



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MEADOW HILL ROAD EXPANSION (GOLDEN VISTA)
PROJECT NO.: 2016-07
PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1 & 9.2
REVIEW DATE: 23 AUGUST 2016
MEETING DATE: 1 SEPTEMBER 2016
PROJECT REPRESENTATIVE: JCM ENGINEERING

1. Lot consolidation plan is required to be filed prior to signing of the plans.
2. Landscape and Stormwater security cost estimates have been received and are submitted to Town of Newburgh Town Board for increase.
3. City of Newburgh Flow Acceptance letter has been received for additional units.
4. Revised grading plan at rear emergency access is to be submitted.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw



CITY OF NEWBURGH

Office of the Engineer

83 Broadway, Newburgh, New York 12550

(845) 569-7447/Fax (845) 569-7349

www.cityofnewburgh-ny.gov

Jason C. Morris, P.E.
City Engineer
jmorris@cityofnewburgh-ny.gov

Chad M. Wade, R.L.A.
Assistant City Engineer
cwade@cityofnewburgh-ny.gov

August 19, 2016

James W. Osborne, PE
Town Engineer
Town of Newburgh
1496 Route 300
Newburgh, New York 12550

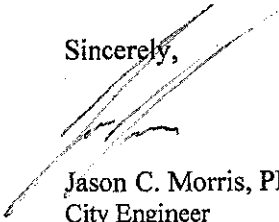
Re: Crossroads S.D. - City/Town of Newburgh Intermunicipal Agreement
Golden Vista/Meadow Hill Expansion
City of Newburgh Sewer Connection Approval (3,740 gpd)

Mr. Osborne,

Pursuant to the terms and conditions of the City-Town of Newburgh Intermunicipal Sewer Agreement dated May 6, 2004, permission is hereby granted for a new connection and increase in sewer flow to the Town of Newburgh's sewer main to serve the proposed expansion of the Golden Vista/Meadow Hill residential project by 24 additional units (14 one bedroom units & 10 two bedroom units) to be located along Meadow Hill Road. The anticipated sewer flow increase of 3,740 gpd from this expansion will be counted toward the 3.8 million gallons per day capacity allocated to the Town, as stated in the City-Town Sewer Agreement.

Please notify this office via email at least 48 hours prior to the commencement of the additional sewer flows from this proposed addition. If you have any questions regarding this approval, please contact this office at your convenience.

Sincerely,



Jason C. Morris, PE
City Engineer

cc: Michael Ciaravino, City Manager
Michelle Kelson, Corporation Counsel
George Garrison, DPW Superintendent
Michael Batz, PE, Severn Trent Services
Gil Piaquadio, Town Supervisor
John Platt, DPW Commissioner
Mark Taylor, Town Attorney
John Cappello, Jacobowitz & Gubits, LLP

clay



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

August 17, 2016

Mr. Jason Morris
City of Newburgh Engineer
83 Broadway
Newburgh, NY 12550

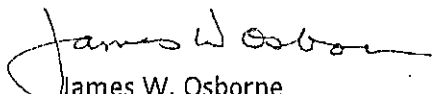
RE: S \ CROSSROADS S.D. – CITY OF NEWBURGH INTERMUNICIPAL
SEWER AGREEMENT (GOLDEN VISTA / MEADOW HILL EXPANSION)

Dear Mr. Morris:

Per the requirements of the above referenced agreement, I am writing to request approval for a new or revised connection to the Town's sanitary sewer system. The request is for the construction of 24 additional units to the approved 161 units on Meadow Hill Road. The projected sewage flow is 3,740 gpd as shown on the attached letter from JMC dated 1 August 2016.

If you have any questions, or require additional information, please feel free to contact me. I look forward to your reply.

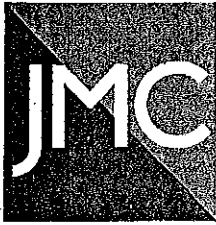
Respectfully,


James W. Osborne
Town Engineer

JWO/id

Attached

cc: G. Piaquadio, Supervisor
M. Taylor, Attorney
J. Platt, DPW Comm.
J. Ewasutyn, P.B. Chairman
P. Hines, MH&E
J. Sarchino, RLA, JMC Eng.



2'16

Site Planning
 Civil Engineering
 Landscape Architecture
 Land Surveying
 Transportation Engineering

Environmental Studies
 Entitlements
 Construction Services
 3D Visualization
 Laser Scanning

August 1, 2016

Mr. James Osborne, PE
 Town Engineer
 Town of Newburgh
 1496 Route 300
 Newburgh, NY 12550

RE: JMC Project 16015
 Meadow Hill Expansion
 Meadow Hill Road
 Town of Newburgh, NY

Dear Mr. Osborne

The Golden Vista/Meadow Hill owners have recently purchased the adjacent Pirger property. We are before the Planning Board now to process The Meadow Hill Expansion project, which will include 24 additional units to the approved 161 units. Based on the proposed 24 apartments, we completed the following sanitary sewer flow analysis:

Unit Type	Number of Units	Flow Rate Per Unit (gal/day)*	Flow (gpd)
One Bedrooms	14	110	1,540 gpd
Two Bedrooms	10	220	2,220 gpd
			Total 3,740 gpd

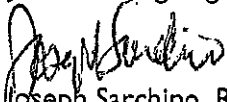
*(2 bedroom unit = 220 gpd, 1 bedroom unit = 110 gpd, based on NYS Design Standards for Intermediate Sized Wastewater Treatment Systems, March 5, 2014).

Accordingly, the proposed 24 apartments will generate 3,740 gpd.

We trust the above information is adequate for your use in preparing the flow request from the City of Newburgh. Should you have any question or require any additional information, please do not hesitate to contact me at (914) 273-5225.

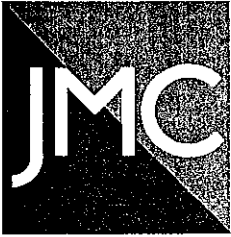
Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying PLLC


 Joseph Sarchino, RLA
 Principal

cc: Town of Newburgh Planning Board, (via email)
 Mr. Patrick Hines, (via email)
 Mr. Nicholas Minoia, (via email)
 Mr. George Carfagno, (via email)
 Mr. Michael Blum, (via email)
 John Cappello, Esq., (via email)

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2/16

Site Planning
Civil Engineering
Landscape Architecture
Land Surveying
Transportation Engineering

Environmental Studies
Entitlements
Construction Services
3D Visualization
Laser Scanning

August 1, 2016

Mr. James Osborne, PE
Town Engineer
Town of Newburgh
1496 Route 300
Newburgh, NY 12550

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Meadow Hill Expansion
Meadow Hill Road
Town of Newburgh, NY

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Joseph Sarchino, RLA
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Mr. George Carfagno, (via email)
Mr. Michael Blum, (via email)
John Cappello, Esq., (via email)

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TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

August 17, 2016

Mr. Jason Morris
City of Newburgh Engineer
83 Broadway
Newburgh, NY 12550

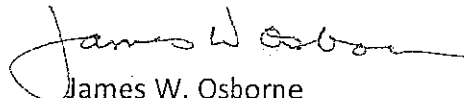
RE: S \ CROSSROADS S.D. – CITY OF NEWBURGH INTERMUNICIPAL
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Respectfully,


James W. Osborne
Town Engineer

JWO/id

Attached

cc: G. Piaquadio, Supervisor
M. Taylor, Attorney
J. Platt, DPW Comm.
J. Ewasutyn, P.B. Chairman
P. Hines, MH&E
J. Sarchino, RLA, JMC Eng.

Draft: Thursday, August 18, 2016 — 11:34 AM

RESOLUTION OF APPROVAL

SITE PLAN

ARB

AMENDED

FOR

DRA MEADOW HILL, LLC

PROJECT # 2016-07

Nature of Application

DRA Meadow Hill, LLC has applied for approval of a Site Plan permitting the use of the property identified herein for construction of an additional 24 rental units with accessory maintenance and storage buildings and for approval of architectural renderings by the Planning Board sitting as the Architectural Review Board.

Property Involved

The property affected by this resolution is shown on the Tax Maps of the Town of Newburgh as parcel(s) 60-1-9.1 and 60-1-9.2.

Zoning District

The property affected by this resolution is located in the R-3 zoning district of the Town of Newburgh.

Plans

The Site Plan materials considered consist of the following:

1. Completed application form and Environmental Assessment Form.
2. Plans prepared for DRA Meadow Hill, LLC as follows:

<i>Author</i>	<i>Title</i>	<i>Last Revision Date</i>
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Cover Sheet	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Existing Conditions Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Lot Consolidation Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Layout Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Grading Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Utilities Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Erosion & Sediment Control Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Landscaping Plan	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Lighting Plan	May 6, 2016
JMC Planning, Engineering, Land-	Road Profile	May 6, 2016

scape, Architecture & Land Surveying, PLLC		
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Construction Details	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Construction Details	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Construction Details	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Construction Details	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Construction Details	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Sanitary Sewer Profiles	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Storm Sewer Profiles	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Storm Sewer Profiles	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Water Main Profile	May 6, 2016
JMC Planning, Engineering, Landscape, Architecture & Land Surveying, PLLC	Fire Truck Turning Plan	May 6, 2016

History

DATE OF APPLICATION

The application was filed with the Planning Board on May 6, 2016.

PUBLIC HEARING

A public hearing on this application was convened on July 7, 2016 and closed on the same date.

SEQRA

Type of Action:

This matter constitutes an unlisted action under the State Environmental Quality Review Act.

Lead Agency:

The Town of Newburgh Planning Board is the lead agency in regard to this action. The Planning Board's status as lead agency was established on March 16, 2000.

Declaration of Significance:

A negative declaration was first issued on March 16, 2001. That negative declaration was reaffirmed on February 3, 2011, February 19, 2015. And on June 2, 2016 in regard to the currently proposed amendments.

GML 239 Referral

This application was referred to the Orange County Planning Department for review and report at earlier stages of the proceedings. The Planning Department reported that this matter is one for local determination, there being no significant inter-municipal or countywide considerations found to exist.

Findings

The Planning Board has determined that approval of the Site Plan will substantially serve the public convenience, safety and welfare; and will not otherwise be unduly detrimental to the public health, safety, comfort convenience or welfare, subject to compliance in full with conditions hereinafter imposed pursuant to Section 185-57 (H).

The Planning Board has further determined, in its capacity as Architectural Review Board, that the renderings submitted and approved on _____ are architecturally appropriate and blend into the existing character of the neighborhood. Said renderings are hereby approved. A copy of said renderings, signed by the Chair simultaneously with this resolution are on file in the Building Inspector's office. No building permit nor certificate of occupancy shall be issued except for structures consistent with these renderings.

Resolution of Approval

NOW, THEREFORE, THE PLANNING BOARD RESOLVES to approve this Amended Site Plan as said proposal is depicted on the plans identified above and to grant Amended ARB approval, all upon the conditions outlined below, and the Chairperson (or his designee) is authorized to sign the plans upon satisfaction of those conditions below noted to be conditions precedent to such signing.

Specific Conditions

1. The plans shall not be signed until receipt of a letter from the Planning Board Engineer certifying that the plans have been modified in accordance with his memo of August 16, 2016.
2. Except as hereby modified, all conditions attached to the original grant of site plan and ARB approval are to remain in effect and this approval is subject to, and conditioned upon satisfaction of same as if those conditions were set forth herein at length.
3. The applicant shall deliver to the Attorney a copy of a proposed amended "Declaration of Restriction" carrying forth the restrictions of Section 185-48, *et seq.* of the Town of Newburgh Code and consistent with the conditions of the resolution of the Town Board granting "Senior Citizen Residential Status" to this

project. Such documents shall be satisfactory to the Attorney as to form and content. The plans shall not be signed until such documents are submitted and approved.

4. This approval is conditioned upon the applicant merging the lots as shown on the plans. Before releasing a signed copy of this resolution, the applicant shall deliver appropriate proposed documentation, in form suitable for recording, demonstrating the intent to accomplish this merger. Said documents shall be satisfactory to the Planning Board Attorney. Proof of recording of said documents shall remain a condition of this approval after release of the signed copy of this resolution.
5. This approval is subject to issuance of demolition permits by the Town of Newburgh Code Compliance Department for the buildings shown on the plans as to be removed.
6. The applicant has obtained revised approval from the City of Newburgh to accept the increased sewer flows from the project at its plant. This approval is hereby subject to full compliance with the conditions of that approval as if those conditions were set forth herein at length.

7. _____

Architectural Review Board Approval

8. No building permit shall be issued authorizing construction of structures inconsistent with the architectural renderings submitted to, and approved by, the Architectural Review Board as part of this approval, nor shall any certificate of occupancy be issued for any structures constructed except in conformance with such renderings. Karen Arent, the Town's Landscape Architect, shall review the building plans when submitted to the

Building Department in order to insure compliance with the approved architectural renderings. Karen Arent, the Town's Landscape Architect, shall also inspect the work before a certificate of occupancy is issued to insure compliance with the approved architectural renderings.

Landscape Security & Inspection Fee

9. Pursuant to 185-57 (L), together with 163-9 (B) [incorporated therein by reference], as well as 185-50 (D), this approval shall be subject to the applicant posting, with the Town Clerk, a performance security, in an amount to be fixed by the town board upon recommendation of the town's landscape consultant in order to secure timely completion and appropriate maintenance of the landscaping improvements depicted on the plans, satisfactory to the Town Board, Town Engineer and Town Attorney as to form, sufficiency, manner of execution and surety. The performance security shall recite that all improvements secured thereby shall be completed within three year(s) of this approval and maintained for a period of two years thereafter. The Town's Landscape Architect, is hereby authorized to periodically inspect the site in order to insure compliance with this condition. A separate inspection fee in an amount in accordance with Section 104-2 (G)(6) shall be submitted and deposited in an escrow account to cover the cost of the Town's Landscape Architect services. The applicant shall be required to pay the required landscaping security to the town before the plans are signed. The amount of the landscape security may be adjusted (upon recommendation of the Town's landscape consultant) if warranted due to changes in the market pricing of the required landscape materials. The applicant shall be required to pay the required landscaping inspection fee in the amount of

\$ _____ to the town before the plans are signed.

Stormwater Improvement Security & Inspection Fee

10. Prior to the signing of plans or issuance of a building permit, the applicant shall deliver a performance security to the Town Clerk, pursuant to Section 157-10 (B) of the Code of Ordinances of the Town of Newburgh, in order to guarantee to the town that the applicant will faithfully cause to be constructed and completed the required public stormwater improvements shown on the plans. The performance security shall be in an amount set by the Town Board and shall be satisfactory to the Town Board and Town Attorney as to form, sufficiency, manner of execution and surety. A period of three (3) years shall be set forth in the document of surety within which required improvements must be completed. An inspection fee in an amount in accordance with Section 104-2 (A)(8) shall also be paid to the Town prior to signing of the plans. A separate inspection fee in an amount in accordance with Section 104-2 (A)(8) shall also be submitted and deposited in an escrow account to cover the cost of the Town's periodic inspection of the erosion control measures to be implemented by the applicant.

11. ?? This approval is conditioned upon the applicant executing a stormwater control facility maintenance agreement as required by Section 157-11(K) of the Code of the Town of Newburgh in order to ensure the long term maintenance and proper operation of the stormwater facilities shown on the plans. The plans shall not be signed until that agreement has been executed and the required inspection fee paid.

Outdoor Fixtures & Amenities

12. This site plan approval allows construction of only that which is

shown on the plans identified above. No outdoor amenities or accessory structures or outdoor fixtures—including but not limited to exterior walls, mechanical units, dumpsters, etc.—may be constructed, placed or erected except as shown on the approved site plan. Architectural drawings shall carry a certification that what is shown thereon is fully consistent with the approved site plan.

Parapet Wall

13. The plans shall be modified to either raise the roof parapet wall so as to screen the roof compressor from view, or to provide screening of all roof mechanical units by means of screening to satisfaction of Karen Arent.

Multifamily Fees

14. The Planning Board has determined, based upon the present and anticipated future need for park and recreational facilities in the Town [as calculated from projected population growth to which this subdivision will contribute], that parklands should be created as a condition of approval of this subdivision. However, because parks of size adequate to meet the Town's requirements cannot be properly located on the subdivision plat, the Planning Board, pursuant to Section 163-20 (F) of the Subdivision Regulations of the Town of Newburgh, and Section 277 (4) of the Town Law of the State of New York, requires that the applicant deliver payment, by cashier's check or certified check drawn to the order of the Town of Newburgh, a fee of \$2,000 for each additional dwelling unit in this multifamily dwelling project, bringing the total due to \$ _____ (see Chapter 104, Fees [§104-2 (A)(9)]). Said sum shall be paid to the Town in full before the plans are signed.

General Conditions

This approval is conditioned upon the applicant submitting all necessary copies of the plans to be signed, including mylars when required, to the Town of Newburgh Building Department. A full set of the plans to be signed shall simultaneously be submitted to the Planning Board Engineer. The plans shall not be signed until the Planning Board Engineer has reported to the Chair that all conditions of this resolution required to be satisfied before the plans can be signed have, in fact, been satisfied.

