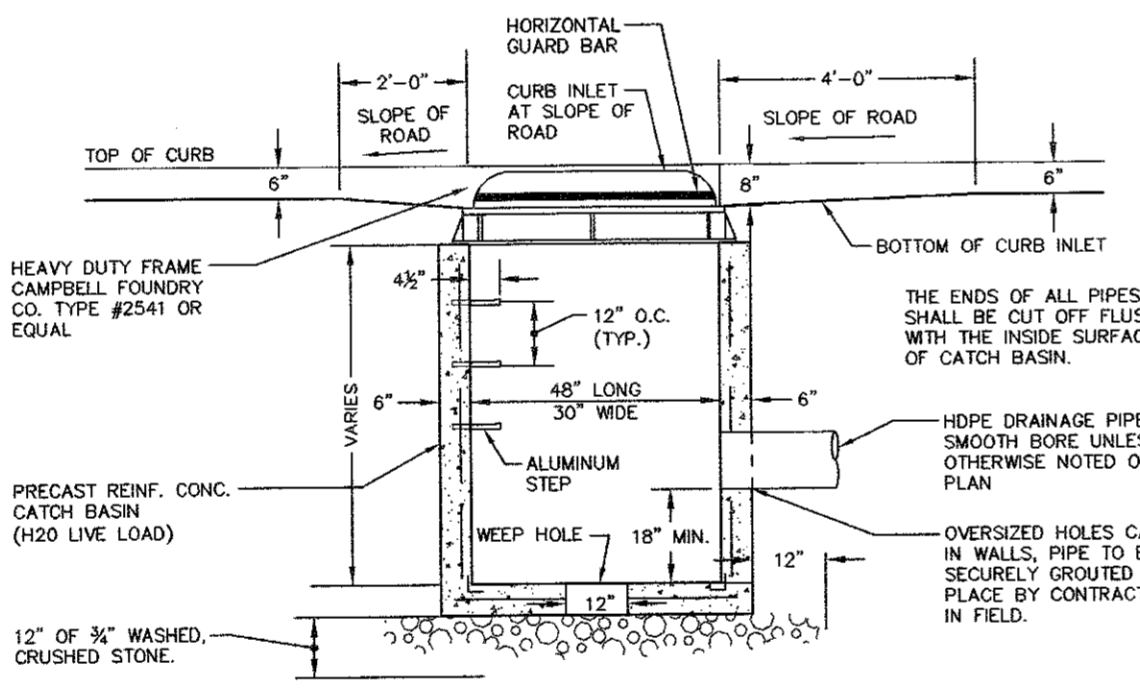
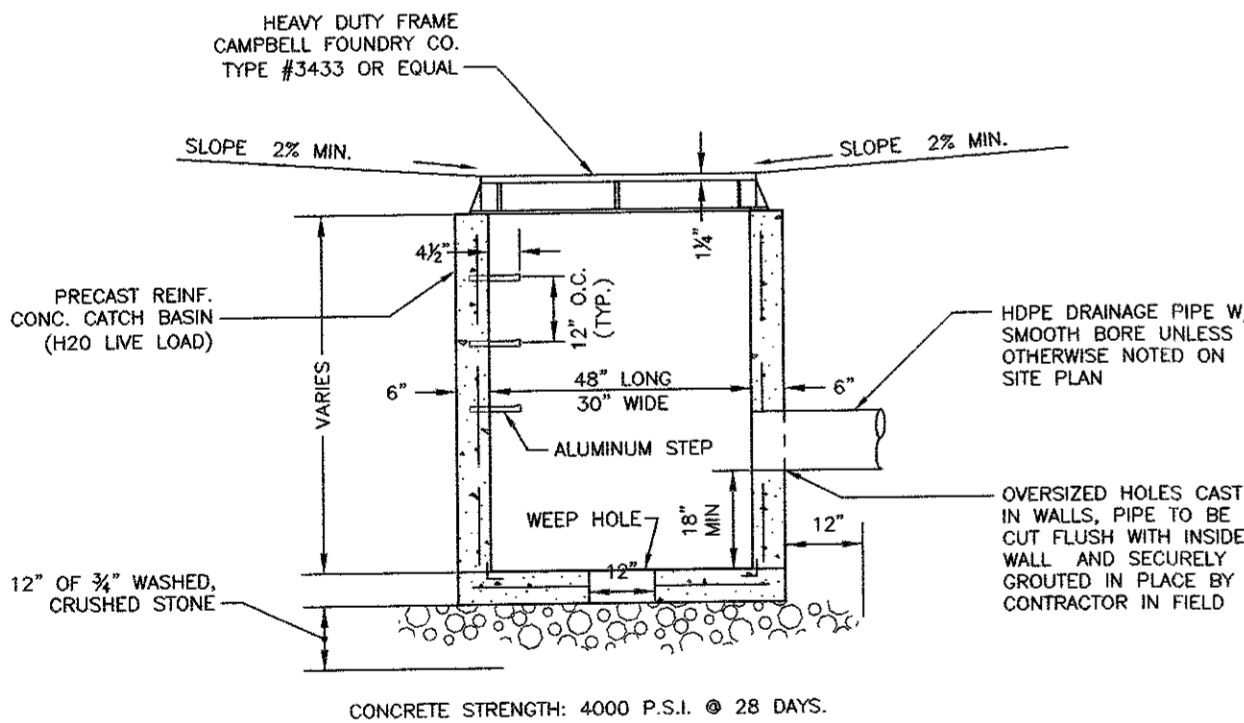
HDPE FLARED END SECTION
NOT TO SCALE



