



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJC REALTY, LLC
PROJECT NO.: 2023-11
PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 3.32/ NYS ROUTE 32
REVIEW DATE: 26 MAY 2023
MEETING DATE: 1 JUNE 2023
PROJECT REPRESENTATIVE: LANC & TULLY

1. The project proposes to construct a 10,000 square foot retail building on NYS Route 32 across from Weyants Lane. The parcel is 1.5 +/- acres in size.
2. The front yard setback along state highways is 60 feet. 40 feet is shown in the Bulk Table, 80 feet is provided.
3. The right turn into the site immediately adjacent to the access road should be evaluated by Ken Wersted with regard to proximity to the state highway.
4. The Planning Board will eventually need to declare its intent for Lead Agency upon receipt of a detailed Site Plan.
5. Access to the site is via an existing commercial driveway. The existing access Easement and Maintenance Agreements for this driveway should be submitted for the Planning Board Attorney's review.
6. The building will be required to have fire sprinkler system.
7. Parking in the front is not consistent with design guidelines.
8. The EAF identifies the project in the Town's Chadwick Lake Reservoir Environs Critical Environmental Area. The project site is not located within that area (Copy Attached).
9. Building height is identified as 35 feet. 35 foot high building would require aerial access fire lanes at 26 feet width.
10. There are no finished floor elevations provided. Building height is measured along the front of the building, which fronts on the state highway. This building height may be less than 35 feet. Finished floor elevations for each story should be provided.
11. Improvements on the CBPS Realty, LLC Tax Lot 35-3-21.21 should be depicted on future submissions.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

12. The proximity to the proposed sanitary sewer disposal system and the adjoining well for the self storage facility should be documented.
13. A Stormwater Pollution Prevention Plan will be required to be submitted.
14. The Long Form EAF submitted should be signed by the preparer or applicant.
15. Project is subject to Town Landscaping Requirements and ARB.
16. Actual Field Survey will be required as part of the Site Plan.
17. Tree Preservation Ordinance compliance should be documented.

Respectfully submitted,

MHE Engineering, D.P.C.

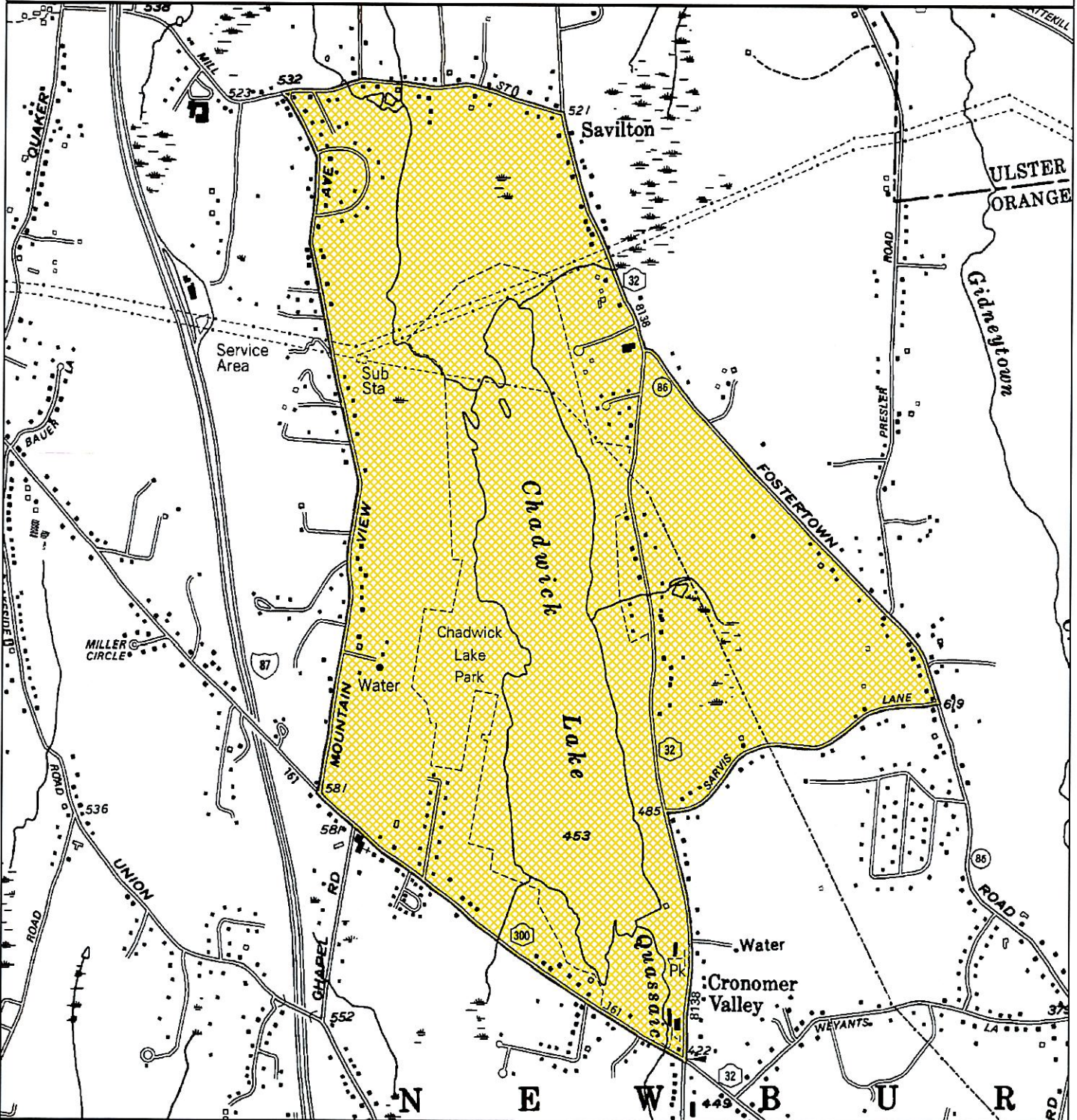
A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive, flowing style.