This approval is further conditioned upon the applicant delivering (prior to signing of the plans) proof, in writing, that all fees—engineering, planning, legal and otherwise—in regard to this project have been fully paid. The applicant shall also be required to deliver proof that all required Public Improvement, Erosion Control and Landscaping inspection fees and escrow have been deposited with the Town. The plans shall not be signed until proof, satisfactory to the Chair, has been presented showing that all fees have been paid and escrow deposits made.

Approval of the final site plan shall, pursuant to Section 185-58 (E) of the Zoning Ordinance, be valid for two years from the date this resolution is filed in the office of the Town Clerk, after which time this approval shall be null and void unless a building permit has been issued. If no building permit has been issued within that time, the plan must be resubmitted to the Planning Board for approval.

A FAILURE to comply with the general condition immediately above in a timely manner shall result, without further action, in a lapsing of this approval.

In Favor _____ Against _____ Abstain _____ Absent _____

Dated: _____

JOHN P. EWASUTYN, CHAIRPERSON
TOWN OF NEWBURGH PLANNING BOARD

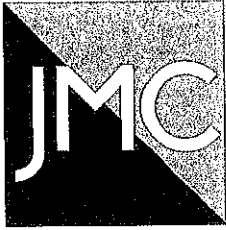
STATE OF NEW YORK)
)ss:
COUNTY OF ORANGE)

I, JOHN P. EWASUTYN, Chairman of the Planning Board of the Town of Newburgh, do hereby certify that the foregoing is a true and exact copy of a Resolution maintained in the office of the Town of Newburgh Planning Board, said resulting from a vote having been taken by the Planning Board at a meeting of said Board held on _____.

JOHN P. EWASUTYN, CHAIRPERSON
TOWN OF NEWBURGH PLANNING BOARD

I, ANDREW J. ZARUTSKIE, Clerk of the Town of Newburgh, do hereby certify that the foregoing Resolution was filed in the Office of the Town Clerk on _____.

ANDREW J. ZARUTSKIE, CLERK
TOWN OF NEWBURGH



- Site Planning
- Civil Engineering
- Landscape Architecture
- Land Surveying
- Transportation Engineering
- Environmental Studies
- Entitlements
- Construction Services
- 3D Visualization
- Laser Scanning

August 1, 2016

Mr. James Osborne, PE
 Town Engineer
 Town of Newburgh
 1496 Route 300
 Newburgh, NY 12550

RE: JMC Project 16015
 Meadow Hill Expansion
 Meadow Hill Road
 Town of Newburgh, NY

Dear Mr. Osborne

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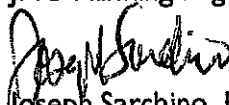
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 Joseph Sarchino, RLA
 Principal

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PROJECT NO.: 2016-07
PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1 & 9.2
REVIEW DATE: 16 AUGUST 2016
MEETING DATE: 18 AUGUST 2016
PROJECT REPRESENTATIVE: JCM ENGINEERING

1. City of Newburgh Flow Acceptance letter must be received prior to the Planning Board taking action on the project.
2. Orange County Health Department approval for the expansion of the potable water system with hydrants is required.
3. The Town Board has amended the approval to allow 21 of the units to be Senior Housing.
4. Revised landscaping and stormwater costs estimates should be submitted, such that they can be reviewed in a timely manner upon receipt of conditional final approval.
5. Lot consolidation must occur prior to filing of the maps.
6. The Applicants representative are requested to review the grading of the emergency access road to Maggie Road. Topography underlying the existing roadway does not reflect the proposed grading. Topography at the existing roadway is approximately 530 while a 524 grade line is depicted. Coordination of this proposed and existing topography should be performed to assure emergency vehicles can access the roadway.
7. The Planning Boards attention is called to the fact that the revised plans call for a modification raising the finished floor elevations on the site approximately 2.5 feet +/- to account for grade changes which will eliminate the need to transport excess material from the site.

8. The Planning Board should evaluate the grading along the property frontage versus the proposed landscaping. The change in grade may impact the amount of landscaping the Planning Board wished to see at the site.
9. During the Public Hearing a neighbor across from the site access road discussed lighting impacts from cars exiting the driveway on those residential parcels. It was discussed with the Applicant and their representatives that landscaping would be provided along Meadow Hill Road in that vicinity. This does not appear to be addressed in the landscaping plan and should be discussed by the Applicant.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw



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New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MEADOW HILL ROAD EXPANSION (GOLDEN VISTA)
PROJECT NO.: 2016-07
PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1 & 9.2
REVIEW DATE: 29 JULY 2016
MEETING DATE: 18 AUGUST 2016 (WORK SESSION)
PROJECT REPRESENTATIVE: JCM ENGINEERING

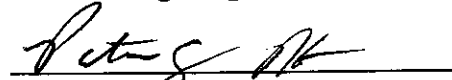
1. This office has received revised site grading plans to address a construction related issue regarding topography on the Meadow Hill Expansion portion of the project. The Applicant's representative have identified a 40,000cy delta in material on the site. Current grading plans for the project would require the export of 40,000cy of material from the project site. The project sponsors have requested their Engineers evaluate revised grading plans in order to eliminate the need to export that material. The revised grading plan generally raises finished floor elevations on the site approximately 2.5 feet
2. Stormwater management facilities similarly are raised 2.5 feet ±. All work is within existing limits of disturbance.
3. A small portion of grading has been revised on the recently submitted plans at the emergency access drive to Maggie Road on the adjoining property. The Applicant's representatives are requested to evaluate whether this grading is permitted to be undertaken as it is outside the existing water and emergency access easements.
4. All drainage discharge points will remain in the location of the original approved discharges. All regrading and changes in elevation occur within the upper portions of the site.
5. The proposed regrading of the property will eliminate the need for substantial export of material from the project site. The export of material would result in increased construction traffic along the Meadow Hill Road corridor and the need to provide stock piles/storage areas on the site while the material is staged for removal.

6. The Applicant has requested that they be permitted to proceed with the raising of the elevation of the structures under construction acknowledging that they will be proceeding at their own risk without Planning Board approval of the proposed modification. This office's review of the revised grading plan does not raise any significant "red flags". We will continue to review the project with regard to impacts associated with the revised grading.

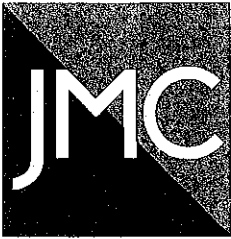
This office takes no exception to work in progress continuing based on the revised building finished floor elevations while the project is under review for both the expansion and the revised grading plan for the original approved site.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.



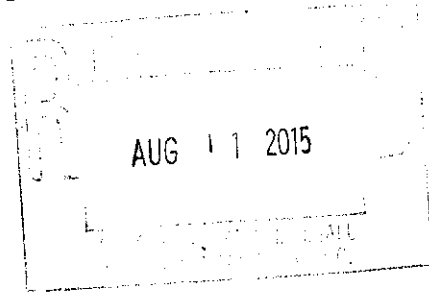
Patrick J. Hines
Principal



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

August 9, 2016

Chairman Ewasutyn and Members of the Planning Board
 Town of Newburgh
 308 Gardnertown Road
 Newburgh, NY 12550



RE: JMC Project 16015
 Meadow Hill Expansion
 Meadow Hill Road
 Town of Newburgh, NY

Dear Chairman Ewasutyn and Members of the Planning Board:

We are pleased to submit 10 copies (10) of the following documents to address comments for the Meadow Hill Expansion project:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
SP-1	"Cover Sheet"	2. 08/10/2016
SP-2	"Existing Conditions Plan"	2. 08/10/2016
SP-3	"Lot Consolidation Plan"	2. 08/10/2016
SP-4	"Layout Plan"	2. 08/10/2016
SP-5	"Grading Plan"	2. 08/10/2016
SP-6	"Utilities Plan"	2. 08/10/2016
SP-7	"Erosion & Sediment Control Plan"	2. 08/10/2016
SP-8	"Landscaping Plan"	2. 08/10/2016
SP-9	"Lighting Plan"	2. 08/10/2016
SP-10	"Road Profile"	2. 08/10/2016
SP-11	"Construction Details"	2. 08/10/2016
SP-12	"Construction Details"	2. 08/10/2016
SP-13	"Construction Details"	2. 08/10/2016
SP-14	"Construction Details"	2. 08/10/2016
SP-15	"Construction Details"	2. 08/10/2016
SP-16	"Sanitary Sewer Profiles"	2. 08/10/2016
SP-17	"Storm Sewer Profiles"	2. 08/10/2016
SP-18	"Storm Sewer Profiles"	2. 08/10/2016
SP-19	"Water Main Profile"	2. 08/10/2016
SP-20	"Fire Truck Turning Plan"	2. 08/10/2016

2. Minno & Wasko Architects and Planners Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
1	"Senior Living Building Elevation"	08/05/2016
2	"Senior Living Building Plans"	08/05/2016
3	"Senior Living Building Unit Plans"	08/05/2016
4	"10 Unit Building Elevations"	08/05/2016
5	"10 Unit Building Plans"	08/05/2016
6	"10 Unit Building Unit Plans"	08/05/2016

We are in receipt of McGoey, Hauser & Edsall Consulting Engineers, PC (MHEC) comments, dated 05/27/2016. For ease of your review, we have repeated the enumerated comments in italic followed by our response:

Comment No. 1

City of Newburgh flow acceptance letter addressing increased flows should be received.

Response No. 1

See attached letter to Mr. James Osborne, PE, dated August 1, 2016 requesting a revised sanitary sewer acceptance letter from the City of Newburgh.

Comment No. 2

Additional parking areas have been added to the plans. 18 excess parking spots have been added to the plans. A note requiring the garage spaces be kept clear of stored materials and utilized for parking has been added to the plans.

Response No. 2

This note has been added to JMC Drawing SP-04 "Layout Plan" as Note number 5.

Comment No. 3

Grading has been moved from the southeasterly portion of the site towards the proposed structures to reduce the limits of clearing.

Response No. 3

So noted.

Comment No. 4

Orange County Health Department approval for the water system modifications are required.

Response No. 4

A submission to the Health Department will be made, which will provide water system flow and pressure calculations. The Town consulting engineer and Water Department will be copied on the submission to the Health Department under a separate cover.

Comment No. 5

The Town Board must modify its approval for the number of Senior Units permitted on the site.

Response No. 5

The Town Board has modified its approval for the current proposed number of Senior Units permitted to 21.

Comment No. 6

Plans have been modified to remove the recreational fees deferment note.

Response No. 6

This note has been removed.

Comment No. 7

Stormwater Pollution Prevention Plan has been modified to address the plan changes and is acceptable to this office. Modified Stormwater Pollution Plan will become the plan for the site upon approval. No additional approvals required.

Response No. 7

So noted.

Comment No. 8

The applicant representative should address the increase in Stormwater and Landscape bonding costs for the amended site plan.

Response No. 8

JMC will prepare cost estimates for the net increase in Stormwater and Landscaping for the Town to review and approve. These bonds will be in place as an approval condition and prior to signature of the plans by the Planning Board Chairman.

Comment No. 9

A lot consolidation plan must be filed. Applicants are requested to address timing for the lot consolidation plan.

Response No. 9

The Lot Consolidation deed has been prepared and the plan will be filed with the Orange County Clerk's office and filed as a condition to the Planning Board Chairman signing the plans.

Comment No. 10

Existing structures to be removed should be identified on the plan sheets and a note stating that permits for demolition must be obtained prior to removing structures from the site.

Response No. 10

These notes have been added to applicable building structures on JMC Drawing SP-03 "Lot Consolidation Plan"

Comment No. 11

The applicant's representative is requested to confirm that the new structures will match architectural approvals previously issued for this project.

Response No. 11

As depicted on the enclosed renderings prepared by Minnow & Wasko Architects, the proposed architecture will match previous approvals.

Comment No. 12

The Planning Board should discuss SEQRA consistency determination.

Response No. 12

So noted.

Comment No. 13

The Planning Board Should discuss scheduling a Public Hearing.

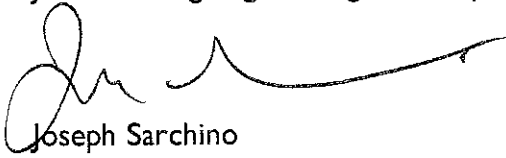
Response No. 13

The Public Hearing was held on July 7TH, 2016 and subsequently closed that evening.

We are looking forward to reviewing the plans with the Planning Board at your next meeting on August 18, 2016. In the interim, should you have any questions regarding the application please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC



Joseph Sarchino
Principal

cc: Mr. Patrick J. Hines, w/enc. (1 copy via overnight mail from JMC)
Mr. Ken Wersted, PE, w/enc. (1 copy via overnight mail from JMC)
Michael H. Donnelly, Esq., w/enc. (1 copy via overnight mail from JMC)
John C. Cappello, Esq., w/enc.
Mr. Nicholas W. Minoia
Mr. George J. Carfagno, w/enc.
Mr. Michael Blum, w/enc.



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

August 1, 2016

Mr. James Osborne, PE
 Town Engineer
 Town of Newburgh
 1496 Route 300
 Newburgh, NY 12550

RE: JMC Project 16015
 Meadow Hill Expansion
 Meadow Hill Road
 Town of Newburgh, NY

Dear Mr. Osborne

The Golden Vista/Meadow Hill owners have recently purchased the adjacent Pinger property. We are before the Planning Board now to process The Meadow Hill Expansion project, which will include 24 additional units to the approved 161 units. Based on the proposed 24 apartments, we completed the following sanitary sewer flow analysis:

Unit Type	Number of Units	Flow Rate Per Unit (gal/day)*	Flow (gpd)
One Bedrooms	14	110	1,540 gpd
Two Bedrooms	10	220	2,220 gpd
			Total 3,740 gpd

*(2 bedroom unit = 220 gpd, 1 bedroom unit = 110 gpd, based on NYS Design Standards for Intermediate Sized Wastewater Treatment Systems, March 5, 2014).

Accordingly, the proposed 24 apartments will generate 3,740 gpd.

We trust the above information is adequate for your use in preparing the flow request from the City of Newburgh. Should you have any question or require any additional information, please do not hesitate to contact me at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying PLLC


 Joseph Sarchino, RLA
 Principal

cc: Town of Newburgh Planning Board, (via email)
 Mr. Patrick Hines, (via email)
 Mr. Nicholas Minoia, (via email)
 Mr. George Carfagno, (via email)
 Mr. Michael Blum, (via email)
 John Cappello, Esq., (via email)

F:\2016\16015\Osborne 08-01-2016.docx



REAR ELEVATION
Scale: 1/8" = 1'-0"



LEFT ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



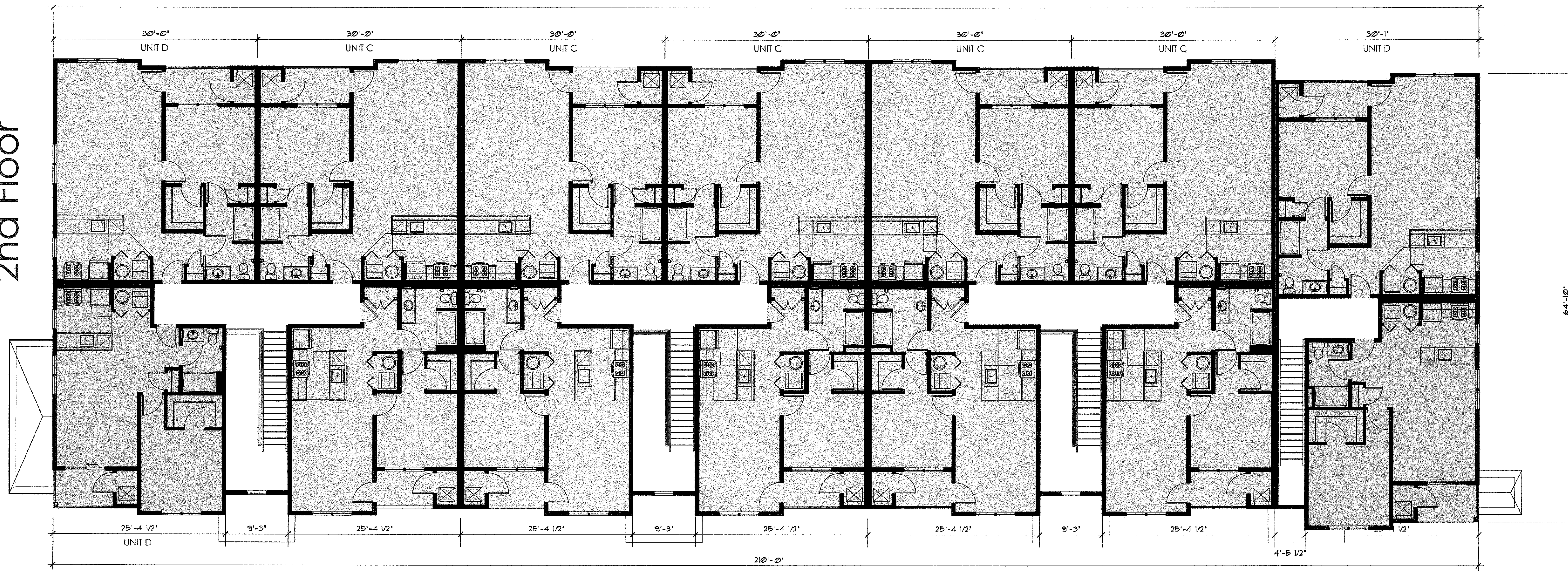
FRONT ELEVATION
Scale: 1/8" = 1'-0"