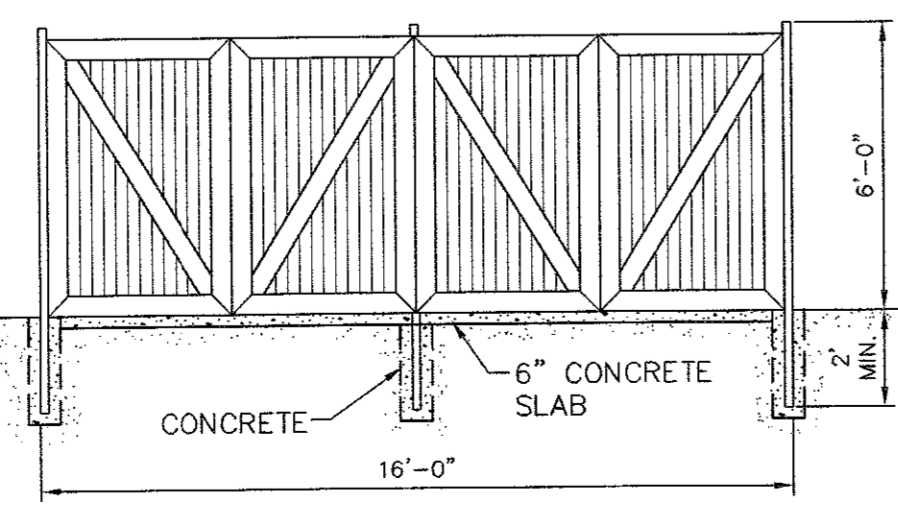
CURB INLET-CATCH BASIN
NOT TO SCALE



FLAT GRATE-CATCH BASIN
NOT TO SCALE

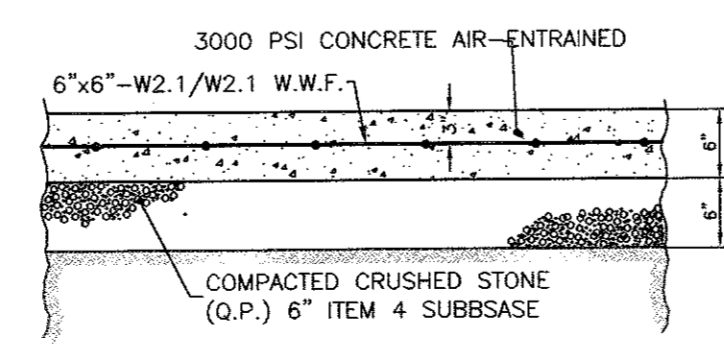


ENCLOSED SIDES



PICK UP ENTRANCE

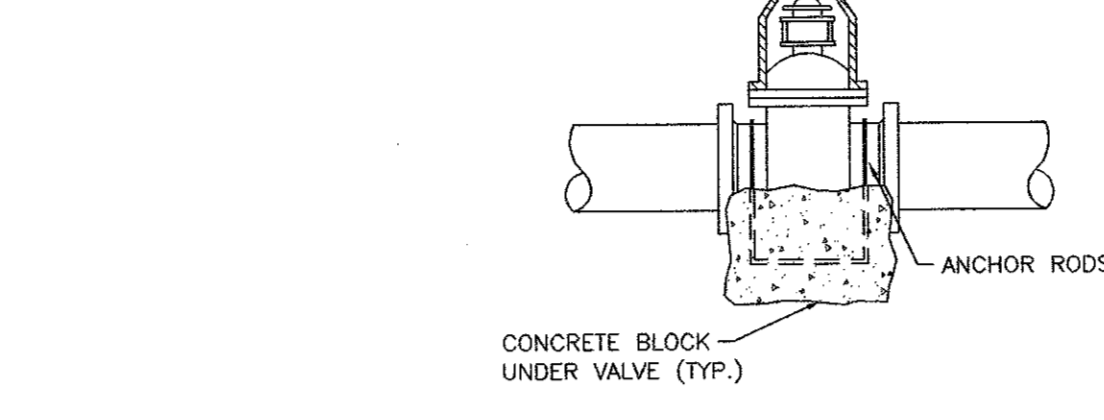
REFUSE STORAGE ENCLOSURE DETAIL
NOT TO SCALE