Patrick J. Hines
Principal
PJH/lm/kbw

Chadwick Lake Reservoir Environs Critical Environmental Area (CEA)

Effective Date of Designation: 5-21-87

Designating Agency: Town of Newburgh



Legend

 Chadwick Lake Reservoir Environs CEA

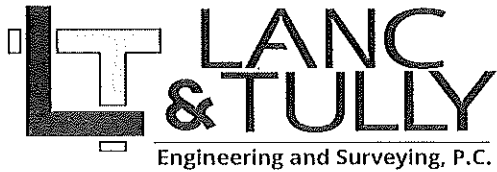


1 inch equals 1,750 feet



Base Map: DOT 1:24,000 Planimetric Images

Disclaimer: This map was prepared by the New York State Department of Environmental Conservation using the most current data available. It is deemed accurate but is not guaranteed. NYS DEC is not responsible for any inaccuracies in the data. Please contact the designating authority for additional information regarding legal boundary descriptions.



May 24, 2023

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

RE: Application for Site Plan
MKJC Realty, LLC
NYS Route 32 – SBL: 35-3-3.22
Town Application # 2023-11

Dear Chairman Ewasutyn,

On behalf of the applicant, MKJC Realty, LLC, enclosed please find Eleven (11) copies of the following materials for review at the June 1, 2023 Planning Board agenda:

- Conceptual Site Plan entitled "MKJC Realty, LLC" dated May 22, 2023 as prepared by LANC and Tully, P.C.
- Completed Application Form, Proxy, Fee Acknowledgement, Planning Board Disclaimer, Disclosure Statement
- Application Checklist
- Completed Short Form EAF
- A check in the amount of \$6,510.00 for application fee
- A check in the amount of \$150.00 for public hearing fee
- A check in the amount of \$5,008.00 for escrow
- A check in the amount of \$250.00 for Short Form SEQRA

The subject property is located along NYS Route 32 about 500 ft southeast from the intersection of NYS Route 32 and NYS Route 300. The property is currently vacant and is 1.58 acres in size located within the B zoning district. The project proposes to construct a 10,000-sf office/retail building. The project proposes to utilize the existing curb cut along NYS Route 32 for ingress and egress to the project site. The plan proposes 77 car parking spaces and associated site improvements to accommodate the commercial use.

If you require any additional information or have any questions, please do not hesitate to contact our office. Our office looks forward to presenting this application at the June 1, 2023 Planning Board agenda.

Sincerely,

LANC & TULLY, P.C.

John Queenan, P.E.

Enc.

CC: Pat Hines, MH&E
Dominic Cordisco, Esq. – Via Email
Ken Wersted.CME – Via Email
Karen Arent – Via Email

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Site Plan for MKJC Realty, LLC

2. Owner of Lands to be reviewed:

Name MKJC Realty, Inc.
Address 208 South Plank Road
Newburgh, NY 12550
Phone 914-213-1337

3. Applicant Information (If different than owner):

Name Same as owner
Address _____

Representative _____
Phone _____
Fax _____
Email _____

4. Subdivision/Site Plan prepared by:

Name Lanc & Tully, P.C., Attn: John Queenan, PE
Address PO Box 687
Goshen, NY 10924
Phone/Fax 845-294-3700 845-294-8609

5. Location of lands to be reviewed:

NYS Route 32

6. Zone B **Fire District** Cronomer
Acres 1.58 **School District** Newburgh

7. Tax Map: Section 35 **Block** 3 **Lot** 3.22

8. Project Description and Purpose of Review:

Number of existing lots _____ Number of proposed lots _____
Lot line change _____
Site plan review Site Plan for 10,000 SF commercial building
Clearing and grading _____
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title U.P.

