



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)  
MATTHEW J. SICKLER, P.E. (NY & PA)  
PATRICK J. HINES

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: mheny@mhepc.com

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: MEADOW HILL ROAD EXPANSION (GOLDEN VISTA)**  
**PROJECT NO.: 2016-07**  
**PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1 & 9.2**  
**REVIEW DATE: 16 AUGUST 2016**  
**MEETING DATE: 18 AUGUST 2016**  
**PROJECT REPRESENTATIVE: JCM ENGINEERING**

1. City of Newburgh Flow Acceptance letter must be received prior to the Planning Board taking action on the project.
2. Orange County Health Department approval for the expansion of the potable water system with hydrants is required.
3. The Town Board has amended the approval to allow 21 of the units to be Senior Housing.
4. Revised landscaping and stormwater costs estimates should be submitted, such that they can be reviewed in a timely manner upon receipt of conditional final approval.
5. Lot consolidation must occur prior to filing of the maps.
6. The Applicants representative are requested to review the grading of the emergency access road to Maggie Road. Topography underlying the existing roadway does not reflect the proposed grading. Topography at the existing roadway is approximately 530 while a 524 grade line is depicted. Coordination of this proposed and existing topography should be performed to assure emergency vehicles can access the roadway.
7. The Planning Boards attention is called to the fact that the revised plans call for a modification raising the finished floor elevations on the site approximately 2.5 feet +/- to account for grade changes which will eliminate the need to transport excess material from the site.

8. The Planning Board should evaluate the grading along the property frontage versus the proposed landscaping. The change in grade may impact the amount of landscaping the Planning Board wished to see at the site.
9. During the Public Hearing a neighbor across from the site access road discussed lighting impacts from cars exiting the driveway on those residential parcels. It was discussed with the Applicant and their representatives that landscaping would be provided along Meadow Hill Road in that vicinity. This does not appear to be addressed in the landscaping plan and should be discussed by the Applicant.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

PJH/kbw

# AMENDED SITE PLAN APPROVAL DRAWINGS MEADOW HILL ROAD EXPANSION

TAX MAP SECTION 60 | BLOCK 1 | LOT 9.1, 9.2

## MEADOW HILL ROAD TOWN OF NEWBURGH, NEW YORK

JOHN MEYER CONSULTING DRAWINGS:

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS PLAN
- SP-3 LOT CONSOLIDATION PLAN
- SP-4 LAYOUT PLAN
- SP-5 GRADING PLAN
- SP-6 UTILITIES PLAN
- SP-7 EROSION & SEDIMENT CONTROL PLAN
- SP-8 LANDSCAPING PLAN
- SP-9 LIGHTING PLAN
- SP-10 ROAD PROFILE
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 CONSTRUCTION DETAILS
- SP-16 SANITARY SEWER PROFILES
- SP-17 STORM SEWER PROFILES
- SP-18 STORM SEWER PROFILES
- SP-19 WATER MAIN PROFILE
- SP-20 FIRE TRUCK-TURNING PLAN

**OWNER / APPLICANT:**

DRA MEADOW HILL, LLC  
P.O. BOX 467  
HIGHLAND MILLS NY 10930

**ATTORNEY:**

JACOBOWITZ AND GUBITS, LLP  
158 ORANGE AVE, P.O. BOX 367  
WALDEN, NY 12586  
TEL: (845) 778-2121

**SITE PLANNER, CIVIL & TRAFFIC  
ENGINEER & LANDSCAPE ARCHITECTS:**

**JMC** 120 BEDFORD ROAD  
ARMONK, NEW YORK 10504  
(914) 273-5225

**SURVEYOR:**

MASER CONSULTING P.A.  
SUITE 1  
ONE CROSSFIELD AVE  
WEST NYACK, NEW YORK 10994  
TEL: (845) 727-1160

**ARCHITECT:**

MINNO & WASKO ARCHITECTS  
AND PLANNERS  
GATEWAY CENTER,  
1 RAYMOND PLAZA W #210,  
NEWARK, NJ 07102  
TEL: (973) 735-6695

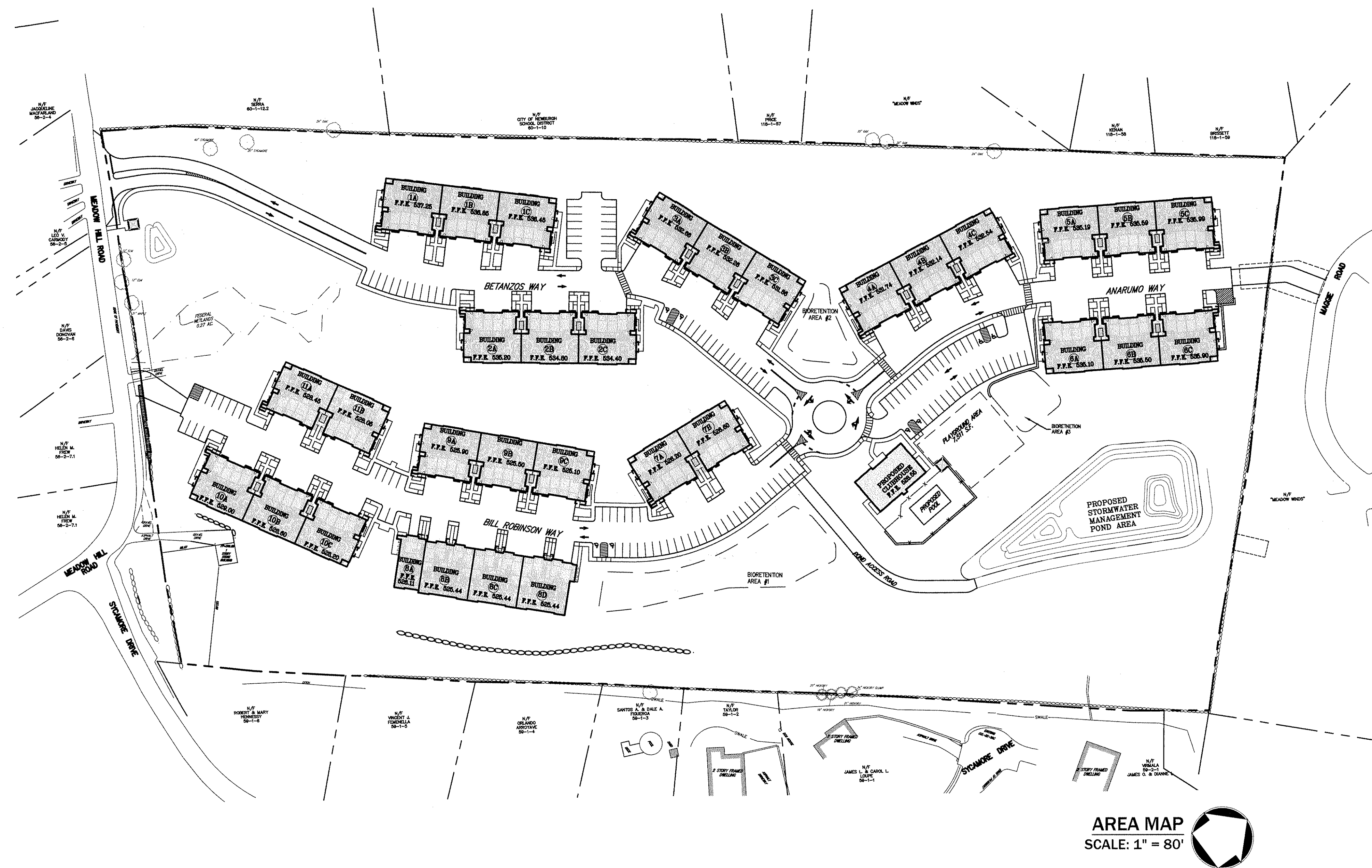


TABLE OF LAND USE			
ZONING DISTRICT	PERMITTED/REQUIRED	APPROVED	EXPANSION
LOT AREA (AC./S.F.)	10.00 AC./435,600 S.F.	18.25 AC./795,042 S.F.	20.82 AC./906,919 S.F. (+ 2.57 AC./112,158 S.F.)
LOT WIDTH (FT.)	300	666	666
LOT DEPTH (FT.)	300	1,413	1,413
FRONT YARD (FT.)	40	322	43
REAR YARD (FT.)	50	51	51
1 SIDE YARD (FT.)	50/60	50/60	51
NUMBER OF UNITS (9 UNITS PER ACRE)	-	181	185
REAR TO ADJACENT BUILDING (FT.)	75	92	82
SIDE TO SIDE OF ADJACENT BUILDING (FT.)	33	40	39
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1 BEDROOM 600 2 BEDROOM 800	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.
SENIOR UNIT HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1,000 MAX SEC 185.48 B (4)	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.
LOT BUILDING COVERAGE (%)	35	14.2	14.6
BUILDING HEIGHT (FT.)	35	35	35
LOT SURFACE COVERAGE (%)	60	33	31
STANDARD PARKING 2 SP/UNIT	322/370	329	380
HANDICAP PARKING	0	2	8
TOTAL PARKING	322/370	331	388

**NOTES:**

- BASE DENSITY CALCULATIONS**  
 BASE DENSITY = 6 DWELLING UNITS PER ACRE  
 SENIOR HOUSING DEVELOPMENT DENSITY = 9 DWELLING UNITS PER ACRE  
 1/3 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE GAINED DUE TO THE SENIOR HOUSING DEVELOPMENT PROVISION.  
 1/3 OF THE TOTAL NUMBER OF UNITS GAINED MUST BE SENIOR HOUSING.  
 THEREFORE 1/3 OF THE TOTAL UNITS X 1/3 MUST BE SENIOR HOUSING = 1/9 OF THE TOTAL UNITS MUST BE SENIOR HOUSING OR 11%
- NET PARCEL AREA CALCULATIONS**  
 20.82 GROSS ACRES  
 0.27 ACRES OF FEDERAL WETLANDS  
 11% OF 0.27 IS SUBTRACTED AT A RATE OF 75% = (0.11)(0.27)(0.75) = 0.022 AC.  
 89% OF 0.27 IS SUBTRACTED AT A RATE OF 100% = (0.89)(0.27)(1.00) = 0.24 AC.  
 TOTAL AREA COVERED BY WETLANDS FOR NET AREA CALC = (0.022)+(0.24) = 0.262 AC.  
 THEREFORE: (20.82 AC - 0.262 AC) = 20.558 AC  
 20.558 AC X 9 UNITS = 185 UNITS PERMITTED

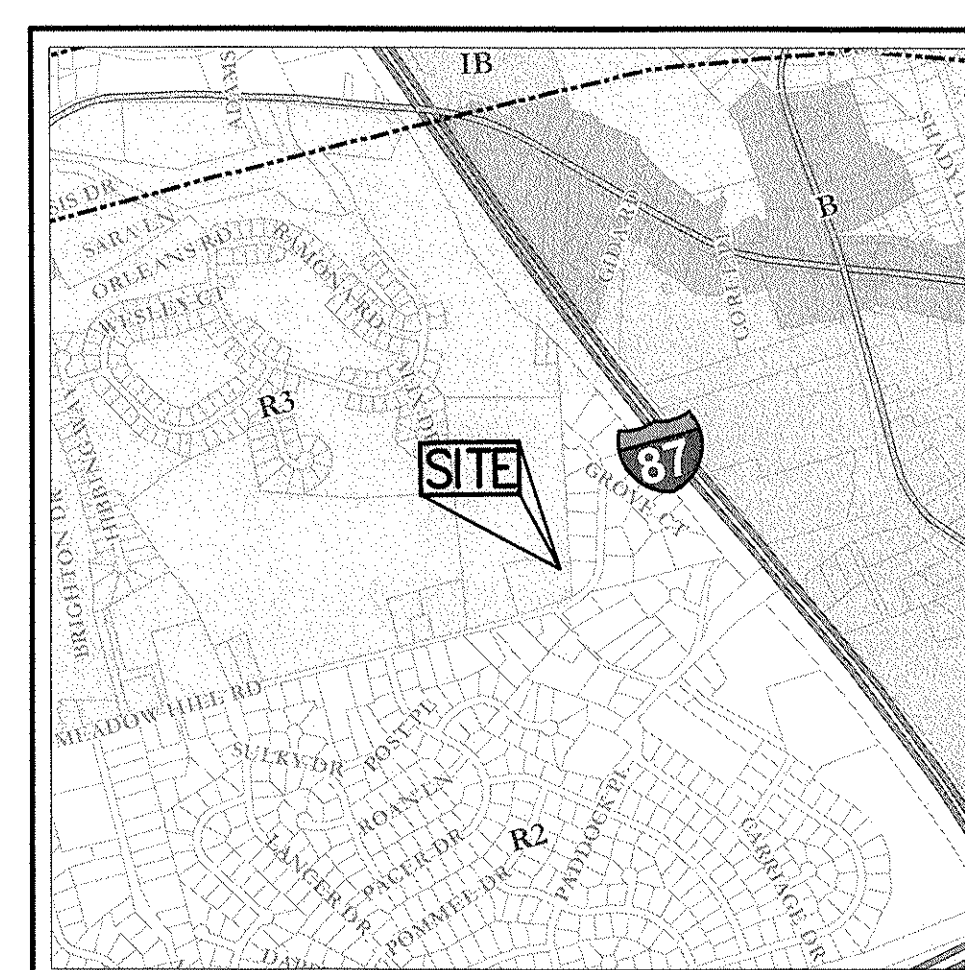
PARKING SUMMARY	
DESCRIPTION	PARKING PROVIDED
8-18 UNIT BUILDINGS	
DRIVEWAY PARKING (12 DRIVEWAY SPACES/BLDG)	96
GARAGE PARKING (12 GARAGES PARKING/BLDG)	96
2-10 UNIT BUILDINGS	
DRIVEWAY PARKING (8 DRIVEWAY SPACES/BLDG)	16
GARAGE PARKING (8 GARAGES PARKING/BLDG)	16
1-21 UNIT BUILDINGS	
DRIVEWAY SPACES/BLDG	13
GARAGES PARKING/BLDG	13
STANDARD SPACES	138
TOTAL SPACES	388

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209. SUBSECTION 6.

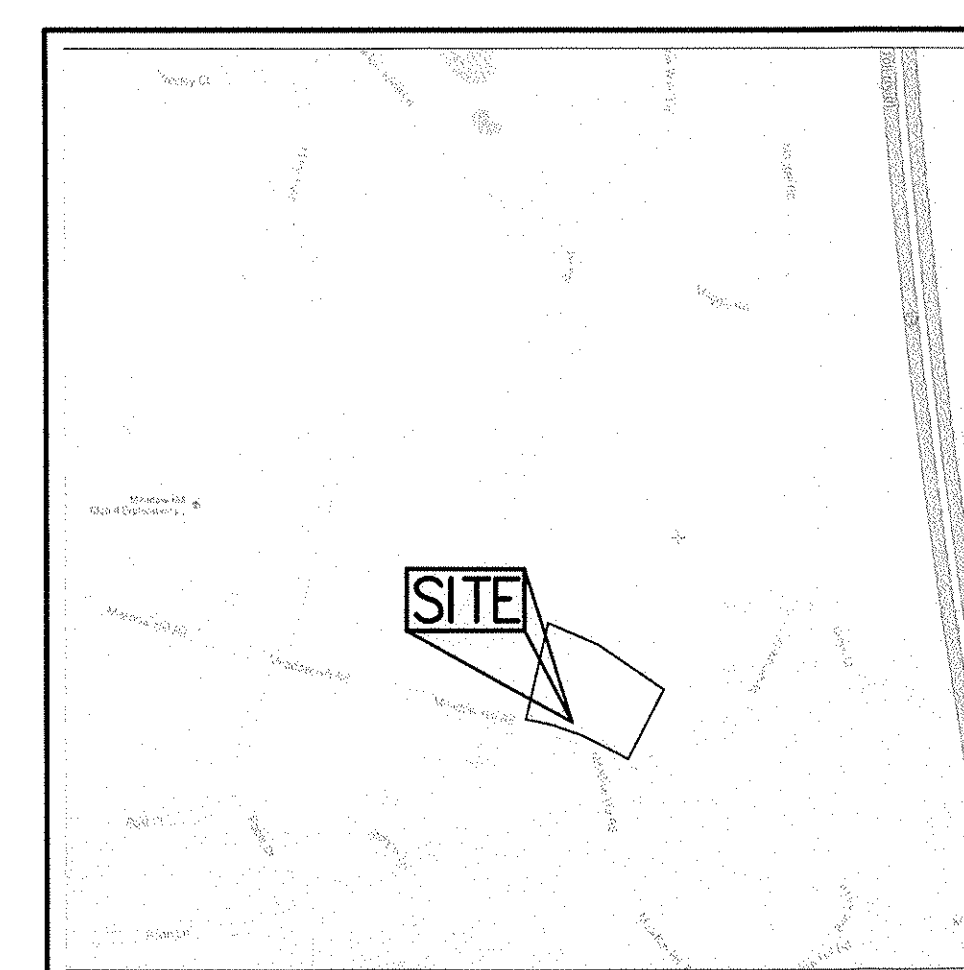
AUG 11 2016

**NOTES:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JOHN MEYER CONSULTING, PC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JOHN MEYER CONSULTING, PC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES. ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



**ZONING MAP**  
SCALE: 1" = 1,600'  
SOURCE: TITLE / YEAR



**VICINITY MAP**  
SCALE: 1" = 1,000'  
SOURCE: TITLE / YEAR

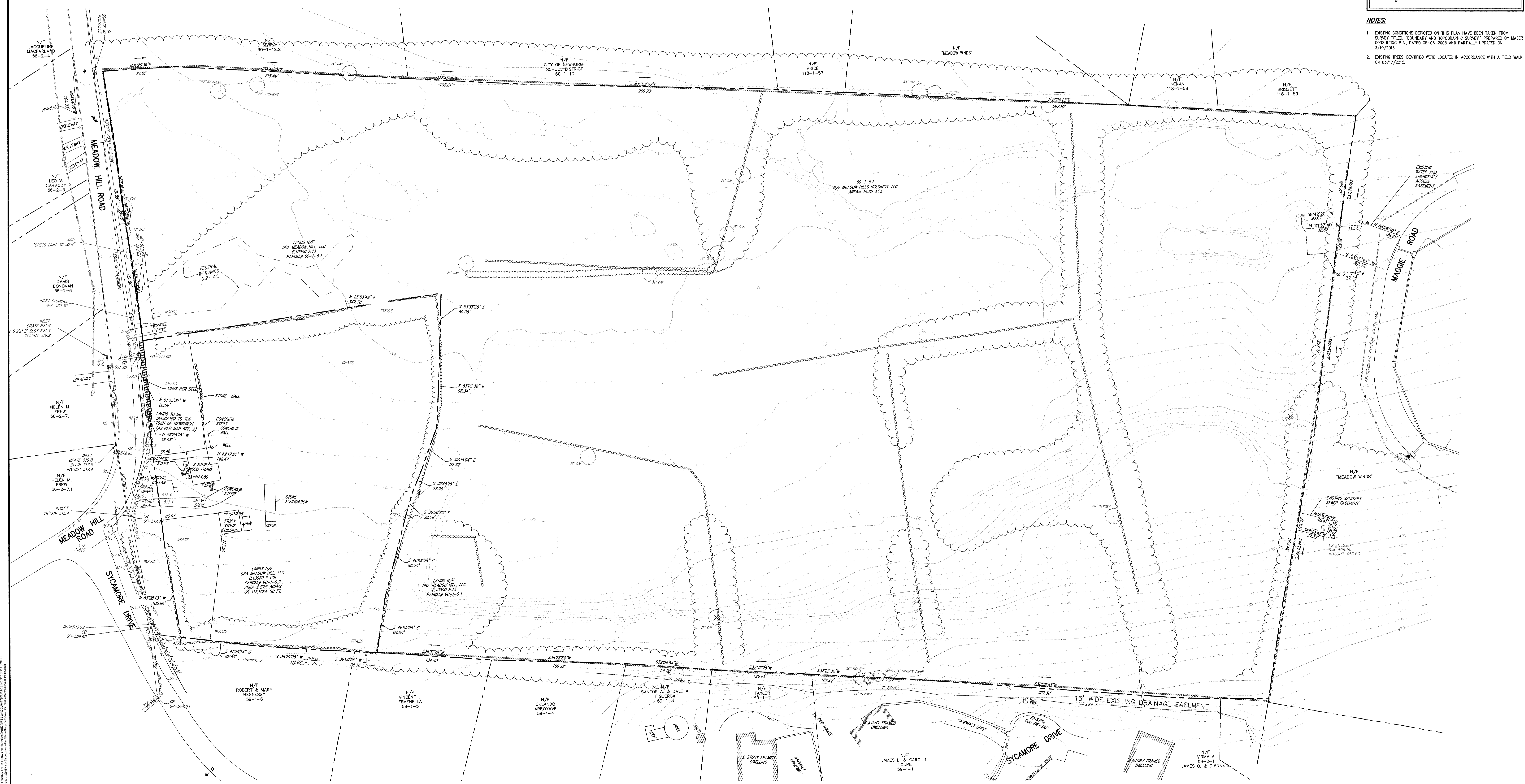
SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

**811** Know what's below. Call before you dig.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	08/10/2016	MT

**JMC**  
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
voice 914.273.5225 - fax 914.273.2102  
www.jmcpllc.com

Drawn: MT Approved: JS  
Scale: NOT TO SCALE  
Date: 05/06/2016  
Project No: 16015  
Sheet No: COVER COVER  
SP-1



**LEGEND**

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASER CONSULTING P.A. DATED 05-08-2009 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 05/17/2016.

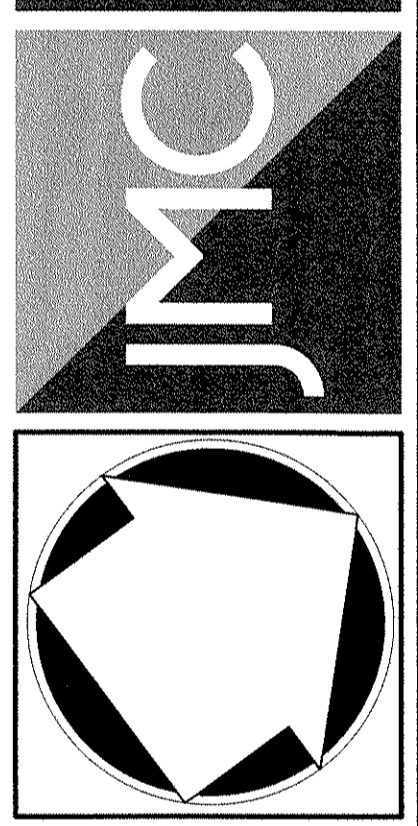
No.	Revision	Date
1.	REVISION PER TOWN COMMENTS	05/25/2016
2.	REVISION PER TOWN COMMENTS	06/10/2016

REGULATORY OWNER: **DRA MEADOW HILL, LLC**  
 477 RIVER ROAD  
 SUMMIT, NJ 07901

ARCHITECTS: **MINNO & WASKO ARCHITECTS**  
 1 PARKWAY  
 NEWARK, NJ 07102

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, Inc.  
 John Hays Consulting, Inc.

120 BEDFORD ROAD - ARBONAS, NJ 06804  
 908.514.2322 - fax 914.232.1102  
 www.jmcpllc.com



**SITE EXISTING CONDITIONS PLAN**  
**MEADOW HILL ROAD EXPANSION**  
 TOWN OF NEWBURGH, NY

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Drawn:	MT	Approved:	JS
Scale:	1" = 40'		
Date:	05/06/2016		
Project:	6015		
Sheet:	SP-2		

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A. DATED 05-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
  - EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.



<p><b>CLIENT/OWNER</b>  <b>DRA MEADOW HILL, LLC</b>          47 RIVER ROAD          SUMMIT, NJ 07901</p>	
<p><b>ARCHITECT</b>  <b>MINNO &amp; WASKO ARCHITECTS</b>          1 RAYMOND PLAZA W #210          NEWARK, NJ 07102</p>	
<p><b>JMC</b>          JMC Planning, Engineering, Landscape Architecture &amp; Land Surveying, PLLC          John M. Janczyk, P.E., P.L.S.          120 BEDFORD ROAD - ARMONK, NY 10504          PH: 914.243.3225 - FX: 914.243.102          WWW.JMCPUBLIC.COM</p>	<p><b>LOT CONSOLIDATION PLAN</b>  <b>MEADOW HILL ROAD EXPANSION</b>          TOWN OF NEWBURGH, NY</p>
<p>DATE: <b>MT</b>    APPROVED: <b>JS</b>          SCALE: <b>1" = 40'</b>          DATE: <b>05/06/2016</b>          PROJECT NO: <b>16015</b>          DRAWING NO: <b>LOT</b>    SHEET NO: <b>01</b></p>	<p>ANY ALTERATION OF THIS PLAN, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209 SUBSECTION 2.</p>
<p><b>SP-3</b></p>	

**SIGN TABLE**

DESCRIPTION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REG.ATORY	REMARKS
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	Yield	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B	X
C	Yield	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X
D	Yield	36"x36"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R6-SP	X
E	Yield	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 WE-7P	X
F	Yield	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-BR	X
G	Yield	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-BL	X
H	Yield	36"x36"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-1R	X
I	Yield	30"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	W1-1R	X

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASOR CONSULTING P.A., DATED 05-08-2008 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STATES IN THE FIELD SHALL BE CONDUCTED AND A COPY SECURED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
- PROJECT MAILBOXES SHALL BE LOCATED IN THE CLUBHOUSE.
- ALL GARAGES SHALL BE KEPT CLEAN OF ALL STORAGE MATERIAL TO MAINTAIN AVAILABILITY TO PARK A VEHICLE. THE LEASING OCCUPANTS WILL ALSO HAVE A SIMILAR CONDITION AND WILL BE POLICED BY THE PROJECT SUPERINTENDENT.
- EXISTING STRUCTURES PROPOSED TO BE REMOVED WILL REQUIRE A PERMIT FROM THE TOWN OF NEWBURGH.

**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING METADON LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL (DET 10)
- PROPOSED FENCE
- PROPOSED LIGHTING STANDARD
- PROPOSED 2'-4" WIDE YELLOW LINES #70.C
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 12" WIDE WHITE STOP LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES 1/8" O.C. @ 40'
- PROPOSED 1/8" HATCH MARKING ON PAVEMENT (DET 10)
- PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING
- EXISTING FEATURE TO BE REMOVED



**DRAMA MEADOW HILL, LLC**  
 47 RIVER ROAD  
 SUMMIT, NJ 07901

**MINNO & WASKO ARCHITECTS**  
 1 RAYMOND PLAZA, W. #210  
 NEWARK, NJ 07102

DATE: 05/05/2016  
 TIME: 09:17:2016

REVISIONS:  
 1. REVISION PER TOWN COMMENTS  
 2. REVISION PER TOWN COMMENTS

**JMC**

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Major Consulting, Inc.  
 100 BERBARD ROAD - ARMONK, NY 10504  
 phone 914.273.3325 - fax 914.273.2102  
 www.jmcpic.com

**SITE LAYOUT PLAN**  
 MEADOW HILL ROAD EXPANSION  
 PART OF MEADOW HILL PLAZA  
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Scale: 1" = 40'  
 Date: 05/06/2016  
 Project No: 1605  
 Drawing No: SP-4

**SPECIALTY CONSTRUCTION**

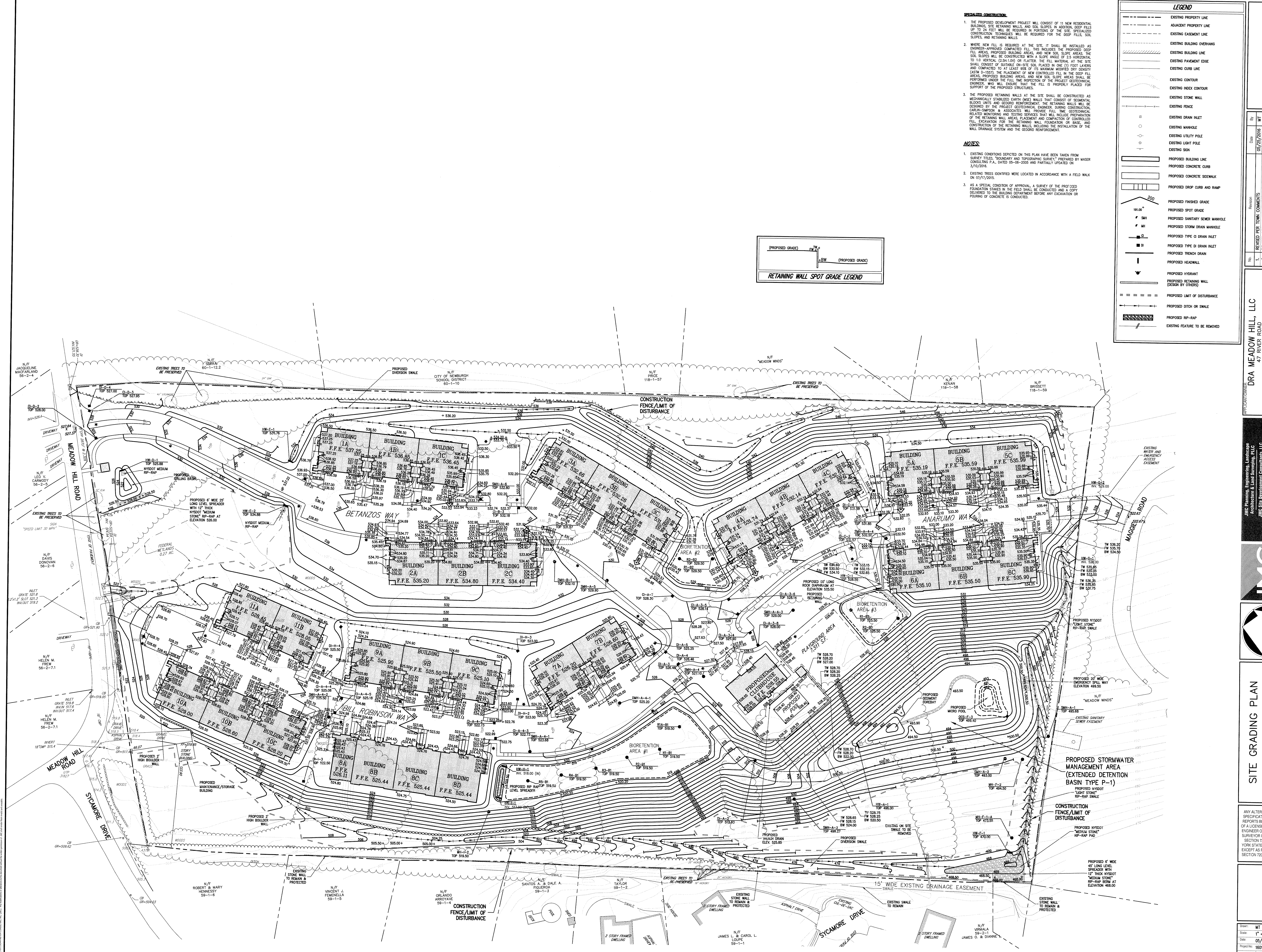
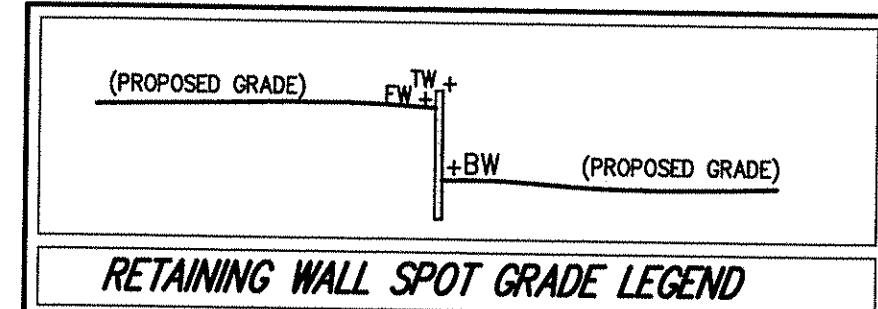
- THE PROPOSED DEVELOPMENT PROJECT WILL CONSIST OF 11 NEW RESIDENTIAL BUILDINGS. SITE RETAINING WALLS AND SOIL SLOPES, IN ADDITION, DEEP FILLS UP TO 24 FEET WILL BE REQUIRED IN PORTIONS OF THE SITE. SPECIALIZED CONSTRUCTION TECHNIQUES WILL BE REQUIRED FOR THE DEEP FILLS, SOIL SLOPES, AND RETAINING WALLS.
- WHERE NEW FILL IS REQUIRED AT THE SITE, IT SHALL BE INSTALLED AS ENGINEER-APPROVED COMPACTED FILL. THIS INCLUDES THE PROPOSED DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPE AREAS. THE SOIL SLOPES WILL BE CONSTRUCTED WITH A SLOPE ANGLE OF 2:5 HORIZONTAL TO 1:0 VERTICAL (2:5:1:0) OR FLATTER. THE FILL MATERIAL AT THE SITE SHALL CONSIST OF SUITABLE ON-SITE SOIL PLACED IN ONE (1) FOOT LAYERS AND COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNMOISTURED DRY DENSITY (ASTM D-1557). THE PLACEMENT OF NEW CONTROLLED FILL IN THE DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPE AREAS SHALL BE PERFORMED UNDER THE FILL TIME INSPECTION OF THE PROJECT GEOTECHNICAL ENGINEER, WHO WILL ENSURE THAT THE FILL IS PROPERLY PLACED FOR SUPPORT OF THE PROPOSED STRUCTURES.
- THE PROPOSED RETAINING WALLS AT THE SITE SHALL BE CONSTRUCTED AS MECHANICALLY STABILIZED EARTH (MSE) WALLS THAT CONSIST OF SEASONAL BLOCKS UNITS AND GEOTEXTILE REINFORCEMENT. THE RETAINING WALLS WILL BE DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER. DURING CONSTRUCTION, CARLIN-SIMPSON & ASSOCIATES WILL PROVIDE FULL TIME GEOTECHNICAL RELATED MONITORING AND TESTING SERVICES THAT INCLUDE PREPARATION OF THE RETAINING WALL AREAS, PLACEMENT AND COMPACTION OF CONTROLLED FILL, EXCAVATION FOR THE RETAINING WALL FOUNDATION OR BASE, AND CONSTRUCTION OF THE RETAINING WALLS INCLUDING THE INSTALLATION OF THE WALL DRAINAGE SYSTEM AND THE GEOTEXTILE REINFORCEMENT.

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A., DATED 08-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2015.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.

**LEGEND**

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING BUILDING OVERHANG
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED DROP CURB AND RAMP
[Symbol]	PROPOSED FINISHED GRADE
[Symbol]	PROPOSED SPOT GRADE
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM DRAIN MANHOLE
[Symbol]	PROPOSED TYPE C DRAIN INLET
[Symbol]	PROPOSED TYPE D DRAIN INLET
[Symbol]	PROPOSED TRENCH DRAIN
[Symbol]	PROPOSED HEADWALL
[Symbol]	PROPOSED HYDRANT
[Symbol]	PROPOSED RETAINING WALL (CONCRETE OR OTHER)
[Symbol]	PROPOSED LIMIT OF DISTURBANCE
[Symbol]	PROPOSED DITCH OR SWALE
[Symbol]	PROPOSED RP-RAP
[Symbol]	EXISTING FEATURE TO BE REMOVED



**DR A MEADOW HILL, LLC**  
 47 RIVER ROAD  
 SUMMIT, NJ 07901

**MINNO & WASKO ARCHITECTS**  
 1 RAYMOND PLAZA, W #210  
 NEWARK, NJ 07102

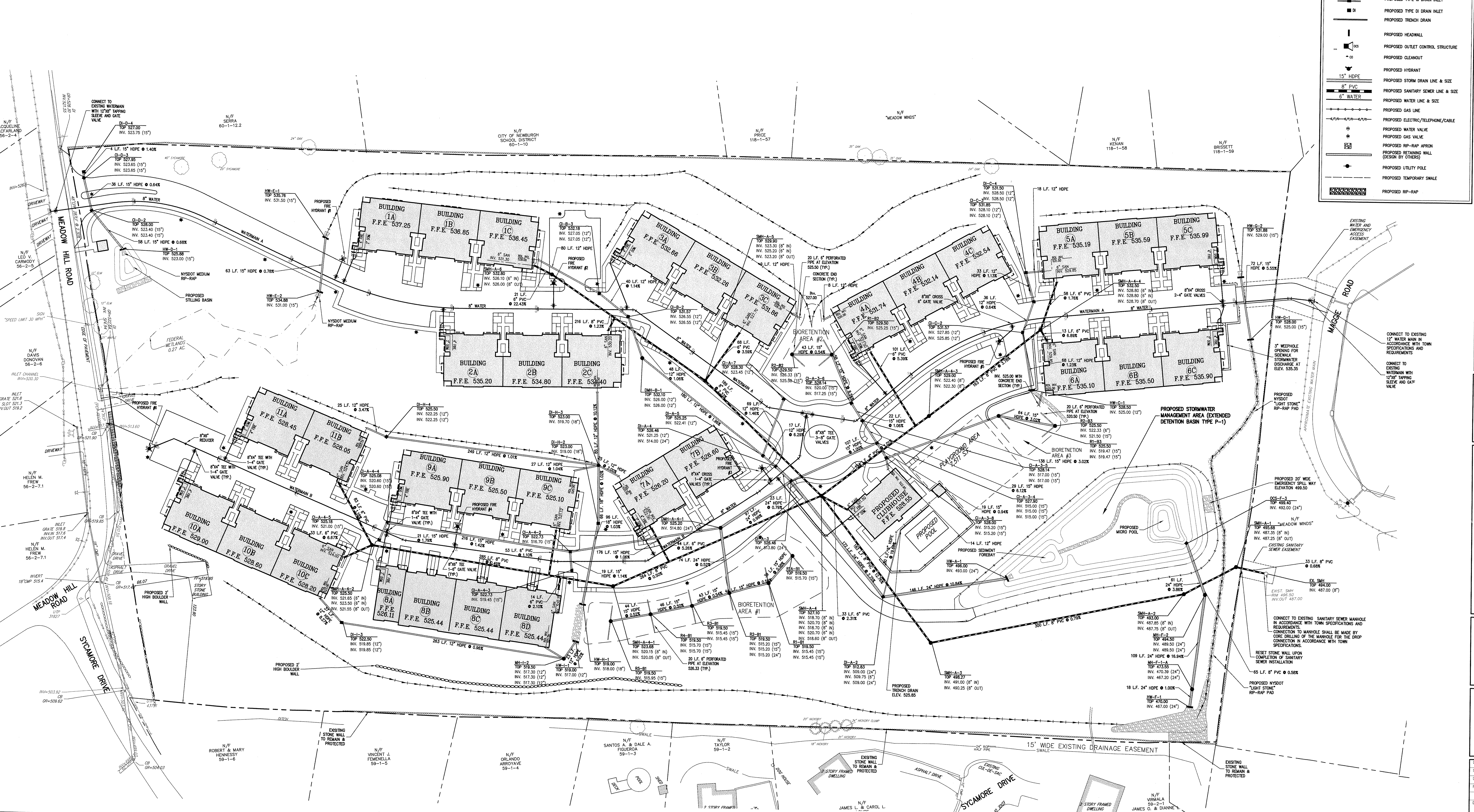
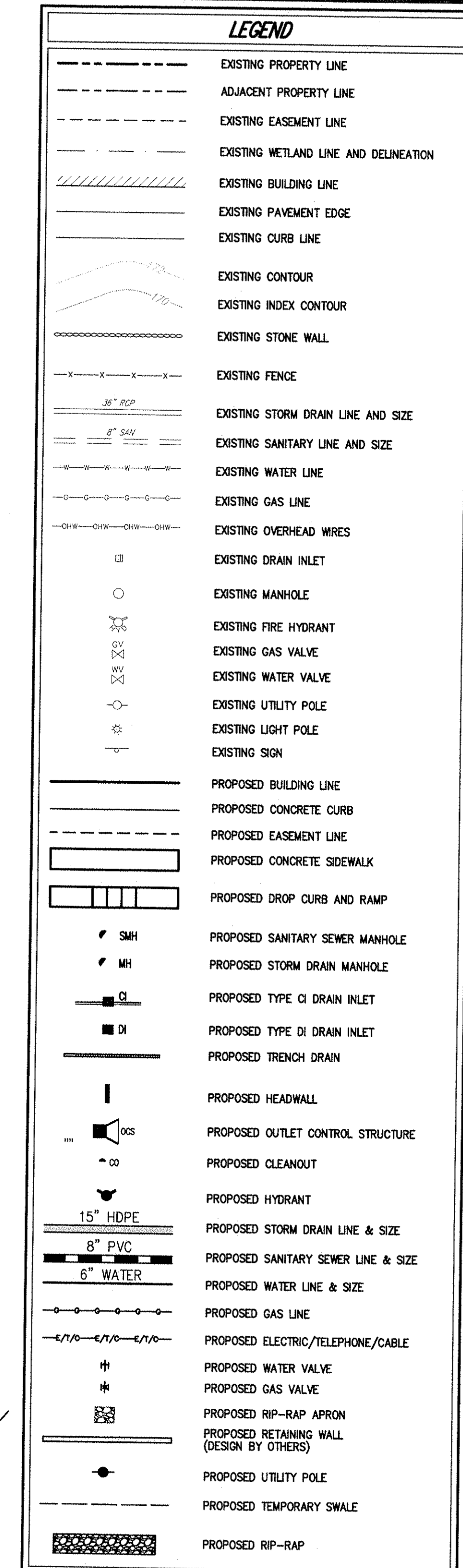
**JMC**  
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 123 BEDFORD ROAD - ANNAPOLIS, MD 21403  
 www.jmcplc.com

**SITE GRADING PLAN**  
 MEADOW HILL ROAD EXPANSION  
 MEADOW HILL ROAD  
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209 SUBSECTION 2.

Drawn:	MT	Approved:	JS
Scale:	1" = 40'		
Date:	05/06/2016		
Project No.:	16015		
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Revised:	06/26/2016		
Revised:	06/27/2016		
Revised:	06/28/2016		
Revised:	06/29/2016		
Revised:	06/30/2016		

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A., DATED 05-06-2005.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A MINIMUM WALL THICKNESS OF 1/2" PER ASTM F-2624. JOINTS SHALL BE IN ACCORDANCE WITH ASTM F-2624.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRADY LINES SHALL BE POLYETHYLENE GLASS REINFORCED (PVC) PIPE WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3072.
  - ELECTRIC TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONJUNCTION WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
  - CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
  - ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE COATED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C100/A21.5-91 OR LATEST REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE OTHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
  - THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RESTRAINT GLANDS FOR ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RESTRAINT GLANDS FOR ALL FITTINGS. RESTRAINT GLANDS SHALL BE BRASS IRON MICALUM SERIES 100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PROOF APPROVAL OF THE WATER DEPARTMENT.
  - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C10/A21.5-87 OR LATEST REVISION FOR DUCTILE IRON FITTINGS OR ANSI/AWWA C15/A21.5-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
  - ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C200 OR LATEST REVISION SUCH AS WELLER A-2300-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
  - TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS WELLER H-615 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C200 SUCH AS WELLER H-615 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVES AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
  - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. COPPERATION STOPS SHALL BE WELLER H-1500 FOR 1/2" AND 3/4" INCH SIZES. CURB VALVES SHALL BE WELLER H-1500-2 FOR 1/2" AND 3/4" INCH SIZES. WELLER H-2000 FOR 1" AND 2" INCH SIZES. CURB BOXES SHALL BE WELLER H-1032 FOR 1" AND 2" INCH SIZES. CURB BOXES SHALL BE 2" HIGH SIDES. ALL WELDED PARTS ARE LOW LEAD BRASS ALLOY.
  - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
  - THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO PUTTING THE WATER MAIN IN SERVICE. SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- NOTES (CONTINUED):**
- THRUST RESTRAINT SHALL BE PROVIDED BY THE ROOFS AND RETAINER GLANDS. THE LENGTH OF RESTRAINTED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF COVER ACCORDING TO APPROPRIATE STANDARDS.
  - PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
  - IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DEPARTMENT, HEALTH DEPARTMENT OR ANY OTHER AGENCY HAVING JURISDICTION OVER ALL OR ANY PORTION OF THE WATER LINES INSTALLED UNDER THIS CONTRACT, THE MORE RESTRICTIVE REQUIREMENTS SHALL GOVERN.
  - AFTER THE WATER LINE HAS PASSED THE REQUIRED PRESSURE AND LEAKAGE TESTS AND BEFORE BEING PLACED INTO SERVICE, THE ENTIRE LINE SHALL BE DISINFECTED WITH AWWA SPECIFICATION C-651. ALL DISINFECTION OPERATIONS AND PROCEDURES SHALL MEET WITH THE APPROVAL OF THE WATER AUTHORITY AND HEALTH DEPARTMENT.
  - IF THE WATER BACTERIOLOGICAL TESTS ARE NOT SATISFACTORY, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS, INCLUDING MAKING PROVISIONS TO ISOLATE SHORTER SECTIONS OF LINE TO LOCATE THE SOURCE OF CONTAMINATION. ALL WORK NECESSARY AND REQUIRED TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
  - THE DESIGN, CONSTRUCTION AND INSTALLATION OF THE WATER MAINS SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN AFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE: "RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)" "NEW YORK STATE DEPARTMENT OF HEALTH AND ENVIRONMENT" DEPARTMENT OF HEALTH POLICIES, PROCEDURES, AND STANDARDS."
  - UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE BY THE PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE PROFESSIONAL ENGINEER.
  - ALL WATER DISTRIBUTION SYSTEM PIPES AND APPURTENANCES SHALL CONFORM TO CURRENT TOWN OF NEWBURGH STANDARDS.
  - BACKFLOW PREVENTION DEVICE WILL BE LOCATED IN THE BUILDING APPLICATION FOR APPROVAL. SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE MECHANICAL ENGINEER/ARCHITECT.
  - UNDER INDUSTRIAL CODE 753, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT MASTER LIST OF OPERATORS ON FILE WITH THE GENERAL ENGINEER AS WELL AS THE TOWN OF NEWBURGH AND NOTIFY PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE AWARE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE DAMAGED BY OPERATIONS OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM ALL UTILITIES OPERATORS. IF ANY UTILITIES ARE DAMAGED OR REMOVED OR REPAIRED OR REPLACED ANY STRUCTURES OR UTILITIES THAT ARE OR BE DAMAGED, AND SHALL CONTINUOUSLY PROCEED WITH CAUTION TO PREVENT OVERSIGHT INTERFERENCE TO UTILITY SERVICE.
  - POTABLE WATER PIPE NETWORKS MUST BE IN COMPLIANCE WITH THE "NEW LEAD LAW", THE AMENDMENT TO THE SAFE DRINKING WATER ACT WHICH PROHIBITS THE USE OF BRASS PRODUCTS CONTAINING MORE THAN 0.25% LEAD.



**DR A MEADOW HILL, LLC**  
 477 RIVER ROAD  
 SUMMIT, NJ 07901

**MINNO & WASKO ARCHITECTS**  
 11 NEWARK, NJ 07102

**JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC**  
 JMC Site Development Consultants, Inc.  
 John Heger Consulting, Inc.  
 120 BERKSHIRE ROAD - ARLINGHAM, NJ 08010  
 609.427.4322 • Fax 609.427.4312  
 www.jmcpllc.com

**SP-6**

**JMC**

**SITE UTILITIES PLAN**

**MEADOW HILL ROAD EXPANSION**  
 MEADOW HILL ROAD  
 TOWN OF NEWBURGH, NY

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Scale: 1" = 40'

Date: 05/06/2016

Project No: 16015

Drawn: ETL

Checked: JLS

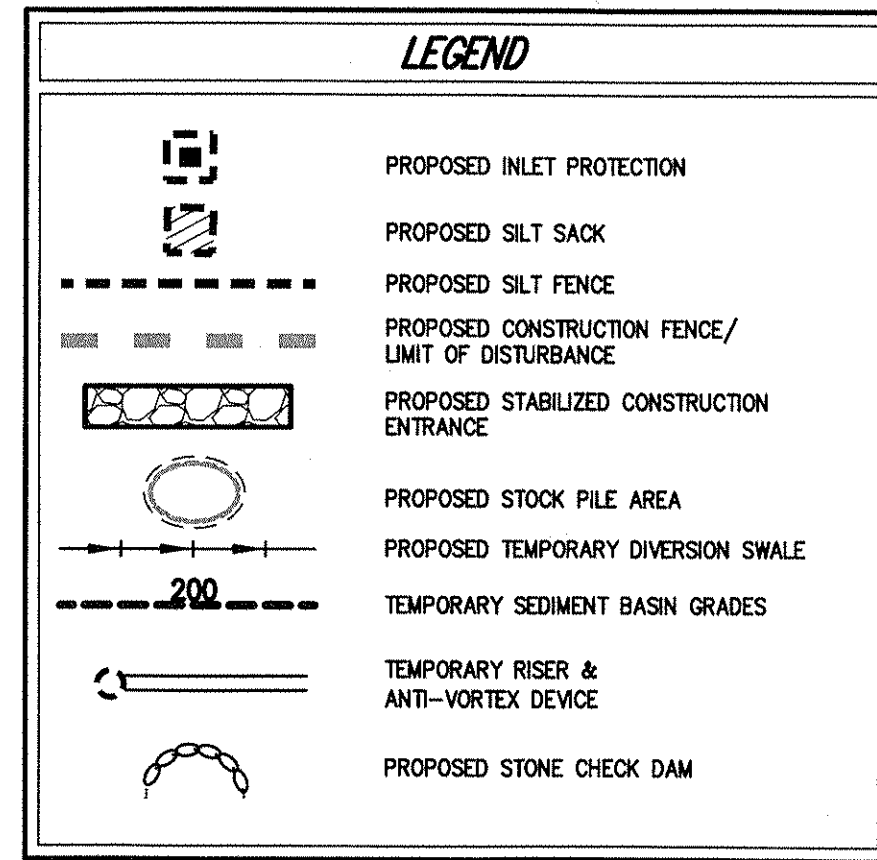
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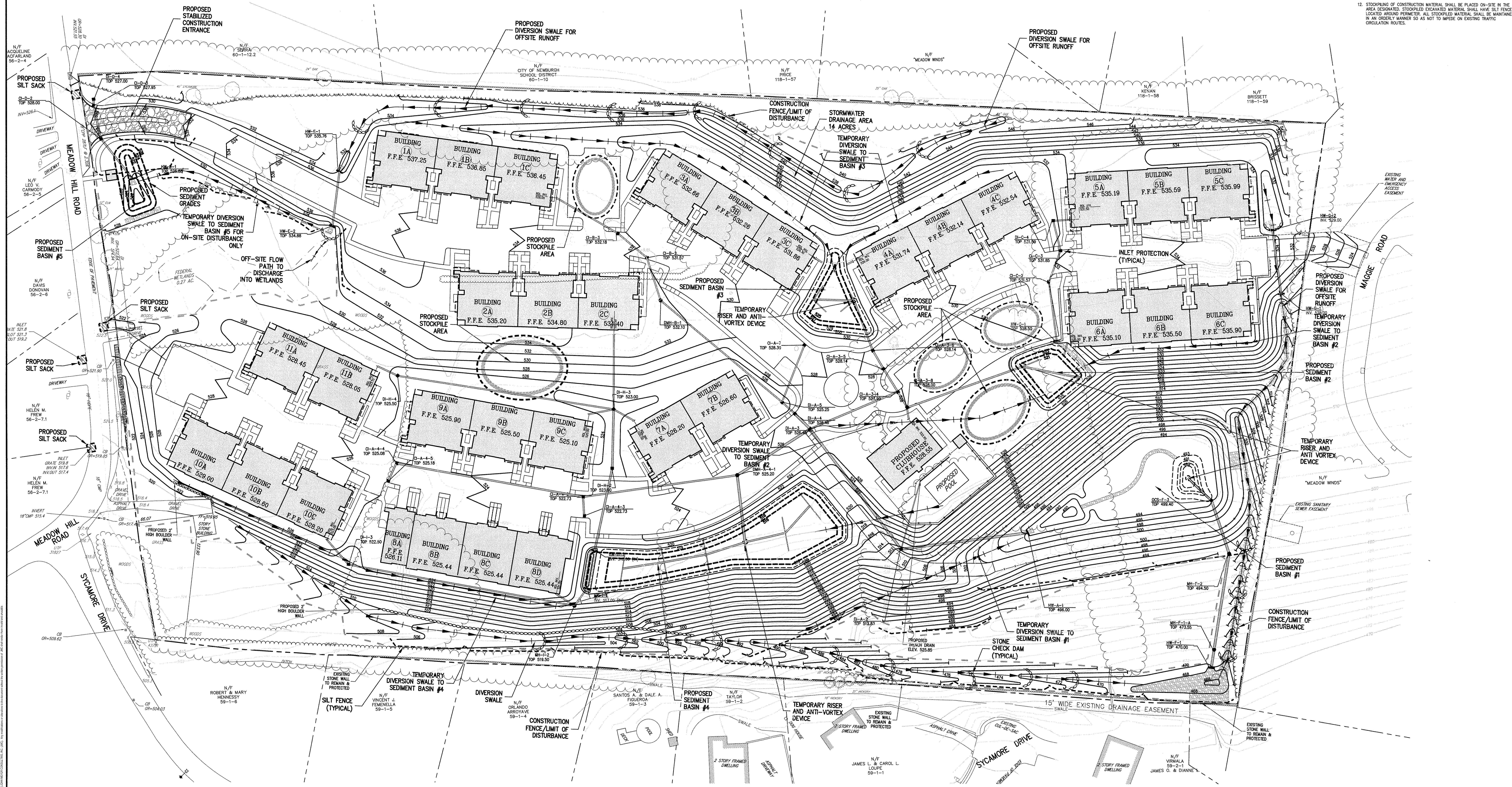
**SEQUENCE OF CONSTRUCTION**

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL BE PROTECTED WITH EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- STAKE LIMIT OF DISTURBANCE BOUNDARY WITH ORANGE CONSTRUCTION FENCE. INSTALL A STABILIZED CONSTRUCTION ENTRANCE. CLEAR THE AREA TO BE DEVELOPED.
- INSTALL ALL SILT FENCES.
- GRUB THE AREA TO BE CONSTRUCTED.
- CONSTRUCT DIVERSION SWALE 1 TO DIVERT THE OFFSITE AREA DRAINING TOWARDS THE SITE TO AN EXISTING DRAINAGE CHANNEL AND DIVERSION SWALE 2 AND 3 TO DIVERT THE RUNOFF FROM THE OFFSITE AREA TOWARDS THE EXISTING DRAINAGE CHANNEL WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN.
- PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALES.
- CONSTRUCT TEMPORARY SEDIMENT BASIN.
- REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
- PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
- INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF CATCH BASINS, MANHOLES AND UNDERGROUND STORM PIPES ALONG WITH THE EROSION AND SEDIMENT CONTROL DEVICES ASSOCIATED WITH THE STORM DRAINAGE SYSTEM (I.E. INLET PROTECTION, STONE CHECK DAMS, ETC. AS SHOWN ON THE PLANS).
- INSTALL GREEN INFRASTRUCTURE PRACTICES INCLUDING RAIN GARDEN AND BIOTRIER.
- BEGIN ROAD CONSTRUCTION INCLUDING SUBBASE AND BASE PAVEMENT SECTIONS.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- COMPLETE FINAL GRADING FOR THE STORMWATER BASIN.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE BUILDING CONSTRUCTION.



- NOTES**
- EXISTING CONDITIONS DETECTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FILED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY WASER CONSULTING P.A., DATED 05-06-2005 AND PARTIALLY UPDATED ON 3/7/2016.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY GRADING, GRUBBING OR EXCAVATION.
  - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 4 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:  
 CREEPING RED FESCUE 30 %  
 PERENNIAL RYE GRASS 70 %
  - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (20 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
  - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
  - CUT AND FILLS SHALL NOT ENLARGE ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A DAILY BASIS AND AFTER RAINSTORMS.
  - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
  - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON EXISTING TRAFFIC CIRCULATION ROUTES.