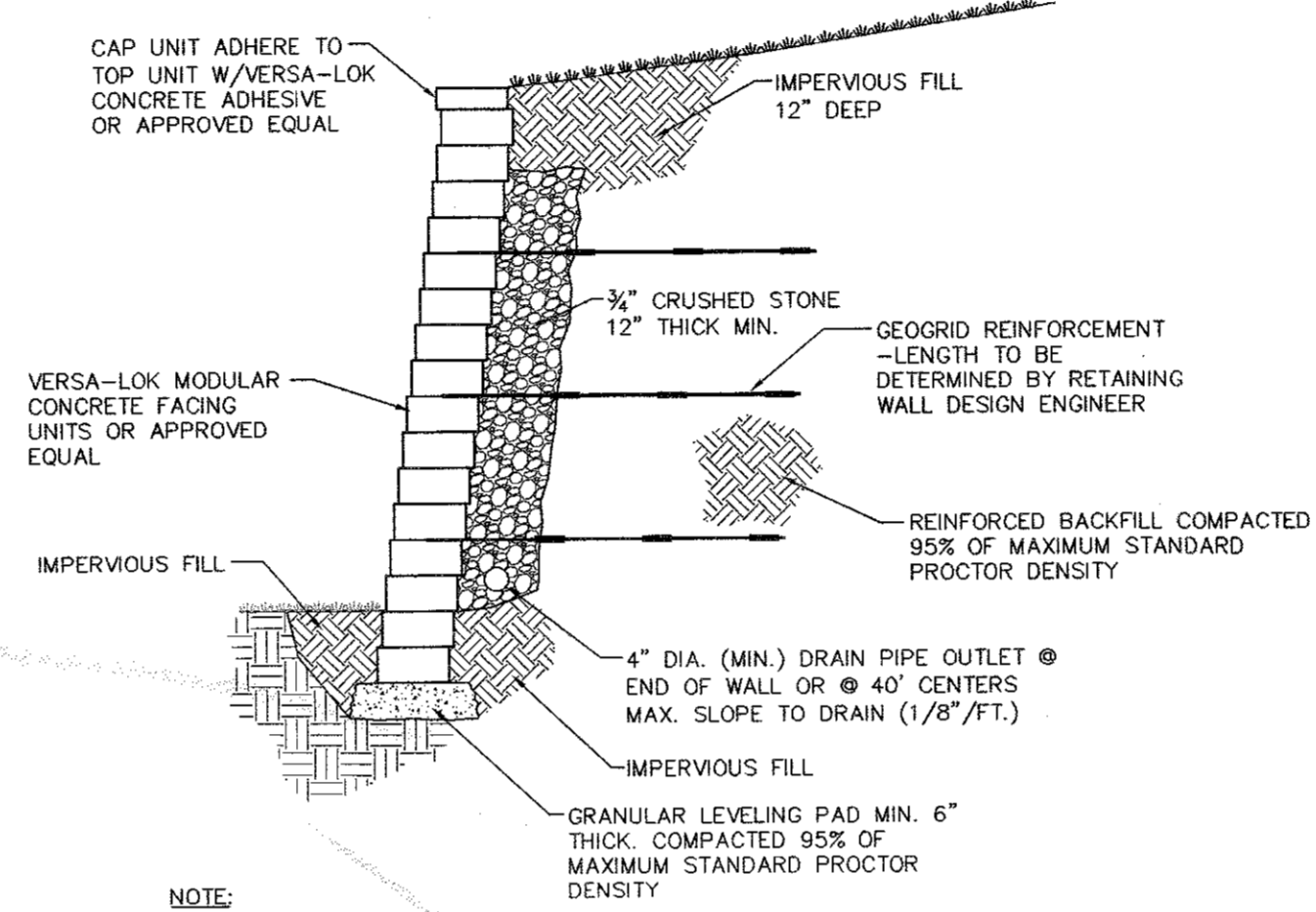
REFUSE PAD DETAIL

ANCHORAGE OF VALVES

WORKING PRESSURE (PSI)	SIZE OF VALVE REQUIRING ANCHORAGE
50-100	12 INCH & UP
101-150	8 INCH & UP
151-200	ALL SIZES



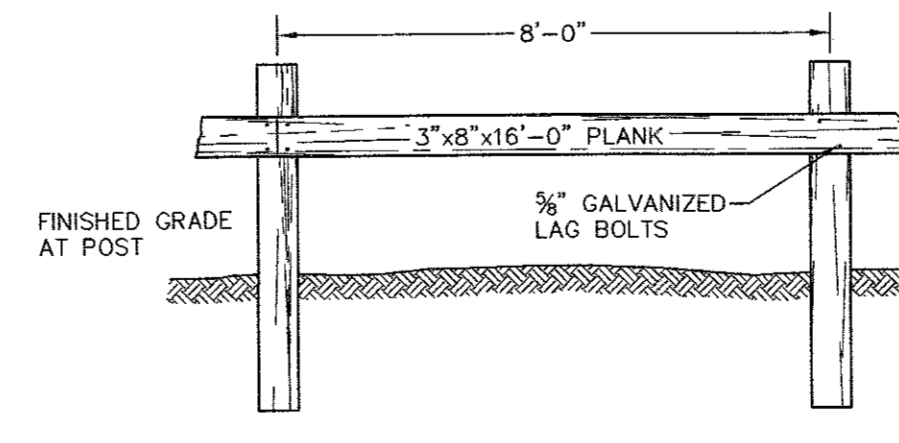
VALVE DETAIL
NOT TO SCALE



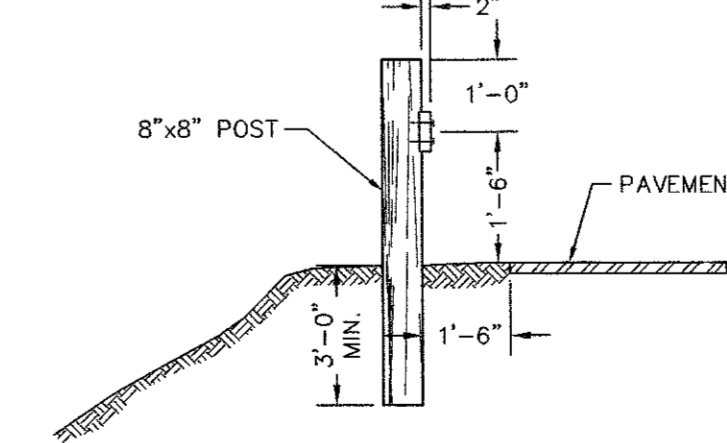
TYPICAL SECTION-REINFORCED RETAINING WALL
NOT TO SCALE

RETAINING WALL NOTES:

1. Design for the retaining wall shown hereon shall be prepared by a NYS Licensed Professional Engineer and submitted to the Town Building Inspector for record prior to construction. Such design drawings (for shop drawings) shall bear the stamp and signature of such engineer, and shall be specific for the site and specific to the retaining wall system to be utilized and shall consider all appropriate and necessary possible loadings and conditions related to this project.
2. The aforementioned design and details shall consider / identify / include, but shall not be limited to: signed and sealed design calculations; complete and specific construction plans and details for each wall; appropriate sizing for drainage system to handle intense storm conditions; maintenance ability to clean stormwater piping systems; appropriate backfill material sufficient porosity to allow free drainage of water; evaluate potential failure by internal/external failure mechanisms, global failure or other potential failures; and seismic design considerations.
3. If the wall or walls are tiered walls, the design shall include an analysis of the minimum spacing of walls to allow the individual walls to act as individual walls based on the specific site and construction conditions. If the walls are to be placed closer than the same, the specific design shall consider the loads superimposed by one wall to the other.
4. During construction, the work must be inspected by a NYS Licensed Professional Engineer who shall provide written verification to the Town Building Inspector, prior to the request for a certificate of occupancy, that he/she has personally inspected the work, and the installation is in compliance with the design drawings and manufacturer's installation recommendations.
5. If deemed necessary by the design engineer and/or the Town, third party testing will be performed regarding material composition, fill quality, etc. A copy of all such testing records shall be provided to the Town Building Department for record.



