



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJ PARK, LLC OFFICE & WAREHOUSE
PROJECT NO.: 22-32
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 29.1
REVIEW DATE: 29 OCTOBER 2024
MEETING DATE: 7 NOVEMBER 2024
PROJECT REPRESENTATIVE: LANC & TULLY, PC /JOHN QUEENAN, P.E.

1. The applicant's representative has identified that they will seek a variance from NYS Fire Code regarding required two points of access.
2. The NYSDEC Wetland Regulations are proposed to change in January 2025. It is unclear what how these changes will impact the project's wetland status.
3. The Planning Board may wish to request EV parking spaces.
4. Compliance with the Tree Preservation Ordinance should be documented for the Protected, Specimen, and Significant trees. Each of the categories should be evaluated for percent removal.
5. Status of the NYSDOT review should be addressed.
6. A SWPPP must be prepared.
7. Any correspondence with the NYSDEC or Army Corps of Engineers for a Wetland Permit or pre-construction notices should be submitted to the Planning Board for completion of their file.
8. The cut and fill analysis identifies a relatively balanced site with 85,587 cubic yards of cut and 82,361 cubic yards of fill.
9. The applicants are requested to confirm that all proposed lighting is Dark Sky compliant.
10. The precast pump station should be reviewed. One day storage is identified at 336 gallons while the gallons per day (gpd) has been identified at 1,140 gpd. Volume should be reviewed, 153 gallons is identified while 278 gallons are depicted in the septic design calculations.
11. Confirmation of the septic design flow should be received. Warehouse employees are identified at 95 on the parking calculations while 35 additional parking spaces are required for the office. Combined office and warehouse employees should be utilized for the sanitary sewer design.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

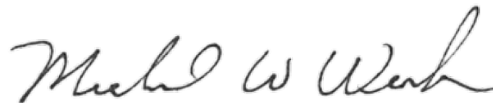
12. Status of Traffic Study and DOT review of access drive and utilities should be updated.
13. A relocated driveway for Mayancela Tax Map Parcels 53 & 52 should be addressed. Easements for this access are required.
14. Stormwater management Area B does not have any closed pipe drainage system discharging to it. This comment should be addressed in the SWPPP when submitted.
15. All on-site retaining walls require building permits.
16. The approval for the wetland mitigation plan must be received from the Army Corps of Engineers.
17. The project will be subject to ARB review through Planning Board. Any signage should be provided during the ARB review. A location of the proposed sign depicted on Sheet 16 of 22 at the entrance drive should be reviewed by the Building Department for compliance with the sign ordinance.
18. Limits of disturbance should be delineated in the field per the Tree Preservation Ordinance with orange construction fence. Detail of the fencing should be added.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

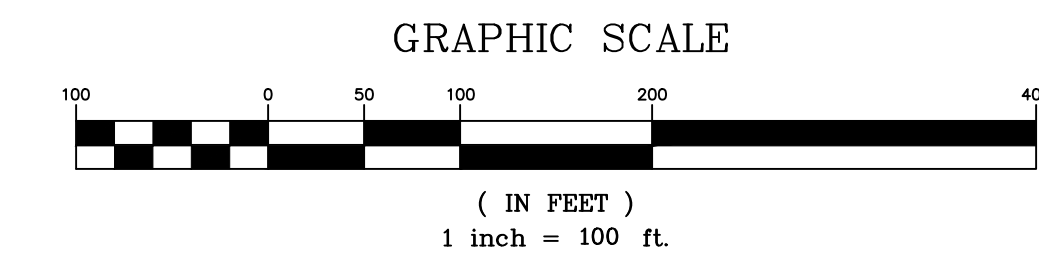
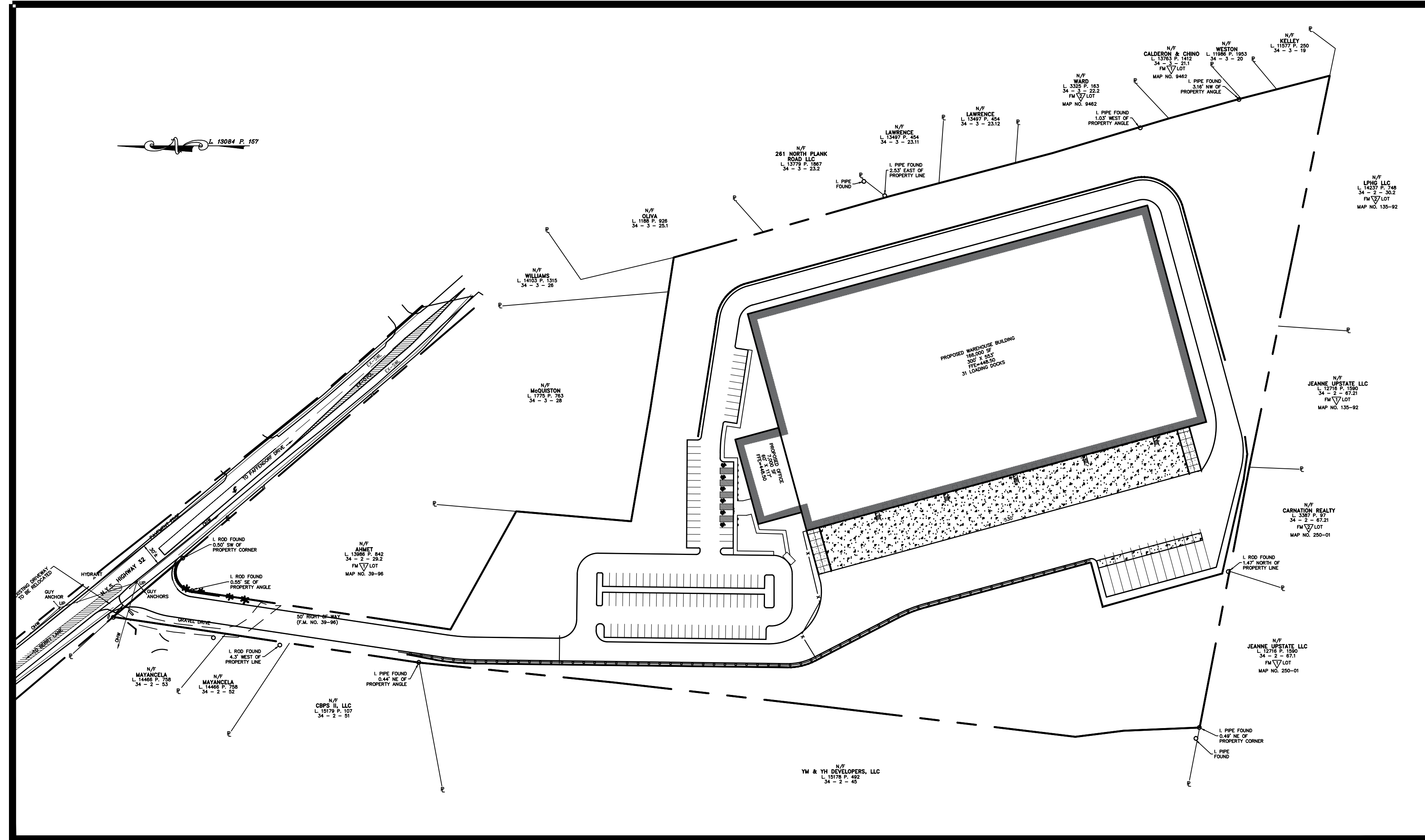


Michael W. Weeks, P.E.
Principal

PJH/kbw/kmm

SITE PLAN FOR MKJ PARK, LLC

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



OVERALL PLAN
1 INCH = 100 FEET

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - IB ZONE		
INTERCHANGE BUSINESS - SITE PLAN USE #9		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	220 FT.
LOT DEPTH	150 FT.	1,007 FT.
FRONT YARD	60 FT.*	109.1 FT.
ONE SIDE YARD/BOTH	30/80 FT.	99.1/329.5 FT.
REAR YARD	60 FT.	68.3 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	40 FT.	40 FT.
BUILDING COVERAGE	40%	26±%
DEVELOPMENT COVERAGE	80%	71±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

LEGEND

	PROPERTY LINE
	SETBACK LINE
	PROPOSED EDGE OF PAVEMENT AND CURB
	PROPOSED CONCRETE
	PROPOSED PARKING STRIPING
	PROPOSED BUILDING
	PROPOSED RETAINING WALL
	PROPOSED FENCE

PARKING REQUIREMENTS

REQUIRED	
OFFICE:	1 PARKING SPACE PER 200 SF UP TO 20,000 GFA THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA 7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA
WAREHOUSE:	2 PARKING SPACES PER 3 EMPLOYEES 95 EMPLOYEES / 3 EMPLOYEE = 32 32 * 2 SPACES = 64 PARKING SPACES REQUIRED FOR WAREHOUSE
TOTAL =	99 PARKING SPACES REQUIRED
TOTAL =	108 PARKING SPACES PROVIDED INCLUDING 6 HANDICAP SPACES WITH 31 LOADING DOCK SPACES AND ADDITIONAL 12 TRAILER STORAGE SPACES

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- SITE TO BE SERVICED BY ONSITE INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 2" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & v REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN, OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.

CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED BY CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS; CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS; CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ALL LIGHTING, CABLE TELEVISION, AND ELECTRIC SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
- THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
- DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYSDOT NOTES:

- ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
 - NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
 - NYSDOT STANDARD SHEETS 609
 - NYSDOT STANDARD SHEETS 608-03
 - NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL



LOCATION PLAN
1 INCH = 1,000 FEET

SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN
- TREE LOCATION AND REMOVAL PLAN
- TREE REMOVAL CHART
- OVERALL GRADING PLAN
- GRADING & UTILITY 1 PLAN
- GRADING & UTILITY 2 PLAN
- CUT AND FILL PLAN
- SEMI-TRUCK TRACKING PLAN
- FIRETRUCK TRACKING PLAN
- LIGHTING 1 PLAN
- LIGHTING 2 PLAN
- LANDSCAPE 1 PLAN
- LANDSCAPE 2 PLAN
- NYSDOT ENTRANCE PLAN
- SEWAGE DISPOSAL SYSTEM PLAN
- WETLAND MITIGATION PLAN AND DETAILS
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2
- CONSTRUCTION DETAILS 3
- CONSTRUCTION DETAILS 4

COPYRIGHT 2023, LANC & TULLY, P.C.

TOWN OF NEWBURGH
SITE PLAN APPROVAL:



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COVER SHEET PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JG Checked By: Scale: AS SHOWN Tax Map No.: 34 - 2 - 29.1 Drawing No.: 1 OF 22

Date:	OCTOBER 28, 2023
Revision:	FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2024
CAD File:	210047-ENG.DWG
Layout:	COVER
Sheet No.:	1 OF 22
Drawing No.:	C30
A-21 - 0047 - 01	

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.141± AC.

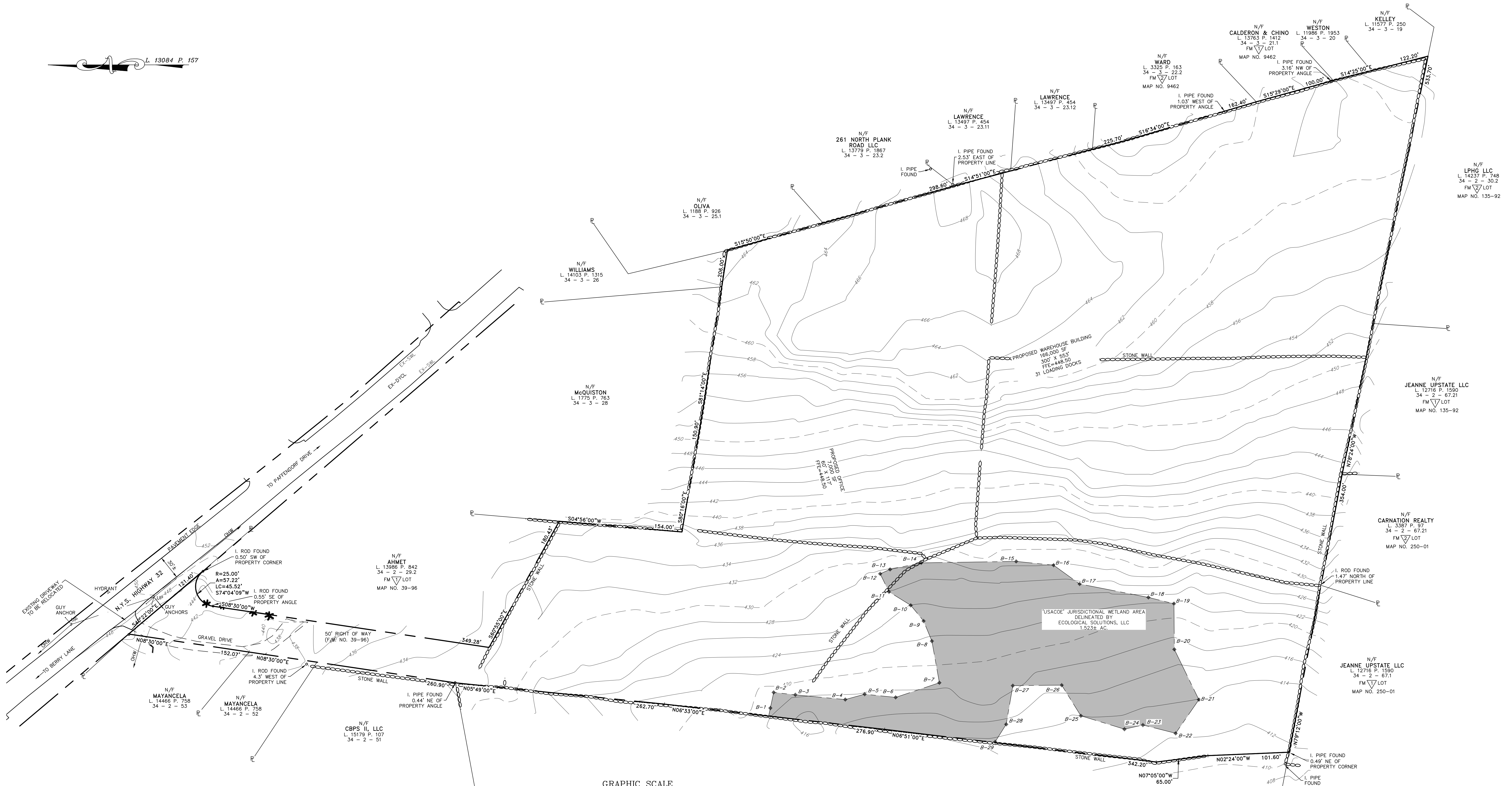
OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

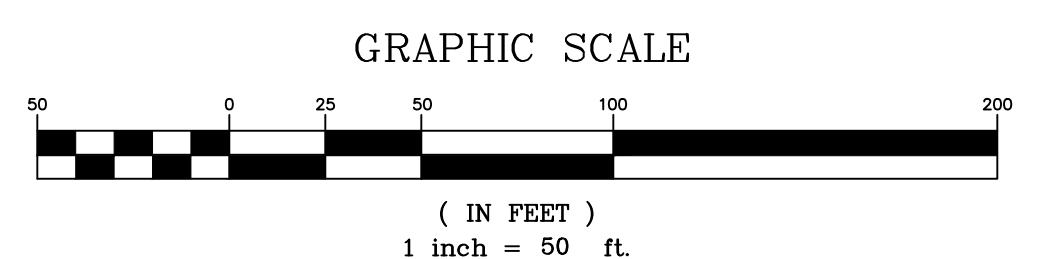
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.
 - MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & v REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.
 - MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.
 - MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.
- THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.



LEGEND

	PROPERTY LINE
	EXISTING STONE WALL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WETLANDS
	EXISTING STONEWALL
	EDGE OF PAVEMENT

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12550
 34 - 2 - 29.1
 L. 15137 P. 1891
 FM ∇ LOT
 MAP NO. 39-96

AREA:
 15,141± AC.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
 ENGINEERING AND SURVEYING, P.C.
 P.O. Box 687, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

DATE: OCTOBER 28, 2023

EXISTING CONDITIONS PREPARED FOR

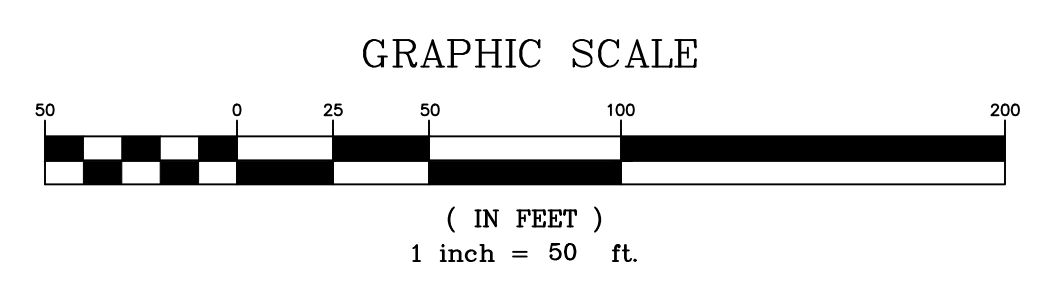
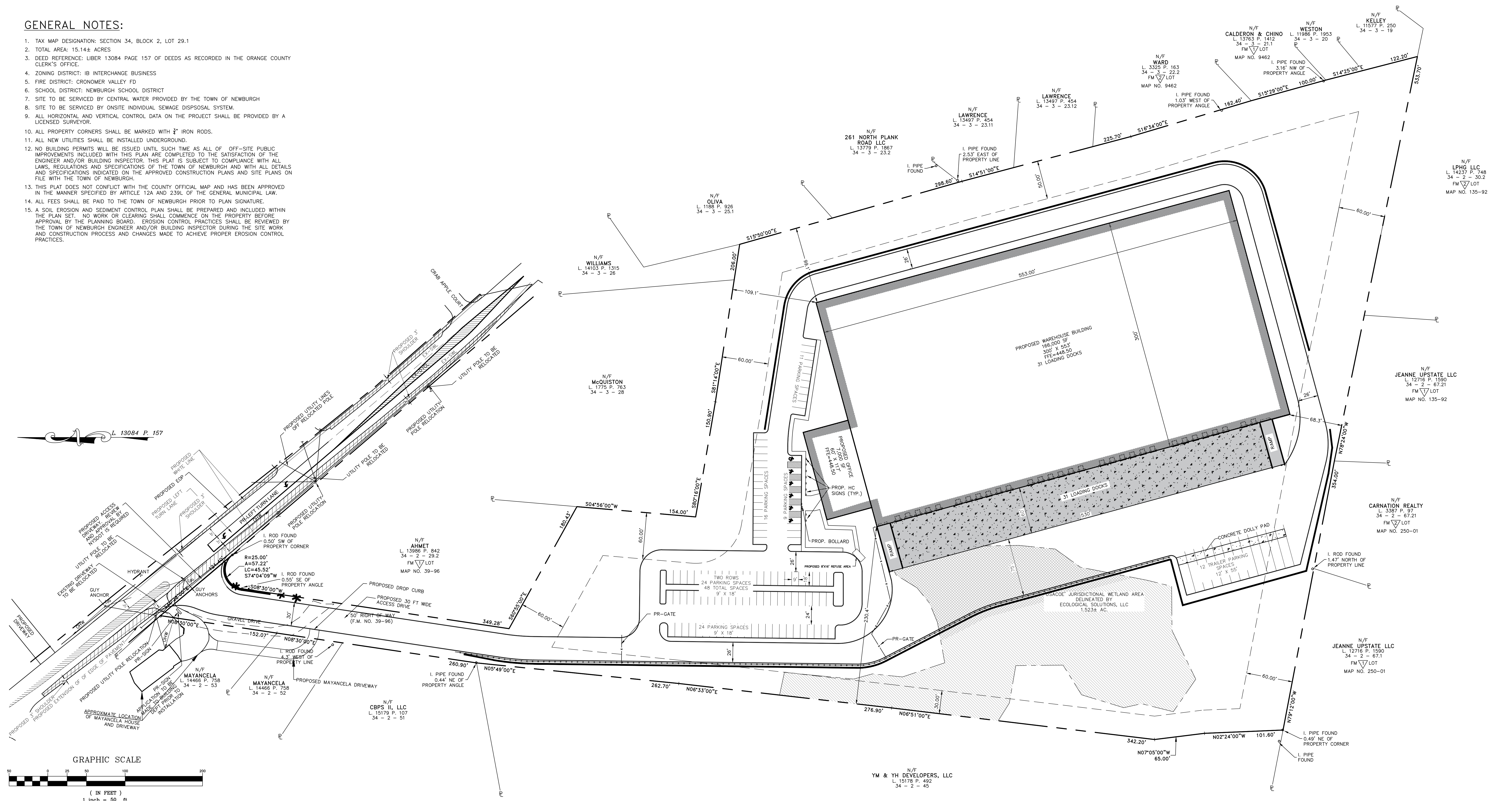
MKJ PARK, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1	Drawing No.: C30
Revision: FEBRUARY 26, 2024, SEPTEMBER 10, 2024, OCTOBER 28, 2024				Sheet No.: 2 OF 22
CAD File: 210047-SV-DWG				Layout: SVY

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- SITE TO BE SERVICED BY ONSITE INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OF OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED EDGE OF PAVEMENT AND CURB
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED CONCRETE
---	PROPOSED PARKING STRIPING
---	PROPOSED BUILDING
---	LANDSCAPE BUFFER
---	PROPOSED RETAINING WALL
---	PROPOSED FENCE
---	PROPOSED SIDEWALK
---	EXISTING WETLANDS
---	PROPOSED DRIVEWAY

TABLE OF ZONING REQUIREMENTS
TOWN OF NEWBURGH - IB ZONE
INTERCHANGE BUSINESS - SITE PLAN USE #9

	MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	30,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	150 FT.	220 FT.
LOT DEPTH	150 FT.	150 FT.	1,007 FT.
FRONT YARD	60 FT.*	60 FT.	109.1 FT.
REAR YARD/BOTH	30/80 FT.	30/80 FT.	99.1/339.5 FT.
REAR YARD	60 FT.	60 FT.	68.3 FT.
MAXIMUM	ALLOWED	PROVIDED	
BUILDING HEIGHT	40 FT.	40 FT.	40 FT.
BUILDING COVERAGE	40%	40%	26±%
DEVELOPMENT COVERAGE	80%	80%	71±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

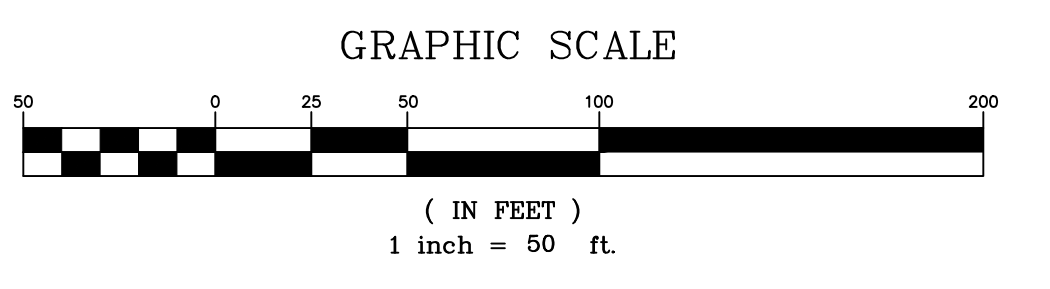
REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 3 EMPLOYEES
166,000 SF / 1750 SF PER EMPLOYEE = 95 EMPLOYEES
95 EMPLOYEES / 3 EMPLOYEE = 32
32 * 2 SPACES = 64 PARKING SPACES REQUIRED FOR WAREHOUSE

TOTAL = 99 PARKING SPACES REQUIRED

TOTAL = 108 PARKING SPACES PROVIDED
INCLUDING 6 HANDICAP SPACES
WITH 31 LOADING DOCK SPACES
AND ADDITIONAL 12 TRAILER STORAGE SPACES



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L. 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.14± AC.

COPYRIGHT 2022, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN
PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1	Drawing No.: A-21 - 0047 - 01
--------------	-------------	-----------------	----------------------------	-------------------------------

DATE: OCTOBER 28, 2023
REVISION: FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2024

CAD File: 210047-ENG.DWG
Layout: SITE PLAN
Sheet No.: 3 OF 22



SURVEY NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

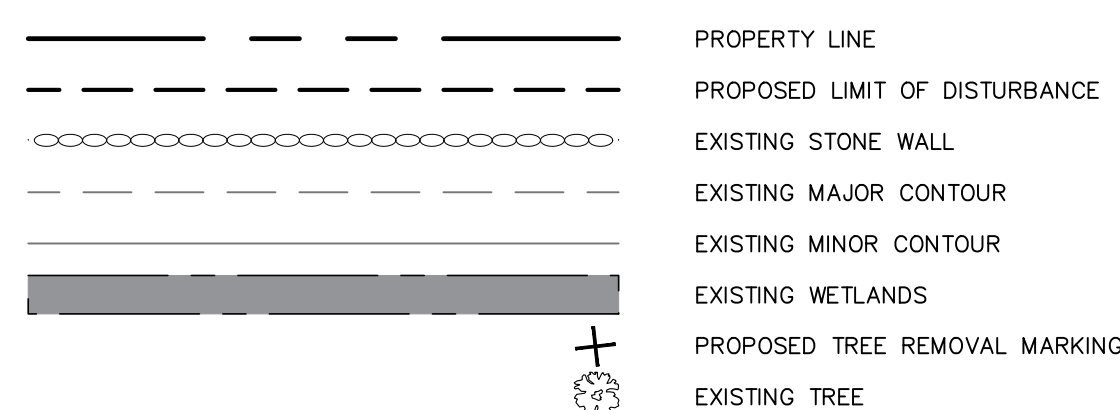
MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & v REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.

4. THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

LEGEND



RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L. 15137 P. 1891

FM ∇ LOT
MAP NO. 39-96

AREA:
15.141± AC.

GRAPHIC SCALE



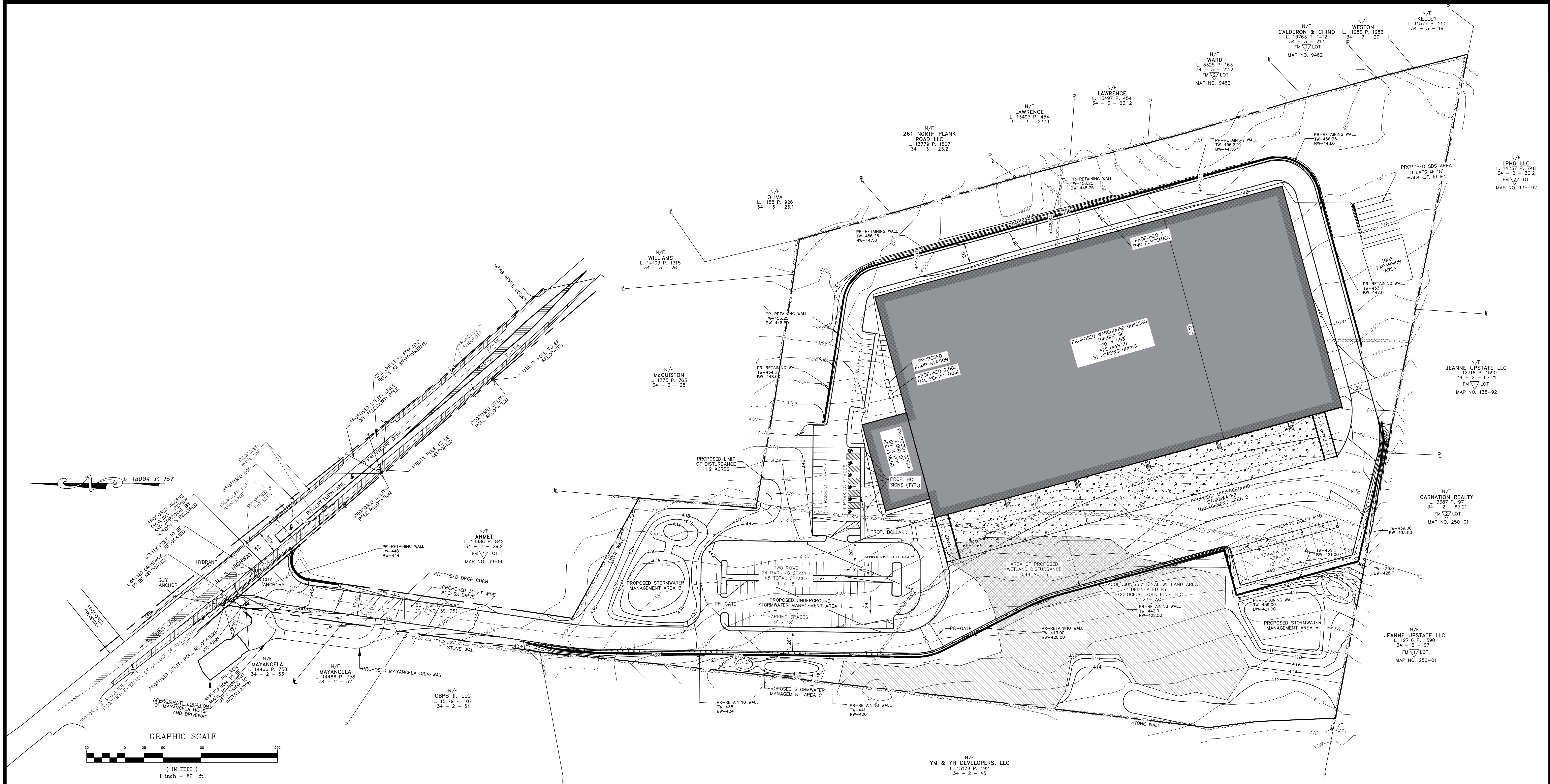
COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	DATE: OCTOBER 28, 2023
		TREE LOCATION AND REMOVAL PLAN PREPARED FOR
MKJ PARK, LLC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2024
		Drawing No.: 030 A-21 - 0047 - 01

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER-CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPPED WITH YELLOW HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-1502N FOR 3/4 AND 1 INCH, MUELLER H-1500N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031N FOR 3/4 AND 1 INCH AND MUELLER H-1030N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

TOWN OF NEWBURGH WATER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER-CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPPED WITH YELLOW HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-1502N FOR 3/4 AND 1 INCH, MUELLER H-1500N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031N FOR 3/4 AND 1 INCH AND MUELLER H-1030N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

Call 811 before you dig

LEGEND

	PROPERTY LINE
	PROPOSED EDGE OF PAVEMENT AND CURB
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED CONCRETE
	PROPOSED PARKING STRIPING
	PROPOSED BUILDING
	LANDSCAPE BUFFER
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED SIDEWALK
	EXISTING WETLANDS
	PROPOSED DRAINAGE
	PROPOSED SEPTIC
	PROPOSED WATERMAIN
	PROPOSED CENTERLINE OF ROAD
	PROPOSED DRIVEWAY

Copyright 2021, LANC & TULLY, P.C.

LANC & TULLY
 ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

OVERALL GRADING PLAN PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34-2-29.1
Date: OCTOBER 28, 2023	Revision: FEBRUARY 26, 2024, SEPTEMBER 10, 2024, OCTOBER 28, 2024	CD: 210047-ENG.DWG	Sheet No.: 6 OF 22
Layout: GRADING	Project No.: 210047	Drawn No.: C30	Revision: A-21-0047-01

OLIVA
L. 1188 P. 926
34 - 3 - 25.1

N/F
WILLIAMS
L. 14103 P. 1315
34 - 3 - 26

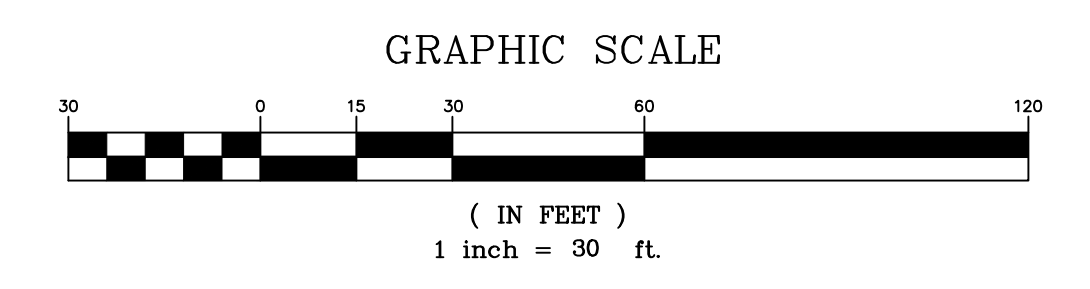
N/F
McQUISTON
L. 1775 P. 763
34 - 3 - 28

N/F
AHMET
L. 13986 P. 842
34 - 2 - 29.2
FM LOT
MAP NO. 39-96

N/F
MAYANCELA
L. 14466 P. 758
34 - 2 - 53

N/F
MAYANCELA
L. 14466 P. 758
34 - 2 - 52

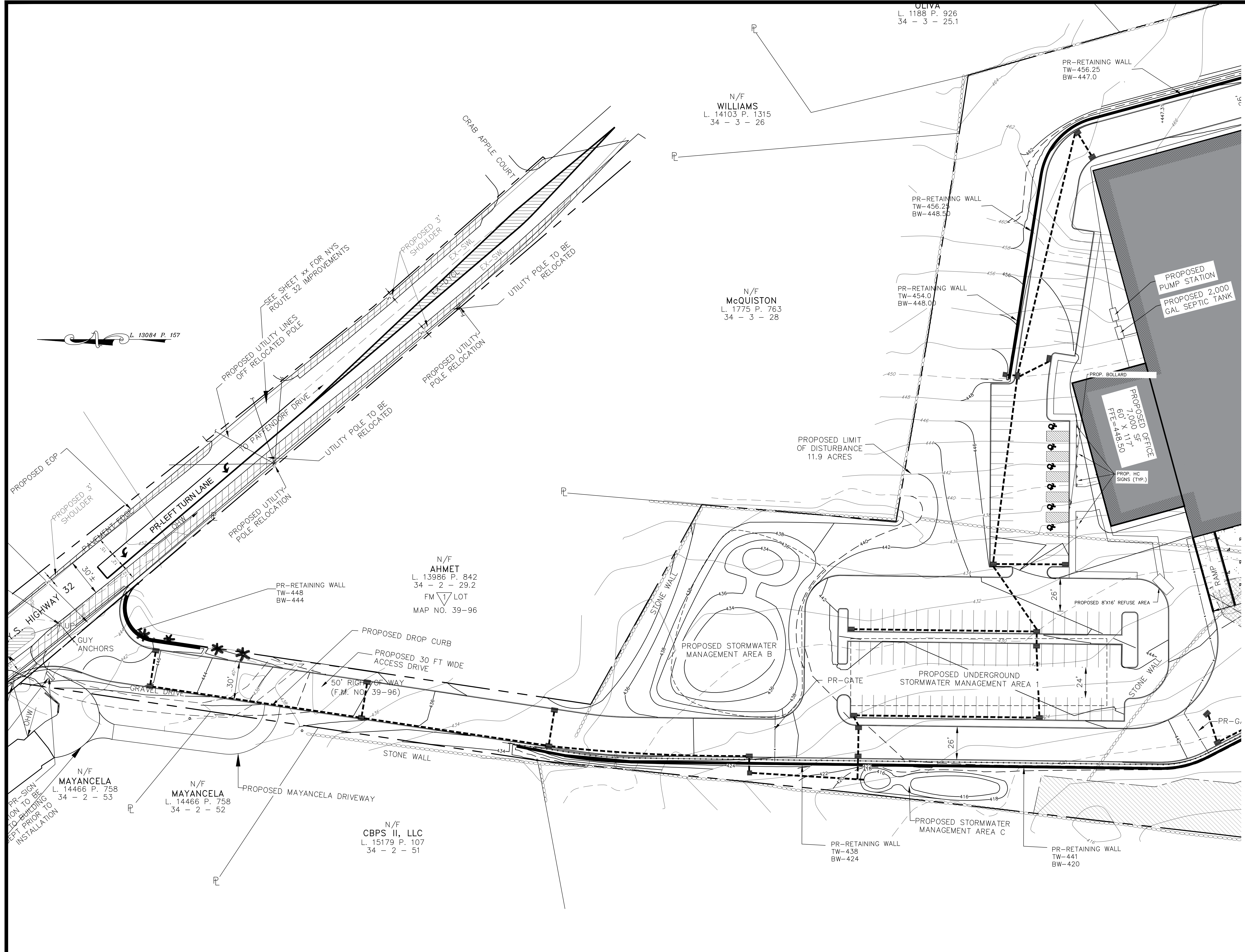
N/F
CBPS II, LLC
L. 15179 P. 107
34 - 2 - 51



LEGEND

---	PROPERTY LINE
- - - - -	PROPOSED EDGE OF PAVEMENT AND CURB
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED CONCRETE
---	PROPOSED PARKING STRIPING
---	PROPOSED BUILDING
---	LANDSCAPE BUFFER
---	PROPOSED RETAINING WALL
X X	PROPOSED FENCE
---	PROPOSED SIDEWALK
---	EXISTING WETLANDS
---	PROPOSED DRAINAGE
---	PROPOSED SEPTIC
---	PROPOSED WATERMAIN
---	PROPOSED DRIVEWAY