1 of 6

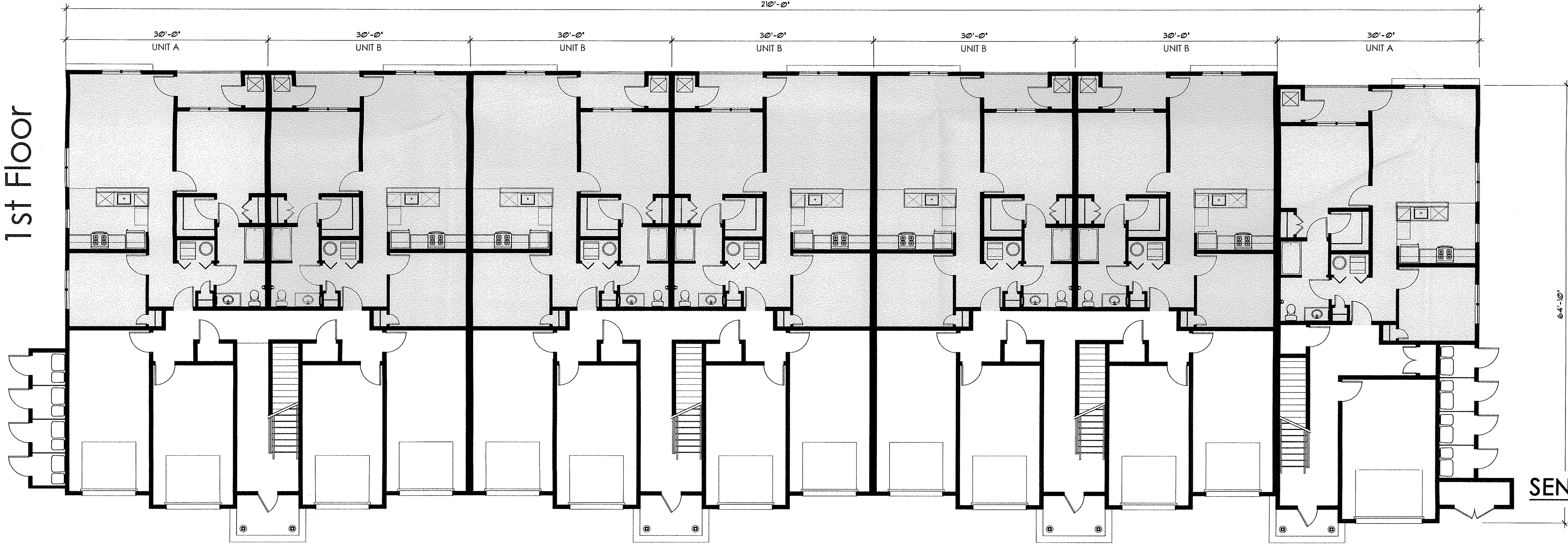
SENIOR LIVING BUILDING
• ELEVATIONS

DATE: 08/05/2016

2nd Floor



1st Floor



2 of 6

SENIOR LIVING BUILDING
• BUILDING PLANS

DATE: 08/05/2016

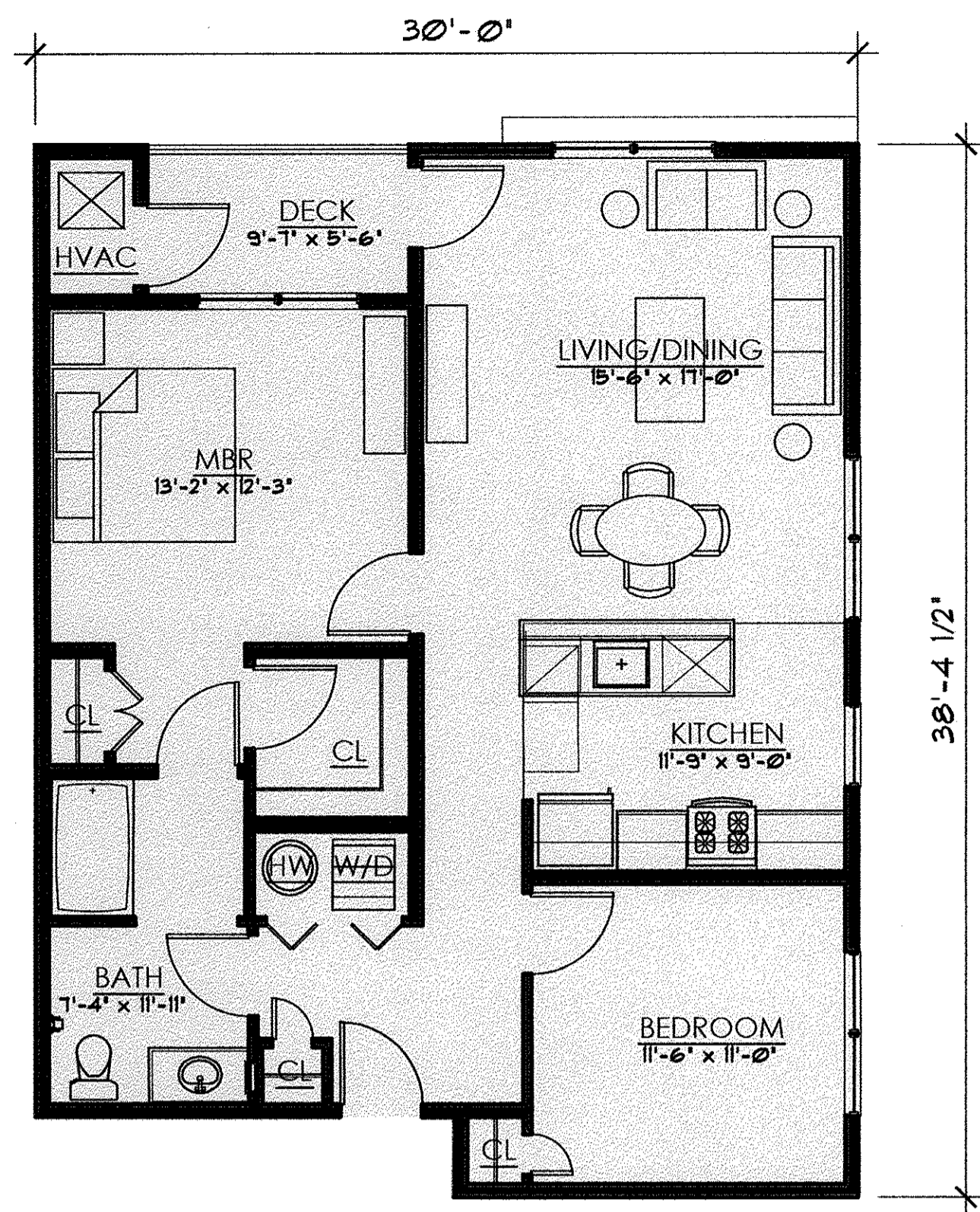
MINNO WASKO
ARCHITECTS AND PLANNERS

80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM

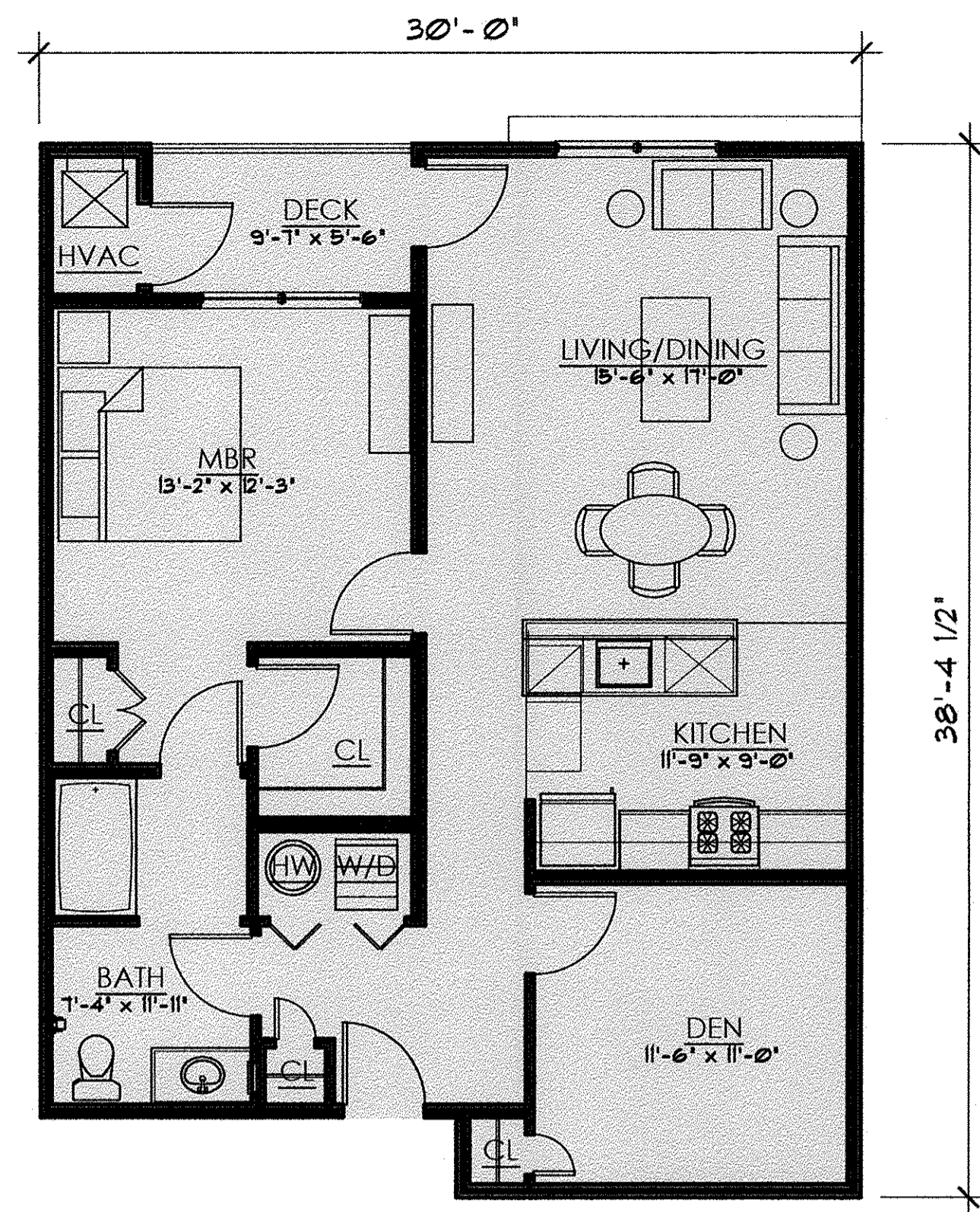
DRA MEADOW HILL, LLC.

GOLDEN VISTA
NEWBURGH, NEW YORK

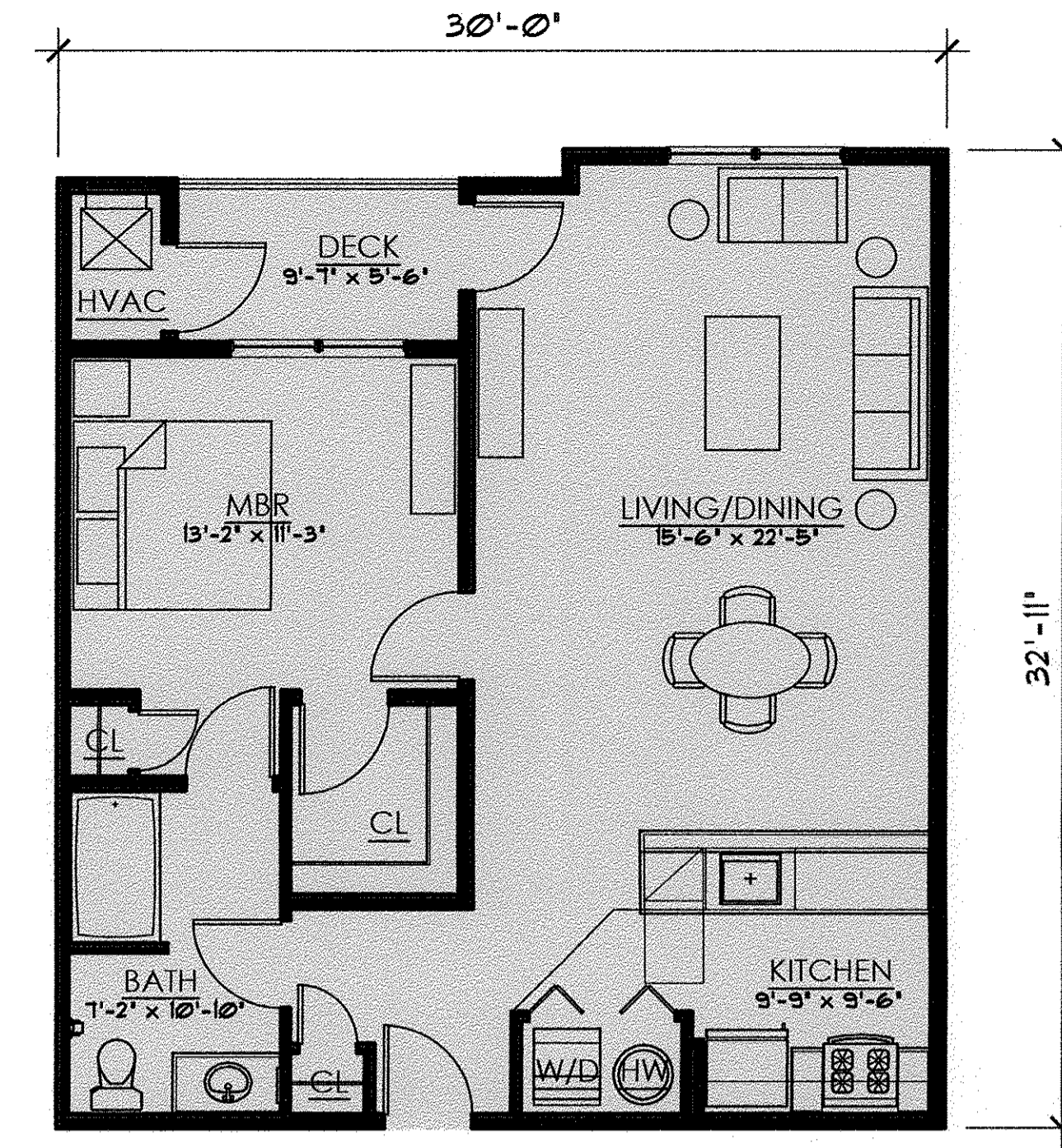
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COPYRIGHT © MINNO & WASKO ARCHITECTS AND PLANNERS