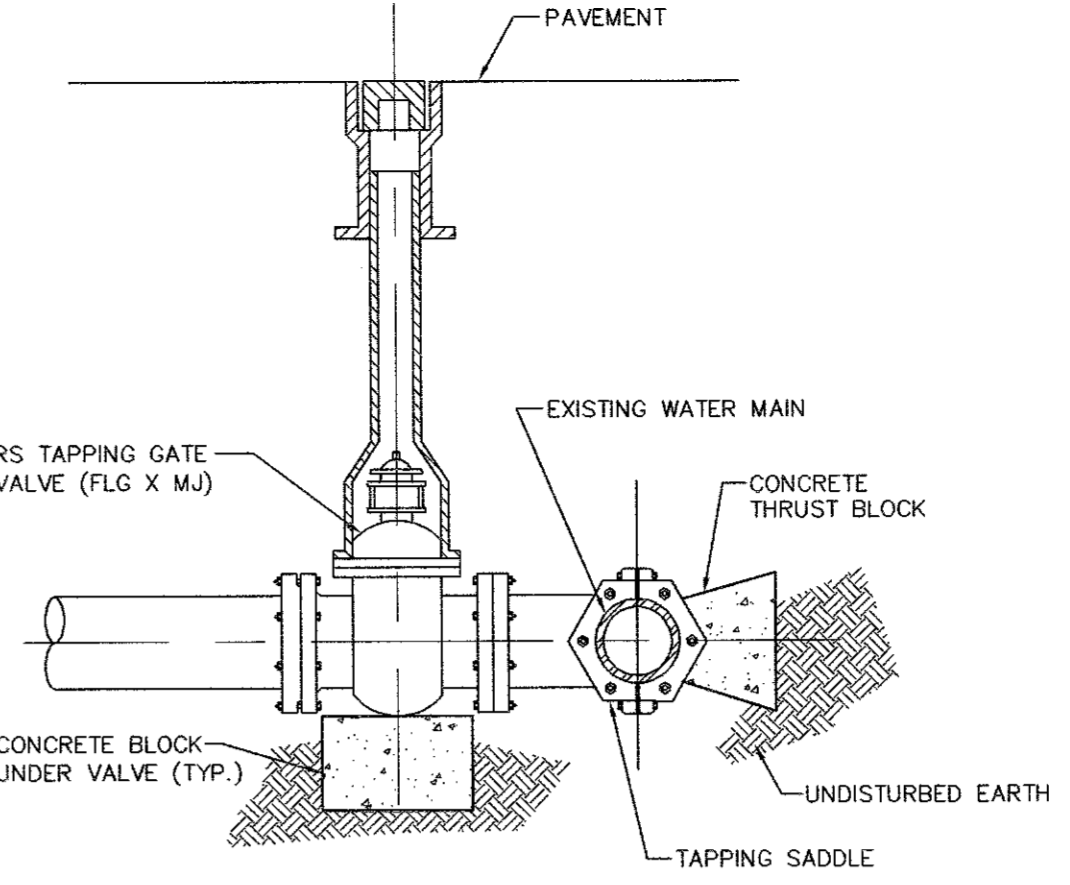
ELEVATION



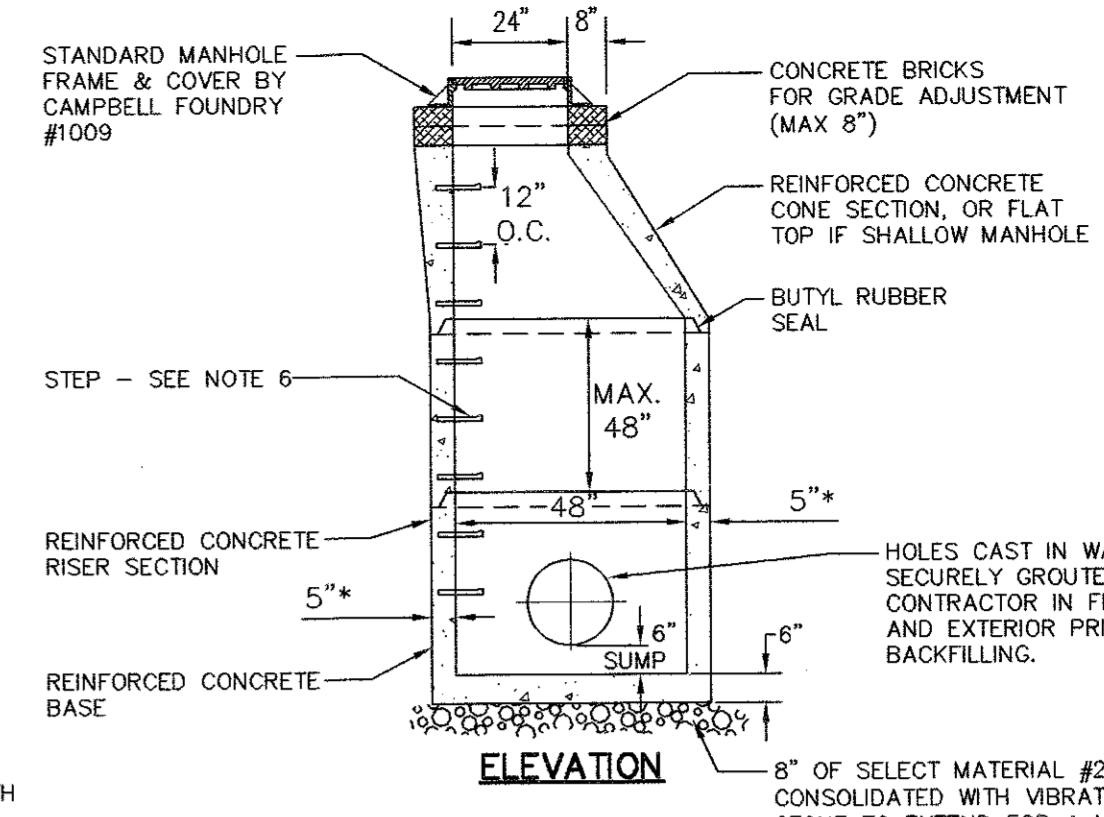
SECTION

NOTE: ALL WOOD TO BE PRESSURE TREATED.