- NOTES:**
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
 - THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF MONROE BUILDING DEPARTMENT.
 - A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
 - NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
 - MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
 - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED UTILITY LOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
 - STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
 - WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
 - TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
 - THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
 - THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO CONSTRUCTION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNER'S WORK INAPPROPRIATE OR INEFFECTIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
 - LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
 - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
 - THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING AND UTILITY 1
PLAN PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By:	LJM	Checked By:	JQ	Scale:	1" = 30'	Tax Map No.:	34 - 2 - 29.1	Revision:	OCTOBER 28, 2023
Layout:	GRADING	Sheet No.:	7 OF 22	Revision:	FEBRUARY 26, 2024	Revision:	SEPTEMBER 10, 2024	Revision:	OCTOBER 28, 2024
Drawn By:	LJM	Checked By:	JQ	Scale:	1" = 30'	Tax Map No.:	34 - 2 - 29.1	Revision:	OCTOBER 28, 2023
Layout:	GRADING	Sheet No.:	7 OF 22	Revision:	FEBRUARY 26, 2024	Revision:	SEPTEMBER 10, 2024	Revision:	OCTOBER 28, 2024

NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF MONROE BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRIC SERVICES PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST FITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST FIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREON, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

N/F
261 NORTH PLANK
ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.11

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.12

N/F
LPHG LLC
L. 14237 P. 748
34 - 2 - 30.2
FM 1/4 LOT
MAP NO. 135-92

N/F
JEANNE UPSTATE LLC
L. 12716 P. 1590
34 - 2 - 67.21
FM 1/4 LOT
MAP NO. 135-92

N/F
CARNATION REALTY
L. 3387 P. 97
34 - 2 - 67.21
FM 1/4 LOT
MAP NO. 250-01

N/F
JEANNE UPSTATE LLC
L. 12716 P. 1590
34 - 2 - 67.1
FM 1/4 LOT
MAP NO. 250-01

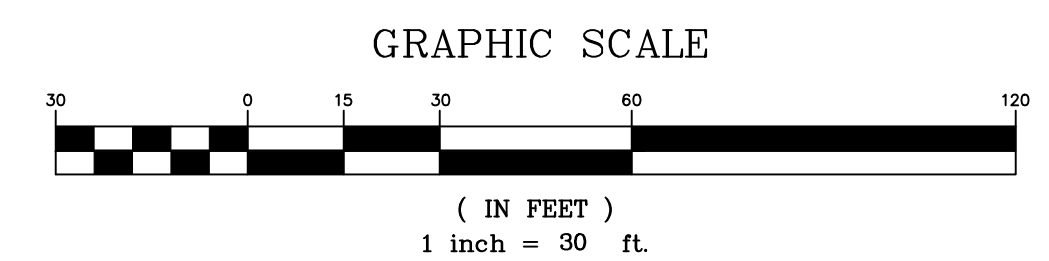
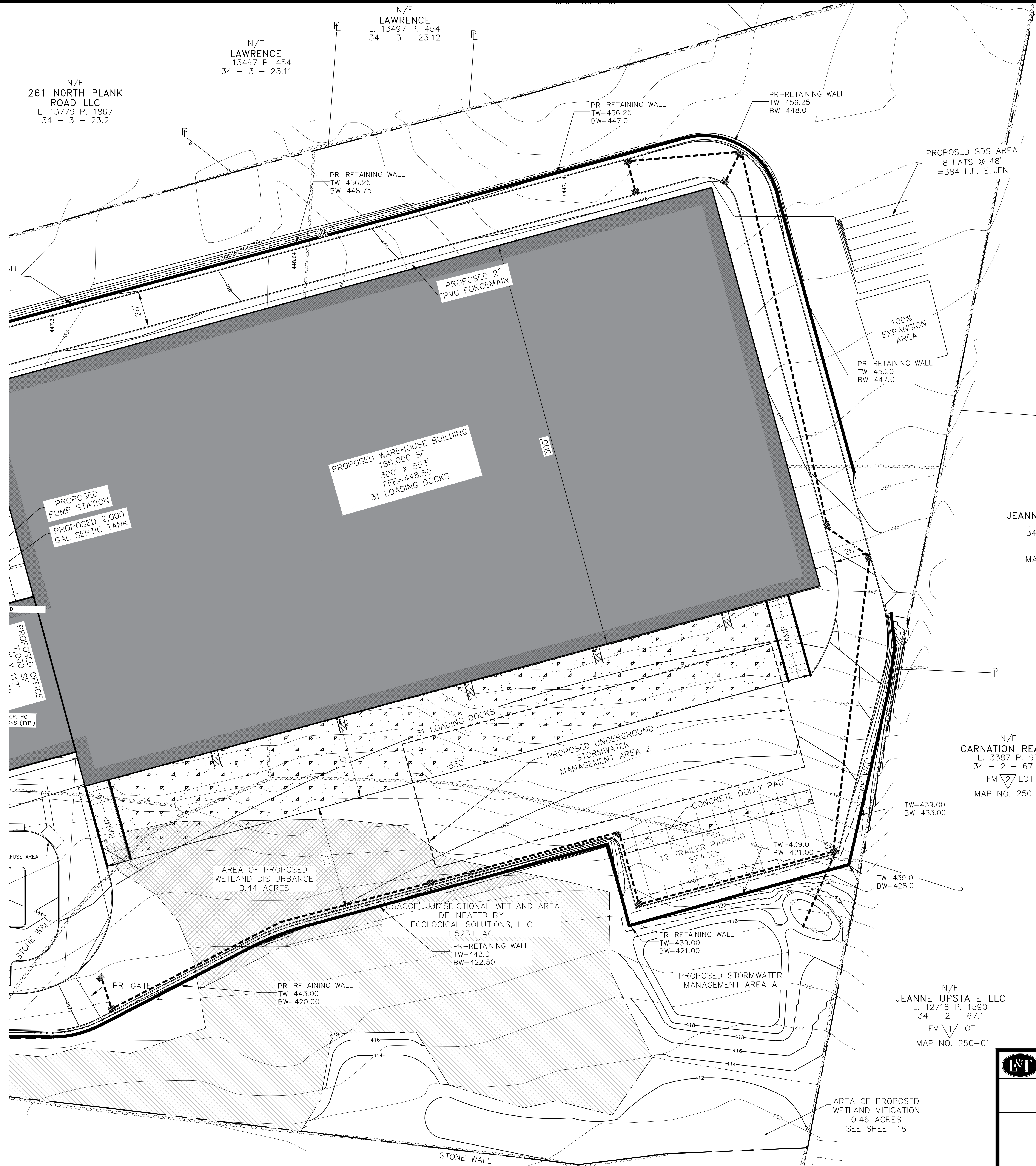
LEGEND

- PROPERTY LINE
- - - PROPOSED EDGE OF PAVEMENT AND CURB
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED CONCRETE
- PROPOSED PARKING STRIPING
- PROPOSED BUILDING
- LANDSCAPE BUFFER
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED SIDEWALK
- EXISTING WETLANDS
- PROPOSED DRAINAGE
- PROPOSED SEPTIC
- PROPOSED WATERMAIN
- PROPOSED DRIVEWAY
- WETLAND MITIGATION

L. 13084 P. 157

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



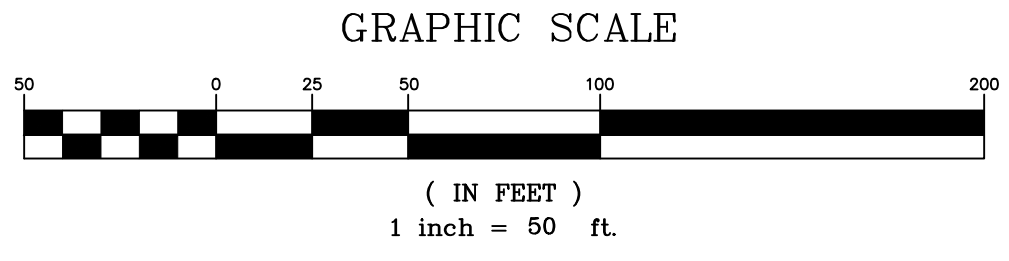
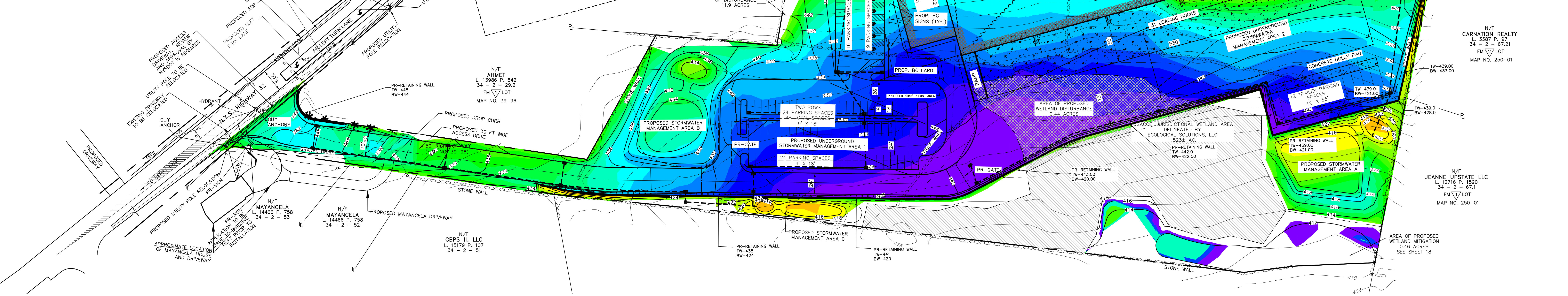
COPYRIGHT 2021, LANC & TULLY, P.C.

<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	DATE: OCTOBER 28, 2023
		<p>Revisions: FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2024</p>
<p>GRADING AND UTILITY 2 PLAN PREPARED FOR</p>		<p>CD: JLM LAYOUT: GRADING SHEET NO.: 8 OF 22</p>
<p>MKJ PARK, LLC</p> <p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		<p>Drawn By: JLM Checked By: JQ Scale: 1" = 30' Tax Map No.: 34 - 2 - 29.1 Drawing No.: A-21 - 0047 - 01</p>

NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF MONROE BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED BY CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST EDITION).
- THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS, AND/OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

L 13084 P. 157



LEGEND

- PROPERTY LINE
- PROPOSED EDGE OF PAVEMENT AND CURB
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED CONCRETE
- PROPOSED PARKING STRIPING
- PROPOSED BUILDING
- PROPOSED DRAINAGE
- PROPOSED SEPTIC
- PROPOSED RETAINING WALL
- PROPOSED WATERMAIN
- PROPOSED FENCE
- EXISTING WETLANDS
- WETLAND MITIGATION

CUT / FILL ANALYSIS TABLE				
RANGE	COLOR	RANGE DEPTH NEGATIVE=CUT POSITIVE= FILL	RANGE 2D AREA	RANGE VOLUME
1	Red	-3.5' TO -3.3'	130.51 SF	0.5 CY
2	Orange	-3.3' TO -3.0'	149.22 SF	2.3 CY
3	Yellow	-3.0' TO -2.0'	249.63 SF	15.8 CY
4	Light Green	-2.0' TO -1.4'	435.14 SF	14.2 CY
5	Green	-1.4' TO -1.2'	133.08 SF	7.7 CY
6	Dark Green	-1.2' TO -0.8'	450.92 SF	19.2 CY

CUT / FILL ANALYSIS TABLE				
RANGE	COLOR	RANGE DEPTH NEGATIVE=CUT POSITIVE= FILL	RANGE 2D AREA	RANGE VOLUME
1	Red	-418.0' TO -18.3'	25,003.65 SF	720.6 CY
2	Orange	-18.3' TO -15.2'	40,250.24 SF	5,373.6 CY
3	Yellow	-15.2' TO -12.2'	35,574.64 SF	8,988.3 CY
4	Light Green	-12.2' TO -8.4'	30,497.02 SF	16,410.7 CY
5	Green	-8.4' TO -5.2'	29,219.67 SF	17,229.5 CY
6	Dark Green	-5.2' TO -2.6'	27,178.80 SF	16,729.3 CY
7	Light Blue	-2.6' TO -0.9'	21,990.53 SF	12,500.3 CY
8	Blue	-0.9' TO 0.0'	13,880.06 SF	7,208.0 CY
9	Light Purple	0.0' TO 0.5'	11,244.82 SF	4,551.8 CY
10	Purple	0.5' TO 1.1'	12,909.45 SF	5,190.9 CY
11	Dark Purple	1.1' TO 2.1'	18,268.58 SF	8,071.0 CY
12	Black	2.1' TO 3.2'	20,849.36 SF	8,105.4 CY
13	Dark Blue	3.2' TO 4.6'	23,101.46 SF	9,128.4 CY
14	Blue	4.6' TO 6.5'	23,287.61 SF	10,746.4 CY
15	Light Blue	6.5' TO 9.4'	31,671.14 SF	13,581.8 CY
16	Light Green	9.4' TO 12.0'	24,350.45 SF	9,404.9 CY
17	Green	12.0' TO 13.6'	17,014.83 SF	4,579.9 CY
18	Dark Green	13.6' TO 16.3'	27,538.99 SF	5,440.7 CY
19	Light Blue	16.3' TO 18.3'	20,029.41 SF	2,315.8 CY
20	Blue	18.3' TO 23.6'	21,078.01 SF	1,232.6 CY

Cut/Fill Summary				
Name	Cut Factor	Fill Factor	2d Area	Net
RETAINING WALL	1.00	1.00	470.00 SQ. FT.	0.00
WETLAND CUT	1.00	1.00	1631.21 SQ. FT.	1631.21 SQ. FT.
Totals			49159.94 SQ. FT.	8260.80 CU. YD.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

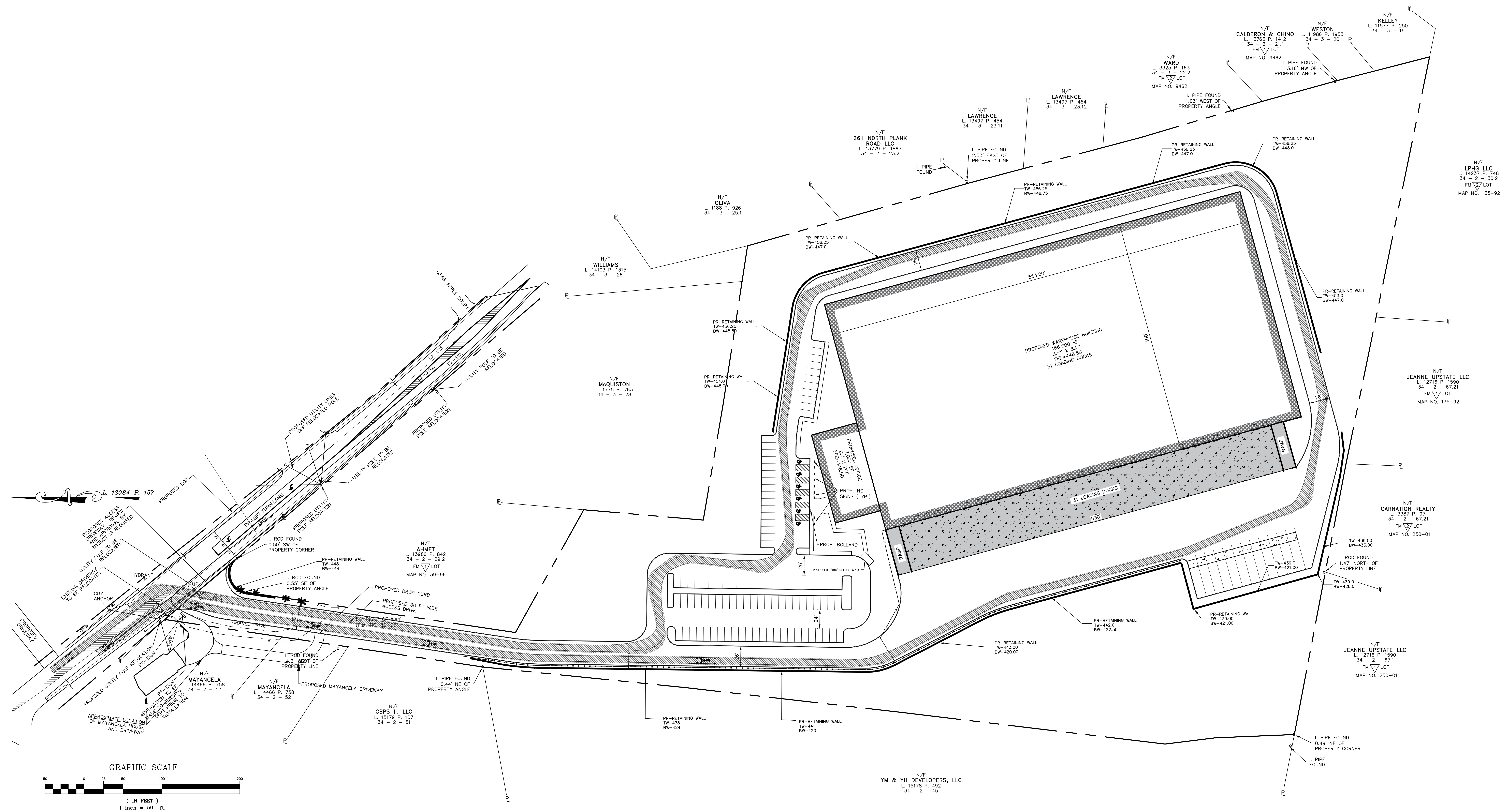
**CUT AND FILL PLAN
PREPARED FOR**

MKJ PARK, LLC

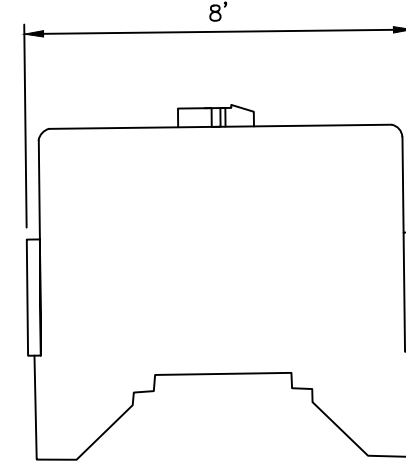
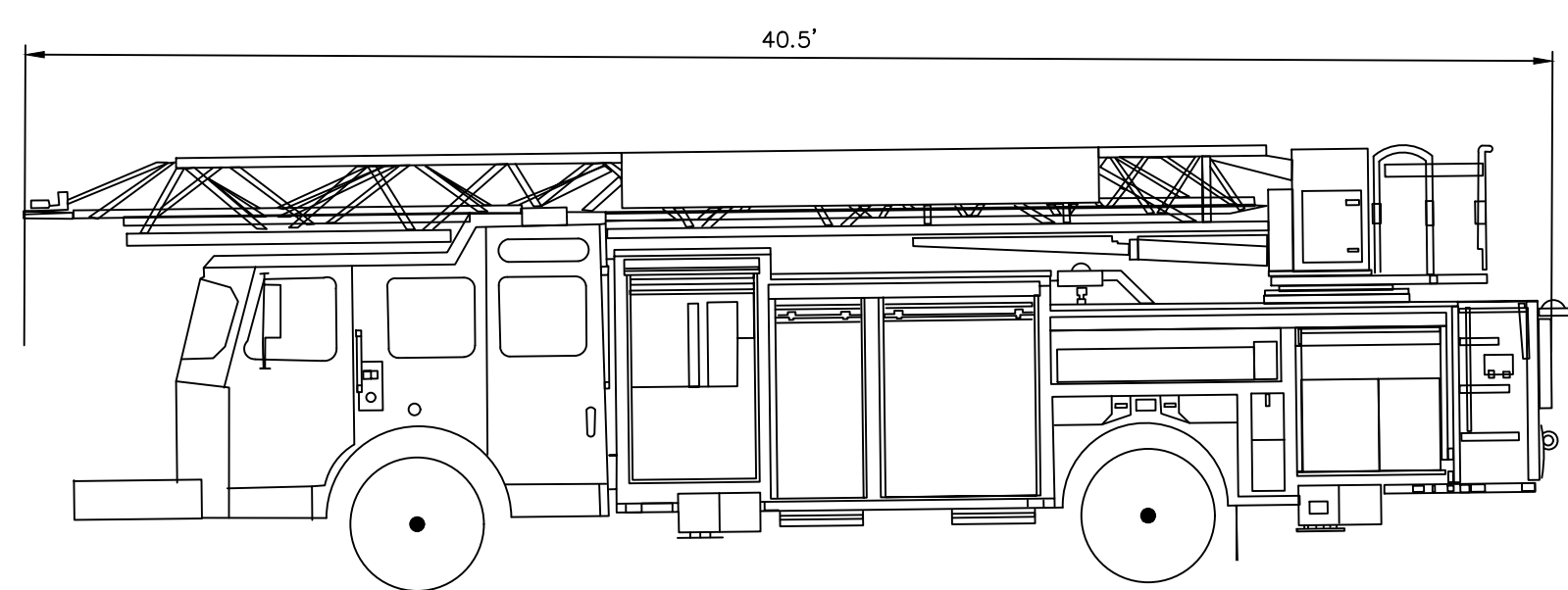
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: LJM
Checked By: JQ
Scale: 1" = 50'
Tax Map No.: 34-2-29.1

Date: OCTOBER 28, 2023
Revision: FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2024
CADD File: 210047-ENG.DWG
Layout: CUT-FILL
Sheet No.: 9 OF 22
Drawing No.: A-21-0047-01



FIRE-TRUCK TEMPLATE



PROFILE VIEW

BACK VIEW

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L. 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.14± AC.

COPYRIGHT 2022, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

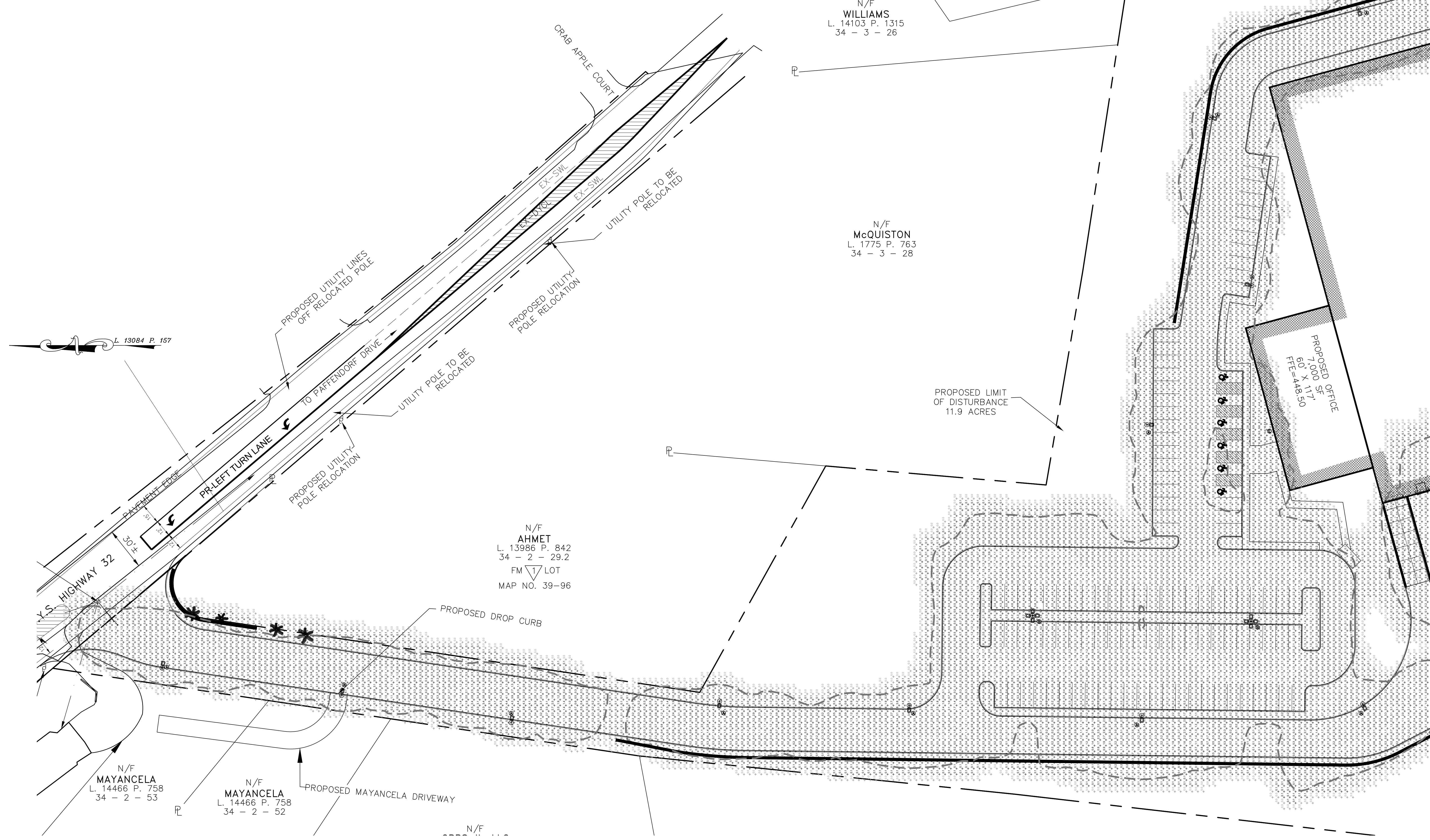
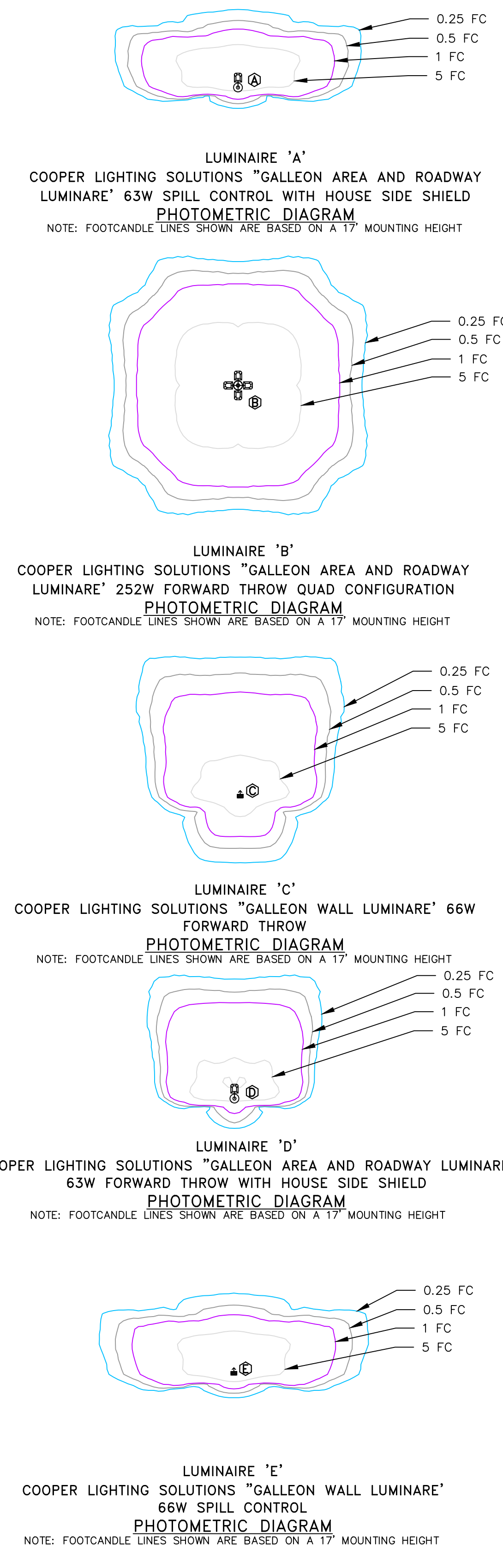
FIRE TRUCK VEHICLE TRACKING
PLAN PREPARED FOR

MKJ PARK, LLC

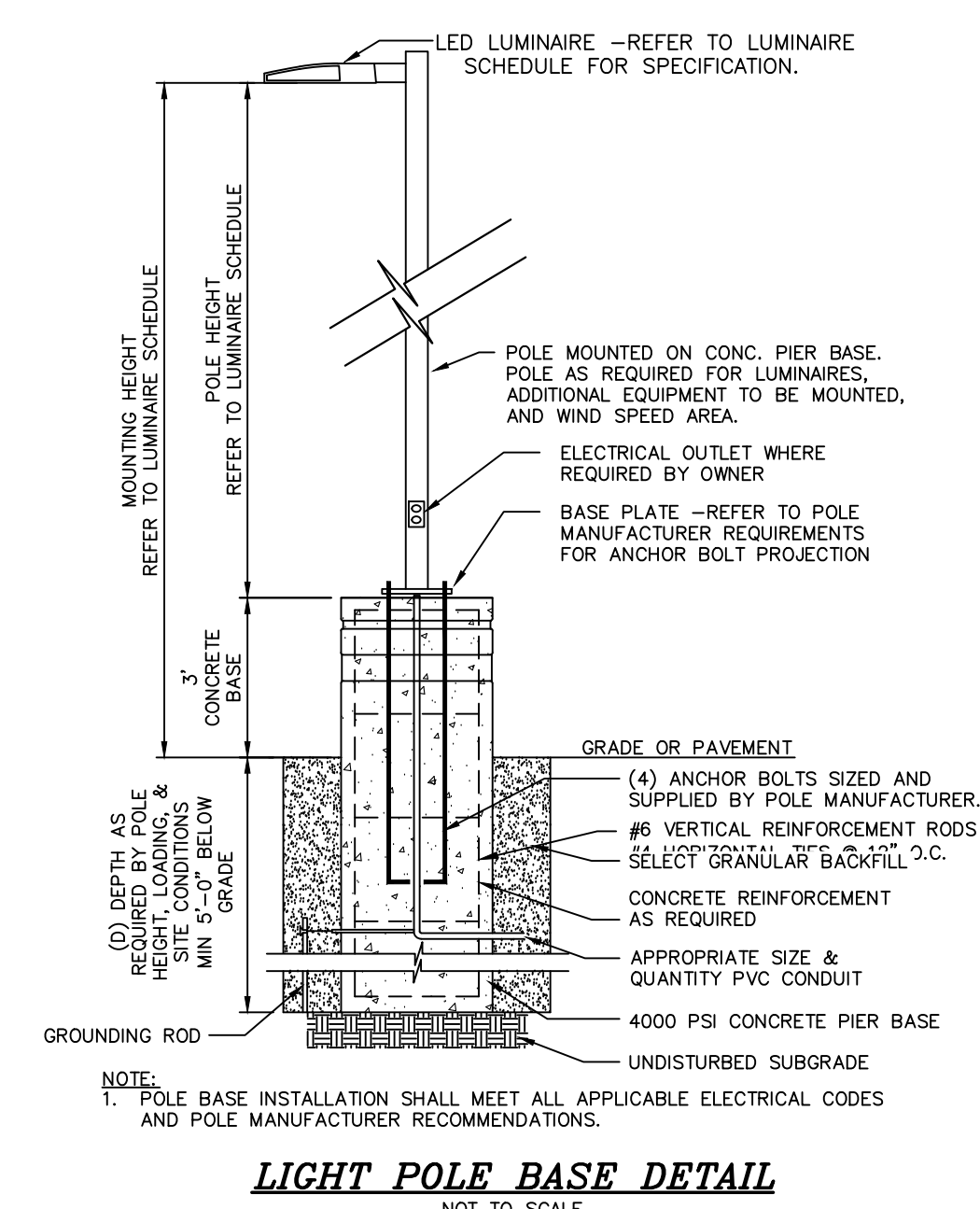
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: LJM	Checked By: JQ	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1
---------------	----------------	-----------------	----------------------------

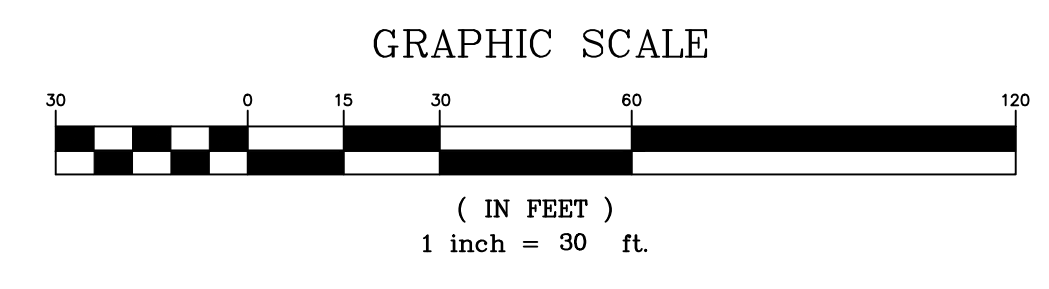
Date:	OCTOBER 28, 2023
Revision:	FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2024
CAD File:	210047-ENG.DWG
Layout:	SITE PLAN
Sheet No.:	11 OF 22
Drawing No.:	C30
	A-21 - 0047 - 01



- NOTE:**
- NO SUBSTITUTIONS OF THE SITE LUMINAIRES SHOWN ON THIS LIGHTING PLAN SHALL BE PERMITTED WITHOUT REVIEW AND AUTHORIZATION FROM BOTH THE DESIGN ENGINEER AND PLANNING BOARD TO VERIFY CONFORMANCE WITH THE DESIGN INTENT.
 - REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER.
 - POLES TBD AS REQUIRED BY LUMINAIRE MANUFACTURER
 - NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
 - FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
 - ACTUAL LUMINAIRES TO BE INSTALLED SHALL BE CONFIRMED WITH THE OWNER AND ARCHITECT AT THE TIME OF CONSTRUCTION. NO LIGHTING PLAN RECALCULATIONS ARE REQUIRED FOR BUILDING MOUNTED ARCHITECTURAL LUMINAIRES.
 - CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAIN AT GROUND LEVEL. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
 - LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.
 - CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO ORDERING LUMINAIRES TO DETERMINE IF PHOTOCELL LIGHTING CONTROL IS DESIRED. AT A MINIMUM A TIMECLOCK SYSTEM SHALL BE UTILIZED FOR LIGHTING CONTROL. ADDITIONAL PHOTOCELL LIGHTING CONTROL IS RECOMMENDED TO ENSURE LUMINAIRES ARE ONLY ILLUMINATED AS AMBIENT LIGHT CONDITIONS WARRANT.
 - BUILDING MOUNTED LUMINAIRES HAVE NOT BEEN ACCOUNTED IN THE LIGHTING CALCULATIONS.