**DR A MEADOW HILL, LLC**  
 47 RIVER ROAD  
 SUMMIT, NJ 07901

**ARCHITECT: MINNO & WASKO ARCHITECTS**  
 1 RAYMOND PLAZA, W #270  
 NEWARK, NJ 07102

**JMC**  
 JMC Planning, Engineering, Land Use & Environmental Consultants, LLC  
 John Wager Consulting, Inc.  
 120 BEDFORD ROAD • ARLINGDON, NY 10904  
 voice 845.273.9225 • fax 845.273.2102  
 www.jmccplc.com

**SITE EROSION AND SEDIMENT CONTROL PLAN**  
 MEADOW HILL ROAD EXPANSION  
 MEADOW HILL ROAD  
 TOWN OF NEWBURGH, NY

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Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
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**SP-7**





### LEGEND

	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SITE LIGHTING (WALL MOUNTED)
	PROPOSED BOLLARD LIGHTING STANDARD
	PROPOSED ILLUMINANCE IN FOOT-CANDLES

PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE A:  
LIGHT COOPER LIGHTING - MCGRAW-EDISON  
GAT-150-MP-X-50-X-X  
ARCHITECTURAL POST TOP LUMINAIRE - TYPE III CUTOFF  
150 WATT PULSE-START CLEAR ED-28 VBD BURN

PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE B LIGHT:  
COOPER LIGHTING - MCGRAW-EDISON  
GAT-150-MP-X-50-X-X  
ARCHITECTURAL POST TOP LUMINAIRE - TYPE V CUTOFF  
150 WATT PULSE-START CLEAR ED-28 VBD BURN

- NOTES:**
- ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETERS.
  - CIRCUIT WIRING SHALL BE PER ORANGE AND ROCKLAND UTILITY REQUIREMENTS.
  - EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2015.

<p><b>DRP</b> MEADOW HILL, LLC 47 RIVER ROAD SUMMIT, N.J. 07901</p> <p><b>ARCHITECTS</b> MINNO &amp; WASKO ARCHITECTS 1 RAYMOND PLAZA W #210 NEWARK, NJ 07102</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Revisions</th> <th>Date</th> <th>By</th> <th>MT</th> </tr> <tr> <td>1.</td> <td>REVISED PER TOWN COMMENTS</td> <td>05/25/2016</td> <td></td> <td>MT</td> </tr> <tr> <td>2.</td> <td>REVISED PER TOWN COMMENTS</td> <td>09/10/2016</td> <td></td> <td>MT</td> </tr> </table>	No.	Revisions	Date	By	MT	1.	REVISED PER TOWN COMMENTS	05/25/2016		MT	2.	REVISED PER TOWN COMMENTS	09/10/2016		MT
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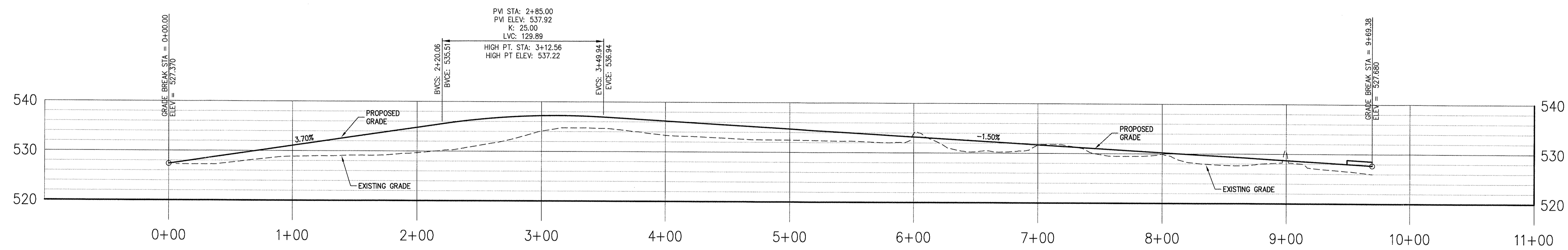
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
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John Meyer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
tel: 914.273.3225 - fax: 914.273.2102  
www.jmcpllc.com

JMC

**SITE LIGHTING PLAN**  
MEADOW HILL ROAD EXPANSION  
TOWN OF NEWBURGH, NY

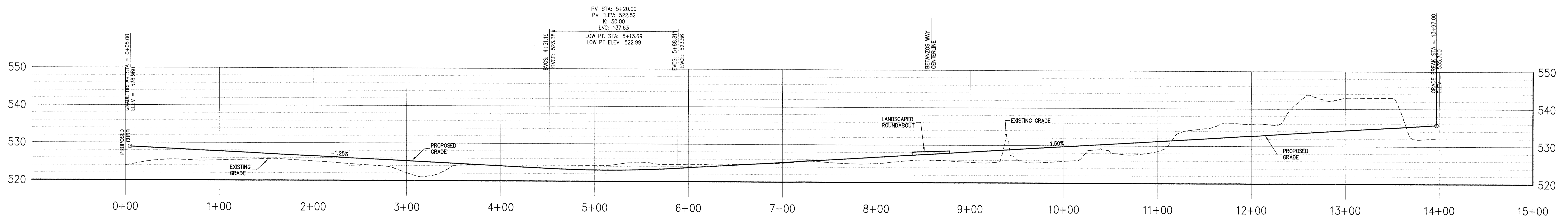
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209 SUBSECTION 2.

Drawn: MT	Approved: JS
Scale: 1" = 40'	Date: 05/05/2016
Project No: 6015	Client: URB
Quantity No:	URB



**BETANZOS WAY PROFILE**

SCALE: HORIZONTAL: 1" = 40'  
VERTICAL: 1" = 10'



**BILL ROBINSON WAY & AMARUMO WAY PROFILE**

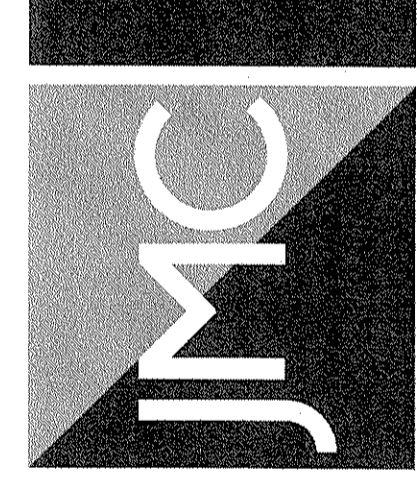
SCALE: HORIZONTAL: 1" = 40'  
VERTICAL: 1" = 10'

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No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	06/20/2016	MT

CLIENT/OWNER:  
**DRA MEADOW HILL, LLC**  
 47 RIVER ROAD  
 SUMMIT, NJ 07901  
 ARCHITECT:  
**MINNO & WASKO ARCHITECTS**  
 1 RAYMOND PLAZA W #210  
 NEWARK, NJ 07102  
 Review: *Editha Obiedo*

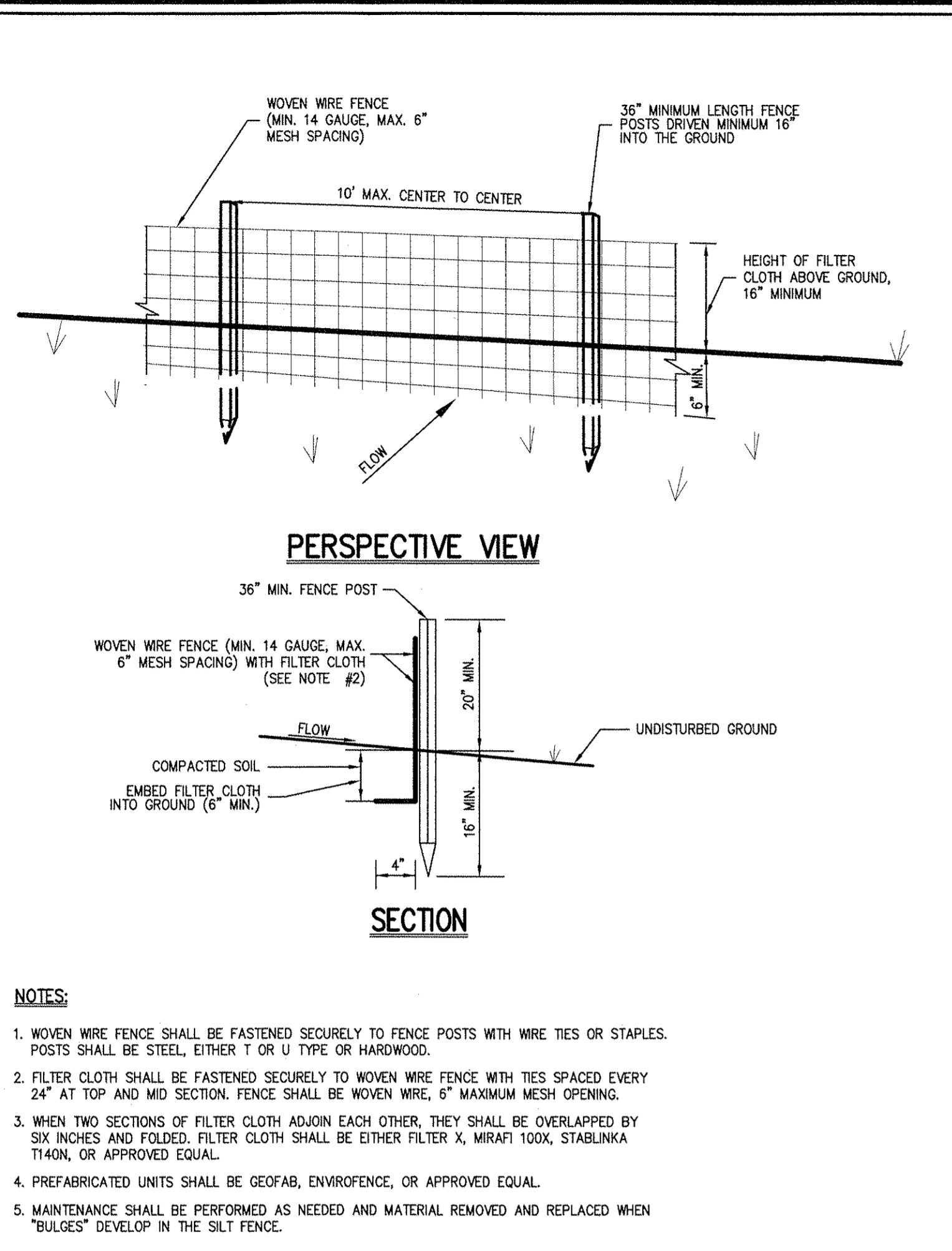
JMC Planning & Engineering, Inc.  
 120 BEDFORD ROAD • ARMINIK, NY 10984  
 Phone 814.273.8226 • Fax 814.273.2102  
 www.jmcplc.com



**SANITARY SEWER PROFILES**  
 MEADOW HILL ROAD EXPANSION  
 TOWN OF NEWBURGH, NY

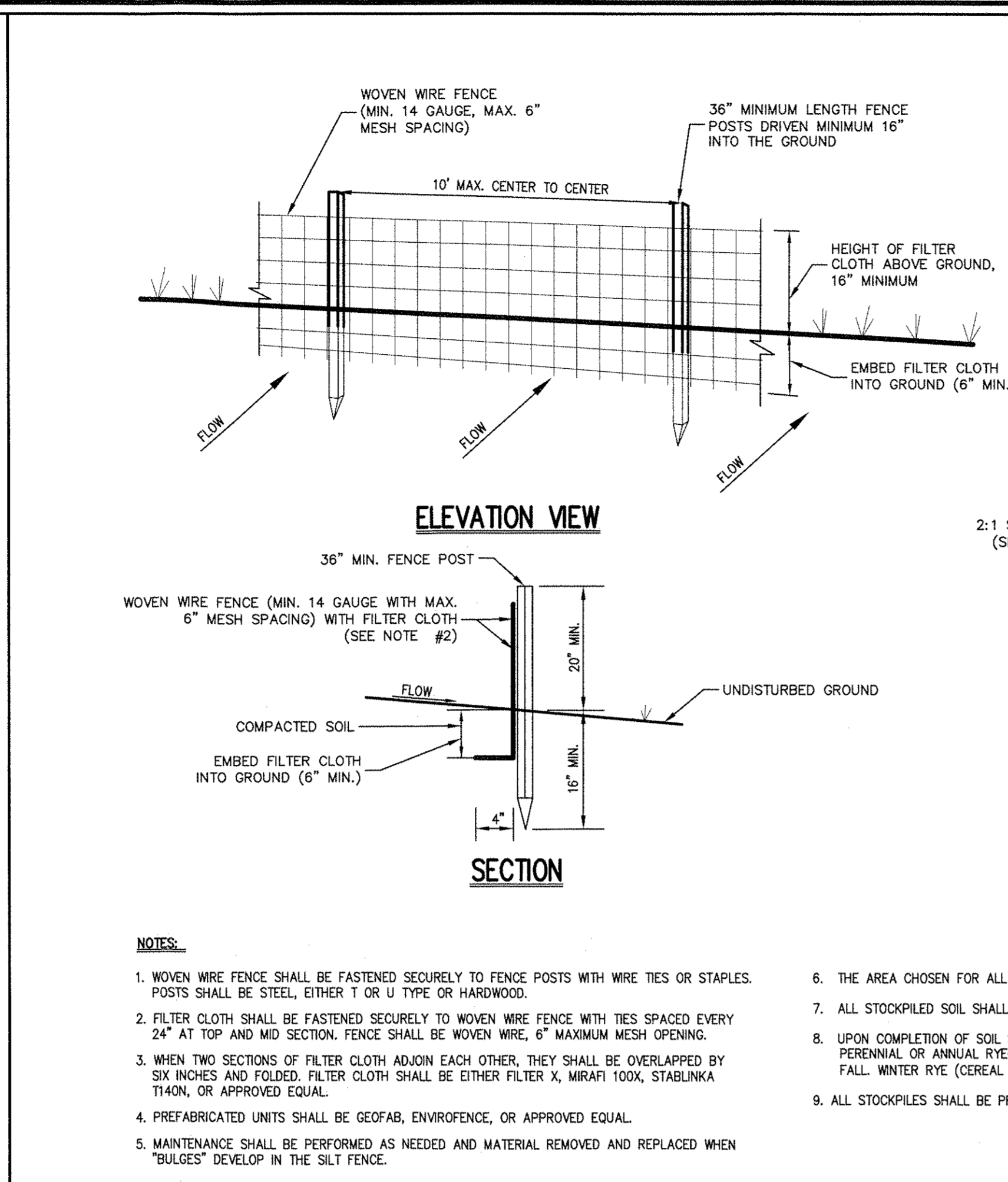
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7008 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7009, SUBSECTION 2.

Drawn:	MT	Approved:	JS
Scale:	1" = 40'		
Date:	05/06/2016		
Project No.:	16015		
Drawn By:	Rae PHOENIX	UTL	MT
Drawing No.:	SP-10		



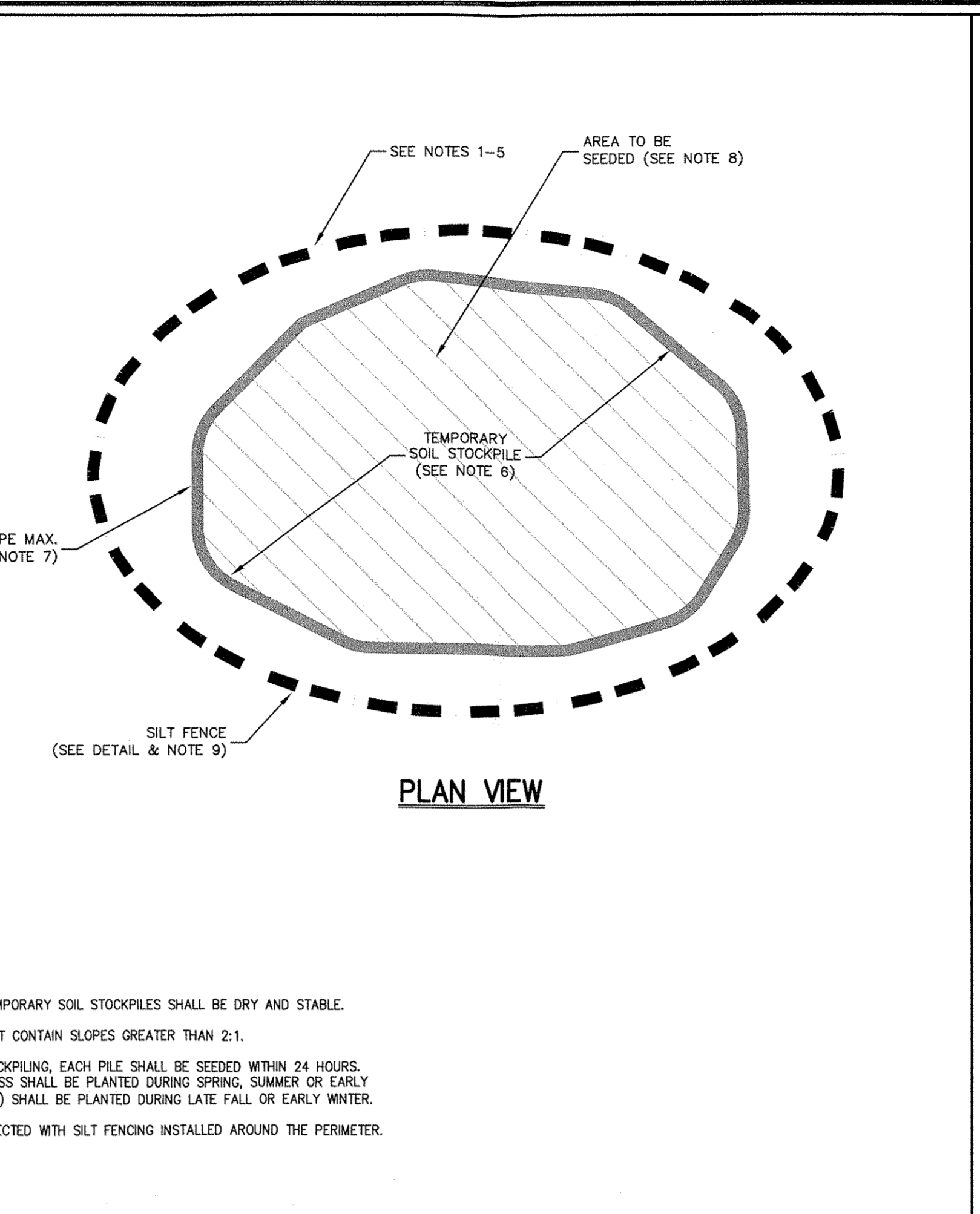
**NOTES:**

- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, 1/2" OR 1" TYPE OR HARDWOOD.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X MOUNT TOOL, STABILANKA THAKA, OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTEX, ENVIRONMENTAL, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BLUES" DEVELOP IN THE SILT FENCE.



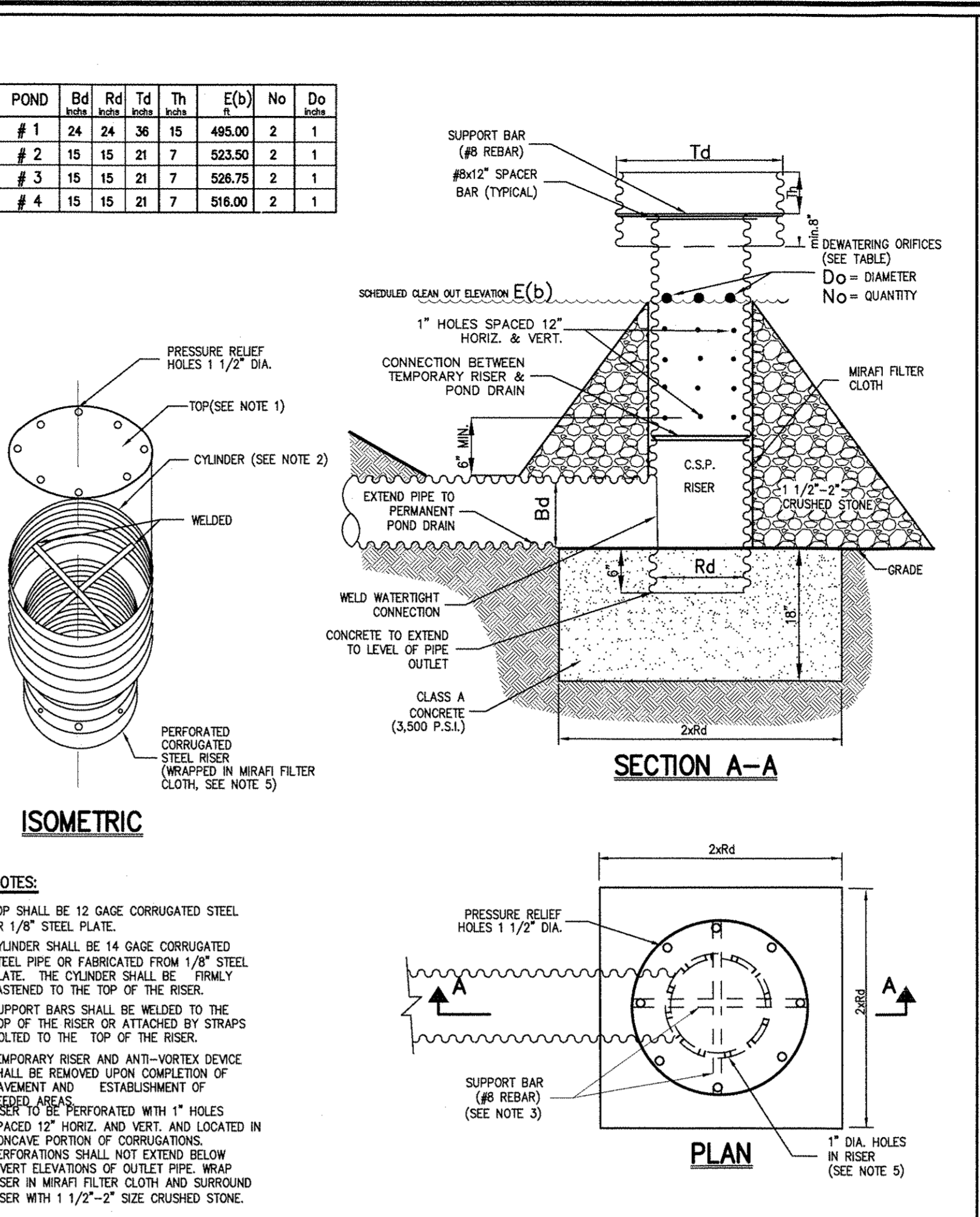
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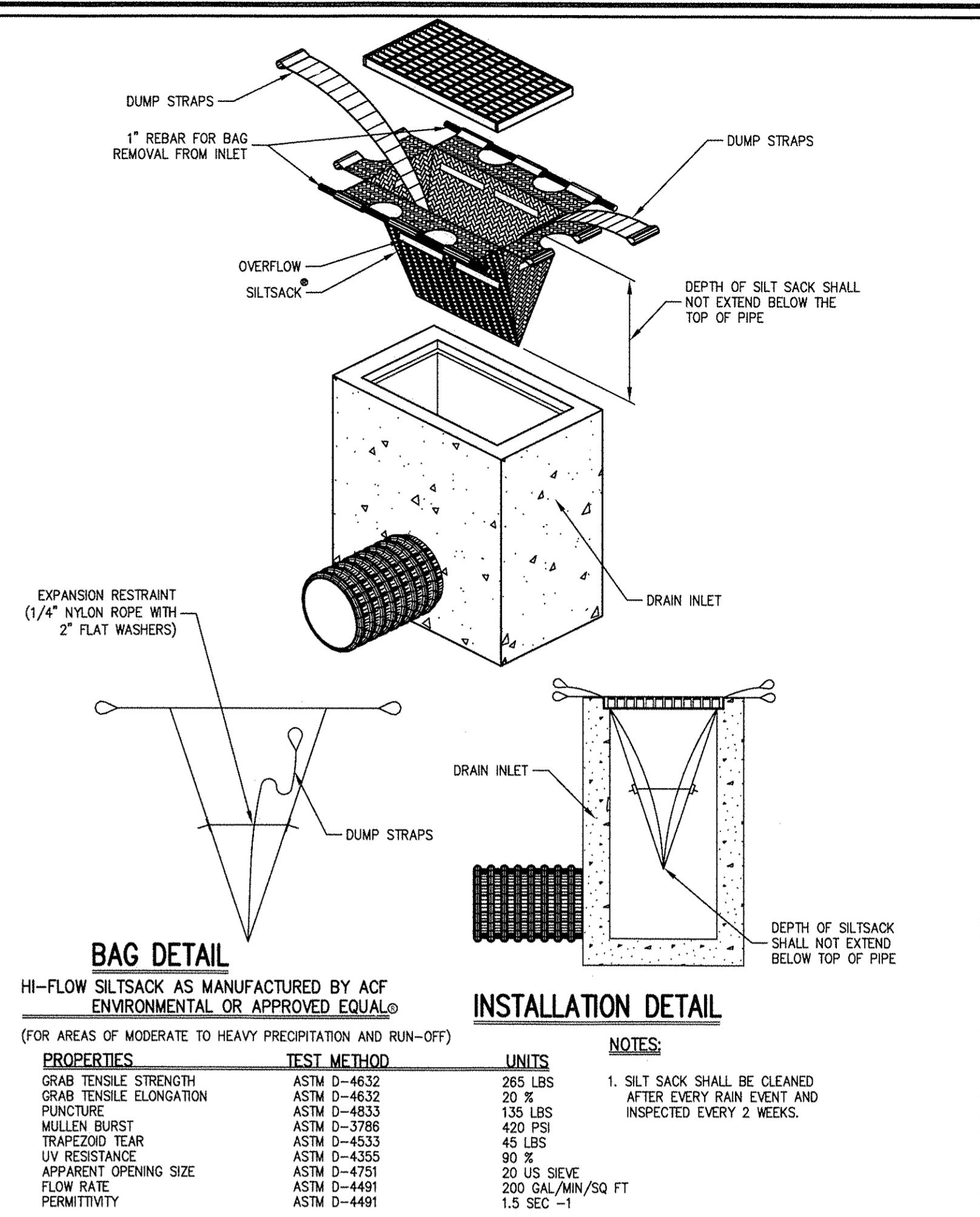
**NOTES:**

- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL TREES SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



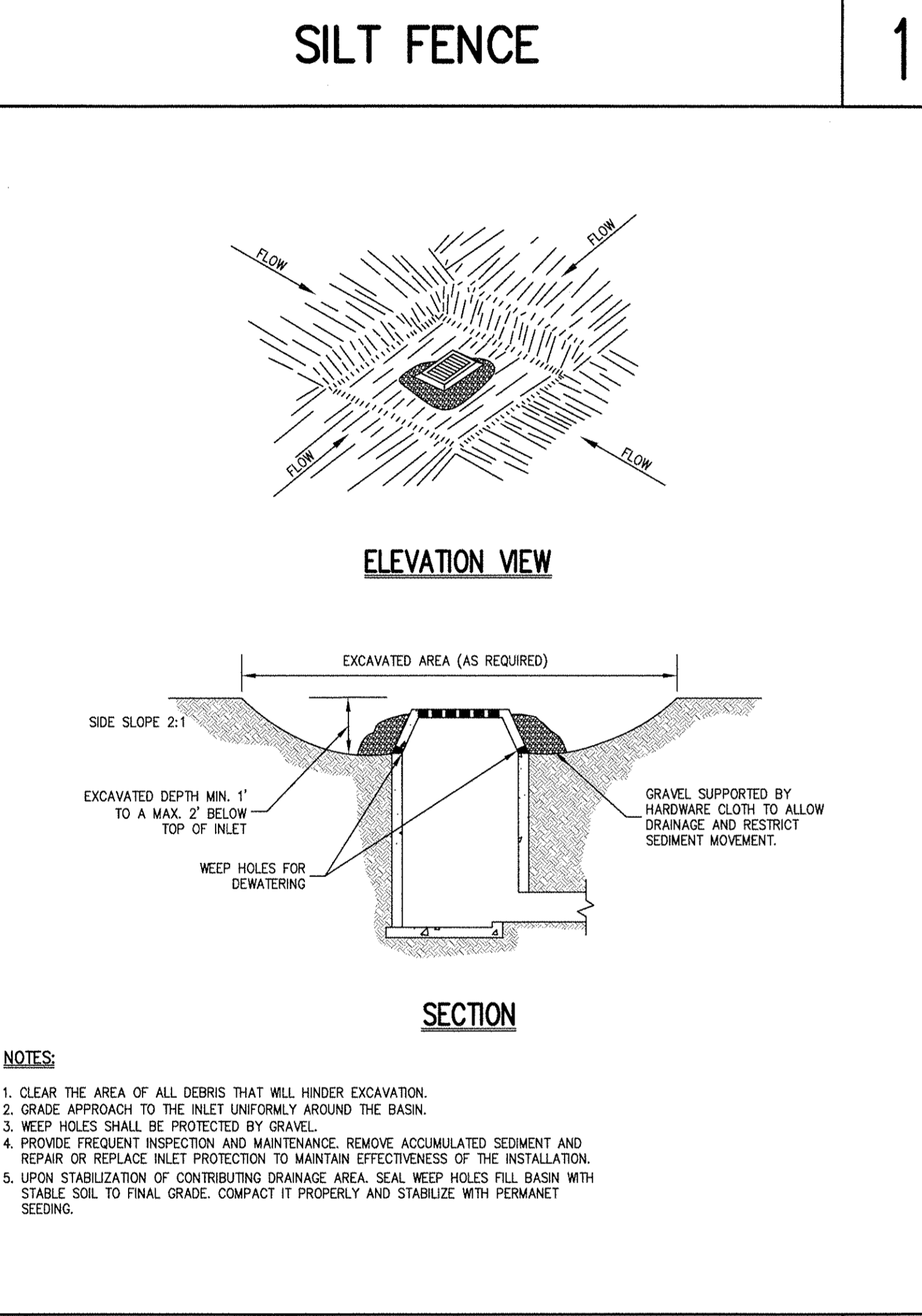
**NOTES:**

- TOP SHALL BE 12 GAUGE CORRUGATED STEEL OR 1/4" STEEL PLATE.
- CUMBER SHALL BE 14 GAUGE CORRUGATED STEEL PIPE OR SUBSTITUTED FROM 1/2" STEEL PLATE. THE CUMBER SHALL BE FINELY FASTENED TO THE TOP OF THE RISER.
- SUPPORT BARS SHALL BE WELDED TO THE TOP OF THE RISER.
- TEMPORARY RISER AND ANTI-VORTEX DEVICE SHALL BE BUILT UPON COMPLETION OF PERMANENT AND ESTABLISHMENT OF CONTOUR.
- SEEDING SHALL BE PERFORMED WITH 1" HOLES SPACED 12" HORIZ. AND VERT. AND LOCATED IN CONCRETE PORTION OF CONTOUR.
- PERFORATED STEEL RISER SHALL BE WELDED TO CONCRETE TO EXTEND TO LEVEL OF PIPE OUTLET.
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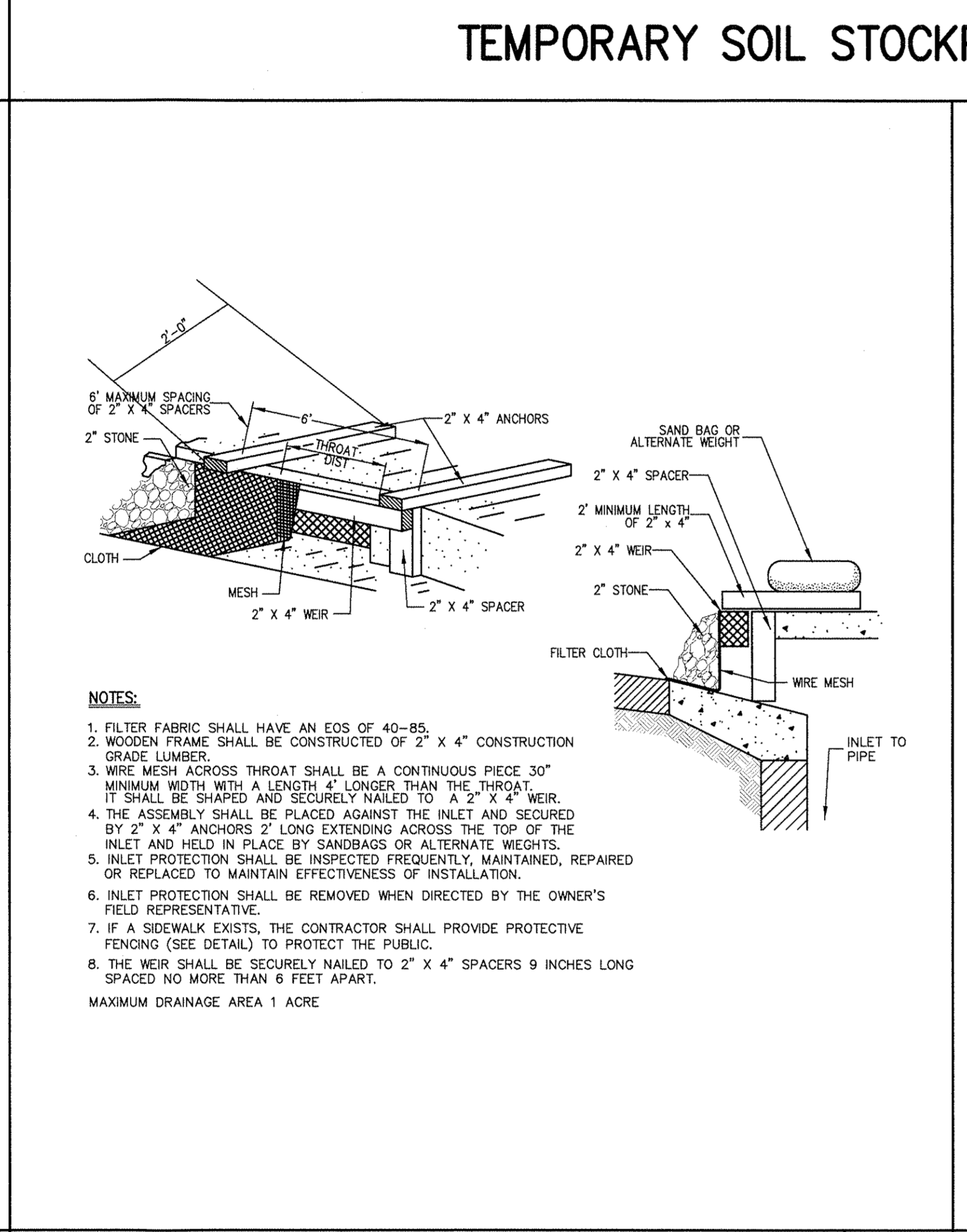
**NOTES:**

- SILT SACK SHALL BE CLEANED AFTER EVERY RAIN EVENT AND INSPECTED EVERY 2 WEEKS.



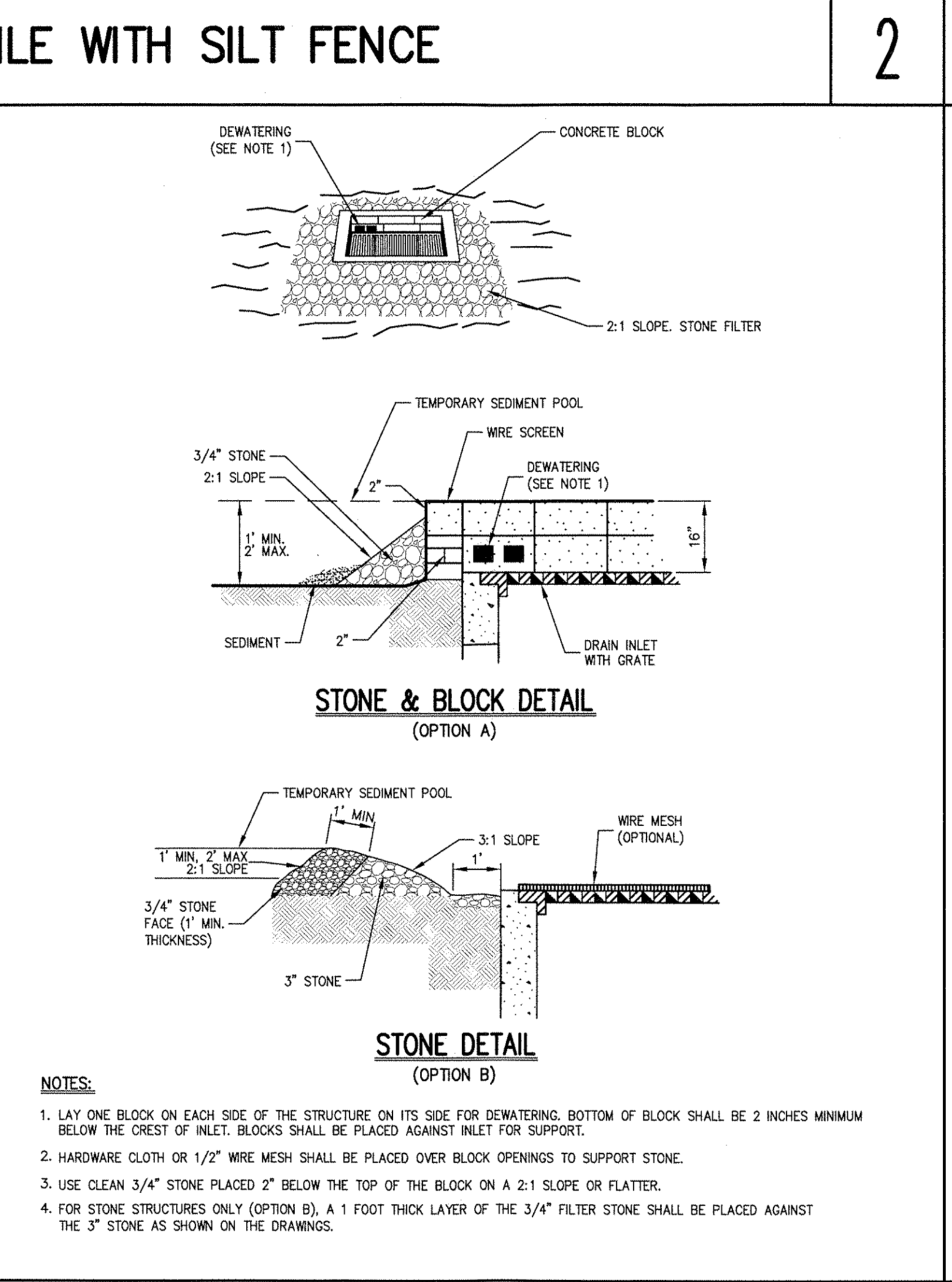
**NOTES:**

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEED HOLES SHALL BE PROTECTED BY GRAVE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



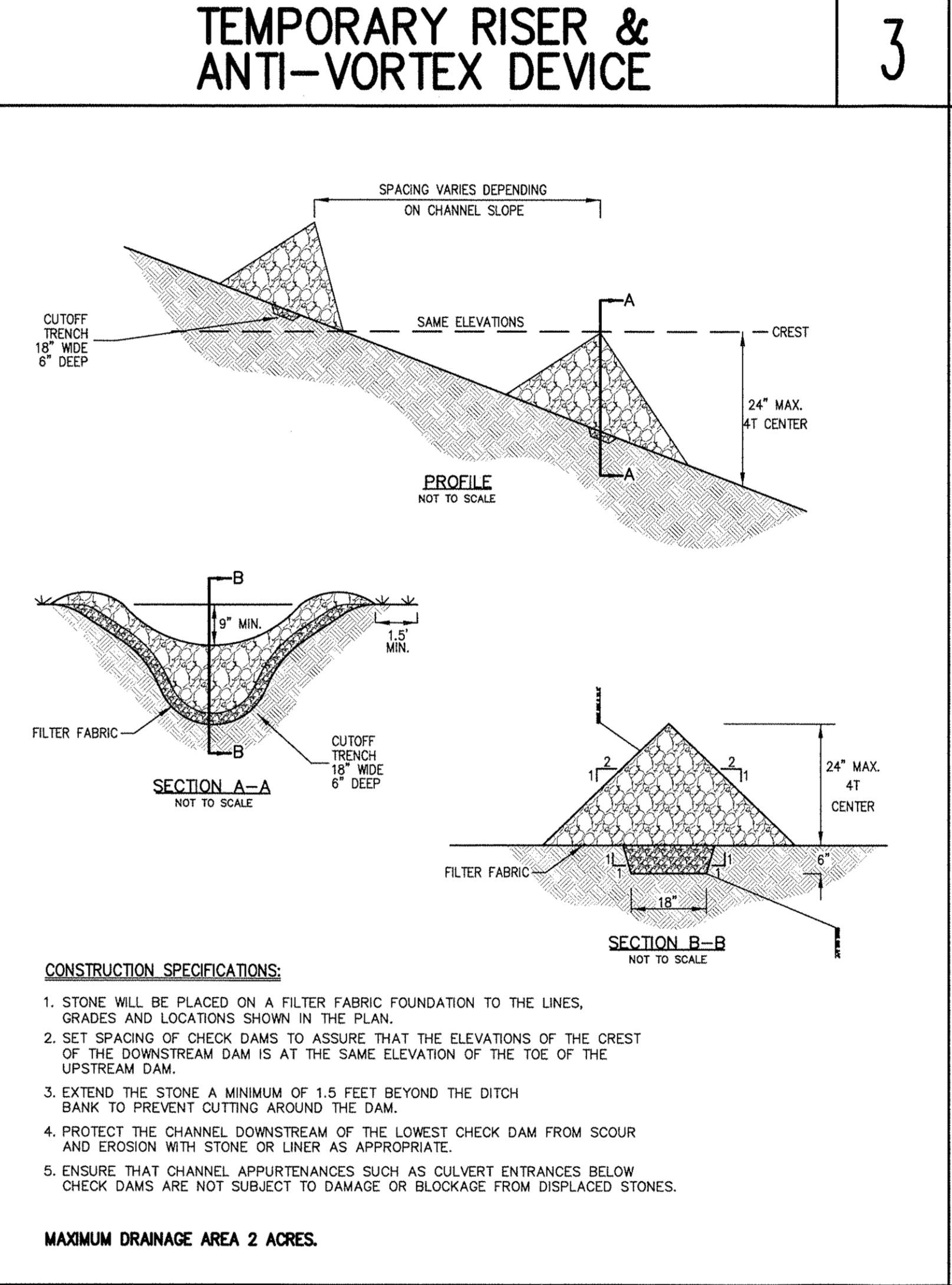
**NOTES:**

- FILTER FABRIC SHALL HAVE AN EGS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2' LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
- INLET PROTECTION SHALL BE INSPECTED FREQUENTLY, MAINTAINED, REPAIRED OR REPLACED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
- INLET PROTECTION SHALL BE REMOVED WHEN DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- IF A SIDEWALK EXISTS, THE CONTRACTOR SHALL PROVIDE PROTECTIVE FENCING (SEE DETAIL) TO PROTECT THE PUBLIC.
- THE MESH SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- MAXIMUM DRAINAGE AREA 1 ACRE.



**NOTES:**

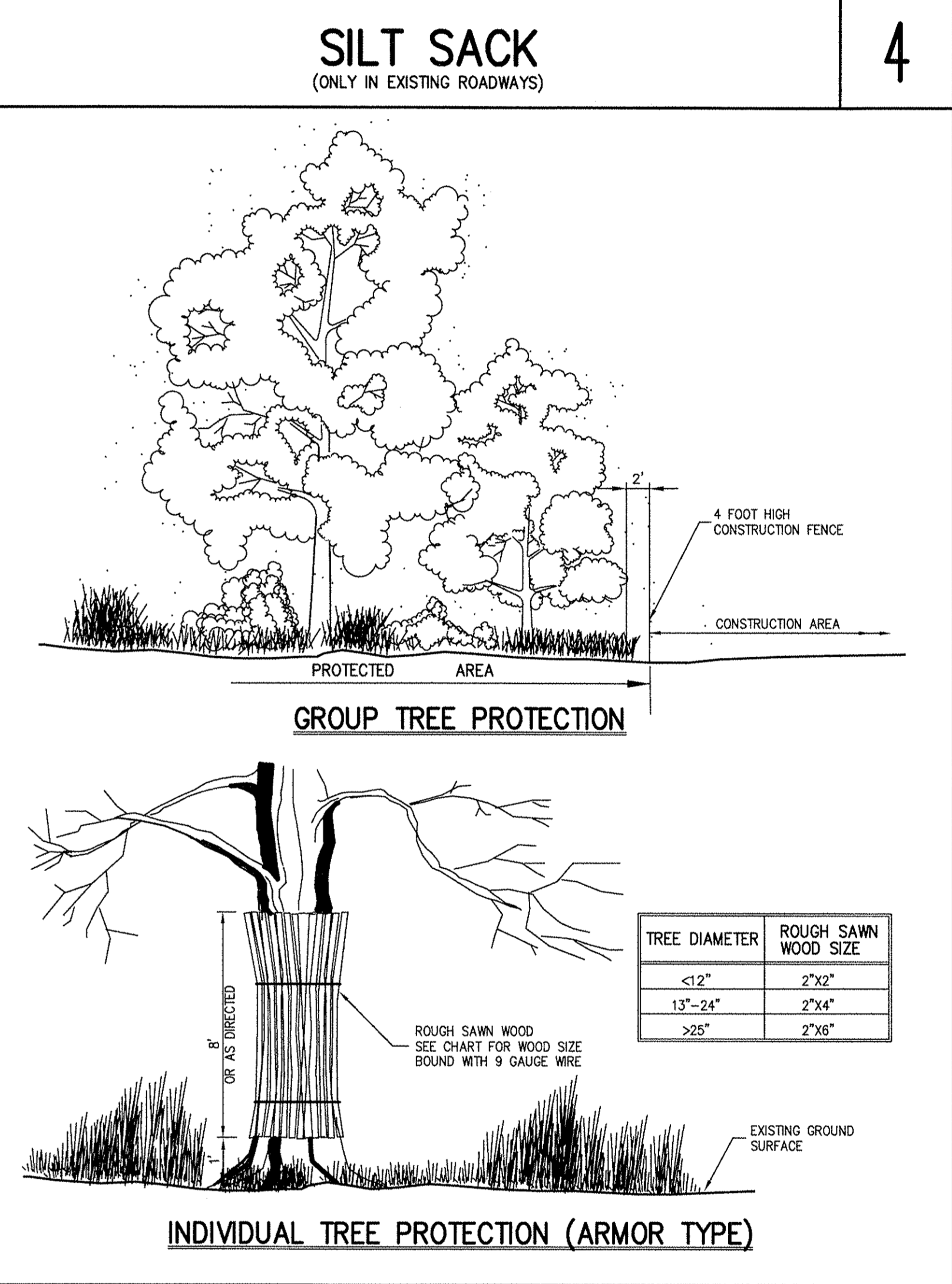
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DOWELING. BOTTOM OF BLOCK SHALL BE 2 INCHES MINIMUM BELOW THE CREST OF INLET. BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCKS TO SUPPORT STONE.
- USE CLEAN 3/4" STONE PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY (OPTION B), A 1 FOOT THICK LAYER OF THE 3/4" STONE SHALL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.



**CONSTRUCTION SPECIFICATIONS:**

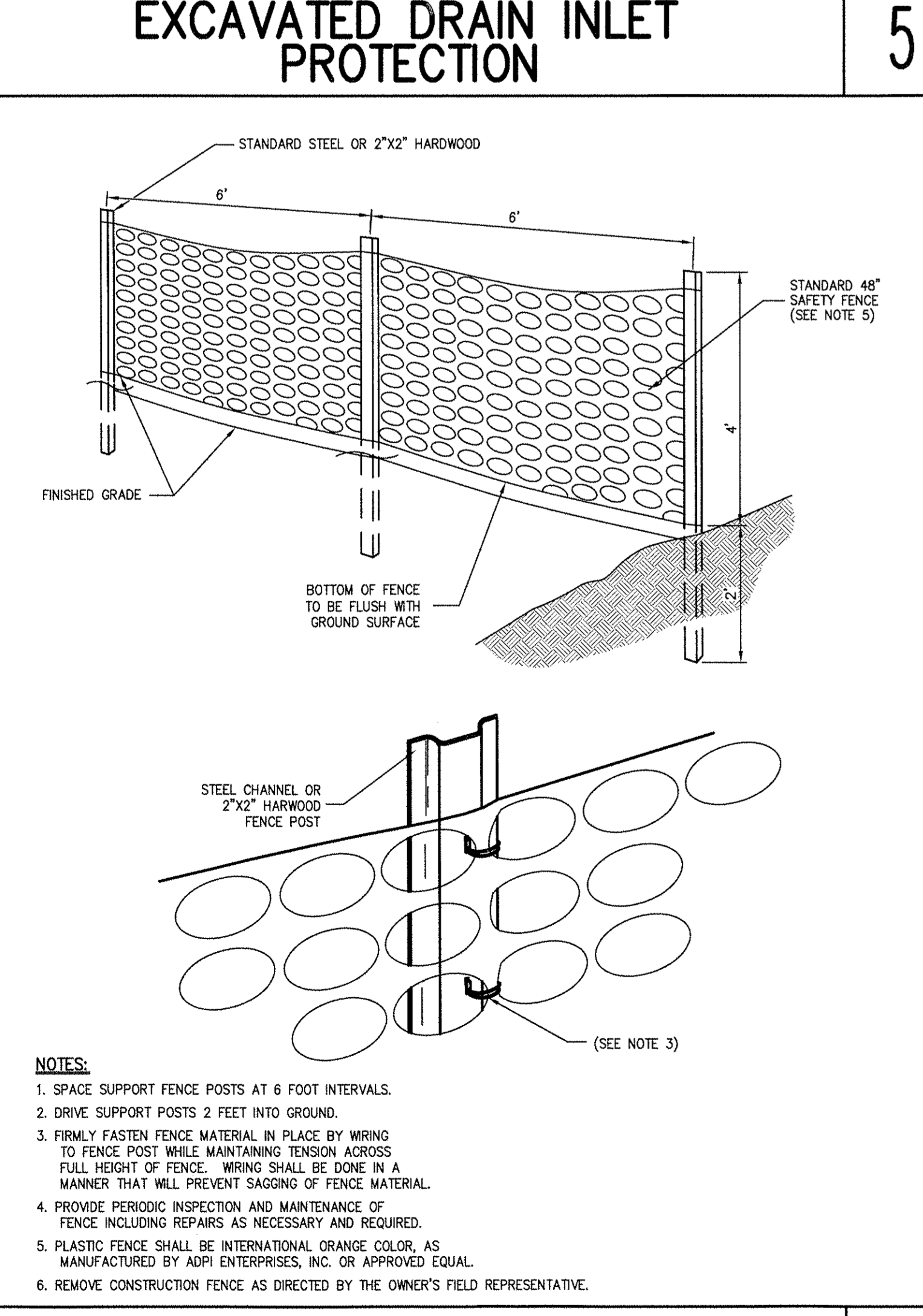
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

**MAXIMUM DRAINAGE AREA 2 ACRES.**



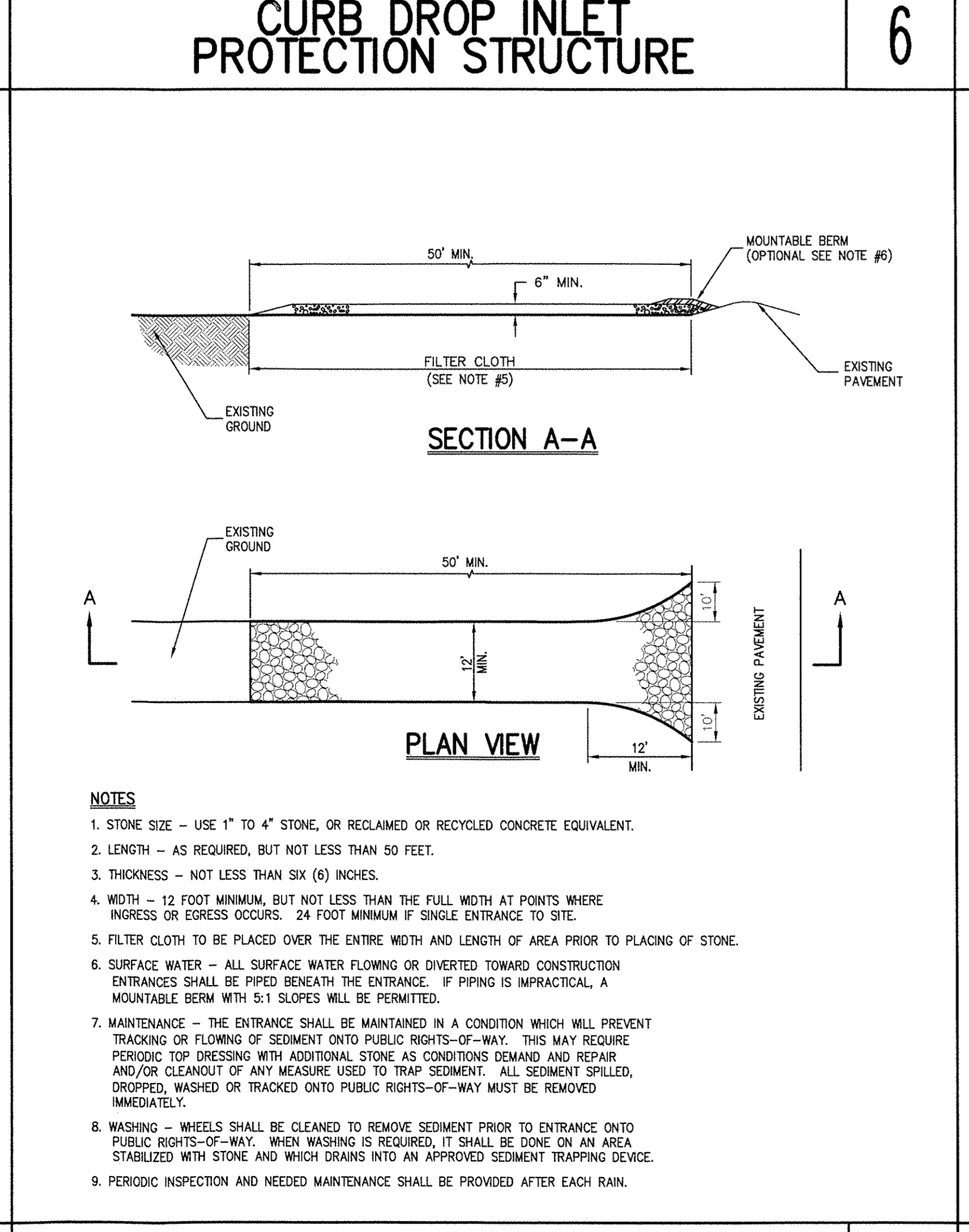
**TREE PROTECTION**

TREE DIAMETER	ROUGH SAWN WOOD SIZE
41/2"	2" X 2"
1 1/2" - 2 1/4"	2" X 4"
3"	2" X 6"



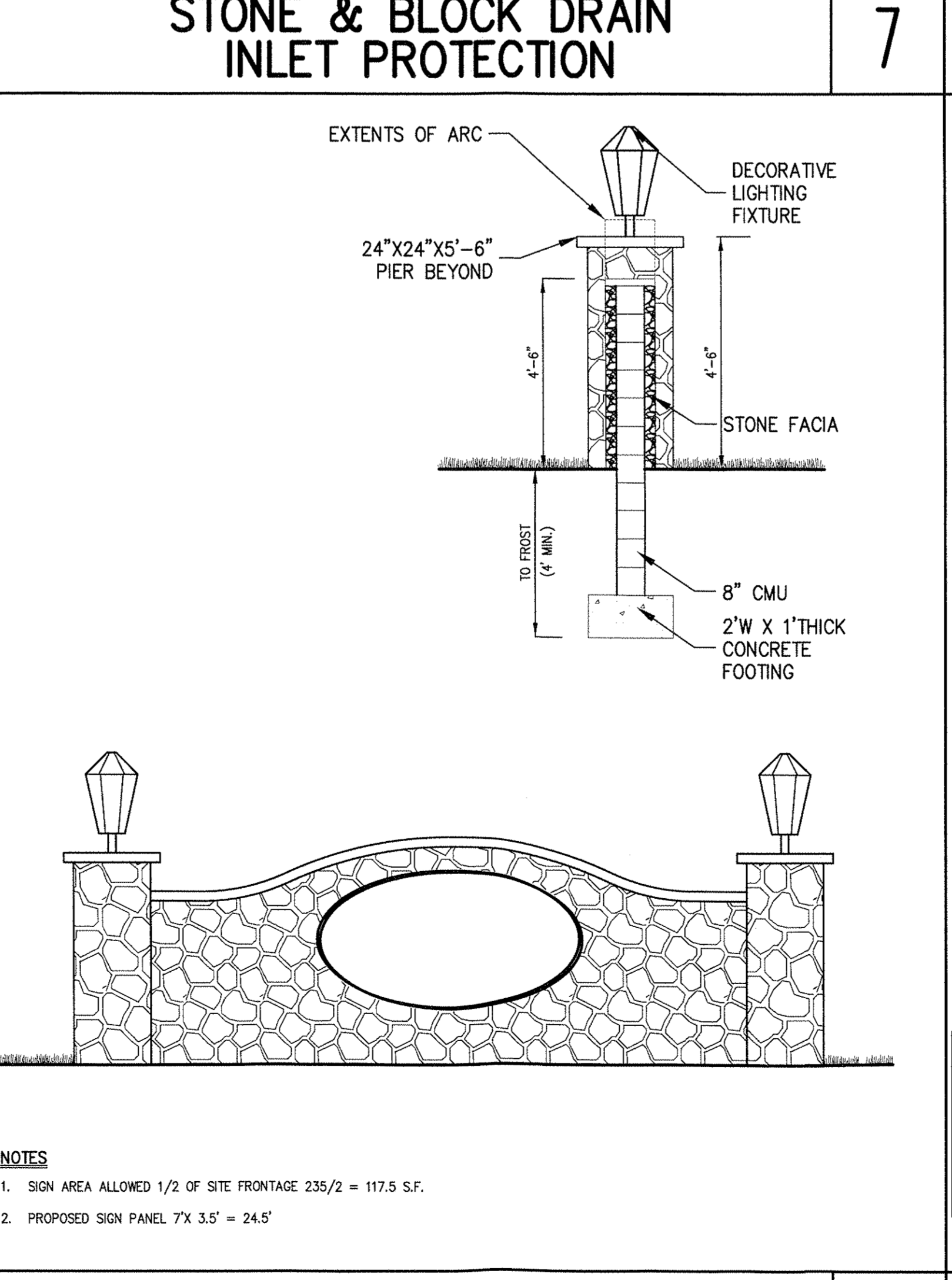
**NOTES:**

- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
- DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
- INSTALL FASTEN FENCE MATERIAL IN PLACE BY WINDING TO FENCE POST WHILE MAINTAINING TENSION AROUND FULL HEIGHT OF FENCE. WINDING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
- PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ARI ENTERPRISES, INC. OR APPROVED EQUAL.
- REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.