WOOD GUIDE RAIL
NOT TO SCALE



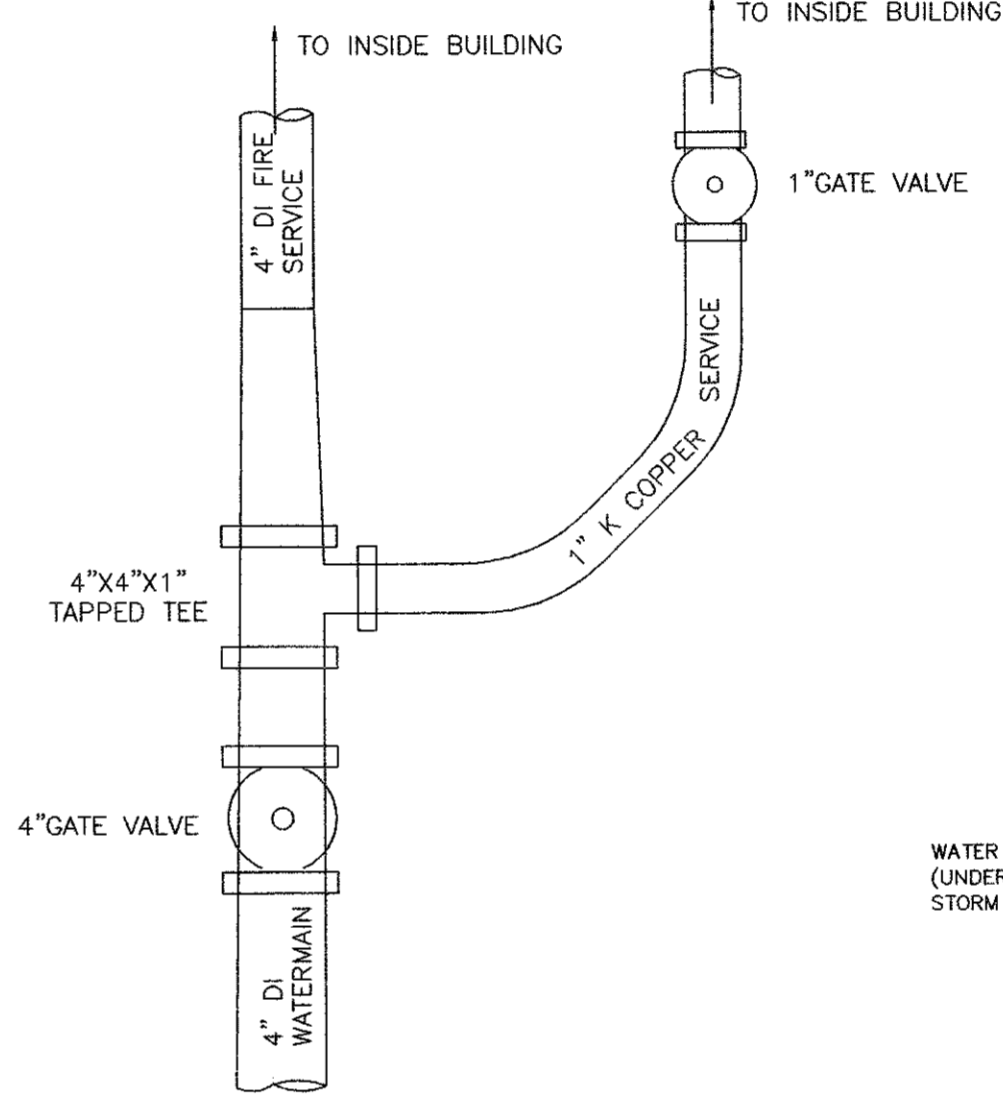
WET TAP DETAIL
NOT TO SCALE



ELEVATION

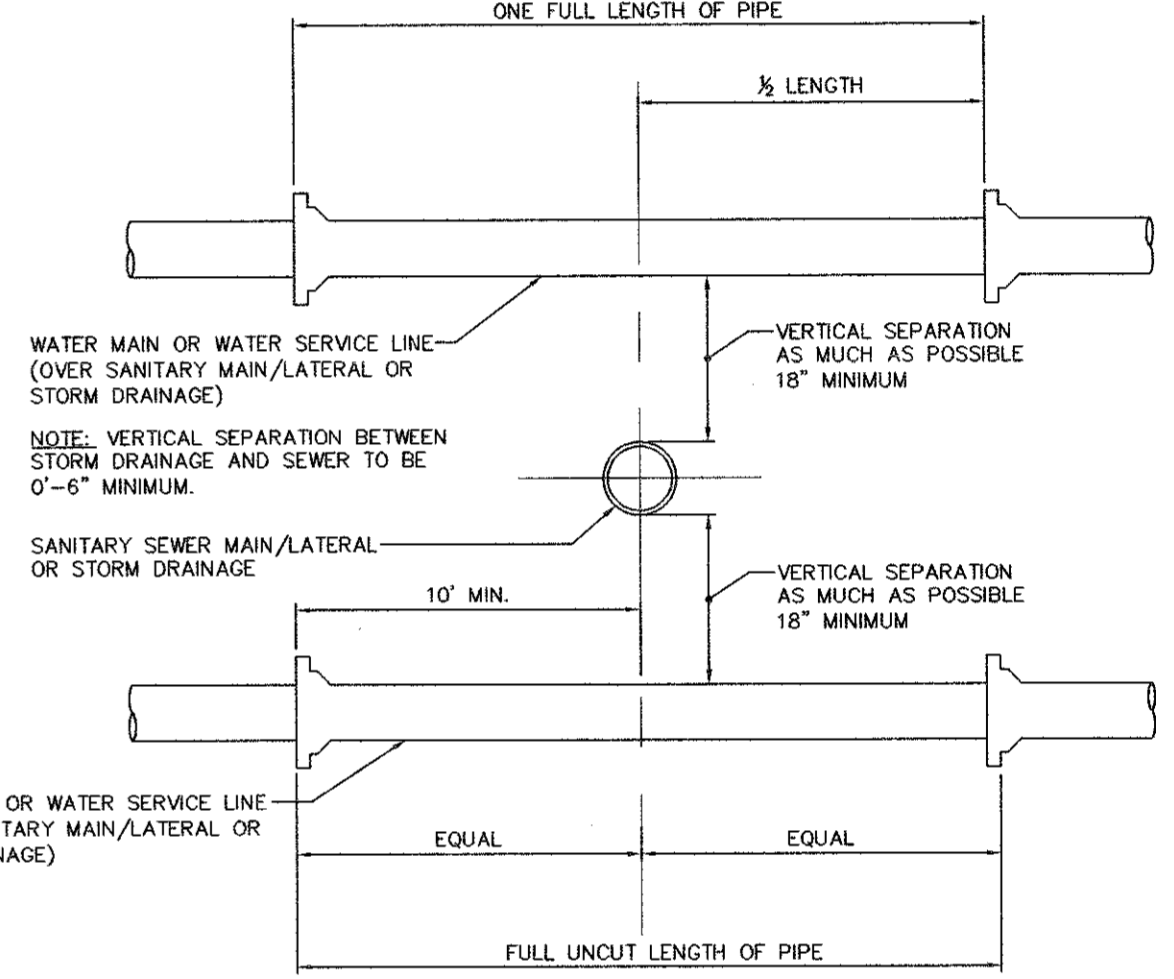
- NOTES:**
1. PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
 2. OPENING FOR PIPE SHALL BE PRE-CAST.
 3. MANHOLE COVERS TO BE STAMPED "STORM".
 4. PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H2O LIVE LOAD.
 5. WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
 6. STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 7. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 8. BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 6" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

PRE-CAST DRAINAGE MANHOLE
NOT TO SCALE

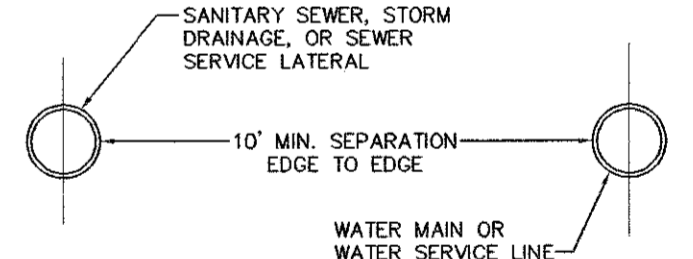


BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

1. TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
2. VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.



WATER & SEWER CROSSING DETAIL
NOT TO SCALE



WATER & SEWER HORIZONTAL SEPARATION
NOT TO SCALE



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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 2
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JQ Checked By: Scale: N.T.S. Tax Map No.: 35-3-3.22