LUMINAIRE SCHEDULE							
SYMBOL	QTY	DESCRIPTION	CATALOG NO.	MOUNTING HEIGHT	LAMP	LUMENS	COLOR TEMP.
A	0 EXISTING 18 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE"-63W SPILL CONTROL WITH HOUSE SIDE SHIELD POLE MOUNTED	GALN-SA2A-730-U-SL2-HSS	17'	LED ARRAY	6,855±	3000K (WARM)
B	0 EXISTING 2 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE"-252W FORWARD THROW QUAD CONFIGURATION WITH HOUSE SIDE SHIELD POLE MOUNTED	GALN-SA2A-730-U-T4FT-HSS	17'	LED ARRAY	6,031±	3000K (WARM)
C	0 EXISTING 5 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE"-66W FORWARD THROW WALL MOUNTED	OWC-SA2A-730-U-T4FT	17'	LED ARRAY	6,125±	3000K (WARM)
D	0 EXISTING 6 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE"-63W FORWARD THROW WITH HOUSE SIDE SHIELD POLE MOUNTED	GALN-SA2A-730-U-T4FT-HSS	17'	LED ARRAY	6,031±	3000K (WARM)
E	0 EXISTING 1 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE"-66W SPILL CONTROL WALL MOUNTED	OWC-SA2A-730-U-SL2-HSS	17'	LED ARRAY	6,336±	3000K (WARM)



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 28, 2023

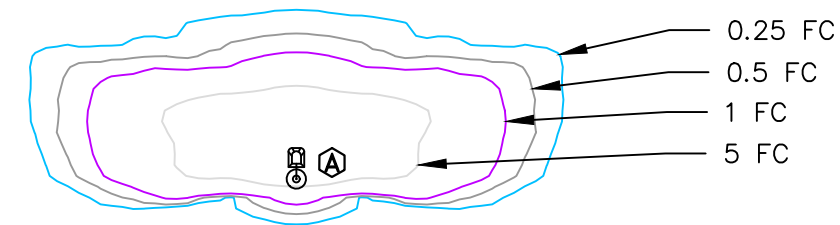
Revision:
FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2024

LIGHTING 1 PLAN PREPARED FOR

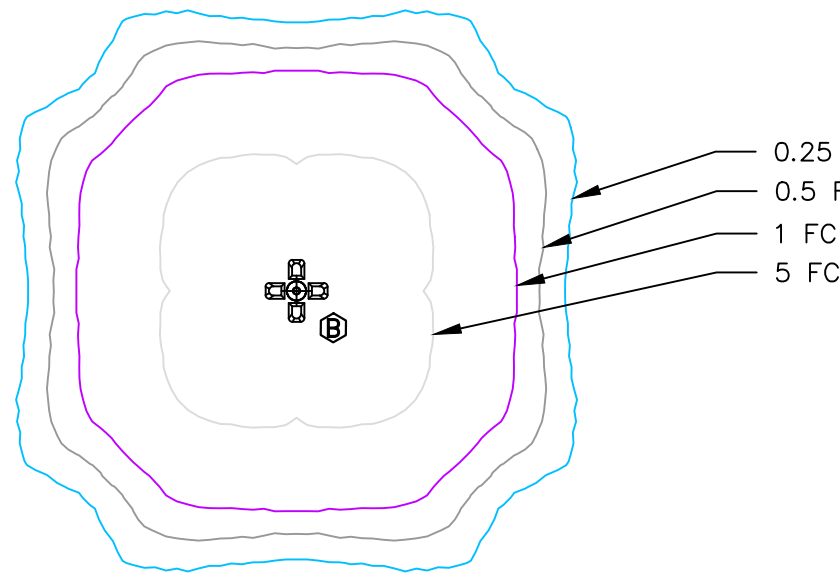
MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

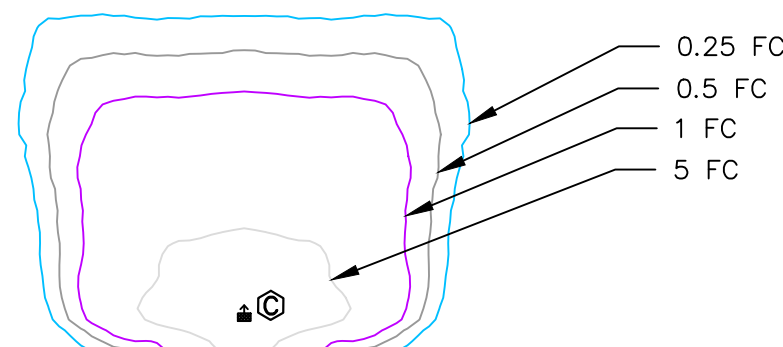
Drawn By: LJM
Checked By: JQ
Scale: 1" = 30'
Tax Map No.: 34 - 2 - 29.1
Drawing No.: A-21 - 0047 - 01



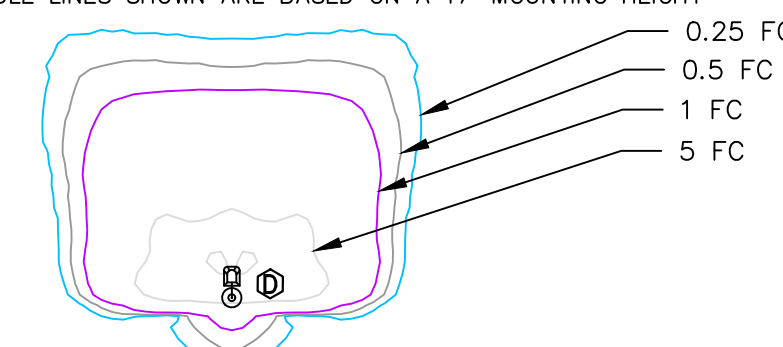
LUMINAIRE 'A'
COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 63W SPILL CONTROL WITH HOUSE SIDE SHIELD
PHOTOMETRIC DIAGRAM
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT



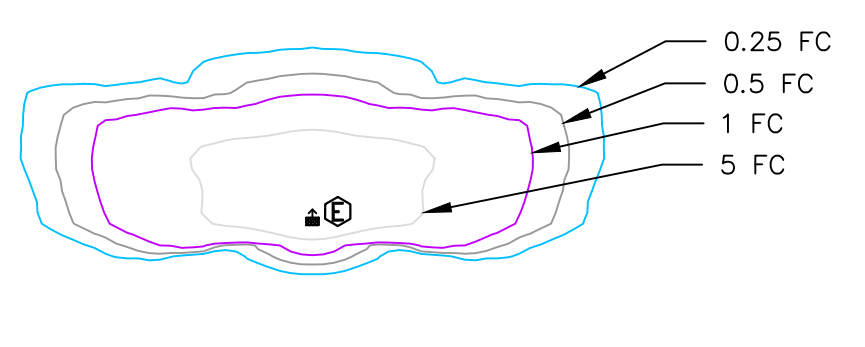
LUMINAIRE 'B'
COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 252W FORWARD THROW QUAD CONFIGURATION
PHOTOMETRIC DIAGRAM
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT



LUMINAIRE 'C'
COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE" 66W FORWARD THROW
PHOTOMETRIC DIAGRAM
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT



LUMINAIRE 'D'
COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 63W FORWARD THROW WITH HOUSE SIDE SHIELD
PHOTOMETRIC DIAGRAM
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT



LUMINAIRE 'E'
COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE" 66W SPILL CONTROL
PHOTOMETRIC DIAGRAM
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

N/F
261 NORTH PLANK
ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.11

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.12

PROPOSED WAREHOUSE BUILDING
166,000 SF
300' X 553'
FFE=448.50
31 LOADING DOCKS

PROPOSED OFFICE
7,000 SF
11' X 117'

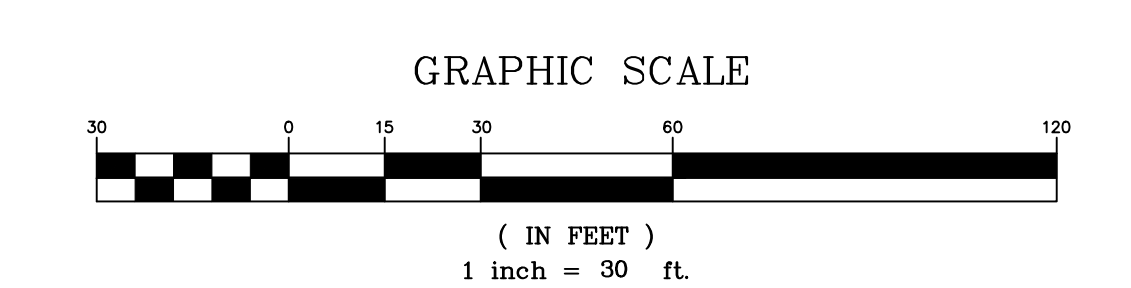
OR HC
AS (TYP.)

SYMBOL	QTY	DESCRIPTION	CATALOG NO.	MOUNTING HEIGHT	LAMP	LUMENS	COLOR TEMP.
A	0 EXISTING 18 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 63W SPILL CONTROL WITH HOUSE SIDE SHIELD POLE MOUNTED	GALN-SAZA-730-U-SL2-HSS	17'	LED ARRAY	6,855±	3000K (WARM)
B	0 EXISTING 2 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 252W FORWARD THROW QUAD CONFIGURATION W/ HOUSE SIDE SHIELD POLE MOUNTED	GALN-SAZA-730-U-T4FT-HSS	17'	LED ARRAY	6,031±	3000K (WARM)
C	0 EXISTING 5 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE" 66W FORWARD THROW WALL MOUNTED	GWC-SAZA-730-U-T4FT	17'	LED ARRAY	6,125±	3000K (WARM)
D	0 EXISTING 6 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON AREA AND ROADWAY LUMINAIRE" 63W FORWARD THROW WITH HOUSE SIDE SHIELD POLE MOUNTED	GALN-SAZA-730-U-T4FT-HSS	17'	LED ARRAY	6,031±	3000K (WARM)
E	0 EXISTING 1 PROPOSED	COOPER LIGHTING SOLUTIONS "GALLEON WALL LUMINAIRE" 66W SPILL CONTROL WALL MOUNTED	GWC-SAZA-730-U-SL2-HSS	17'	LED ARRAY	6,336±	3000K (WARM)

- NOTE:**
- NO SUBSTITUTIONS OF THE SITE LUMINAIRES SHOWN ON THIS LIGHTING PLAN SHALL BE PERMITTED WITHOUT REVIEW AND AUTHORIZATION FROM BOTH THE DESIGN ENGINEER AND PLANNING BOARD TO VERIFY CONFORMANCE WITH THE DESIGN INTENT.
 - REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER.
 - POLES TBD AS REQUIRED BY LUMINAIRE MANUFACTURER
 - NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
 - FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
 - ACTUAL LUMINAIRES TO BE INSTALLED SHALL BE CONFIRMED WITH THE OWNER AND ARCHITECT AT THE TIME OF CONSTRUCTION. NO LIGHTING PLAN RECALCULATIONS ARE REQUIRED FOR BUILDING MOUNTED ARCHITECTURAL LUMINAIRES.
 - CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAIN AT GROUND LEVEL. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
 - LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.
 - CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO ORDERING LUMINAIRES TO DETERMINE IF PHOTOCELL LIGHTING CONTROL IS DESIRED. AT A MINIMUM A TIMELOCK SYSTEM SHALL BE UTILIZED FOR LIGHTING CONTROL. ADDITIONAL PHOTOCELL LIGHTING CONTROL IS RECOMMENDED TO ENSURE LUMINAIRES ARE ONLY ILLUMINATED AS AMBIENT LIGHT CONDITIONS WARRANT.
 - BUILDING MOUNTED LUMINAIRES HAVE NOT BEEN ACCOUNTED IN THE LIGHTING CALCULATIONS.

N/1
CARNATION
L. 3387
34 - 2 -
FM 2
MAP NO.

N/F
JEANNE UPSTATE LLC
L. 12716 P. 1590
34 - 2 - 67.1
FM 2
MAP NO. 250-01



COPYRIGHT 2021, LANC & TULLY, P.C.

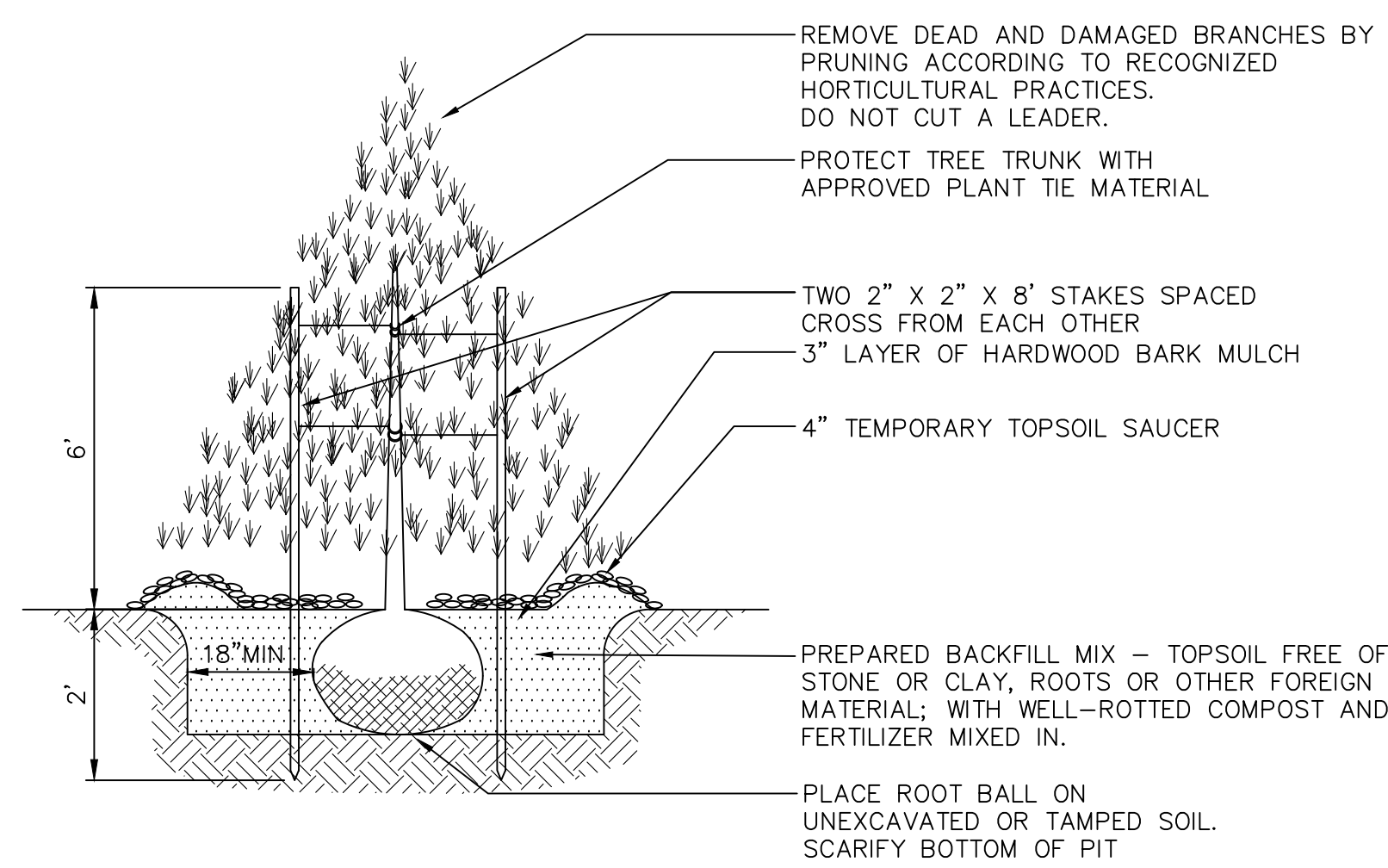


COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

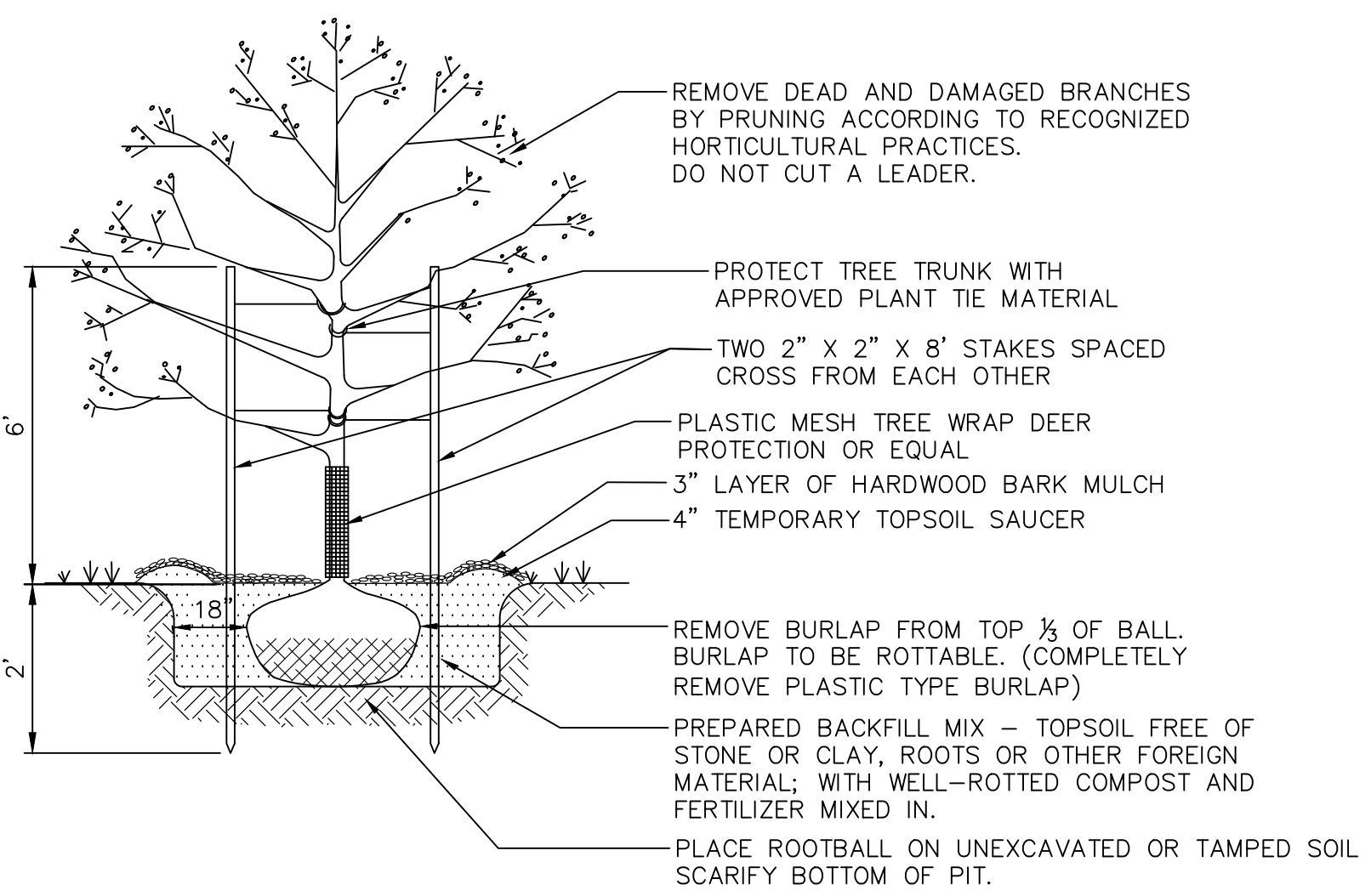
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

L. 13084 P. 157

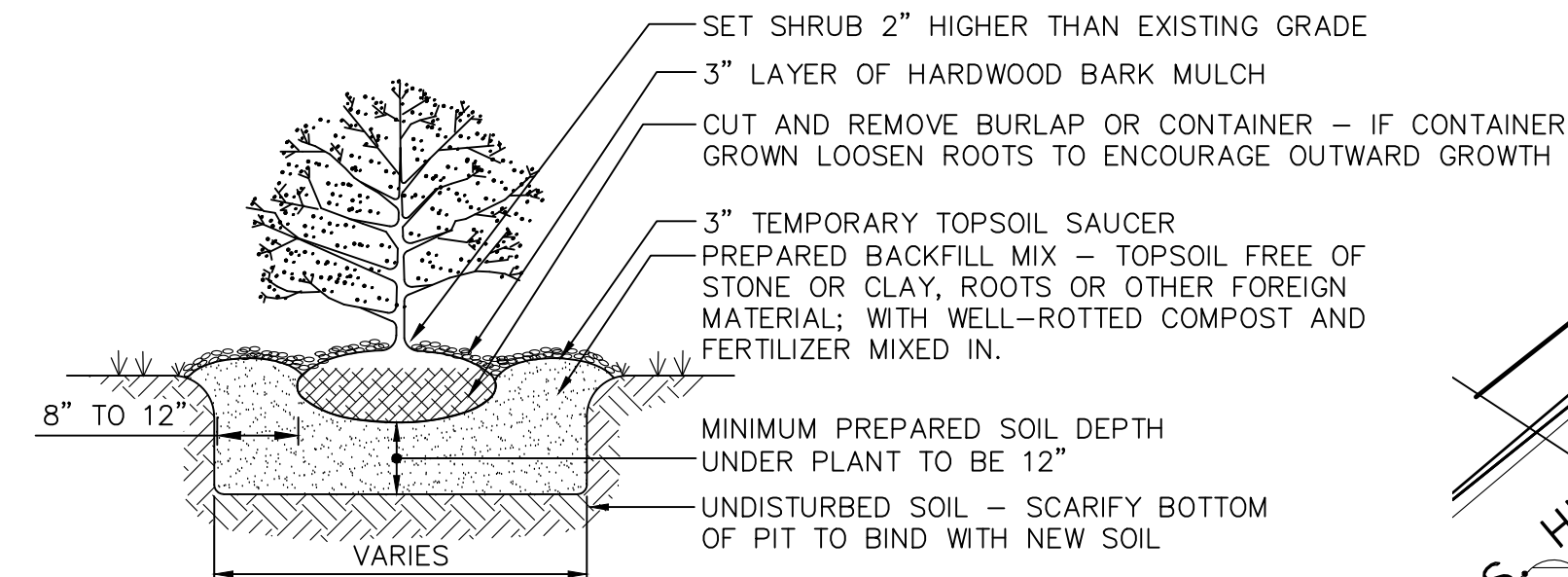
		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
LIGHTING 2 PLAN PREPARED FOR			
MKJ PARK, LLC			
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			
DATE: OCTOBER 28, 2023 REVISION: FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2024	CAD FILE: 210047-ENG.DWG LAYOUT: LIGHTING SHEET NO.: 13 OF 22	DRAWN BY: LJM CHECKED BY: JQ SCALE: 1" = 30' TAX MAP NO.: 34 - 2 - 29.1	DRAWING NO.: C30 A-21 - 0047 - 01



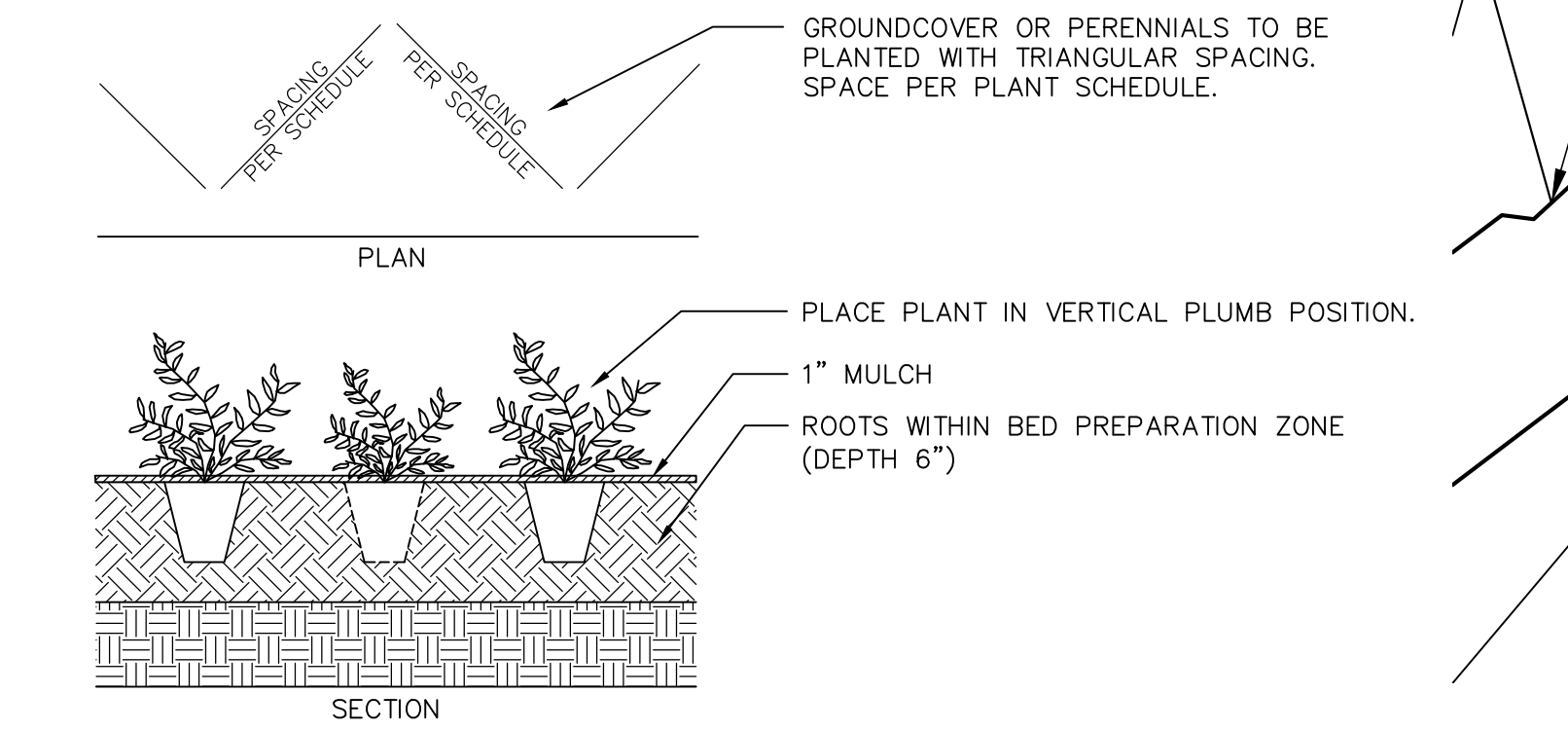
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



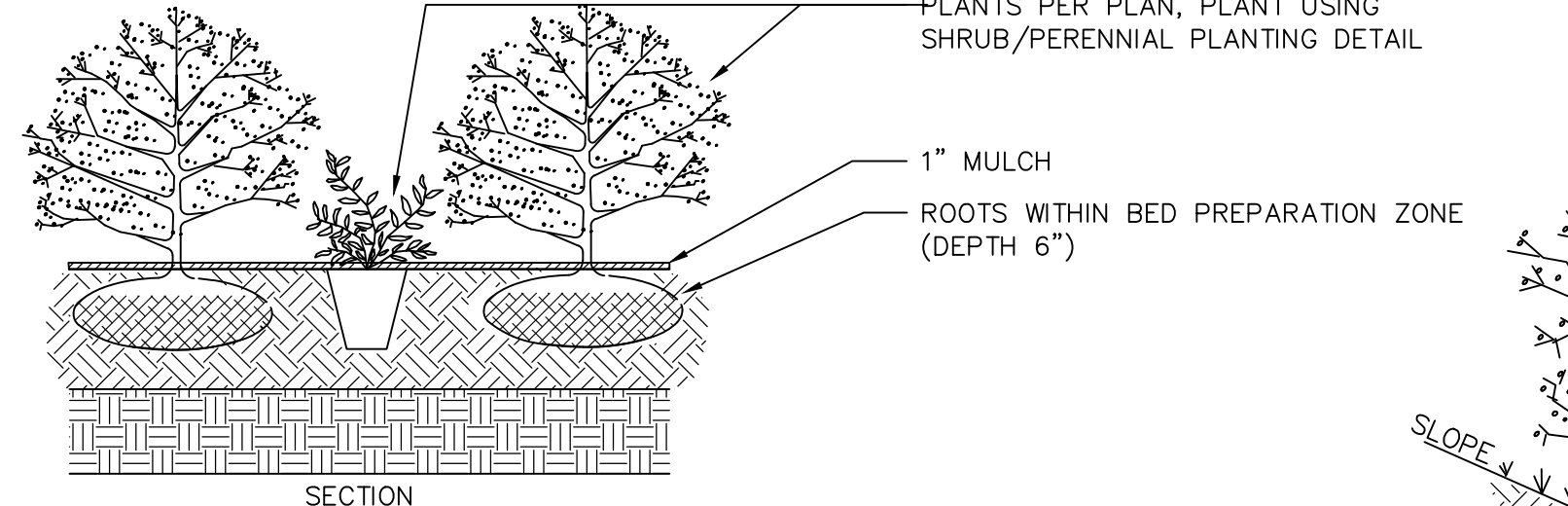
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



GROUNDCOVER/PERENNIAL/GRASS PLANTING DETAIL
NOT TO SCALE



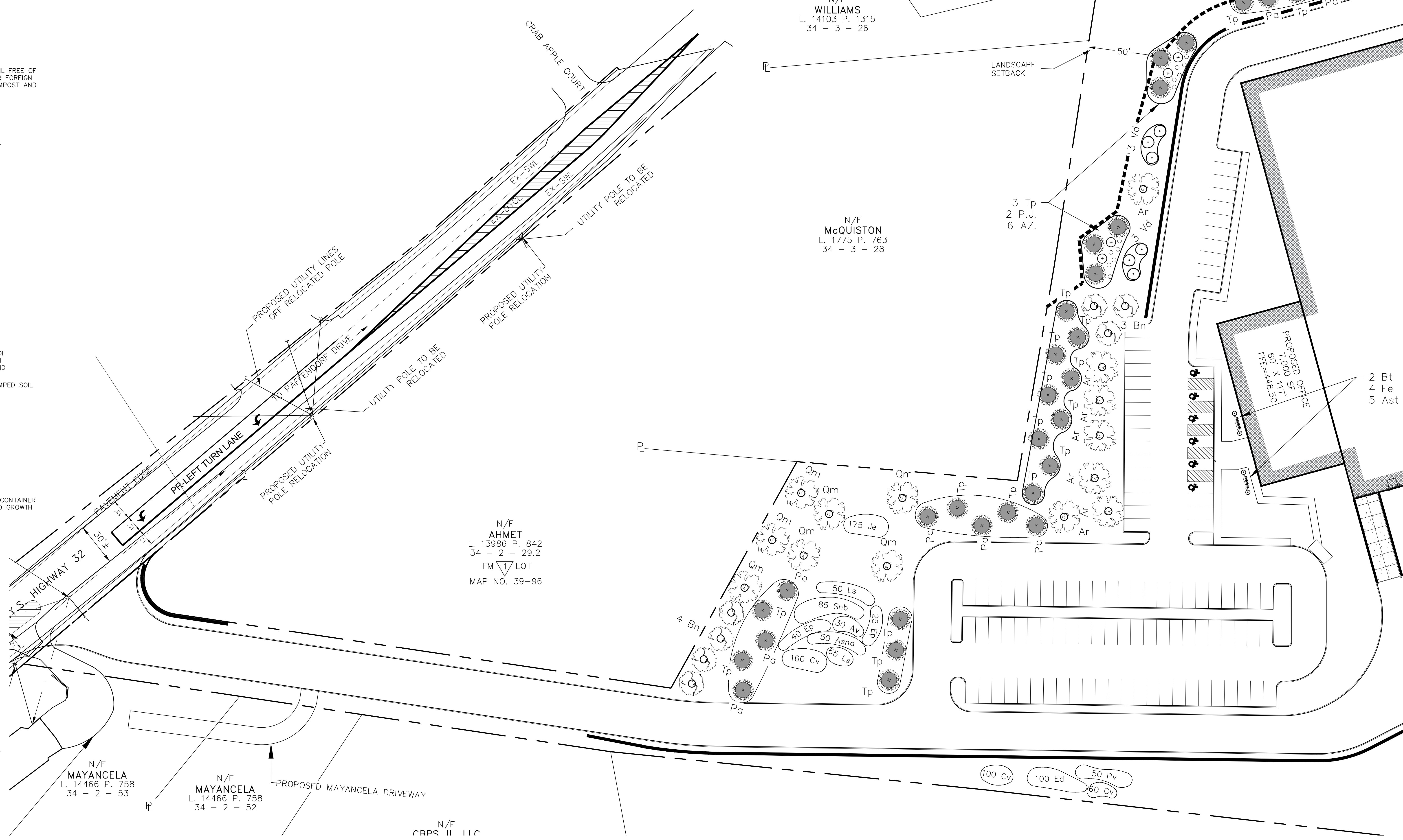
BIORETENTION AREA PLANTING DETAIL
NOT TO SCALE

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



TREE ON SLOPE PLANTING DETAIL
NOT TO SCALE



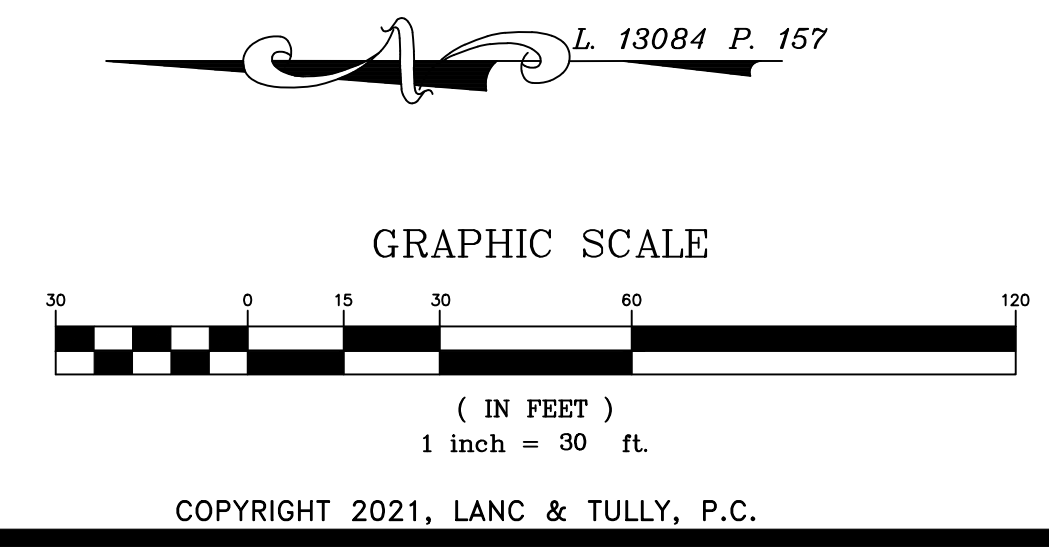
SOIL NOTES:

- THERE MUST BE A MINIMUM OF 6" TOPSOIL COMPOST MIX IN LAWN AREAS AND A MINIMUM OF 24" IN AREAS WITH SHRUBS, TREES AND GROUNDCOVERS.
- SCARIFY OR DIG ALL PROPOSED PLANTING AREAS TO A DEPTH OF 12"-24" OR AS DETERMINED BY LANDSCAPE ARCHITECT.
- TOPSOIL-COMPOST MIX SHALL CONSIST OF 85%-90% STOCKPILED TOPSOIL (IF AVAILABLE) AND 10%-15% WELL-ROTTED COMPOST.
- TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL, CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE FROM STONES, CLAY LUMPS, ROOTS AND OTHER FOREIGN MATTER, WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7 PH.
- IF STOCKPILED TOPSOIL IS NOT AVAILABLE, USE PURCHASED TOPSOIL IN SUFFICIENT QUANTITY TO COMPLETE THE REQUIREMENTS SPECIFIED. SITE SOIL SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTIONS: LESS THAN OR EQUAL TO 15% OF GRAVEL (PARTICLE SIZE GREATER THAN 2.00MM), 40%-60% OF SAND (0.05-2MM), 30%-40% OF SILT (0.002-0.05MM), 10%-20% CLAY (<0.002MM) AND 10%-15% WELL-ROTTED COMPOST WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7.0 PH. PERCENTAGES ARE BY WEIGHT.
- TOPSOIL AND PURCHASED SOIL SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.