Date: 5/3/23

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

MATTHEW CONSORTI
APPLICANT'S NAME (printed)


APPLICANTS SIGNATURE

5/3/23
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) MATTHEW CONSORTI DEPOSES AND SAYS THAT HE/SHE
RESIDES AT 208 SOUTH PLANK
IN THE COUNTY OF ORANGE
AND STATE OF N.J.
AND THAT HE/SHE IS THE OWNER IN FEE OF SBL: 35-3-3.22

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Lanc & Tully, P.C. IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 5/3/23


OWNERS SIGNATURE

MATTHEW CONSORTI
OWNERS NAME (printed)


WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

John Queen
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

5/3/23

DATED

MATTHEW CONSORTI

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

TOWN OF NEWBURGH PLANNING BOARD

Site Plan for MKJC Realty, LLC

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. TBP Surveyor,s Certification
12. TBP Surveyor's seal and signature
13. X Name of adjoining owners
14. X Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. X Flood plain boundaries
16. TBP Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. TBP Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. TBP Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. X Show any existing waterways
25. X A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. TBP Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. X If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. TBP Estimated or known cubic yards of material to be excavated and removed from the site
34. TBP Estimated or known cubic yards of fill required
35. TBP The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. X Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. _____ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: _____


Licensed Professional

Date: 5/22/23

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

Short Environmental Assessment Form

Part 1 - Project Information

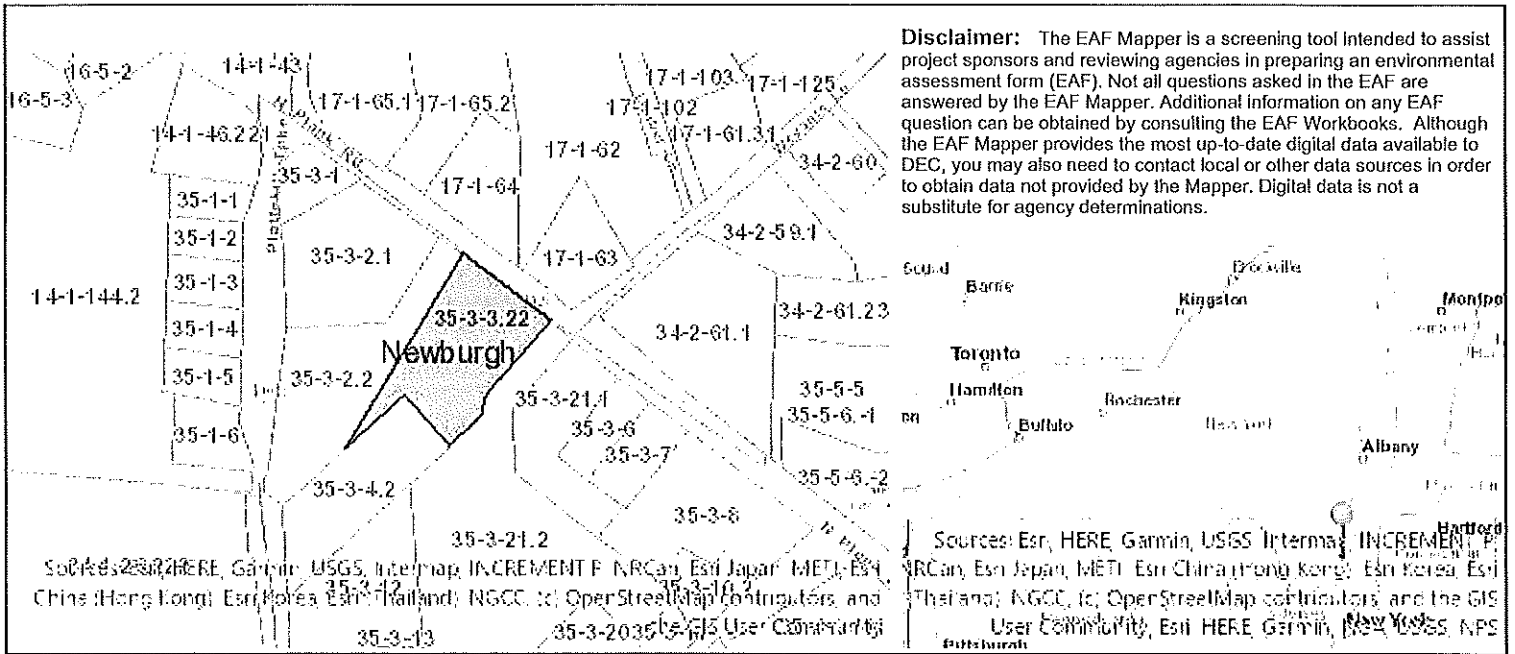
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Site Plan for MKJC Realty, LLC				
Project Location (describe, and attach a location map): Property is located along NYS Route 32 within the Town of Newburgh approx 500 ft southwest of Route 300				
Brief Description of Proposed Action: The proposed project is the development of an existing 1.58 acre parcel into a 10,000 sf commercial office/retail building. The site is within the B zoning district where the uses are permitted and shall contain 77 proposed parking spaces. The site shall obtain access from an existing driveway from NYS Route 32. The site shall be serviced by municipal water and an onsite sewage disposal system.				
Name of Applicant or Sponsor: MKJC Realty, LLC		Telephone: 914-213-1337 E-Mail: Mattconsorti@gmail.com		
Address: 208 South Plank Road				
City/PO: Newburgh		State: NY	Zip Code: 12550	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC-Stormwater SPDES			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.58 acres		
b. Total acreage to be physically disturbed?		1.3 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.58 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Chadwick Lake Reservoir, Reason:Development threat to public health, Agency:Newburgh, Town of, If Yes, identify: <u>Date:5-21-87</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Onsite sewage disposal system	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