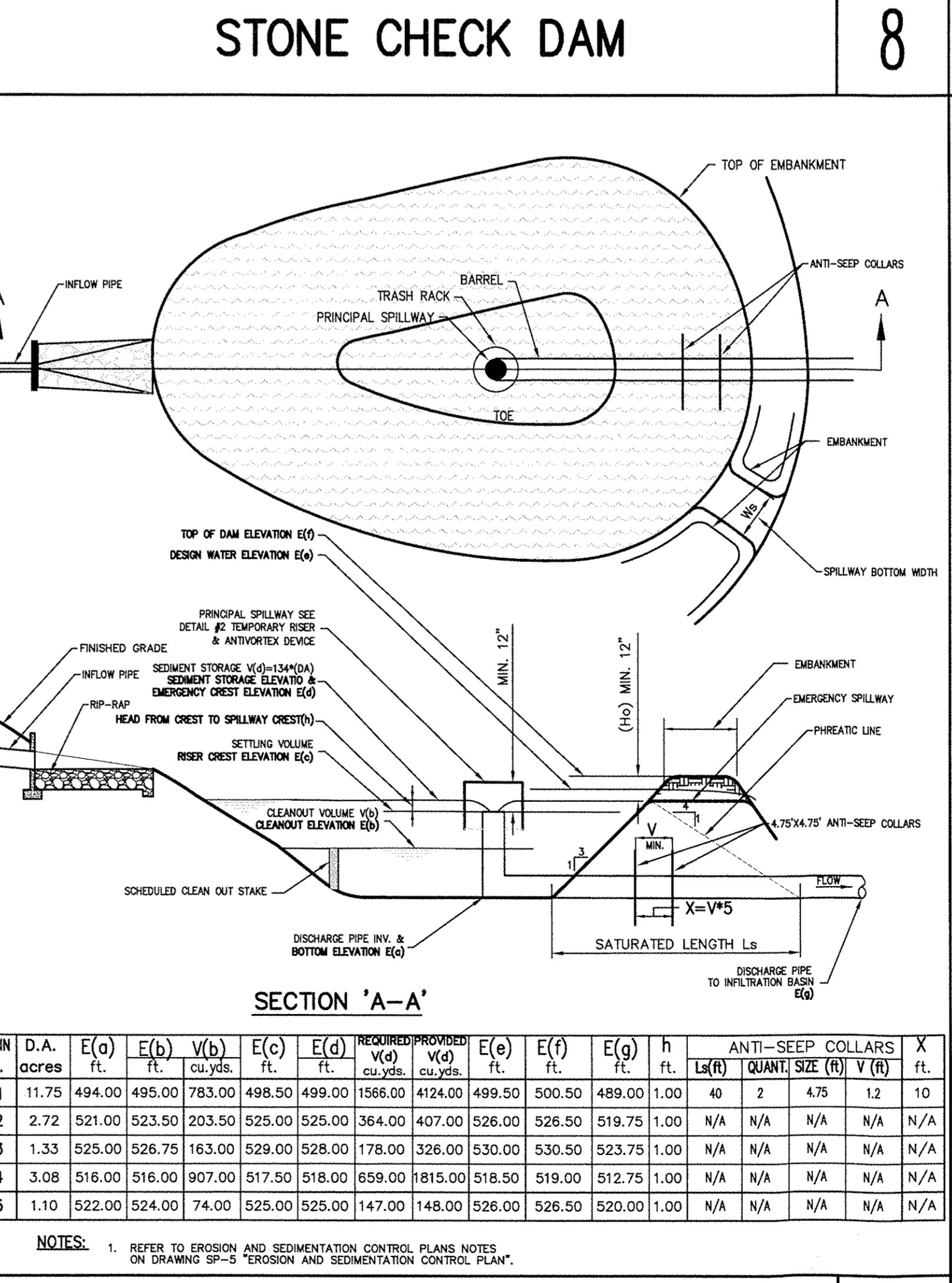
**NOTES:**

- STONE SIZE - USE 1" TO 4" STONE, OR REHABILITATED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESSES OR CROSSINGS OCCUR. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 1:1 SLOPES WILL BE FURNISHED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, MICHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



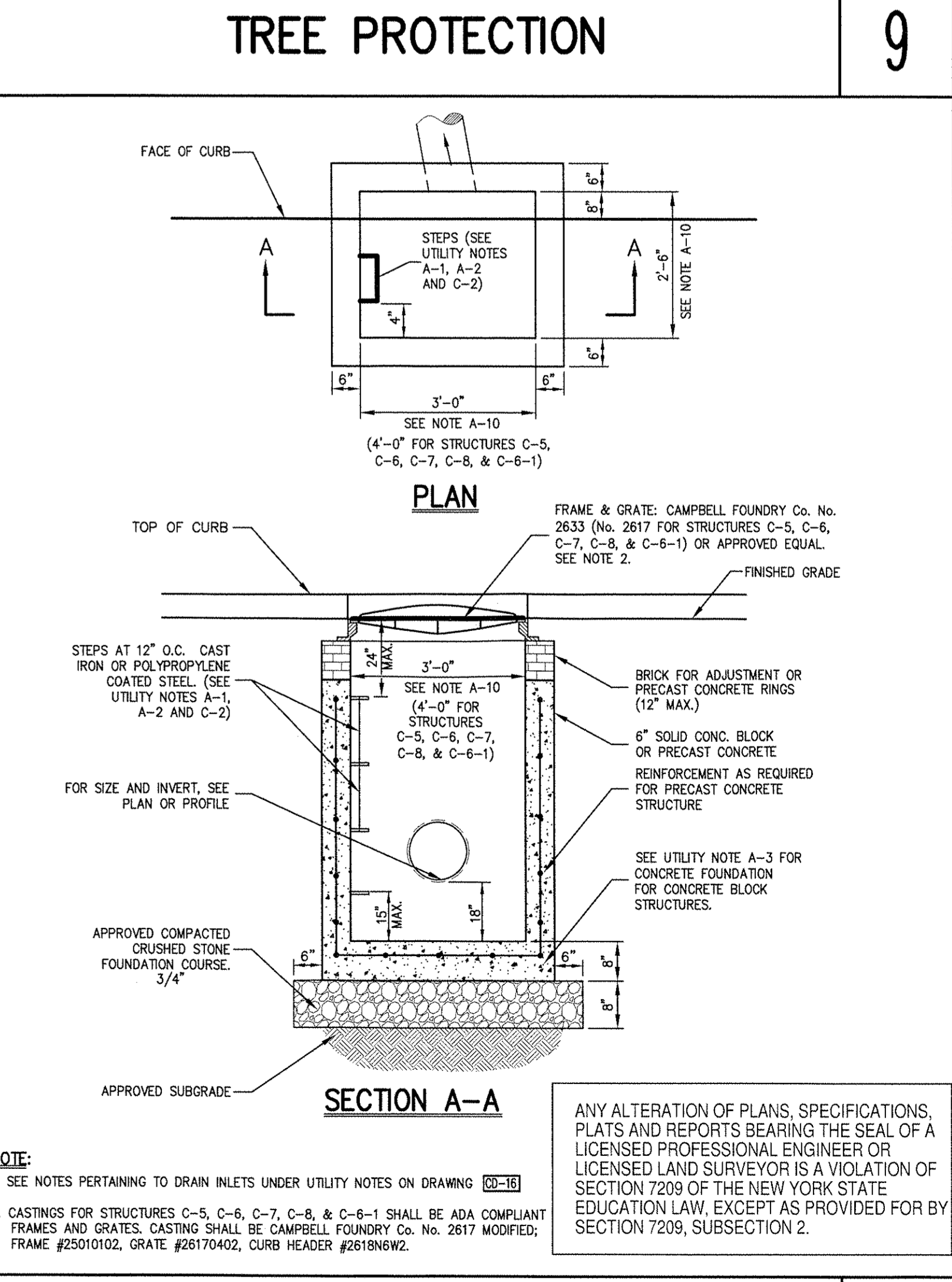
**NOTES:**

- SOIL AREA ALLOWED 1/2 OF SITE FRONTAGE 235/2 = 117.5 SF.
- PROPOSED SIGN PANEL 7' X 3.5' = 24.5'



**NOTES:**

- REFER TO PROGRESS AND REMEDIATION CONTROL PLANS NOTES ON DRAWING SP-5 "PROGRESS AND REMEDIATION CONTROL PLAN."



**NOTE:**

- SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING SP-3.
- CASTING FOR STRUCTURES C-5, C-6, C-7, C-8, & C-9 SHALL BE ADA COMPLIANT. FRAMES AND GRATES CASTING SHALL BE CAMPBELL FOUNDRY CO. NO. 2617 WOODFORD, FRAME, PERFORATING, GRADE, W/THICK, CURB, INLETS, #8 REBAR.

CONSTRUCTION FENCE 10

STABILIZED CONSTRUCTION ENTRANCE 11

DECORATIVE STONE WALL & PIERS 12

TEMPORARY SEDIMENTATION BASIN DETAIL 13

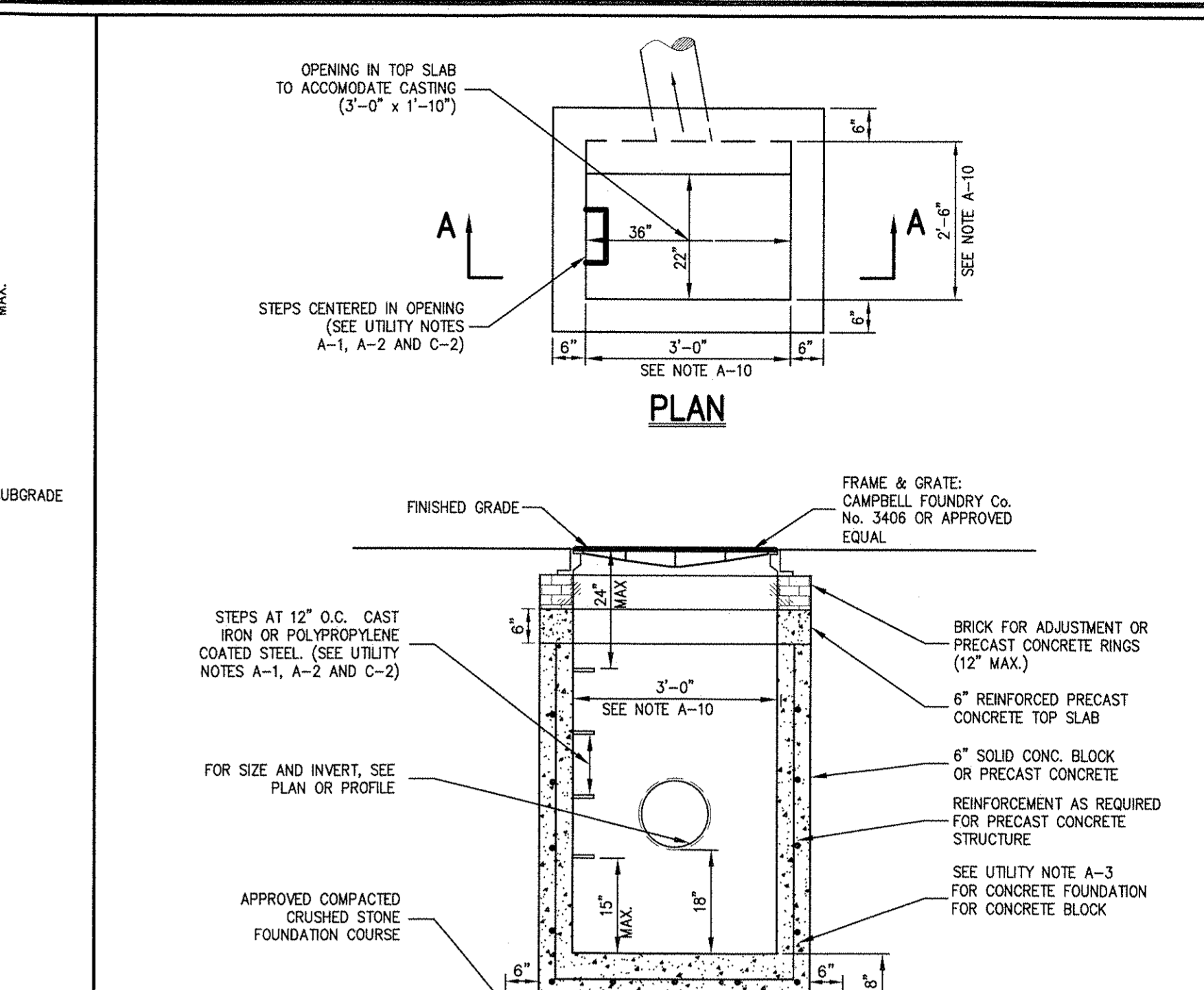
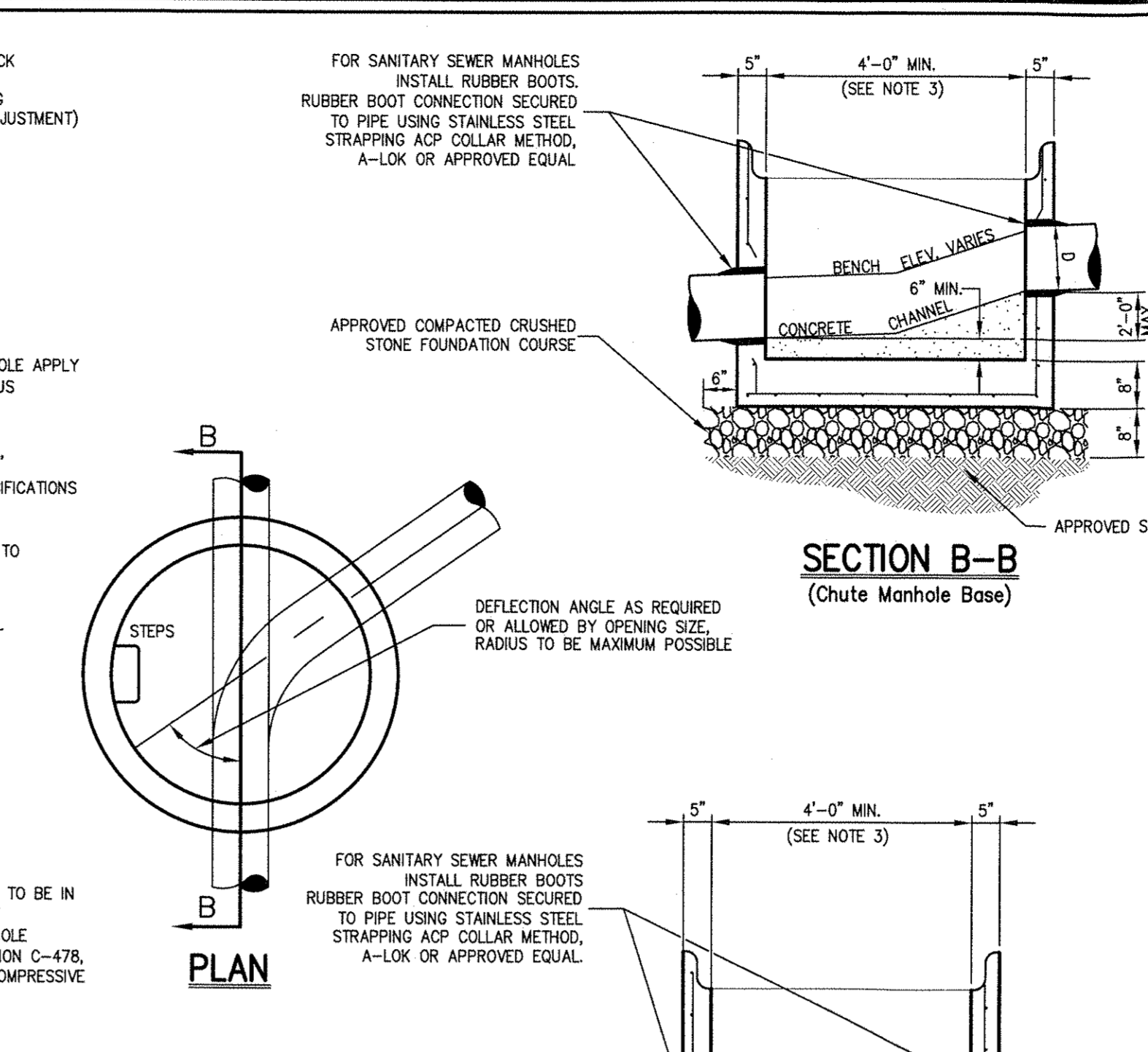
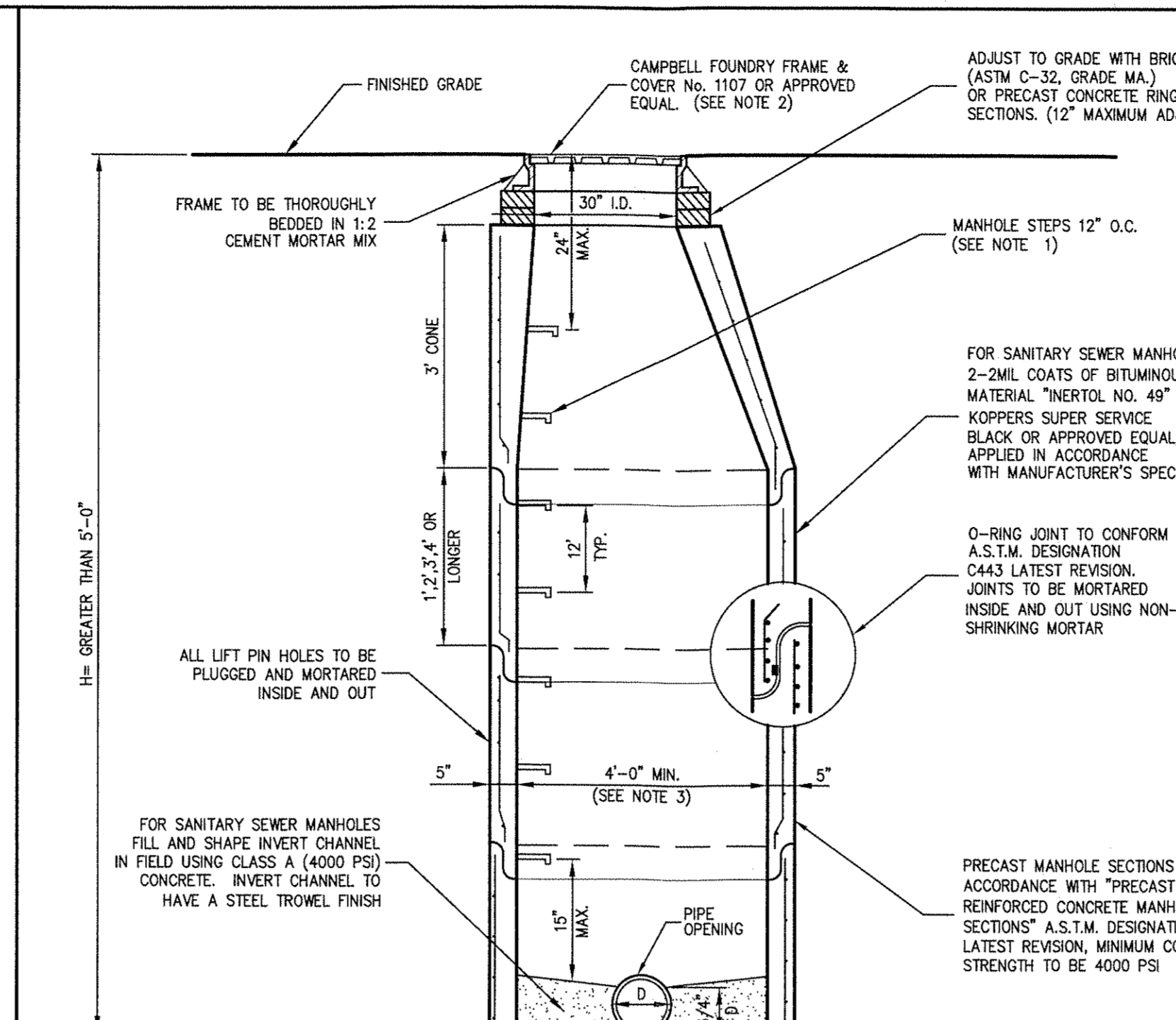
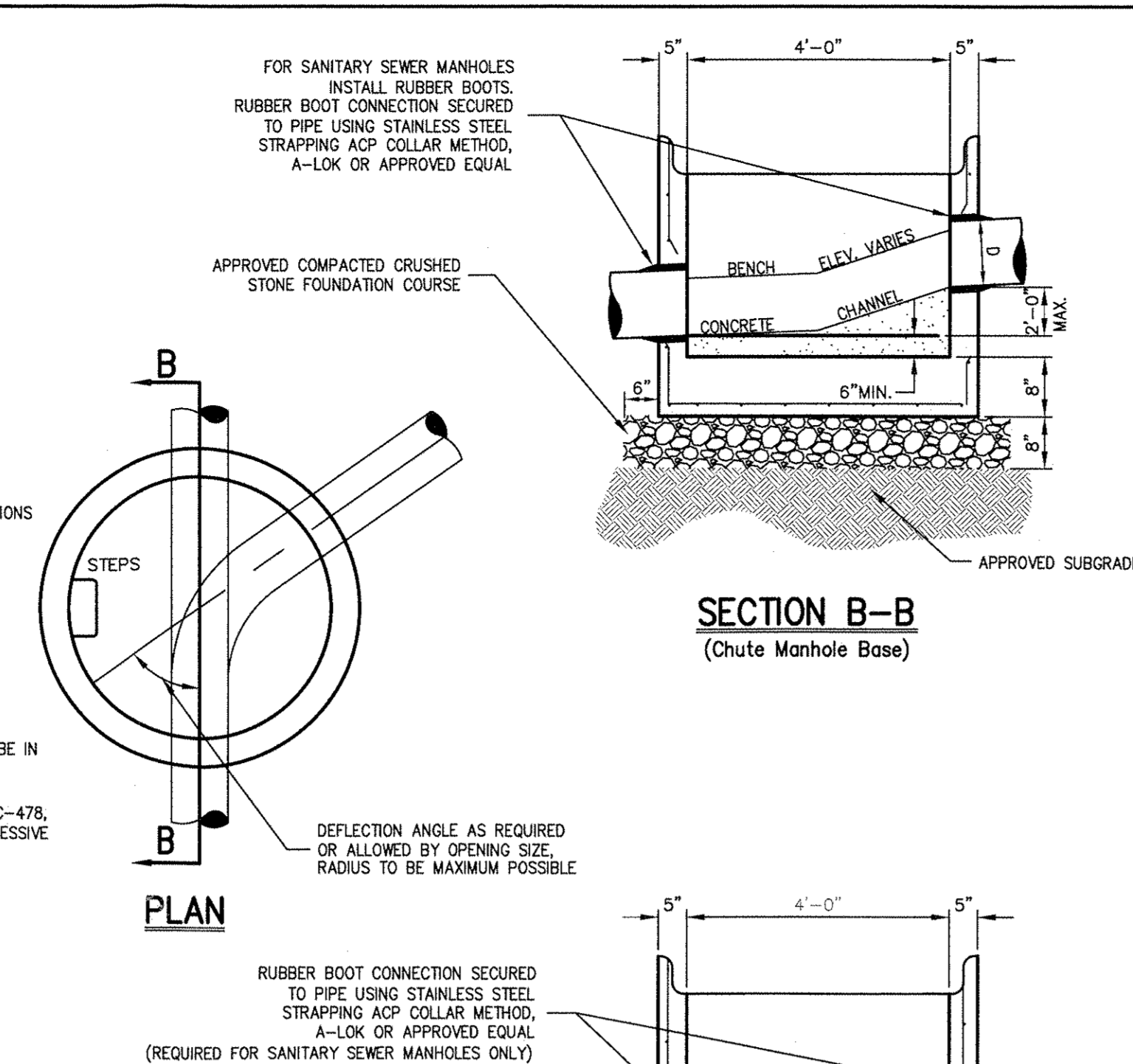
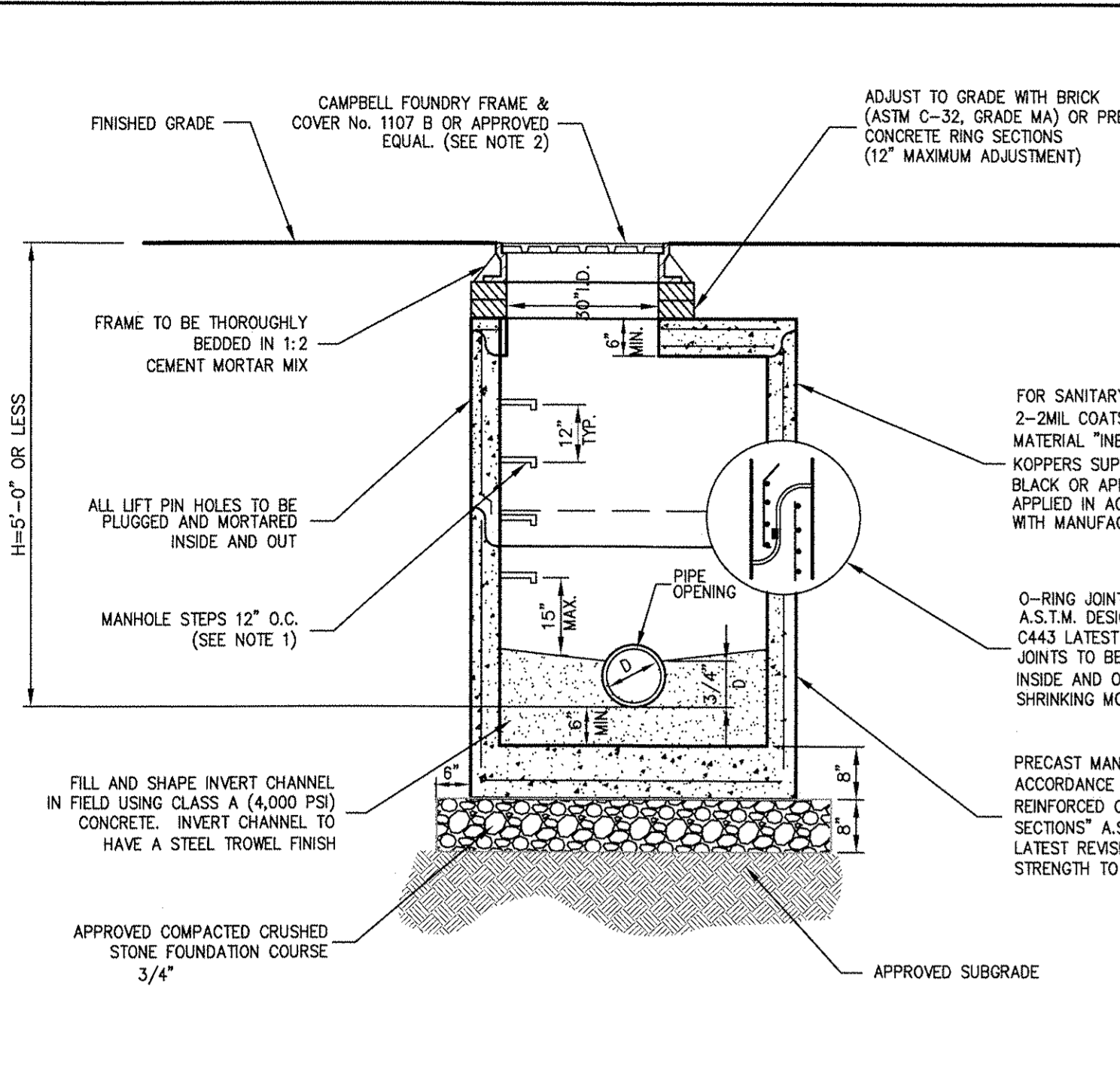
DRAIN INLET (TYPE CI) 14

**DRAMA MEADOW HILL, LLC**  
47 RIVER ROAD  
SUMMIT, NJ 07901

**MINNO & WASKO ARCHITECTS**  
1 RAYMOND PLAZA W #210  
NEWARK, NJ 07102

**JMC**  
CONSTRUCTION DETAILS  
MEADOW HILL ROAD EXPANSION  
TOWN OF NEWBURGH, NY

DATE: 05/06/2016  
SCALE: NOT TO SCALE  
SHEET: 16015  
PROJECT: SP-11



**NOTES:**

- MANHOLE STEPS SHALL BE CAST IRON NENAH NO. R-1981-O OR CAMPBELL FOUNDRY NO. 2088-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVERS. THE COVERS SHALL HAVE VENT HOLES.
- MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.A. REQUIREMENTS.
- SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING [SP-1].

**NOTES:**

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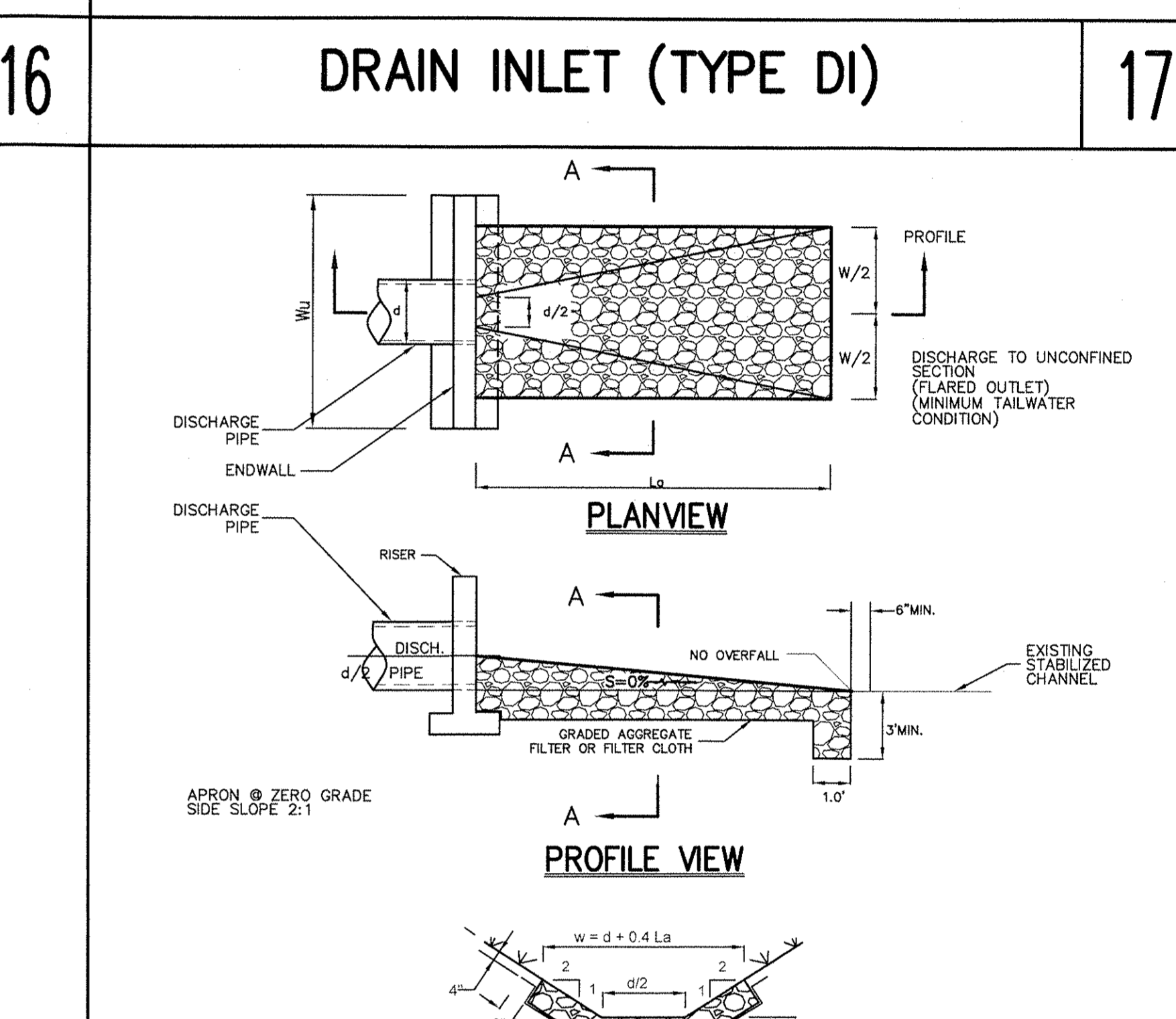
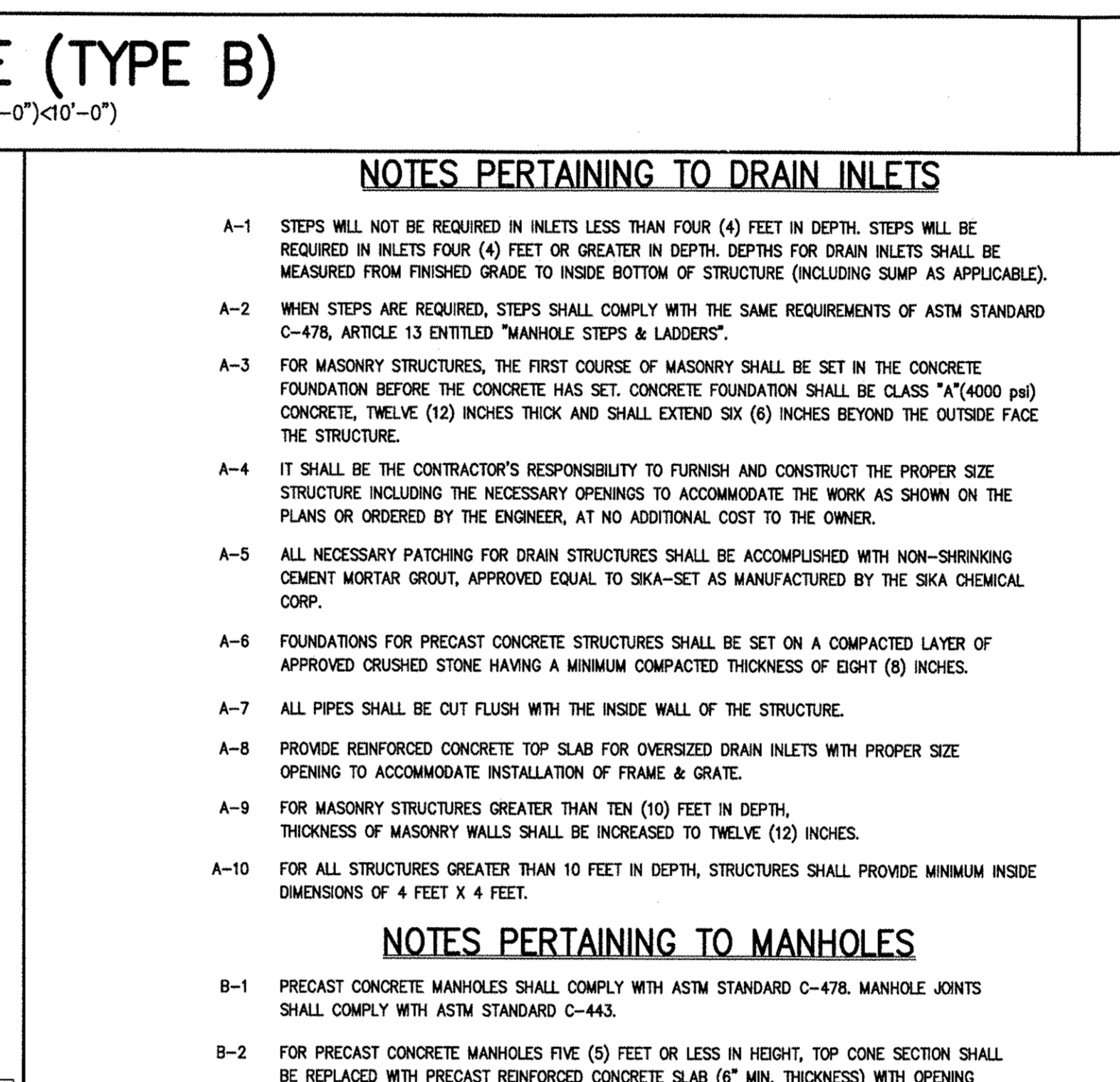
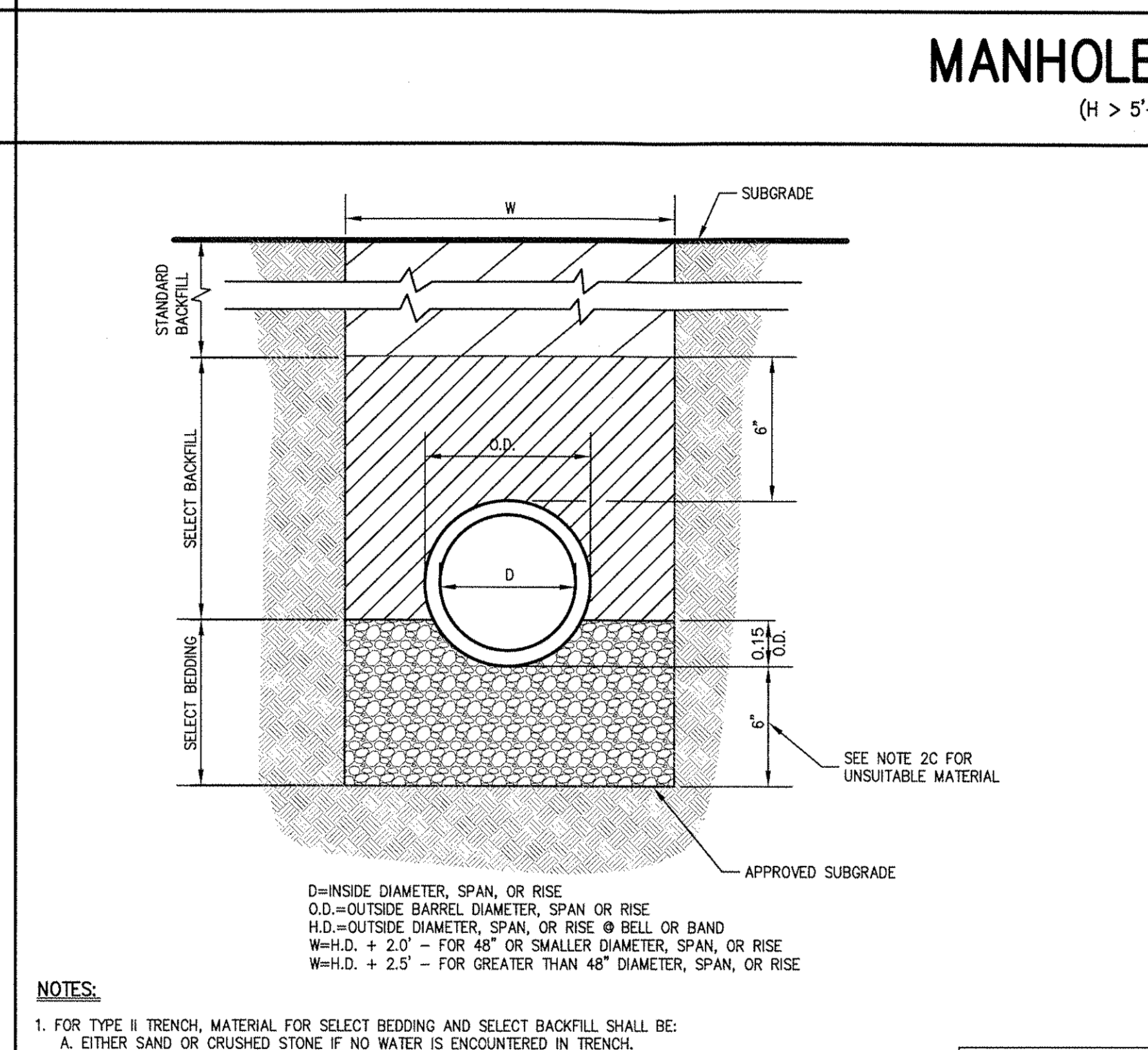
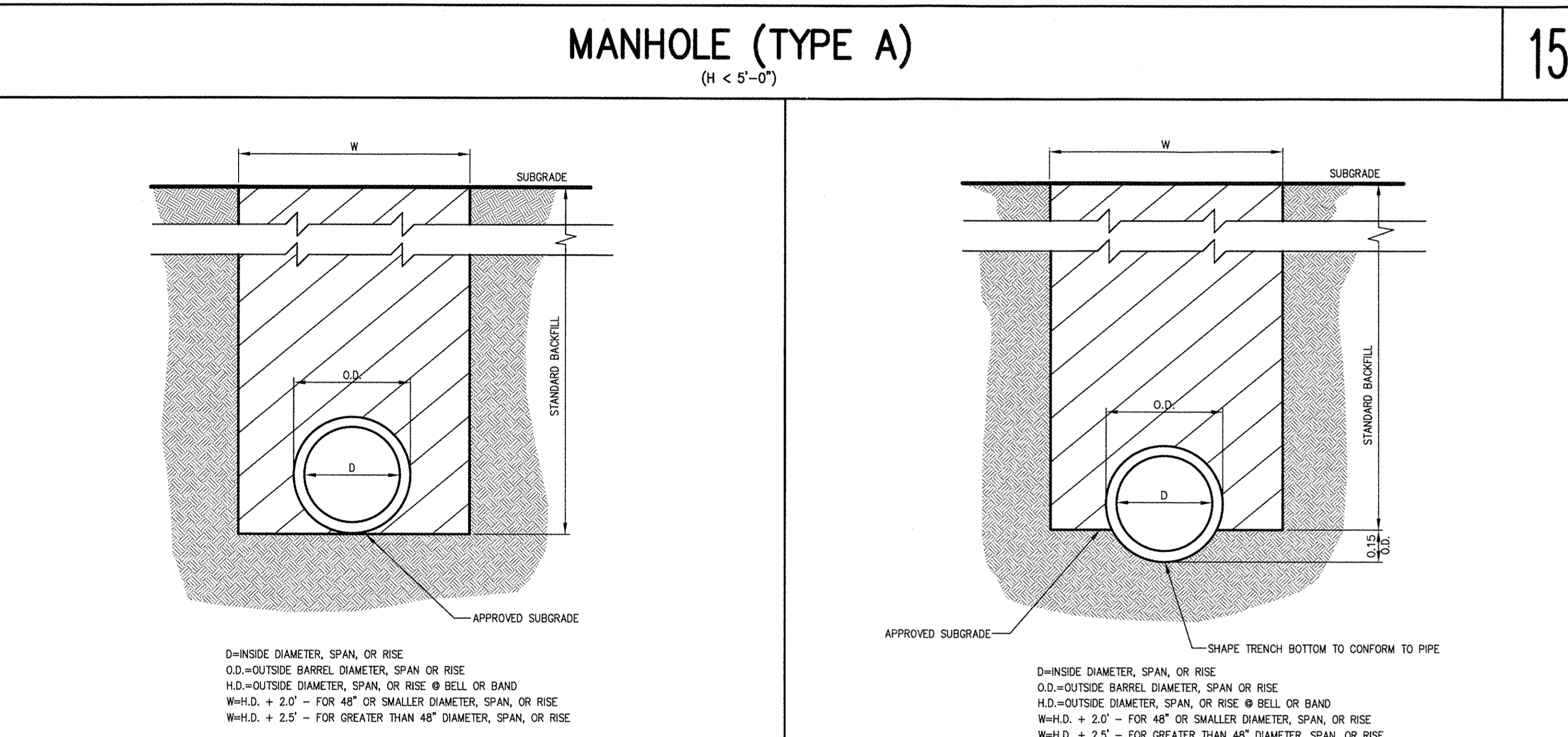
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**NOTES:**

- MANHOLES WITH DEPTH (D) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
- MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.A. REQUIREMENTS.
- SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING [SP-1].

**NOTE:**

- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE TO ACCOMMODATE AN H-20 DESIGN LOAD.
- SEE NOTES PERTAINING TO DRAIN INLETS UNDER "UTILITY NOTES" ON DRAWING [SP-1].



**NOTES:**

- IN FILL AREAS, EMBANKMENTS SHALL BE CONSTRUCTED TO A MAXIMUM OF 2 FEET ABOVE TOP OF PIPE BEFORE EXCAVATING TRENCH.
- FOR CORRUGATED POLYETHYLENE DRAIN PIPE (CPD) INSTALLATION AND POLYETHYLENE GLASS FIBER (PVE) PIPE AND CONDUIT INSTALLATION, USE TYPE II TRENCH.
- BACKFILL FOR PIPE SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED, BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MOISTURE DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HERIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