PLANTING SCHEDULE

TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES
DECIDUOUS TREES				
Ar	7	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2.5" CAL MIN, 8.8B
Qm	7	QUERCUS MACROCARPA	BUR OAK	2.5" CAL MIN, 8.8B
EVERGREEN TREES				
Pa	14	PICEA ABIES	AMERICAN HOLLY	6-7' HGT, 8.8B
Tp	41	THUJA STANDISHII x PLICATA	GREEN GIANT ARBORVITAE	6-7' HGT, 8.8B
ORNAMENTAL TREES				
Bn	7	BETULA NIGRA	RIVER BIRCH	1-3/4" - 2" CAL, 8.8B
SHRUBS				
Az	12	RHOODODENDRON ROBLEZA	AUTUMN BONFIRE AZALEA	3 GAL CONTAINER
P.J.	4	PERIS JAPONICA	JAPANESE ANDROMEDA	3 GAL CONTAINER
Vd	6	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3 GAL CONTAINER
PERENNIALS				
Bt	4	BERBERIS THUNBERGII	JAPANESE BARBERY	2 GAL CONTAINER
Fe	8	DRYOPTERIS MARGINALIS	MARGINAL WOODFERN	2 GAL CONTAINER
Ast	10	ASTILBE	FALSE GOATS BEARD	2 GAL CONTAINER
BIORETENTION AREA				
As	165	ANDROPOGON GERARDI	BIG BLUE STEM	24"-30" HGT
Asna	126	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	24"-30" HGT
Av	80	ANDROPOGON VIRGINICUS	BIRDSEED	24"-30" HGT
Cv	440	COREOPSIS VERTICILLATA	THREADLEAF COREOPSIS	24"-30" HGT
Ed	370	EUTROCHUM DUBIUM	COASTAL JOE PINEWEED	24"-30" HGT
Ep	135	ECHINACEA PURPUREA	PURPLE CONEFLOWER	24"-30" HGT
Je	395	JUNCUS EFFUSUS	SOFTGRASS	24"-30" HGT
Ls	115	LIATRIS SPICATA	MARSH BLAZING STAR	24"-30" HGT
Pv	285	PANICUM VERGATUM	SWITCHGRASS	24"-30" HGT
Snb	85	SYMPHYOTRICHUM NOVIBELGII	NEW YORK ASTER	24"-30" HGT



LANC & TULLY ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 28, 2023

REVISION: FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2024

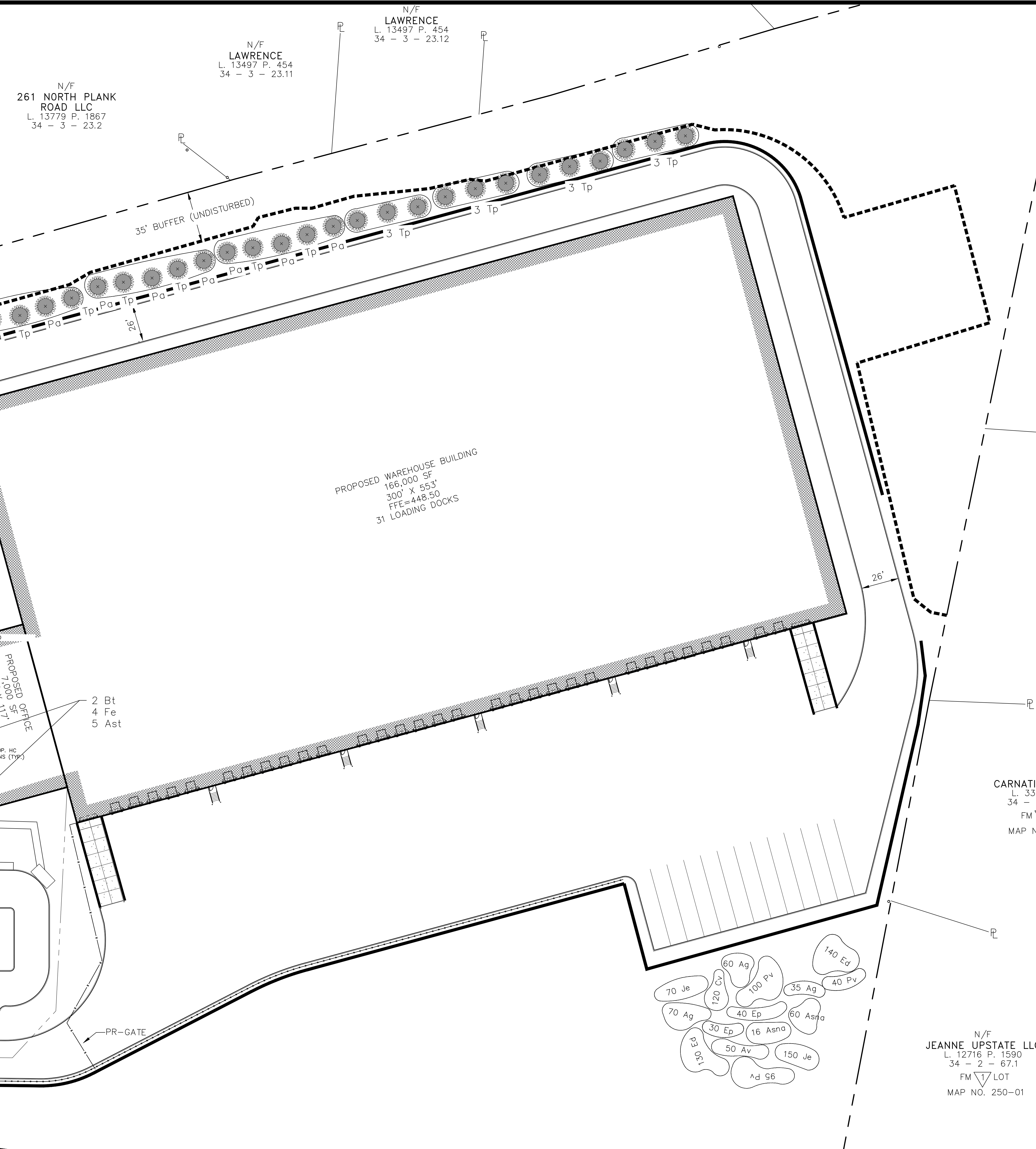
CAD FILE: 210047-ENG.DWG
LAYOUT: LANDSCAPE
SHEET NO.: 14 OF 22
DRAWING NO.: C30
A-21 - 0047 - 01

LANDSCAPE 1 PLAN PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: LJM Checked By: JQ Scale: 1" = 30' Tax Map No.: 34-2-29.1



N/F
261 NORTH PLANK
ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.11

N/F
LAWRENCE
L. 13497 P. 454
34 - 3 - 23.12

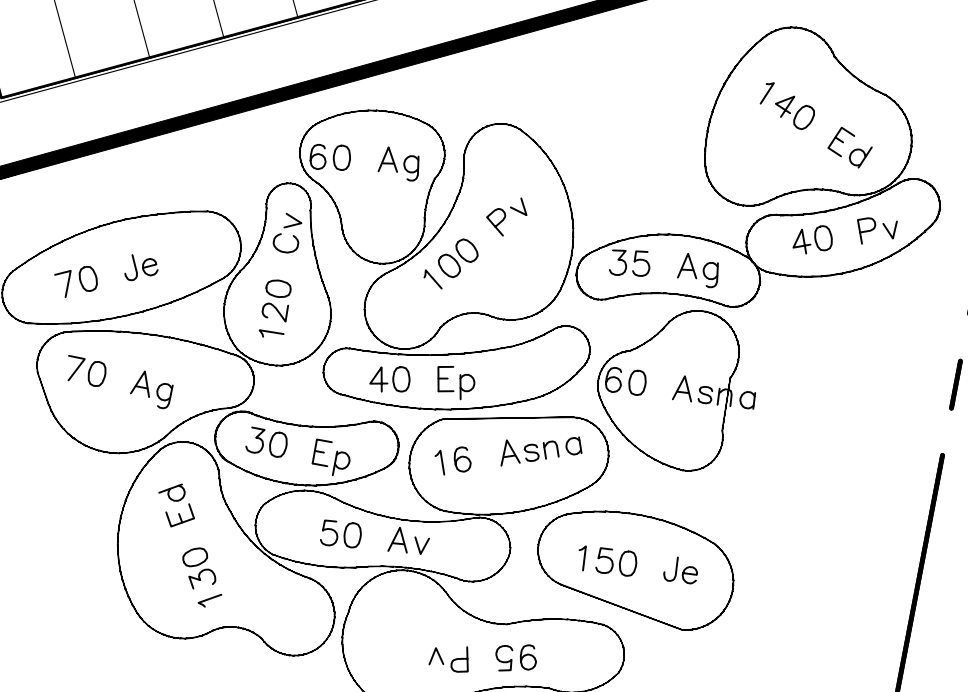
PROPOSED WAREHOUSE BUILDING
166,000 SF
300' X 553'
FFE=448.50
31 LOADING DOCKS

PROPOSED OFFICE
7,000 SF
117' X 117'
OR HC
NS (TP)

2 Bt
4 Fe
5 Ast

N/F
CARNATION
L. 3387
34 - 2 -
FM LOT
MAP NO.

N/F
JEANNE UPSTATE LLC
L. 12716 P. 1590
34 - 2 - 67.1
FM LOT
MAP NO. 250-01



- GENERAL LANDSCAPING NOTES:**
1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
 2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERMEN, LATEST EDITION.
 3. ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
 4. ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
 5. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
 6. ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
 7. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
 8. ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
 9. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
 10. ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 4" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS. IF POOR SOILS OR ROCK ARE ENCOUNTERED IN AREAS OF CUT, PROPOSED TREES SHALL BE PLANTED IN A MINIMUM OF 18" TOPSOIL COMPOST MIX.
 11. MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3' DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.
 12. SHRUB AND PERENNIAL PLANTINGS ARE MASS PLANTING BEDS AND SHALL BE MULCHED CONTINUOUSLY.
 13. THERE MUST BE A MINIMUM OF 6" TOPSOIL COMPOST MIX IN LAWN AREAS AN A MINIMUM OF 24" IN AREAS WITH SHRUBS, TREES, AND GROUNDCOVERS. SCARIFY OR DIG ALL PROPOSED PLANTING AREAS TO A DEPTH OF 12"-24"+ OR AS DETERMINED BY LANDSCAPE ARCHITECT. TOPSOIL-COMPOST MIX SHALL CONSIST OF 85%-90% STOCKPILED TOPSOIL (IF AVAILABLE) AND 10%-15% WELL-ROTTED COMPOST. TOPSOIL SHALL BE NATURAL, FRABLE, FERTILE SOIL, CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE OF STONES, CLAY LUMPS, ROOTS AND OTHER FOREIGN MATTER, WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7 pH. IF STOCKPILED TOPSOIL IS NOT AVAILABLE, USE PURCHASED TOPSOIL IN SUFFICIENT QUANTITY TO COMPLETE THE REQUIREMENTS AS SPECIFIED. SITE SOIL SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTIONS: LESS THAN OR EQUAL TO 15% OF GRAVEL (PARTICLE SIZE GREATER THAN 2.00 mm), 40%-60% OF SAND (0.05-2 mm), 30%-40% OF SILT (0.002-0.05 mm), AND 10%-20% CLAY (<0.002 mm) AND 10%-15% WELL ROTTED COMPOST WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7 pH. PERCENTAGES ARE BY WEIGHT. TOPSOIL AND PURCHASED SOIL SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.

LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

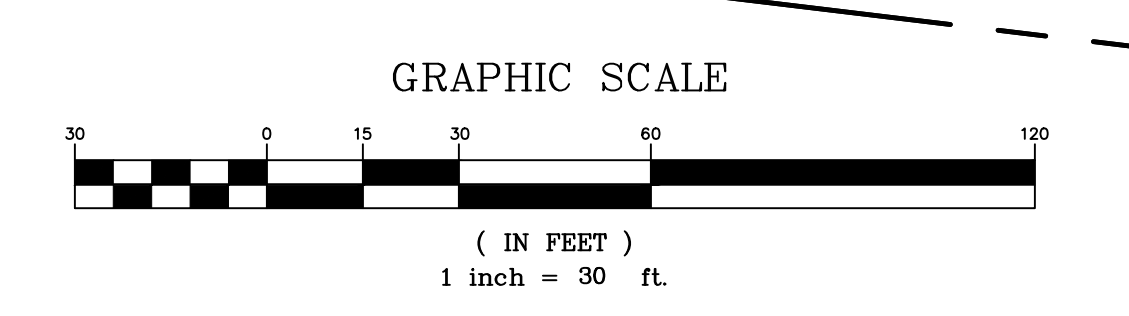
NOTES:

1. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
2. SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2½ TO 3 TONS PER ACRE.

SEEDING FOR SLOPES, RIPARIAN AREA AND PERIMETER

- A. NATIVE STEEP SLOPE MIX WITH GRAIN OATS OR GRAIN RYE (ERNMX-181-1 OR ERNMV-181-2 OR APPROVED EQUAL) SHALL BE BROADCAST OVER ALL STEEP SLOPES ON THE PLANS AT A RATE OF 30 LBS PER ACRE OR 1 LB PER 1,000 SQ FT. THE FORMULA USED (GRAIN OATS OR RYE) SHALL MATCH THE TIME OF PLANTING. REFER TO ERNST INSTALLATION GUIDELINES.
- B. RIPARIAN BUFFER MIX (ERNMX-178 OR APPROVED EQUAL) SHALL BE APPLIED AT A RATE OF 20 LB PER ACRE WITH A COVER CROP AT 30 LB PER ACRE. THE COVER CROP SHALL BE GRAIN OATS OR GRAIN RYE. REFER TO ERNST SEED INSTALLATION GUIDELINES FOR DETAILS.
- C. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNMX-105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS ALONG ROAD SIDES AT A RATE OF 20 POUNDS PER ACRE.

- ESTABLISHMENT GUIDELINES**
- A. ALL SEED MIXES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS INCLUDING COVER CROPS APPROPRIATE FOR THE SEASON.
 - B. INSTALLATION SHALL BE VIA MANUAL SEED DRILL.
 - C. PLANTING SEASON: 'GROWING SEASON' PLANTING IS PREFERRED, WHEN SOIL TEMPERATURES ARE CONSISTENTLY 60° OR HIGHER. IF PLANTING OCCURS DURING 'FROST SEASON', SEEDING RATES MUST BE INCREASED BY 25% NO SEEDING IS TO BE DONE WHILE GROUND IS FROZEN.
 - D. MAINTENANCE IN THE FIRST AND SECOND GROWING SEASON IS CRITICAL TO ESTABLISHMENT OF THE SEED MIX. MOWING AND WEEDING RECOMMENDATIONS SHALL BE STRICTLY FOLLOWED. EQUIPMENT SHALL BE IN ACCORDANCE WITH THE SEED MANUFACTURER'S RECOMMENDATIONS.
 - E. ESTABLISHMENT DURING THE FIRST 2-3 YEARS IS CRITICAL, AND MAINTENANCE SHOULD CONSIST OF BIWEEKLY WEEDING. REMOVAL OF INVASIVE WEEDS SHOULD BE DONE BY HAND, OR SPOT SPRAYING.
 - F. IF MOWING IS REQUIRED AS A METHOD OF WEED CONTROL, CARE MUST BE TAKEN TO ONLY MOW WEEDS, AND TO KEEP MOWER BLADE HEIGHT AS HIGH AS POSSIBLE IN ORDER TO TARGET THE INVASIVE PLANTS AND NOT DAMAGE THE INTENTIONALLY PLANTED SPECIES.
 - G. LONG TERM MAINTENANCE PROGRAM IS TO BEGIN NO LATER THAN THE 5TH GROWING SEASON. THIS INCLUDES DISTURBANCE OF ALL INTENTIONALLY PLANTED SPECIES BY WAY OF HAYING, MOWING OR BURNING. ALL WASTE VEGETATION FROM THIS PROCESS SHOULD BE REMOVED AND DISPOSED OFF SITE. PRIOR TO DISTURBANCE, UNWANTED VEGETATION AND WEEDS SHOULD BE NEUTRALIZED BY WAY OF SPOT SPRAYING OR HAND REMOVAL. IT IS BEST TO TIME DISTURBANCE IN SEPTEMBER OR OCTOBER AS THE PLANTS ARE GOING DORMANT.



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 28, 2023

REVISIONS:
FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2024

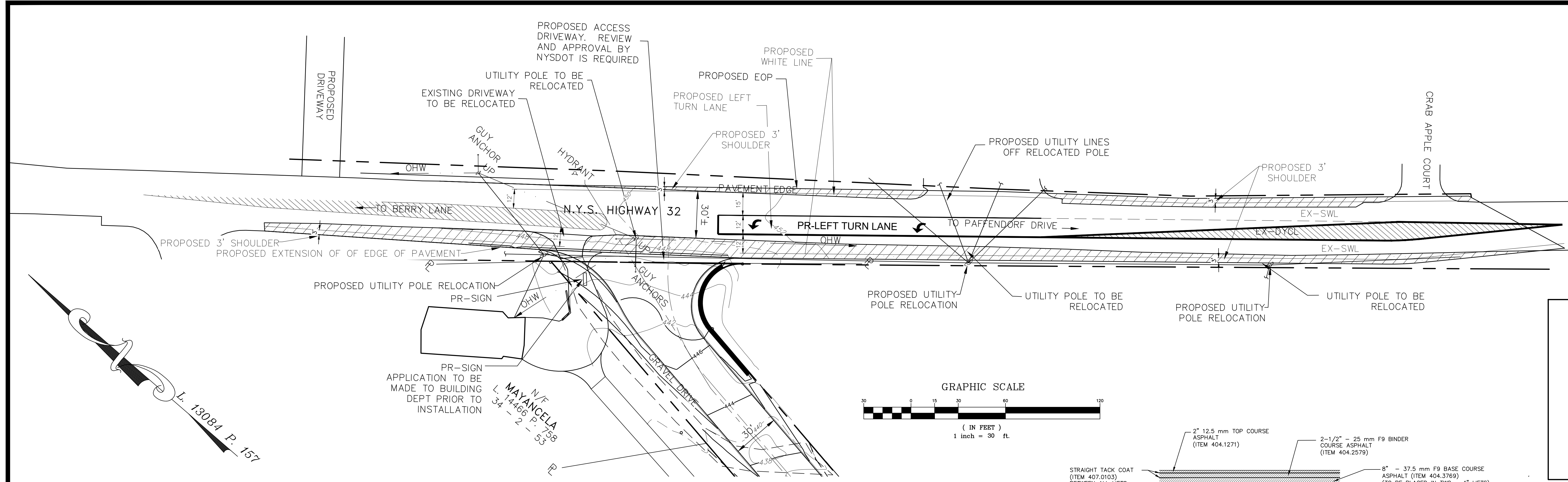
LANDSCAPE 2 PLAN PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

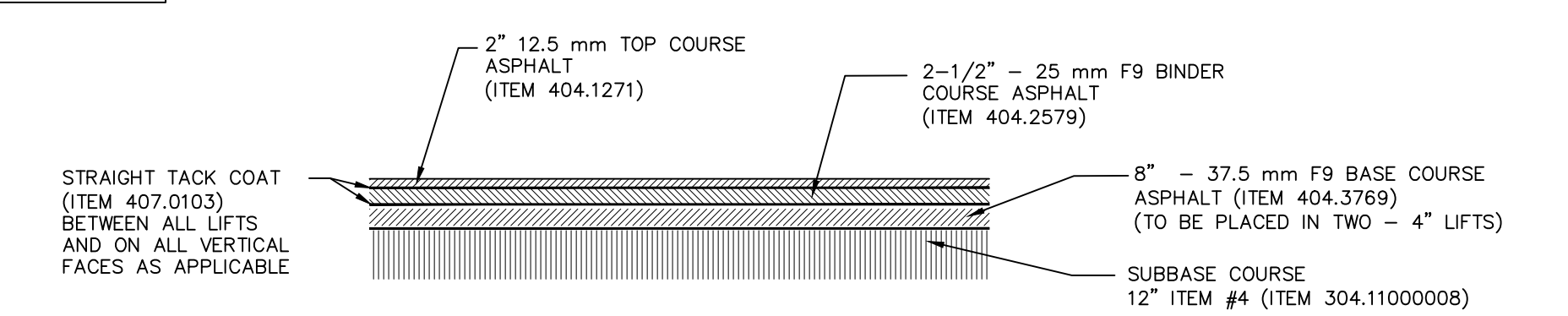
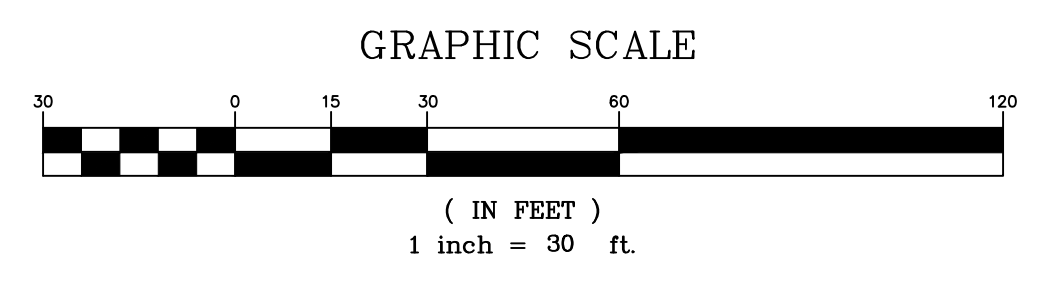
Drawn By: LJM	Checked By: JQ	Scale: 1" = 30'	Tax Map No.: 34 - 2 - 29.1	Sheet No.: 15 OF 22	Revision No.: 030
---------------	----------------	-----------------	----------------------------	---------------------	-------------------

Copyright 2021, LANC & TULLY, P.C.



LEGEND

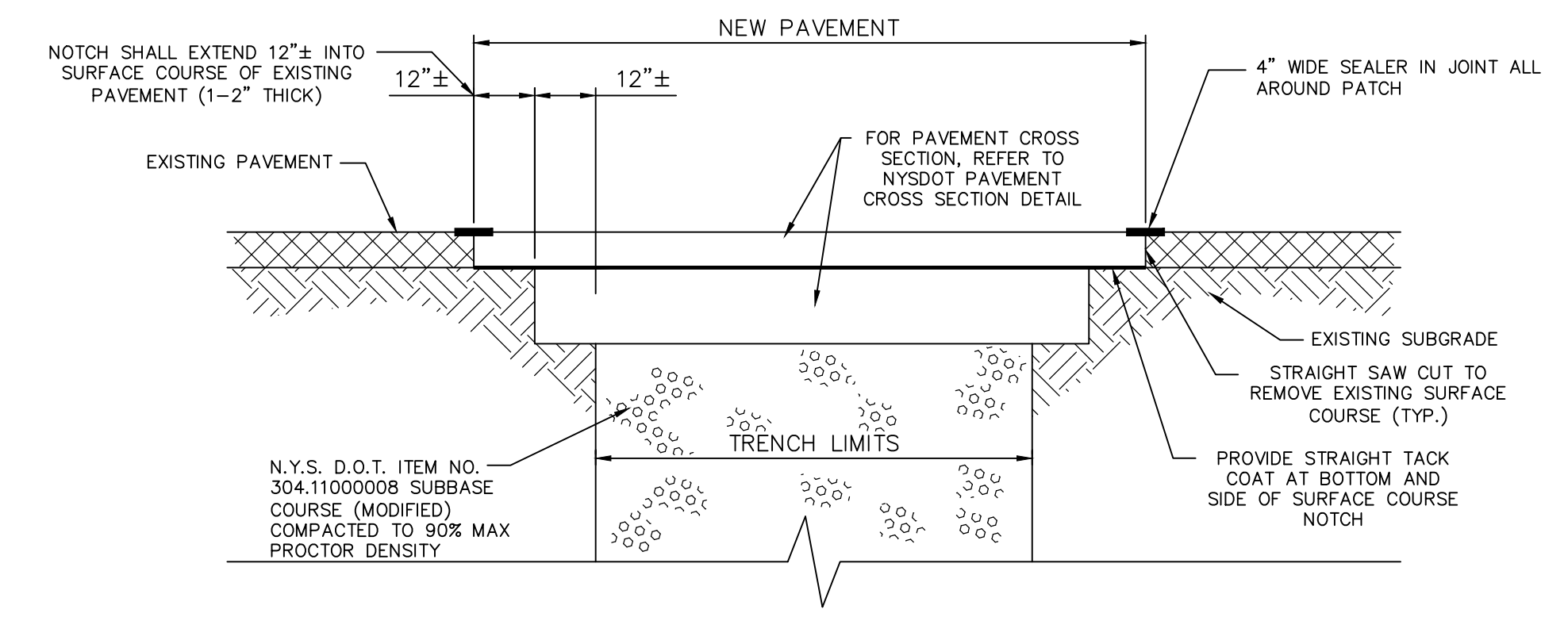
---	PROPERTY LINE
---	PROPOSED EDGE OF PAVEMENT AND CURB
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED PARKING STRIPING
---	BUILDING
---	PROPOSED RETAINING WALL
---	PROPOSED ELECTRICAL LINES
---	PROPOSED WATERMAIN
---	PROPOSED CENTERLINE OF ROAD
---	PROPOSED DRIVEWAY



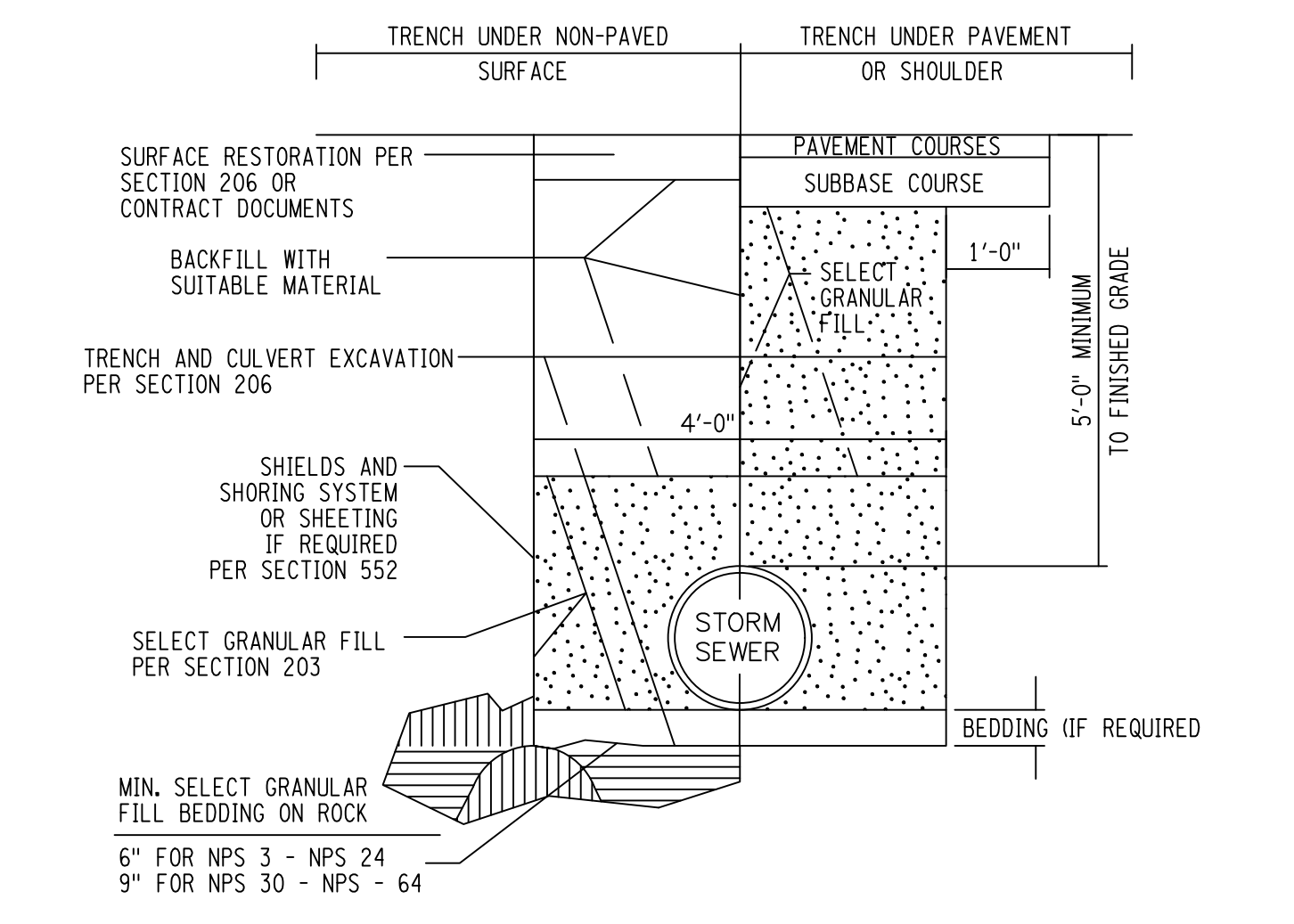
NOTES:
 1. NYS DOT PAVEMENT SPECIFICATION SHALL BE UTILIZED TO RIGHT-OF-WAY LINE.
 2. REFER TO SECTION 404 FOR ALL REQUIRED WARM MIX ASPHALT (WMA) SPECIFICATIONS AND REQUIREMENTS.

NYS DOT PAVEMENT CROSS SECTION
 NOT TO SCALE

685.1102
685.1202
685.1102
685.3304
685.3404



PAVEMENT RESTORATION DETAIL
 NOT TO SCALE



NYS DOT UTILITY TRENCH DETAIL
 NOT TO SCALE

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



NO SITE WORK WITHIN THE NEW YORK STATE RIGHT-OF-WAY, INCLUDING TREE CLEARING AND UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION

- ALL WORK AND IMPROVEMENTS WITHIN THE NYS DOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYS DOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
 - NYS DOT STANDARD SHEETS 603 FOR DRIVEWAYS
 - NYS DOT STANDARD SHEETS 609-01
 - NYS DOT STANDARD SHEETS 608-03
 - NYS DOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
 ENGINEERING AND SURVEYING, P.C.
 P.O. Box 687, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

DATE: OCTOBER 28, 2023
 REVISIONS:
 FEBRUARY 26, 2024
 SEPTEMBER 10, 2024
 OCTOBER 28, 2024

NYS DOT ENTRANCE PLAN AND DETAILS PREPARED FOR

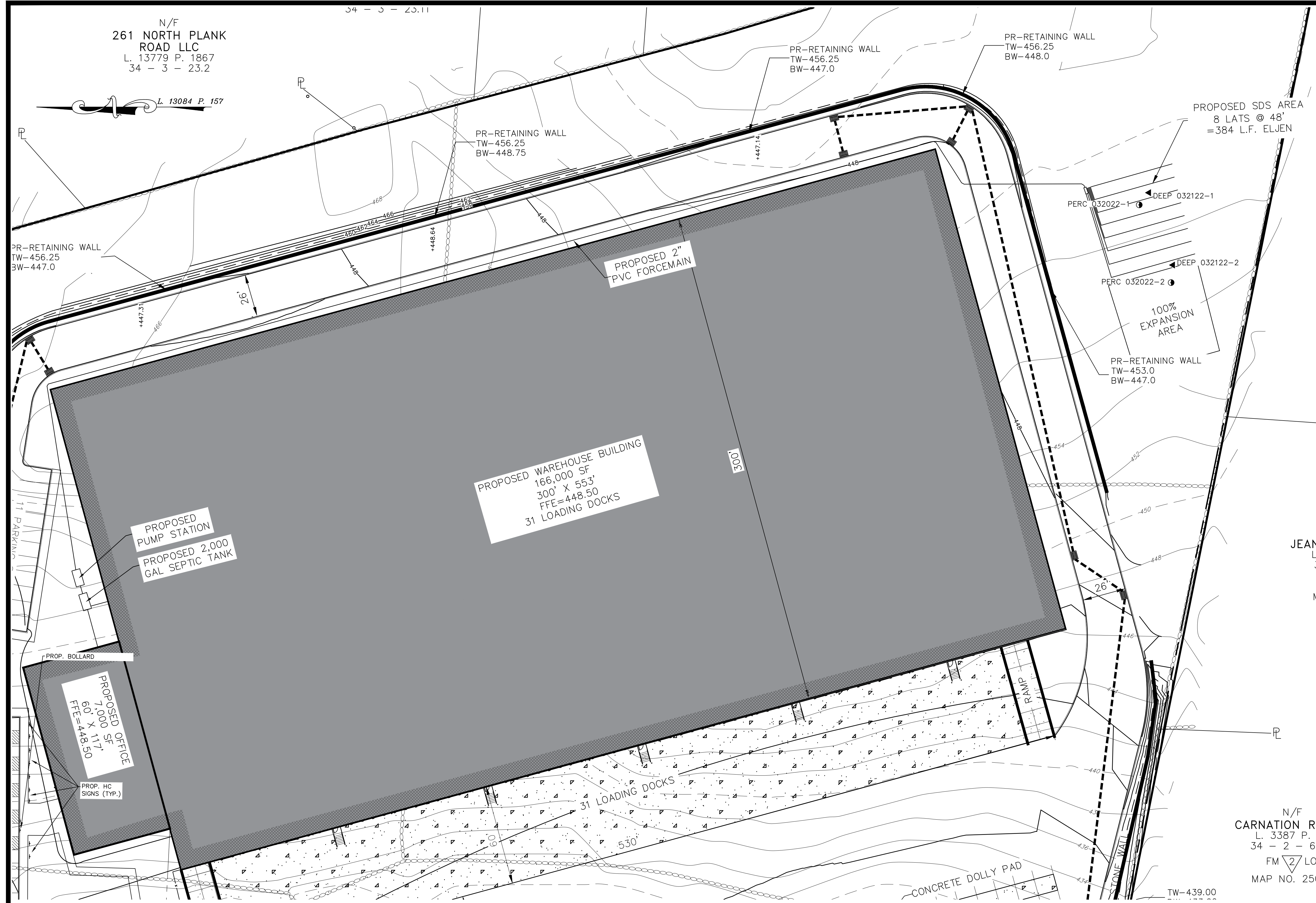
MJK PARK, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Drawn By: LJM Checked By: JQ Scale: 1" = 30' Tax Map No.: 34-2-29.1 Drawing No.: C30
 A-21-0047-01

N/F
261 NORTH PLANK
ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2

L. 13084 P. 157

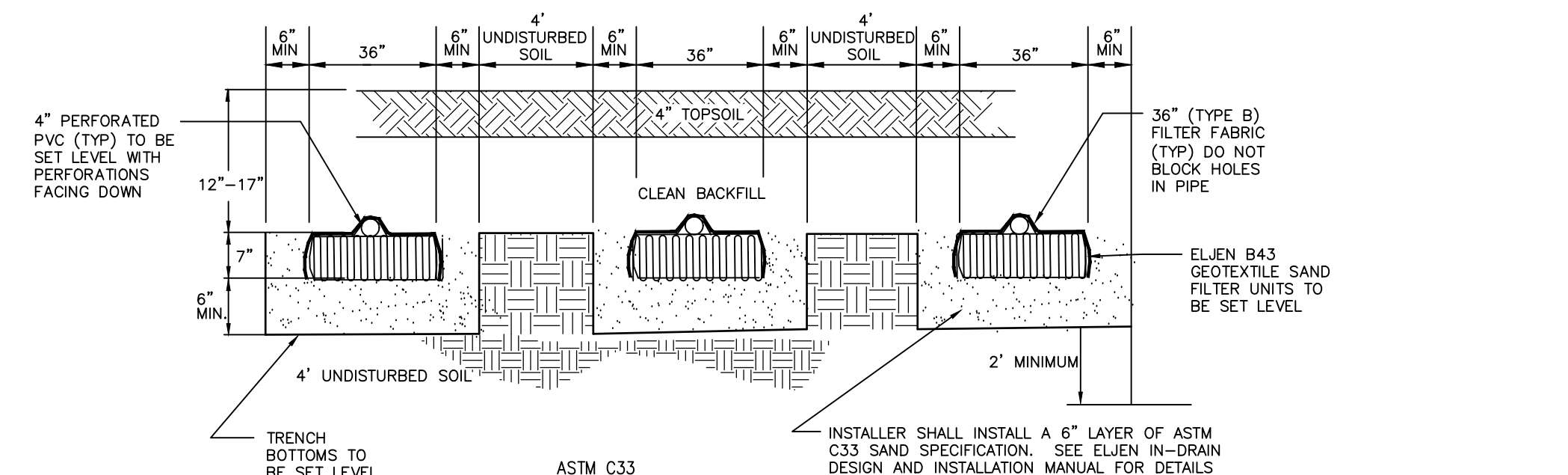


PROPOSED WAREHOUSE BUILDING
166,000 SF
300' X 553'
FFE=448.50
31 LOADING DOCKS

PROPOSED PUMP STATION
PROPOSED 2,000 GAL. SEPTIC TANK

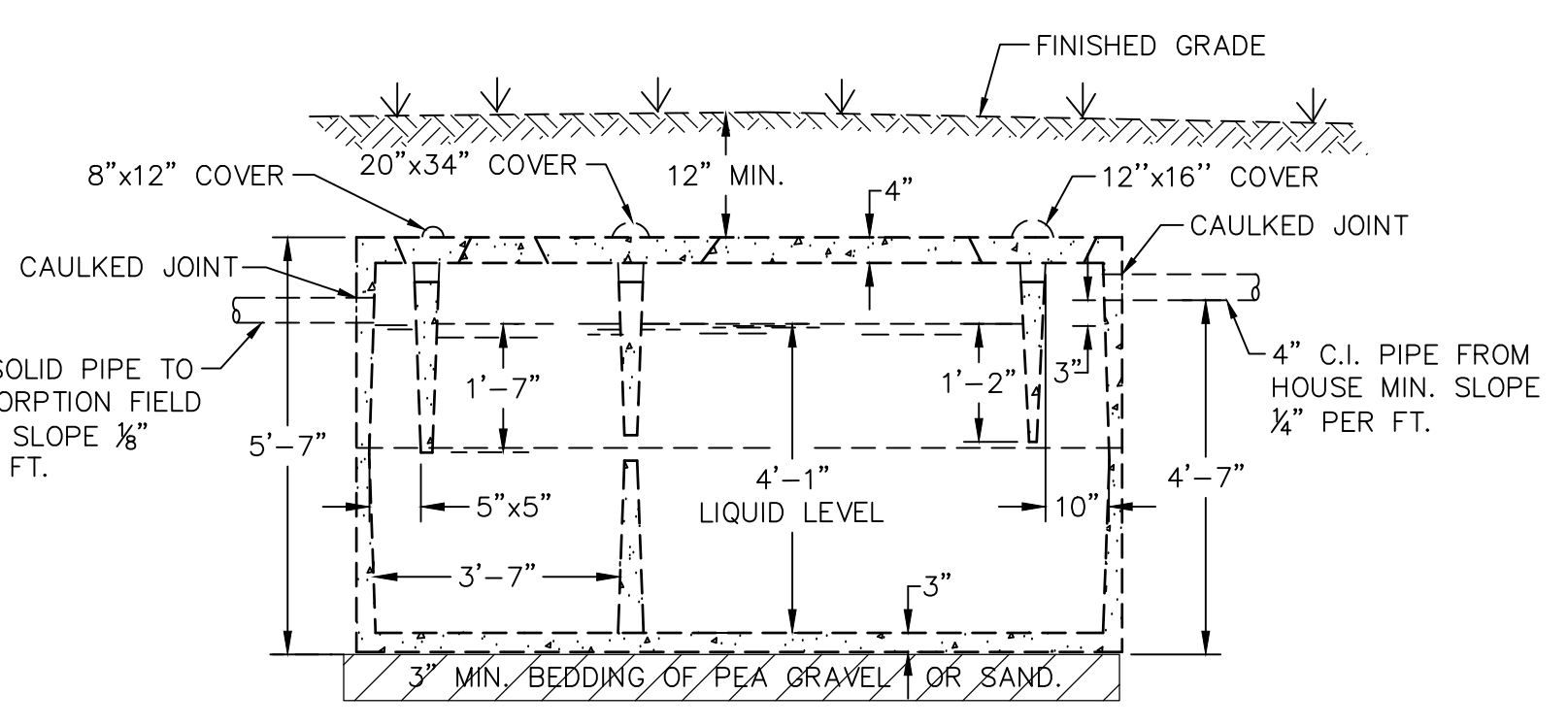
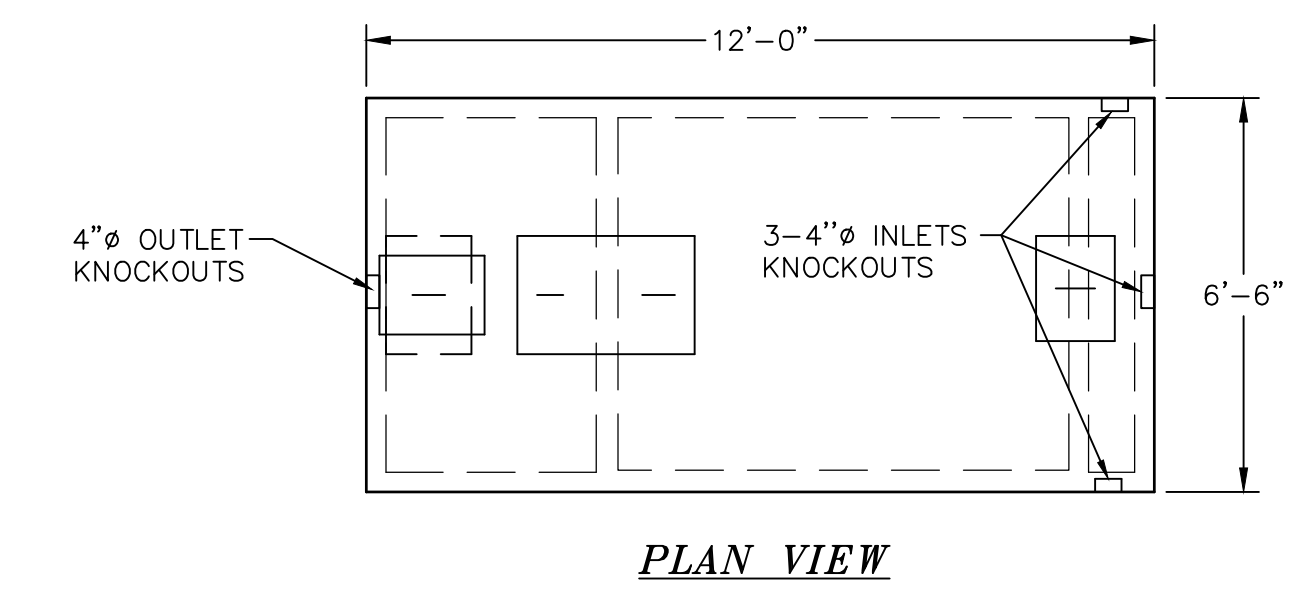
PROPOSED OFFICE
7,000 SF
60' X 117'
FFE=448.50