- Part 1 / Question 7 [Critical Environmental Area] Yes
- Part 1 / Question 7 [Critical Environmental Area - Identify] Name:Chadwick Lake Reservoir, Reason:Development threat to public health, Agency:Newburgh, Town of, Date:5-21-87
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] No
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No



GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
2. TOTAL AREA: 1.58± ACRES
3. DEED REFERENCE: LIBER 15137 PAGE 1518 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: B - BUSINESS
5. FIRE DISTRICT: CRONOMER VALLEY FD
6. SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
7. WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
8. SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3" IRON RODS.
11. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
13. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
14. ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
15. A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.



LOCATION PLAN

1 INCH = 2000 FEET

SURVEY NOTES:

1. LANC & TULLY, P.C. DOES NOT TAKE ANY RESPONSIBILITY FOR THE REFERENCED BOUNDARY SURVEY AND/OR TOPOGRAPHIC MAPPING AS PROVIDED BY THE PROPERTY OWNER.

CONSTRUCTION NOTES:

1. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
2. THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
4. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
6. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
7. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - B ZONE BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	68,824 SF
LOT WIDTH	100 FT.	232 FT.
LOT DEPTH	125 FT.	301 FT.
FRONT YARD	40 FT.	80 FT.
ONE SIDE YARD/BOTH	15/30 FT.	17/47 FT.
REAR YARD	30 FT.	167 FT.
MAXIMUM ALLOWED PROVIDED		
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%

PARKING REQUIREMENTS

REQUIRED

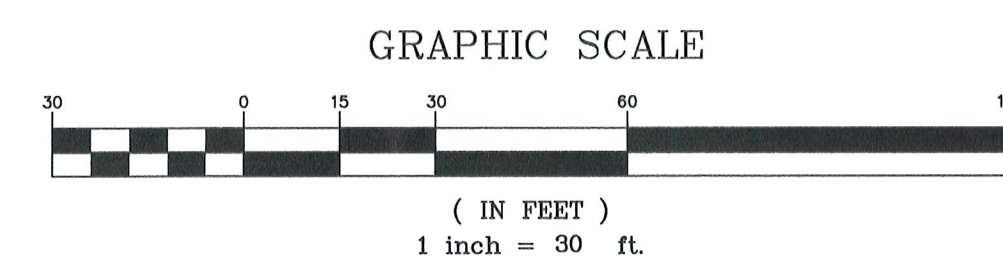
OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
10,020 SF OFFICE / 200 SF = 51 SPACES REQUIRED FOR OFFICE AREA

RETAIL: 1 PARKING SPACE PER 150 SF
10,020 SF RETAIL / 150 SF = 67 SPACES REQUIRED FOR RETAIL AREA 5.

TOTAL = 67 PARKING SPACES REQUIRED MAX CONDITION
TOTAL = 77 PARKING SPACES PROVIDED INCLUDING 4 HANDICAP SPACES

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER



RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 S. PLANK ROAD
NEWBURGH, NY 12550
L. 15137 P. 1318

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<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	Date: MAY 22, 2023
		Revision:
CONCEPTUAL SITE PLAN PREPARED FOR		
MKJC REALTY, LLC		
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JO	Checked By:	Scale: 1" = 30'
		Tax Map No.: 35 - 3 - 3.22
		Drawing No.: B - 21 - 0155 - 01
		Sheet No.: 1 OF 1