Date: JUNE 27, 2023
Revisions: JULY 5, 2023
AUGUST 23, 2023
CAD File: ENG.DWG
Layout: DETAILS 2
Sheet No.: 11 OF 12
Drawing No.: C30
B-23-0107-01

MC-7200 TECHNICAL SPECIFICATION

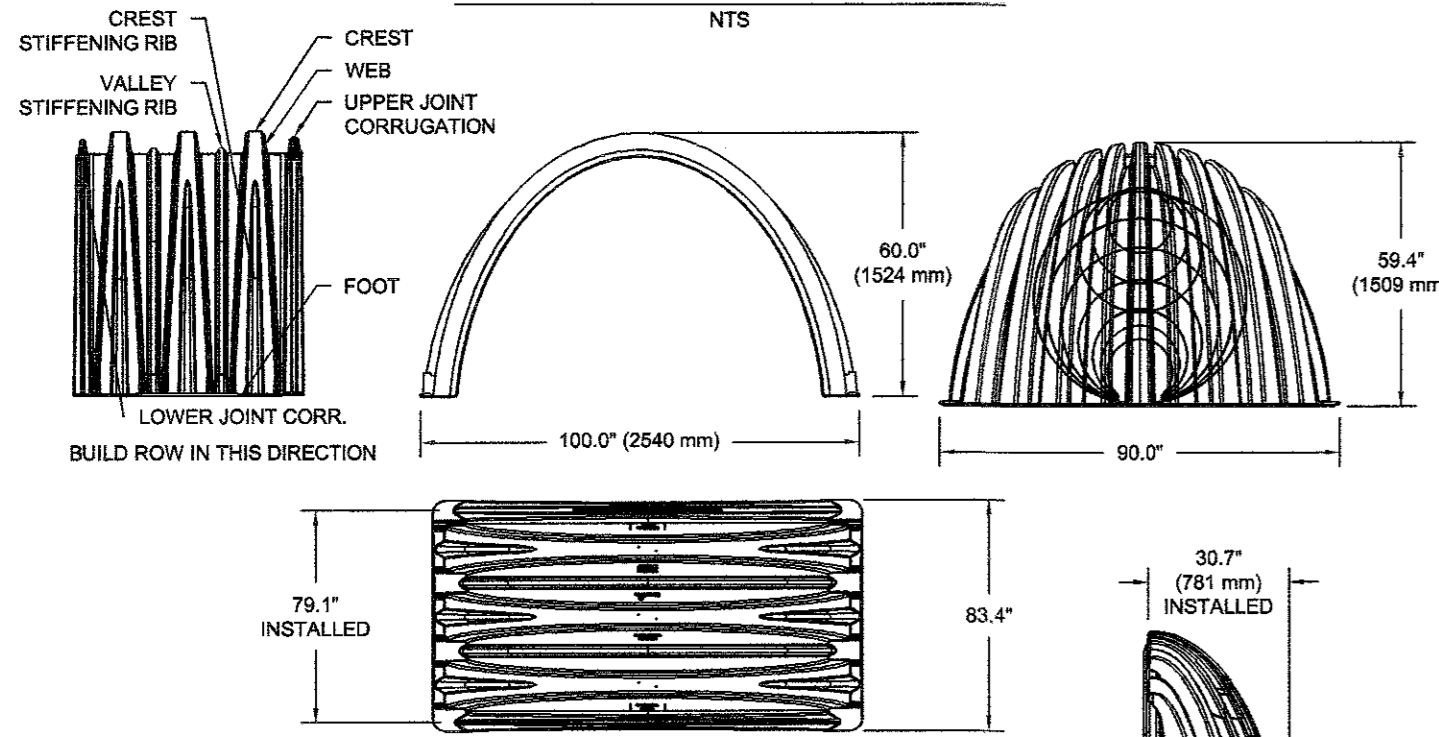


Table with 2 columns: Specification (Nominal Chamber, Nominal End Cap) and Dimensions/Weights.

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "C" END CAPS WITH A WELDED CROWN PLATE END WITH "C" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

Table with 3 columns: PART #, STUB, and dimensions (A, B, C).

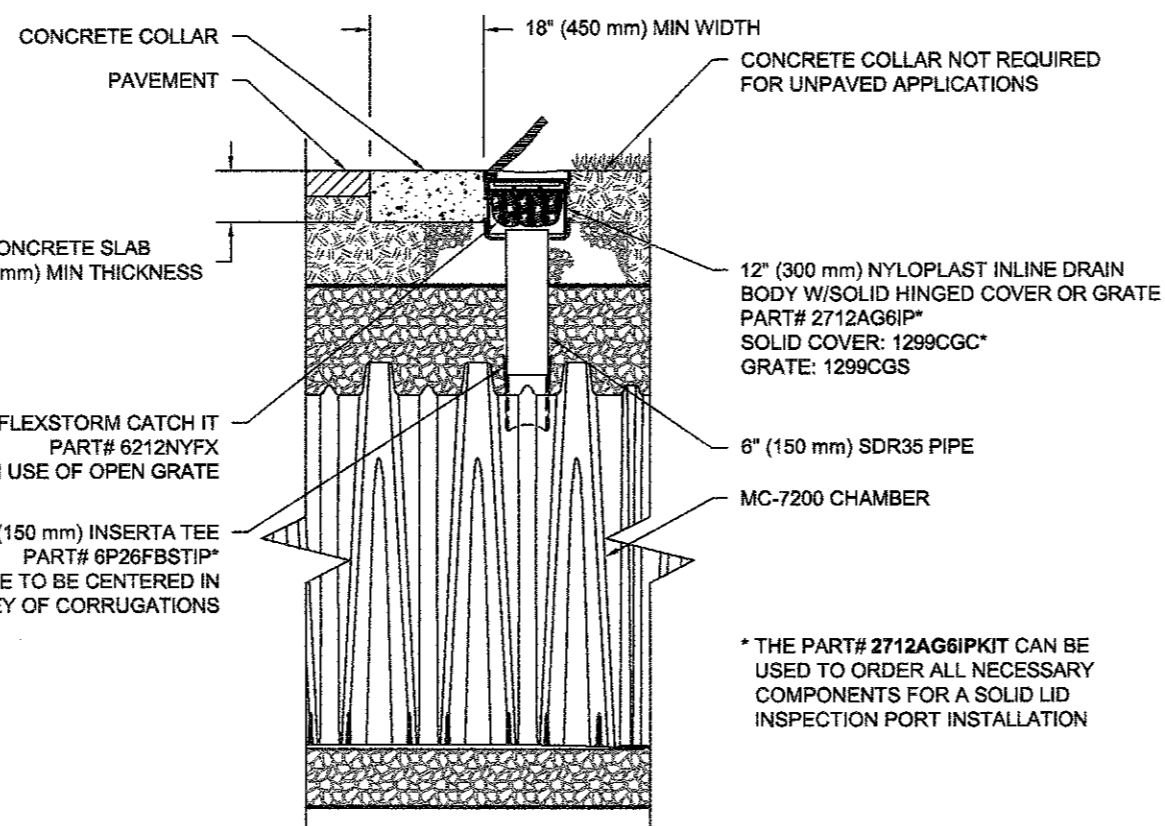
NOTE: ALL DIMENSIONS ARE NOMINAL

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT... STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS... STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS... STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