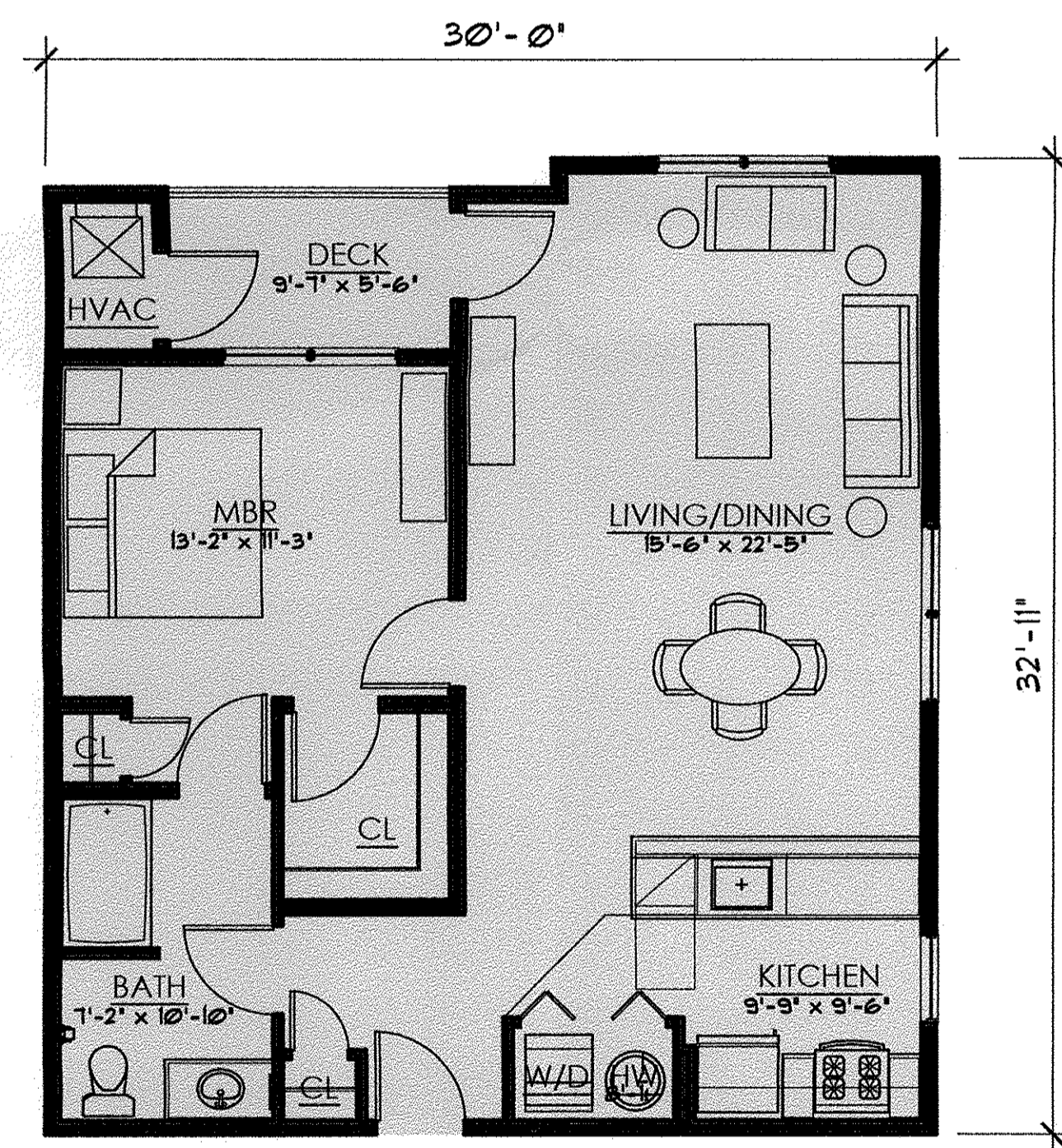
UNIT A
FIRST FLOOR - END UNIT
990SF



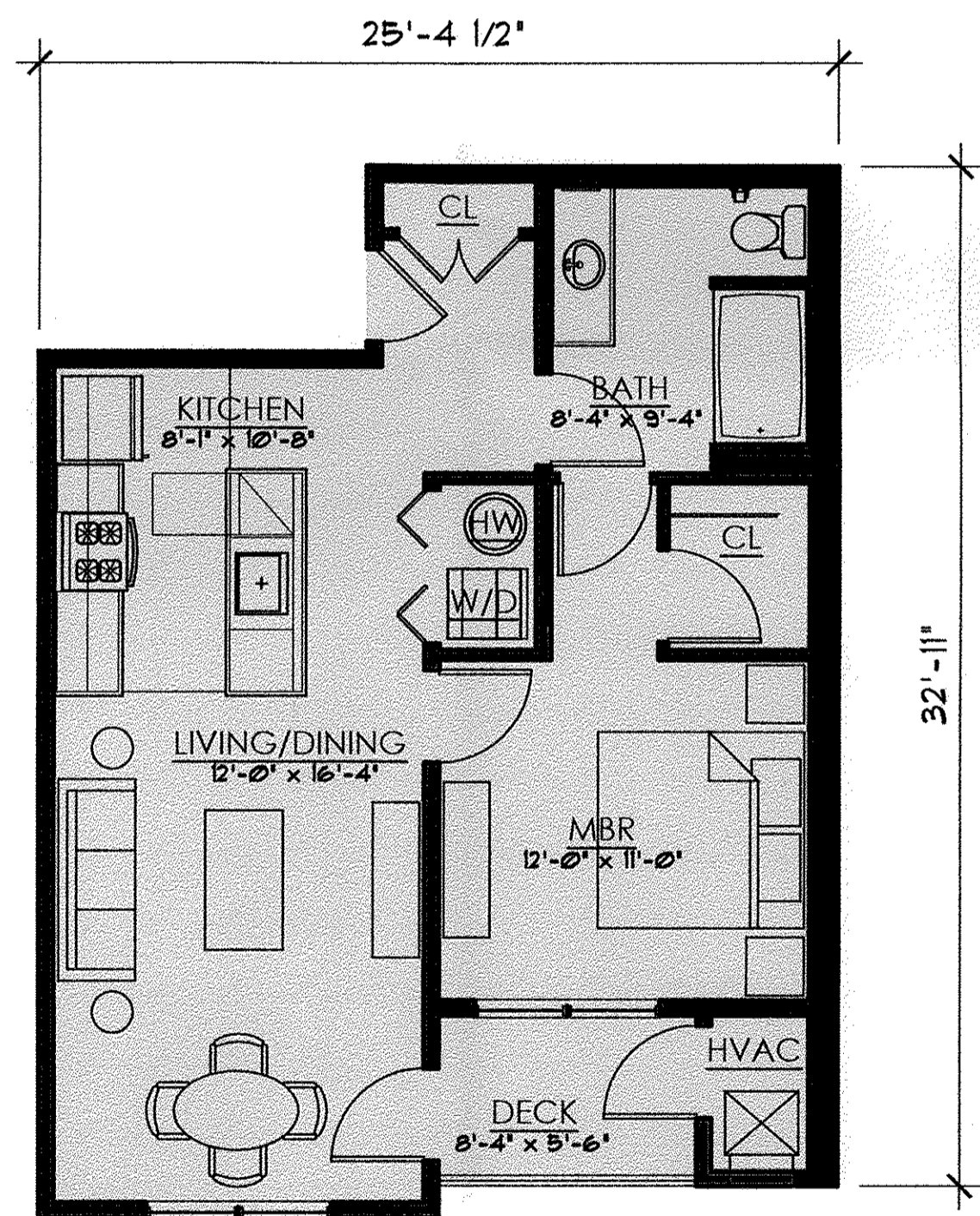
UNIT B
FIRST FLOOR
990SF



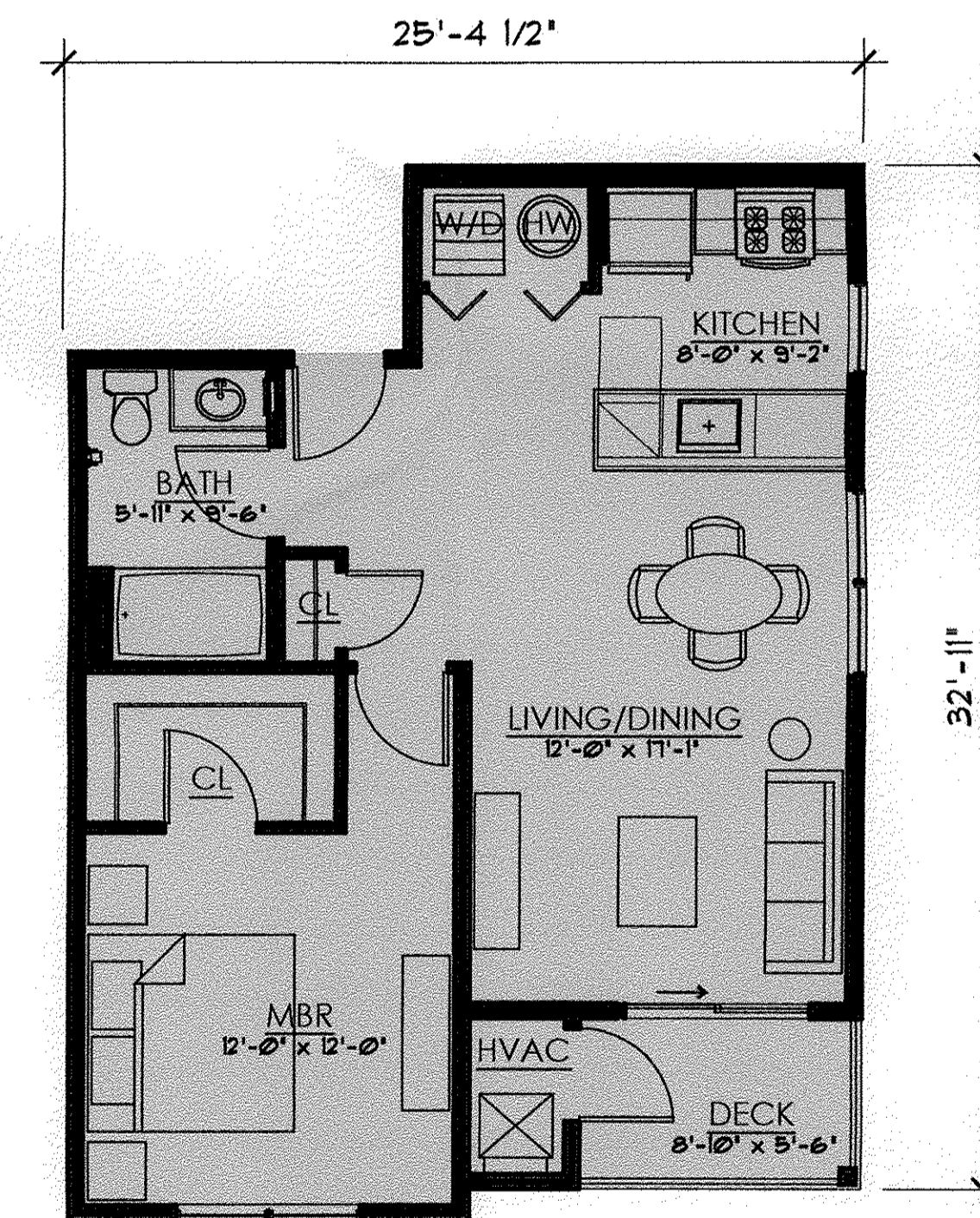
UNIT C
SECOND FLOOR
858SF



UNIT D
SECOND FLOOR - END UNIT
858SF



UNIT E
SECOND FLOOR
680SF



UNIT F
SECOND FLOOR - END UNIT
680SF

3 of 6

SENIOR LIVING BUILDING
• UNIT PLANS

DATE: 08/05/2016



REAR ELEVATION
Scale: 1/8" = 1'-0"



LEFT ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



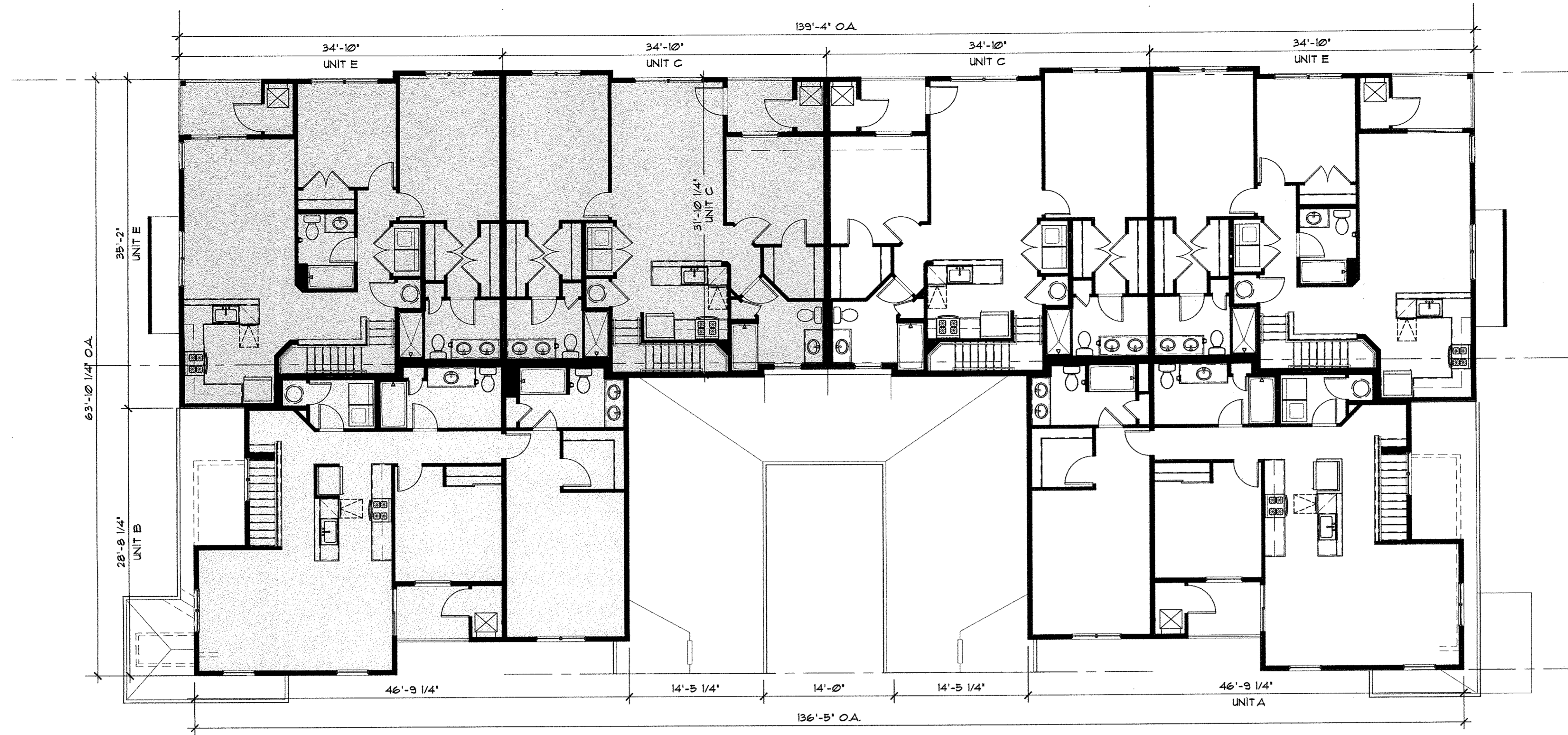
FRONT ELEVATION
Scale: 1/8" = 1'-0"