**NOTES:**

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**NOTES:**

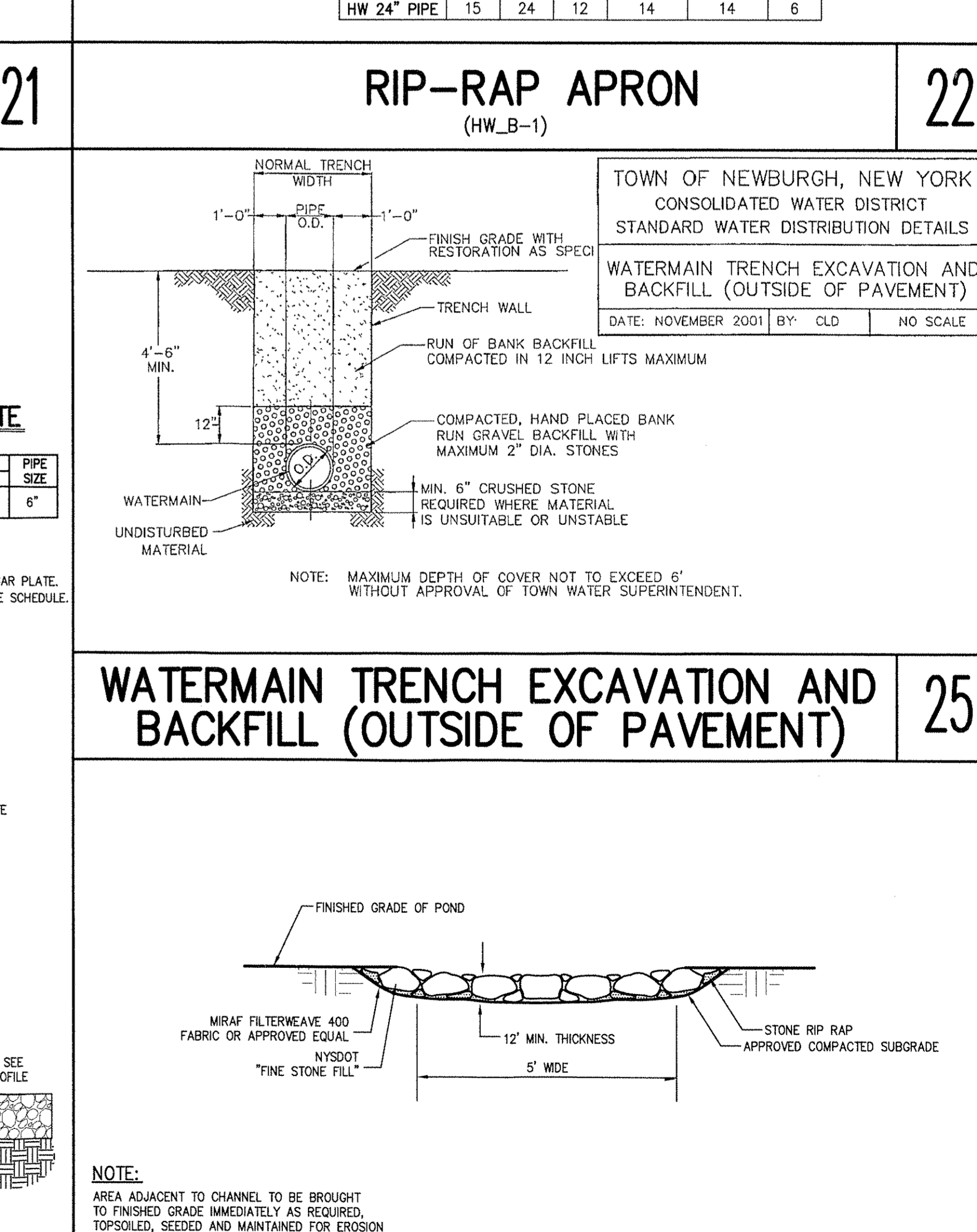
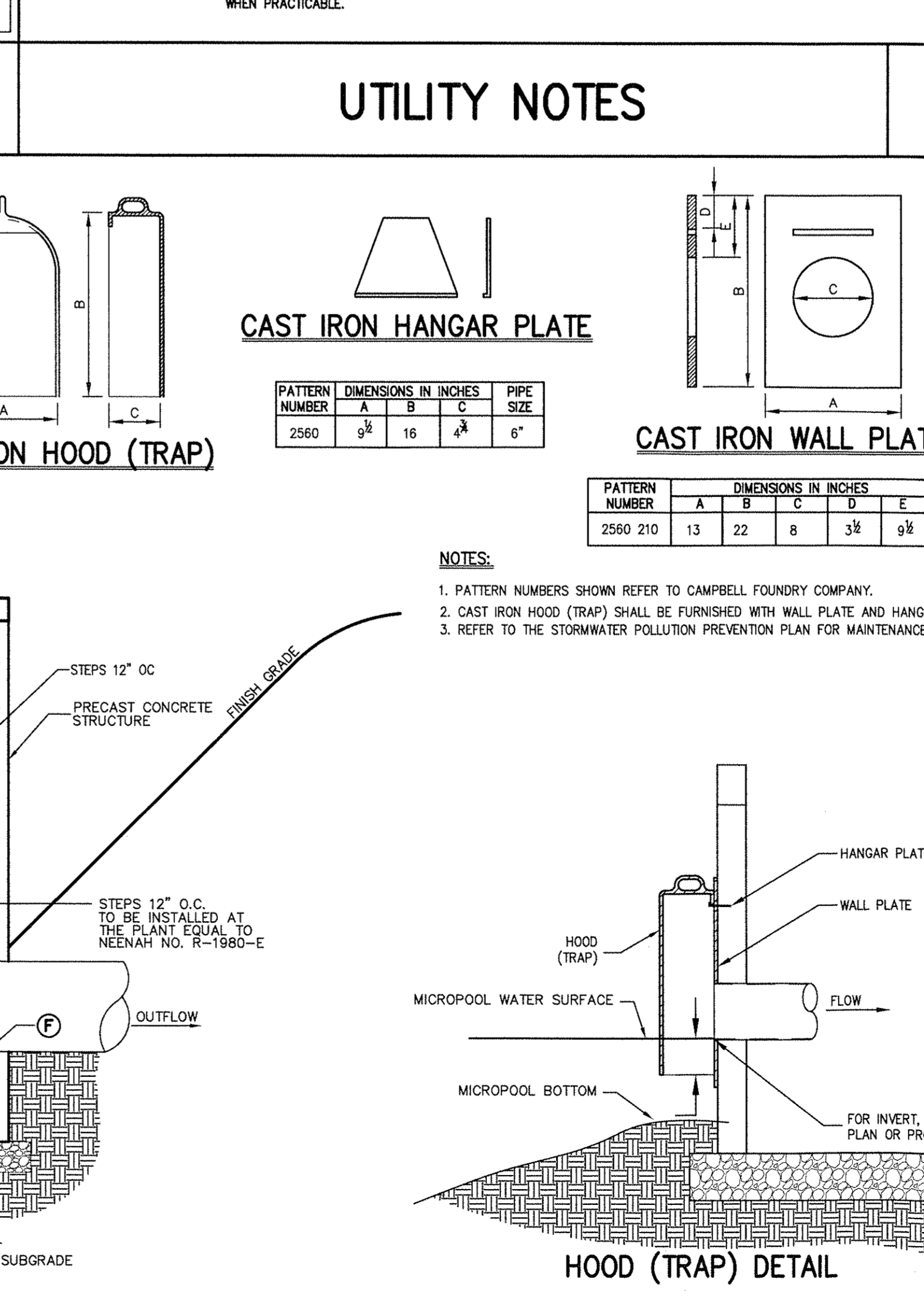
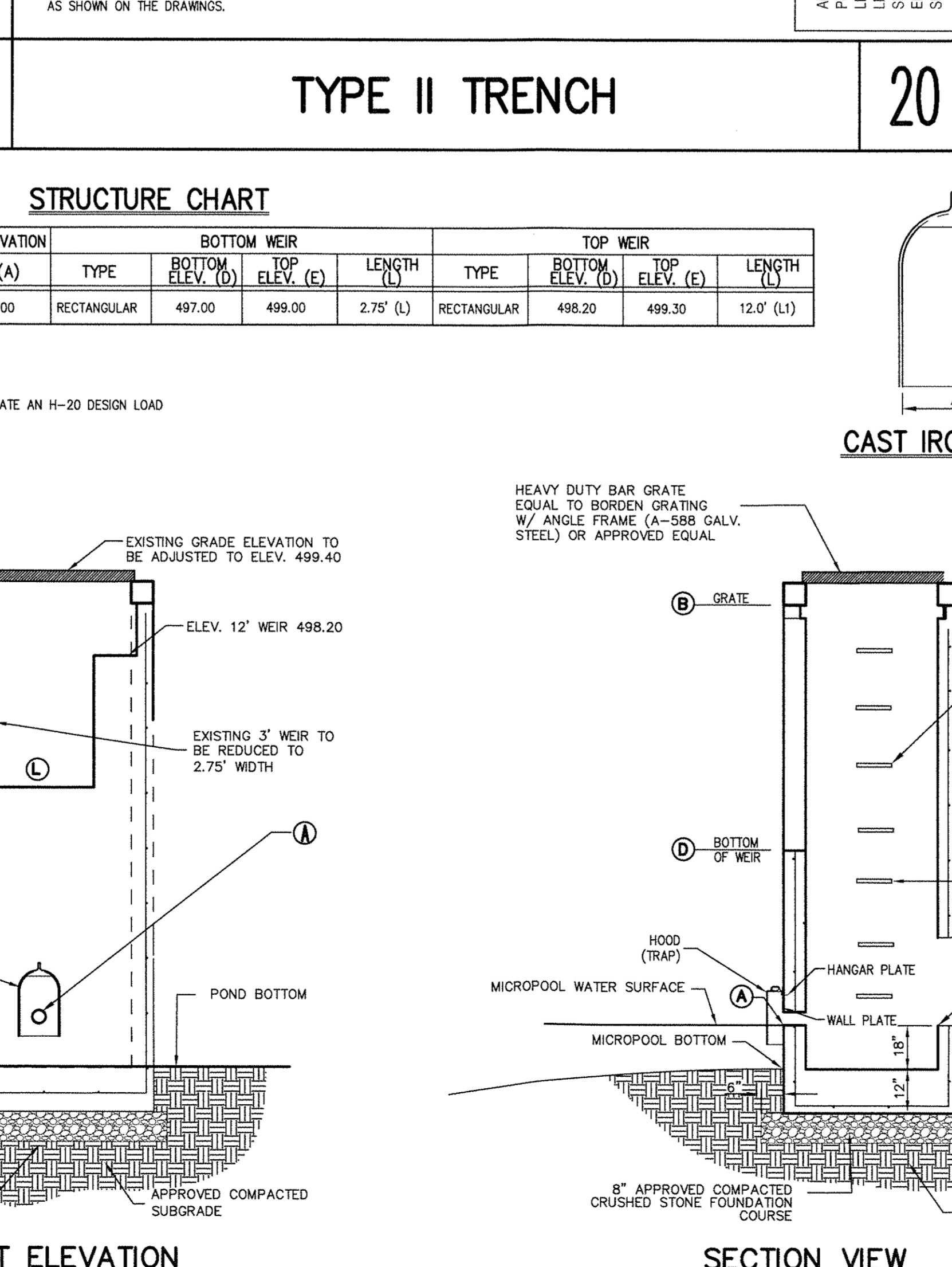
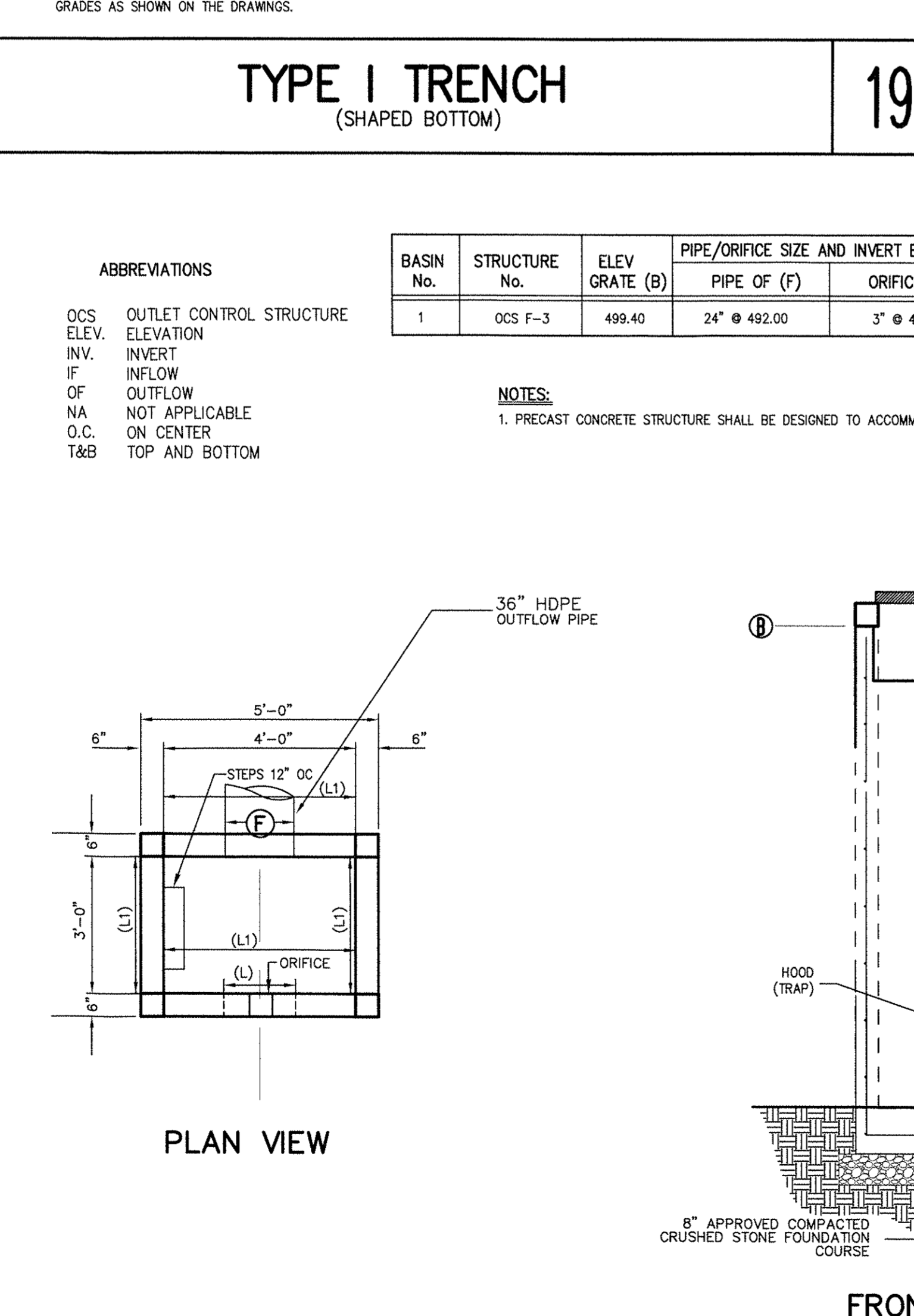
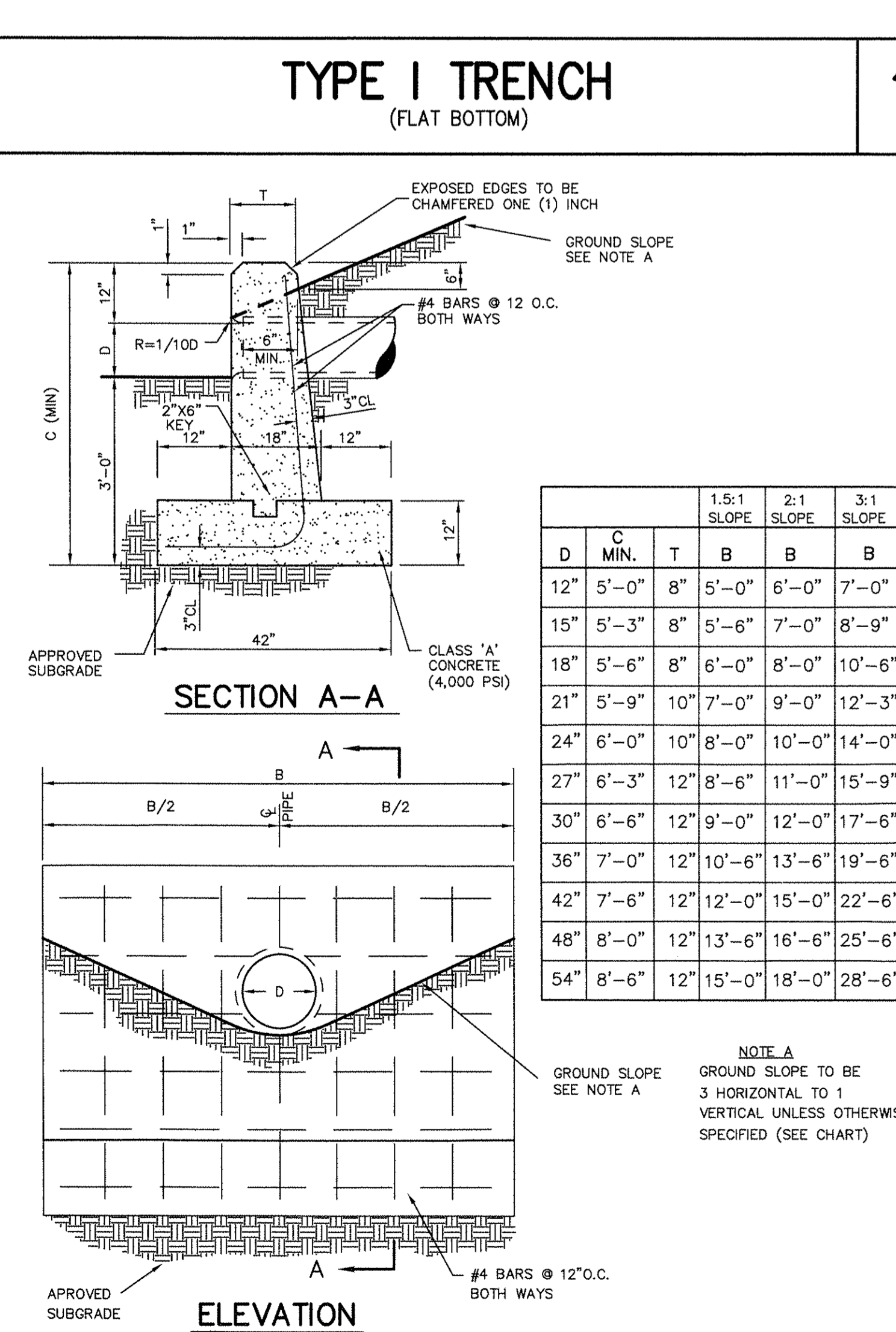
- FOR TYPE I TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE A. EITHER SAND OR CRUSHED STONE IF NO WEEDS IS ENCOUNTERED IN TRENCH. B. 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
- TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES: A. FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPD) AND PVC PIPE AND CONDUIT INSTALLATION. B. WHEN ROCK OR HANGAR IS ENCOUNTERED IN BOTTOM OF TRENCH. C. WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
- FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MAXIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
- BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED, BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MOISTURE DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HERIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

**NOTES PERTAINING TO DRAIN INLETS**

- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTH FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE WAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIK-SET AS MANUFACTURED BY THE Sika CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE OUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTE:**

- SEE RIP-RAP STANDARDS AND SPECIFICATIONS MINIMUM FILL-WATER CONDITION



**NOTES:**

- PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD

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**NOTES:**

- PATTERN NUMBERS SHOWN REFER TO CAMPBELL FOUNDRY COMPANY.
- CAST IRON HOOD (TRAP) SHALL BE FURNISHED WITH WALL PLATE AND HANGAR PLATE.
- REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR MAINTENANCE SCHEDULE.

**NOTE:**

- AREA ADJACENT TO CHANNEL TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.

**MANHOLE (TYPE A)**  
(H < 5'-0")

**MANHOLE (TYPE B)**  
(H > 5'-0") (D < 10'-0")

**MANHOLE (TYPE B)**  
(H > 5'-0") (D < 10'-0")

**MANHOLE (TYPE B)**  
(H > 5'-0") (D < 10'-0")

**MANHOLE (TYPE B)**  
(H > 5'-0") (D < 10'-0")

**TYPE I TRENCH**  
(FLAT BOTTOM)

**TYPE I TRENCH**  
(SHAPED BOTTOM)

**TYPE II TRENCH**

**UTILITY NOTES**

**RIP-RAP APRON**  
(HW-B-1)

**STRAIGHT CONCRETE HEADWALL**

**OUTLET CONTROL STRUCTURE**  
(RECTANGULAR)

**OUTLET CONTROL STRUCTURE**  
(RECTANGULAR)

**HOOD (TRAP) DETAIL**

**RIP RAP PILOT CHANNEL**

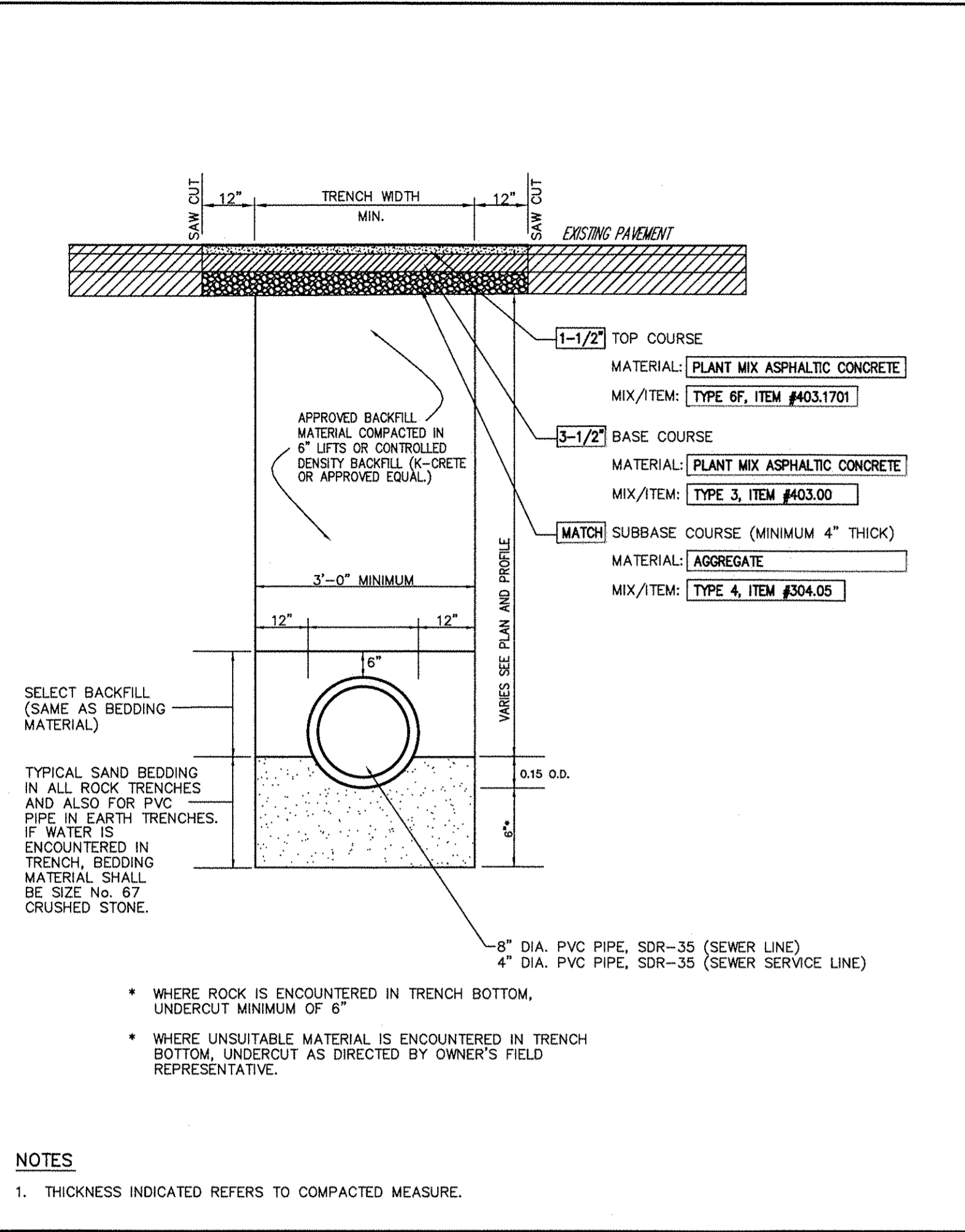
**DRAMA MEADOW HILL, LLC**  
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NEWARK, NJ 07102

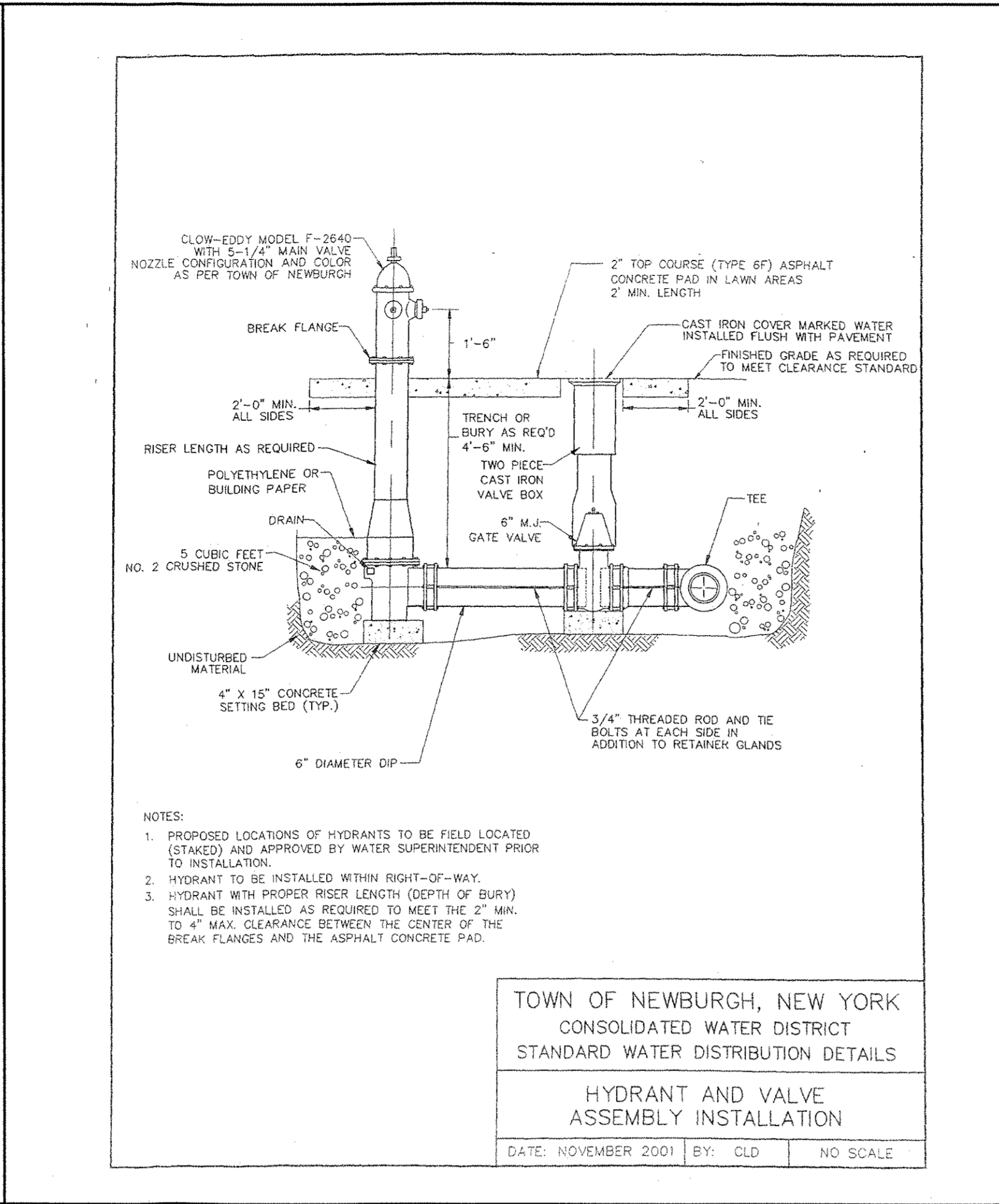
**JMC**  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10804  
PH: 914.271.5205 - FAX: 914.271.2102  
www.jmcpilc.com

**CONSTRUCTION DETAILS**  
MEADOW HILL ROAD EXPANSION  
TOWN OF NEWBURGH, NY

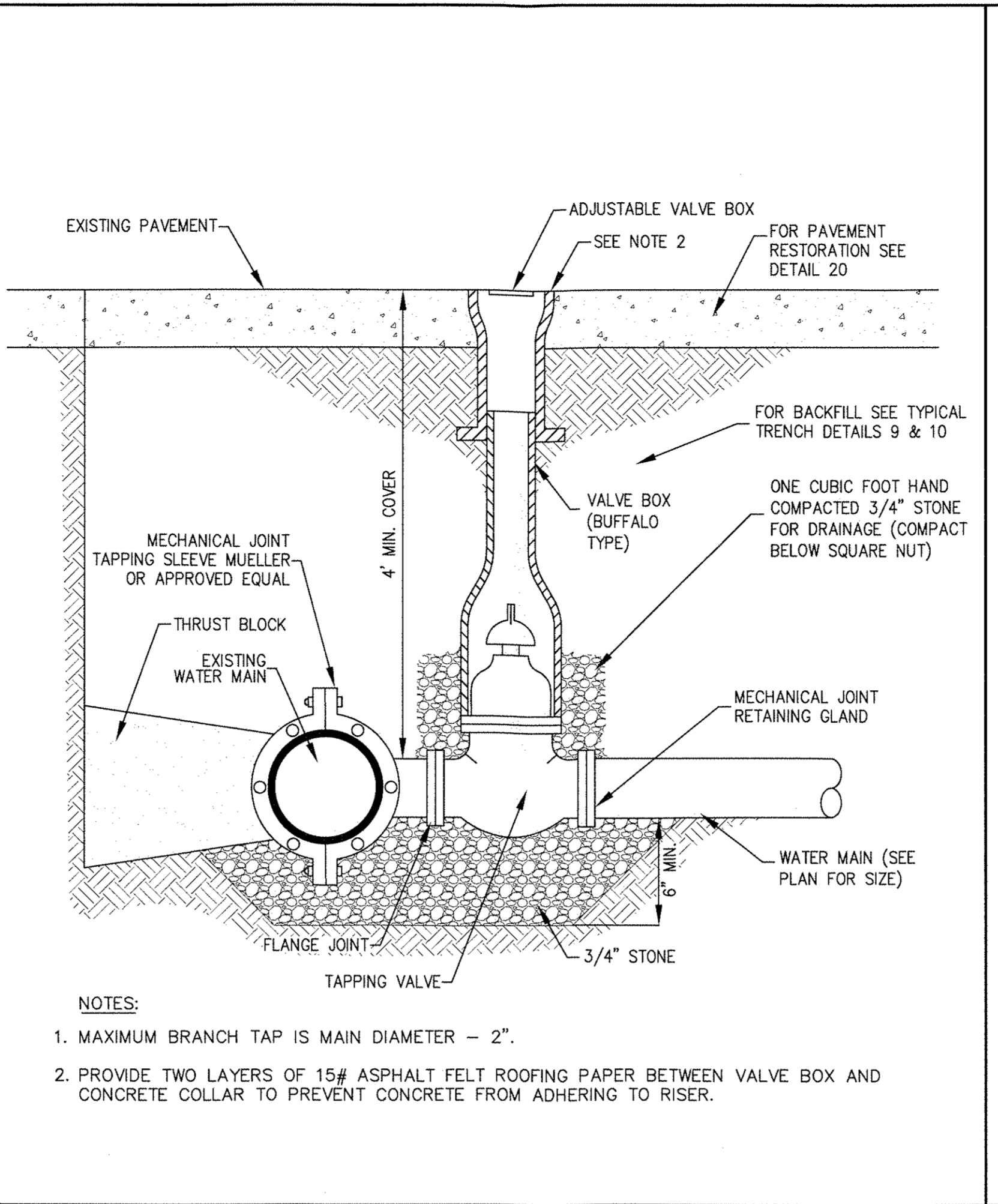
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Scale: NOT TO SCALE  
Date: 05/06/2016  
Project No: 16015  
Revisions: DET 2



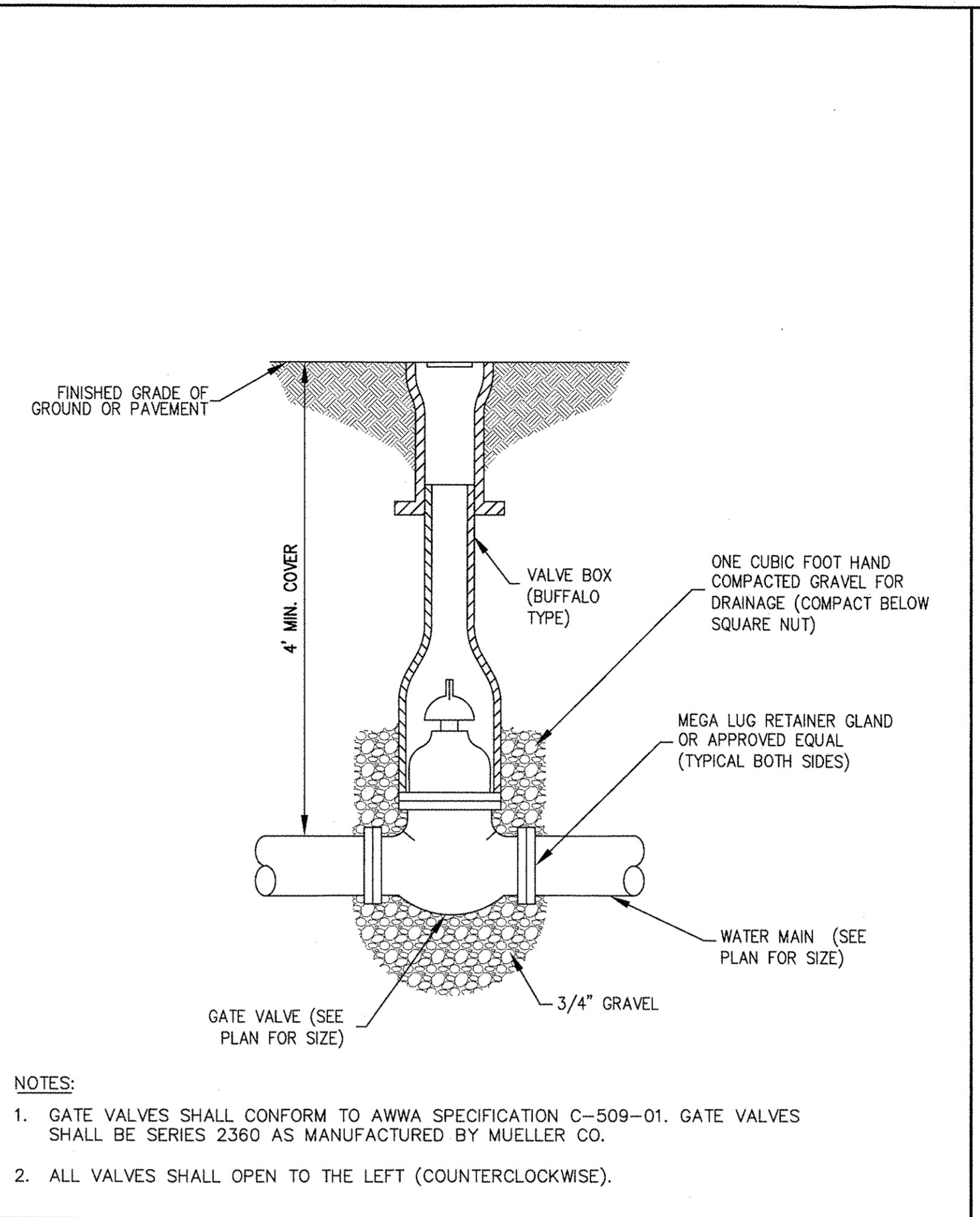
**TRENCH PAVEMENT REPLACEMENT**  
(UNDER PAVEMENT) **27**



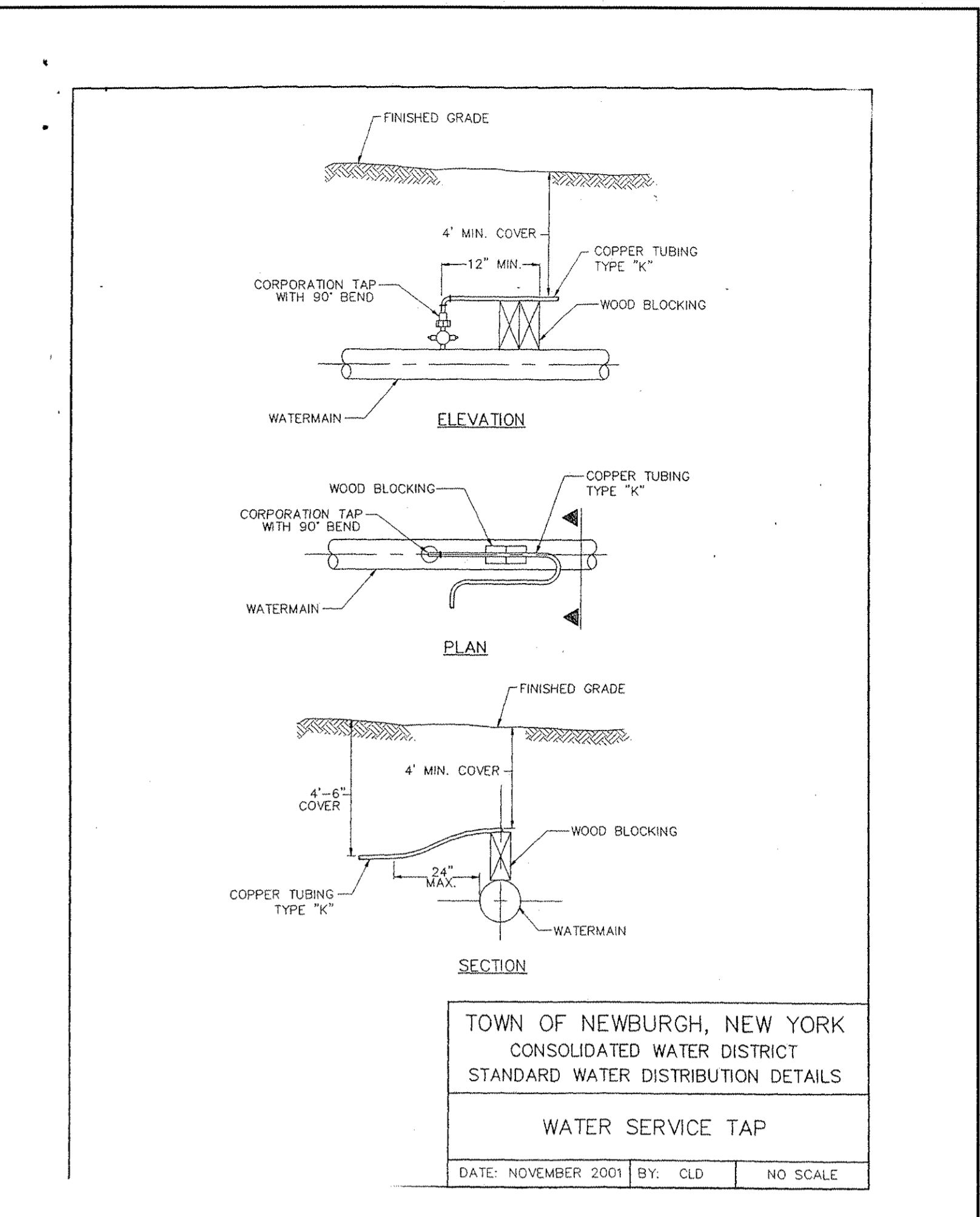
**HYDRANT AND VALVE ASSEMBLY INSTALLATION** **28**



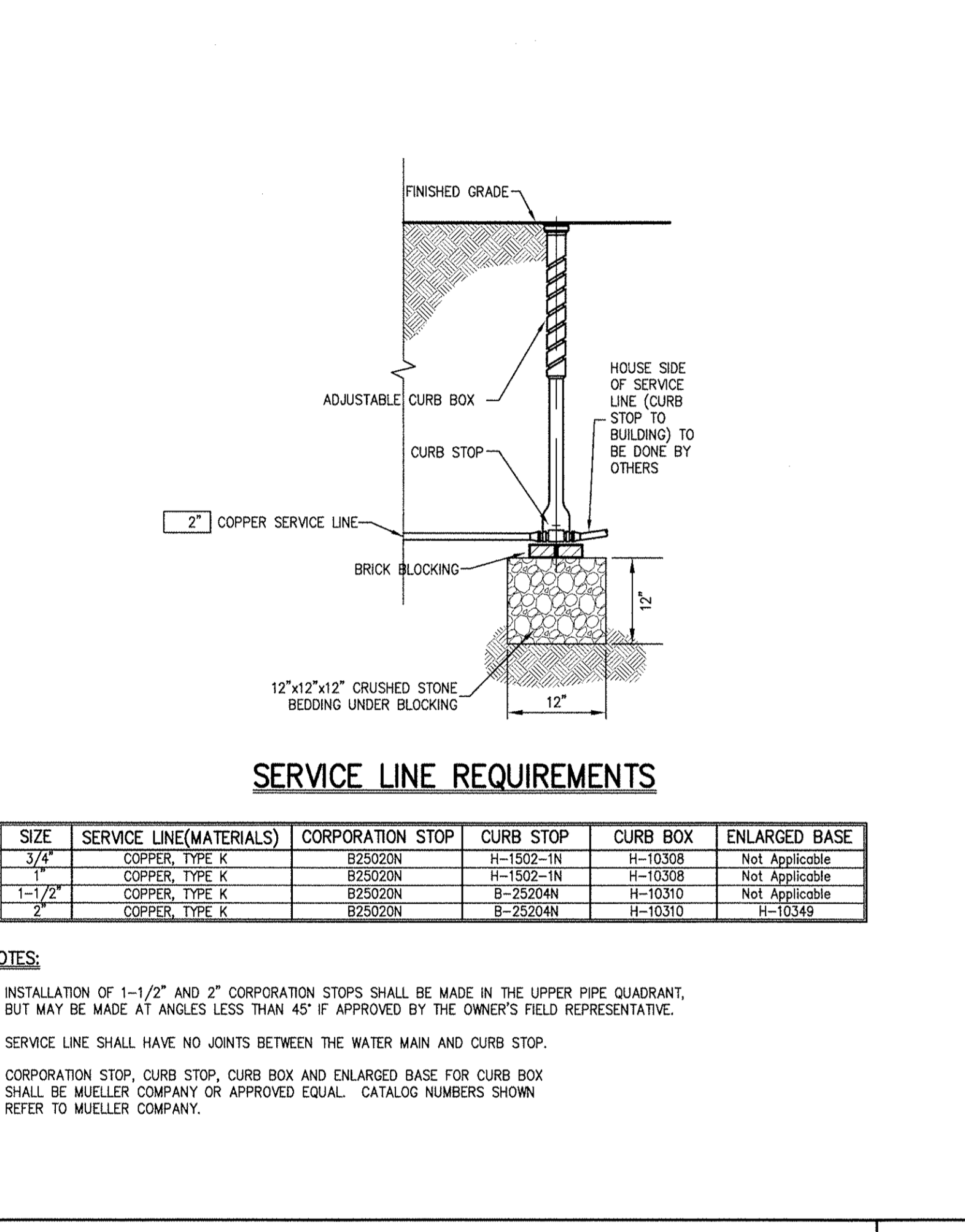
**WET TAP MAIN CONNECTION** **29**



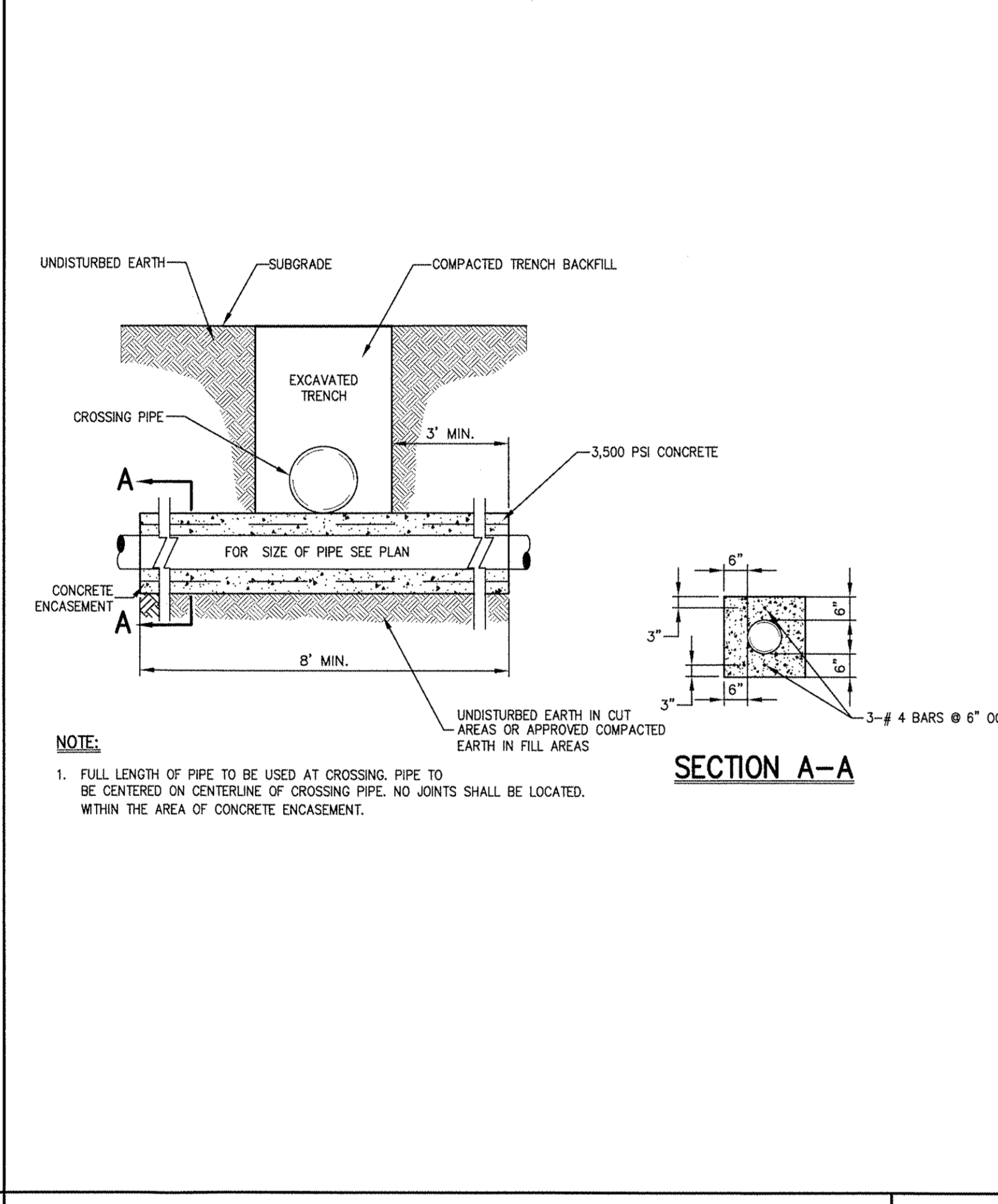
**GATE VALVE** **30**



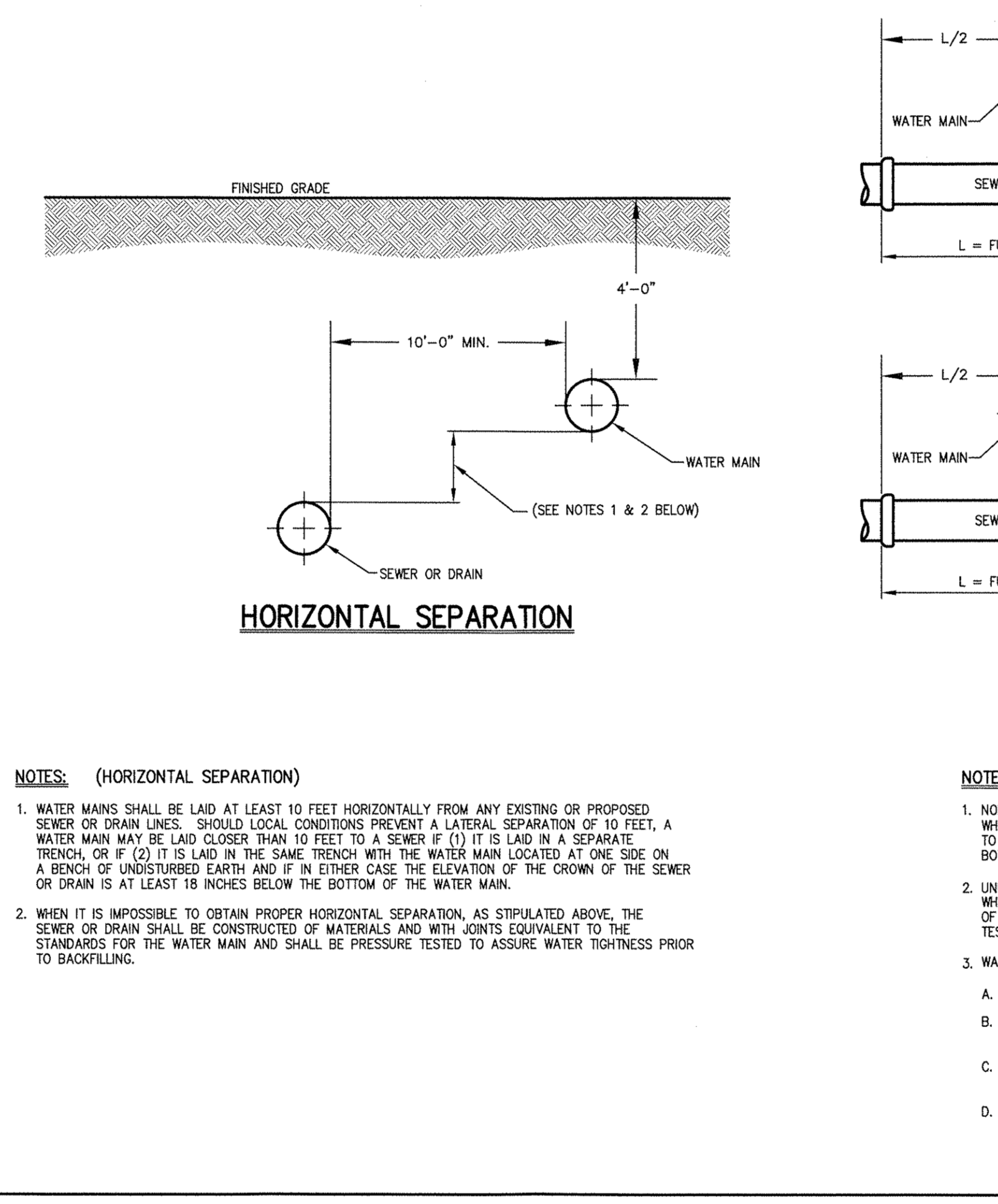
**WATER SERVICE TAP**  
(2" OR LESS) **31**



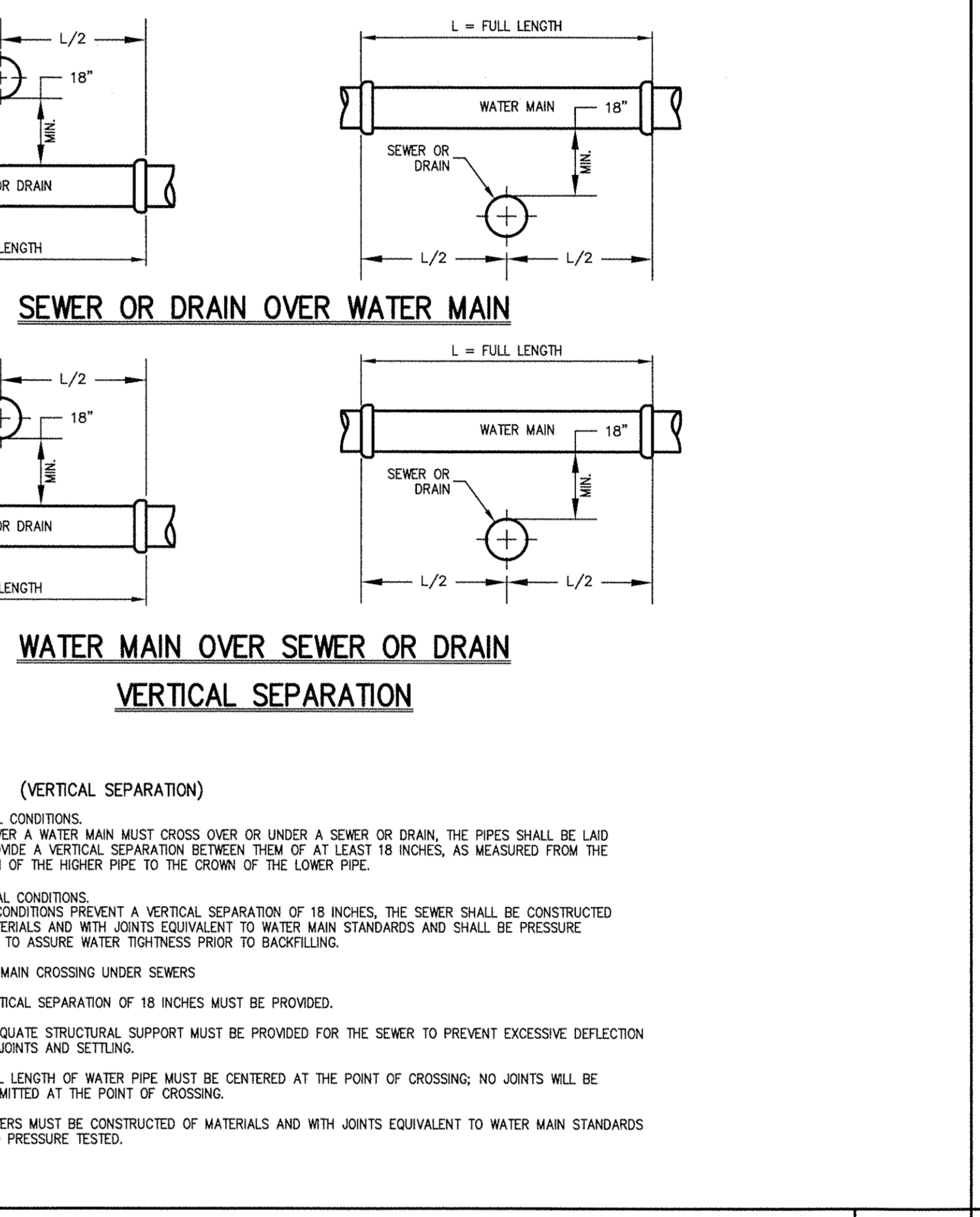
**WATER SERVICE CONNECTION** **32**



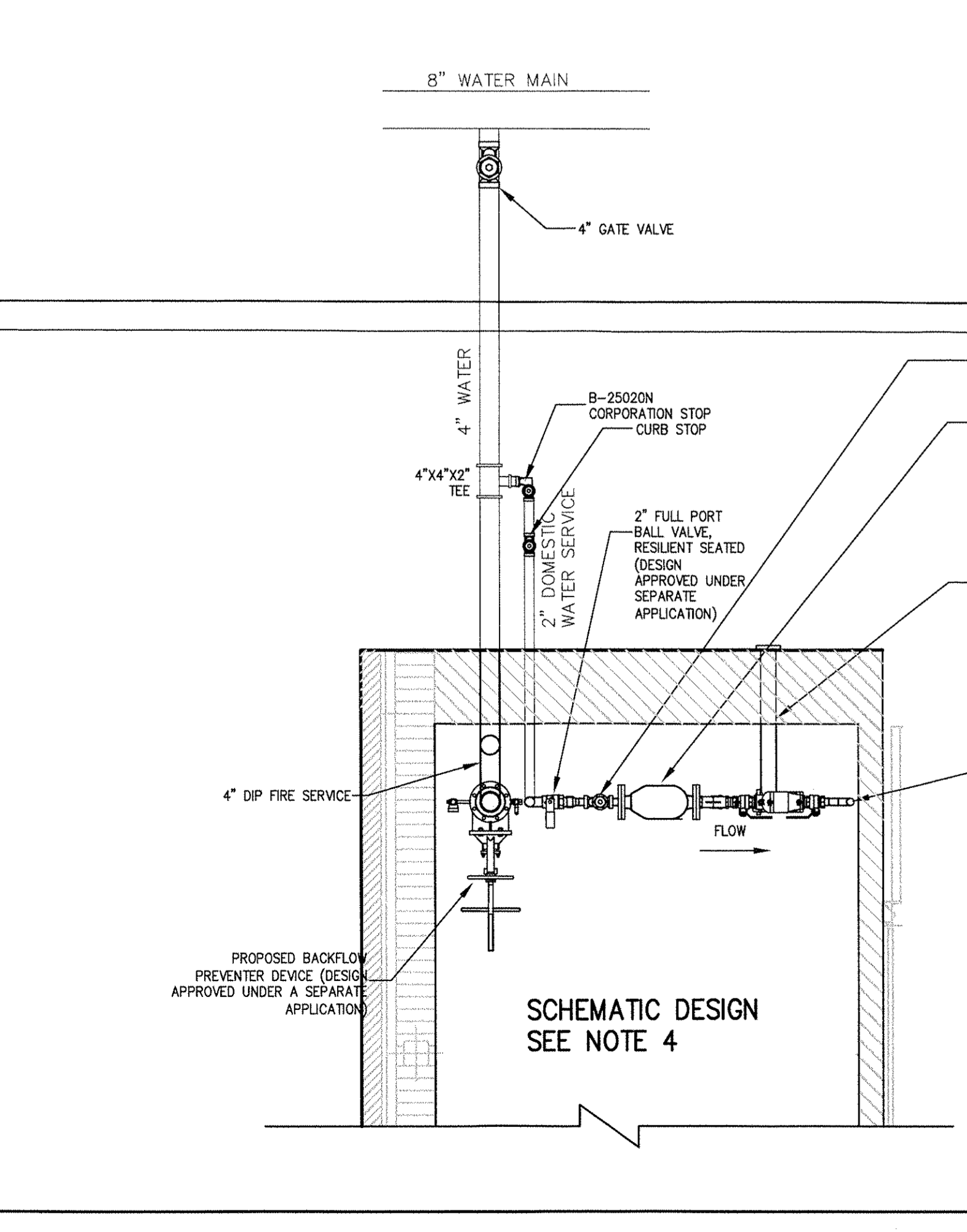
**CONCRETE ENCASEMENT** **33**



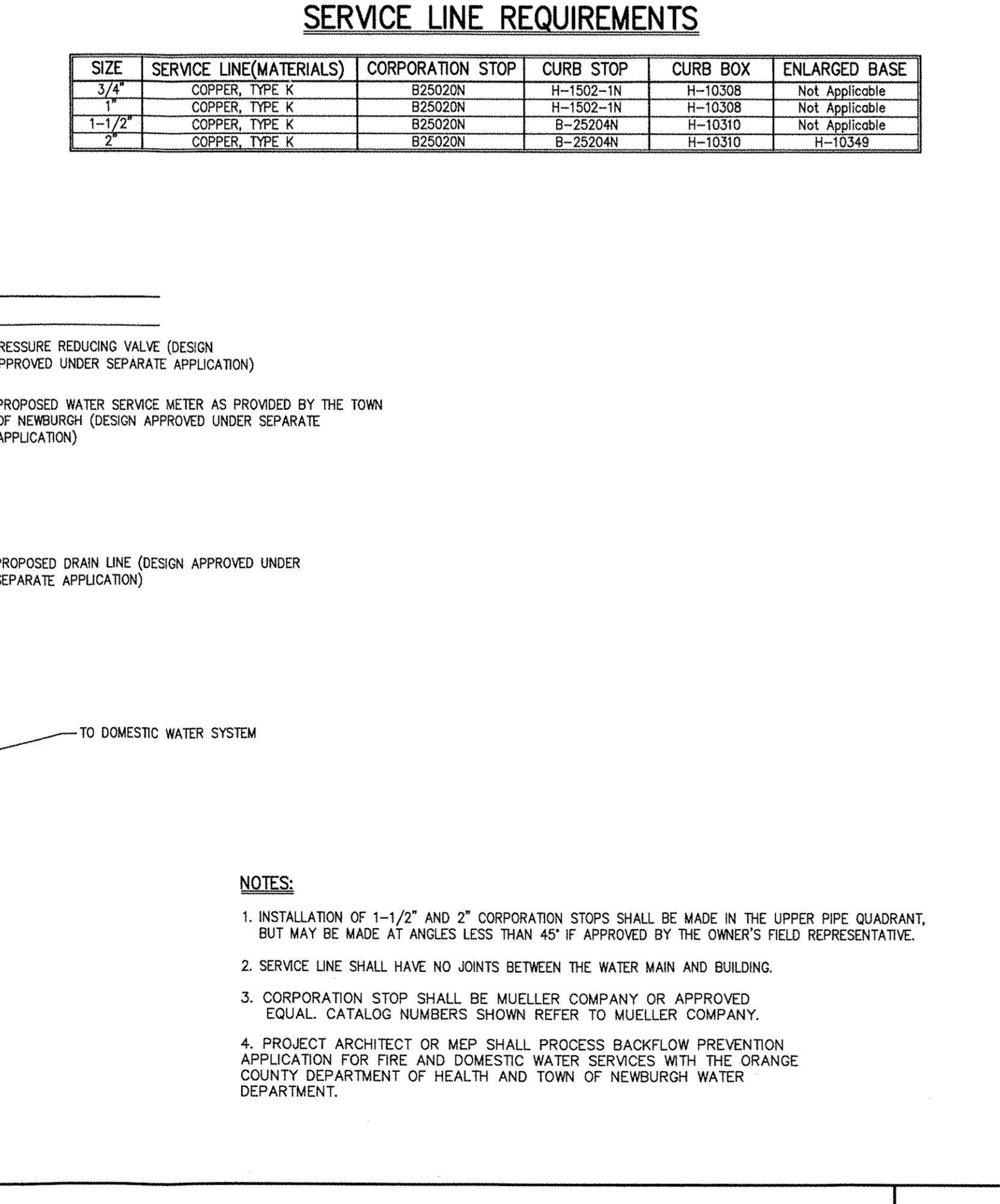
**SEPARATION OF WATER AND SEWER/RAIN LINES** **34**