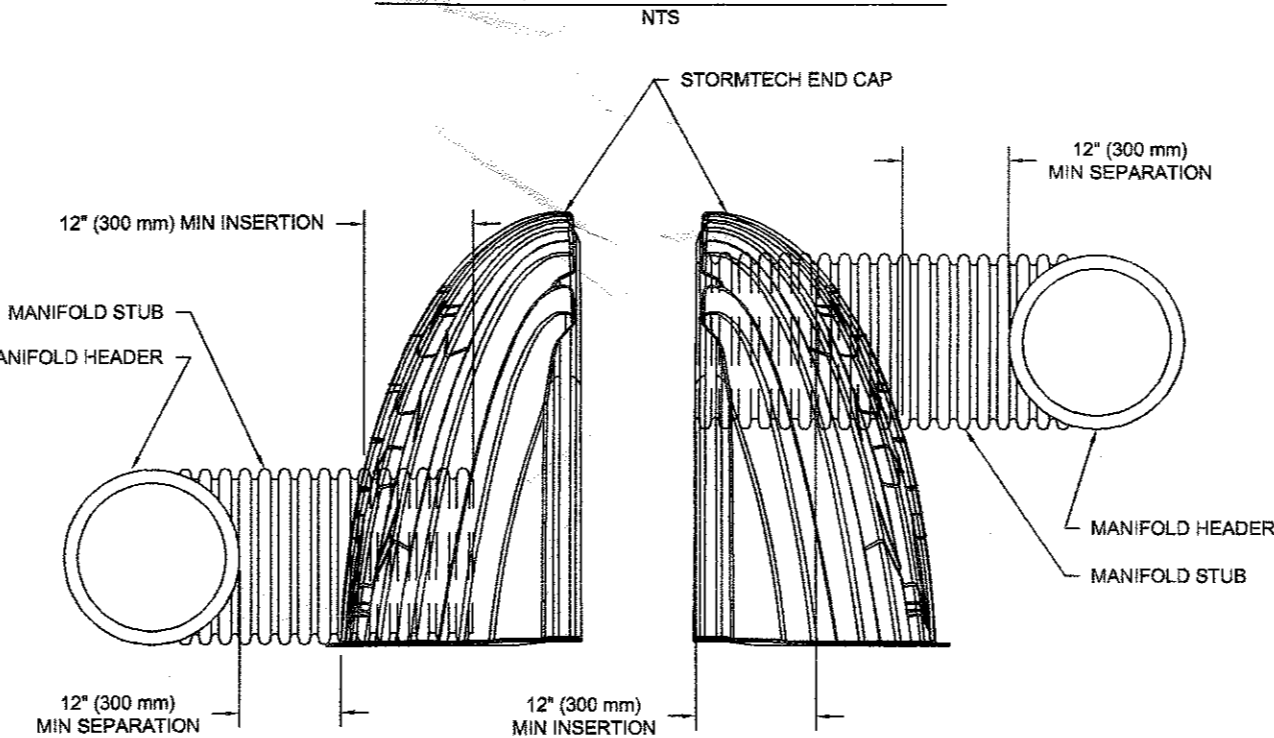
NOTES

- 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION... 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



MC-7200 6" (150 mm) INSPECTION PORT DETAIL

MC-SERIES END CAP INSERTION DETAIL



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

STORMTECH CHAMBER SPECIFICATIONS

- 1. CHAMBERS SHALL BE STORMTECH MC-7200. 2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS. 3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS... 4. THE STRUCTURAL DESIGN OF THE CHAMBERS... 5. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16... 6. CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787... 7. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED... 8. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- 1. STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING... 2. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE"... 3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS... 4. THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS... 5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE... 6. MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS... 7. INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS... 8. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4... 9. STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE... 10. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING... 11. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER... 12. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- 1. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE"... 2. THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED: NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS... NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED... WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE"... 3. FILL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING... USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD... CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

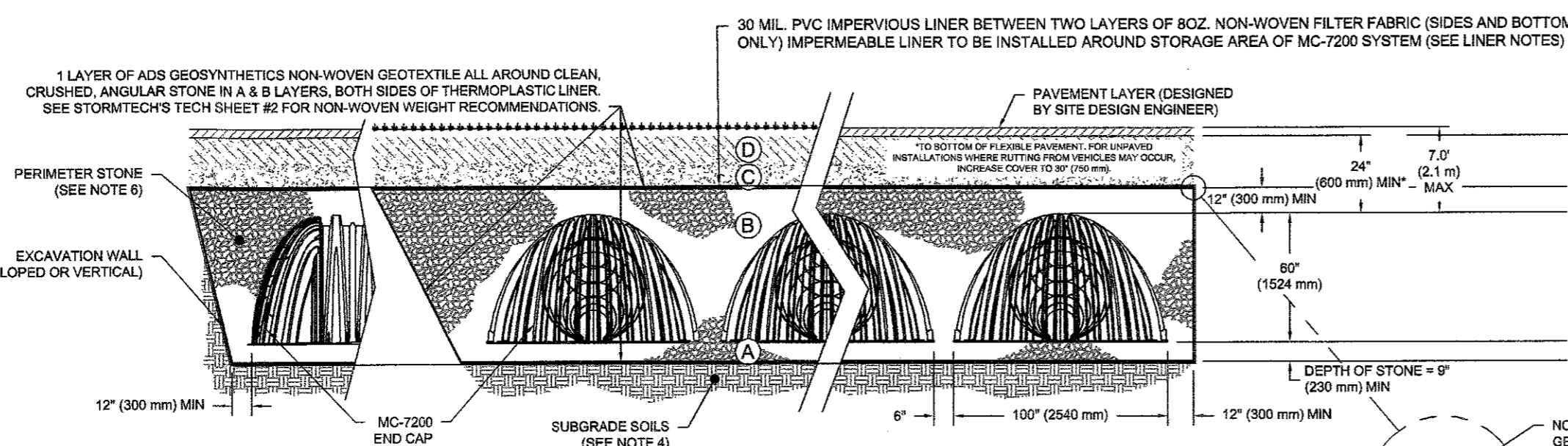
ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

Table with 4 columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, COMPACTION / DENSITY REQUIREMENT.