4 of 6

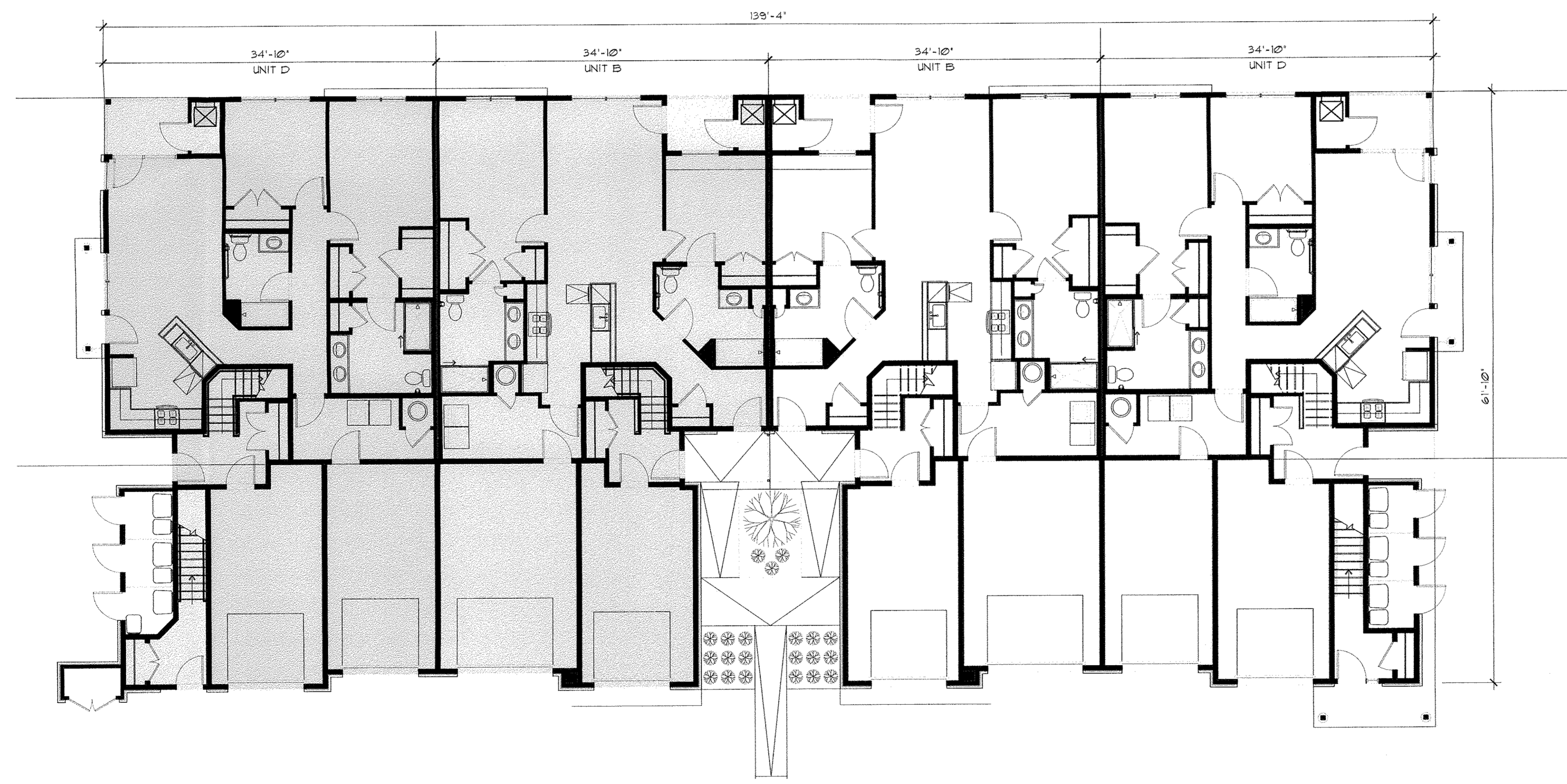
10 UNIT BUILDING
• ELEVATIONS

DATE: 08/05/2016

2nd Floor



1st Floor



5 of 6

10 UNIT BUILDING
• BUILDING PLANS

DATE: 08/05/2016

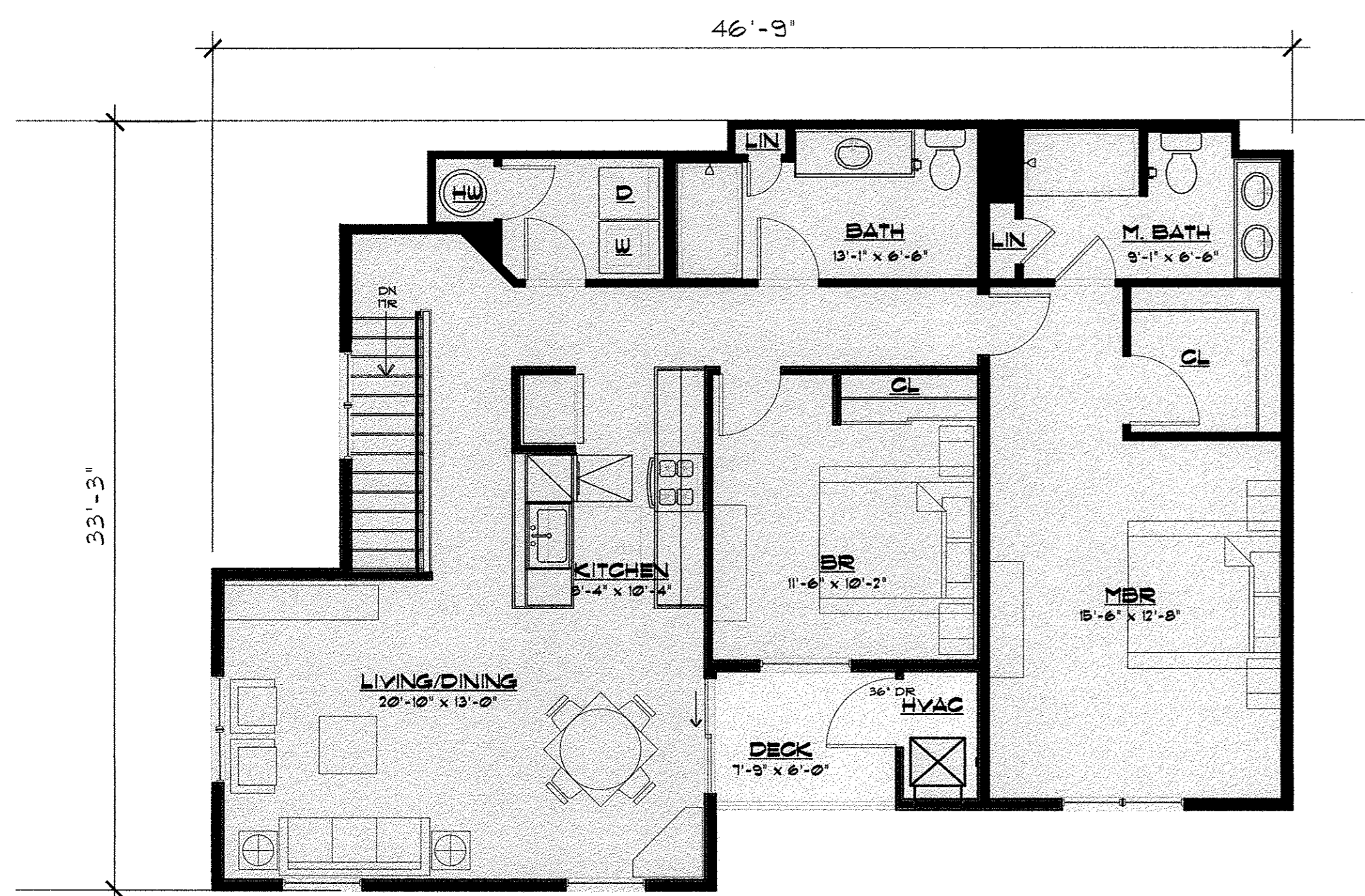
MINNO ■ WASKO
ARCHITECTS AND PLANNERS

80 LAMBERT LANE, SUITE 105, LAMBERTVILLE, NEW JERSEY 08530 MINNOWASKO.COM

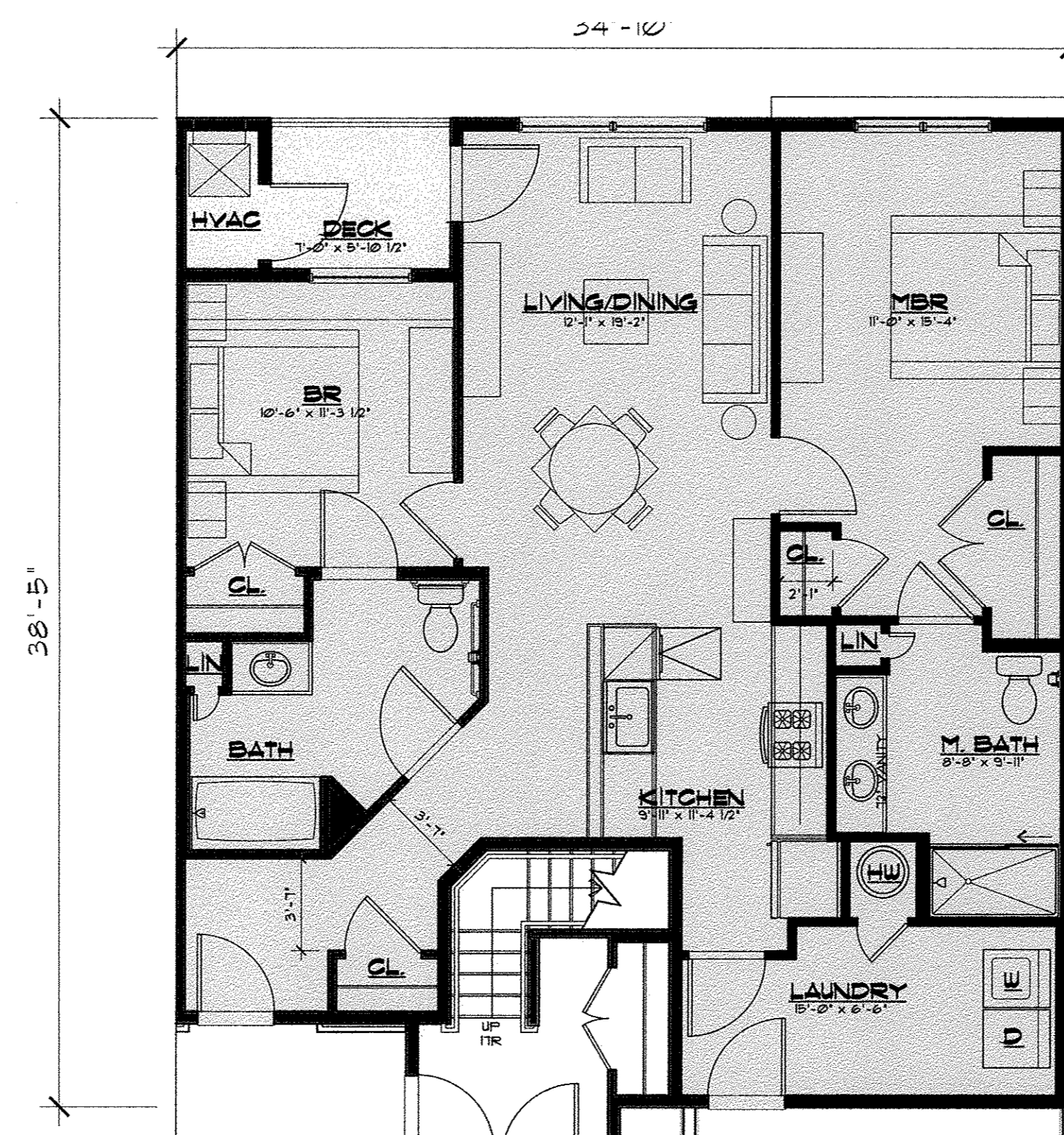
DRA MEADOW HILL, LLC.

GOLDEN VISTA
NEWBURGH, NEW YORK

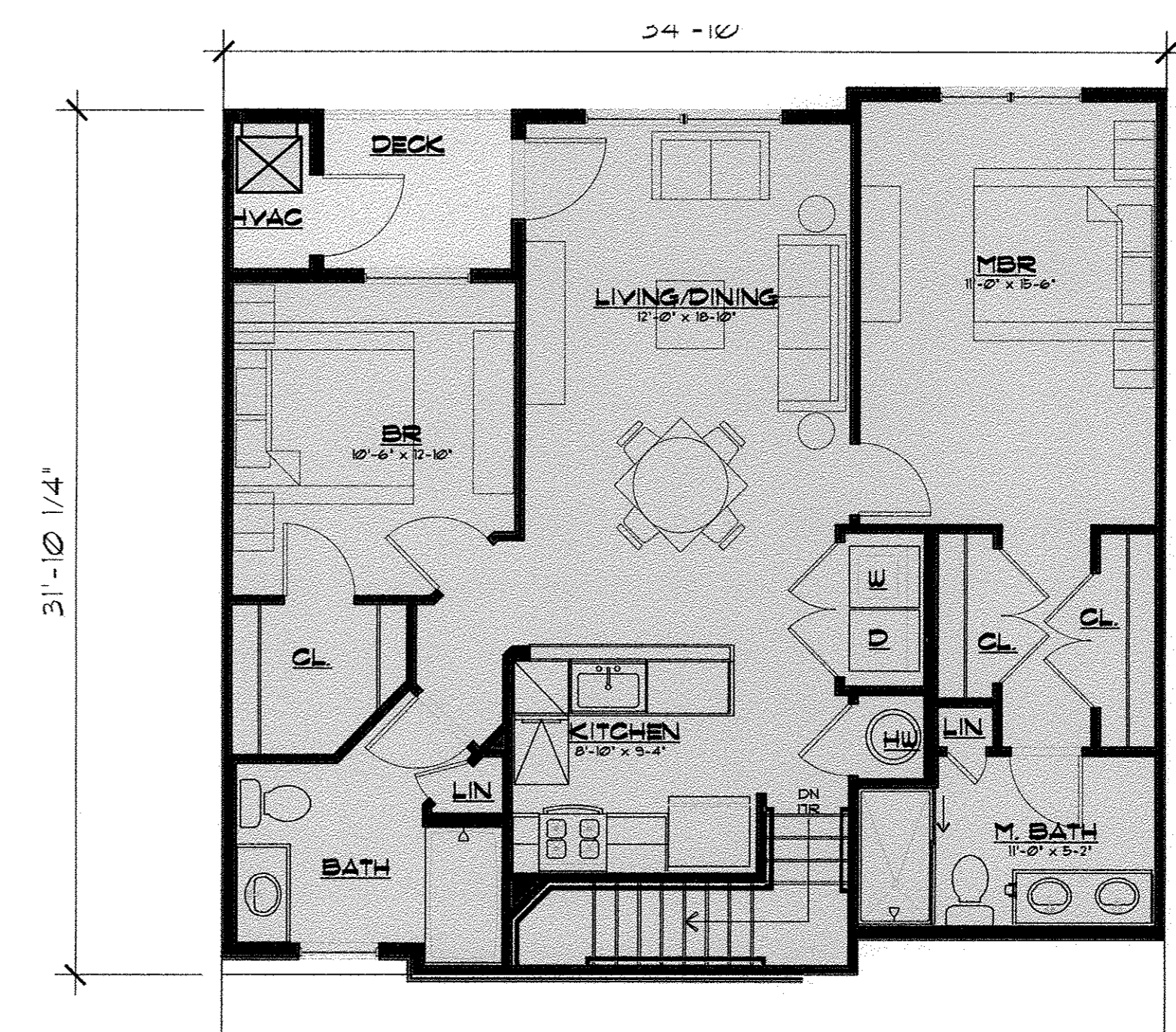
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COPYRIGHT © MINNO & WASKO ARCHITECTS AND PLANNERS



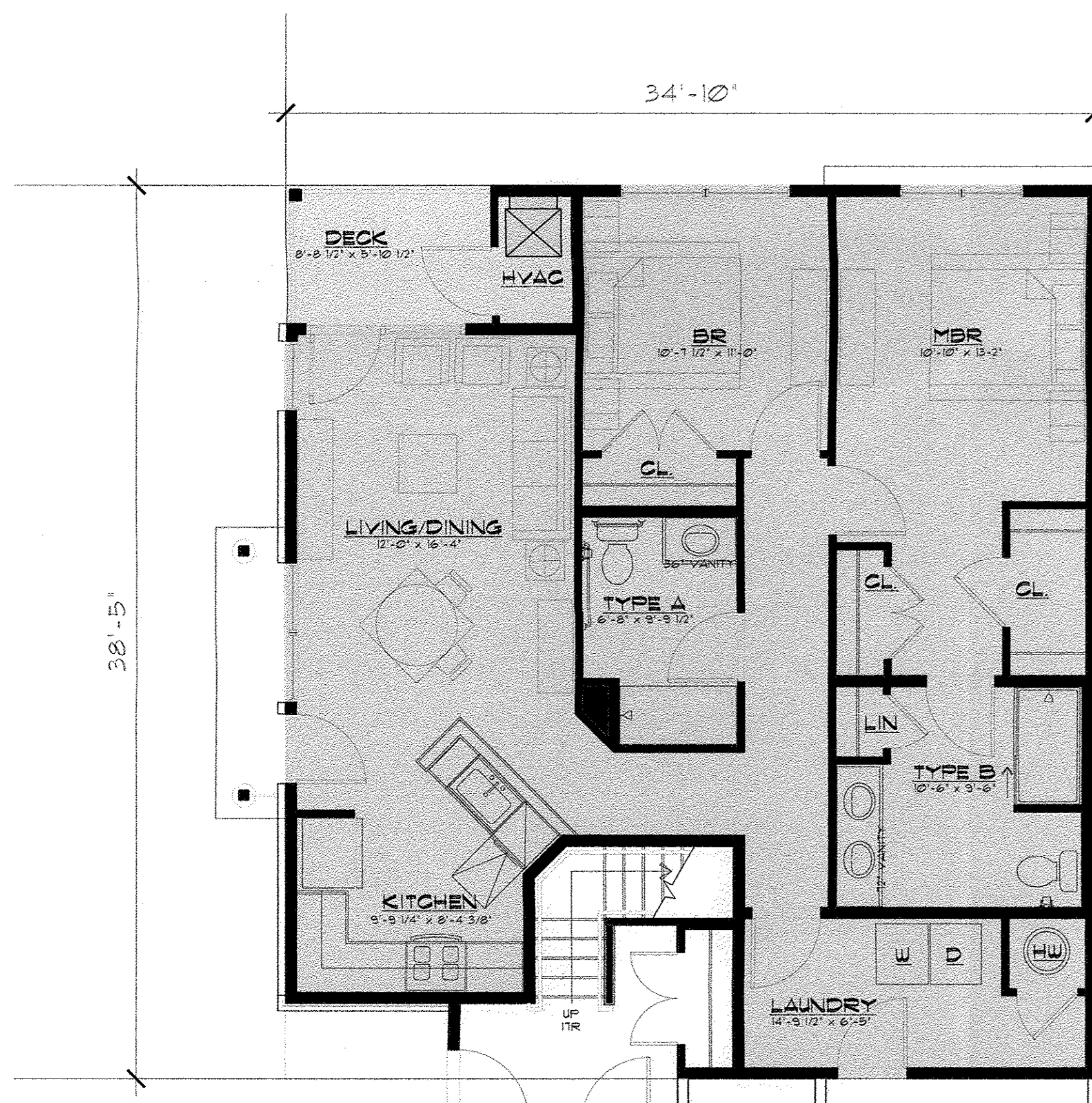
UNIT A
SECOND FLOOR - END UNIT
1320SF



UNIT B
FIRST FLOOR
1140SF



UNIT C
SECOND FLOOR
1200SF



UNIT D
FIRST FLOOR - END UNIT
1140SF



UNIT E
SECOND FLOOR - END UNIT
1150SF

6 of 6

10 UNIT BUILDING
• UNIT PLANS

DATE: 08/05/2016

AMENDED SITE PLAN APPROVAL DRAWINGS MEADOW HILL ROAD EXPANSION

TAX MAP SECTION 60 | BLOCK 1 | LOT 9.1, 9.2

MEADOW HILL ROAD TOWN OF NEWBURGH, NEW YORK

JOHN MEYER CONSULTING DRAWINGS:

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS PLAN
- SP-3 LOT CONSOLIDATION PLAN
- SP-4 LAYOUT PLAN
- SP-5 GRADING PLAN
- SP-6 UTILITIES PLAN
- SP-7 EROSION & SEDIMENT CONTROL PLAN
- SP-8 LANDSCAPING PLAN
- SP-9 LIGHTING PLAN
- SP-10 ROAD PROFILE
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 CONSTRUCTION DETAILS
- SP-16 SANITARY SEWER PROFILES
- SP-17 STORM SEWER PROFILES
- SP-18 STORM SEWER PROFILES
- SP-19 WATER MAIN PROFILE
- SP-20 FIRE TRUCK-TURNING PLAN

OWNER / APPLICANT:

DRA MEADOW HILL, LLC
P.O. BOX 467
HIGHLAND MILLS NY 10930

ATTORNEY:

JACOBOWITZ AND GUBITS, LLP
158 ORANGE AVE, P.O. BOX 367
WALDEN, NY 12586
TEL: (845) 778-2121

**SITE PLANNER, CIVIL & TRAFFIC
ENGINEER & LANDSCAPE ARCHITECTS:**

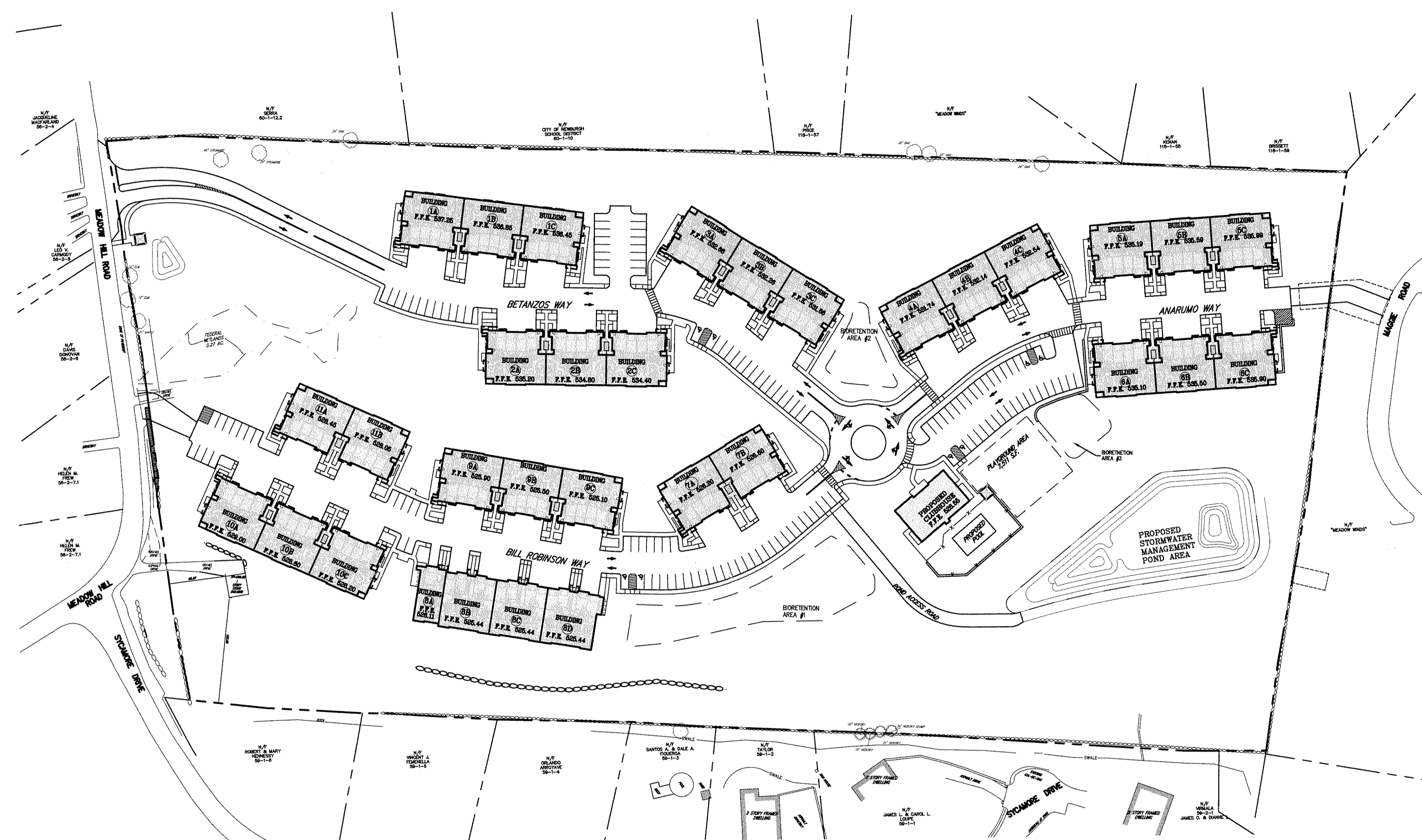
JMC 120 BEDFORD ROAD
ARMONK, NEW YORK 10504
(914) 273-5225

SURVEYOR:

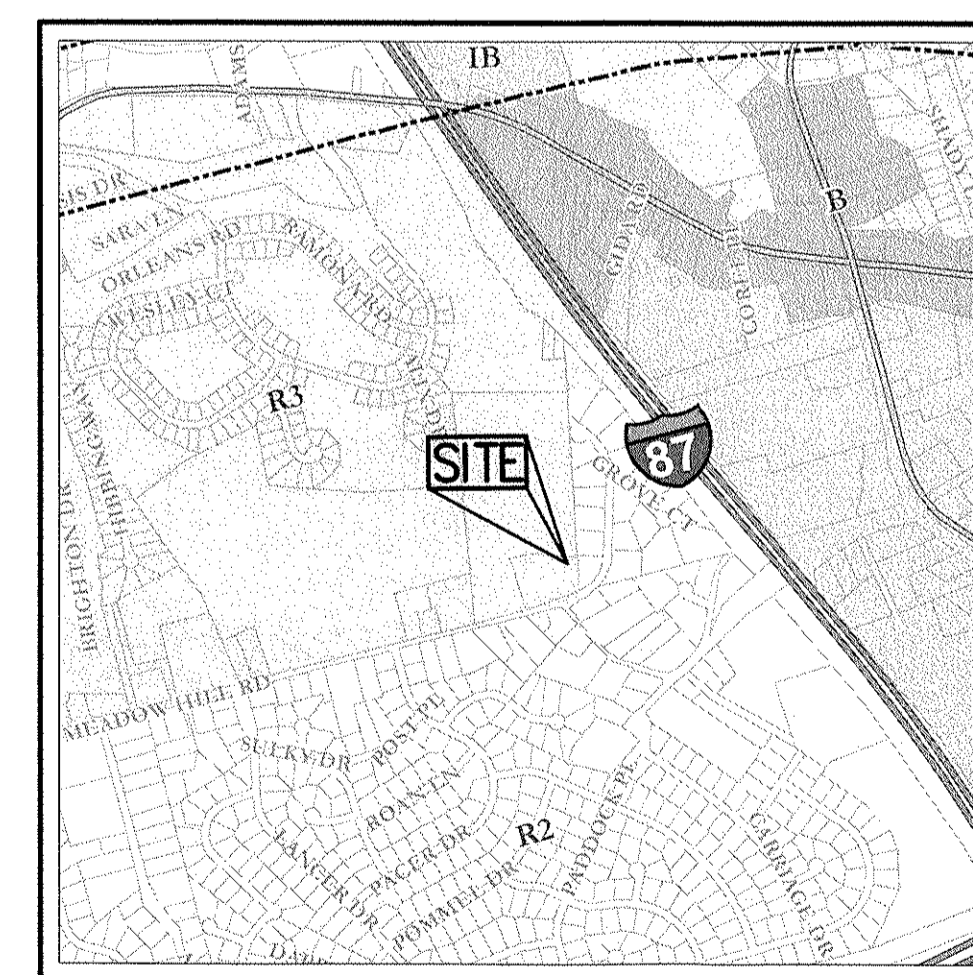
MASER CONSULTING P.A.
SUITE 1
ONE CROSSFEILD AVE
WEST NYACK, NEW YORK 10994
TEL: (845) 727-1160

ARCHITECT:

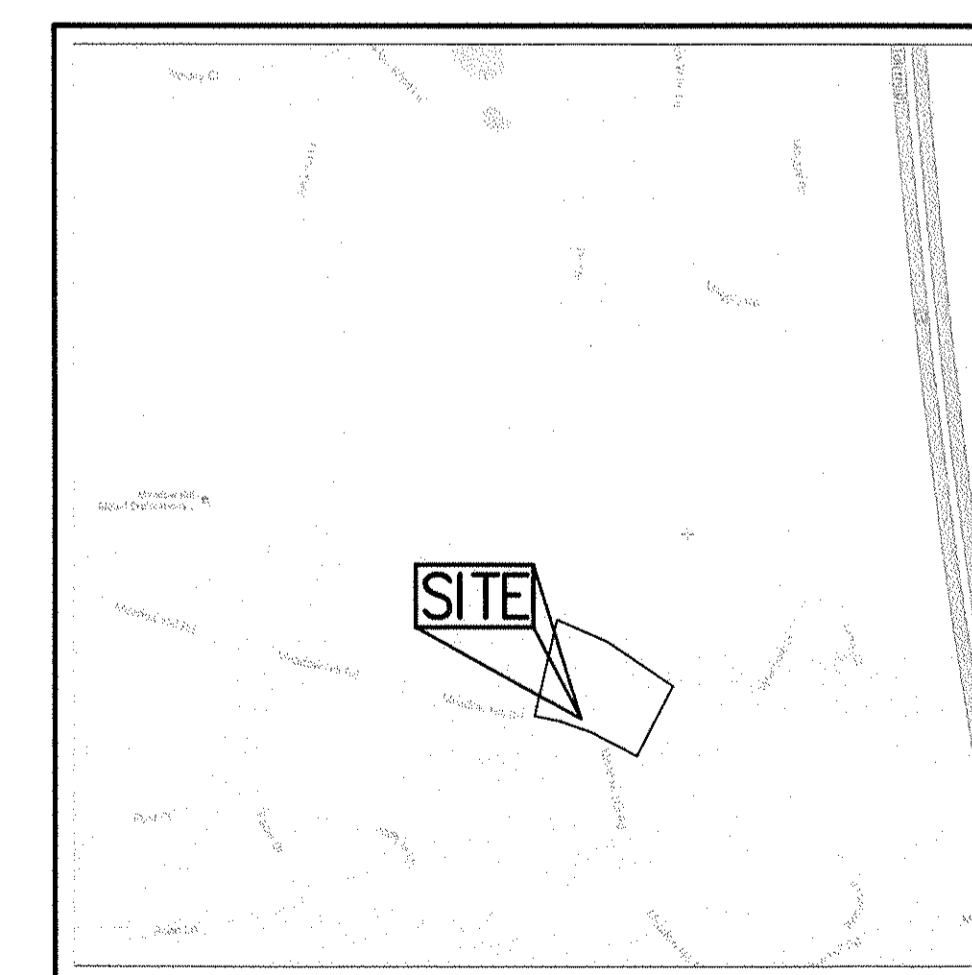
MINNO & WASKO ARCHITECTS
AND PLANNERS
GATEWAY CENTER,
1 RAYMOND PLAZA W #210,
NEWARK, NJ 07102
TEL: (973) 735-6695



AREA MAP
SCALE: 1" = 80'



ZONING MAP
SCALE: 1" = 1,600'
SOURCE: TITLE / YEAR



VICINITY MAP
SCALE: 1" = 1,000'
SOURCE: TITLE / YEAR

TABLE OF LAND USE			
ZONING DISTRICT	PERMITTED/REQUIRED	APPROVED	EXPANSION
R-3			
LOT AREA (AC)(S.F.)	10.00 AC/435,600 S.F.	18.25 AC/795,042 S.F.	20.82 AC/906,919 S.F. (+ 2.57 AC/112,156 S.F.)
LOT WIDTH (FT.)	300	666	666
LOT DEPTH (FT.)	300	1,413	1,413
FRONT YARD (FT.)	40	322	43
REAR YARD (FT.)	50	51	51
1 SIDE YARD (FT.)	50/60	50/60	51
NUMBER OF UNITS (9 UNITS PER ACRE)	-	161	185
REAR TO ADJACENT BUILDING (FT.)	75	92	82
SIDE TO SIDE OF ADJACENT BUILDING (FT.)	33	40	39
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1-BEDROOM 600 2-BEDROOM 800	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.
SENIOR UNIT HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1,000 MAX SEC. 185.48 B (4)	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.
LOT BUILDING COVERAGE (%)	35	14.2	14.6
BUILDING HEIGHT (FT.)	35	35	35
LOT SURFACE COVERAGE (%)	60	33	31
STANDARD PARKING	322/370	329	380
HANDICAP PARKING	0	2	8
TOTAL PARKING	322/370	331	388

NOTES:

- BASE DENSITY CALCULATIONS
 BASE DENSITY = 6 DWELLING UNITS PER ACRE
 SENIOR HOUSING DEVELOPMENT DENSITY = 9 DWELLING UNITS PER ACRE
 1/3 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE GAINED DUE TO THE SENIOR HOUSING DEVELOPMENT PROVISION.
 THEREFORE: 1/3 OF THE TOTAL NUMBER OF UNITS GAINED MUST BE SENIOR HOUSING.
 THEREFORE: 1/3 OF THE TOTAL UNITS X 1/3 MUST BE SENIOR HOUSING = 1/9 OF THE TOTAL UNITS MUST BE SENIOR HOUSING OR 11E
 21 SENIOR HOUSING UNITS WILL BE REQUIRED AND WILL BE LOCATED IN BUILDING 8.
- NET PARCEL AREA CALCULATIONS
 20.82 GROSS ACRES
 0.27 ACRES OF FEDERAL WETLANDS
 11% OF 0.27 IS SUBTRACTED AT A RATE OF 75% = (0.11)(0.27)(0.75) = 0.022 AC.
 89% OF 0.27 IS SUBTRACTED AT A RATE OF 100% = (0.89)(0.27)(1.00) = 0.24 AC.
 TOTAL AREA COVERED BY WETLANDS FOR NET AREA CALC = (0.022) + (0.24) = 0.262 AC.
 THEREFORE: (20.82 AC - 0.262 AC) = 20.558 AC.
 20.558 AC X 9 UNITS = 185 UNITS PERMITTED

PARKING SUMMARY	
DESCRIPTION	PARKING PROVIDED
8-18 UNIT BUILDINGS	
DRIVEWAY PARKING (12 DRIVEWAY SPACES/BLDG)	96
GARAGE PARKING (12 GARAGES PARKING/BLDG)	96
2-10 UNIT BUILDINGS	
DRIVEWAY PARKING (8 DRIVEWAY SPACES/BLDG)	16
GARAGE PARKING (8 GARAGES PARKING/BLDG)	16
1-21 UNIT BUILDINGS	
DRIVEWAY SPACES/BLDG	13
GARAGES PARKING/BLDG	13
STANDARD SPACES	138
TOTAL SPACES	388

NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-862-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT BE DAMAGED, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JOHN MEYER CONSULTING, PC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JOHN MEYER CONSULTING, PC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILEATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO THE EXCAVATION OR CONSTRUCTION.

811 Know what's below. Call before you dig.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	08/10/2016	MT

JMC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 - fax 914.273.2102
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ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

AUG 11 2016

Scale: NOT TO SCALE
Date: 05/06/2016
Project No: 16015
Drawing No: SP-1



LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A. DATED 05-09-2009 AND PARTIALLY UPDATED ON 3/16/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.