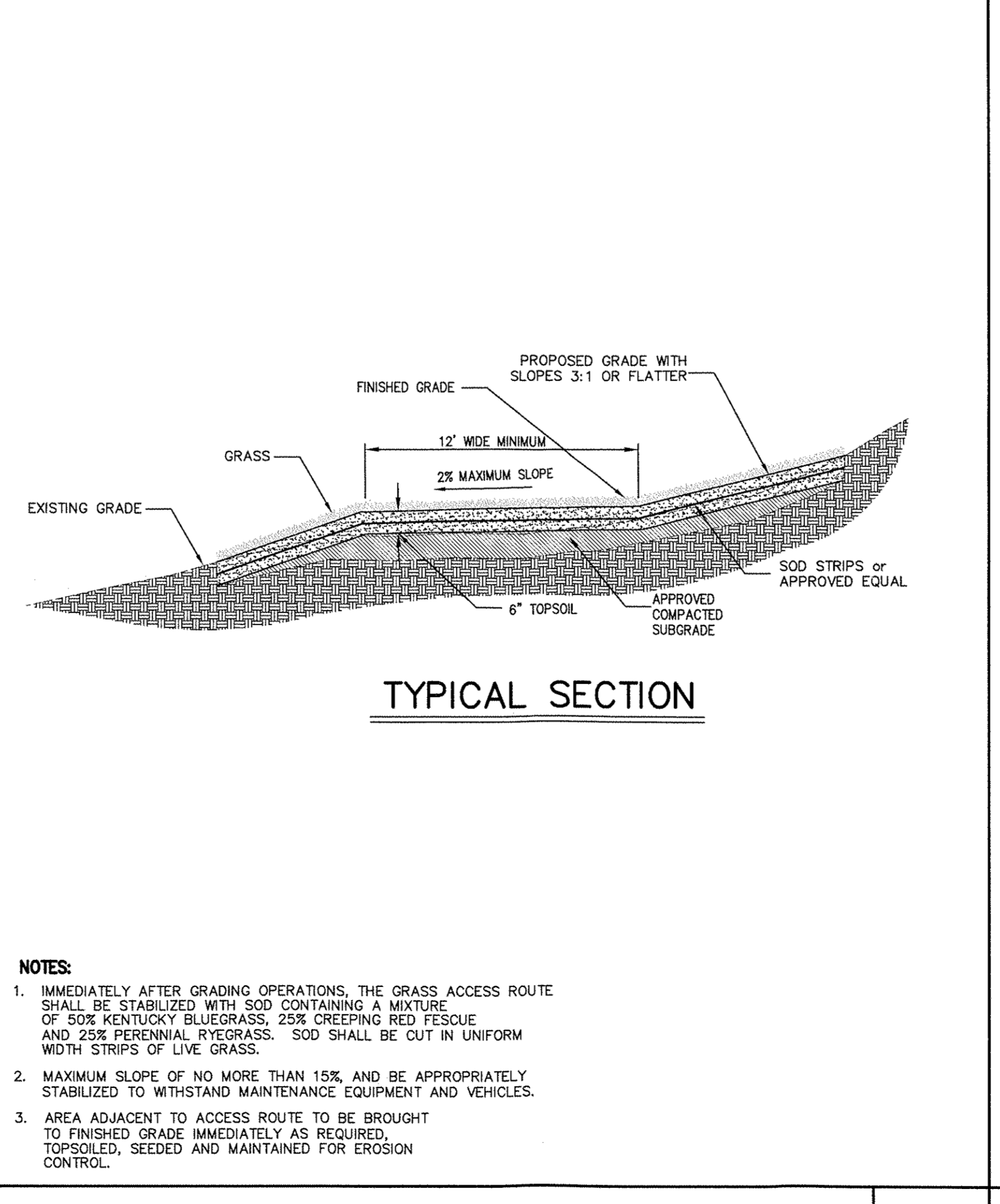
**ANTISEEP COLLAR** **35**



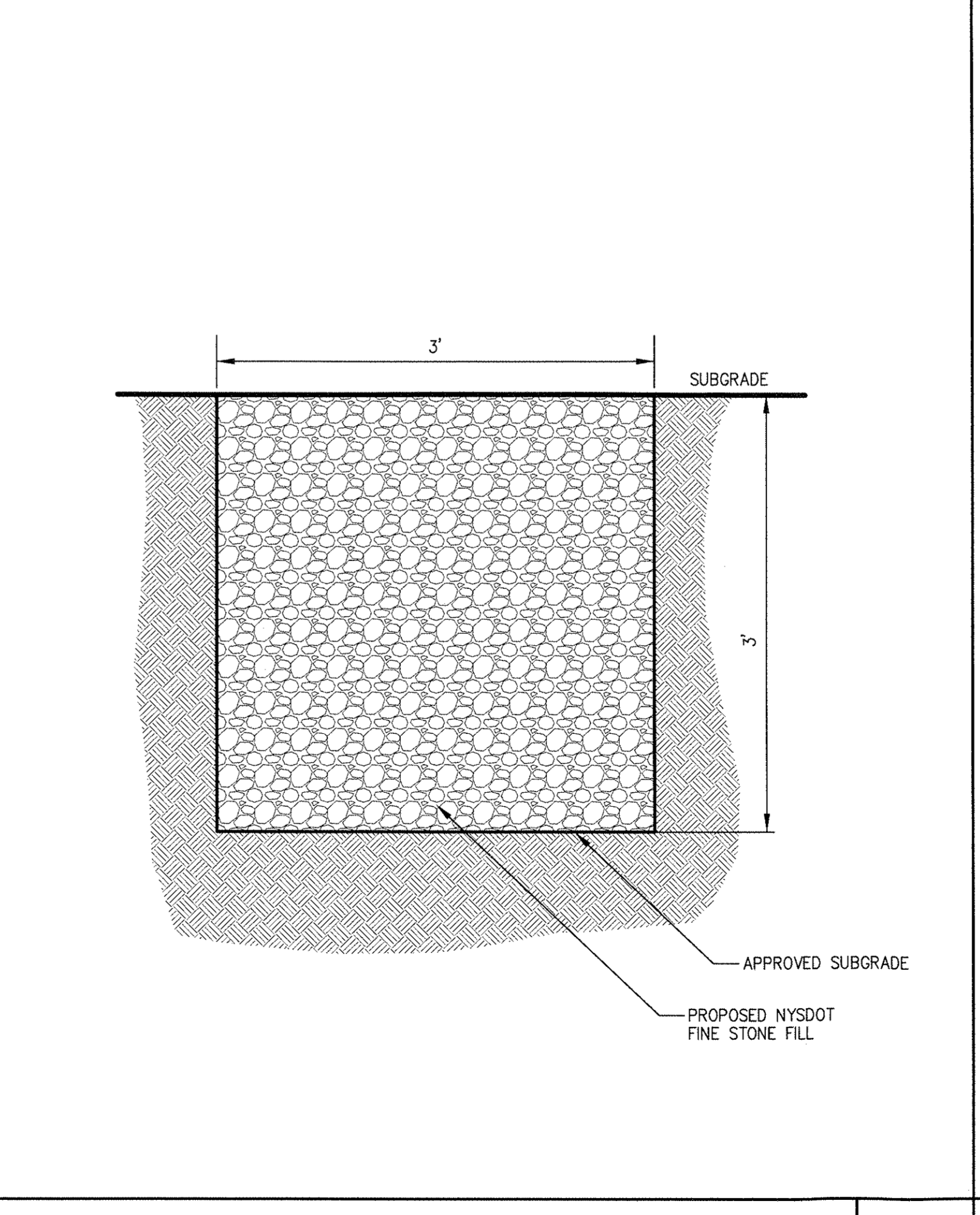
**WATER SERVICE CONNECTION** **36**



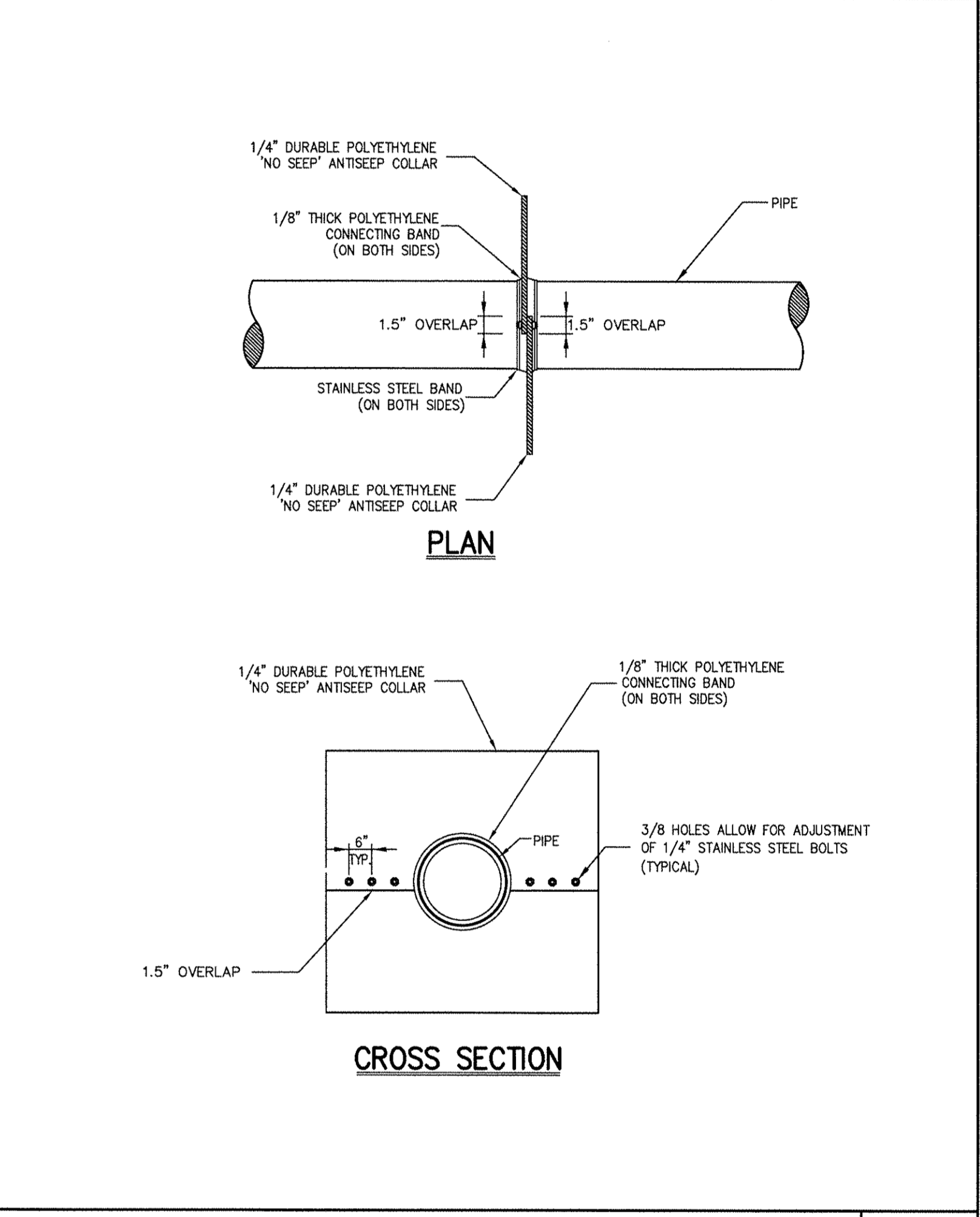
**BASIN ACCESS ROUTES WITH GRASS COVER** **37**



**PROPOSED ROCK DIAPHRAGM** **38**



**GRASS SWALE** **39**

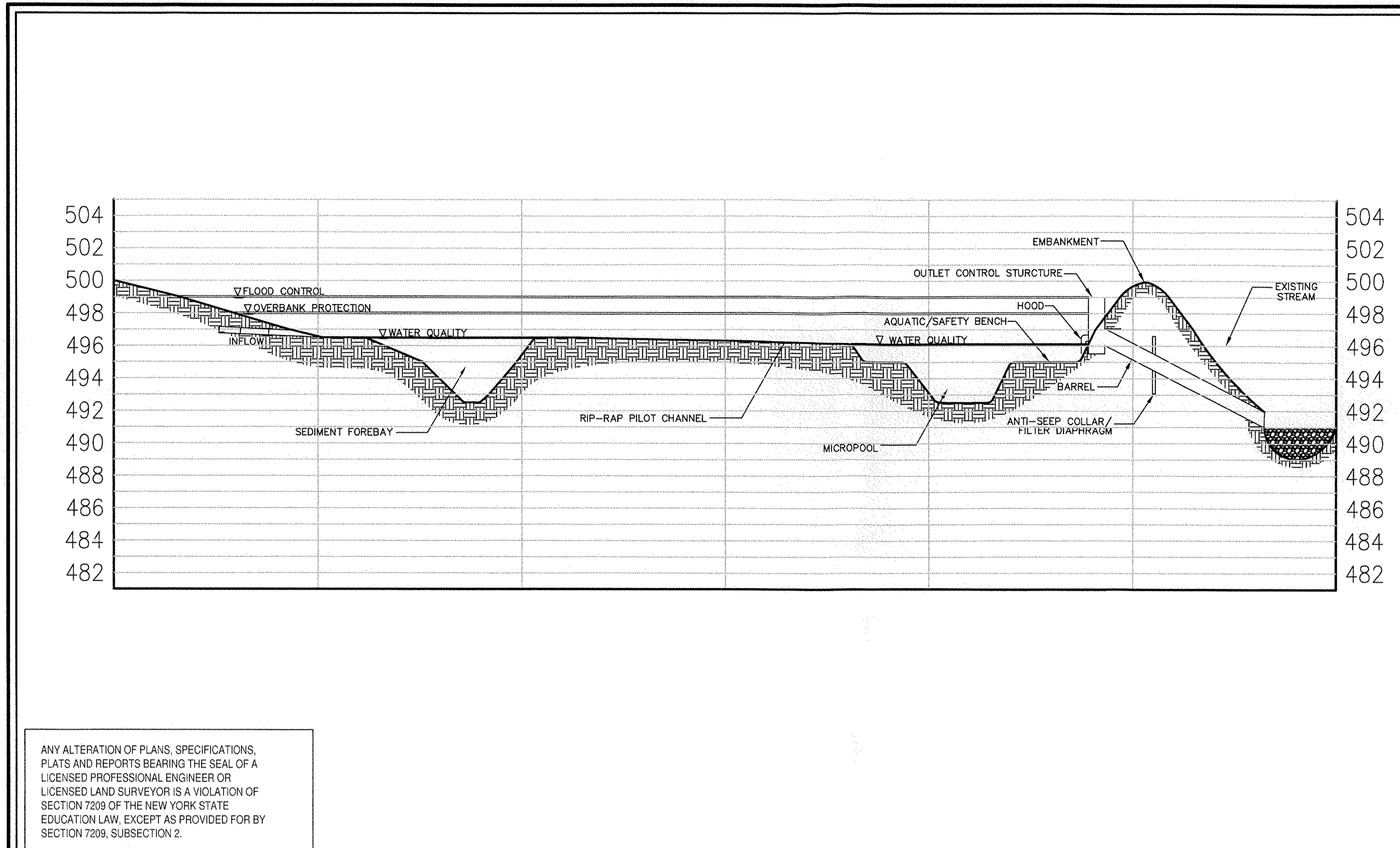


**CONSTRUCTION DETAILS** **MEADOW HILL ROAD EXPANSION**  
TOWN OF NEWBURGH, NY

Date: 05/25/2016  
 Revisions:  
 1. REVISION PER TOWN COMMENTS 05/25/2016 MT  
 2. REVISION PER TOWN COMMENTS 06/10/2016 MT  
 Project No: 16015  
 Drawing No: DET 3  
 Scale: NOT TO SCALE  
 Date: 05/25/2016  
 Project No: 16015  
 Drawing No: DET 3  
 Scale: NOT TO SCALE

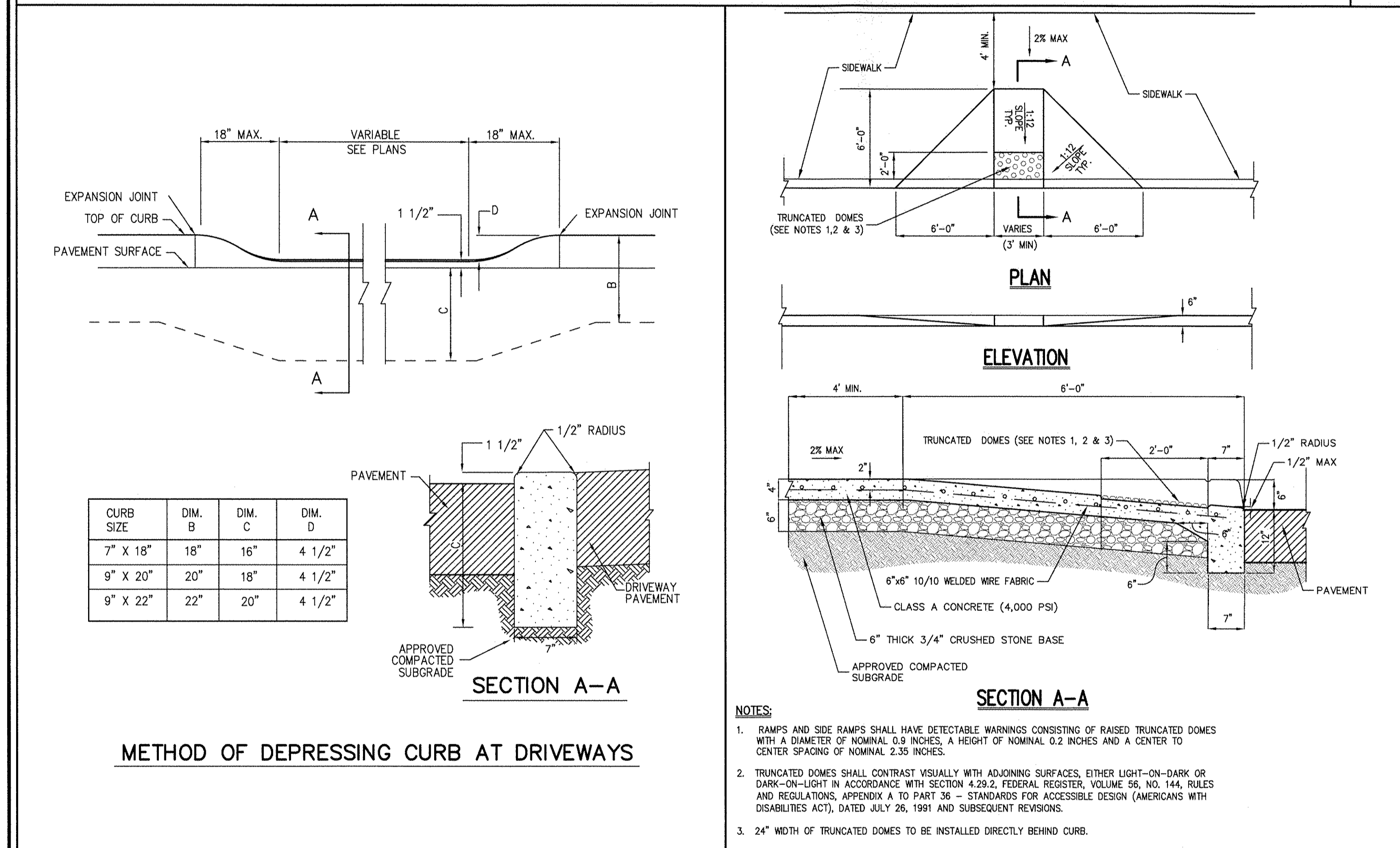
DRA MEADOW HILL, LLC  
 47 RIVER ROAD  
 SUMMIT, NJ 07901  
 ARCHITECT  
 MINNO & WASKO ARCHITECTS  
 1 ROCKAWAY PLAZA  
 NEWARK, NJ 07102

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARBONICK, NY 10504  
 518.534.2325 • Fax 518.272.2102  
 www.jmcpinc.com

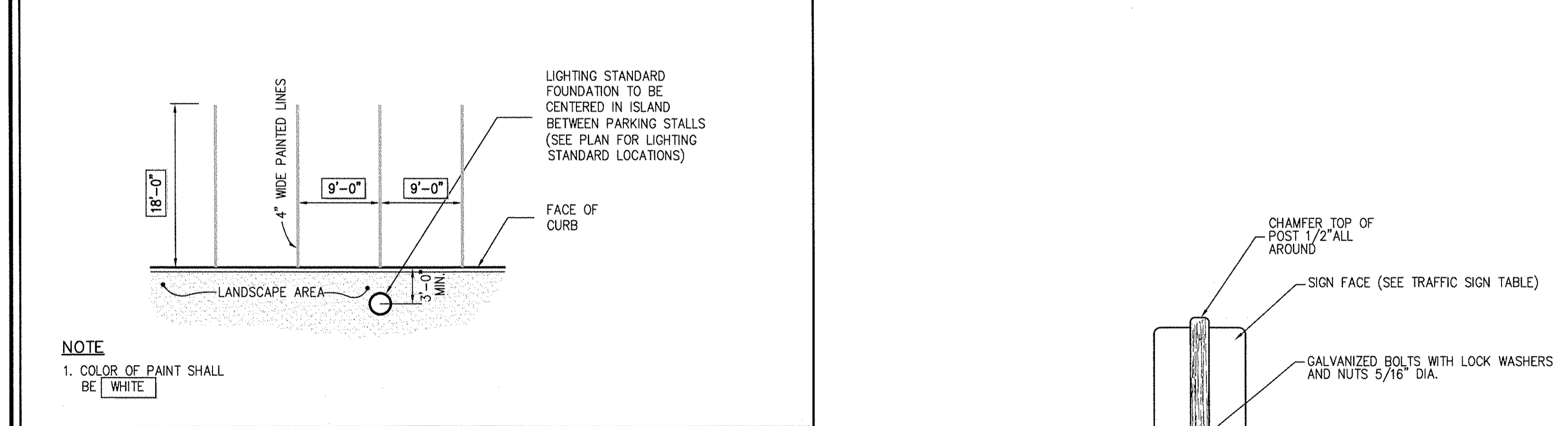


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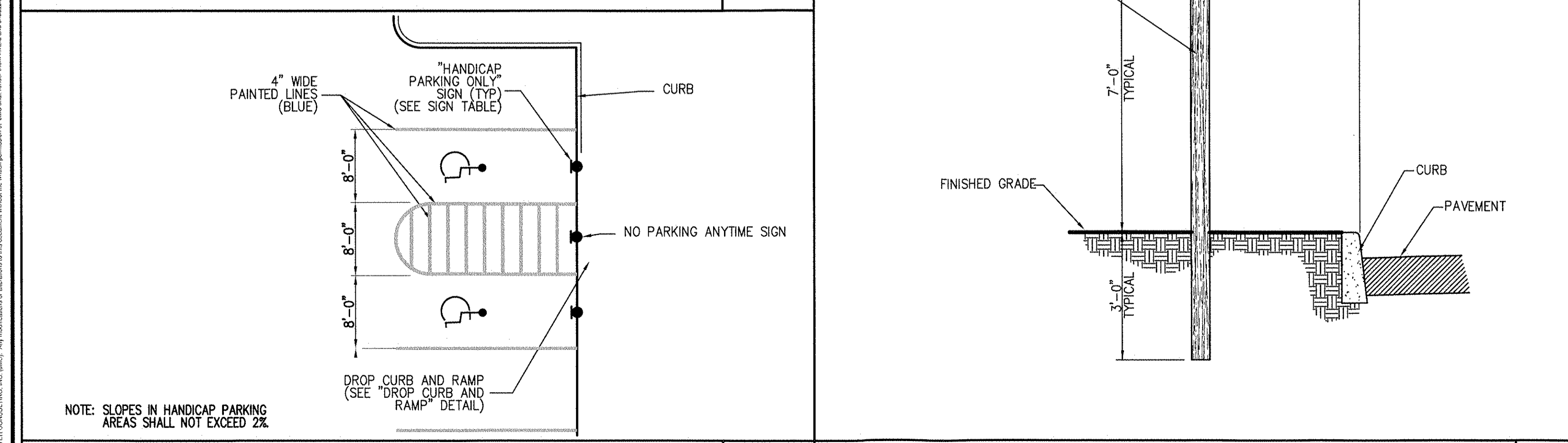
**MICROPOOL EXTENDED DETENTION POND P-1** 40



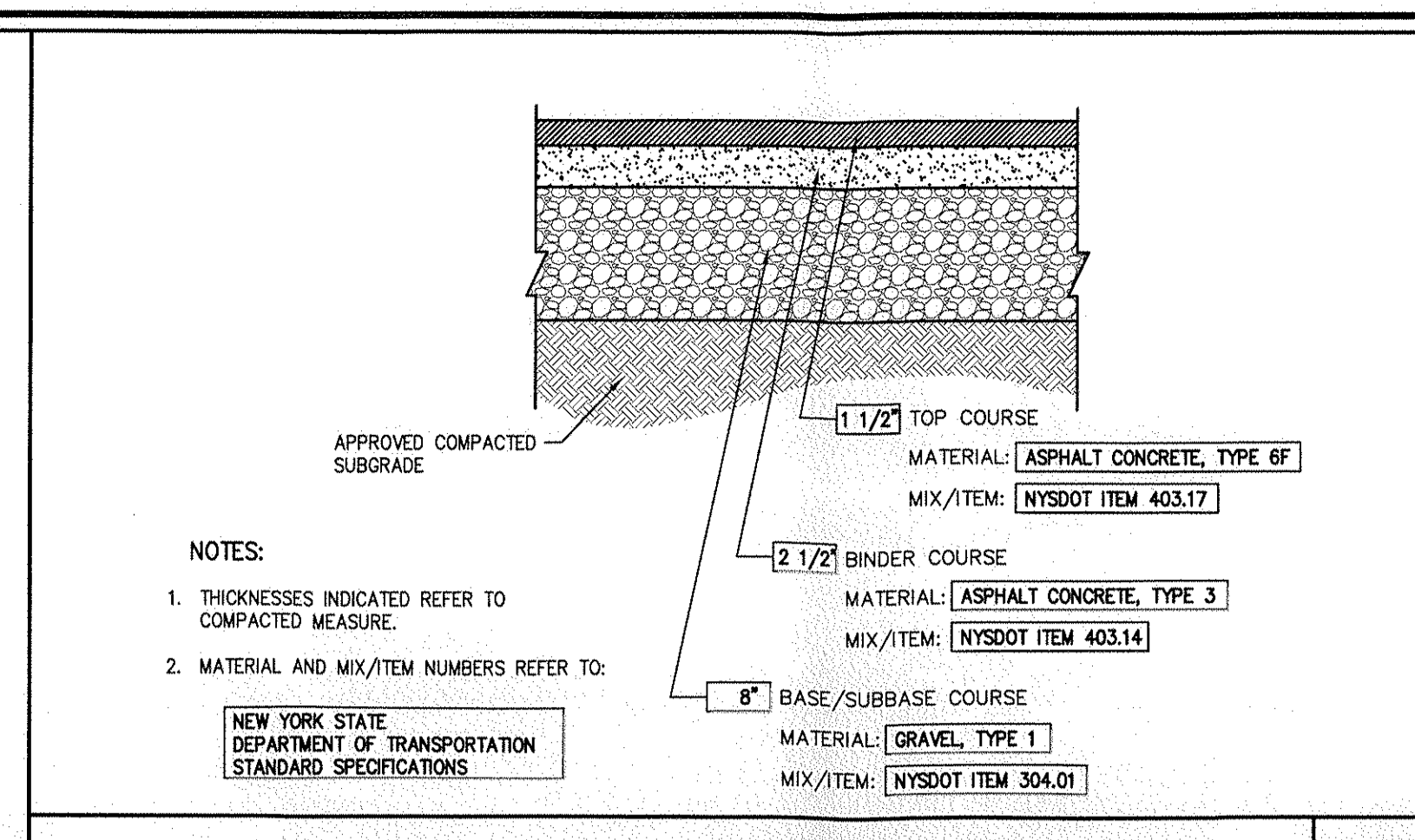
**DEPRESSED CONCRETE CURB** 46



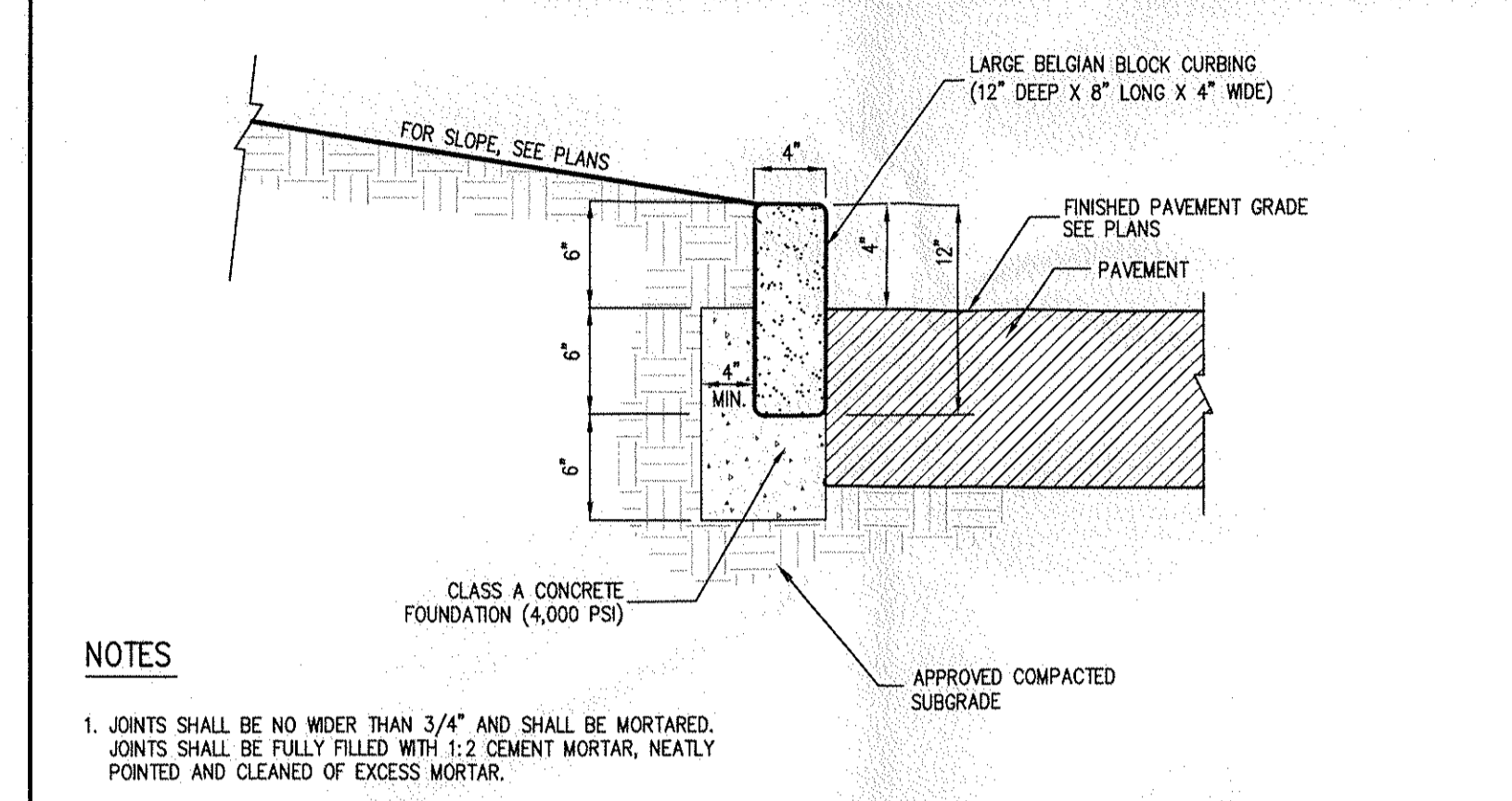
**90° PARKING (SINGLE STRIPING - CURBED PERIMETER)** 52



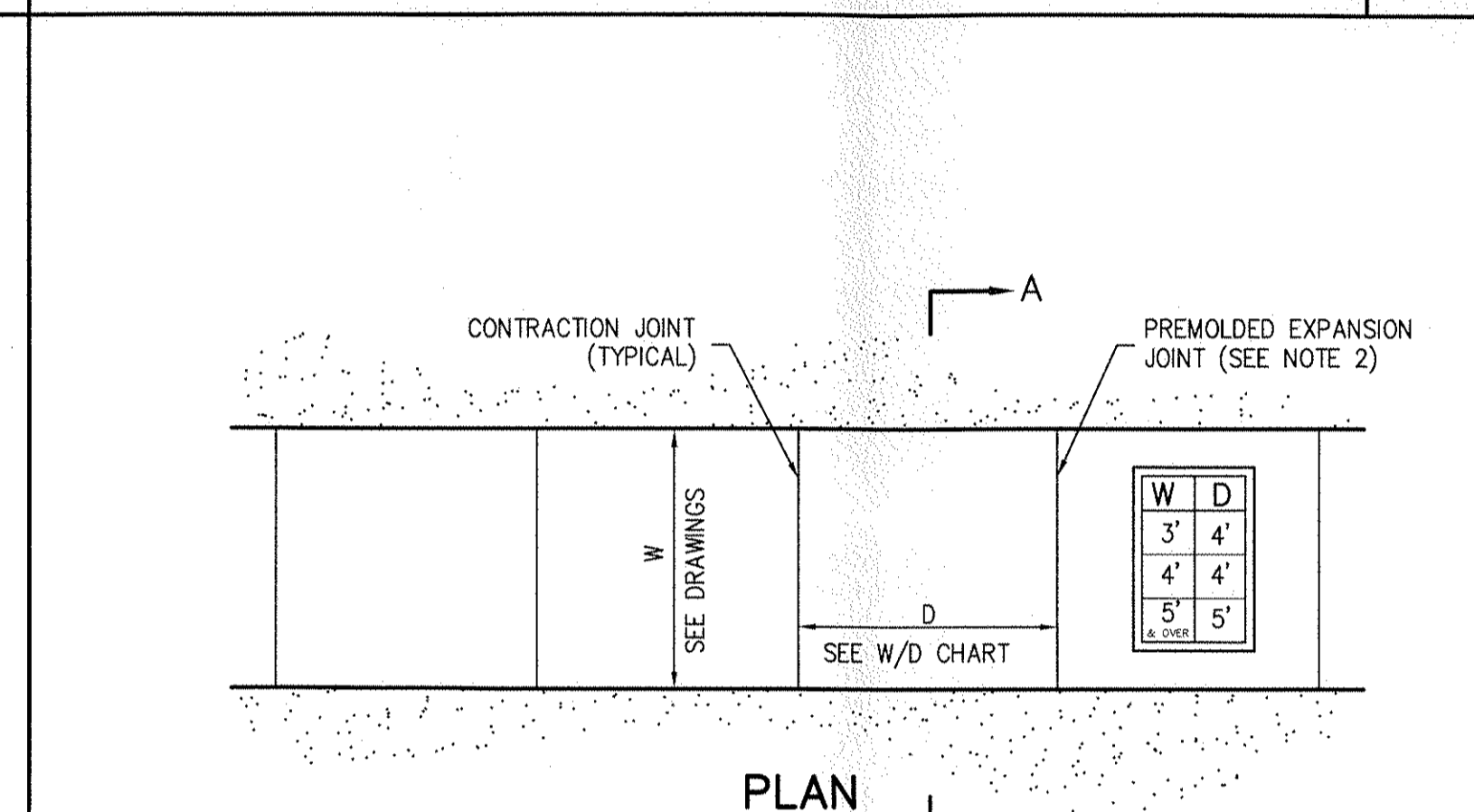
**HANDICAP PARKING** 53



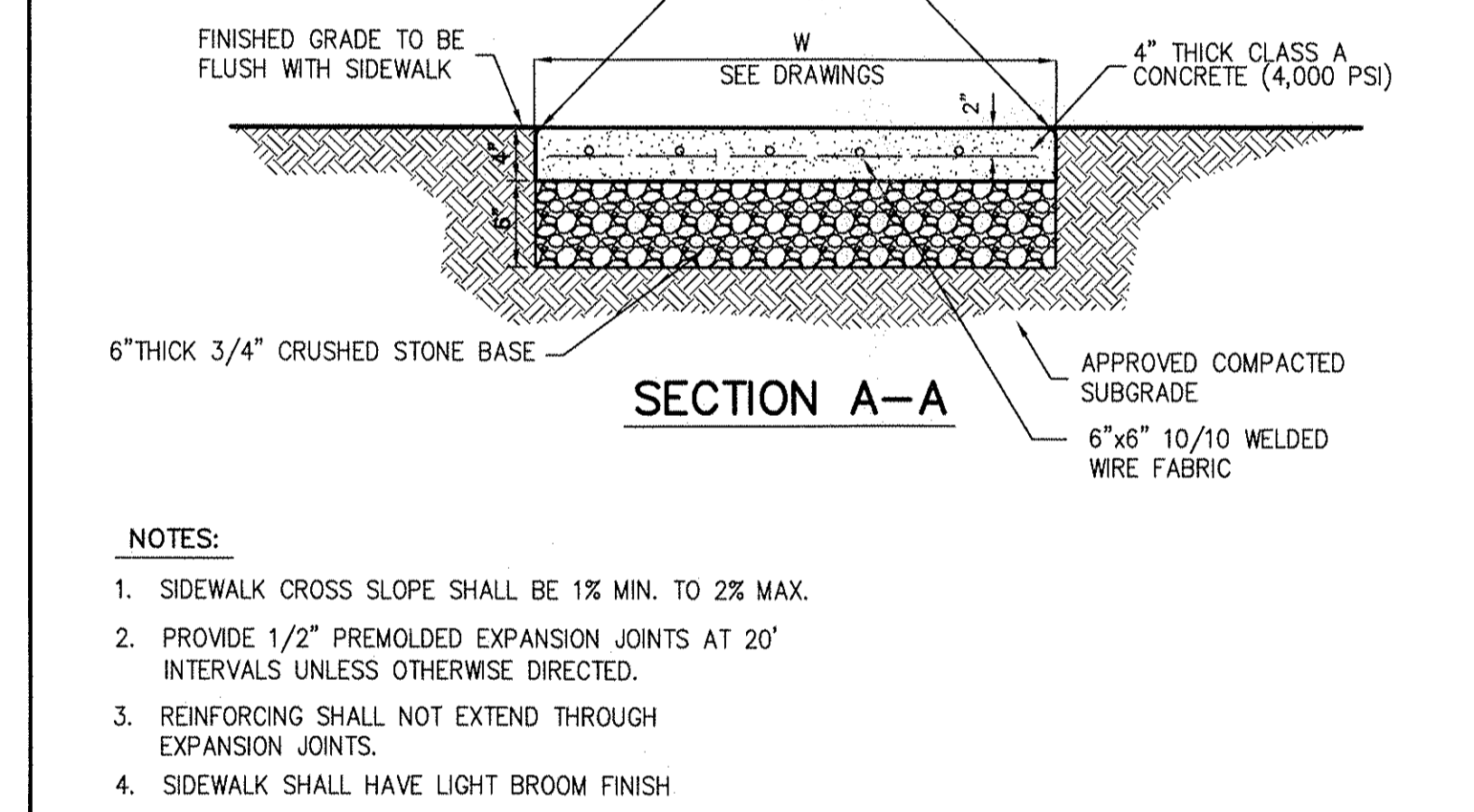
**SITE PAVEMENT** 41



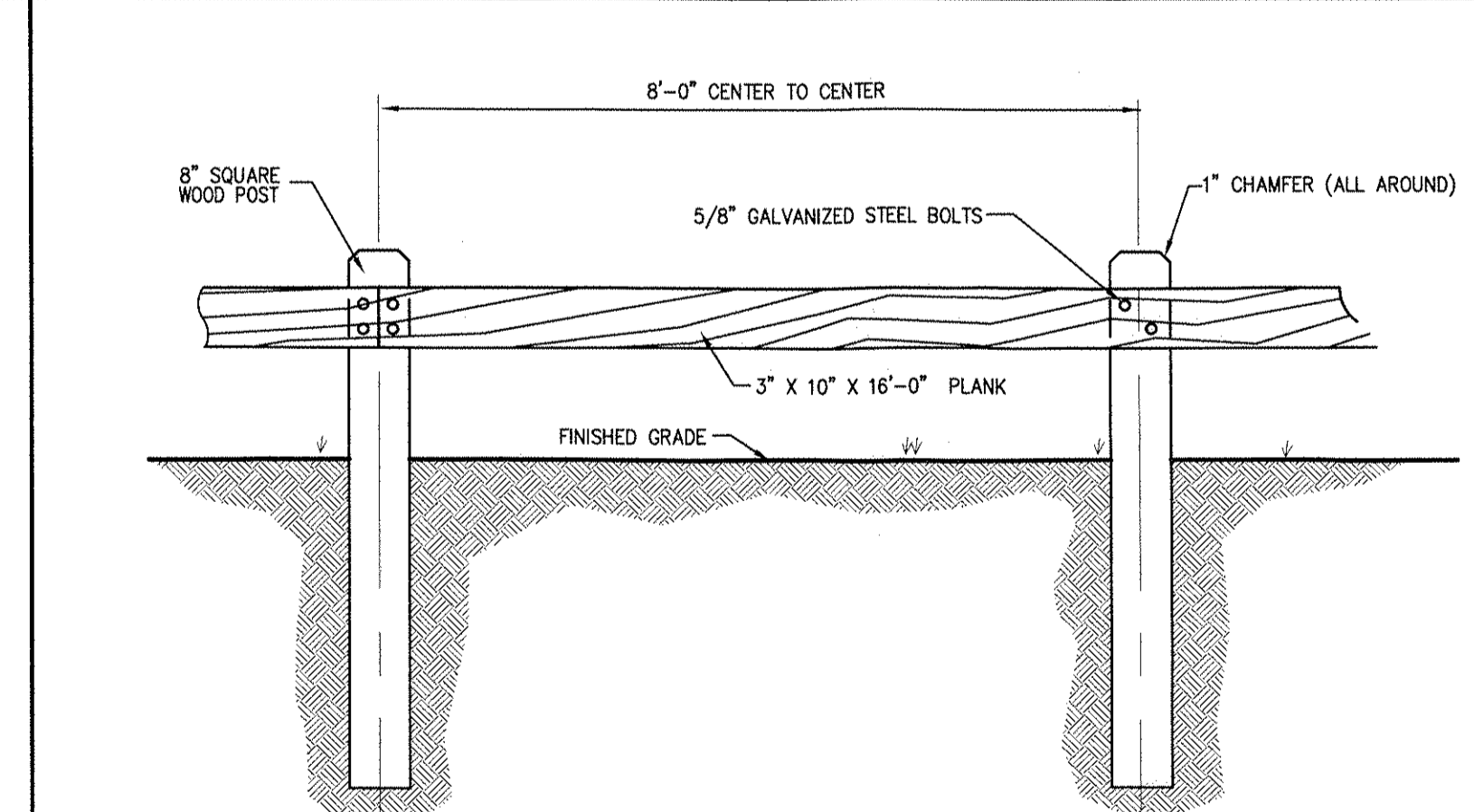
**DRIVEWAY 4" HIGH STONE CURB (BELGIAN BLOCK)** 42



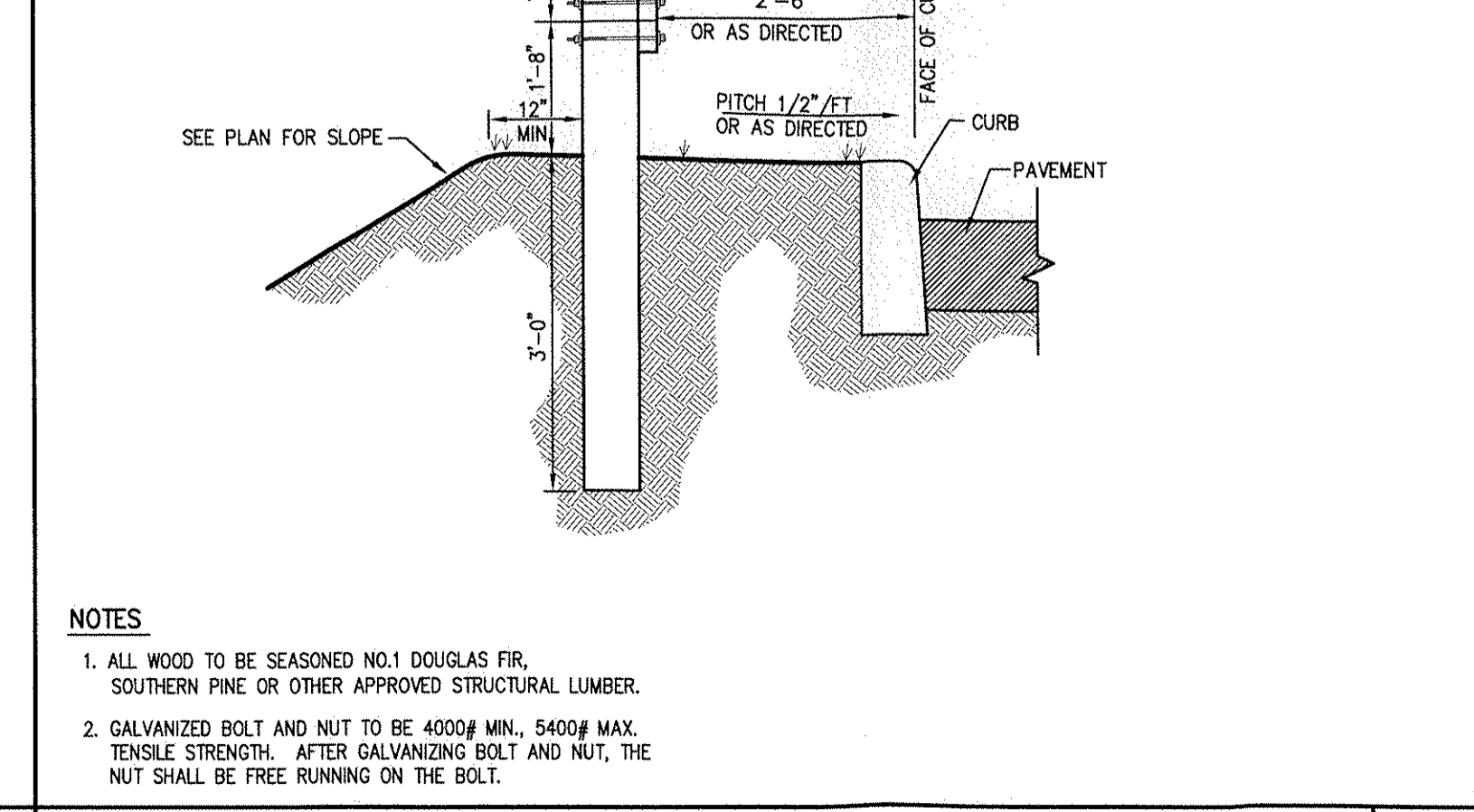
**DROP CURB & RAMP (TYPE C) WITH DETECTABLE WARNING** 43



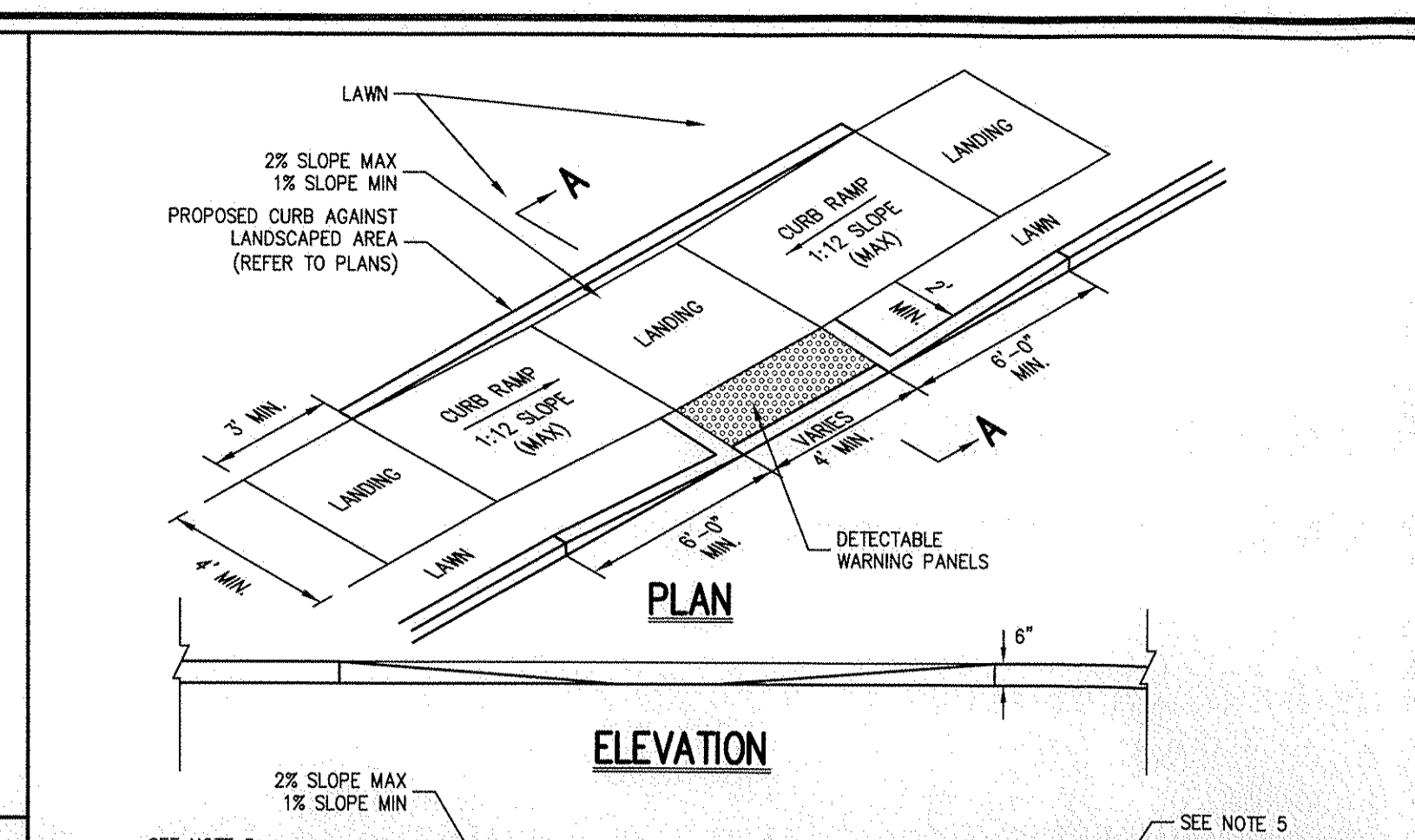
**CONCRETE CURB ENDING** 49



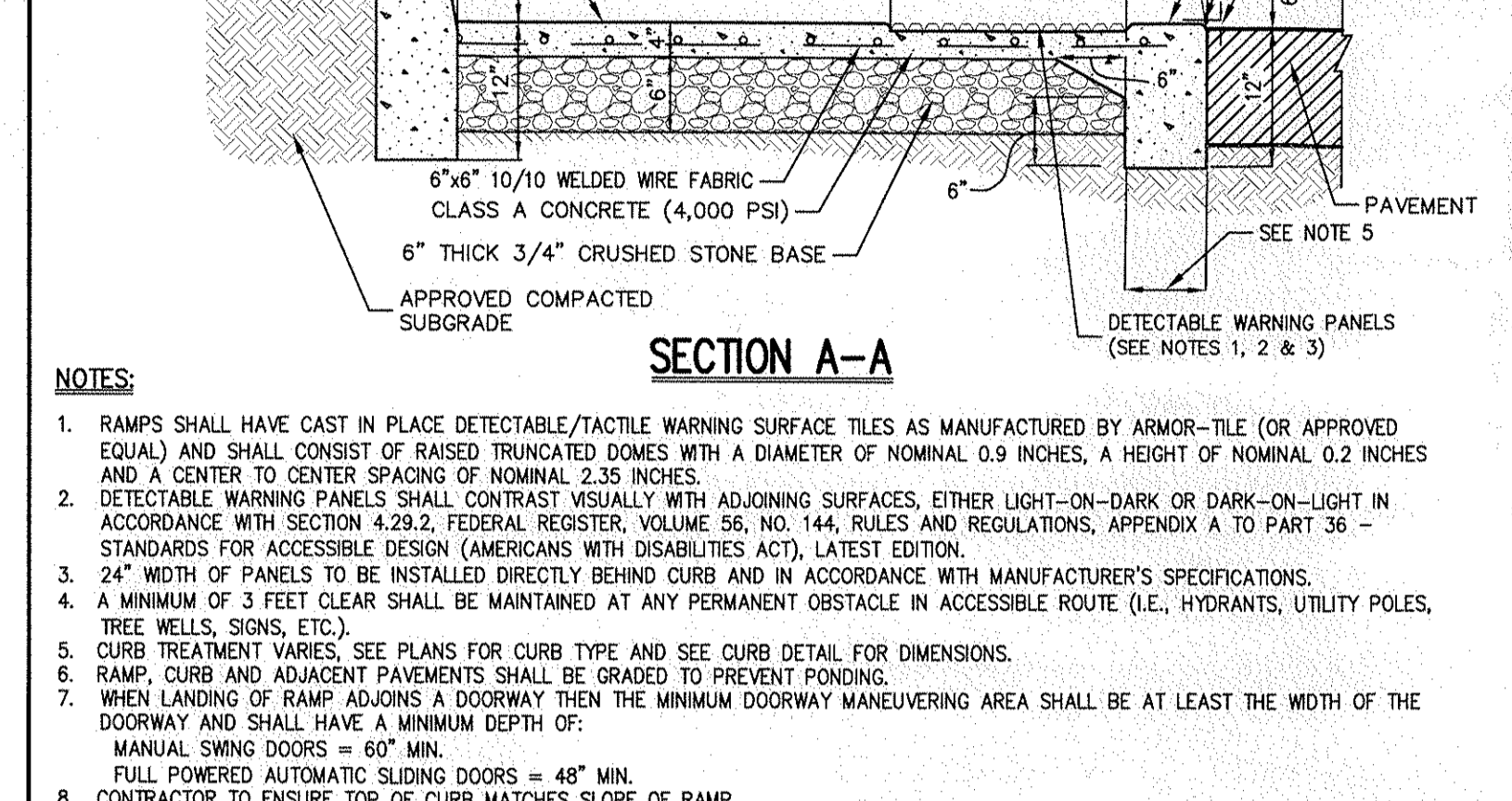
**CONCRETE SIDEWALK** 48



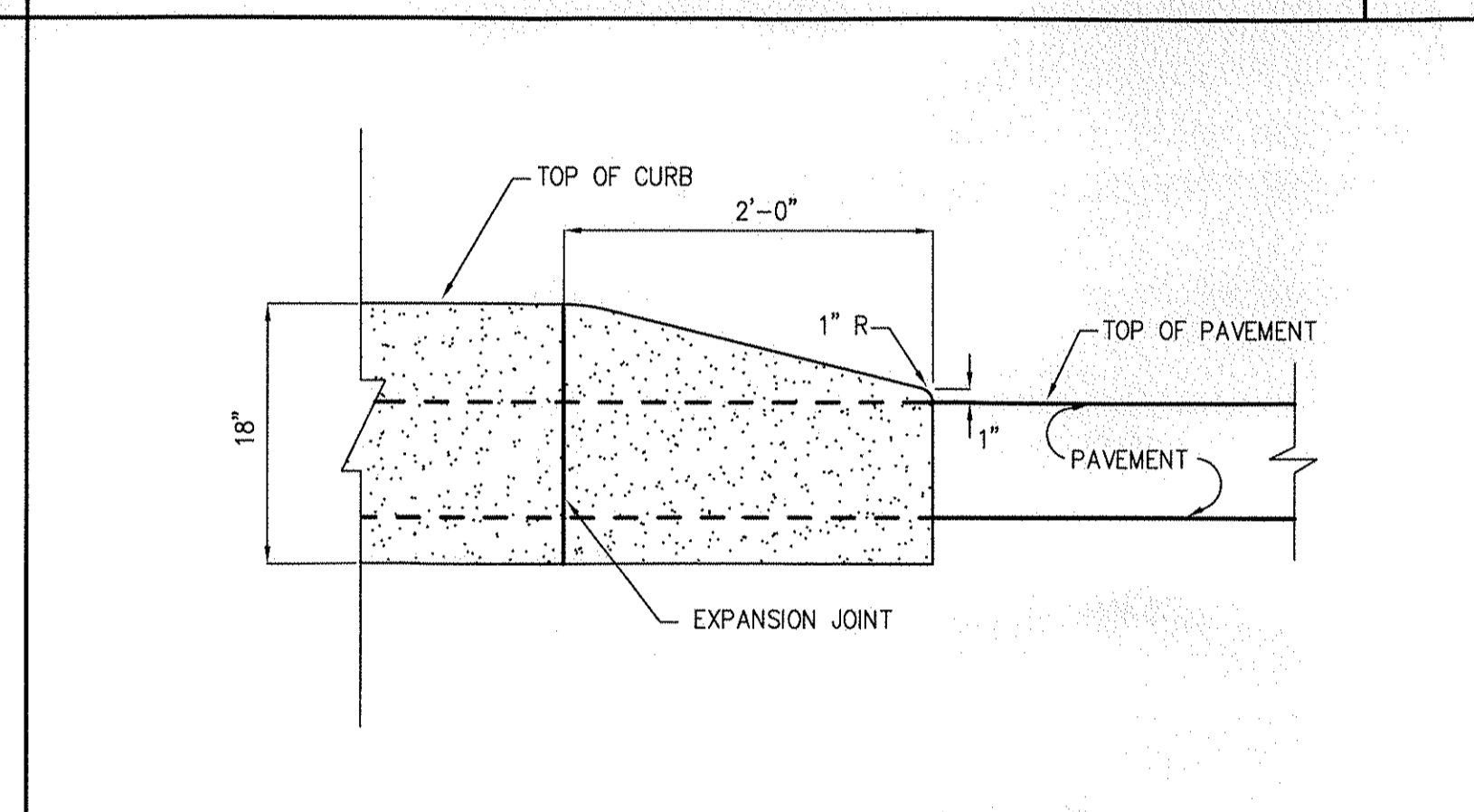
**WOOD GUIDE RAIL** 55



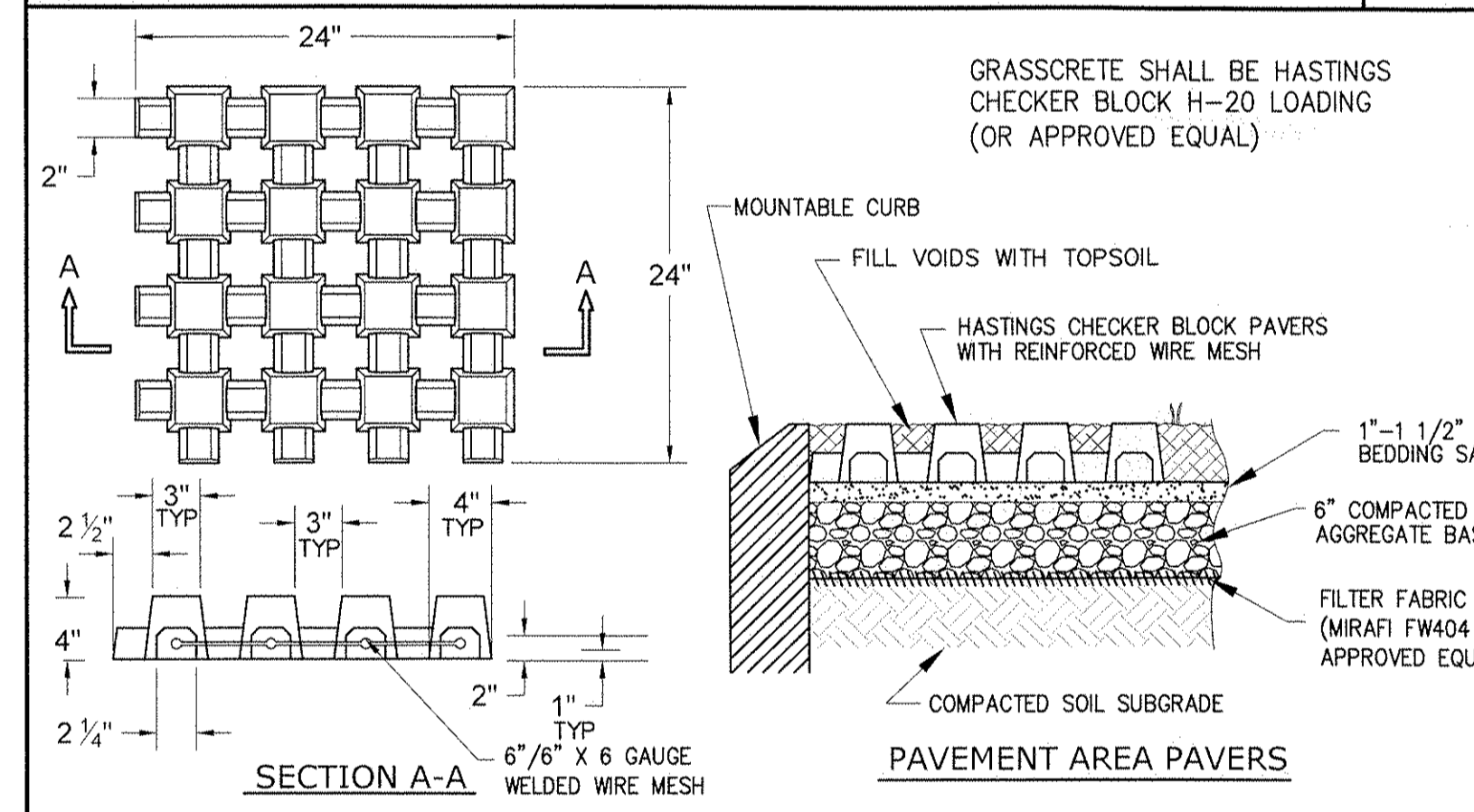
**CONCRETE CURB ENDING** 49



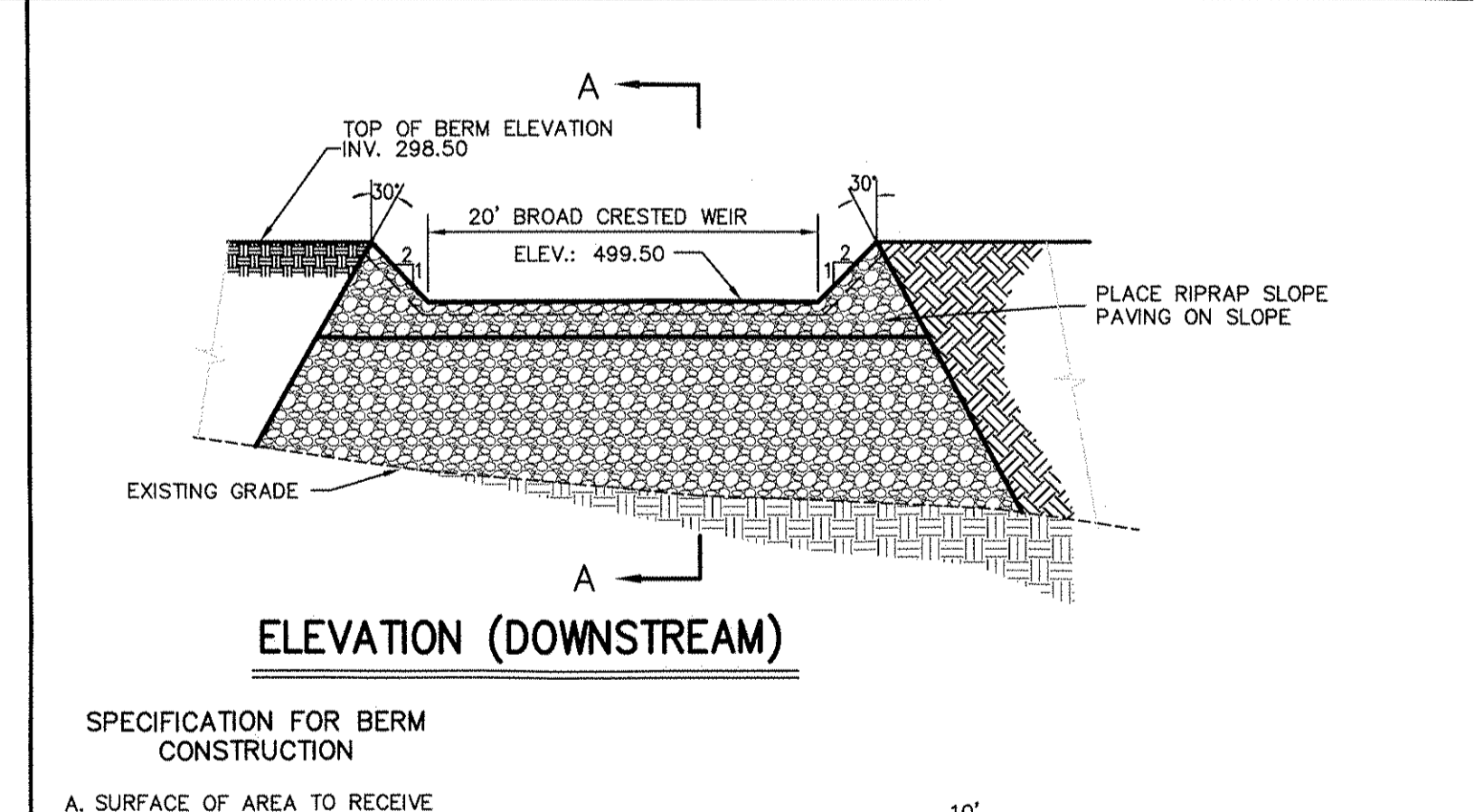
**GRASSCRETE EMERGENCY ACCESS AREAS** 50