N/F
CARNATION RE
L. 3387 P. 6
34 - 2 - 67
FM 2 LO
MAP NO. 25C

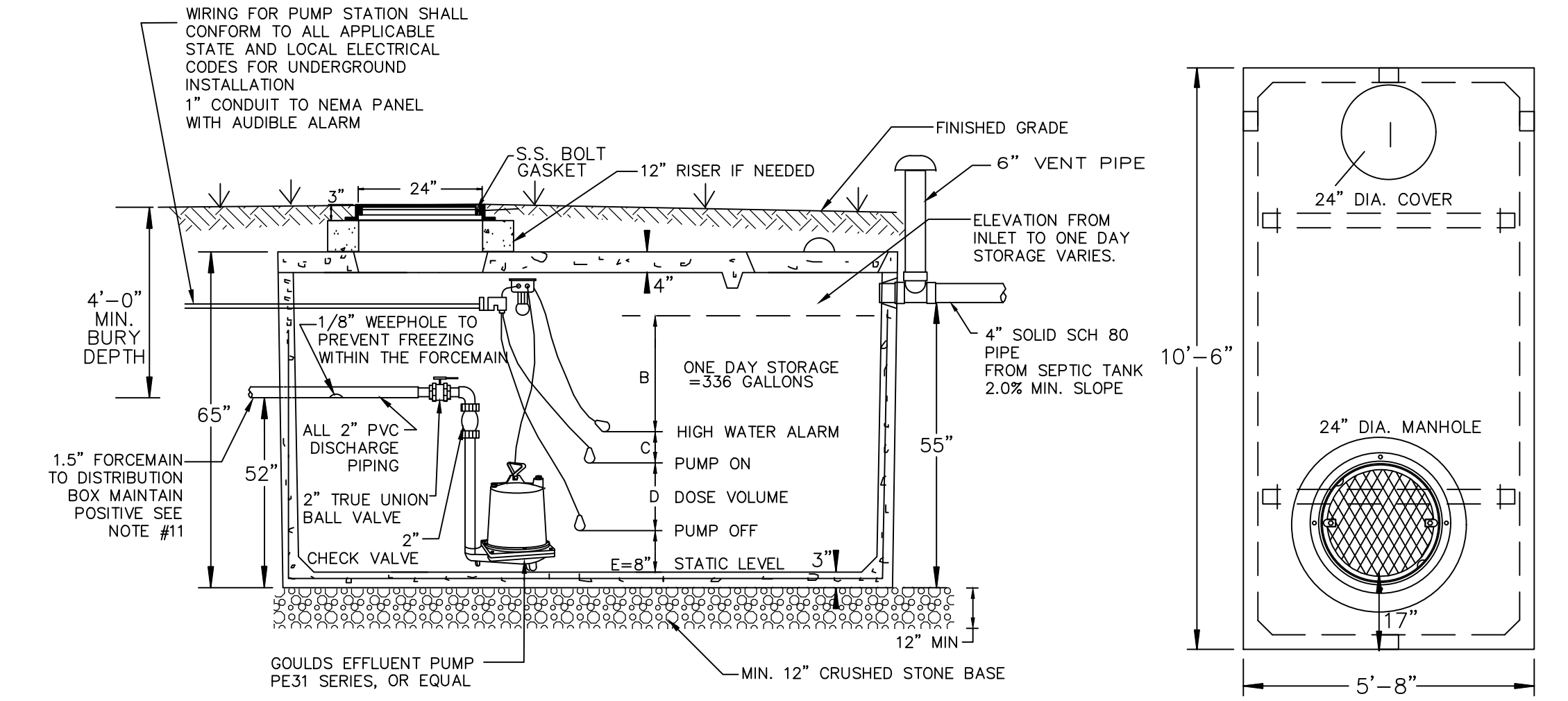


SEIVE SIZE	MINIMUM PERCENT PASSING BY WEIGHT	MAXIMUM PERCENT PASSING BY WEIGHT
3/8 INCH	100	100
NO. 4	85	100
NO. 6	80	100
NO. 16	50	85
NO. 30	25	60
NO. 50	5	30
NO. 100	0	10
NO. 200 (NET)	0	5

TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL
NOT TO SCALE



2,000 GAL. CONCRETE SEPTIC TANK
NOT TO SCALE



- NOTES:
- CONCRETE PRECAST PUMP CHAMBER BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
 - PRECAST CHAMBER TO MEET H=20 LOADING SPECIFICATIONS.
 - CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SF11 NEMA 1 ENCLOSURE OR EQUAL.
 - ELECTRICAL EQUIPMENT IN WELLS OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SEWAGE WET WELLS OF ANY RATING.
 - ALL JOINTS SHALL BE CAULKED.
 - AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
 - THE REQUIRED DOSE VOLUME = SEE PUMP CHAMBER DESIGN CHART.
 - ALL COVERS SHALL BE LOCKABLE AND WATERTIGHT.
 - ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION CONSTRUCTION.
 - THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.

PRECAST PUMP CHAMBER TANK (1,500 GAL.)
NOT TO SCALE

PUMP DETAIL ITEM	DEPTH OF PUMP FLOAT (IN INCHES)
ONE DAY STORAGE	B=30" MIN.
HIGH WATER ALARM	C=3"
PUMP ON	D=5"
PUMP OFF	E=8"
DOSE VOLUME	153 GAL.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE 80R-35 PVC PIPE CONFORMING TO ASTM D-3034-BB. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

PERCOLATION TEST RESULTS:

PERCOLATION TESTS '1' & '2' WERE PERFORMED ON MARCH 20, 2022, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

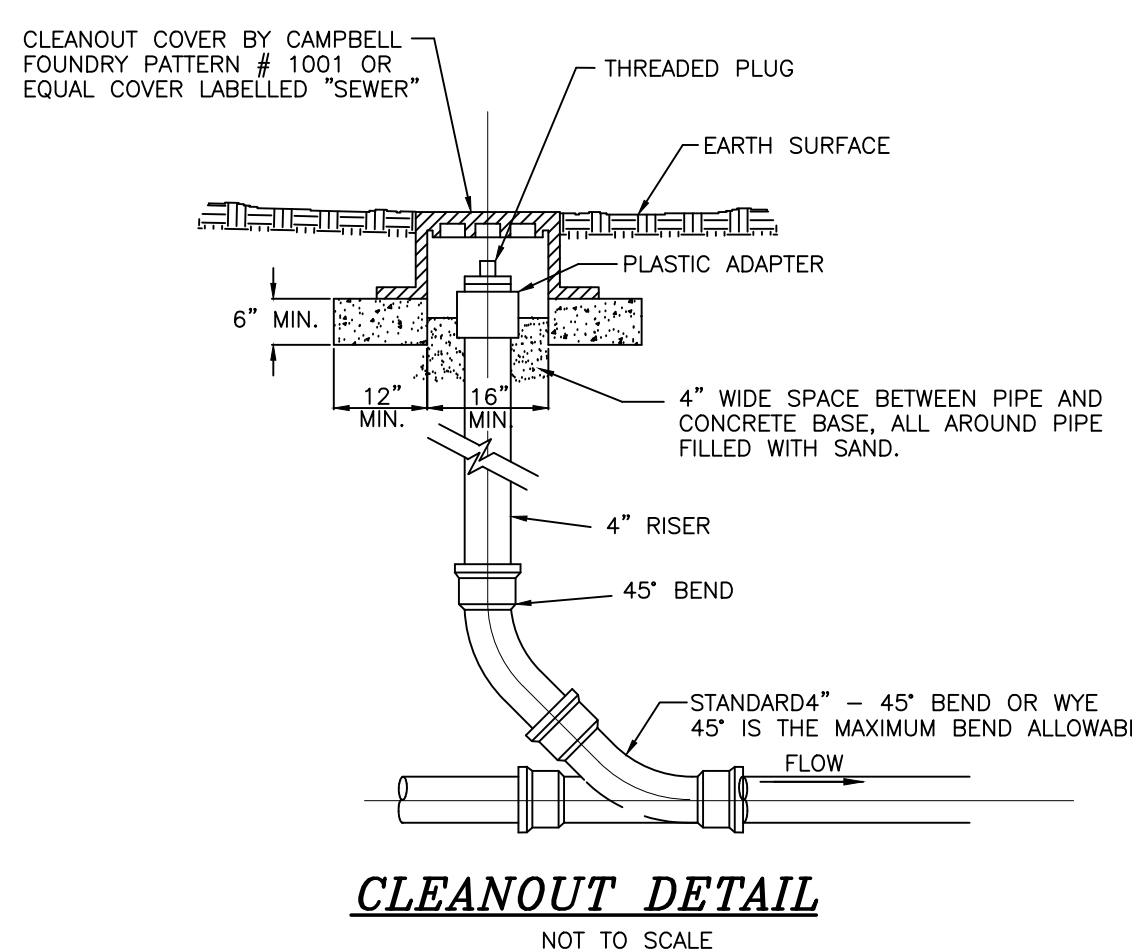
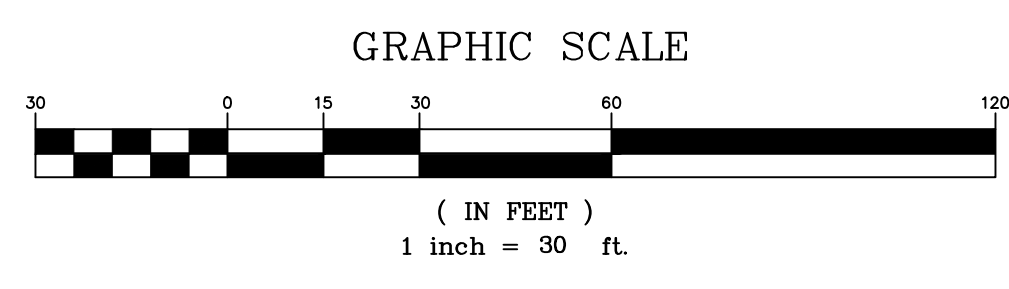
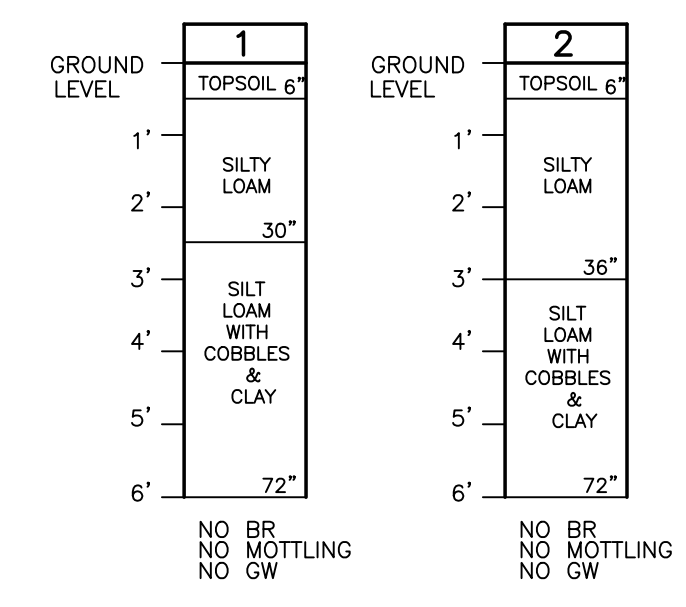
PERC. TEST RATE (MIN.)	DESIGN RATE (MIN.)	QPD (FLOW)	LENGTH OF FIELD (FEET)	TYPE OF SYSTEM		
032022-1	032022-2		REQUIRED	PROPOSED		
26	31	31-45	996 GPD	332	336	ELJEN

SYSTEM DESIGN

SYSTEM FLOWS AND DESIGN FOR NEW SDS:
 FLOW RATE FOR OFFICE/WAREHOUSE = 1,425 GPD (95 EMPLOYEES * 15 GPD/EMPLOYEE)
 20% WATER SAVINGS = 285 GPD
 1,425 GPD - 285 GPD = 1,140 GPD (DESIGN FLOW)
 DESIGN PERCOLATION RATE: 31-45 MINUTES/INCH
 DESIGN APPLICATION RATE: 0.5 GAL/DAY/SQUARE FOOT
 APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
 SQUARE FOOTAGE REQ'D: 1,140 GPD / 0.5 GPD/SQ FT = 2,280 SQ FT
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 2,280 SQ FT / 6 SQ FT PER LIN. FT. = 380 LIN. FT. OF TRENCH
 ABSORPTION FIELD TRENCH PROVIDED: 8 LATERALS @ 48 FEET = 384 LINEAR FEET
 SEPTIC TANK SIZING: 1,140 GPD X 1.5 = 1,710 GPD - USE 2,000 GAL TANK
 DOSING CALCULATIONS:
 TOTAL PIPE VOLUME (FORCE MAIN): 950 LINEAR FEET X 0.121 GALLONS/FOOT = 61 GALLONS
 DOSE VOLUME: 61 GALLONS X 1.00 = 61 GALLONS
 TOTAL PIPE VOLUME (DISTRIBUTION): 44 LINEAR FEET X 0.653 GALLONS/FOOT = 29 GALLONS
 DOSE VOLUME: 29 GALLONS X 1.00 = 29 GALLONS
 TOTAL PIPE VOLUME (ABSORPTION FIELD): 384 LINEAR FEET X 0.653 GALLONS/FOOT = 250 GALLONS
 DOSE VOLUME: 250 GALLONS X 0.75 = 188 GALLONS
 TOTAL DOSING VOLUME: 61 GALLONS + 29 GALLONS + 188 GALLONS = 278 GALLONS

DEEP TEST RESULTS

1 & 2 - SITE INSPECTION PERFORMED ON MARCH 21, 2022 BY LANC AND TULLY ENGINEERING, P. C.



LEGEND

- PROPERTY LINE
- PROPOSED EDGE OF PAVEMENT AND CURB
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED CONCRETE
- PROPOSED PARKING STRIPING
- PROPOSED BUILDING
- LANDSCAPE BUFFER
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED SIDEWALK
- EXISTING WETLANDS
- PROPOSED DRAINAGE
- PROPOSED SEPTIC
- PROPOSED WATERMAIN
- PROPOSED CENTERLINE OF ROAD
- PROPOSED DRIVEWAY

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 107
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 18, 2023
 REVISION: FEBRUARY 26, 2024
 SHEET NO.: 17 OF 22

MJK PARK, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW Checked By: Scale: 1" = 30' Tax Map No.: 34 - 2 - 29.1 Drawing No.: C30
 A-21 - 0047 - 01

LANDSCAPING NOTES:

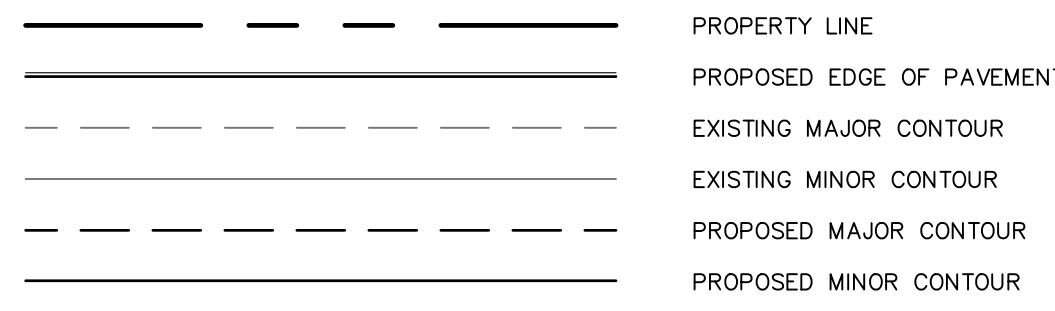
1. QUALITY ASSURANCE
 - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AAN), UNLESS OTHERWISE SPECIFIED.
 - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS, PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED, AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANS-PLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
 - D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL, WHEN AUTHORIZED. ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
2. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
 - A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED FROM MARCH 15 TO MAY 15, AND FROM AUGUST 15 TO OCTOBER 15.
 - B. UNLESS OTHERWISE DIRECTED IN WRITING THE PLANTING OF TREES AND SHRUBS SHALL BE FROM MARCH 15 TO JUNE 1, AND FROM SEPTEMBER 1 TO NOVEMBER 15.
 - C. PROCEED WITH AND COMPLETE SEEDING WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE, WORKING WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.
 - D. PROVIDE TEMPORARY ANNUAL RYEGRASS COVER FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
3. PRODUCTS:
 - A. TOPSOIL: THE TOP 6" - 12" OF ROOTSTOCK MATERIAL WILL BE TAKEN FROM WETLAND DISTURBANCE AREAS AND PLACED AS BEDDING MATERIAL IN THE PROPOSED WETLAND MITIGATION AREA. IF ADDITIONAL TOPSOIL IS NEEDED USE IMPORTED TOPSOIL AS NOTED BELOW.
 - B. IMPORTED TOPSOIL: PLACE TOPSOIL 6" TO 8" THICK CONFORMING TO THE FOLLOWING:
 1. ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOO OR OTHER OBJECTIONABLE FOREIGN MATERIAL.
 2. CONTAINING NOT MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLE PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105° C.
 3. CONTAINING A pH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
 4. CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1/4"	97 - 100
No. 200	20 - 65 (OF THE 1/4" SIEVE)
 - C. SEED MIXTURE: SUPPLEMENTAL WETLAND SEED MIX IS TO BE APPLIED TO ALL MITIGATION AREA AT 4 POUNDS SEED PER ACRE AND CONSIST OF THE FOLLOWING:

% BY WT.	SPECIES	VARIETY
26.66%	EUPATORIUM PERFOLIATUM	BONESET
20.80%	VERBENA HASTATA	BLUE VERVAIN
19.73%	PANICUM DICHTOMIFLORUM	SHOOTY PANIC-GRASS
8.89%	SOLIDAGO RUGOSA	WRINKLED GOLDENROD
8.74%	EUPATORIUM MACULATUM	JOE PYE WEEED
6.85%	ELTHAMIA GRAMINIFOLIA	GRASS LEAF GOLDENROD
4.59%	POLYGONUM PENNSYLVANICUM	PENNSYLVANIA SMARTWEED
2.80%	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER
0.79%	BIDENS CERNUA	NOODING BEGGAR'S TICK
0.21%	ASOLEPAS INCARNATA	SWAMP MILKWEED
0.12%	IRIS VERSICOLOR	BLUE FLAG
- D. LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATE. GRINDING SIZES AT LEAST 80% PASSES A 10-MESH SIEVE AND AT LEAST 20% PASSES A 20-MESH SIEVE.
- E. FERTILIZER:
 1. FOR SPRING SEEDING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT, CONTAINING 10% NITROGEN, 6% AVAILABLE PHOSPHORUS, AND 4% WATER SOLUBLE POTASH (10-6-4).
 2. FOR FALL SEEDING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT, CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHORUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
 3. FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH HIGH NITROGEN, 38% URAMITE OR APPROVED EQUAL. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (3.D.2) ABOVE.
- F. TREES AND SHRUBS:
 1. PLANTING SOIL MIXTURE: SHALL BE PREMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:

20 PARTS TOPSOIL
10 PARTS PEAT MOSS
1 PART BONE MEAL
 2. PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE, DRIED SPHAGNUM PEAT MOSS, CONTAINING NOT MORE THAN 3% MINERAL ON A DRY BASIS, AND CONFORMING TO NYS DOT 713-20.
 3. BONE MEAL: FINELY GROUND, RAW, MINIMUM 4% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
 4. STAKES: 8 FT LONG, 2 IN WIDE WOOD STAKES.
 5. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
 6. MULCH: GROUND OR SHREDED BARK, MEDIUM SIZE FROM HARDWOOD TREES, NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SANDWIST, STONES, DEBRIS, AND DILETERIOUS MATERIALS. STANDARD OF QUALITY SHALL BE MANUFACTURED BY HYDE PARK PRODUCTS CO., OF NEW ROCHELLE, NEW YORK, OR APPROVED EQUAL.
 7. PROVIDE COMPLETE COMMERCIAL FERTILIZER, OF NEUTRAL CHARACTER, WITH SOME ELEMENTS DERIVED FROM ORGANIC SOURCES, CONTAINING AT LEAST 10% AVAILABLE PHOSPHORIC ACID, 3% TO 5% TOTAL NITROGEN, AND 3% TO 5% SOLUBLE POTASH.

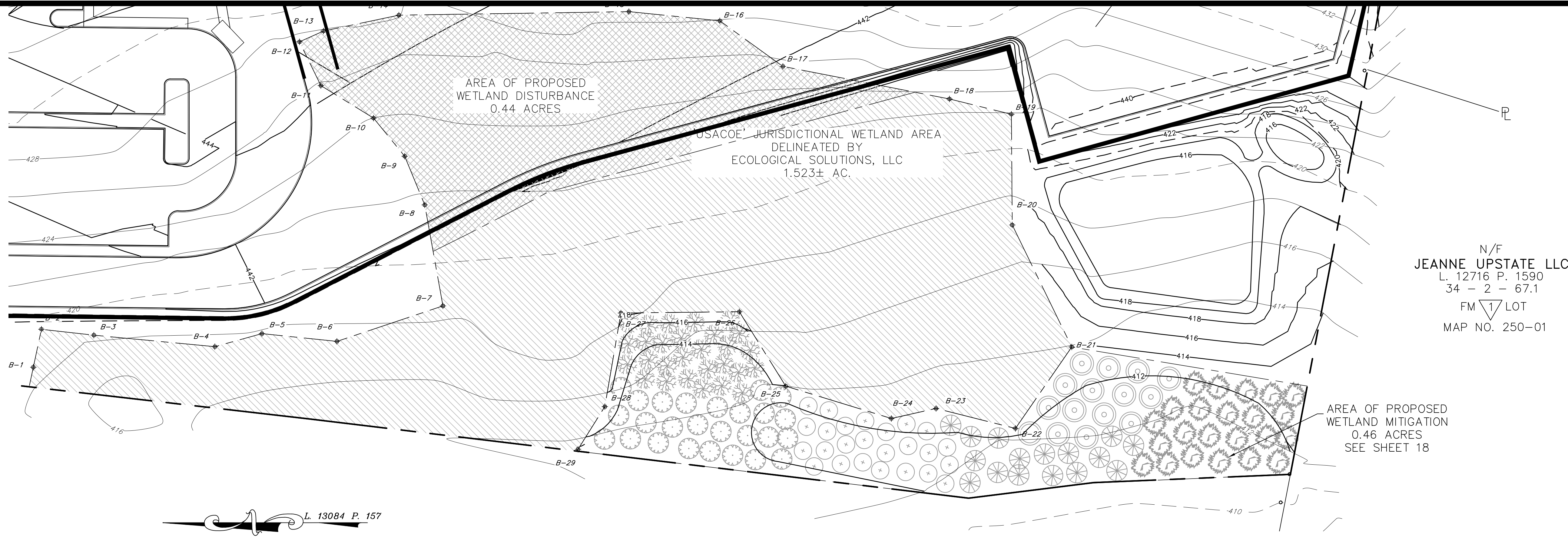
LEGEND



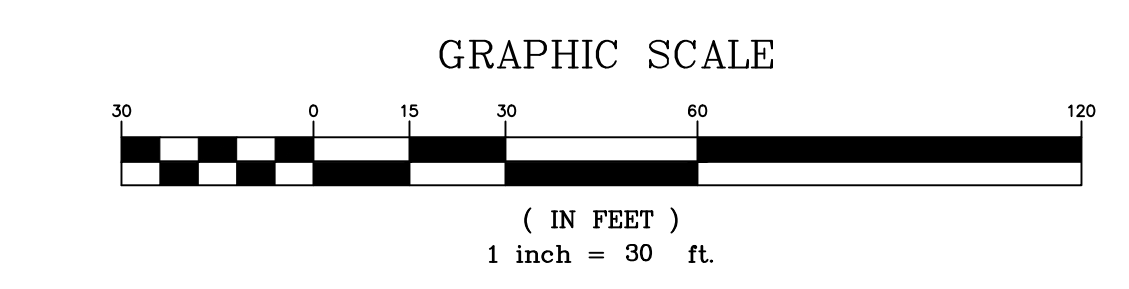
PLANTING SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	COND.	SIZE	SPACING
RM	ACER RUBRUM	RED MAPLE	#5 CONT	6'-8" HT	10'-0" O.C.
PO	QUERCUS PALUSTRIS	PIN OAK	#5 CONT	3'-4" HT	10'-0" O.C.
SWO	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	6'-8" HT	10'-0" O.C.
PW	SALIX DISCOLOR	PUSSY WILLOW	#5 CONT	3'-4" HT	15'-0" O.C.
WB	ILEX VERTICILLATA	WINTERBERRY	#5 CONT	3'-4" HT	15'-0" O.C.
HB	VACONILUM CORYMBOSUM	HIGHBUSH BLUEBERRY	#5 CONT	3'-4" HT	15'-0" O.C.

PLANTING LEGEND



N/F
JEANNE UPSTATE LLC
 L 12716 P. 1590
 34 - 2 - 67.1
 FM LOT
 MAP NO. 250-01



CONSTRUCTION NOTES:

1. ALL DISTURBED AREAS ARE TO BE REPAIRED INCLUDING BRINGING GRADES BACK TO ORIGINAL CONDITION BY IMPORTING TOPSOIL AND SUPPLYING NECESSARY SOIL AMENDMENTS PRIOR TO SEEDING AND WATERING.

HYDROLOGY OF THE MITIGATION AREA

DEEP TESTS IN THE MITIGATION AREA WERE EXAMINED TO PREDICT THE WATER LEVELS AVAILABLE FOR THE MITIGATION AREA. THE RESULTS OF THESE BORINGS GENERALLY CONFIRMED THE SOIL STRATIFICATION SUGGESTED IN THE ORANGE COUNTY SOIL SURVEY. THE FIELD INVESTIGATION REVEALED THAT GRAVELLY SILT LOAM APPROXIMATELY 9 INCHES DEEP EXISTS WITHIN THE MITIGATION AREA. BENEATH THIS LAYER EXISTS ABOUT 60 INCHES OF CHANNERY SILT LOAM.

THE SOIL SURVEY INDICATES THAT THE MITIGATION AREA IS CHARACTERIZED BY SOIL OF THE ERIE SERIES WITH AN INCLUSION OF ALDEN SOILS.

THE ERIE SERIES CONSISTS OF A SOMEWHAT POORLY DRAINED LOAM WITH A FRAGIPAN AT 21 INCHES BELOW THE SOIL SURFACE. ERIE SOILS ARE SEASONALLY SATURATED EACH YEAR. PERMEABILITY IS MODERATELY SLOW OR SLOW. BECAUSE OF THE MODERATELY SLOW OR SLOWLY PERMEABLE FRAGIPAN, THESE SOILS ARE WET EARLY IN SPRING AND AFTER HEAVY RAINS. THEY OFTEN REMAIN WET UNTIL LATE IN SPRING AND ARE OCCASIONALLY WET IN FALL. SOME AREAS ALSO RECEIVE SEEPAGE FROM NEARBY SLOPES. IT IS ANTICIPATED THAT SURFACE WATER WILL COLLECT IN THE MITIGATION AREA IN SUFFICIENT AMOUNTS TO SUPPORT WETLAND VEGETATION.

THE EXISTING WETLAND AND INTER-CONNECTING STREAM WILL SERVE AS A "REGENERATION NUCLEUS" FROM WHICH VEGETATIVE COVER CAN EXPAND RADIIALLY BY VEGETATIVE REPRODUCTION INTO THE PROPOSED MITIGATION AREA. SINCE DIFFERENT PLANT SPECIES WITHIN THE SAME WETLAND MAY OFTEN EXHIBIT A WIDE RANGE OF MOISTURE REQUIREMENTS AND FLOODING TOLERANCES, THE PROPOSED ELEVATIONAL RANGES WILL PROVIDE A MICRO-TOPOGRAPHIC MOISTURE GRADIENT CONDUCIVE TO A HIGH SPECIES DIVERSITY.

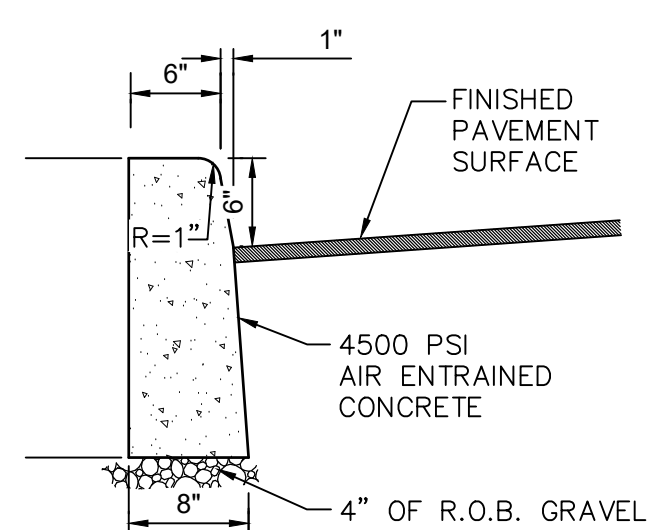
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

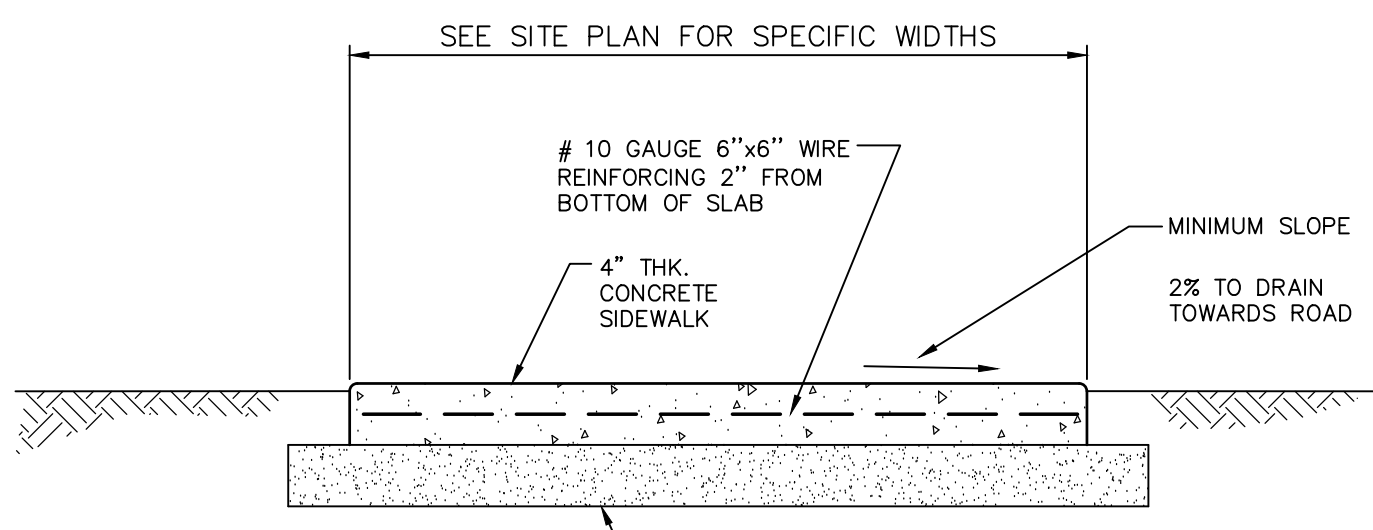
COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	DATE: OCTOBER 28, 2023
		WETLAND MITIGATION PLAN AND DETAILS PREPARED FOR
MJK PARK, LLC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2023
		210041-ENG.DWG WETLAND MIT 18 OF 22 C30 A-21 - 0047 - 01
Drawn By: LJM Checked By: JQ Scale: 1" = 30' Tax Map No.: 34 - 2 - 29.1		



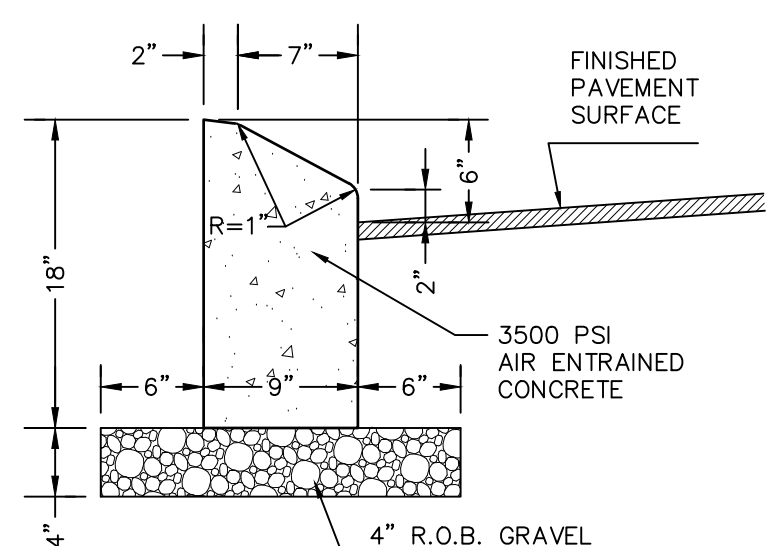
CONTRACTOR TO PROVIDE 3/8" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