<p>DR A MEADOW HILL, LLC 47 RIVER ROAD SUMMIT, NJ 07901</p>	
<p>MINNO & WASKO ARCHITECTS 1 FRANKLIN PLAZA #210 NEWARK, NJ 07102</p>	
<p>JMC Planning, Engineering & Landscape Architecture & Land Surveying, PLLC John Major Consulting, Inc.</p>	<p>120 BEDFORD ROAD - ARMONK, NY 10504 PHONE 914.743.9225 - FAX 914.743.9102 WWW.JMCPINC.COM</p>
<p>SITE EXISTING CONDITIONS PLAN MEADOW HILL ROAD EXPANSION TOWN OF NEWBURGH, NY</p>	
<p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 1709 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 1709, SUBSECTION 2.</p>	
<p>Date: 05/06/2016 User: MT</p>	<p>Revised Per Town Comments: 05/10/2016 Revised Per Town Comments: 05/10/2016</p>
<p>Scale: 1" = 40'</p>	<p>Project No: 16015</p>
<p>Date: 05/06/2016</p>	<p>Client: MT</p>
<p>Sheet: 1 of 1</p>	<p>Drawing No: SP-2</p>

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASER CONSULTING P.A., DATED 05-08-2003 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.



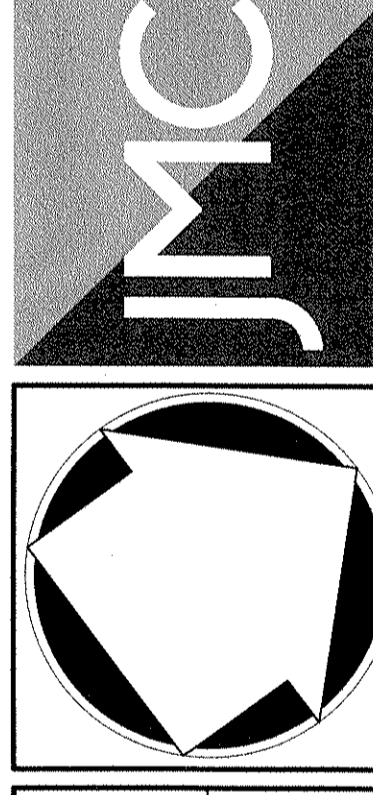
No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	05/25/2016
2.	REVISED PER TOWN COMMENTS	08/10/2016

DR MEADOW HILL, LLC
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LOT CONSOLIDATION PLAN
MEADOW HILL ROAD EXPANSION
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7009 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7006, SUBSECTION 2.

Drawn	MT	Approved	JS
Date	05/06/2016	Scale	1" = 40'
Project No.	16015	Sheet No.	01
Drawn By	UJI	Drawn Date	05/06/2016

SP-3

SIGN TABLE

DESCRIPTION	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REFERENCE
A STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1 X
B	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 X
C	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	N1P1-2 X
D	36"x36"x3/8"	RED ON WHITE	STEEL CHANNEL	7'-0"	R6-5P X
E	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 W16-7P X
F	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-BR X
G	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-BL X
H	36"x36"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-1R X
I	30"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	W1-1R X

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASER CONSULTING P.A., DATED 05-08-2009 AND PARTIALLY UPDATED ON 3/10/2016.
 - EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
 - PROJECT MAILBOXES SHALL BE LOCATED IN THE CLUBHOUSE.
 - ALL GARAGES SHALL BE KEPT CLEAN OF ALL STORAGE MATERIAL TO MAINTAIN AVAILABILITY TO PARK A VEHICLE. THE LEASING DOCUMENTS WILL ALSO HAVE A SIMILAR CONDITION AND WILL BE POLICED BY THE PROJECT SUPERINTENDENT.
 - EXISTING STRUCTURES PROPOSED TO BE REMOVED WILL REQUIRE A PERMIT FROM THE TOWN OF NEWBURGH.

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING CURB LINE
- EXISTING PAVEMENT EDGE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUARD RAIL (DET XX)
- PROPOSED LIGHTING STANDARD
- PROPOSED 2'-4" WIDE YELLOW LINES #70.C
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES #70.D & 40"
- PROPOSED ARROW MARKING ON PAVEMENT (DET XX)
- PROPOSED WORK MARKING ON PAVEMENT (DET XX)
- PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING
- PROPOSED TREE LINE
- EXISTING FEATURE TO BE REMOVED



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SITE LAYOUT PLAN
 MEADOW HILL ROAD EXPANSION
 TOWN OF NEWBURGH, NY

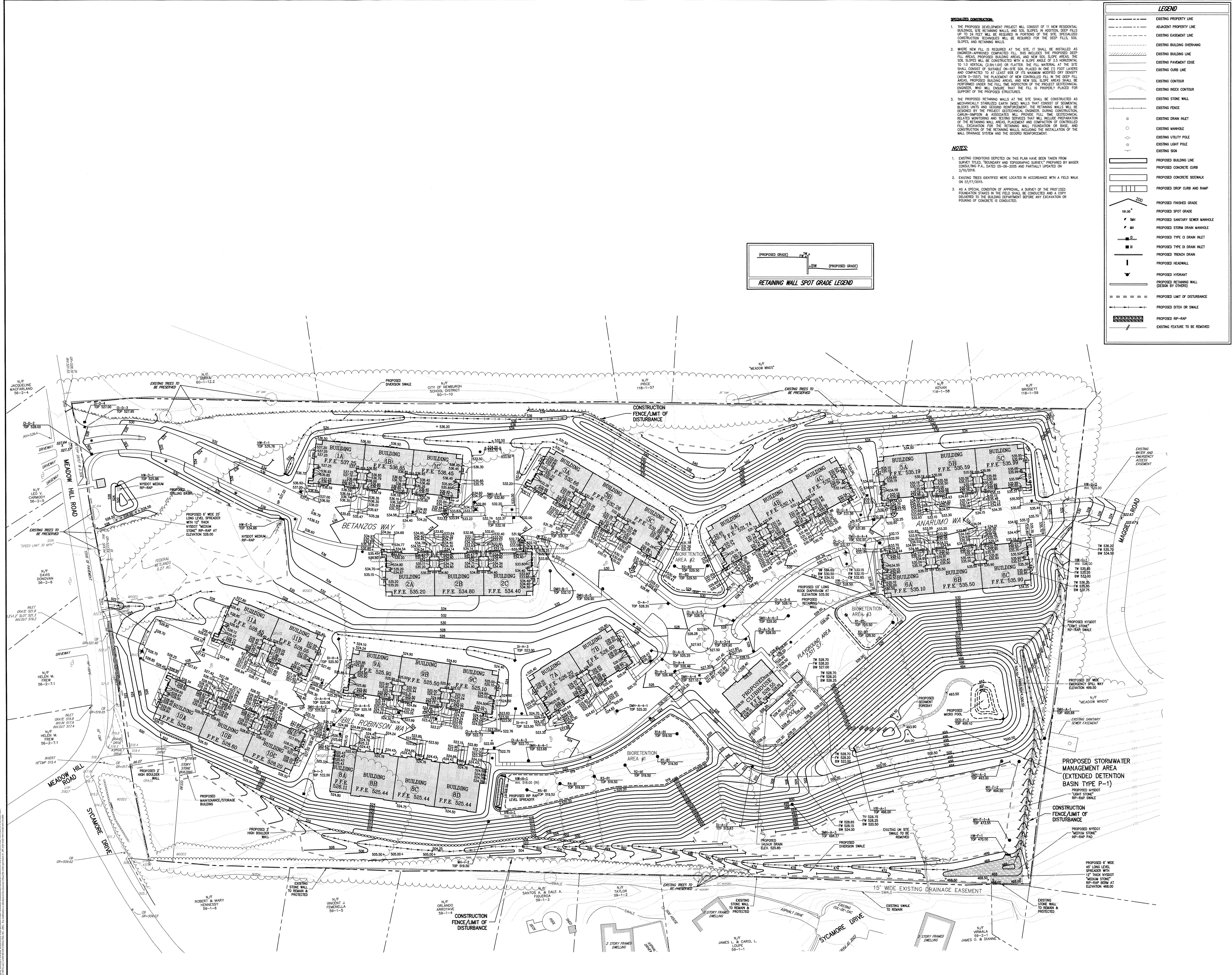
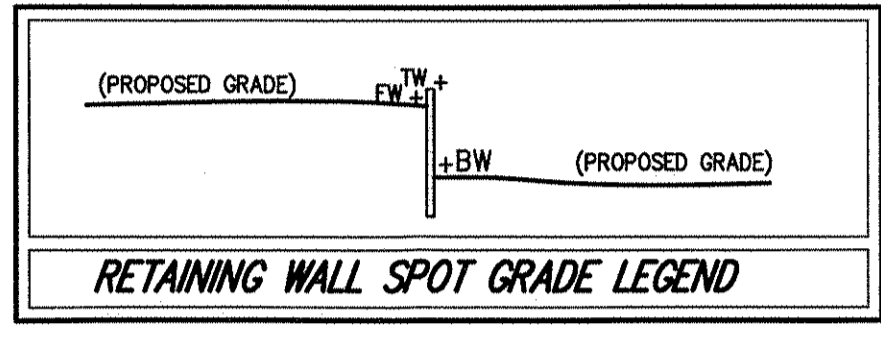
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7008 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7008, SUBSECTION 2.

Drawn: MT Approved: JS
 Scale: 1" = 40'
 Date: 05/06/2016
 Project No: 16015
 SHEET: 101
 Drawing No: SP-4

LEGEND	
---	EXISTING PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING BUILDING OVERLAP
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING STONE WALL
---	EXISTING FENCE
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DROP CURB AND RAMP
---	PROPOSED FINISHED GRADE
---	PROPOSED SPOT GRADE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED TYPE C DRAIN INLET
---	PROPOSED TYPE D DRAIN INLET
---	PROPOSED TRENCH DRAIN
---	PROPOSED HEADWALL
---	PROPOSED HYDRANT
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED DITCH OR SWALE
---	PROPOSED RP-RAP
---	EXISTING FEATURE TO BE REMOVED

- SPECIALIZED CONSTRUCTION:**
- THE PROPOSED DEVELOPMENT PROJECT WILL CONSIST OF 11 NEW RESIDENTIAL BUILDINGS, SITE RETAINING WALLS, AND SOIL SLOPES. IN ADDITION, DEEP FILLS UP TO 24 FEET WILL BE REQUIRED IN PORTIONS OF THE SITE. SPECIALIZED CONSTRUCTION TECHNIQUES WILL BE REQUIRED FOR THE DEEP FILLS, SLOPES, AND RETAINING WALLS.
 - WHERE NEW FILLS ARE REQUIRED AT THE SITE, IT SHALL BE INSTALLED AS ENGINEER-APPROVED COMPACTED FILL. THIS INCLUDES THE PROPOSED DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPES. THE SOIL SLOPES WILL BE CONSTRUCTED WITH A SLOPE ANGLE OF 3:1 HORIZONTAL TO 1:0 VERTICAL (25:1 SLOPE) OR FLATTER. THE FILL MATERIAL AT THE SITE SHALL CONSIST OF SUITABLE ON-SITE SOIL PLACED IN ONE (1) FOOT LAYERS AND COMPACTED TO AT LEAST 90% OF ITS MAXIMUM MODIFIED DRY DENSITY (ASTM D-1557). THE PLACEMENT OF NEW CONTROLLED FILL IN THE DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPE AREAS SHALL BE PERFORMED UNDER THE FULL TIME SUPERVISION OF THE PROJECT GEOTECHNICAL ENGINEER, WHO WILL ENSURE THAT THE FILL IS PROPERLY PLACED FOR SUPPORT OF THE PROPOSED STRUCTURES.
 - THE PROPOSED RETAINING WALLS AT THE SITE SHALL BE CONSTRUCTED AS MECHANICALLY STABILIZED EARTH (MSE) WALLS THAT CONSIST OF SEGMENTAL BLOCK UNITS AND GEOTEXTILE REINFORCEMENT. THE RETAINING WALLS WILL BE DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER. DURING CONSTRUCTION, CASHIN-SWISER & ASSOCIATES WILL PROVIDE FALL-TIME GEOTECHNICAL RELATED MONITORING AND TESTING SERVICES THAT WILL INCLUDE PREPARATION OF THE RETAINING WALL AREAS, PLACEMENT AND COMPACTION OF CONTROLLED FILL, EXCAVATION FOR THE RETAINING WALL FOUNDATION OR BASE, AND CONSTRUCTION OF THE RETAINING WALLS, INCLUDING THE INSTALLATION OF THE WALL DRAINAGE SYSTEM AND THE GEOTEXTILE REINFORCEMENT.

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A., DATED 05-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
 - EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
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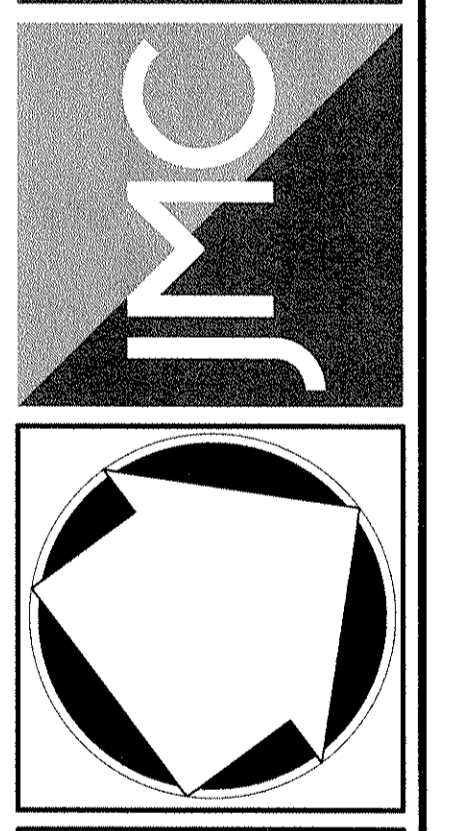
DATE: 05/25/2016
 REVISIONS: 1. REUSED PER TOWN COMMENTS
 2. REUSED PER TOWN COMMENTS

PROJECT: DRA MEADOW HILL, LLC
 477 RIVER ROAD
 SUMMIT, NJ 07901

ARCHITECT: MININO & WASKO ARCHITECTS
 1 RAYMOND PLAZA W #210
 NEWARK, NJ 07102

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SITE GRADING PLAN
 MEADOW HILL ROAD EXPANSION
 TOWN OF NEWBURGH, NY

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PROJECT: MT 4010100 JS
 SCALE: 1" = 40'
 DATE: 05/06/2016
 SHEET: 6015
 DRAWING: 090 DRAWAY

SP-5

NOTES

- 1. EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MAKER CONSULTING P.A., DATED 05-06-2005.
2. UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION RESISTANCE IN ACCORDANCE WITH ASTM F-2948. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.

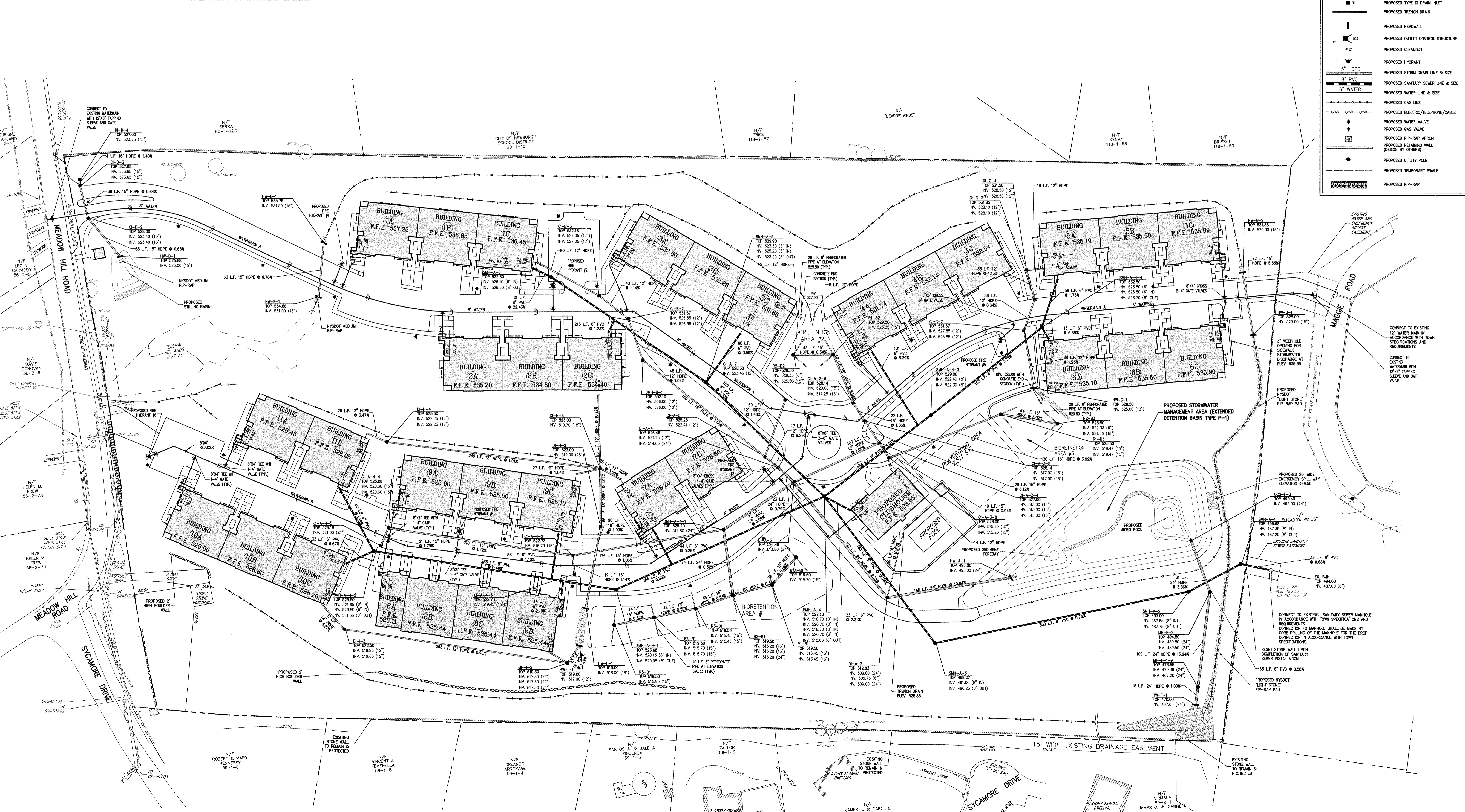
NOTES (CONTINUED)

- 14. THURST RESISTANT SHALL BE PROVIDED BY THE HOODS AND RETAINER CLAMPS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DPWA STANDARDS.
15. PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
16. DISSECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 - YEAR OF LATEST REVISION STANDARDS.