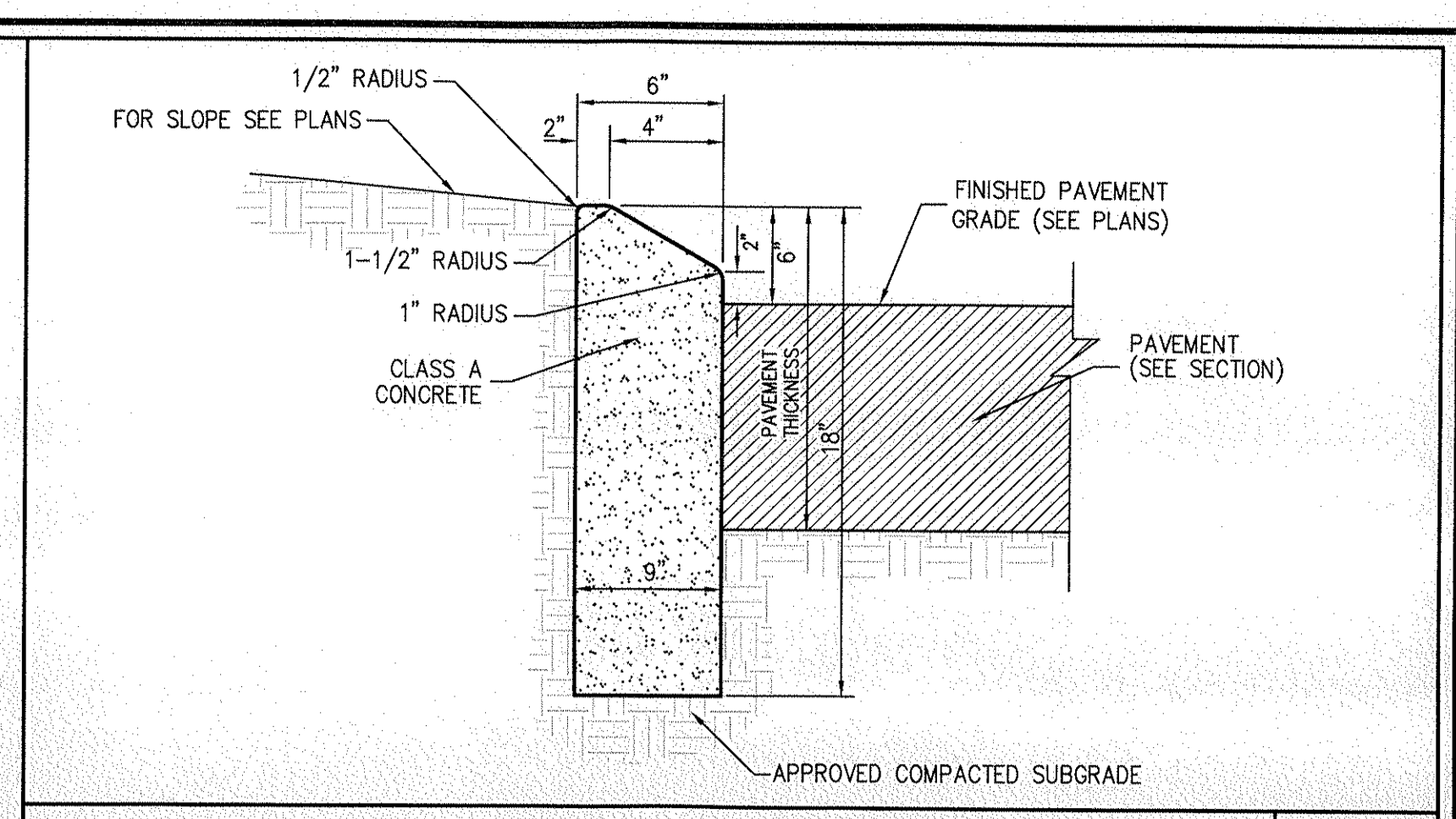
**RIP-RAP EMERGENCY SPILLWAY** 56



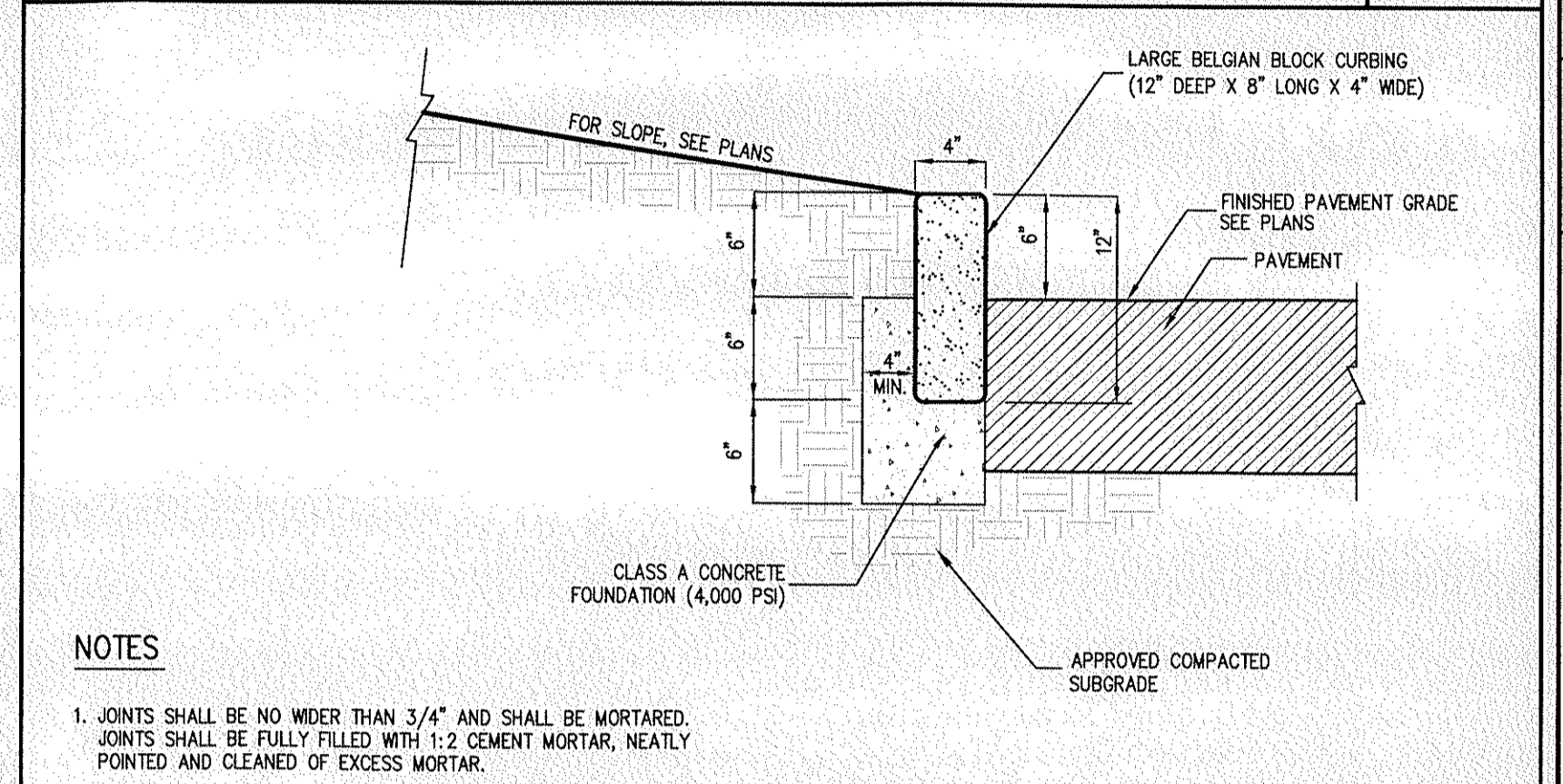
**BOLLARD & CHAIN ASSEMBLY (STEEL PIPE)** 57



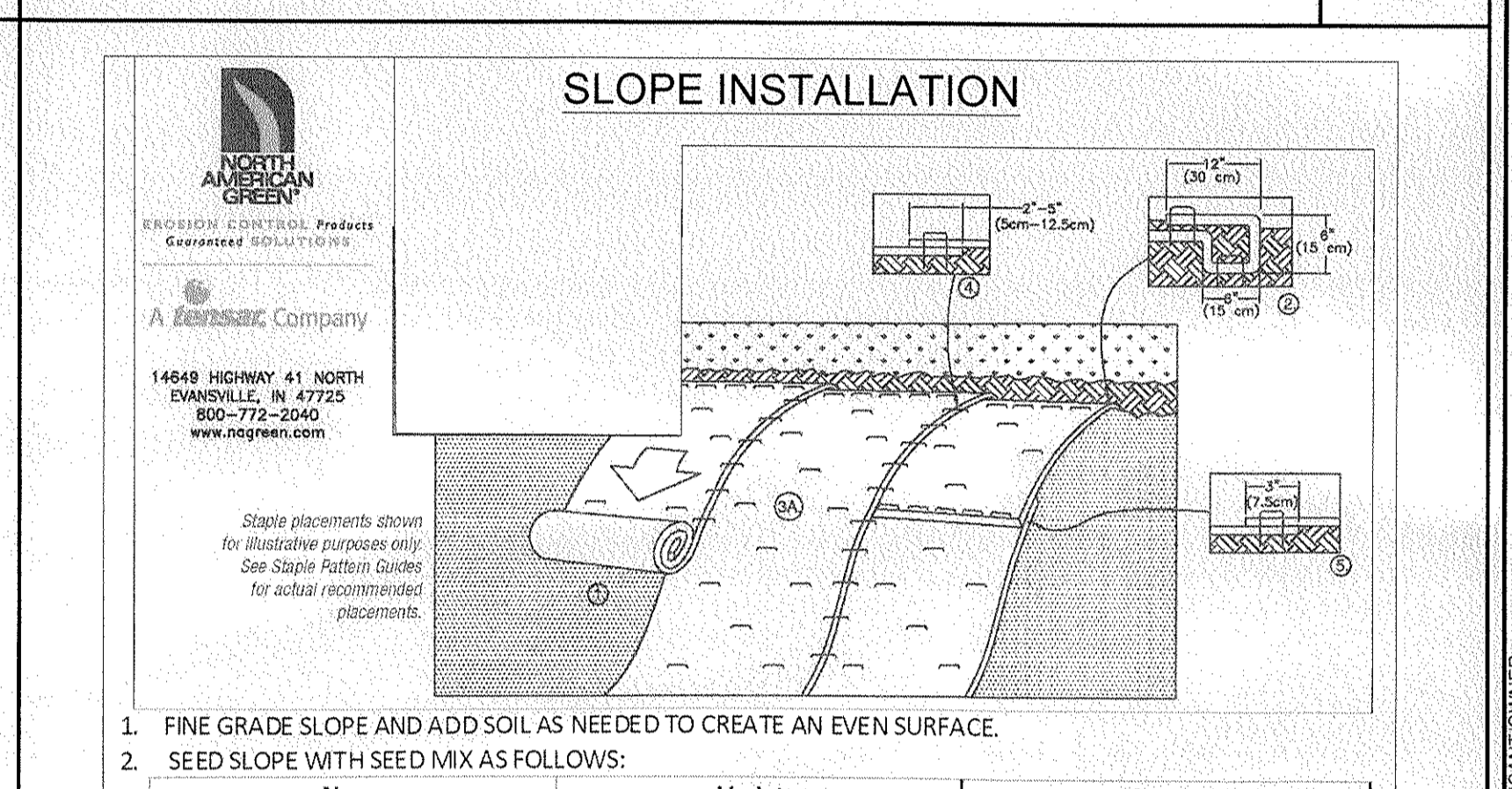
**STABILIZED SLOPE DETAIL** 51



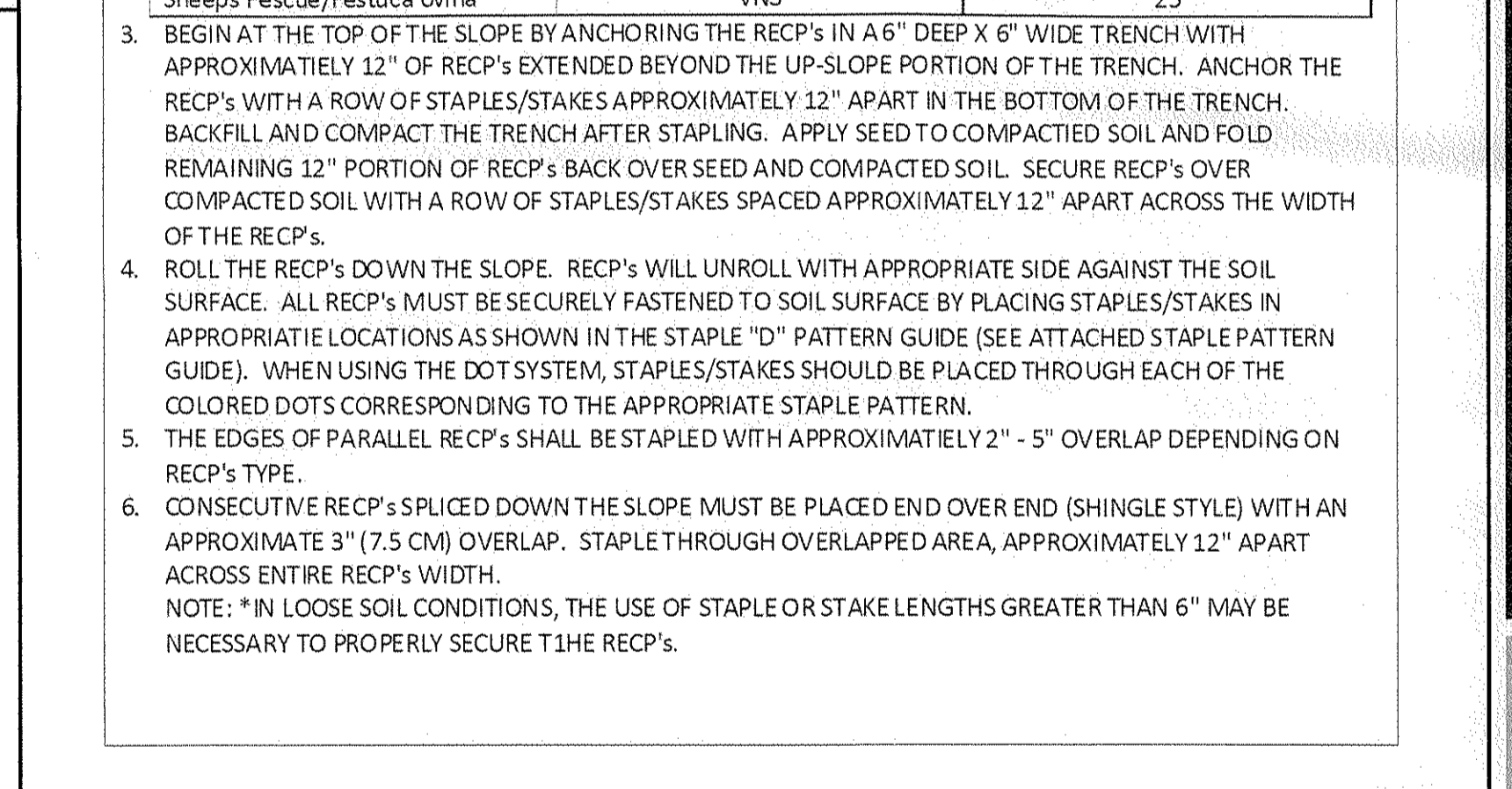
**MOUNTABLE CURB** 44



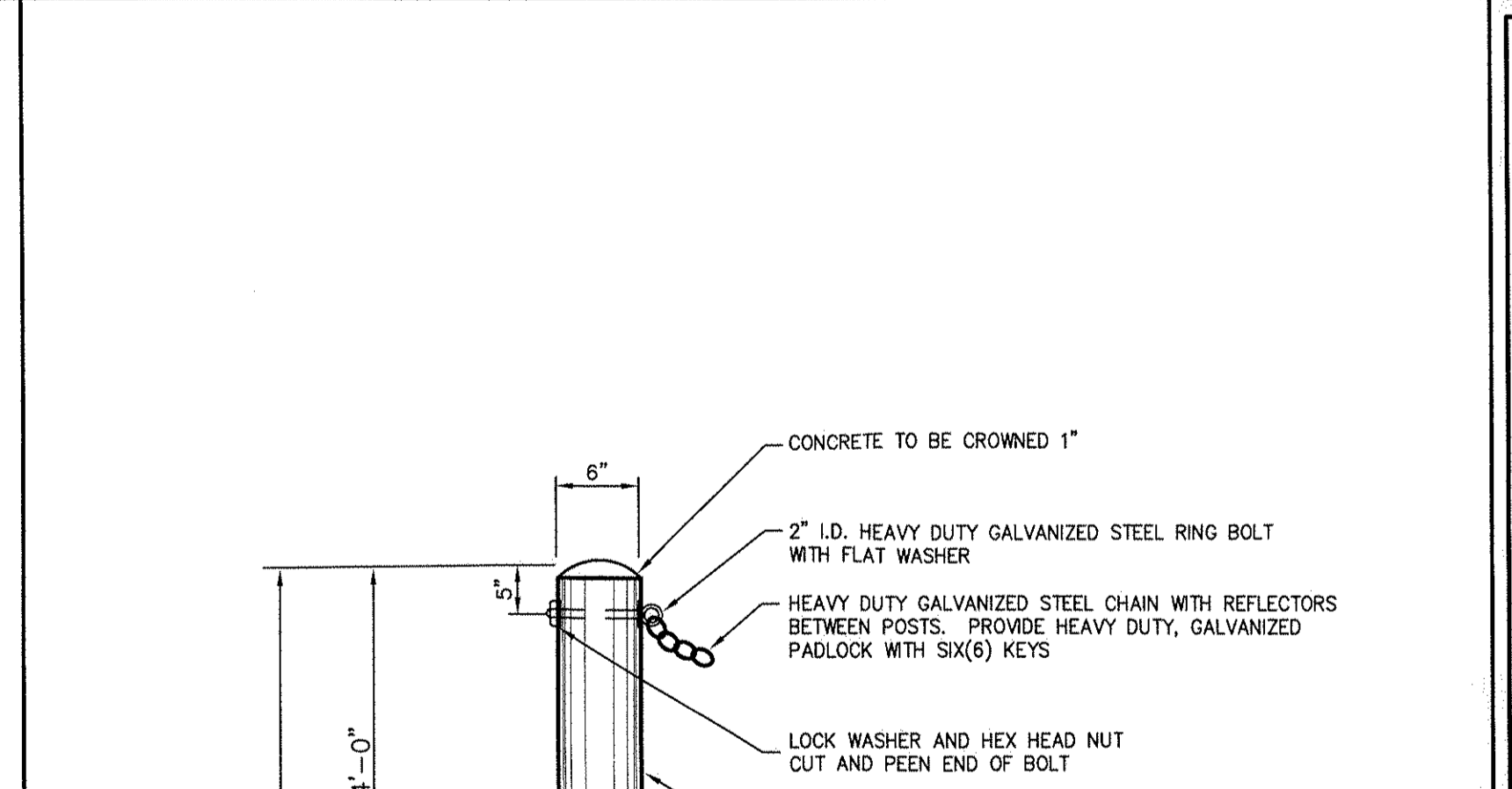
**STONE CURB (BELGIAN BLOCK)** 45



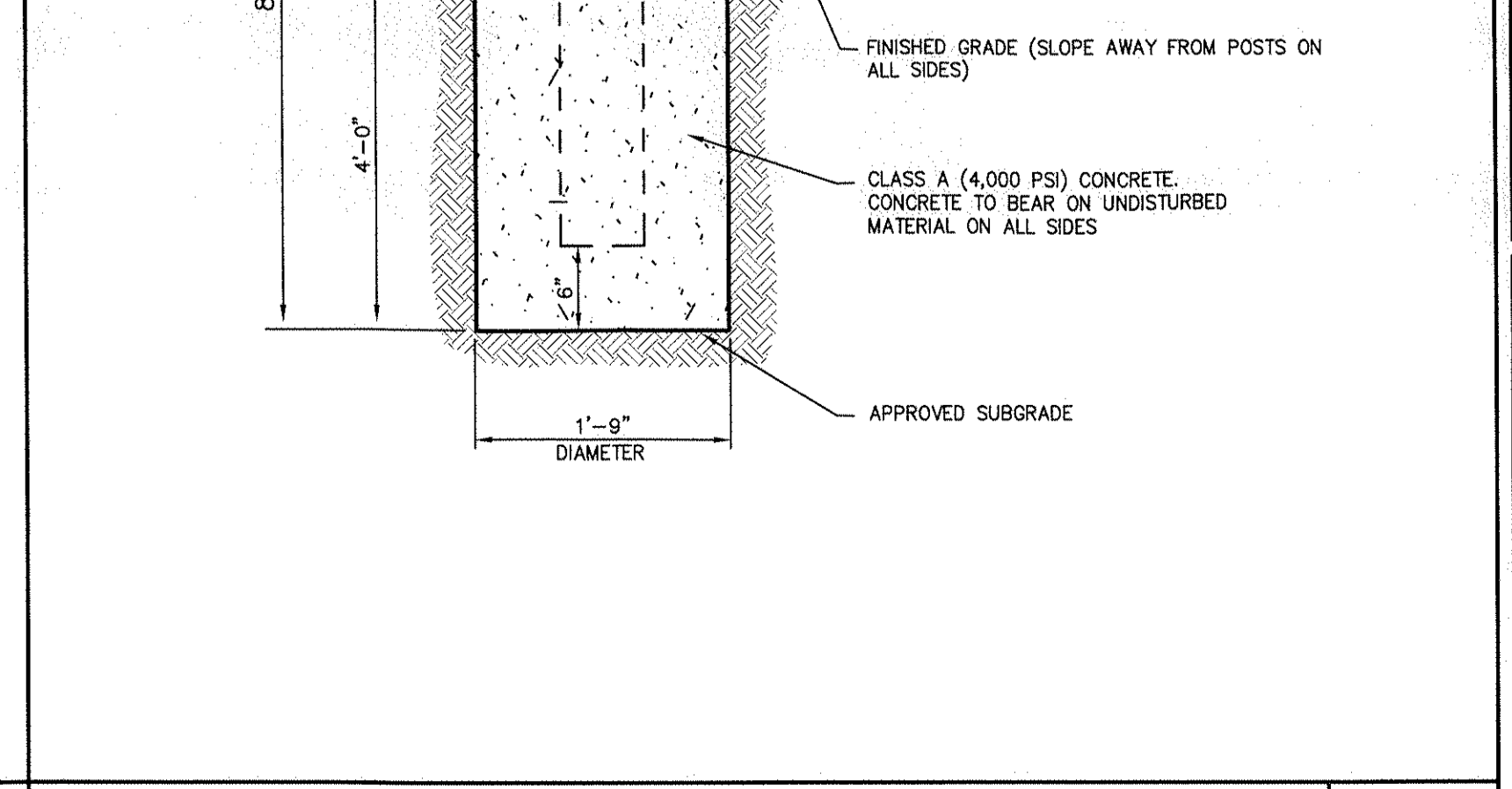
**SLOPE INSTALLATION**



**CONCRETE CURB ENDING** 49



**WOOD GUIDE RAIL** 55



**RIP-RAP EMERGENCY SPILLWAY** 56

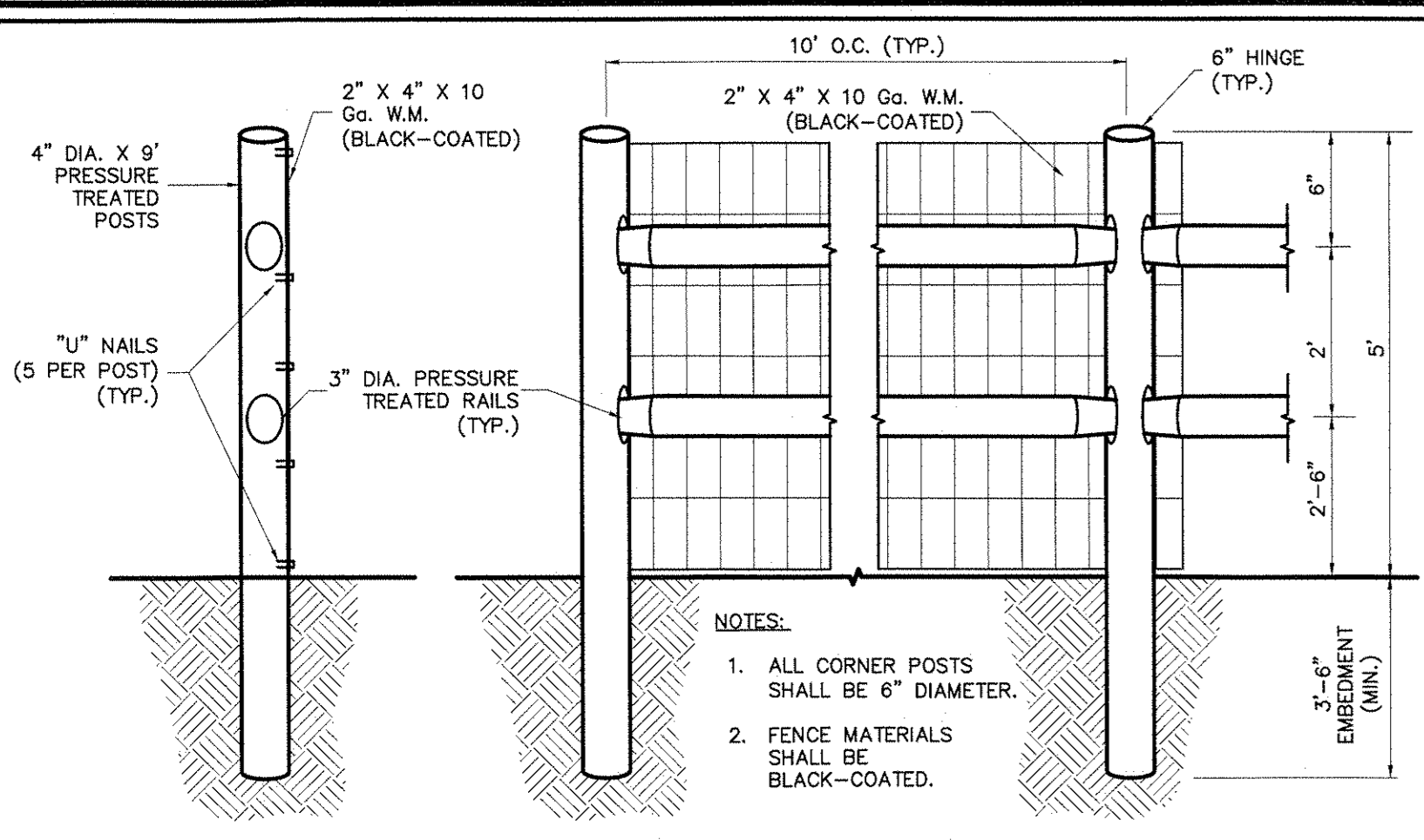
**JMC**  
**CONSTRUCTION DETAILS**  
**MEADOW HILL ROAD EXPANSION**  
 MEADOW HILL ROAD  
 TOWN OF NEWBURGH, NY

**DRA MEADOW HILL, LLC**  
 47 RIVER ROAD  
 SUMMIT, NJ 07901

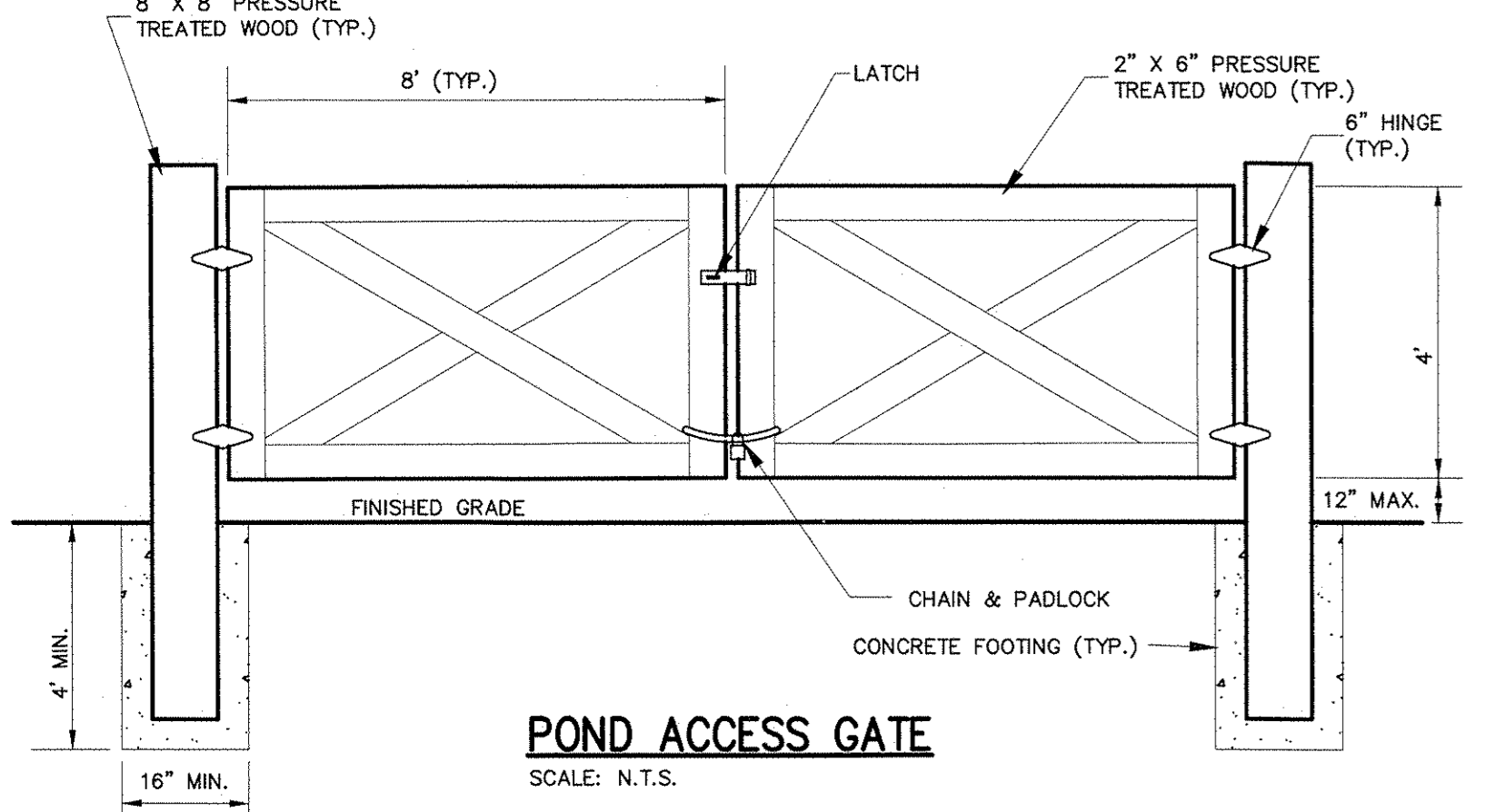
**MINNO & WASKO ARCHITECTS**  
 1 RAYMOND PLAZA W #210  
 NEWARK, NJ 07102

Scale: NOT TO SCALE  
 Date: 05/26/2016  
 Project No: 16015  
 Drawing No: SP-14