CONCRETE CURB
NOT TO SCALE



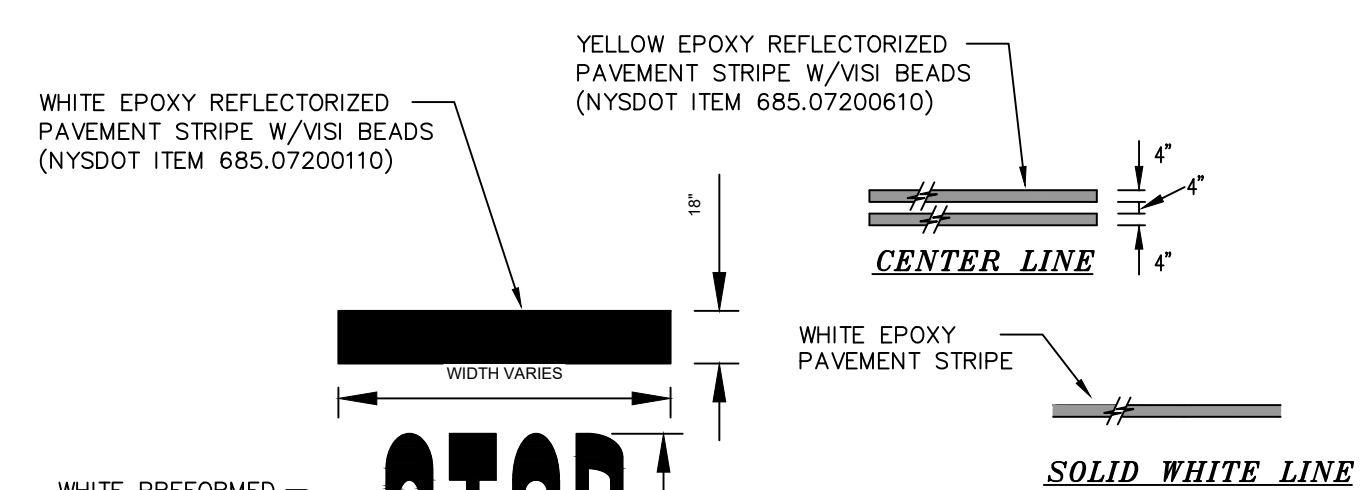
- NOTES:
1. EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 3/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 3/8" RADIUS.
 4. USE 4500 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL
NOT TO SCALE



CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

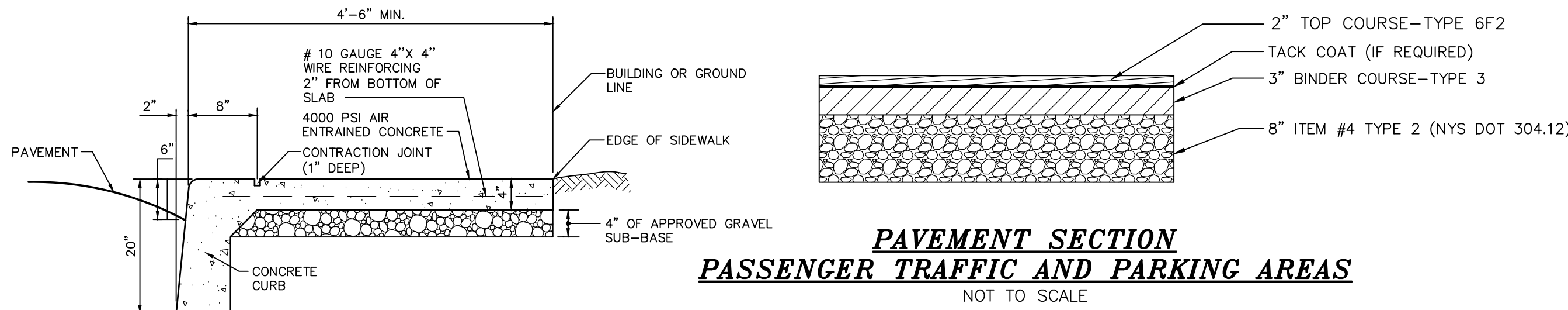
CONCRETE CURB DETAIL (MOUNTABLE)
NOT TO SCALE



NOTE:

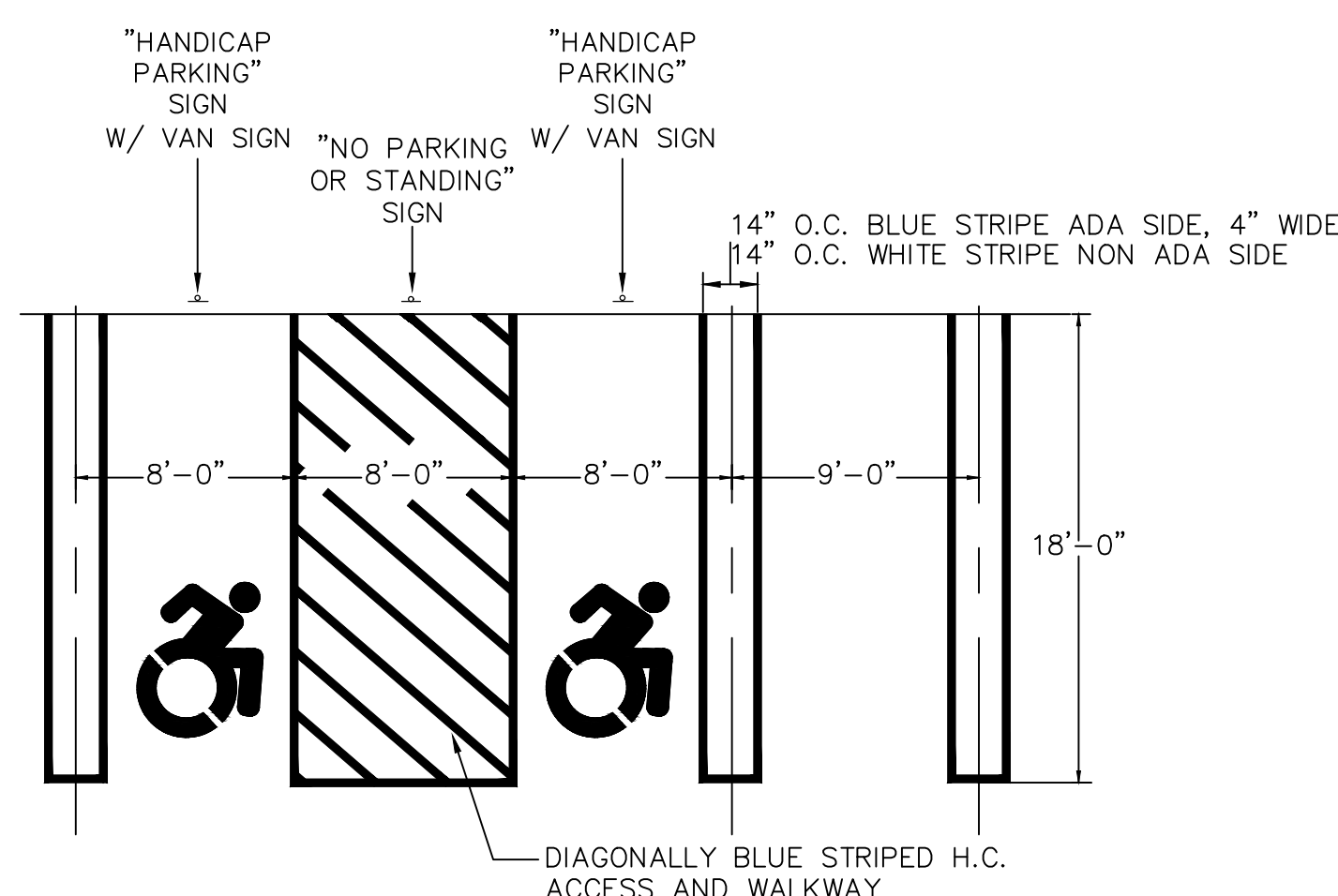
1. ALL STRIPING AND LETTERING WITHIN NYSDOT ROW TO MEET NYSDOT STANDARDS. REFER TO NYSDOT STANDARD SHEETS 685-01 FOR SIGNING AND LAYOUT.
2. IN PARKING LOTS, STOP BARS MAY BE REDUCED TO 12" WIDE AND LETTER MAY BE REDUCED TO 6" TALL.

STRIPING DETAILS
NOT TO SCALE



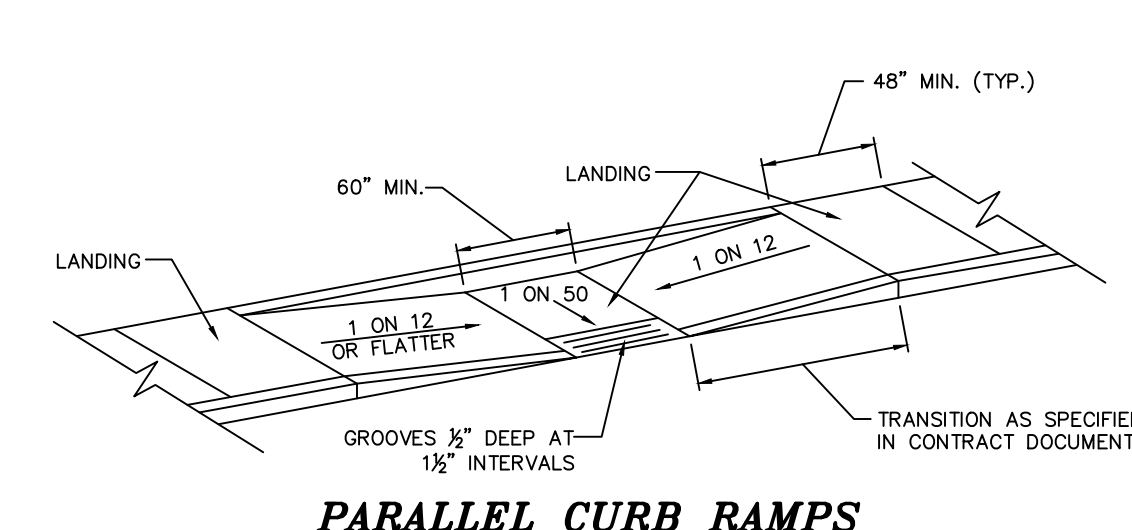
PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE

MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE

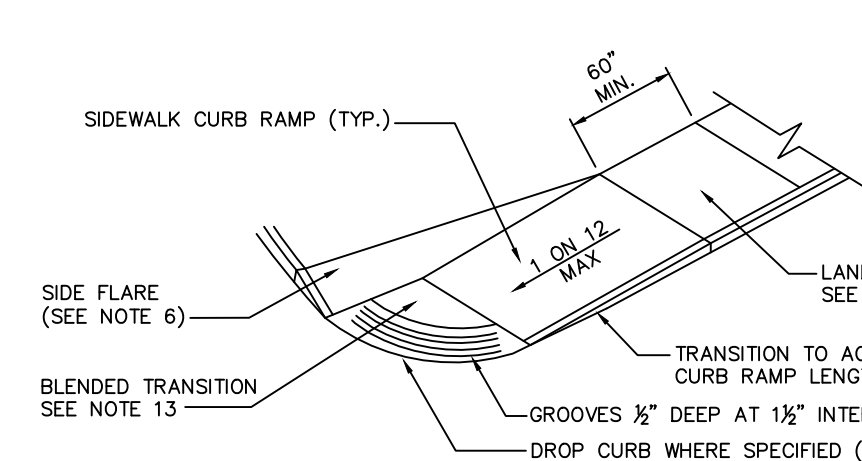


ADA AND TYPICAL PARKING SPACE STRIPING DETAIL
NOT TO SCALE

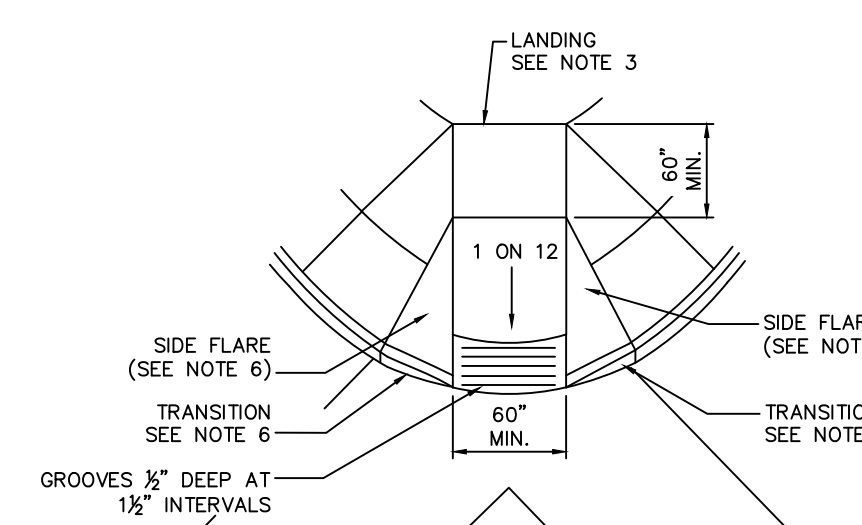
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



PARALLEL CURB RAMP
NOT TO SCALE

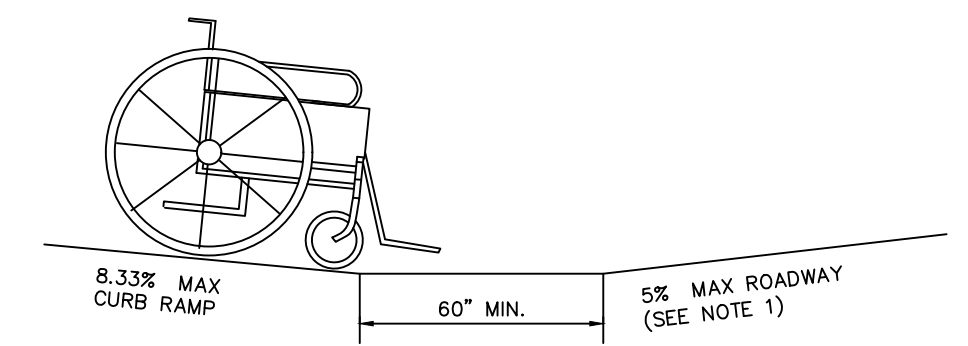


SIDEWALK CURB RAMP
NOT TO SCALE



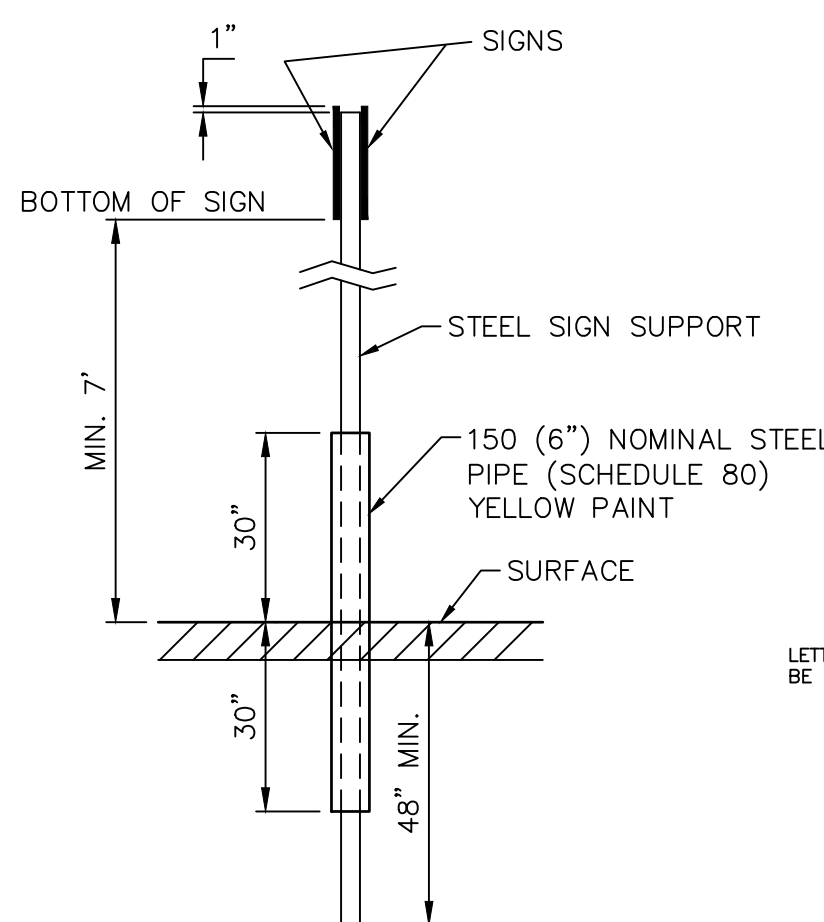
DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE

- GENERAL NOTES:
1. THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGN. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 2. THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 3. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OF A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 4. CROSS SLOPES: THE MAXIMUM CROSS SLOPE OF CURB RAMP SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 5. THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.33%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15'.
 6. CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE. THE SURFACE OF ALL CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
 7. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
 8. COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 9. WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED. THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
 10. AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMP (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 11. DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMP. DROPPED CURBS MAY BE SPECIFIED.
 12. SLOPES ON BLENDING TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.

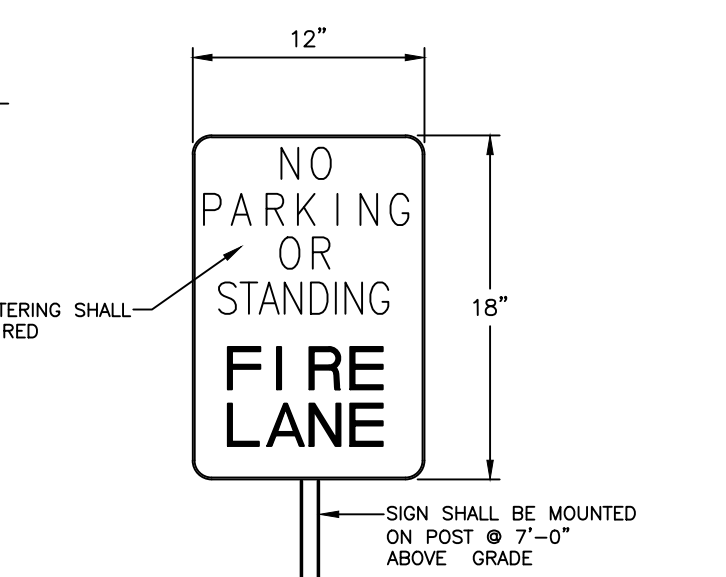


NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1'-50" MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

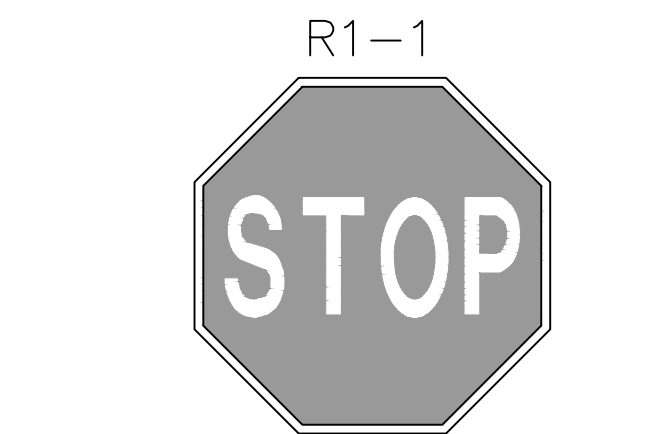
COUNTER SLOPE CONDITIONS CURB RAMP DETAILS
NOT TO SCALE



POST BASE DETAIL
NOT TO SCALE



FIRE LANE SIGN
NOT TO SCALE



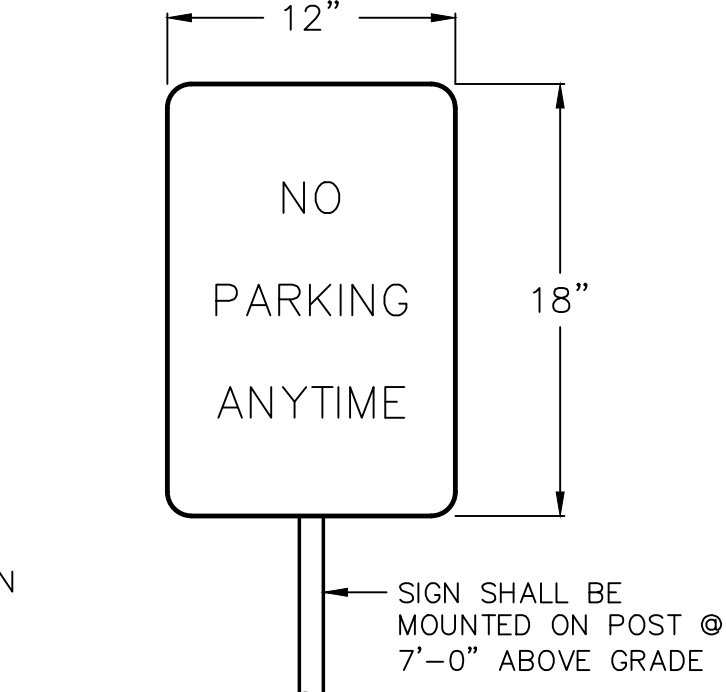
REGULATORY SIGNS



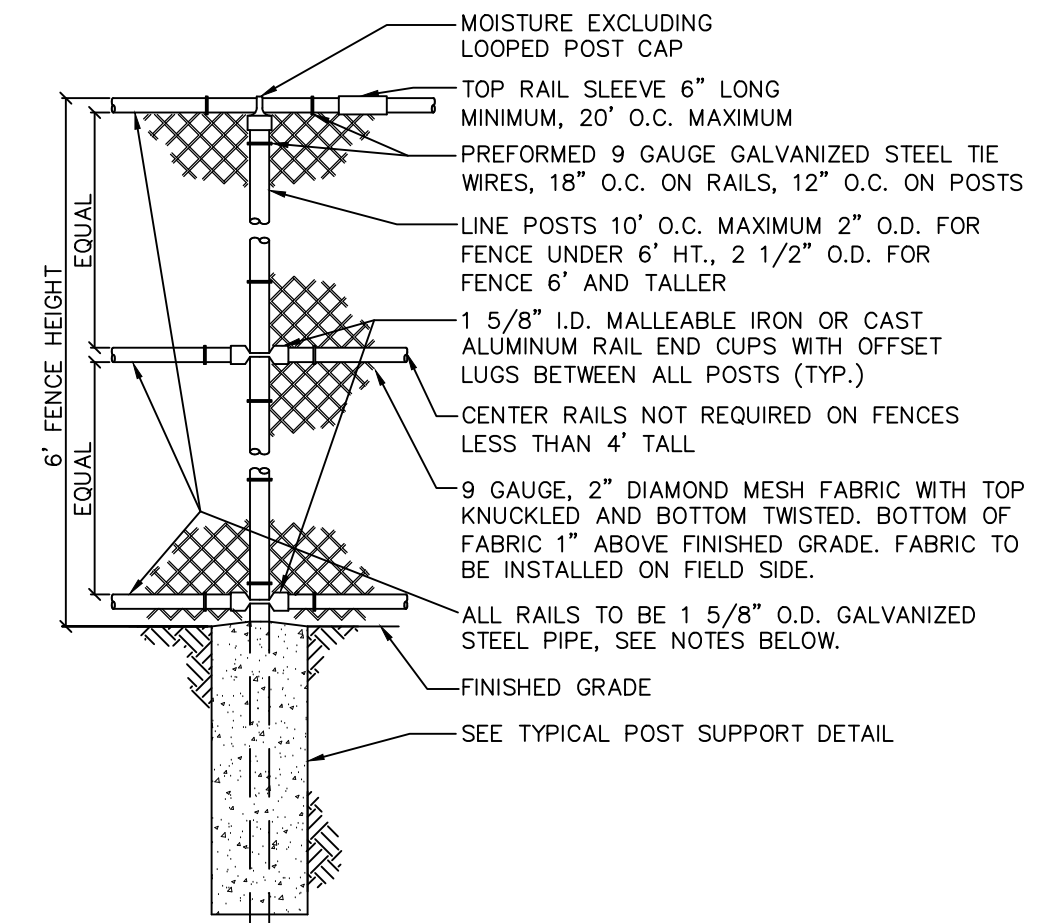
NYS COMPLIANT ACCESSIBILITY SYMBOL



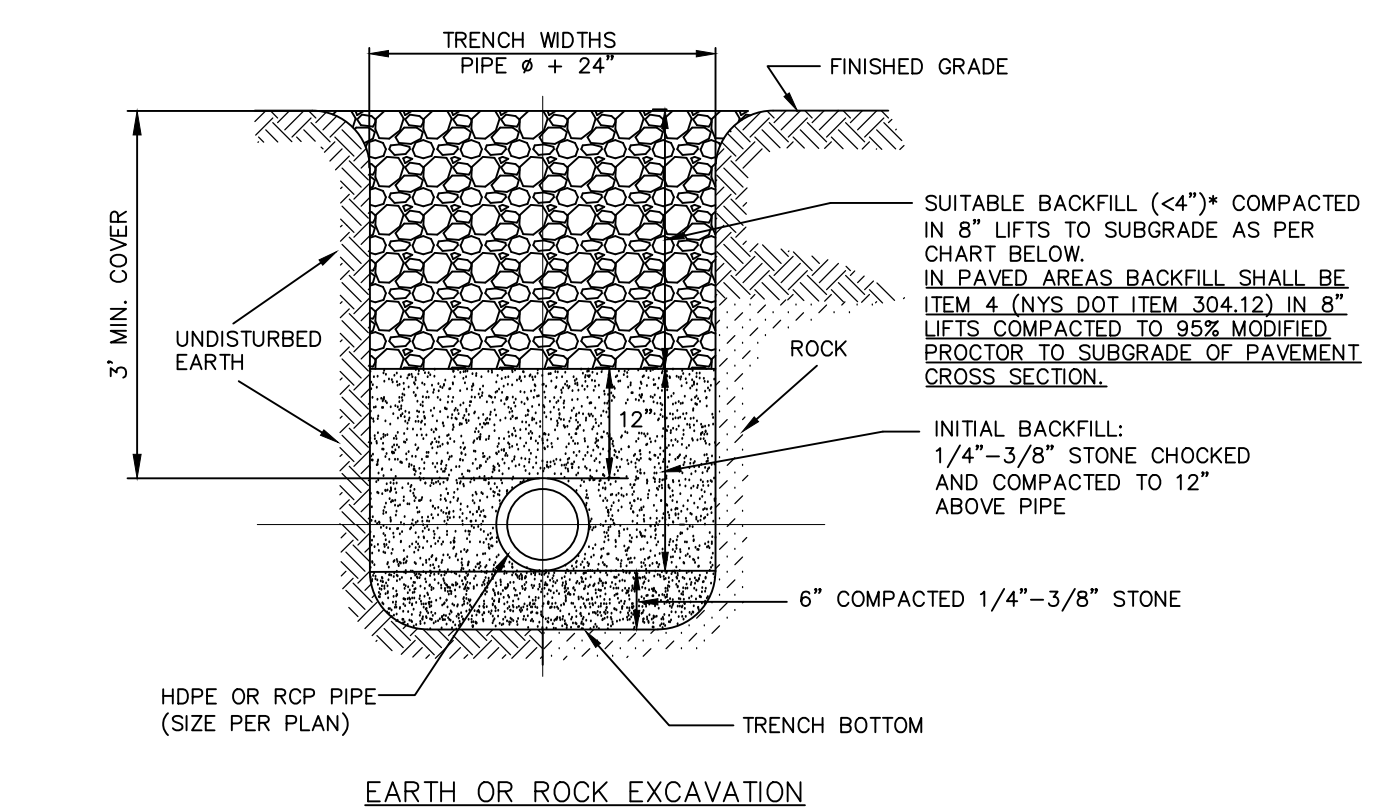
HANDICAP SIGN
NOT TO SCALE



NO PARKING SIGN
NOT TO SCALE



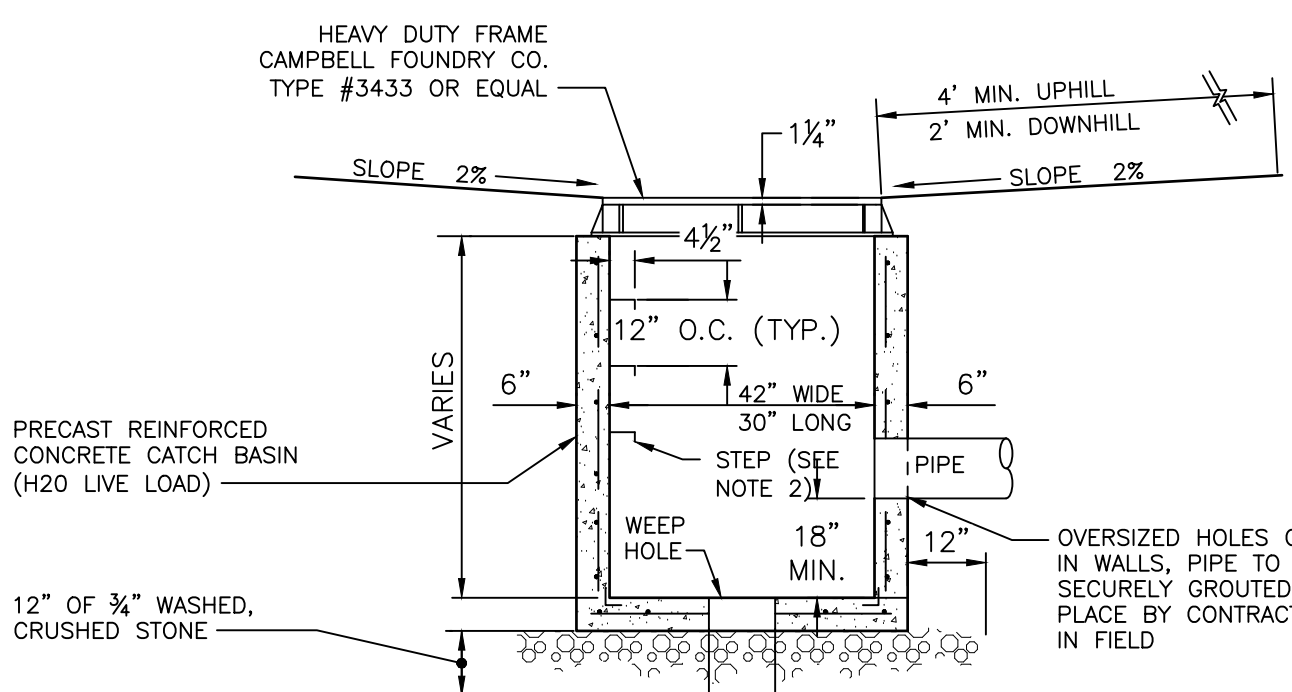
CHAIN LINK FENCE DETAIL
NOT TO SCALE



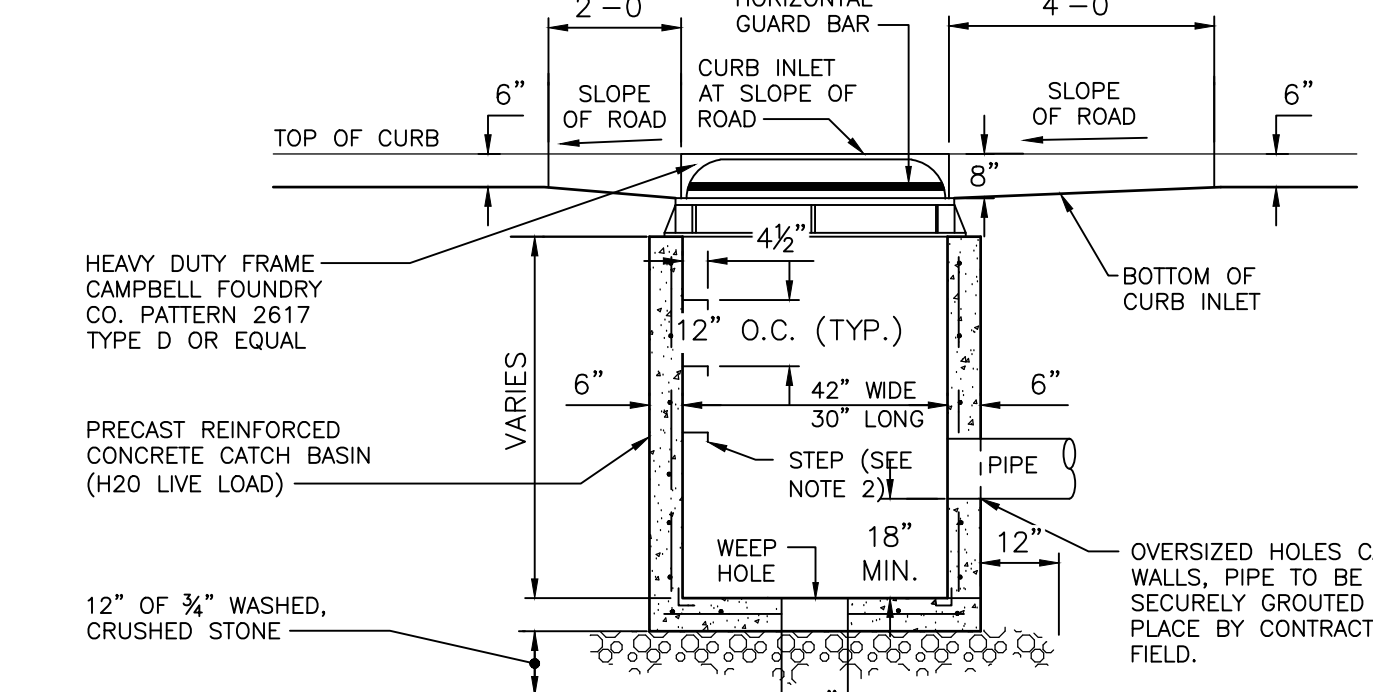
ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW OR SW SP	57	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED. * BACKFILL SHALL CONTAIN NO STONES OVER 4" IN ANY DIMENSION.

STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE



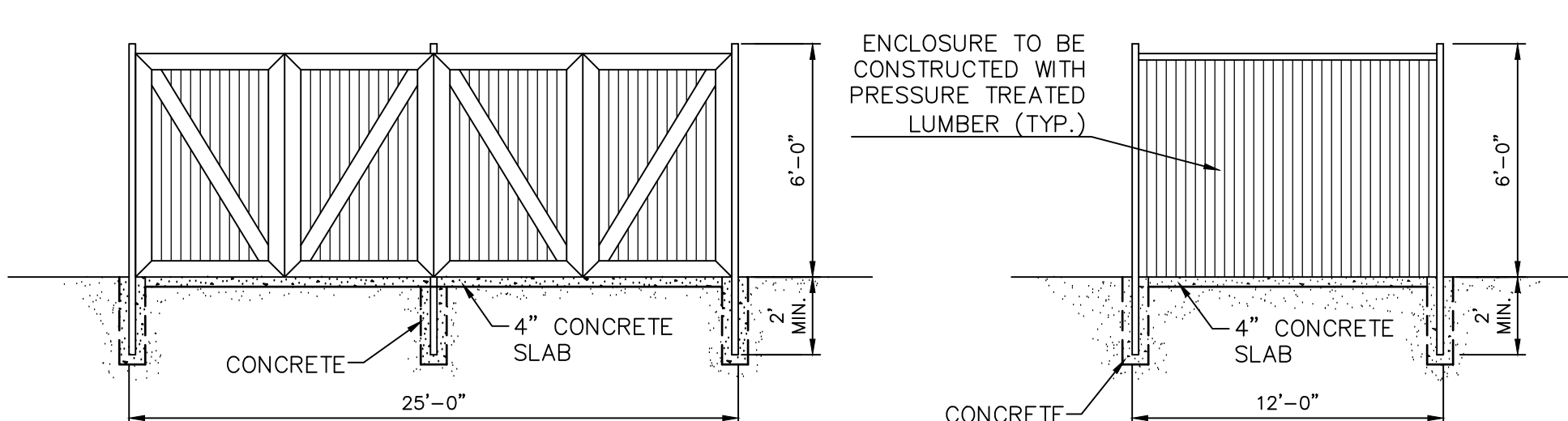
FLAT TOP CATCH BASIN



CURB TOP CATCH BASIN

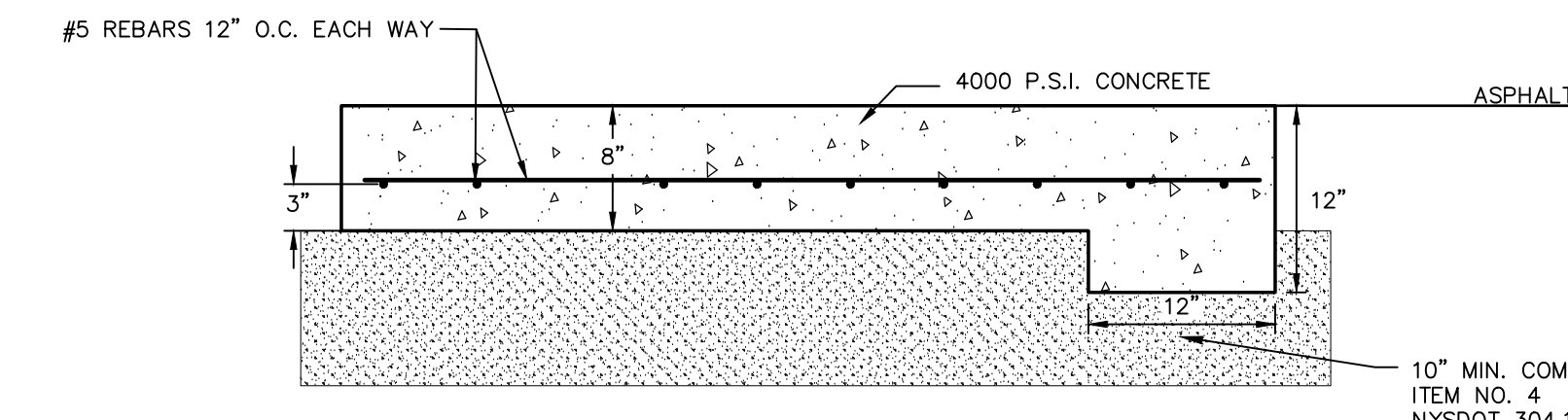
CATCH BASINS
NOT TO SCALE

- NOTES:
1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.