- PLEASE NOTE: 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY... 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS... 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT.

NOTES:

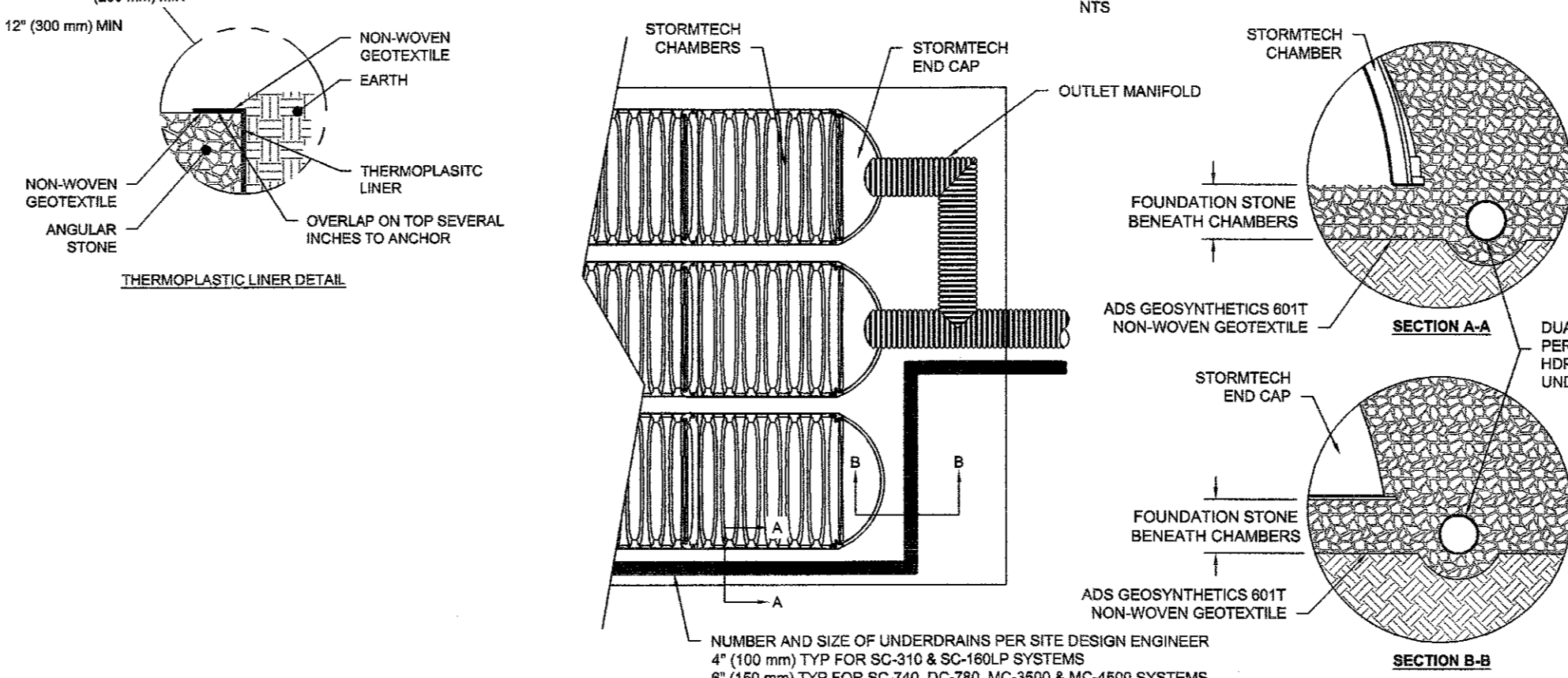
- 1. MC-7200 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418-16... 2. MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787... 3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS... 4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE... 5. ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE... 6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



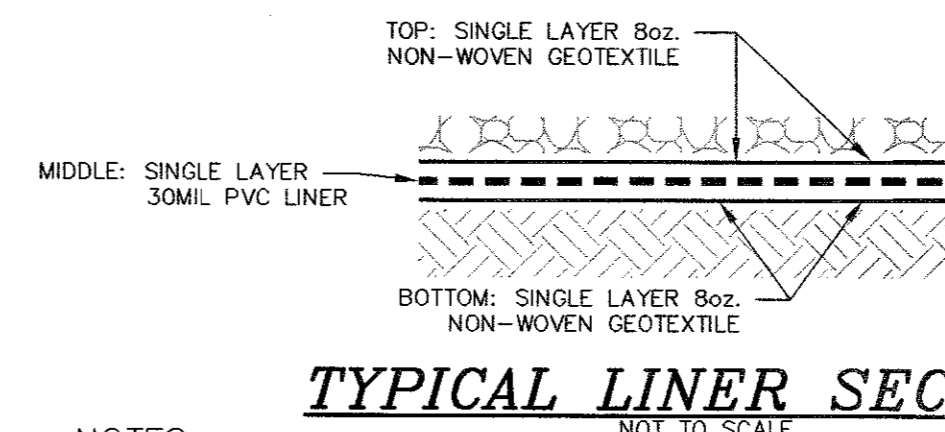
LINER NOTES

STORMTECH RECOMMENDS THE USE OF NON-REINFORCED 30 MIL. POLYVINYL CHLORIDE (PVC) MEMBRANE LINERS FOR THERMOPLASTIC LINER DETENTION SYSTEMS... 30 MIL. PVC IMPERVIABLE LINER BETWEEN TWO LAYERS OF 8 OZ. NON-WOVEN FILTER FABRIC...

UNDERDRAIN DETAIL



TYPICAL LINER SECTION



NOTES:

- 1. PVC LINER SHALL BE 30 MIL THICKNESS MEETING THE REQUIREMENTS OF PGI 1104... 2. GEOTEXTILE SHALL BE 8 OZ./YD NON-WOVEN FABRIC SIMILAR TO MIRAFI 180N OR APPROVED EQUAL... 3. FOLLOW PVC LINER MANUFACTURER RECOMMENDATIONS FOR INSTALLATION... 4. ALL LINER SEAMS SHALL BE PROPERLY SEALED BY APPROPRIATE WELDING TECHNIQUES... 5. REMOVE ALL LARGE STONES PROTRUDING FROM BASIN BOTTOM PRIOR TO PLACING INITIAL LAYER OF GEO-TEXTILE TO PREVENT LINER PUNCTURE.

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