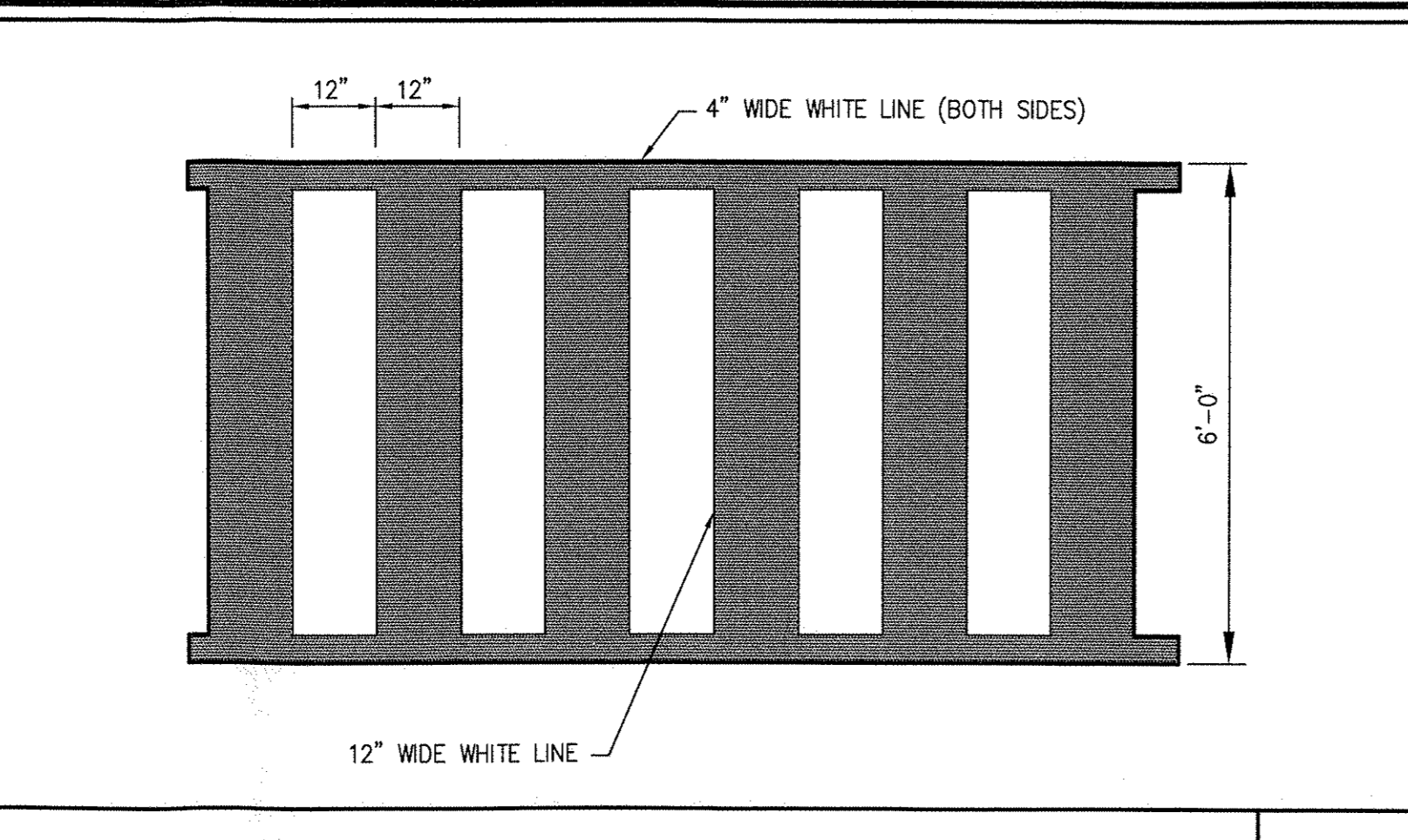




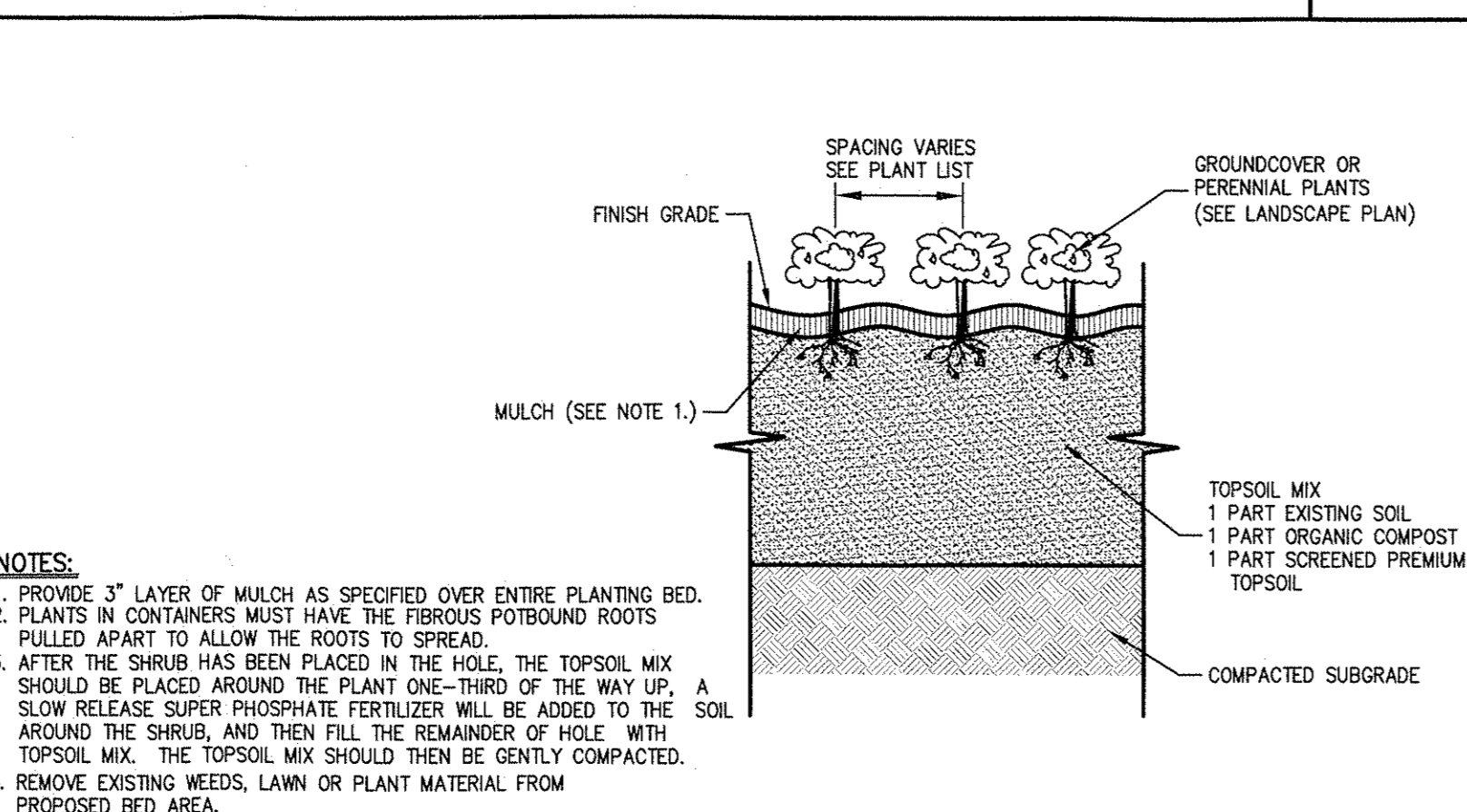
SECTION POST & RAIL FENCE - ELEVATION



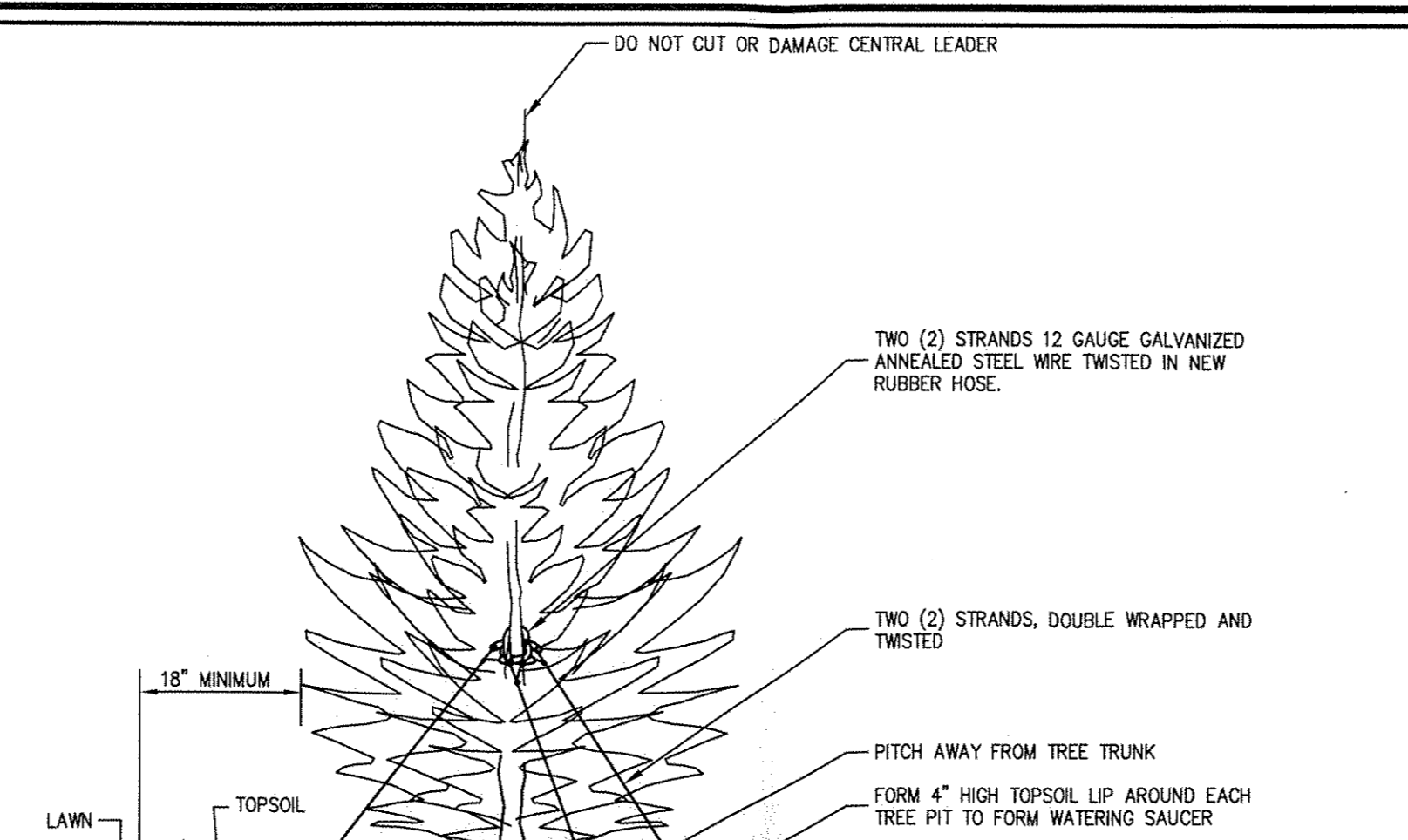
POND ACCESS GATE



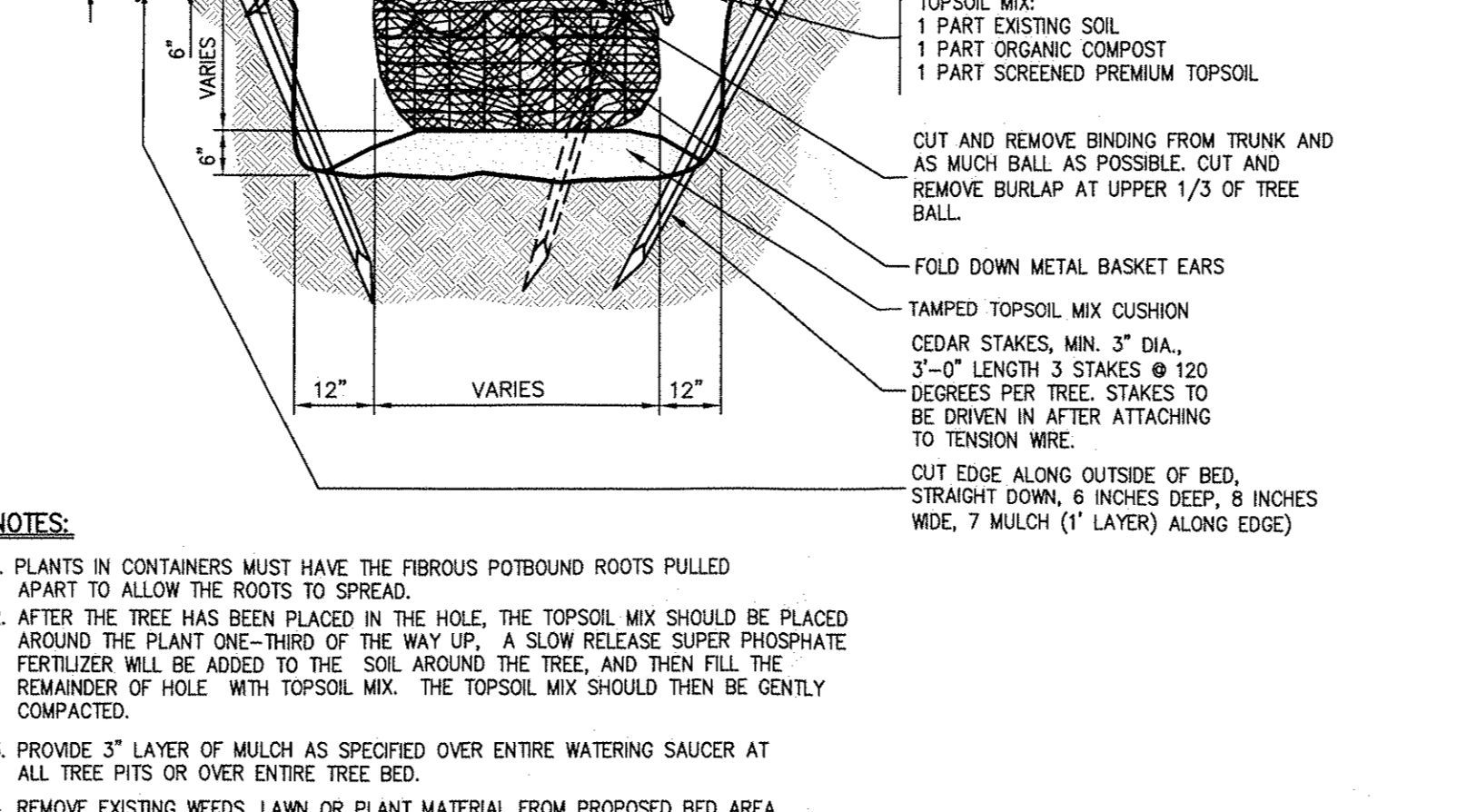
PEDESTRIAN CROSSING



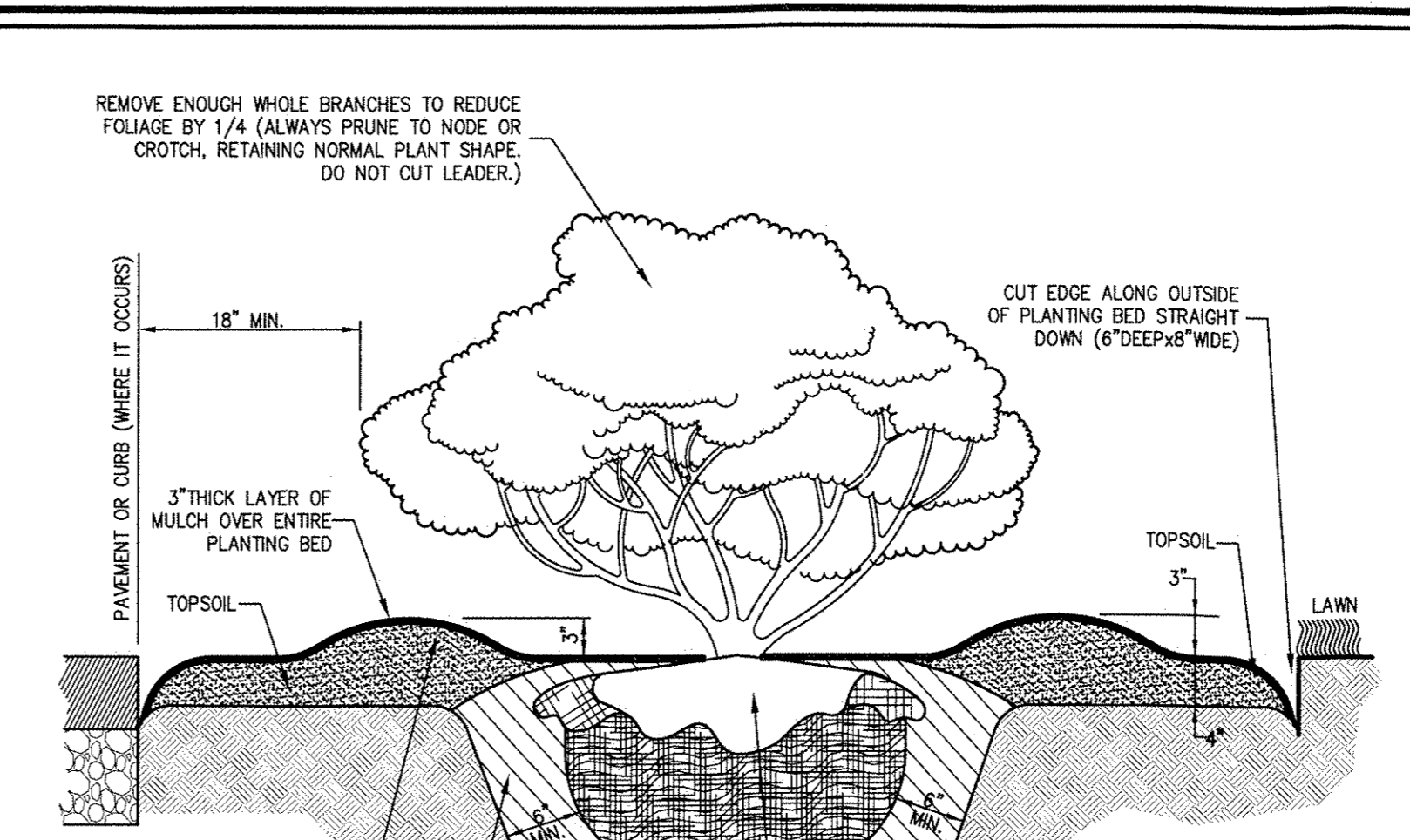
GROUNDCOVER PLANTING



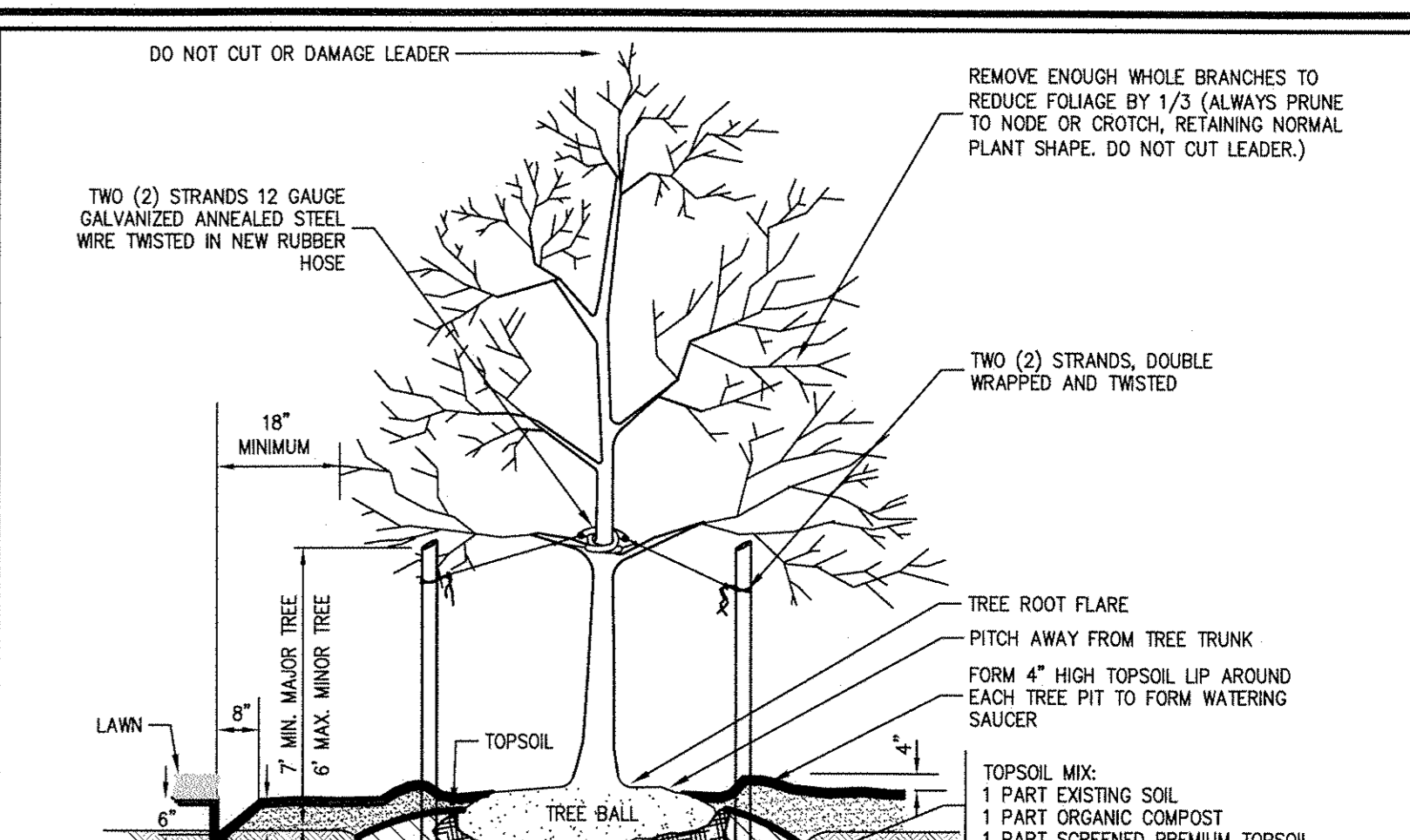
EVERGREEN TREE PLANTING



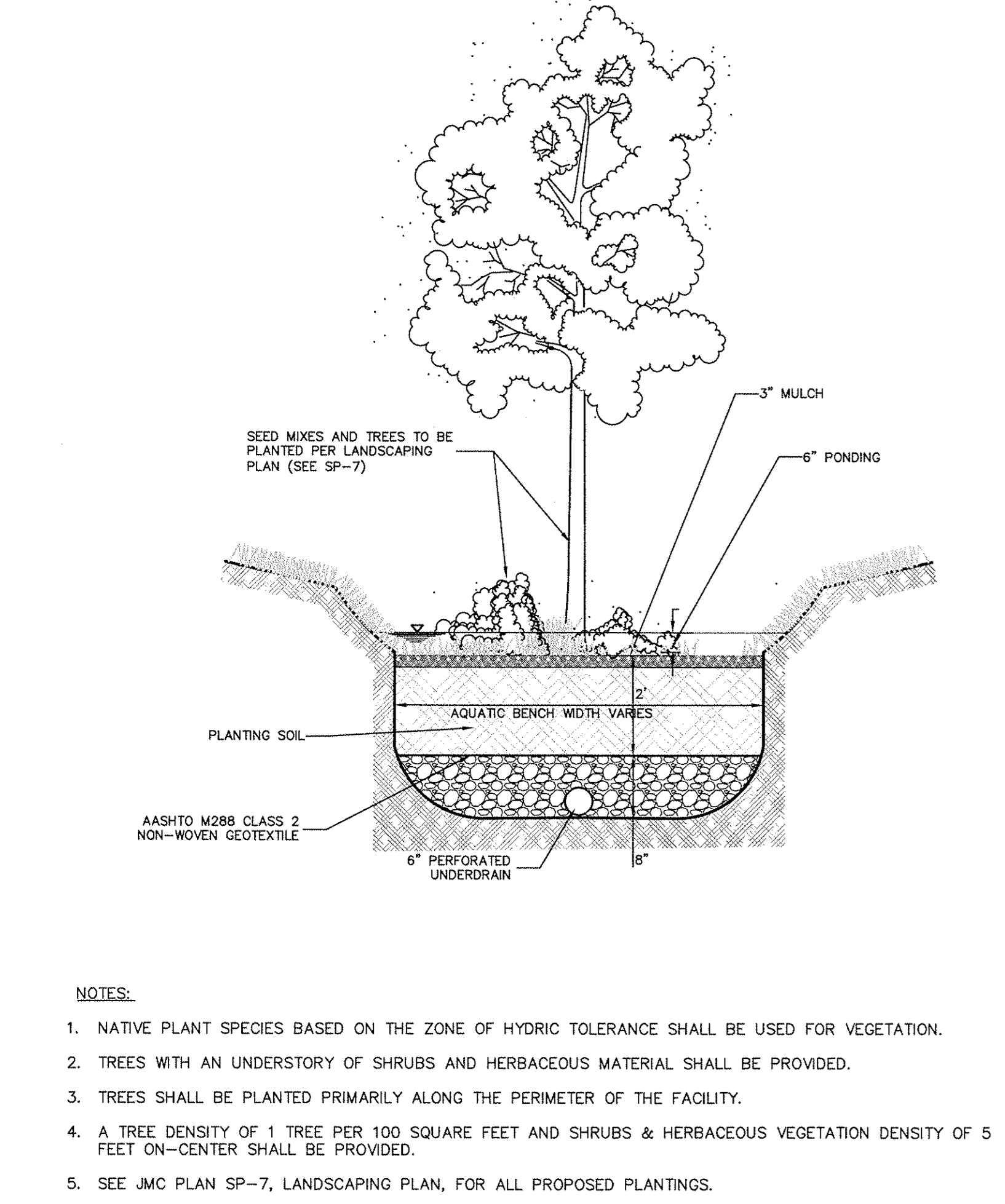
SHRUB PLANTING



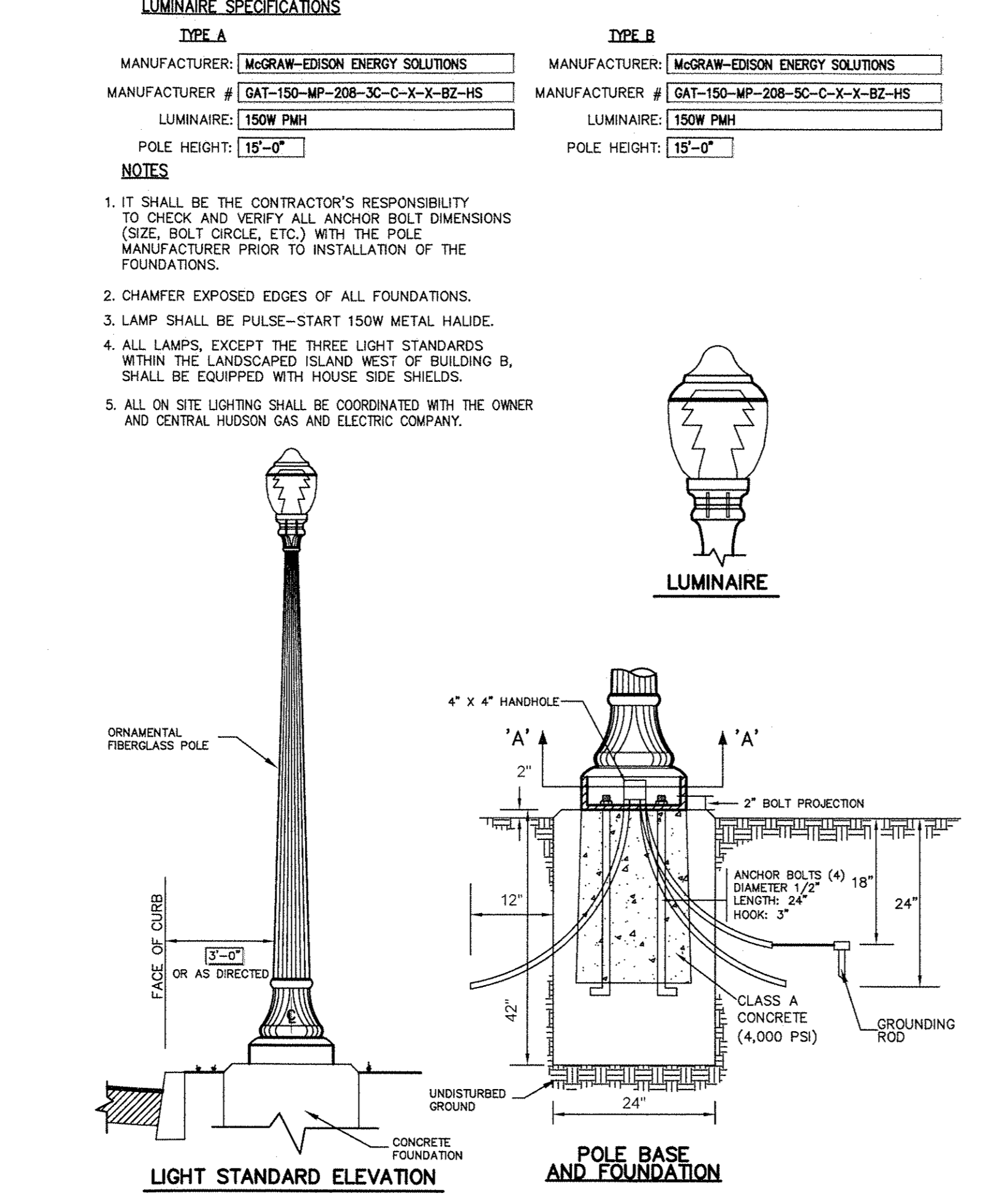
DECIDUOUS TREE PLANTING



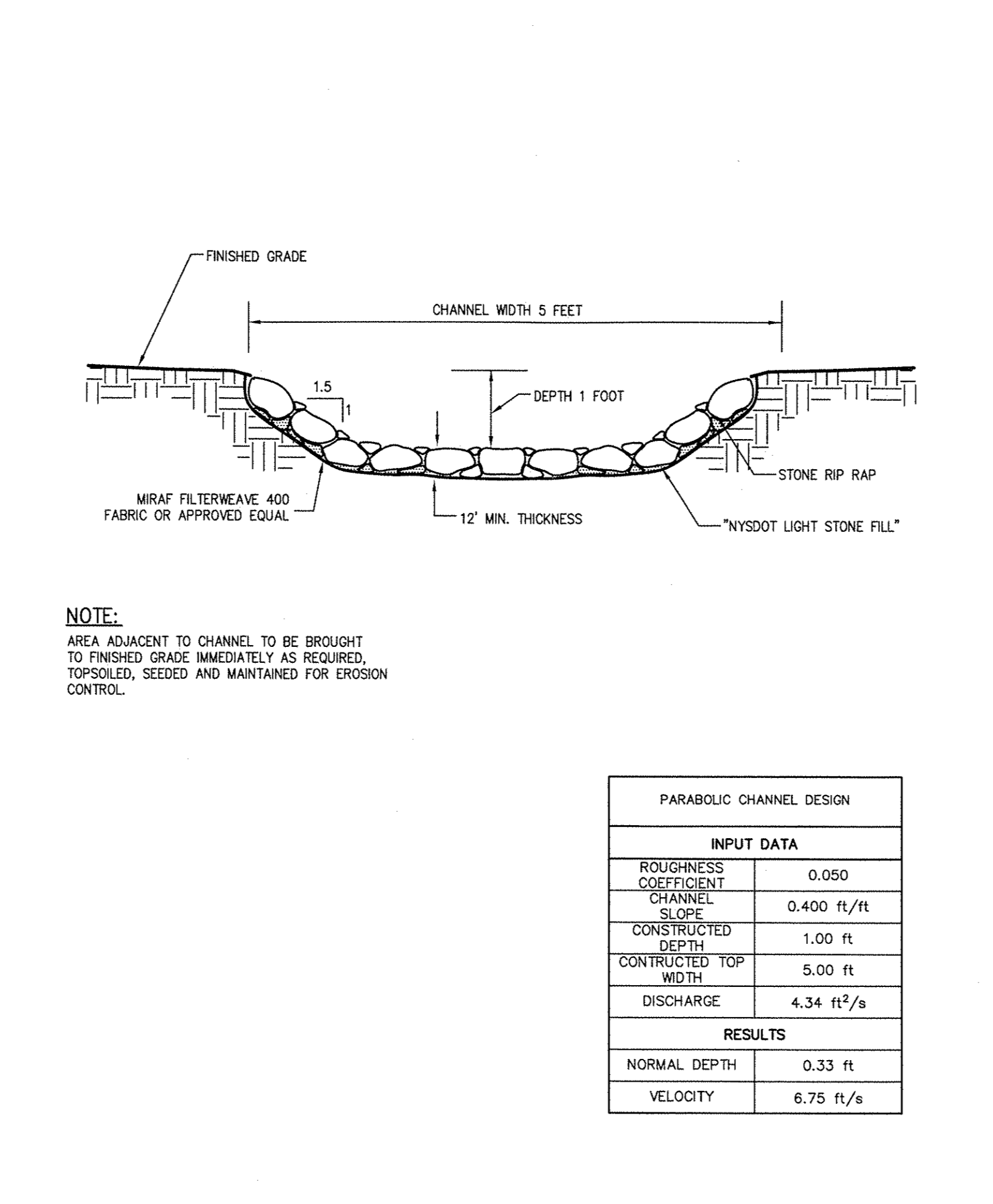
BIORETENTION DETAIL



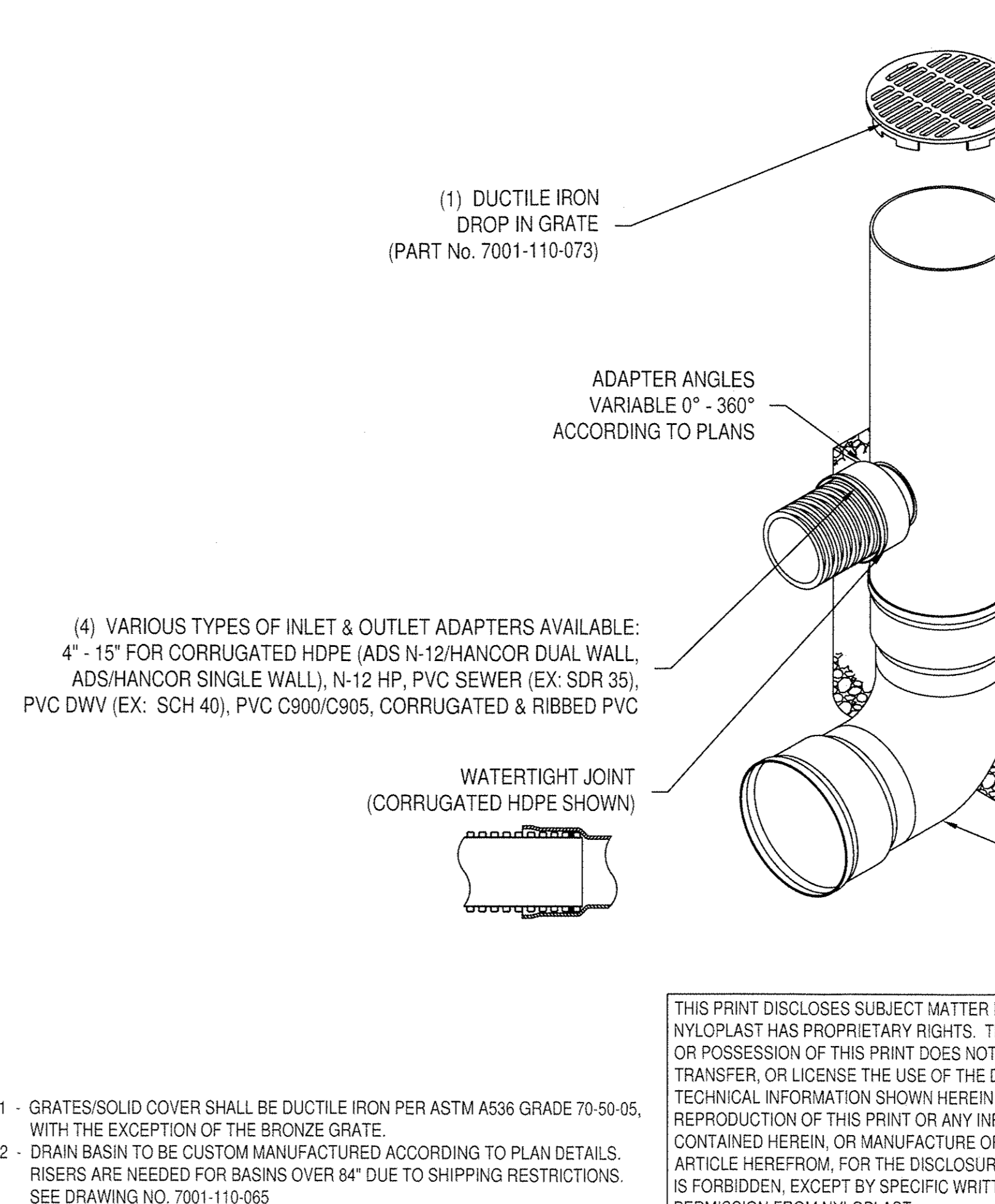
LUMINAIRE SPECIFICATIONS



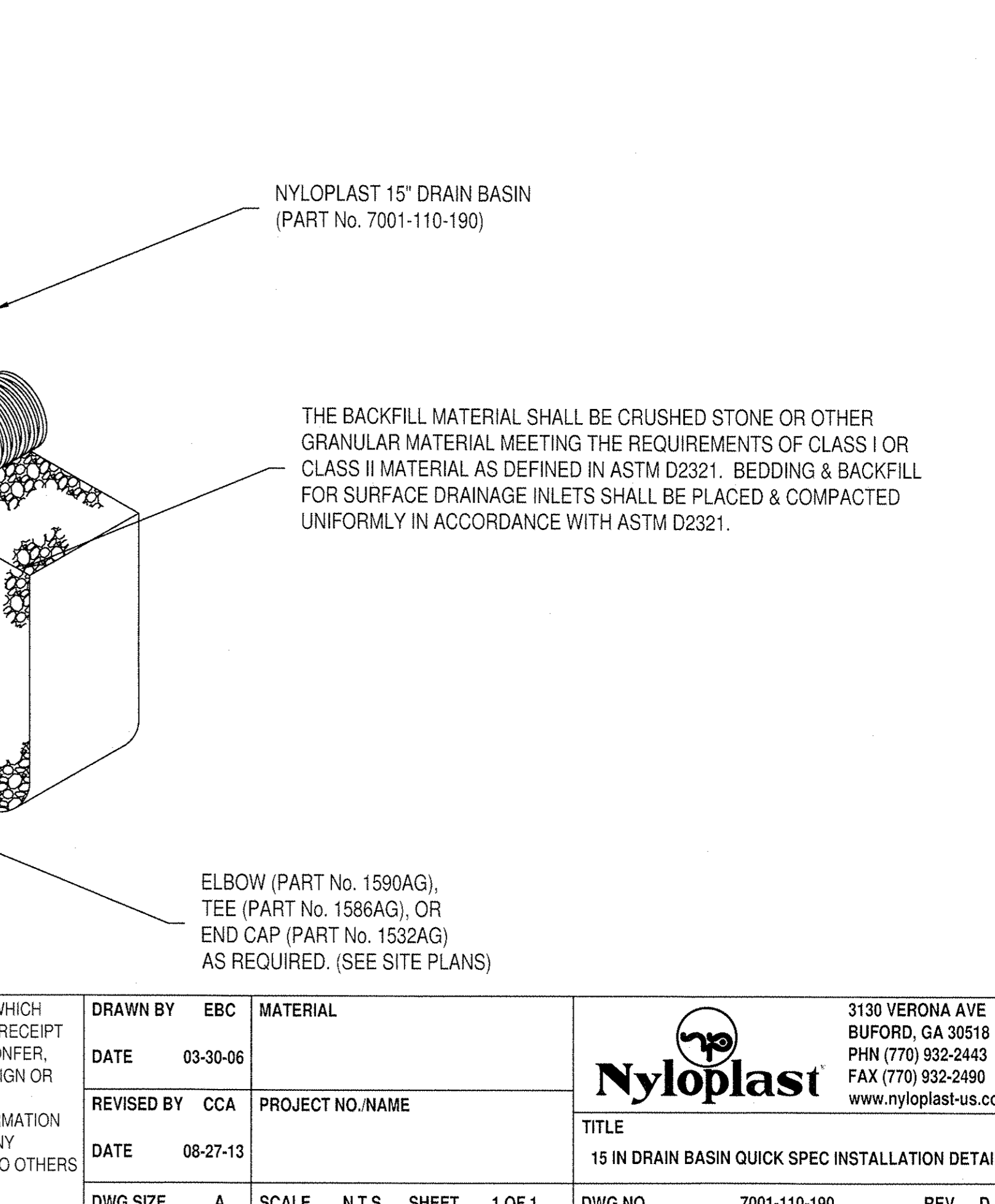
STONE RIP RAP CHANNEL



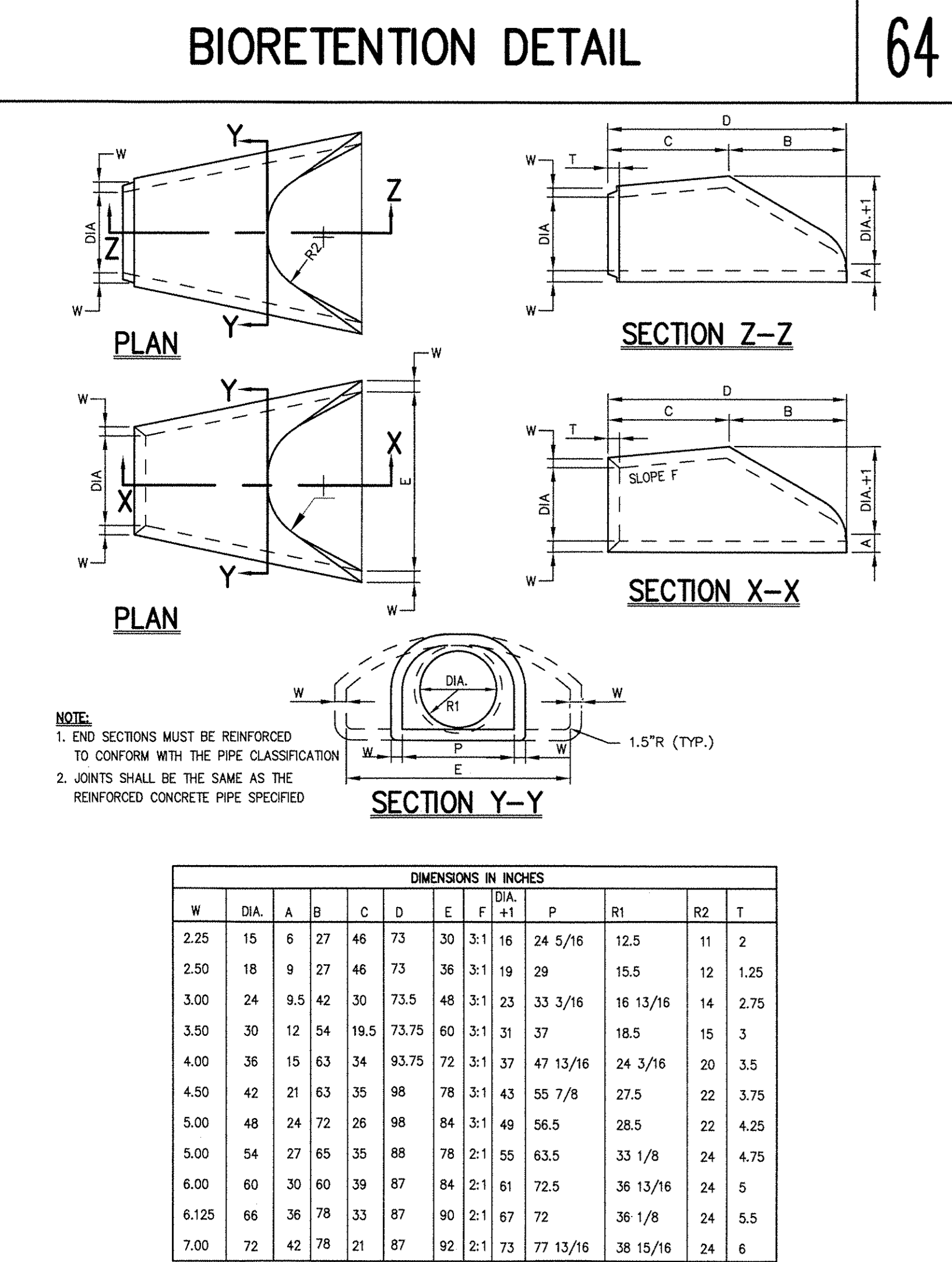
NYLOPLAST 15" DRAIN BASIN



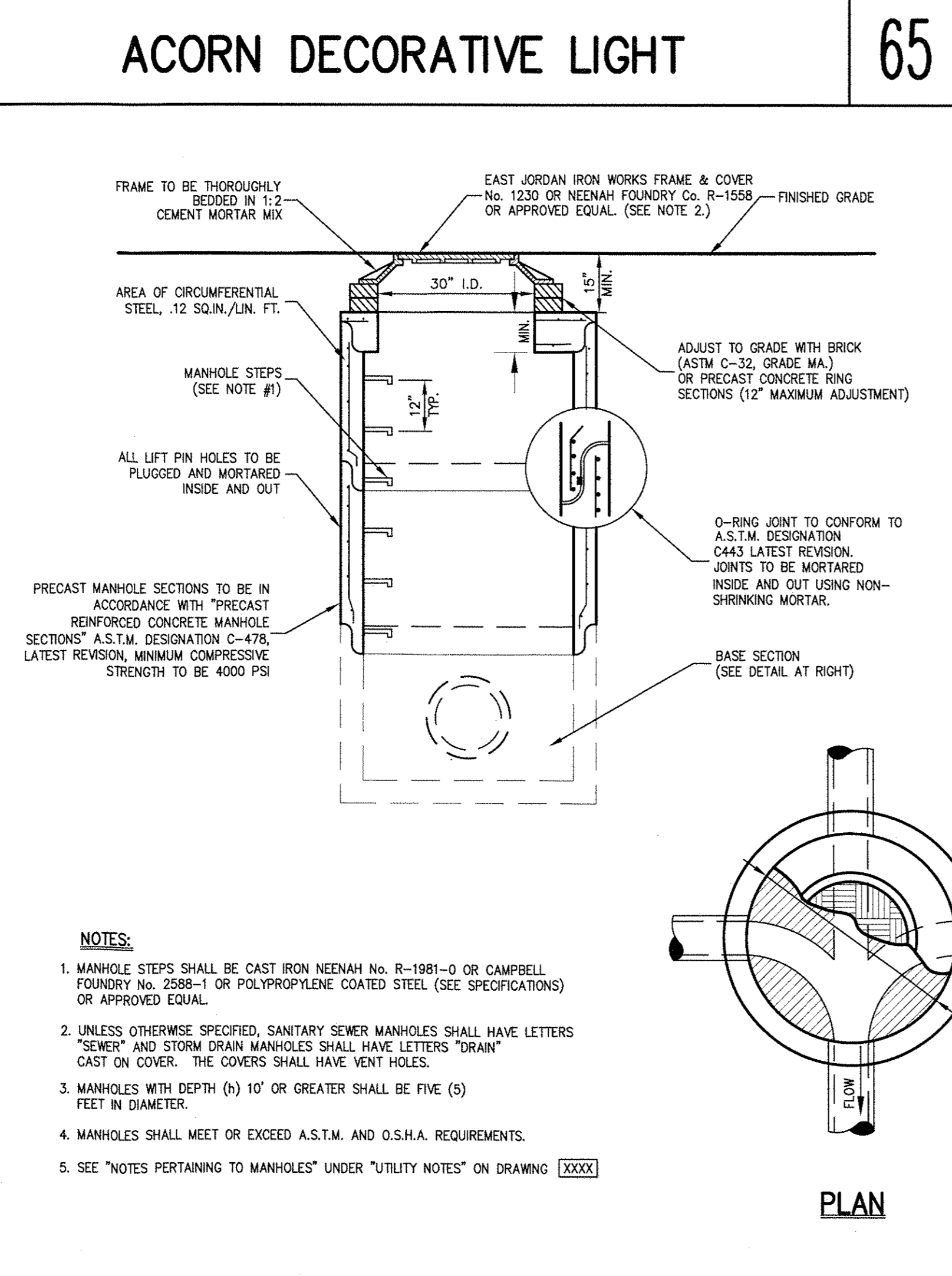
ACORN DECORATIVE LIGHT



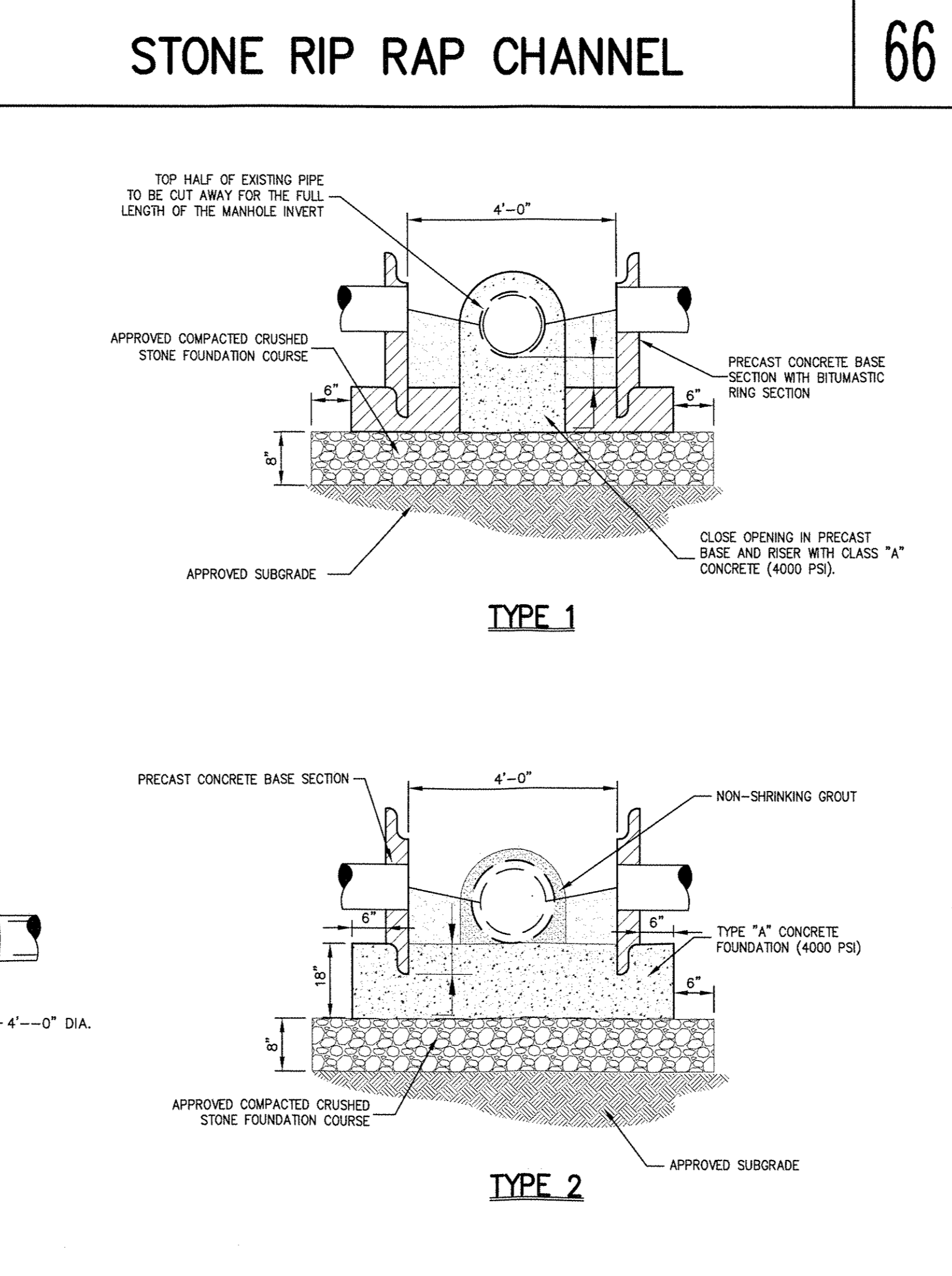
CONSTRUCTION DETAILS



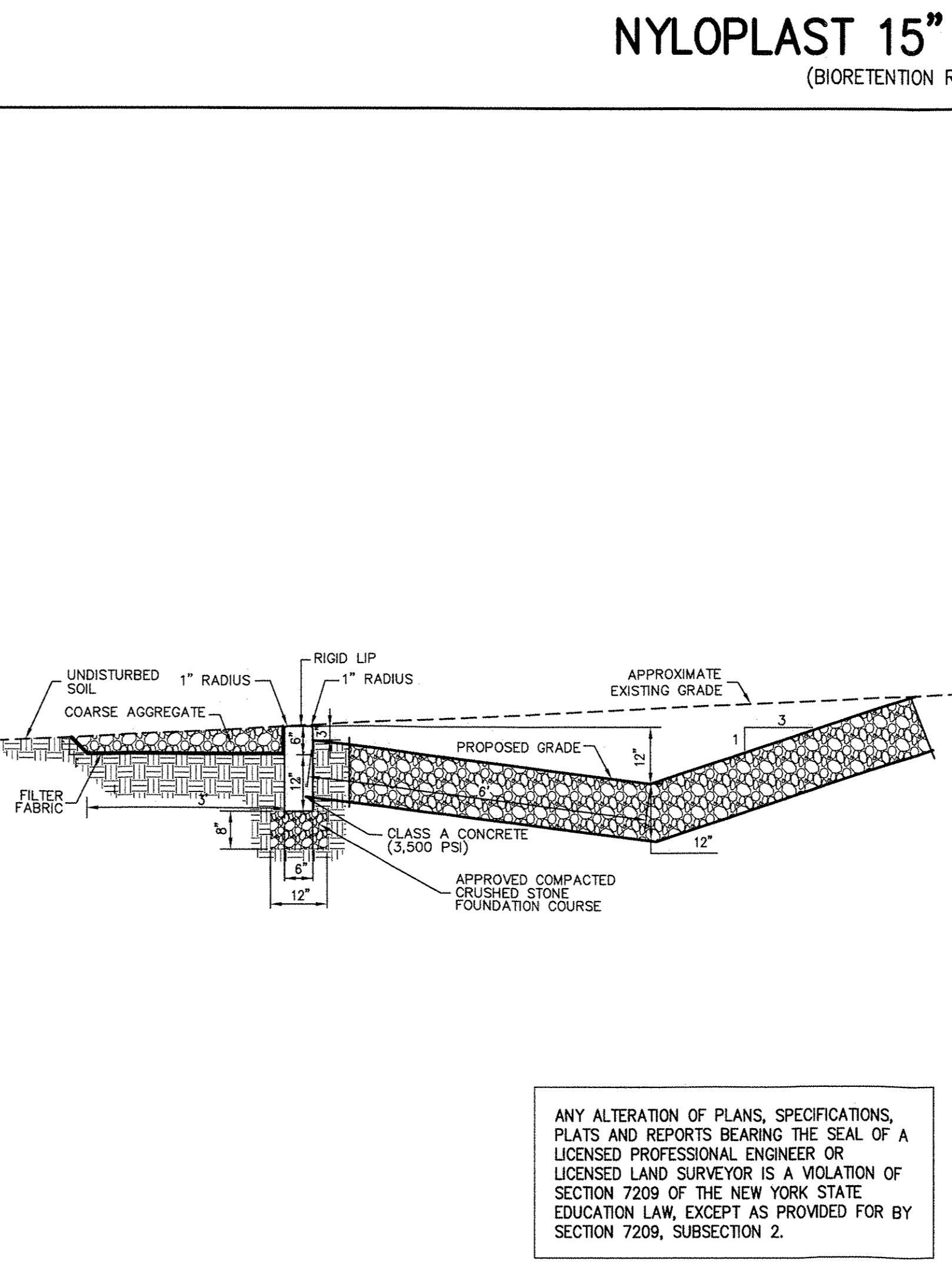
END SECTION (CONCRETE)



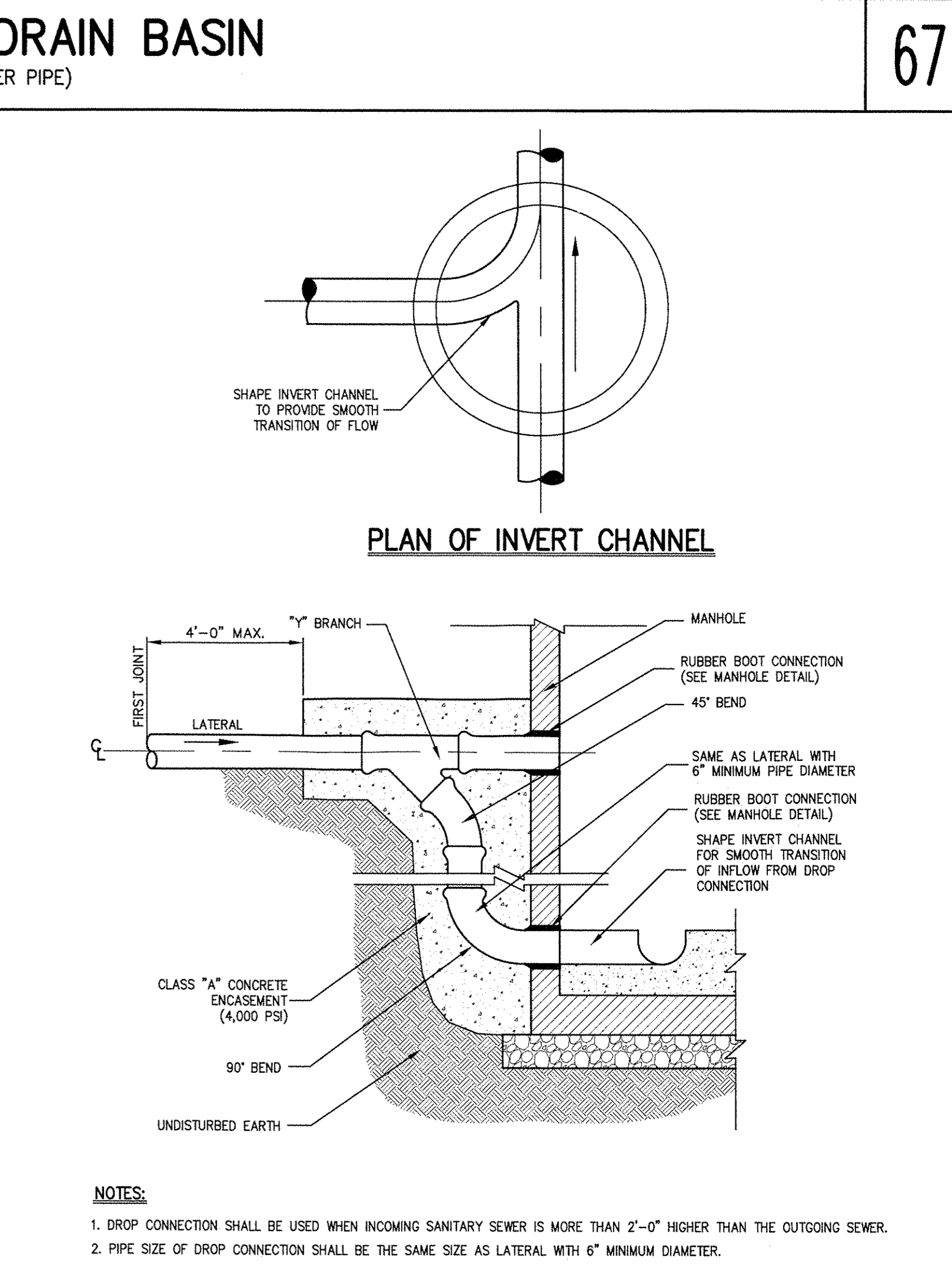
DOGHOUSE MANHOLE



CONCRETE LEVEL SPREADER



DROP CONNECTION AT MANHOLE



SP-15

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47 RIVER ROAD  
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1 RAYMOND PLAZA W #210  
NEWARK, NJ 07102

USA Planning, Engineering, Architecture & Land Surveying, P.L.L.C.  
John Heger Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
914-472-2325 - fax 914-472-2102  
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DATE 03-30-06  
REVISED BY CCA  
DATE 08-27-13  
DWG SIZE A  
SCALE N.T.S. SHEET 1 OF 1  
DWG NO. 7001-110-190  
REV D

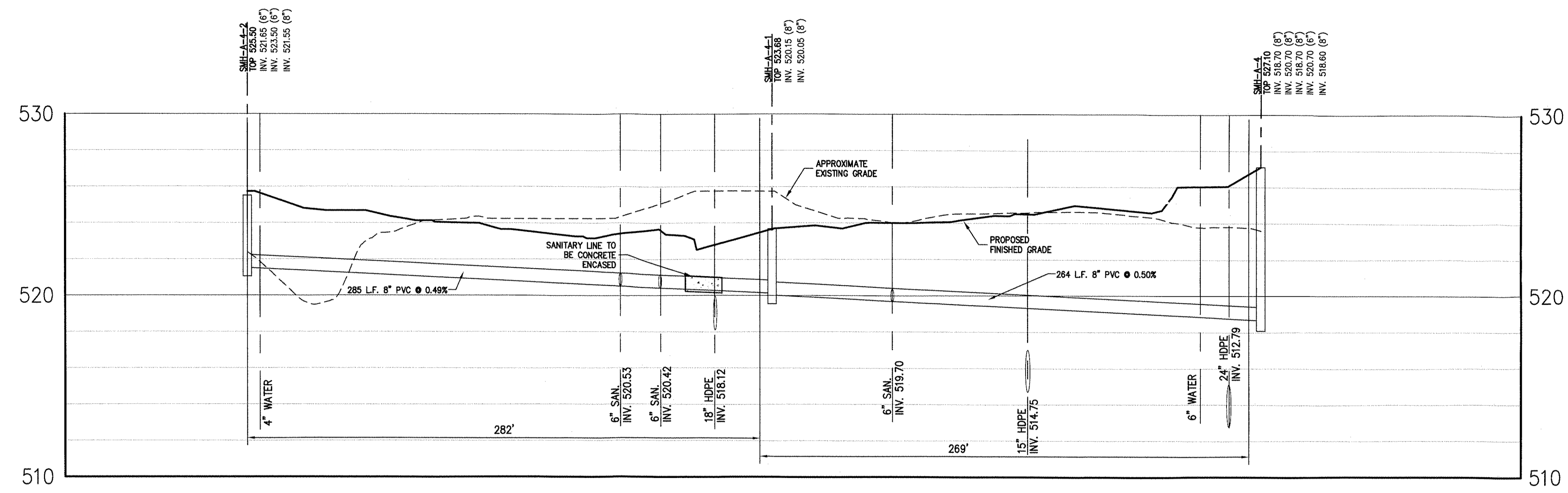
15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

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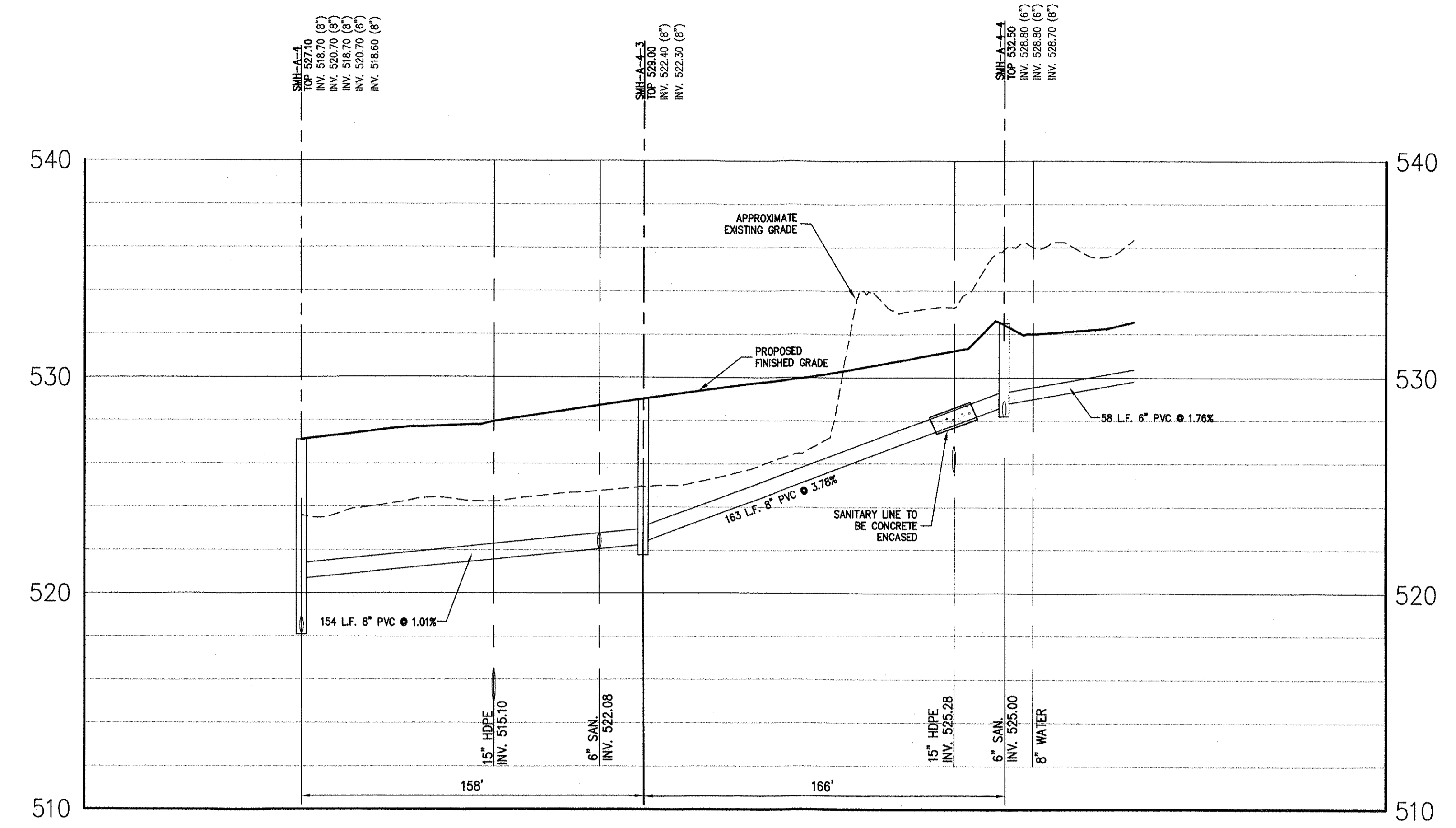
NOTES:  
1. DRAIN CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.  
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

Project: 16015  
Date: 05/06/2016  
Drawn by: [blank]



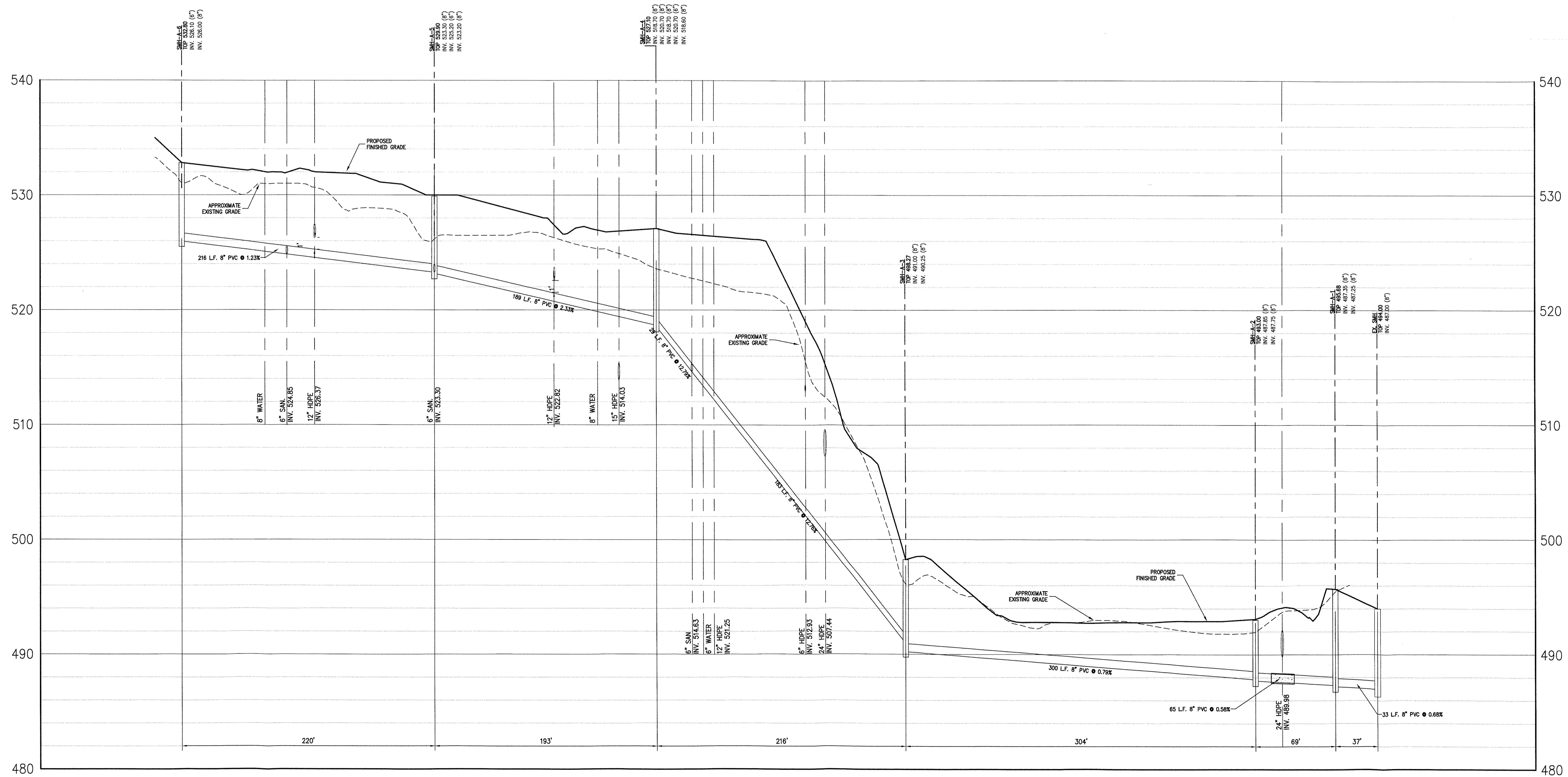
**SMH-A-4-2 TO SMH-A-4**

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**SMH-A-4-4 TO SMH-A-4**

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**SMH-A-6 TO EXIST. SMH**

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

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No.	Revisions	Date
1.	REVISED PER TOWN COMMENTS	05/26/2016
2.	REVISED PER TOWN COMMENTS	08/10/2016

DR. MEADOW HILL, LLC	47 RIVER ROAD	SUMMIT, NJ 07901
MINNO & WASKO ARCHITECTS	1 HANWARD PLAZA #210	NEWARK, NJ 07102

JMC Planning, Engineering, Landscape  
 Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 128 BEDFORD ROAD - ARMONK, NY 10504  
 PH: 914.272.8325 - FAX: 914.272.8202  
 WWW.JMCPINC.COM