PICK UP ENTRANCE ENCLOSED SIDES

REFUSE STORAGE ENCLOSURE DETAIL
NOT TO SCALE



- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12" THICKNESS / 12" WIDE WHERE APRON ADJUNS ASPHALT.
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4000 PSI 5% AIR ENTRAINED.
 4. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL AND CONTRACTION JOINTS 1" DEEP SHALL BE PLACED. SEE CONCRETE APRON JOINT DETAIL FOR PLACEMENT.
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENNSYLVANIA SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL
NOT TO SCALE

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

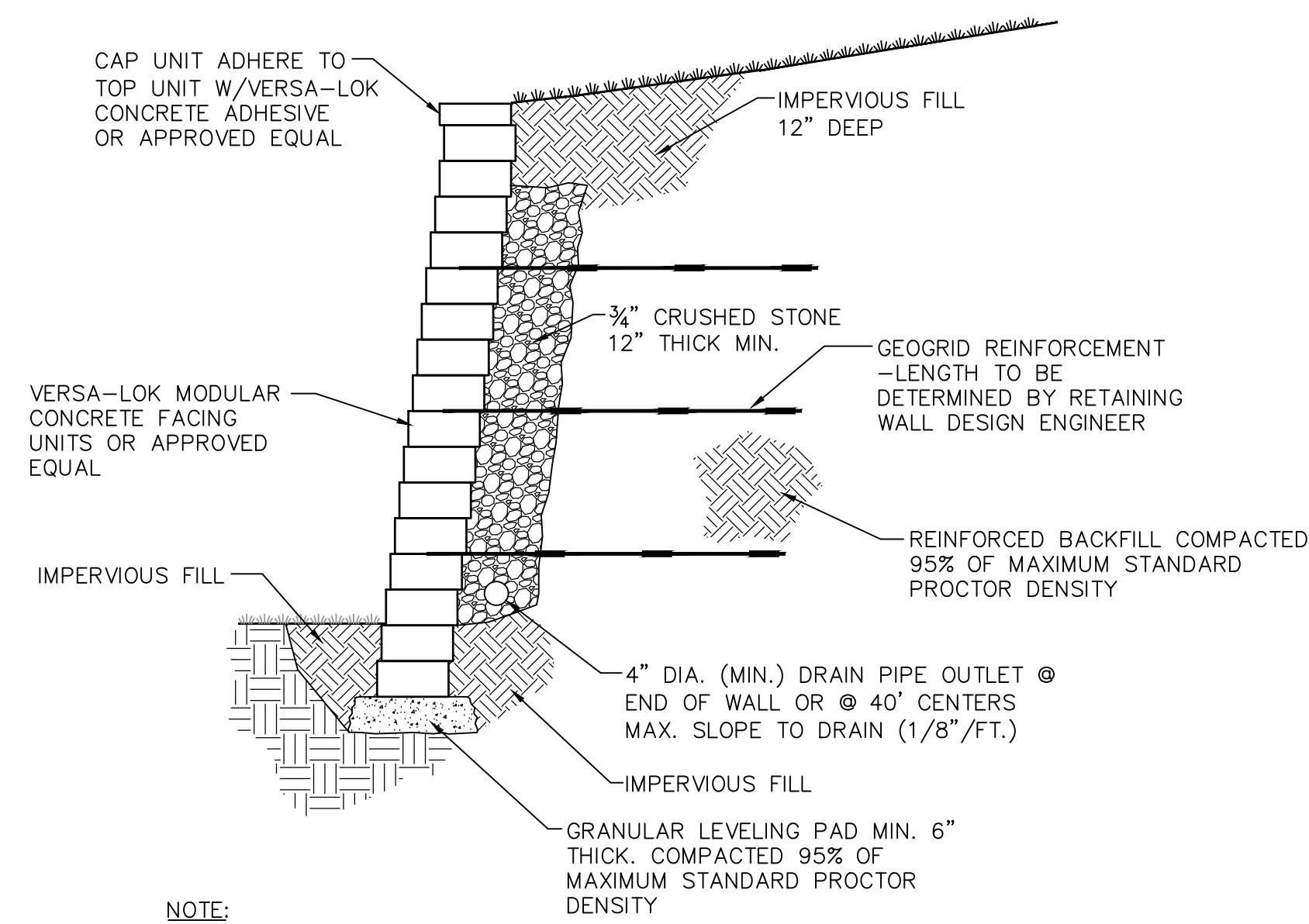
DATE: OCTOBER 28, 2023
REVISION: FEBRUARY 26, 2024
SEPTTEMBER 10, 2024
OCTOBER 28, 2023

CONSTRUCTION DETAILS 1
PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW
Checked By: N.T.S.
Scale: 3/4" = 1'-0"
Tax Map No.: 34-2-29.1
Drawing No.: C30
A-21-0047-01

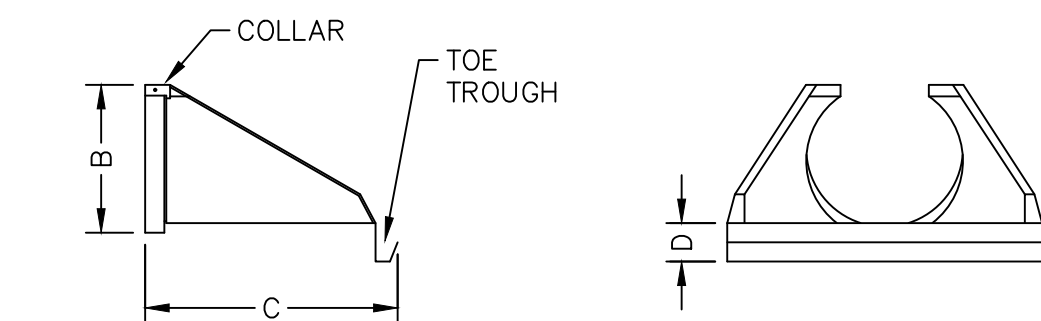


- NOTE:**
1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 2. CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

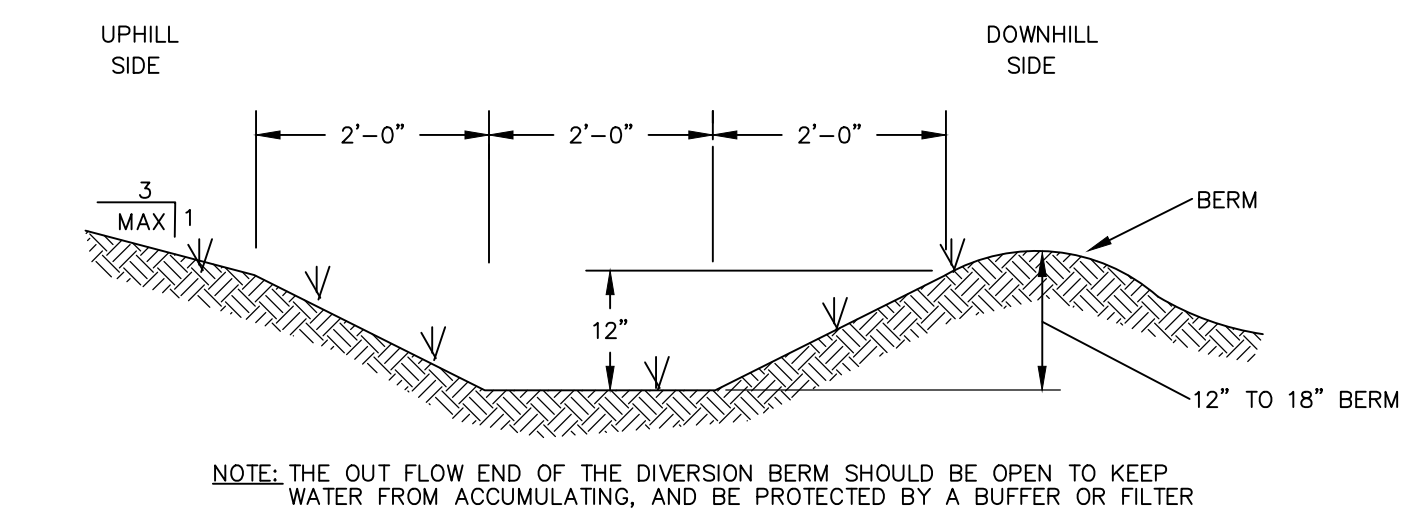
TYPICAL SECTION-REINFORCED RETAINING WALL
NOT TO SCALE

DIMENSION	PIPE DIAMETER					
	10/12	15	18	24	30	36
A	42	41	49	59.5	88	88
B	14.5	19	22	28	36	43
C	33	34	43	48	63.5	66.5
D	6	6	6	6	6	6

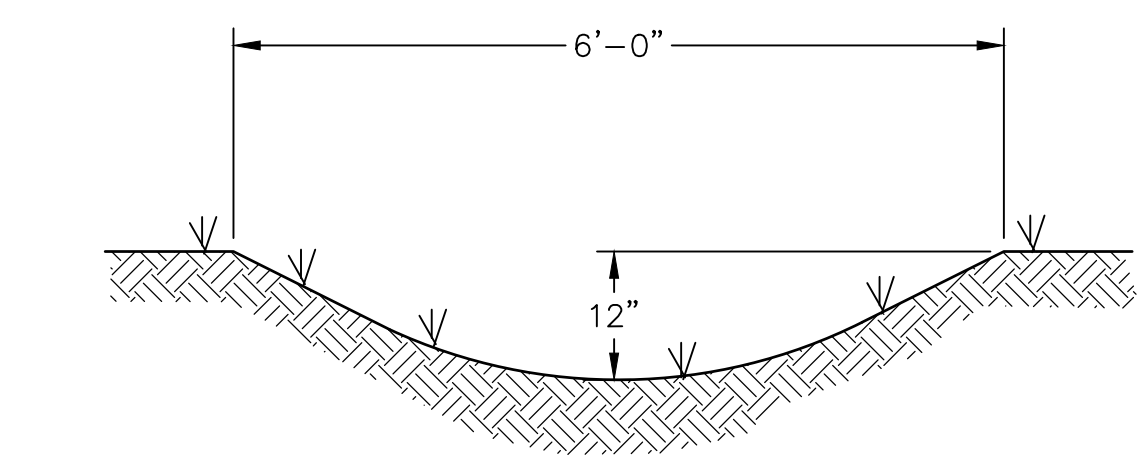
NOTE: ALL MEASUREMENTS IN INCHES



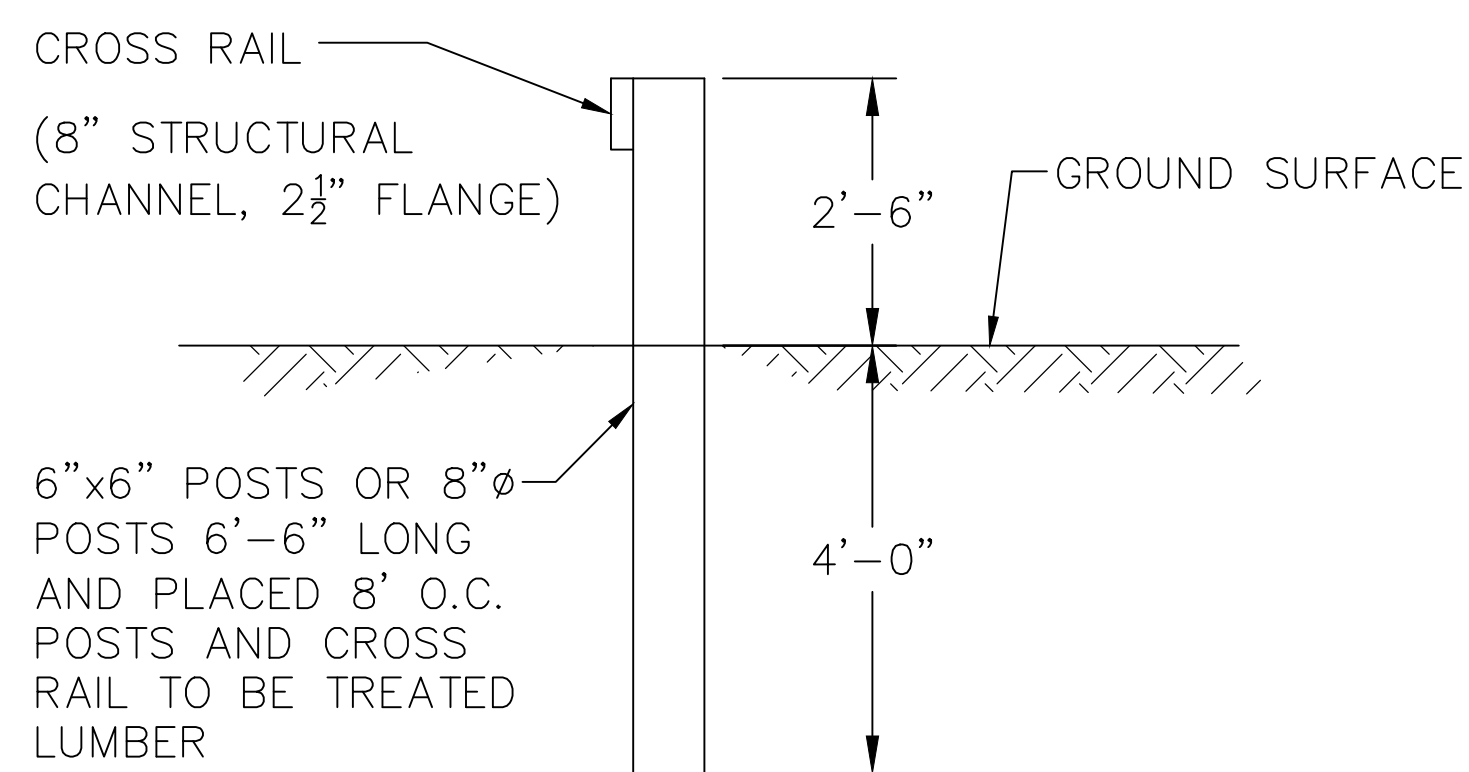
HDPE FLARED END SECTION
NOT TO SCALE



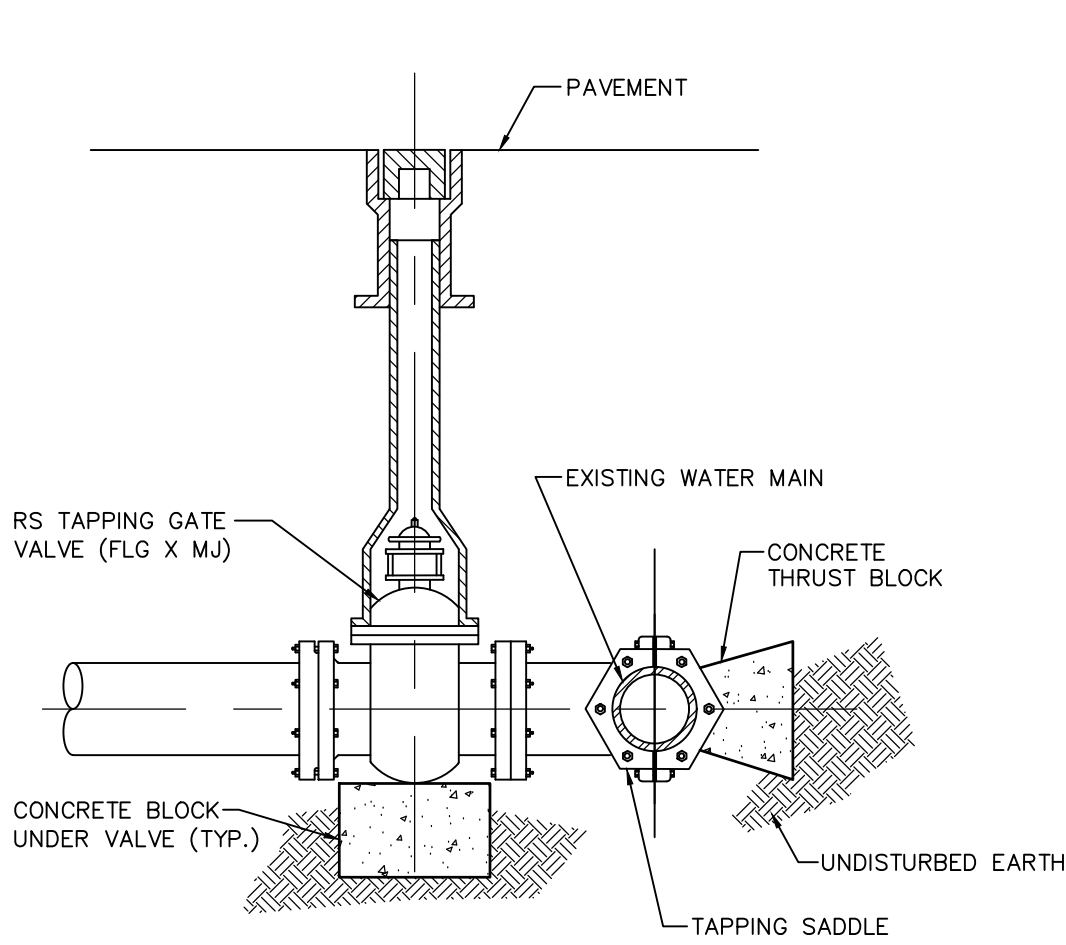
BERM WITH SWALE DETAIL
NOT TO SCALE



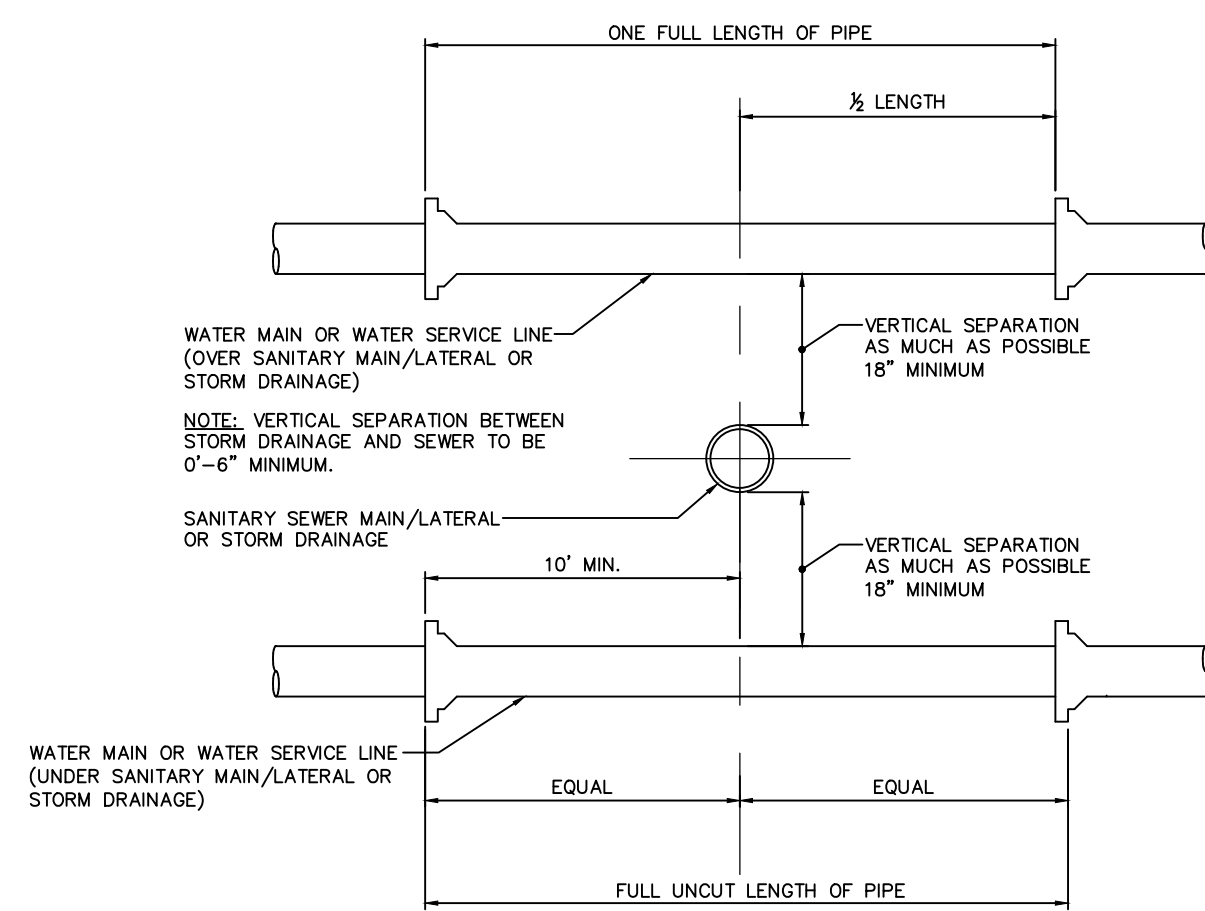
SWALE DETAIL
NOT TO SCALE



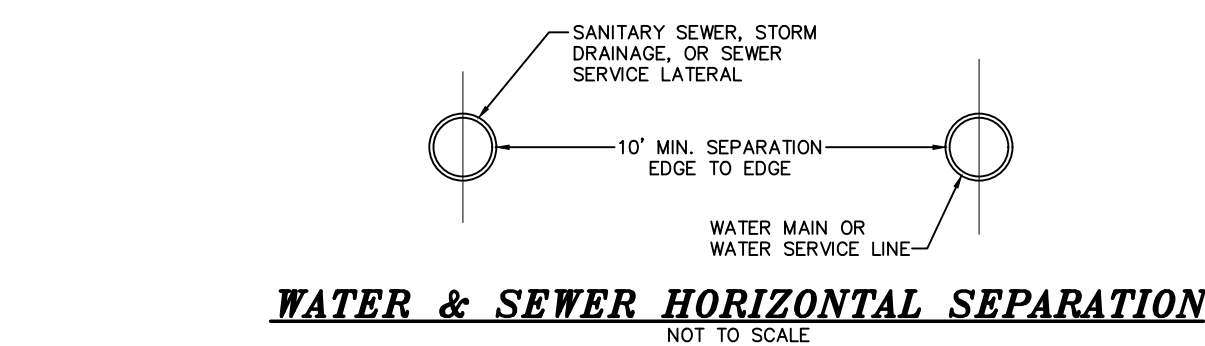
GUIDE RAIL DETAIL
NOT TO SCALE



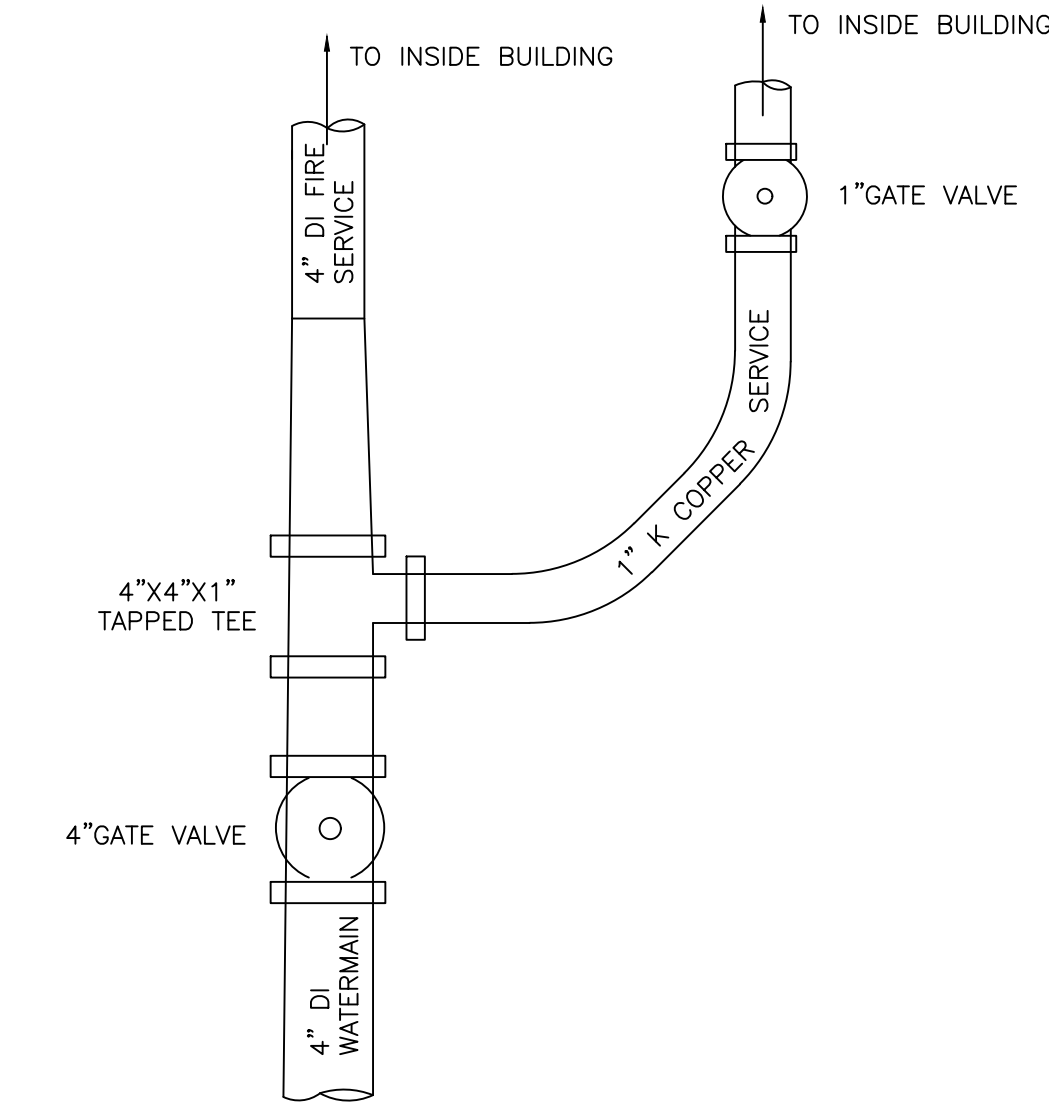
WET TAP DETAIL
NOT TO SCALE



WATER & SEWER CROSSING DETAIL
NOT TO SCALE



WATER & SEWER HORIZONTAL SEPARATION
NOT TO SCALE

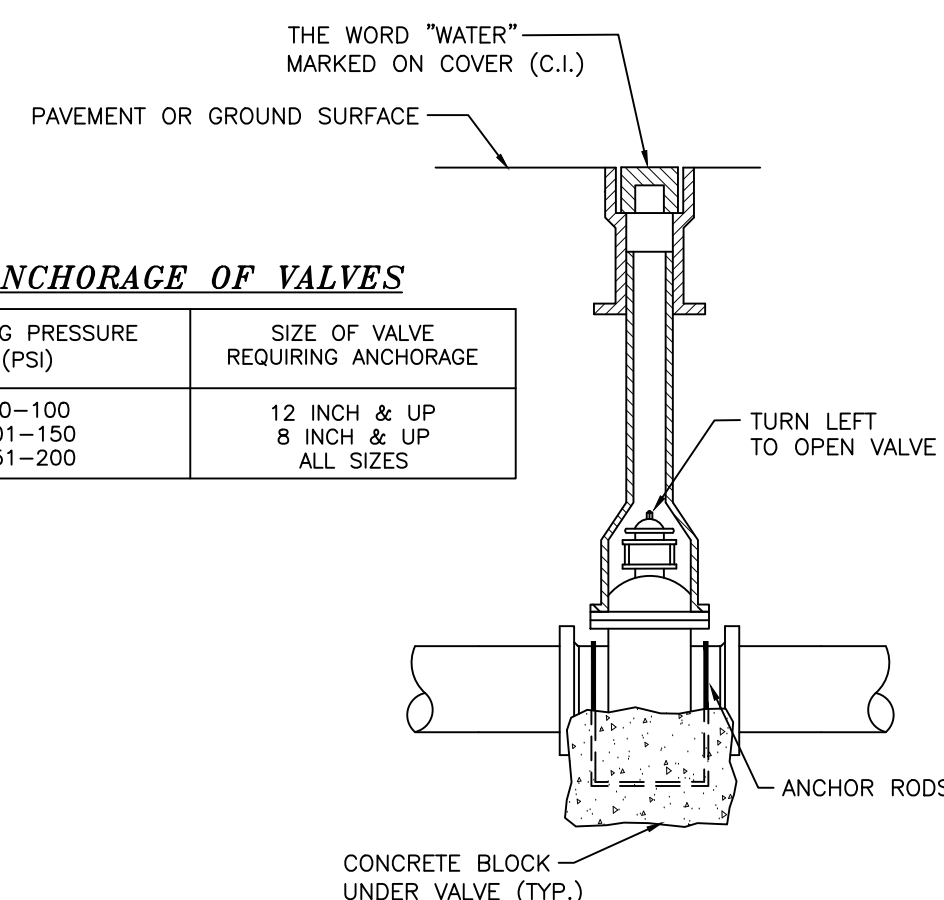


BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

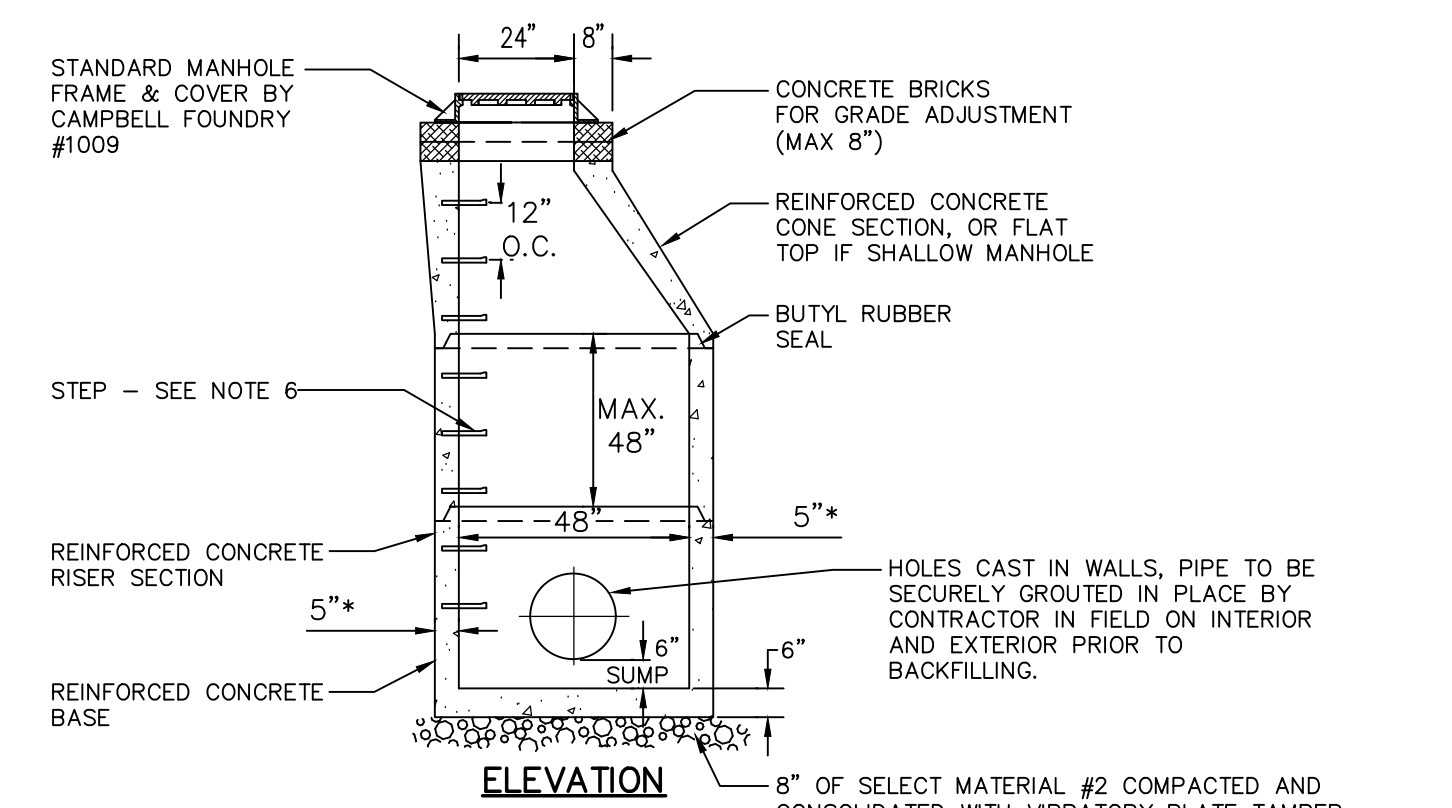
1. TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
2. VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.
3. PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
4. OPENING FOR PIPE SHALL BE PRE-CAST.
5. MANHOLE COVERS TO BE STAMPED "STORM".
6. PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H2O LEVEL LOAD.
7. WALL THICKNESS TO BE 8" IF MANHOLE HEIGHT EXCEEDS 9'.
8. STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
9. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
10. BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

ANCHORAGE OF VALVES

WORKING PRESSURE (PSI)	SIZE OF VALVE REQUIRING ANCHORAGE
50-100	12 INCH & UP
101-150	8 INCH & UP
151-200	ALL SIZES



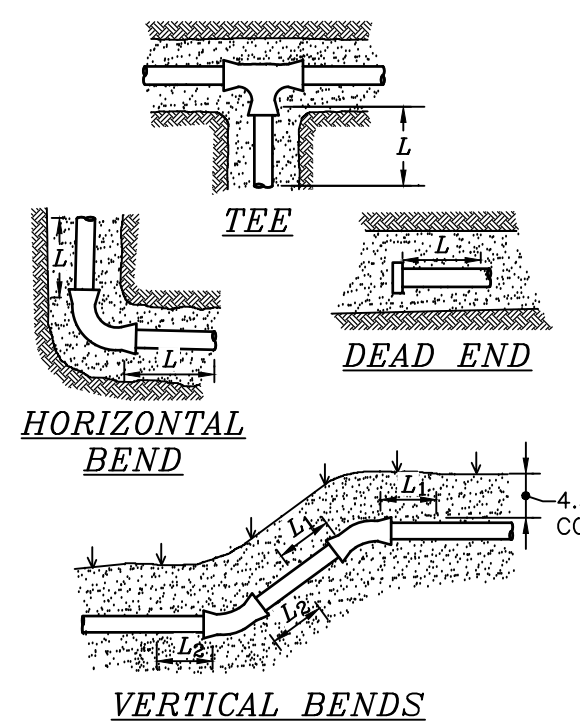
VALVE DETAIL
NOT TO SCALE



- NOTES:**
1. PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
 2. OPENING FOR PIPE SHALL BE PRE-CAST.
 3. MANHOLE COVERS TO BE STAMPED "STORM".
 4. PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H2O LEVEL LOAD.
 5. WALL THICKNESS TO BE 8" IF MANHOLE HEIGHT EXCEEDS 9'.
 6. STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 7. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 8. BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.
 9. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
 10. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
 11. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE, AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

PRE-CAST DRAINAGE MANHOLE
NOT TO SCALE

- NOTE:**
LENGTH OF RESTRAINED JOINTS BASED UPON:
- a. 4.5" MINIMUM COVER
 - b. TEST PRESSURE = 150 PSI
 - c. TYPE 5 TRENCH
 - d. 1.5 TO 1 SAFETY FACTOR



RESTRAINED JOINT DETAILS
NOT TO SCALE

FITTING	MINIMUM LENGTH REQUIRED IN L.F.	
	DUCTILE IRON	C900 PVC
TEES & DEAD ENDS	6"	22
	8"	29
	10"	34
	12"	40
	14"	46
	16"	52
90° BEND	6"	10
	8"	12
	10"	15
	12"	17
	14"	20
	16"	22
45° BEND	6"	4
	8"	5
	10"	6
	12"	7
	14"	8
	16"	9
22 1/2° BEND	6"	2
	8"	3
	10"	4
	12"	4
	14"	4
	16"	5
VERTICAL BENDS	L_1	L_2
	6"	9
	8"	12
	10"	14
	12"	17
	14"	19
16"	22	

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 28, 2023

CONSTRUCTION DETAILS 2
PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW Checked By: Scale: N.T.S. Tax Map No.: 34-2-29.1 Drawing No.: A-21-0047-01

MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE CORNERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 80x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER; 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 40 LB-IN/IN. THE ARCH IS DEFINED IN SECTION 6.2.8 OF ASTM F2418 AND D) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES ABOVE 73° F / 23° C, CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL, BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.55 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