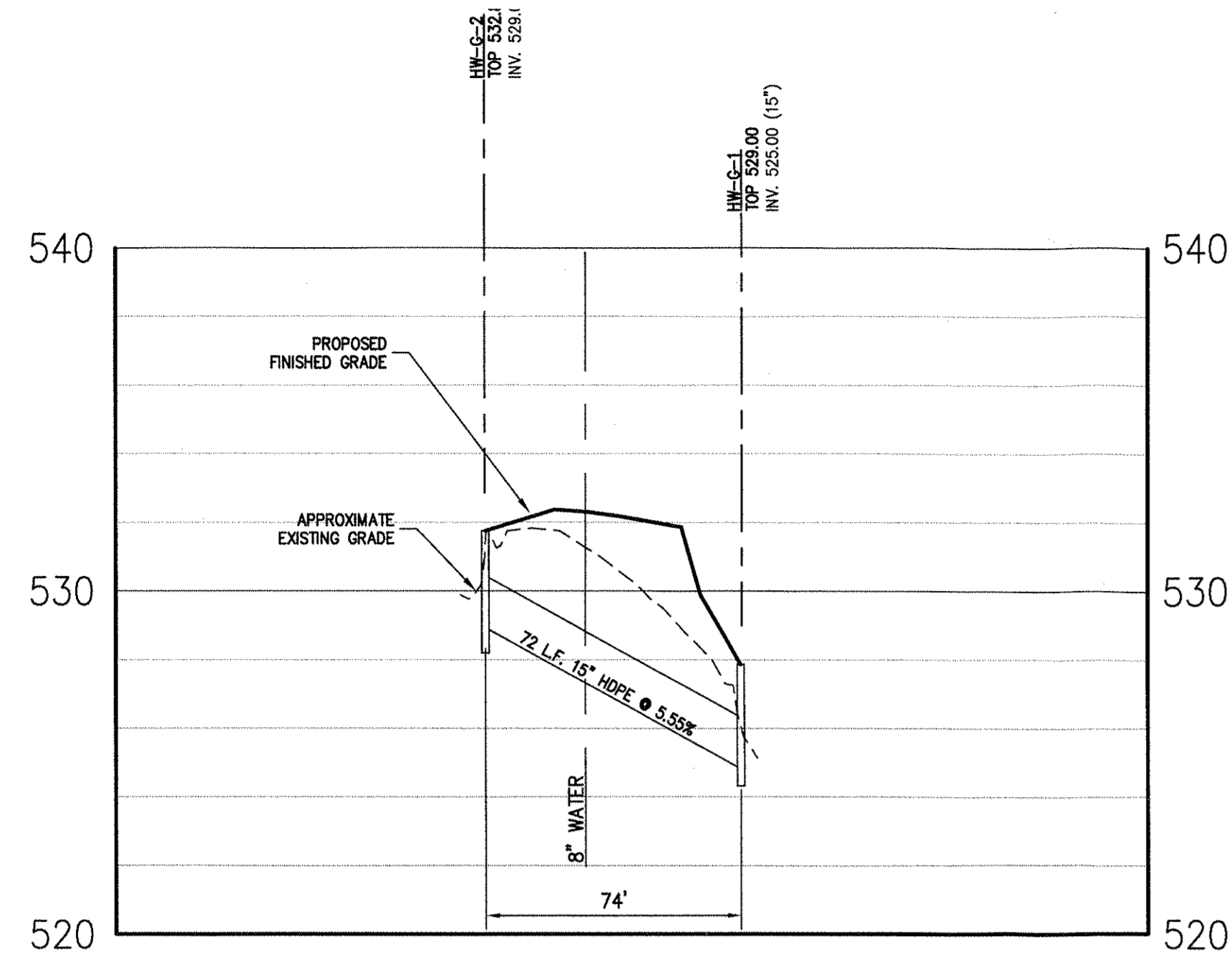


**SANITARY SEWER PROFILES**

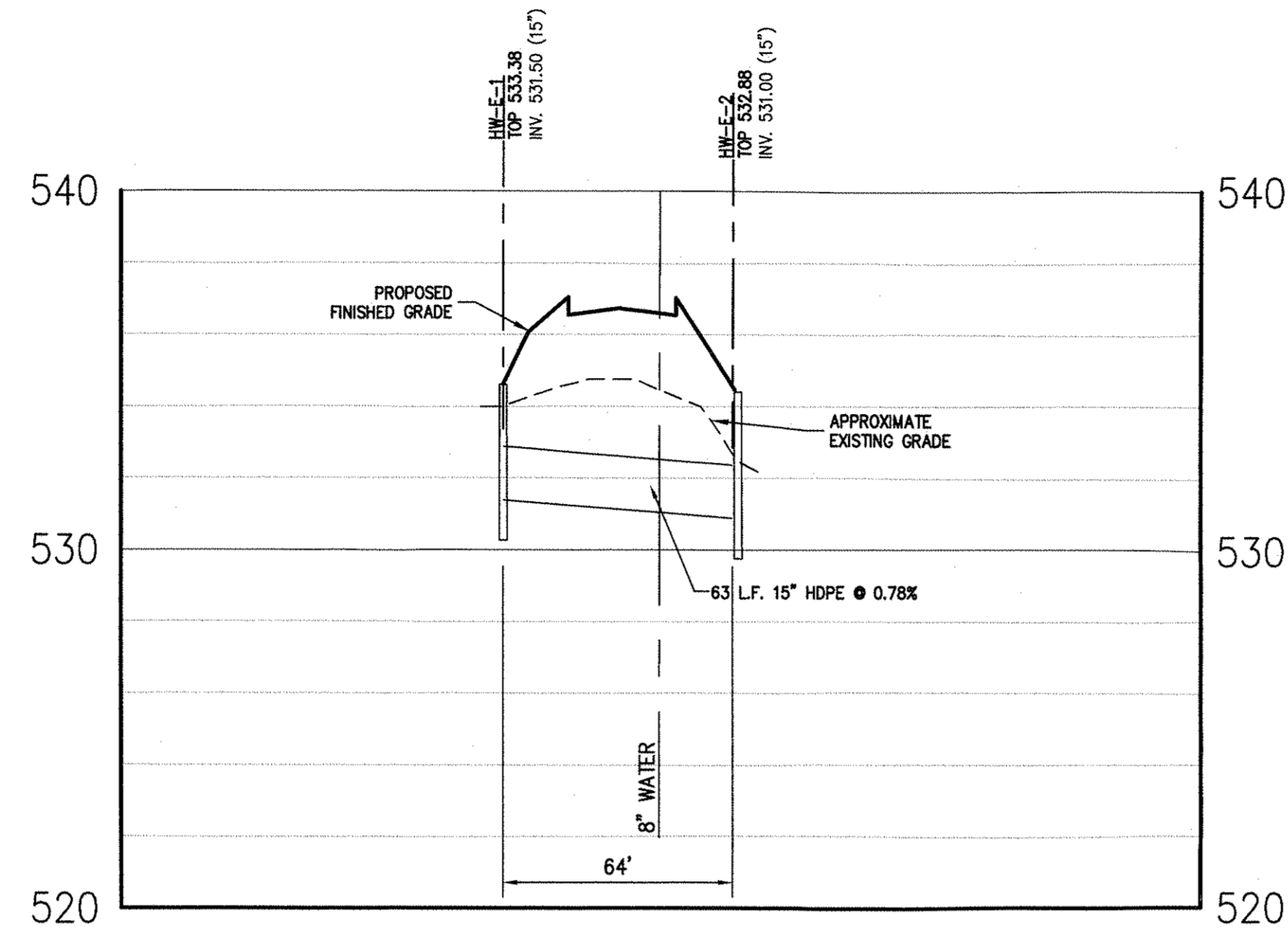
**MEADOW HILL ROAD EXPANSION**  
 TOWN OF NEWBURGH, NY

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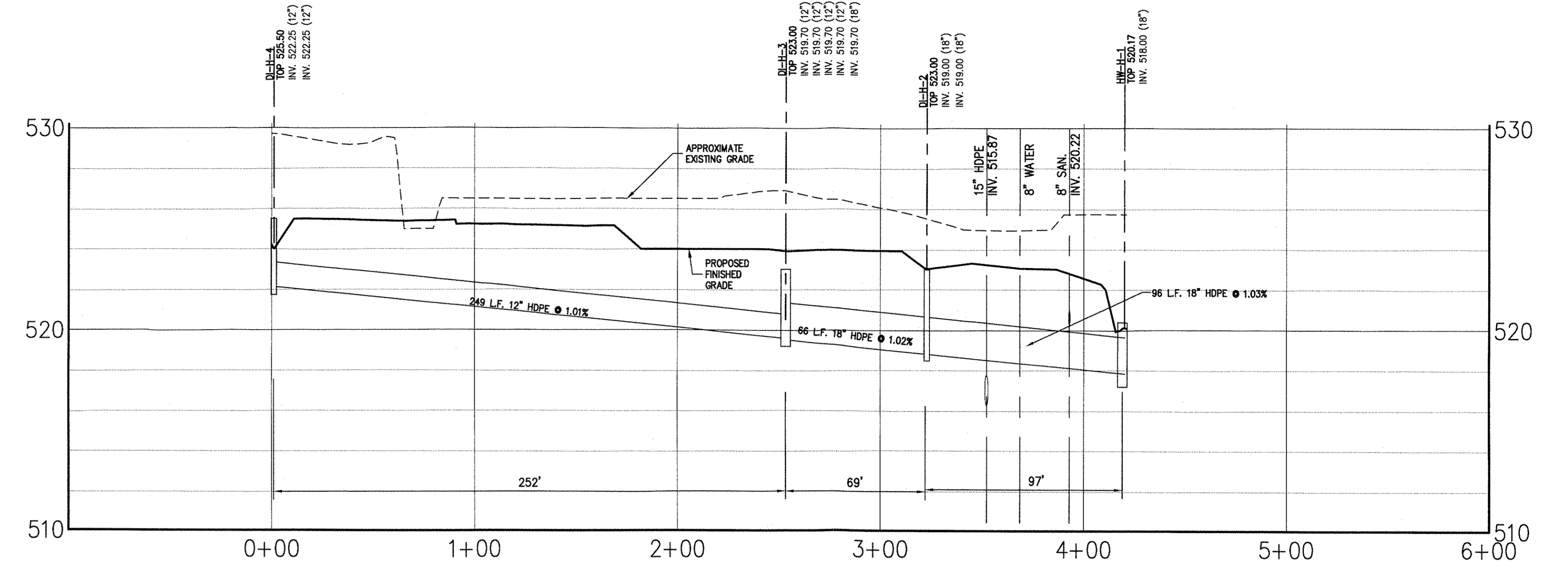
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Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
Sheet No.	SAN PROFILES - UTILITIES		
Drawing No.	SP-16		



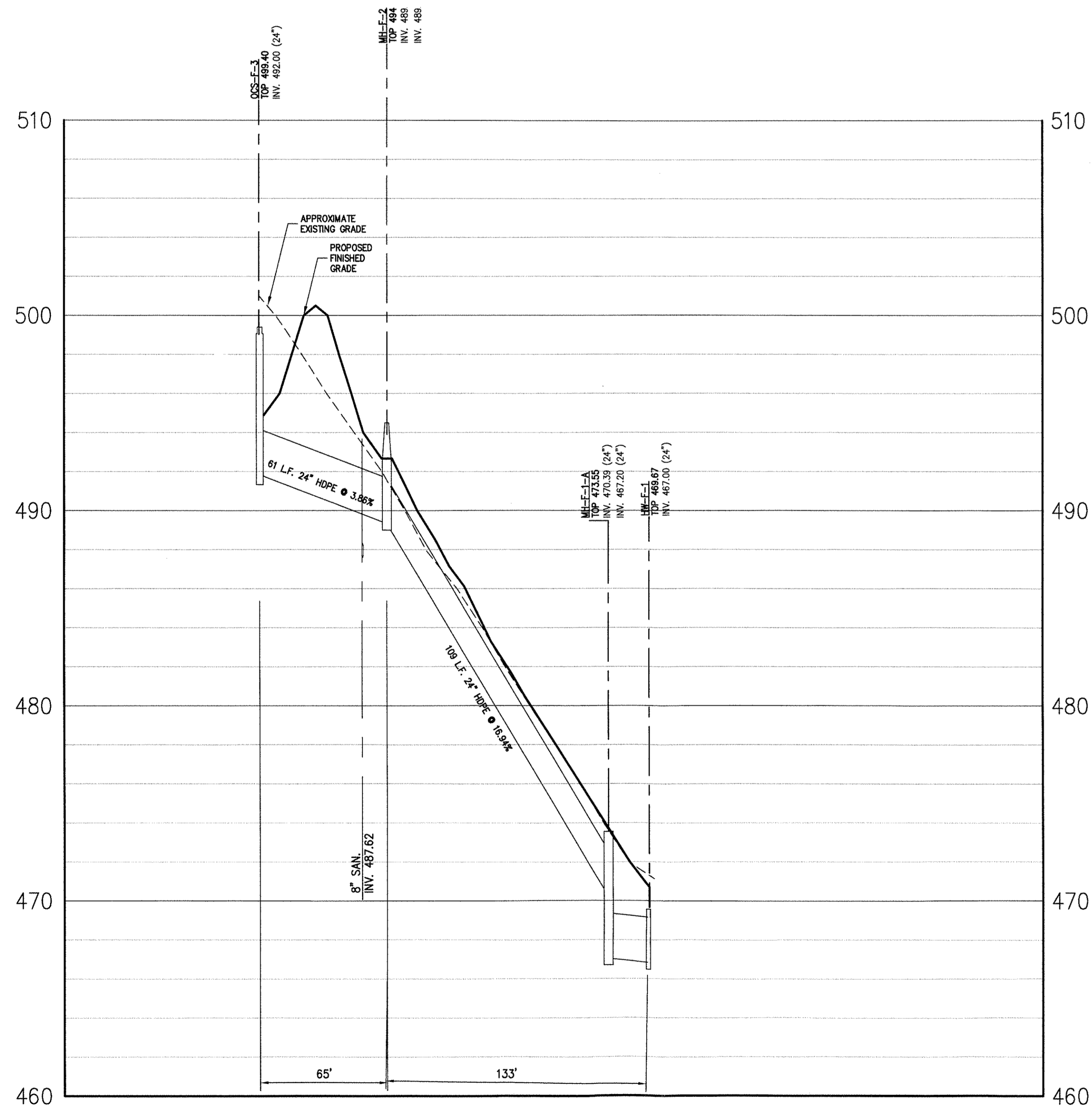
**HW-G-2 TO HW-G-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



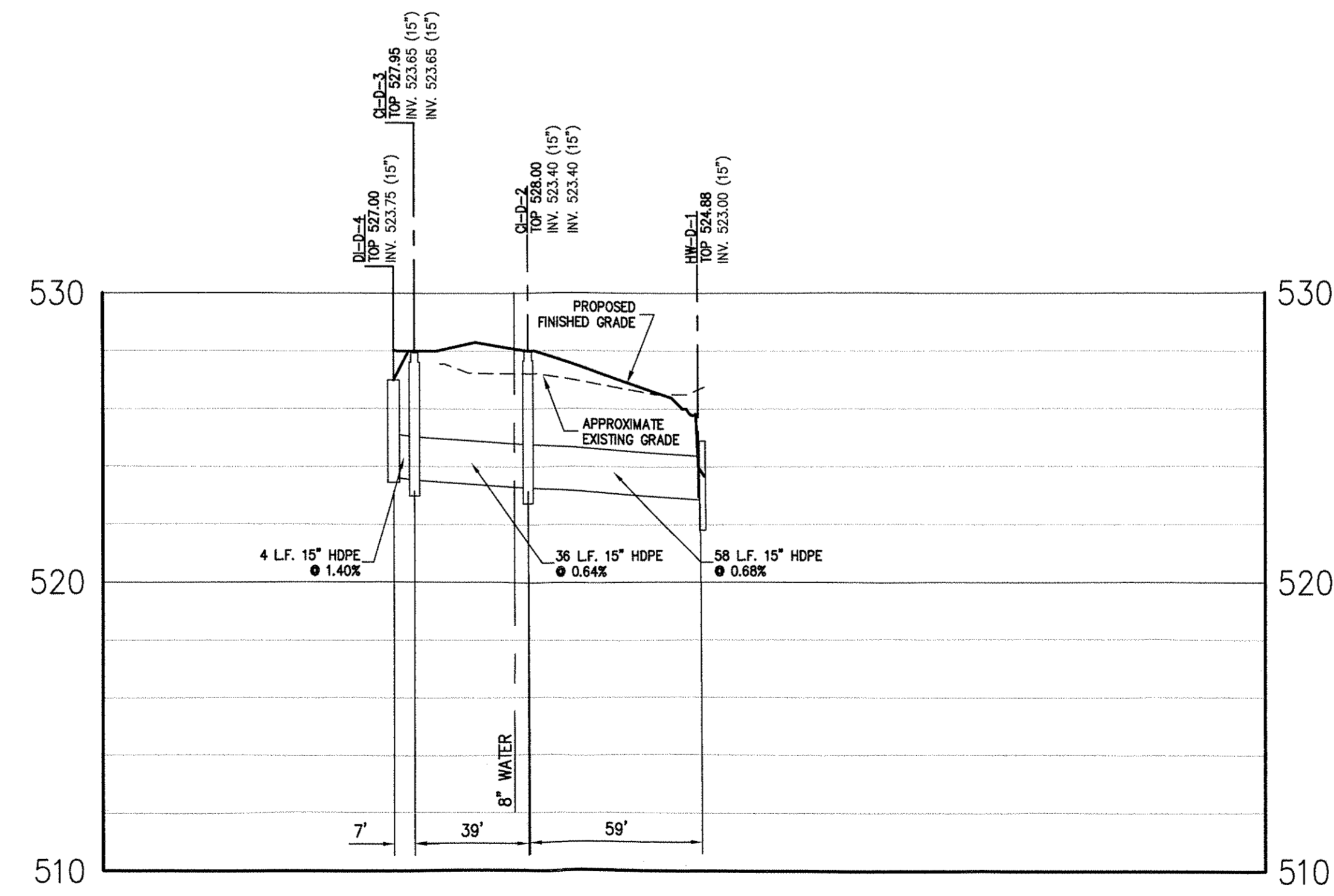
**HW-E-1 TO HW-E-2**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



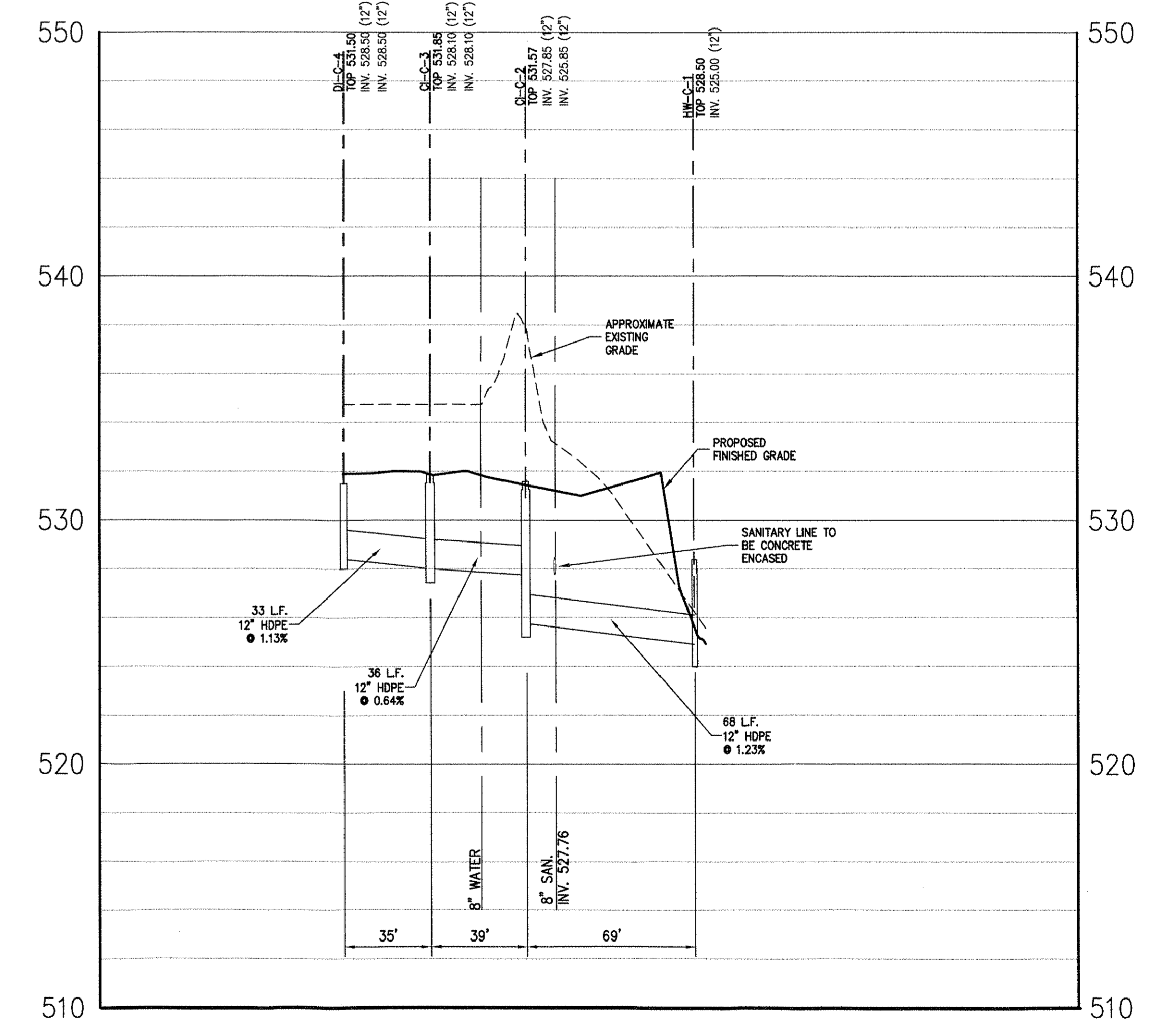
**DI-H-4 TO HW-H-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**DI-F-3 TO HW-F-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**DI-D-4 TO HW-D-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**DI-C-4 TO HW-C-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

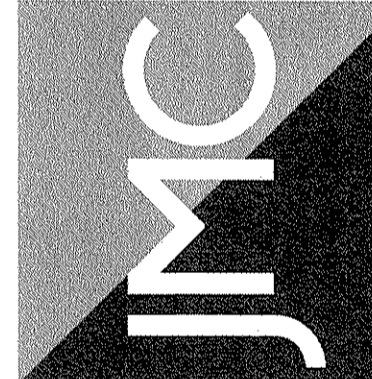
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No.	Revision	Date
1	REVISED PER TOWN COMMENTS	05/25/2016
2	REVISED PER TOWN COMMENTS	09/10/2016

DR. MEADOW HILL, LLC 47 RIVER ROAD SUMMIT, NJ 07901
MINNO & WASKO ARCHITECTS 1 RAINBOW PLAZA, 2ND FLOOR NEWARK, NJ 07102

JMC Planning, Engineering, Landscape  
 Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BERSHOLD ROAD - MINNICK, NY 10504  
 PH: 914.273.5325 - FAX: 914.273.2102  
 WWW.JMCPIC.COM

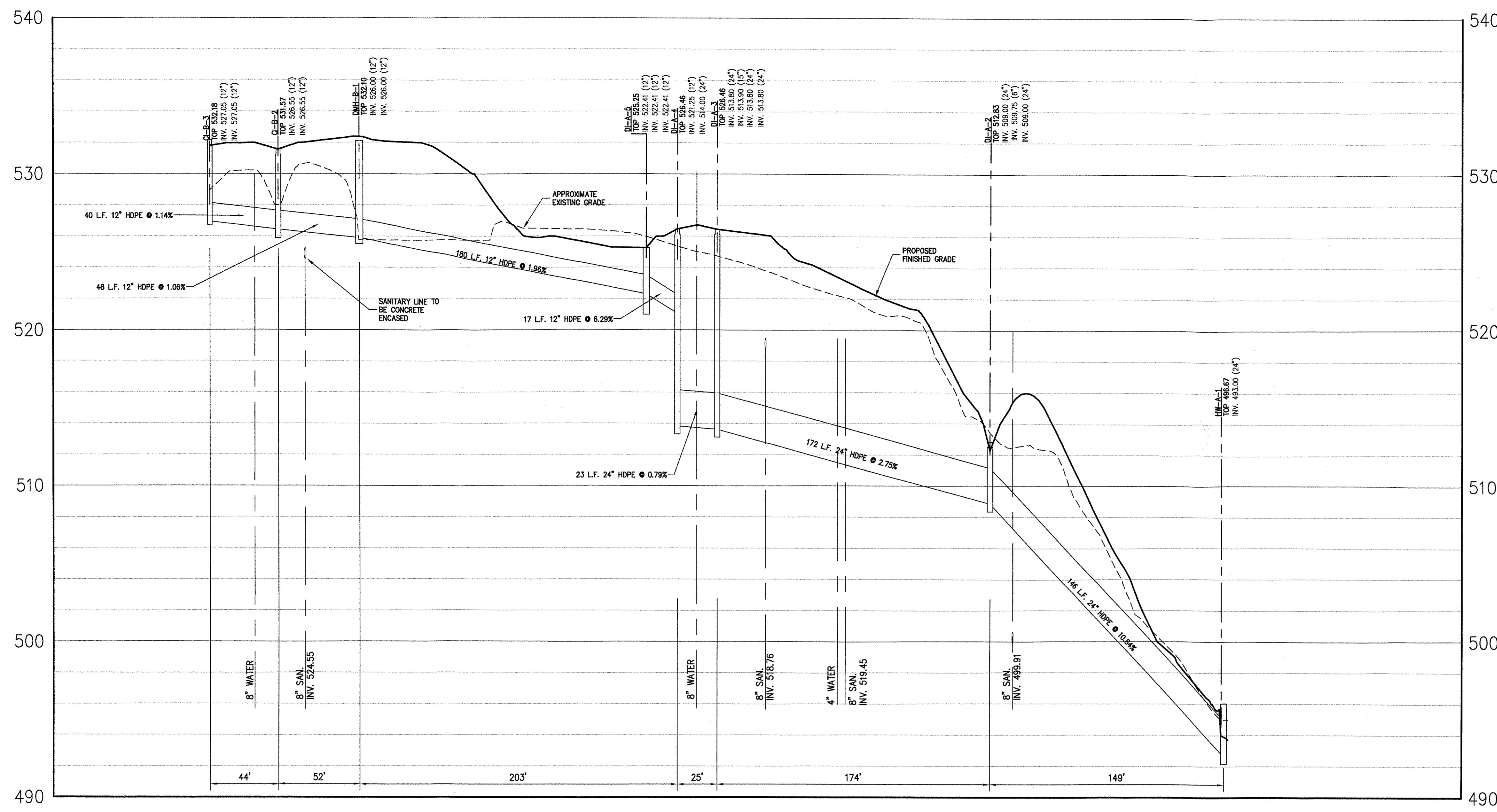
**STORM SEWER PROFILES**  
**MEADOW HILL ROAD EXPANSION**  
 TOWN OF NEWBURGH, NY



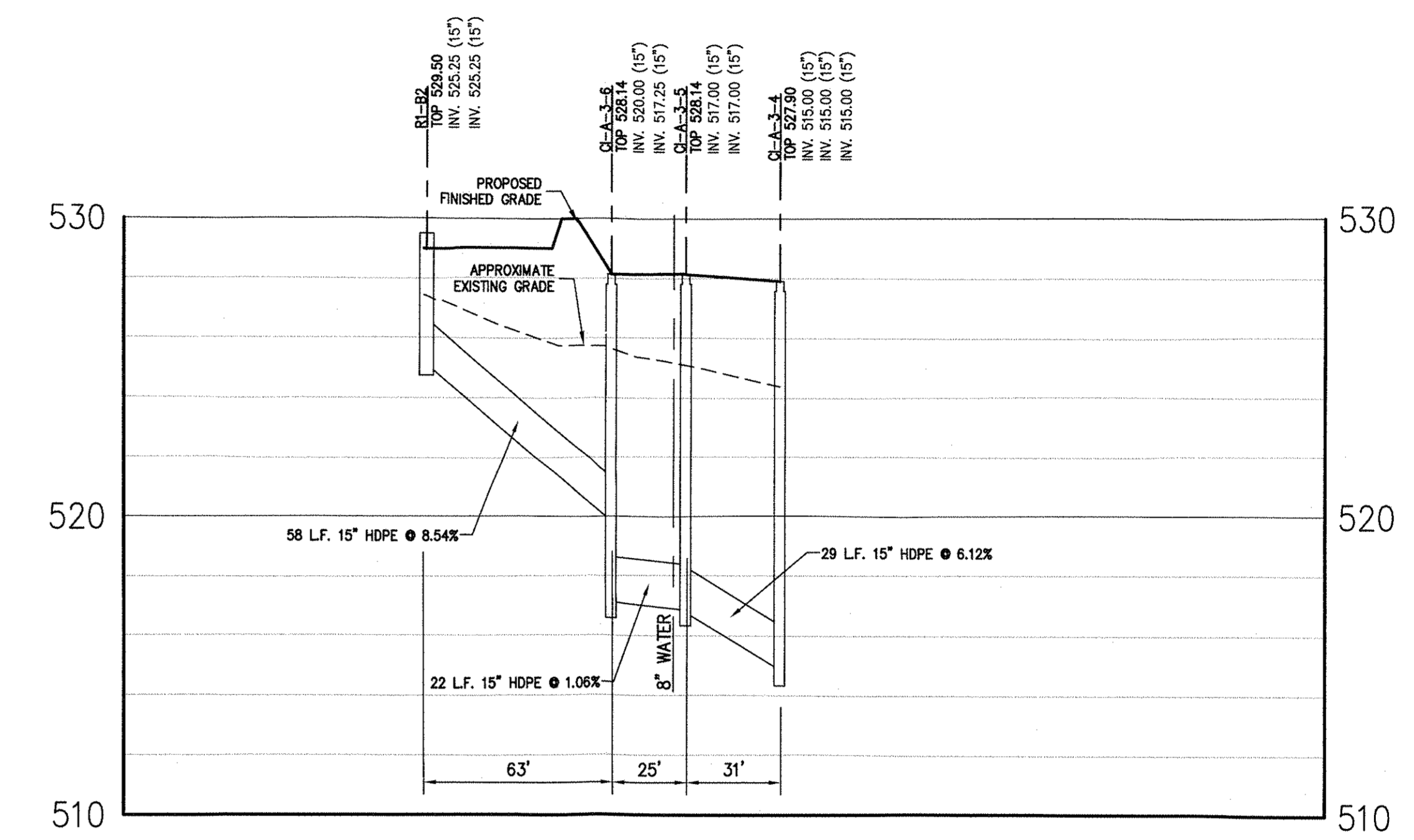
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Drawn: MT  
 Scale: 1" = 40'  
 Date: 05/06/2016  
 Project No: 16015  
 Drawing No: STORM PROFILES - UTIL.MXD

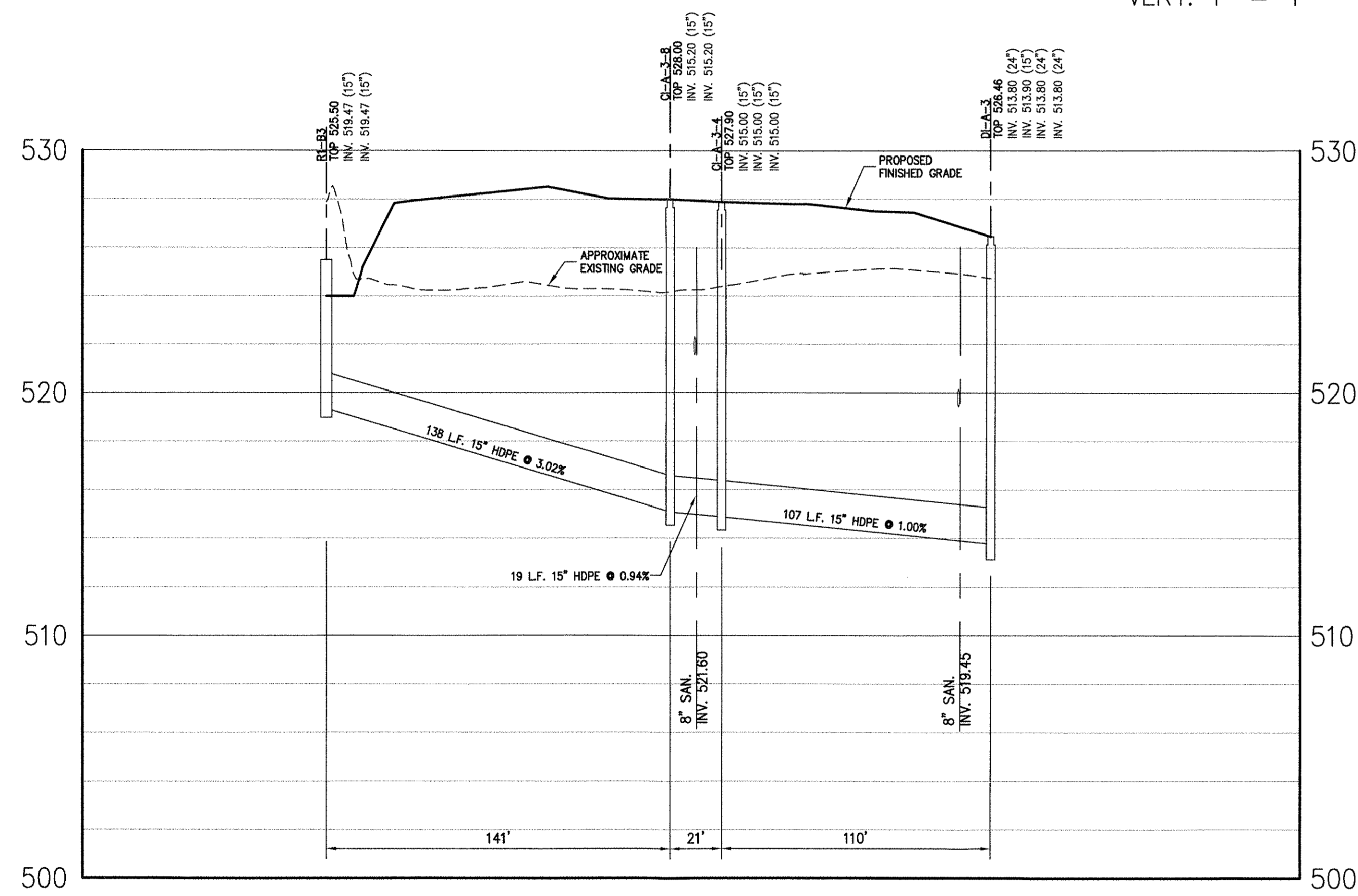
**SP-17**



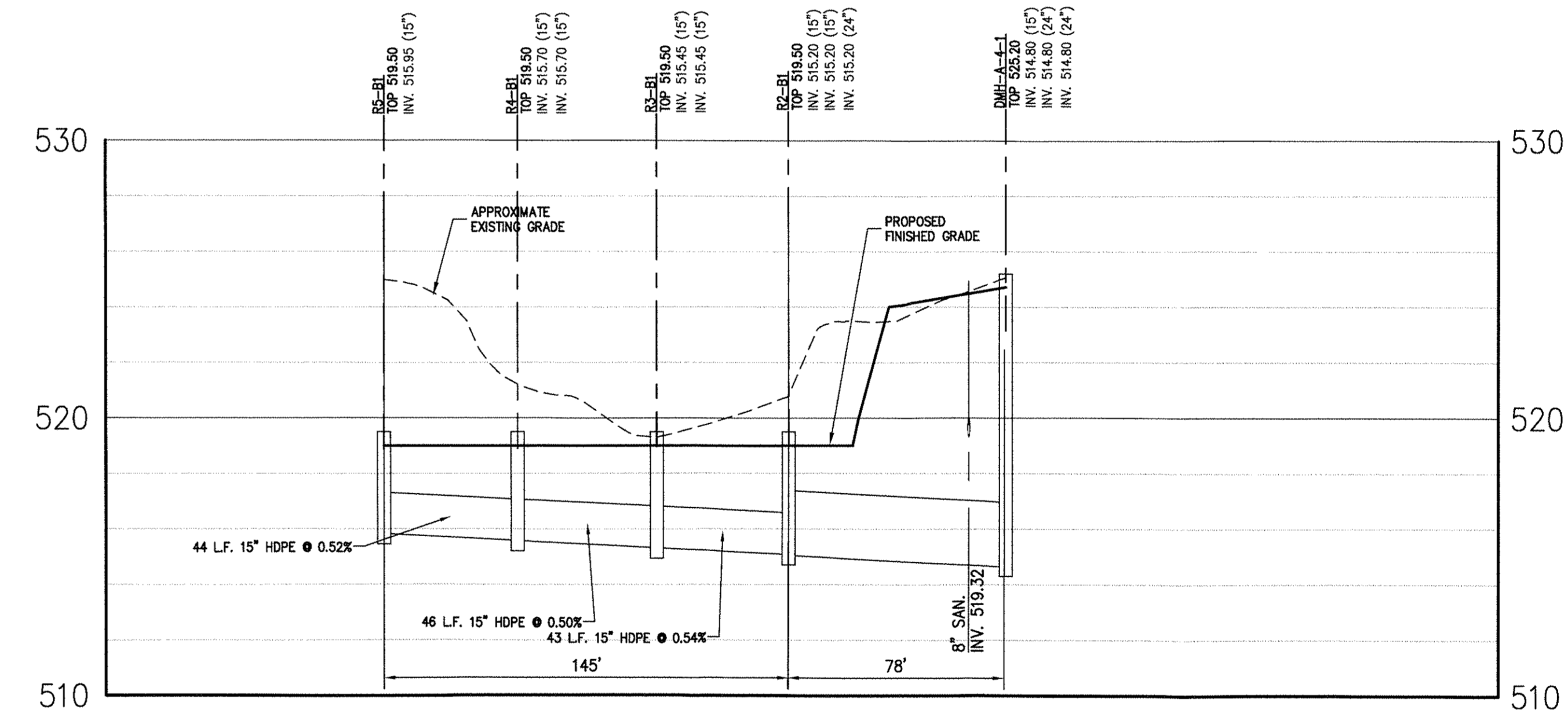
**CI-B-3 TO HW-A-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



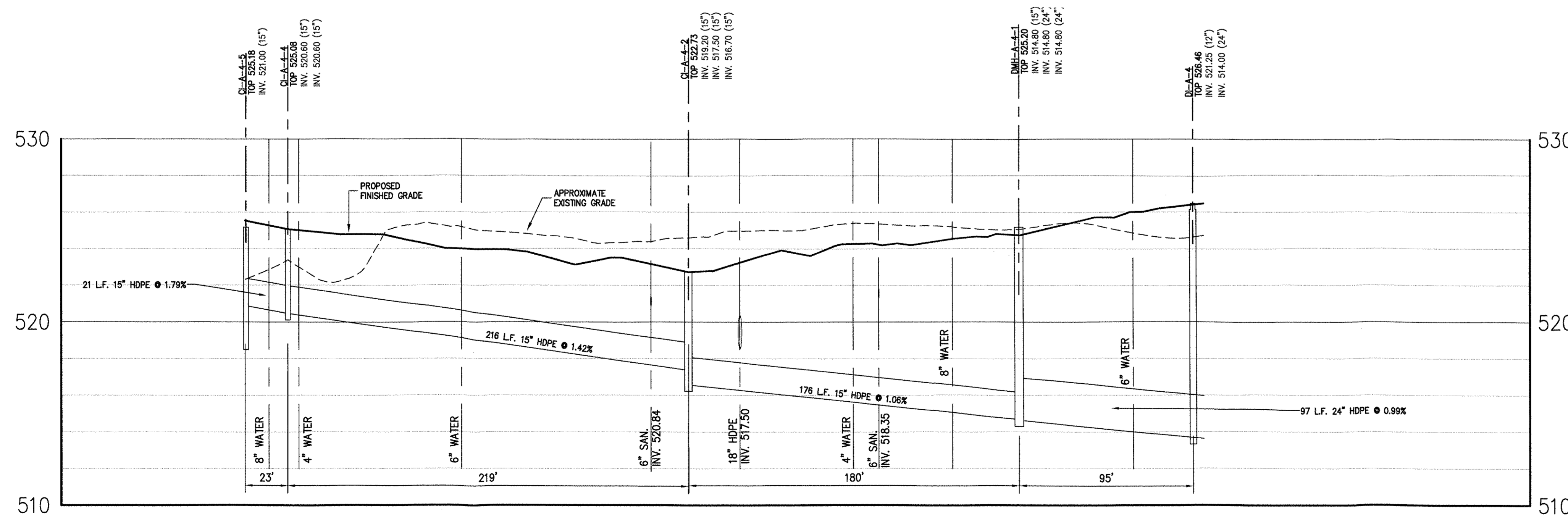
**R1-B2 TO CI-A-3-4**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**R1-B3 TO CI-A-3**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**R5-B1 TO CI-A-4-1**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**CI-A-4-5 TO CI-A-3**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

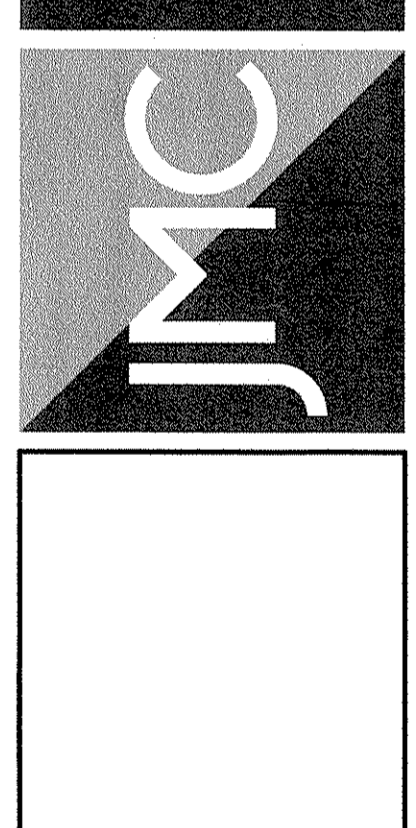
Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
Drawn By	SP-18		

No.	2	REVISION	DATE
1		REVISION FOR TOWN COMMENTS	05/27/2016
2		REVISION FOR TOWN COMMENTS	05/27/2016

PROJECT OWNER: **DRA MEADOW HILL, LLC**  
47 RIVER ROAD  
SUMMIT, NJ 07901

ARCHITECT: **MINNO & WASKO ARCHITECTS**  
1 RAYMOND PLAZA, W #210  
NEWARK, NJ 07102

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • HIRSHING, NY 10504  
PH: 914.272.5225 • FAX: 914.272.2102  
WWW.JMCPHILL.COM

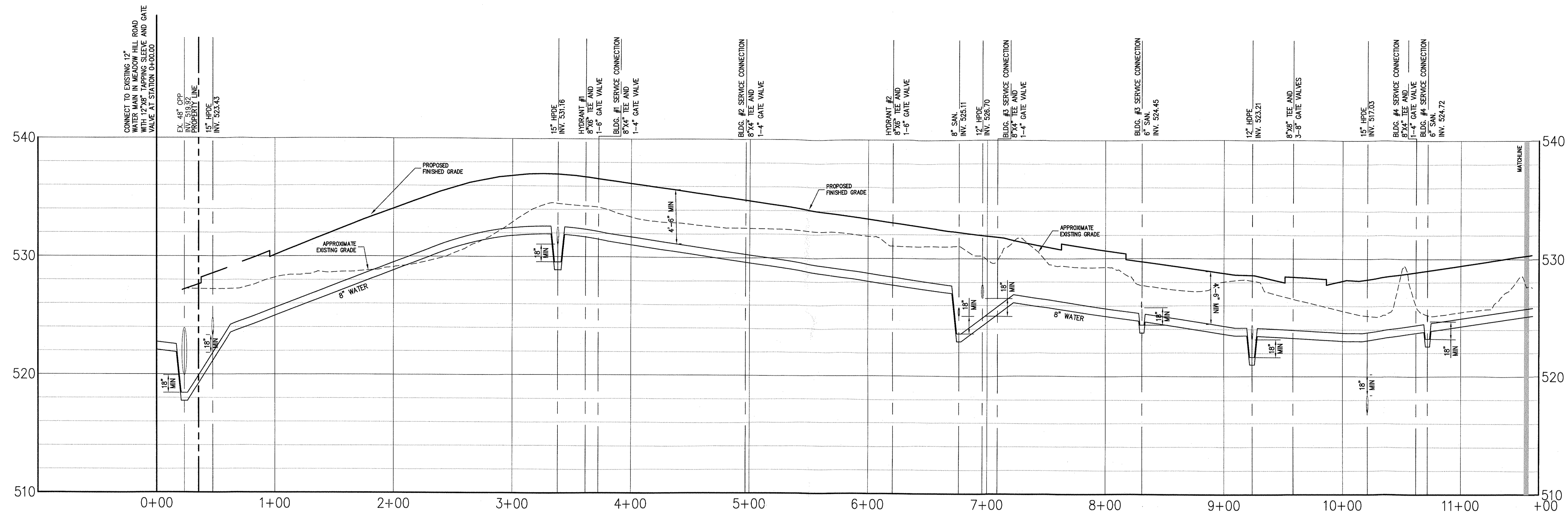


**STORM SEWER PROFILES**  
MEADOW HILL ROAD EXPANSION  
TOWN OF NEWBURGH, NY

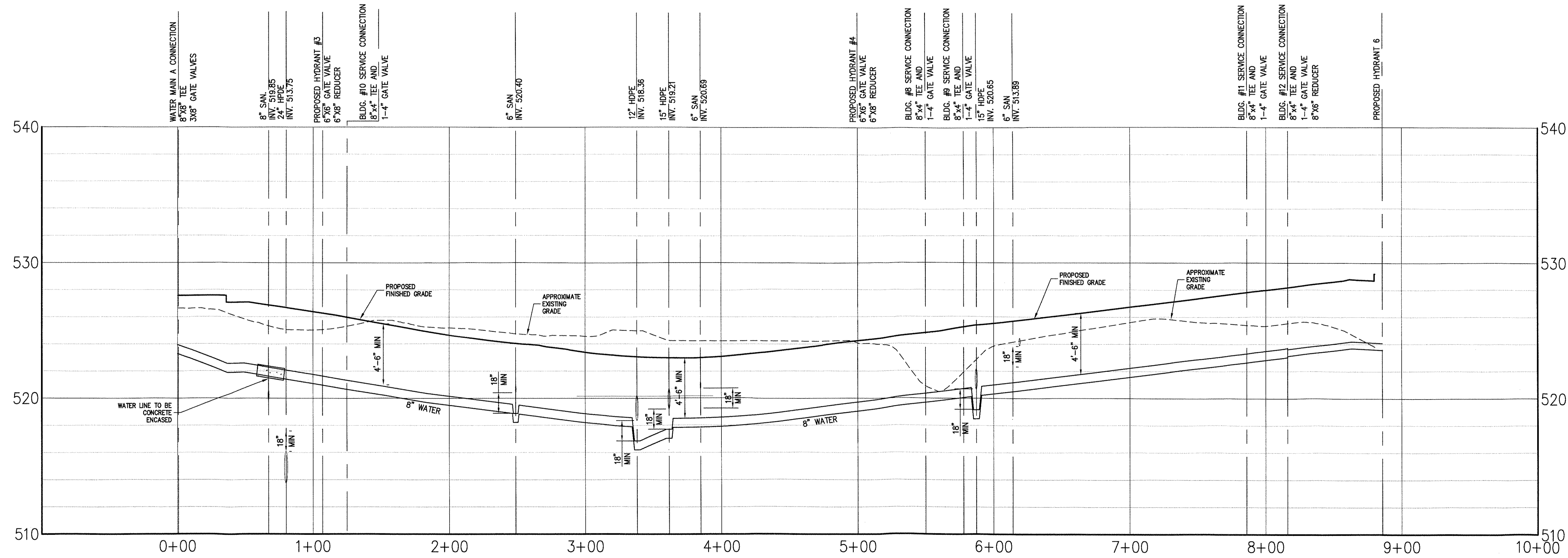
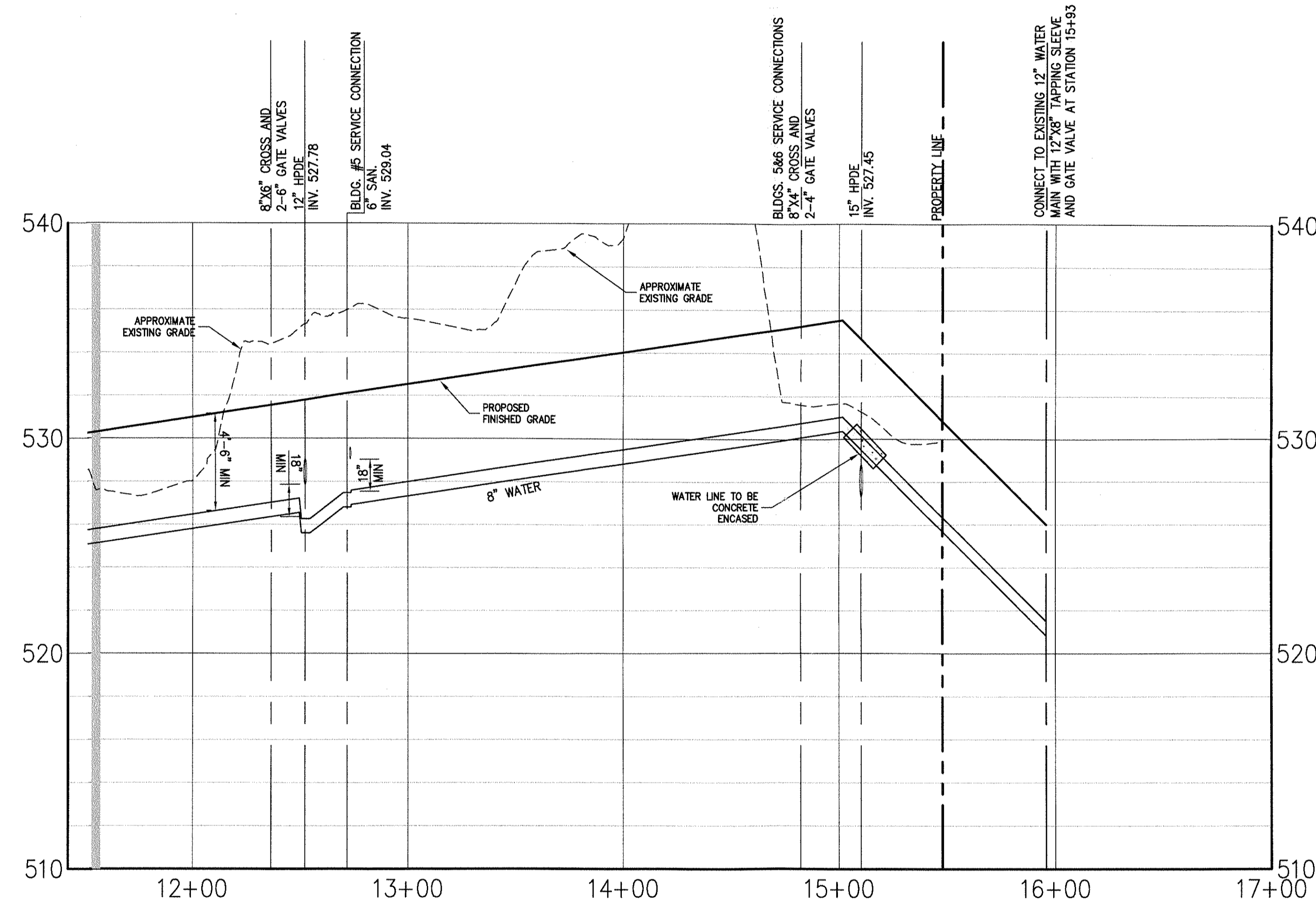
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Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
Drawn By	SP-18		

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**WATER MAIN A**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**WATER MAIN B**  
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

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No.	Revisions	Date
1	REVISED PER TOWN COMMENTS	05/05/2016
2	REVISED PER TOWN COMMENTS	08/10/2016

DR. MEADOW HILL, LLC 47 RIVER ROAD SUMMIT, NJ 07901
MINNO & WASKO ARCHITECTS 1100 PINE STREET, 4TH FLOOR NEWARK, NJ 07102

JMC Planning, Engineering, Landscape Architecture & Land Surveys, LLC  
 JMC Site Development Consultants, LLC  
 John Noyes Consulting, Inc.  
 129 BELLEVILLE ROAD - ARMONK, NY 10504  
 voice 914.747.9425 - fax 914.747.9102  
 www.jmcplc.com

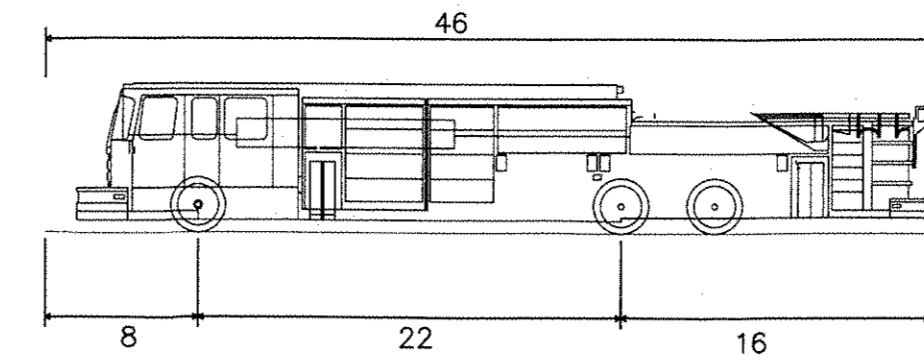


**WATER MAIN PROFILES**  
**MEADOW HILL ROAD EXPANSION**  
 TOWN OF NEWBURGH, NY

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Drawn: <b>MT</b>	Approved: <b>JS</b>
Scale: 1" = 40'	
Date: 05/06/2016	
Project No: 16015	
Discipline: <b>WTR</b>	UTL
Drawn by: <b>MT</b>	

**SP-19**



Newburgh Fire Truck  
 Overall Length 46.00ft  
 Overall Width 8.167ft  
 Overall Body Height 9.00ft  
 Min Body Ground Clearance 0.656ft  
 Track Width 8.167ft  
 Lock-to-lock time 5.00s  
 Max Wheel Angle 45.00°

**NOTES:**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASER CONSULTING P.A., DATED 09-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
- PROJECT MAILBOXES SHALL BE LOCATED IN THE CLUBHOUSE.

**LEGEND**

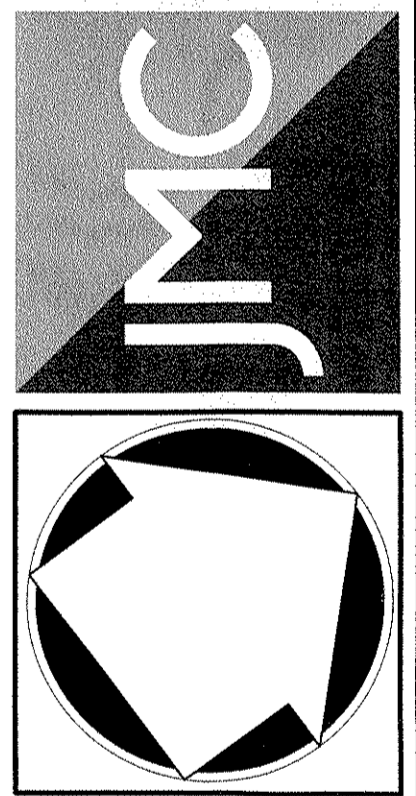
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MOUNTING CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GUIDE RAIL (DET 10)
	PROPOSED FENCE
	PROPOSED LIGHTING STANDARD
	PROPOSED 2-4" WIDE YELLOW LINES 8'ft/c
	PROPOSED 1-4" WIDE WHITE LINES 8'ft/c
	PROPOSED 12" WIDE WHITE STOP LINE
	PROPOSED 4" WIDE YELLOW HATCH LINES 18" x 48"
	PROPOSED ARROW MARKINGS ON PAVEMENT (DET 10)
	PROPOSED WORD MARKINGS ON PAVEMENT (DET 10)
	PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING
	PROPOSED TREE LINE
	EXISTING FEATURE TO BE REMOVED



By	DATE	REVISION
DR	05/06/2016	1
MT	09/07/2016	2

DR: DRAGAN  
 MT: MARIANA

DR: DRAGAN  
 MT: MARIANA



**FIRE TRUCK-TURNING PLAN**  
 MEADOW HILL ROAD EXPANSION  
 TOWN OF NEWBURGH, NY

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Scale:	1" = 40'
Date:	05/06/2016
Project No.:	16015
Sheet No.:	TRUCK
Sheet No.:	TRUCK