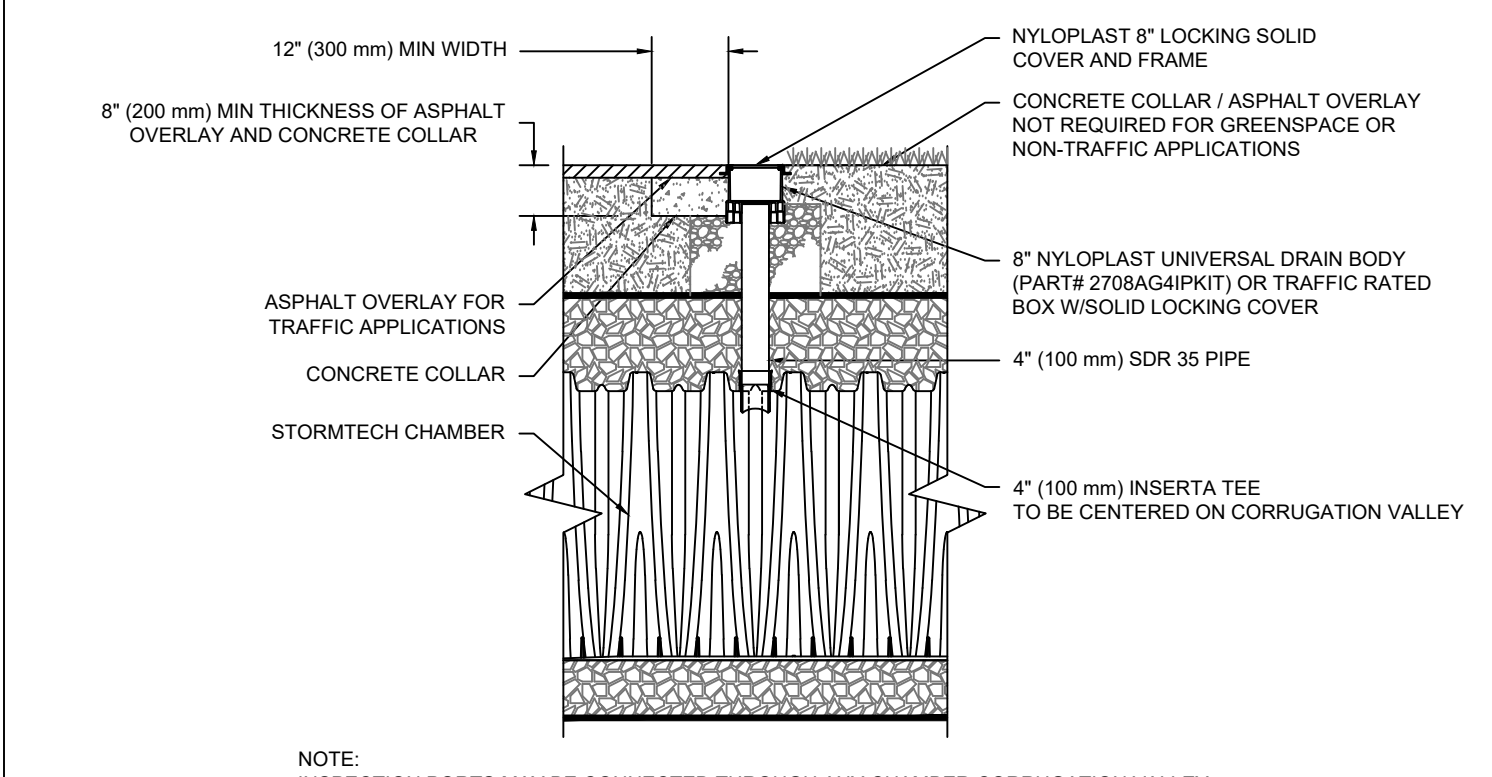
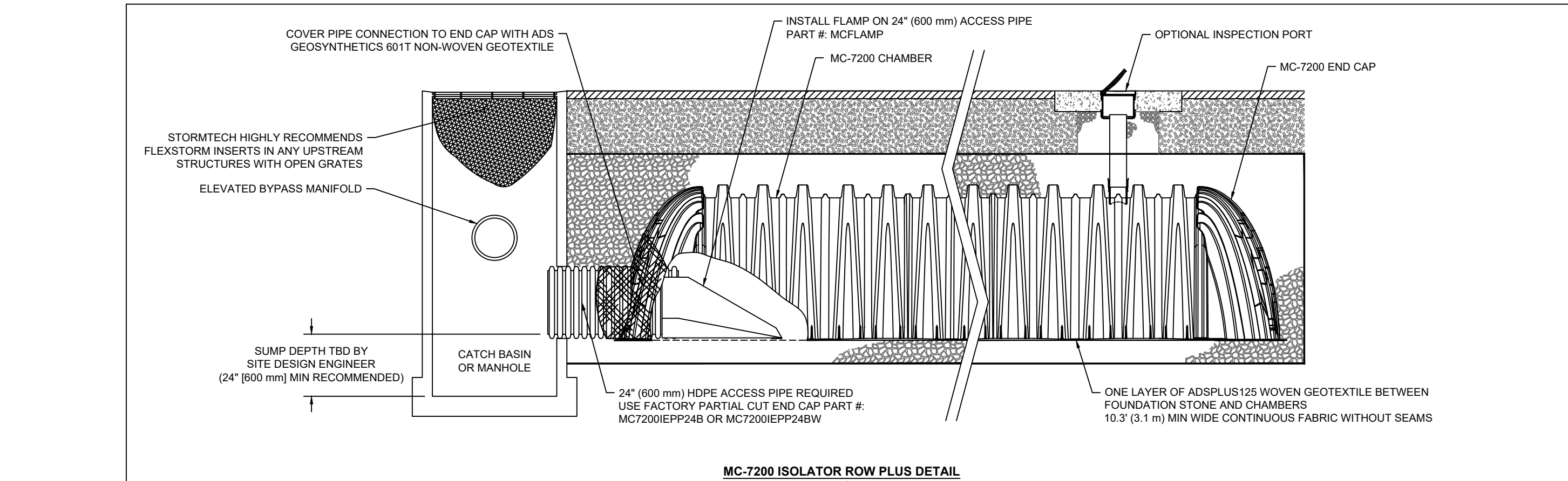
- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONE SHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE. THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M35 DESIGNATION OF #3 OR #4.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE SETTING SHOULD NEVER BE MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXISTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER-TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-852-2964 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



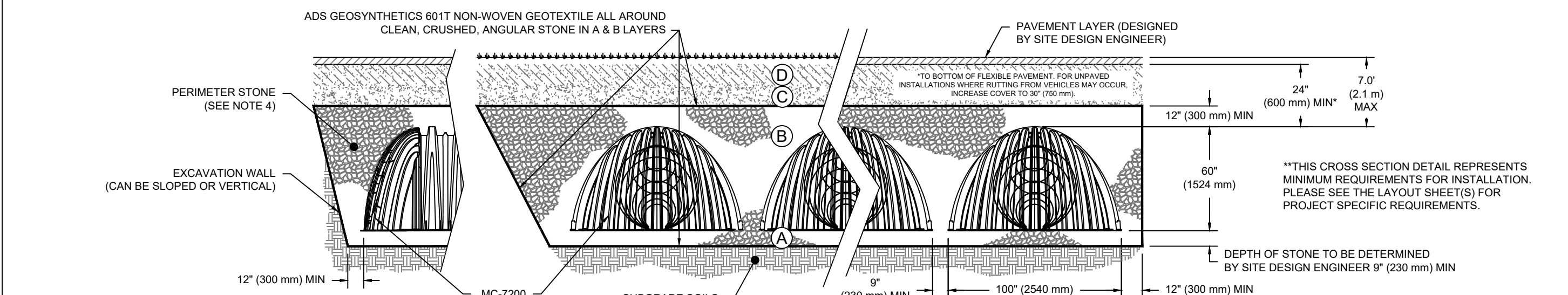
- ### INSPECTION & MAINTENANCE
- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXISTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CURLETT CLEANING NOZZLE WITH REAR FACING SPREAD OF 40" (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

- ### NOTES
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 - CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

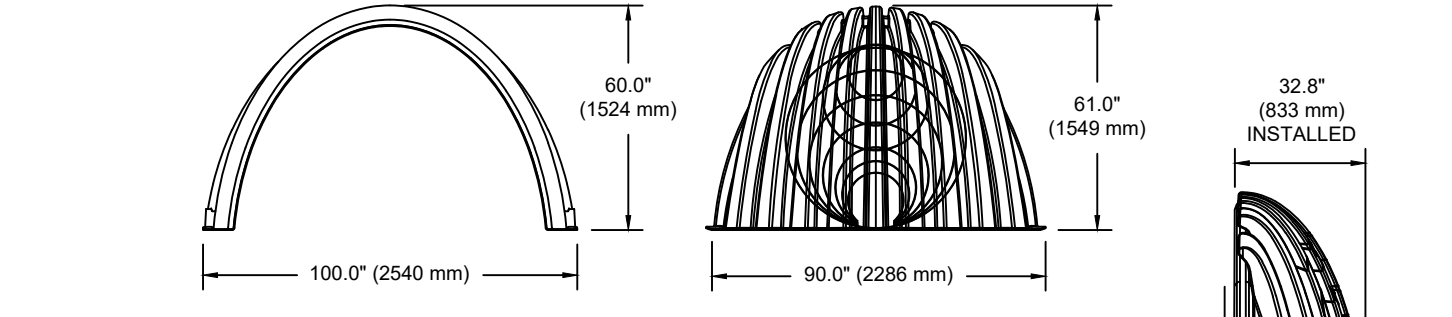
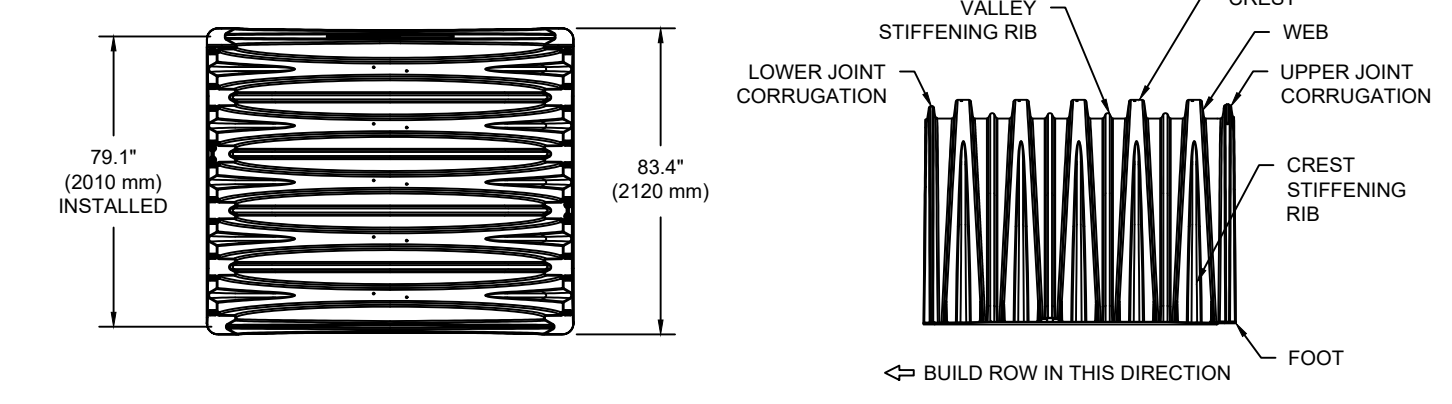
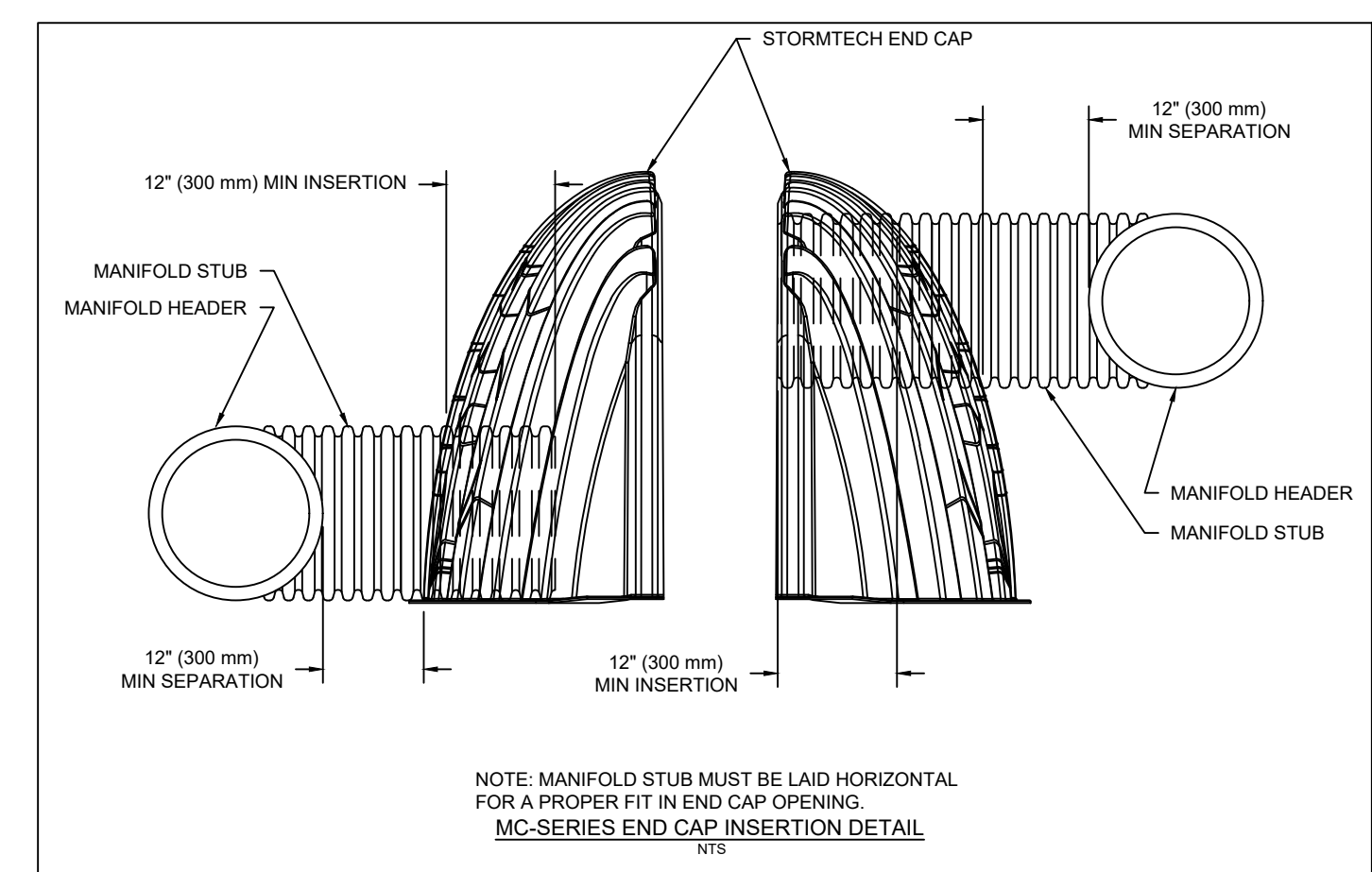
ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M41#1 A-1, A-2, A-3 OR AASHTO M43#1 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 6, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43#1 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43#1 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{5,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE NEUTRAL SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



- ### NOTES:
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 80x101.
 - MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBSP/IN².
 - AND D) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES ABOVE 73° F / 23° C, CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)

CHAMBER STORAGE

MINIMUM INSTALLED STORAGE*

WEIGHT (NOMINAL)

100.0" X 60.0" X 79.1" (2540 mm X 1524 mm X 2010 mm)

175.9 CUBIC FEET (4.98 m³)

267.3 CUBIC FEET (7.56 m³)

205 lbs.

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)

END CAP STORAGE

MINIMUM INSTALLED STORAGE*

WEIGHT (NOMINAL)

90.0" X 61.0" X 32.8" (2286 mm X 1549 mm X 833 mm)

39.5 CUBIC FEET (1.12 m³)

115.3 CUBIC FEET (3.26 m³)

90 lbs.

PART #	STUB	B	C
MC7200EPP08T	6" (150 mm)	42.54" (1081 mm)	0.89" (22 mm)
MC7200EPP08B	6" (150 mm)	40.50" (1029 mm)	---
MC7200EPP08T	8" (200 mm)	38.37" (975 mm)	1.01" (26 mm)
MC7200EPP08B	8" (200 mm)	36.33" (923 mm)	1.33" (34 mm)
MC7200EPP10T	10" (250 mm)	35.69" (907 mm)	1.59" (39 mm)
MC7200EPP10B	10" (250 mm)	32.72" (831 mm)	---
MC7200EPP12T	12" (300 mm)	29.86" (748 mm)	---
MC7200EPP12B	12" (300 mm)	28.37" (720 mm)	1.97" (50 mm)
MC7200EPP18T	18" (450 mm)	23.05" (585 mm)	---
MC7200EPP18B	18" (450 mm)	21.00" (533 mm)	---
MC7200EPP24T	24" (600 mm)	---	2.26" (57 mm)
MC7200EPP24B	24" (600 mm)	---	2.26" (57 mm)
MC7200EPP28B	30" (750 mm)	---	3.25" (83 mm)
MC7200EPP36B	36" (900 mm)	---	3.55" (90 mm)
MC7200EPP42B	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 3
PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

DATE: OCTOBER 28, 2023

REVISION: FEBRUARY 26, 2024
SEPTEMBER 10, 2024
OCTOBER 28, 2023

CAD FILE: 210047-ENG.DWG

LAYOUT: DETAIL 3

SHEET NO.: 21 OF 22

Drawn By: LJM

Checked By: JQ

Scale: N.T.S.

Tax Map No.: 34 - 2 - 29.1

Drawing No.: C30

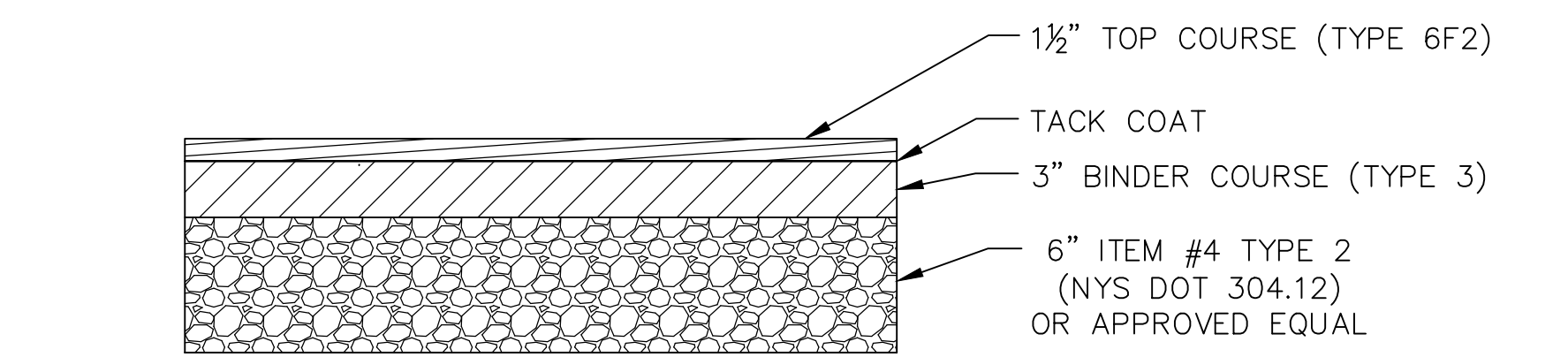
A- 21 - 0047 - 01

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

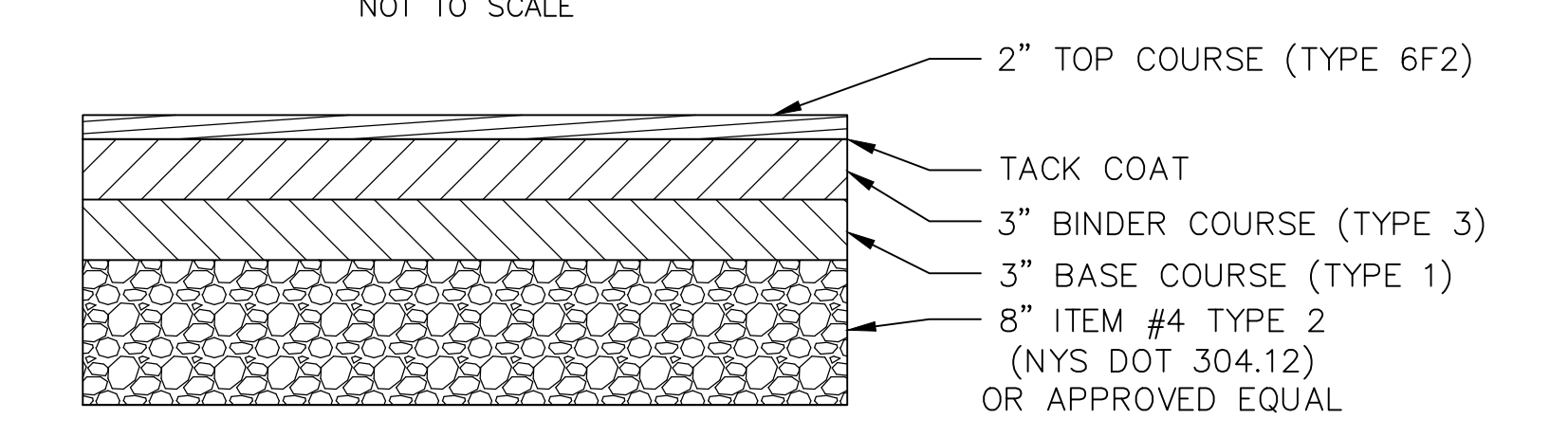
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

Call 811
before you dig

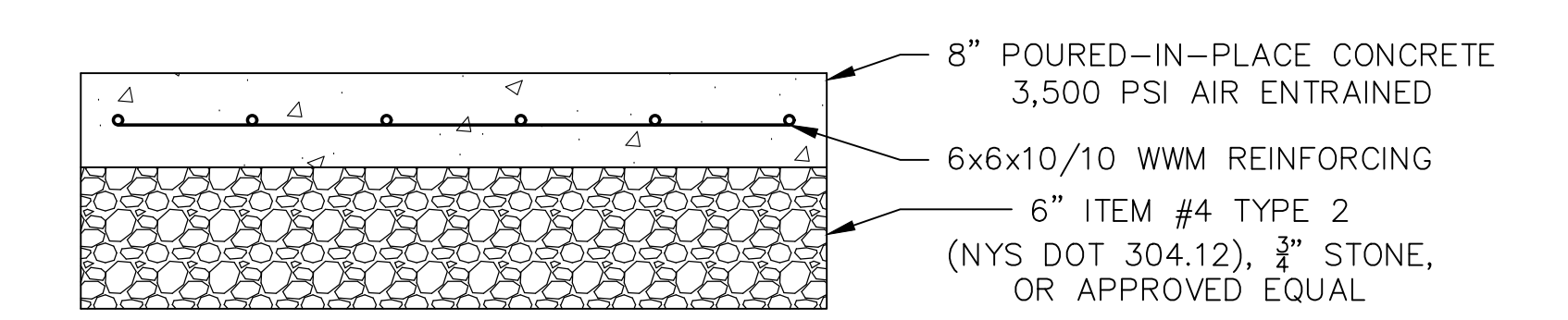
Dig Safely. New York



PAVEMENT SECTION 1
PASSENGER CAR PARKING AREAS
NOT TO SCALE



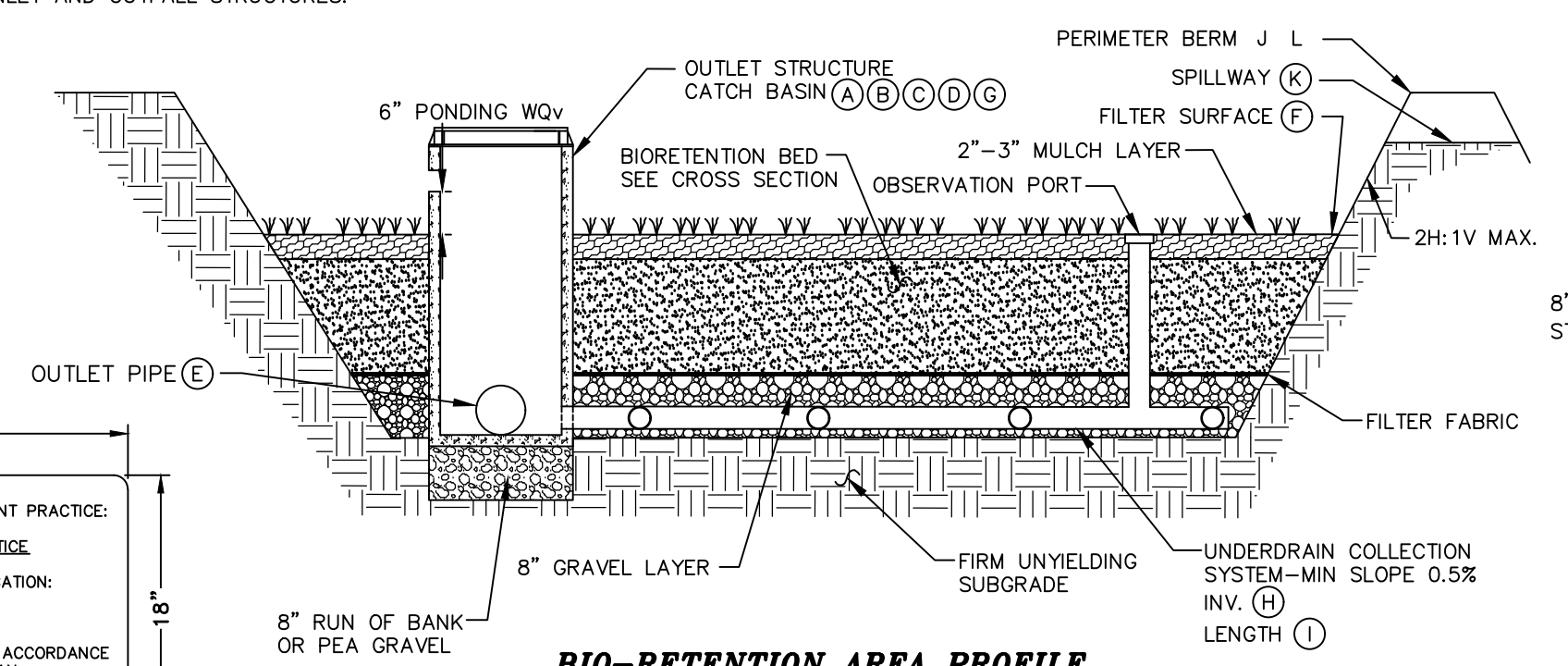
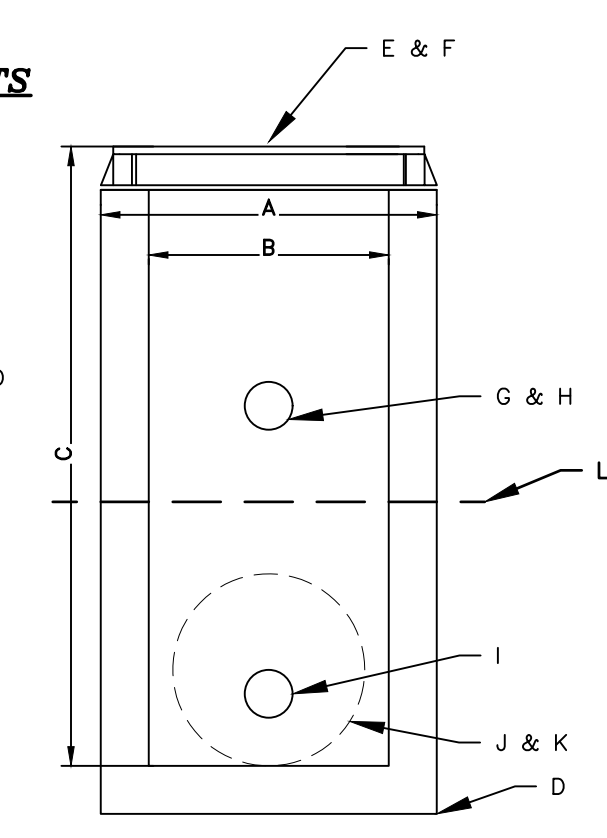
PAVEMENT SECTION 2
HEAVY DUTY TRUCK TRAFFIC AREAS
NOT TO SCALE



PAVEMENT SECTION 3
HEAVY DUTY CONCRETE PAVING
(DOLLY PADS)
NOT TO SCALE

BIO-RETENTION AREA MAINTENANCE REQUIREMENTS

- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE FACILITY OWNER AND THE LOCAL REVIEW AUTHORITY TO ENSURE THE FOLLOWING-THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:
- SEDIMENTATION CHAMBER
 1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE SEDIMENTATION CHAMBER WHENEVER ACCUMULATED SEDIMENT EXCEEDS A DEPTH OF 6 INCHES.
 2. VEGETATION WITHIN THE SEDIMENTATION CHAMBER SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
 3. SEDIMENTATION CHAMBER OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN GRANDDOWN TIME EXCEEDS 36 HOURS.
 4. TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
 - FILTER BED
 1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT EXCEEDS A DEPTH OF 1 INCH.
 2. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E. LANDFILL).
 3. ORGANIC FILTERS OR SURFACE FILTERS THAT HAVE A GRASS COVER SHOULD BE MOVED A MINIMUM OF THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN 12 INCHES.
 4. ANNUAL MOWING (LATE WINTER) OF THE BASIN TO AN APPROPRIATE HEIGHT FOR THE PLANTINGS, TRIMMING AND PRUNING OF BUSHES.
 5. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
 6. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.

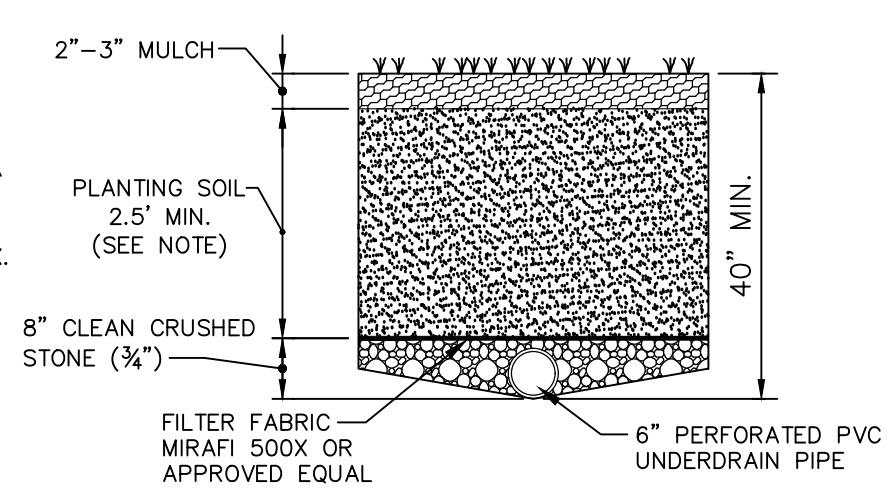


BIO-RETENTION AREA PROFILE

BIO-RETENTION BASIN SEED MIX

SEED MIXTURE	VARIETY	RATE lbs./ACRE	RATE No./1,000 sq ft
SWITCHGRASS	SHELTER, PATHFINDER, TRAILBLAZER, OR BLACKWELL	4	0.10
BIG BLUESTEM	WAGAH	4	0.10
LITTLE BLUESTEM	ALGUNS OR CAMPER	2	0.05
INDIANGRASS	BUNSEY	4	0.10
COSTAL PANDBASS	ATLANTIC	2	0.05
ORIEDATA GRAMA	EL RING OR TRAILWAY	2	0.05
MULCH-LINED WQV		0.50	0.01

NOTE: SEED MIX PROVIDED ABOVE WAS TAKEN FROM THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, NOVEMBER 2016, TABLE 4.4 (PAGE 4.44) "PERMANENT CONSTRUCTION AREA PLANTING MIXTURE RECOMMENDATIONS" SEED MIX #3



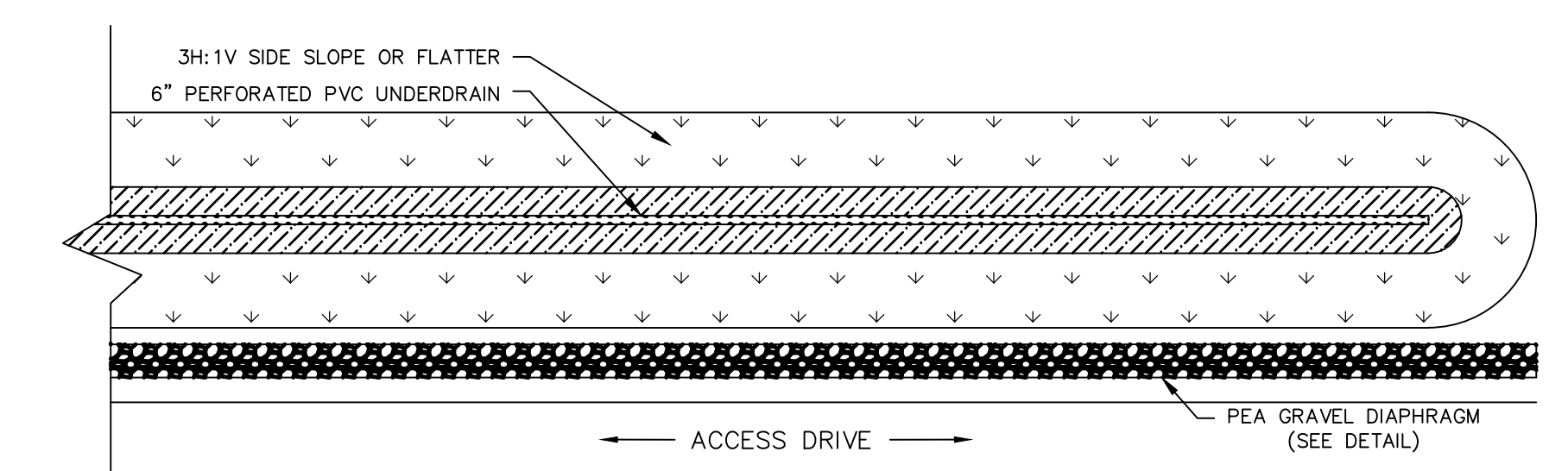
BIO-RETENTION AREA CROSS SECTION

BIO-RETENTION AREA SOIL NOTES

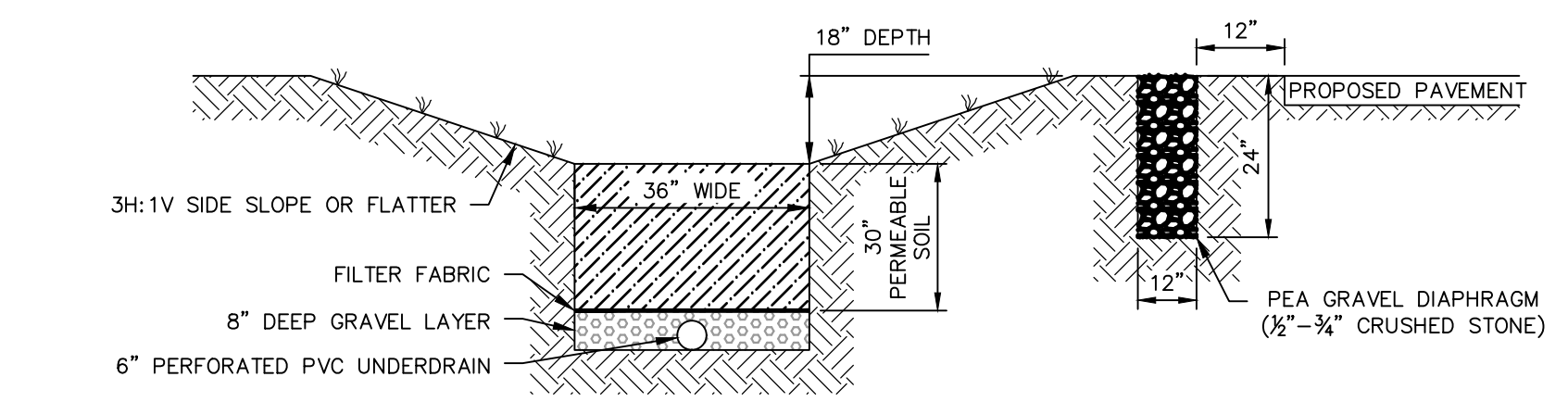
BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYSDOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL).

BIO-RETENTION AREA INSPECTION REQUIREMENTS

INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER.



PLAN VIEW



SECTION

DRY SWALE DETAIL
NOT TO SCALE

SMP SIGN DETAIL

NOT TO SCALE

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



COPYRIGHT 2021, LANC & TULLY, P.C.

<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	Date: OCTOBER 28, 2023
		<p>CONSTRUCTION DETAILS 4 PREPARED FOR</p>
<p>MKJ PARK, LLC</p> <p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		<p>Revision: FEBRUARY 26, 2024 SEPTEMBER 10, 2024 OCTOBER 28, 2023</p>
		<p>CD: PJC 210047-ENG.DWG Layout: DETAIL 4 Sheet No.: 22 OF 22 Drawing No.: C30 A-21-0047-01</p>
<p>Drawn By: LJM Checked By: JQ Scale: N.T.S. Tax Map No.: 34-2-29.1</p>		