NOTES (CONTINUED)

- 26. IF THE SECTION BEING TESTED SHALL FAIL TO PASS THE PRESSURE TEST OR THE LEAKAGE TEST, OR BOTH, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO LOCATE, UNCOVER, AND REPAIR OR REPLACE THE DEFECTIVE PIPE, FITTINGS OR JOINTS, AND ALL SUCH WORK SHALL BE DONE AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
27. IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DEPARTMENT, HEALTH DEPARTMENT OR ANY OTHER AUTHORITY HAVING JURISDICTION OVER ALL OR ANY PORTION OF THE WATER LINES INSTALLED UNDER THIS CONTRACT, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

LEGEND
EXISTING PROPERTY LINE
ADJACENT PROPERTY LINE
EXISTING EASEMENT LINE
EXISTING METAD LINE AND DELINEATION
EXISTING BUILDING LINE
EXISTING PAVEMENT EDGE
EXISTING CURB LINE
EXISTING CONTOUR
EXISTING INDEX CONTOUR
EXISTING STONE WALL
EXISTING FENCE
EXISTING STORM DRAIN LINE AND SIZE
EXISTING SANITARY LINE AND SIZE
EXISTING WATER LINE
EXISTING GAS LINE
EXISTING OVERHEAD WRES
EXISTING DRAIN INLET
EXISTING MANHOLE
EXISTING FIRE HYDRANT
EXISTING GAS VALVE
EXISTING WATER VALVE
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING SIGN
PROPOSED BUILDING LINE
PROPOSED CONCRETE CURB
PROPOSED EASEMENT LINE
PROPOSED CONCRETE SIDEWALK
PROPOSED DROP CURB AND RAMP
PROPOSED SANITARY MANHOLE
PROPOSED STORM DRAIN MANHOLE
PROPOSED TYPE C DRAIN INLET
PROPOSED TYPE D DRAIN INLET
PROPOSED TRENCH DRAIN
PROPOSED HEADWALL
PROPOSED OUTLET CONTROL STRUCTURE
PROPOSED CLEANOUT
PROPOSED HYDRANT
PROPOSED STORM DRAIN LINE & SIZE
PROPOSED WATER LINE & SIZE
PROPOSED GAS LINE
PROPOSED ELECTRIC/TELEPHONE/CABLE
PROPOSED GAS VALVE
PROPOSED RP-RAP APRON
PROPOSED RETAINING WALL (DESIGN BY OTHERS)
PROPOSED UTILITY POLE
PROPOSED TEMPORARY SWALE
PROPOSED RP-RAP



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NEWARK, NJ 07102

JMC
100 Park Avenue, 10th Floor, New York, NY 10017
Architects and Engineers

JMC logo

SITE UTILITIES PLAN
MEADOW HILL ROAD EXPANSION
TOWN OF NEWBURGH, NY

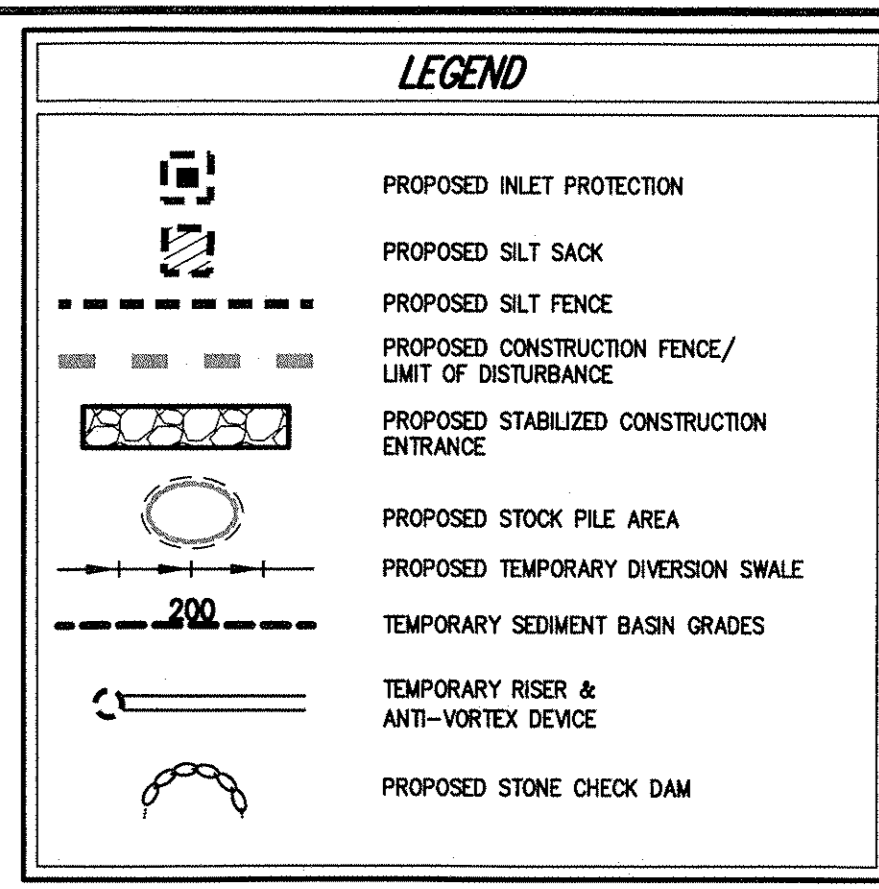
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SP-6
Scale: 1" = 40'
Date: 05/06/2016
Project: 16015
Drawing: VTL, 10L, etc.

SEQUENCE OF CONSTRUCTION

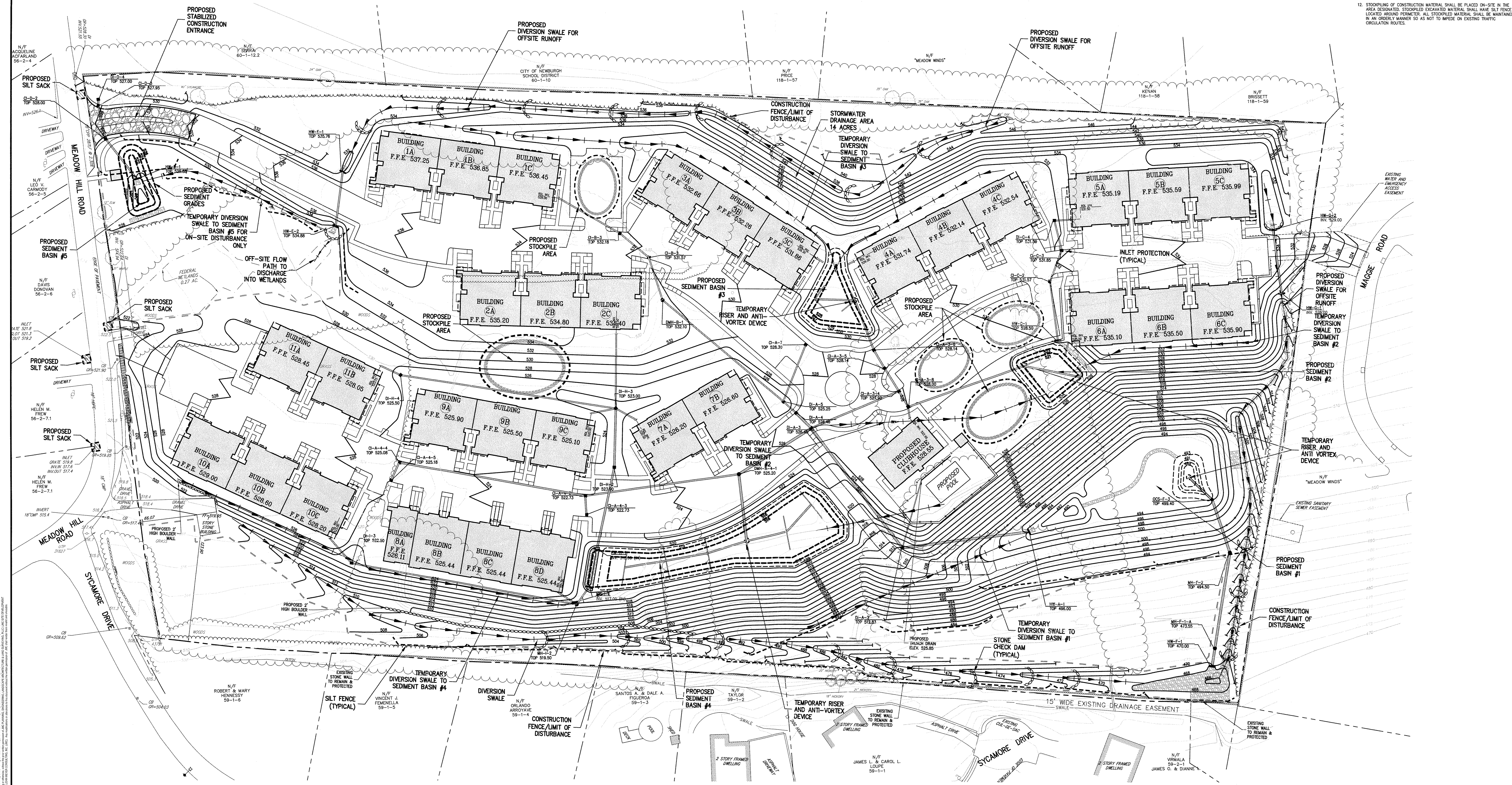
CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT CONTROL MEASURES AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- STAKE LIMIT OF DISTURBANCE BOUNDARY WITH GRADE CONSTRUCTION FENCE. INSTALL A STABILIZED CONSTRUCTION ENTRANCE. CLEAR THE AREA TO BE DEVELOPED.
- INSTALL ALL SILT FENCES.
- GRUB THE AREA TO BE CONSTRUCTED.
- CONSTRUCT DIVERSION SWALE TO DIVERT THE OFFSITE AREA DRAINAGE TOWARDS THE SITE TO AN EXISTING DEPRESSION AND DIVERSION SWALES 2 AND 3 TO DIVERT THE RUNOFF FROM THE OFFSITE AREA TOWARDS THE EXISTING DRAINAGE CHANNEL, WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN.
- PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALES.
- CONSTRUCT TEMPORARY SEDIMENT BASIN.
- REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCES AROUND THE TEMPORARY STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
- PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
- INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF CATCH BASINS, MANHOLES AND UNDERGROUND STORM PIPES ALONG WITH THE EROSION AND SEDIMENT CONTROL SWALES, ETC., AS SHOWN ON THE PLANS.
- INSTALL UTILITIES (SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, ETC.), AS REQUIRED.
- INSTALL GREEN INFRASTRUCTURE PRACTICES INCLUDING RAIN GARDEN AND BIOFILTER.
- BEGIN ROAD CONSTRUCTION INCLUDING SUBBASE AND BASE PAVEMENT SECTIONS.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- COMPLETE FINAL GRADING FOR THE STORMWATER BASIN.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONNECTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE BUILDING CONSTRUCTION.



NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY WAGER CONSULTING P.A., DATED 02-28-2008 AND PARTIALLY UPDATED ON 3/10/2016.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
 CREEPING RED FESCUE 50 %
 PERENNIAL RYE GRASS 70 %
- GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF SOIL CONSERVATION, AMERICAN STANDARD FOR NUMBER 1 STOCK, LATEST EDITION.
- SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY OR AS DIRECTED BY THE TOWN ENGINEER.
- CUT AND FILLS SHALL NOT ENDANGER ADJACENT PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
- THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
- STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPACT ON EXISTING TRAFFIC CIRCULATION ROUTES.



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 47 RIVER ROAD
 SUMMIT, NJ 07901

MINNO & WASKO ARCHITECTS
 1 RAYMOND PLAZA W #710
 NEWARK, NJ 07102

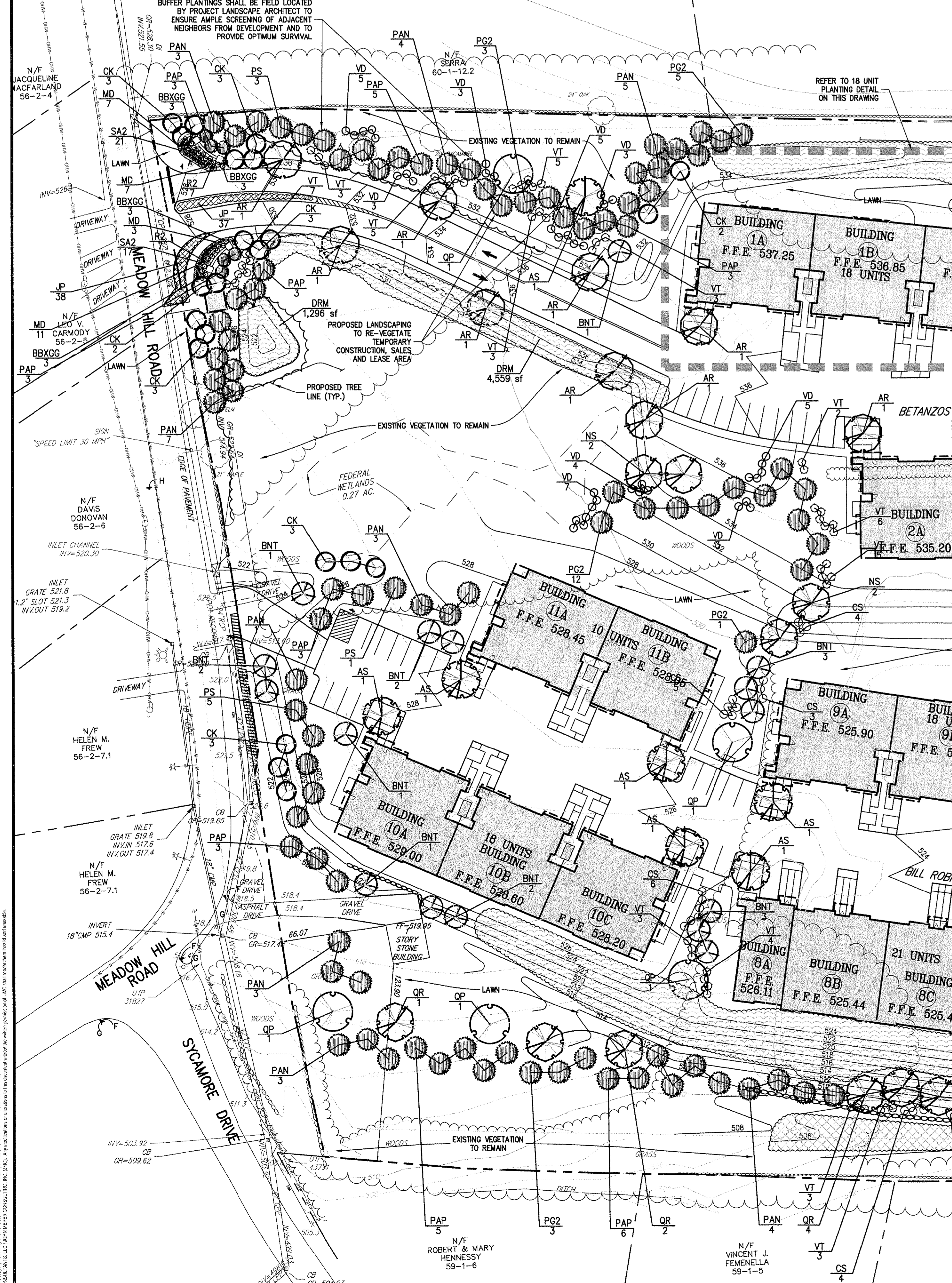
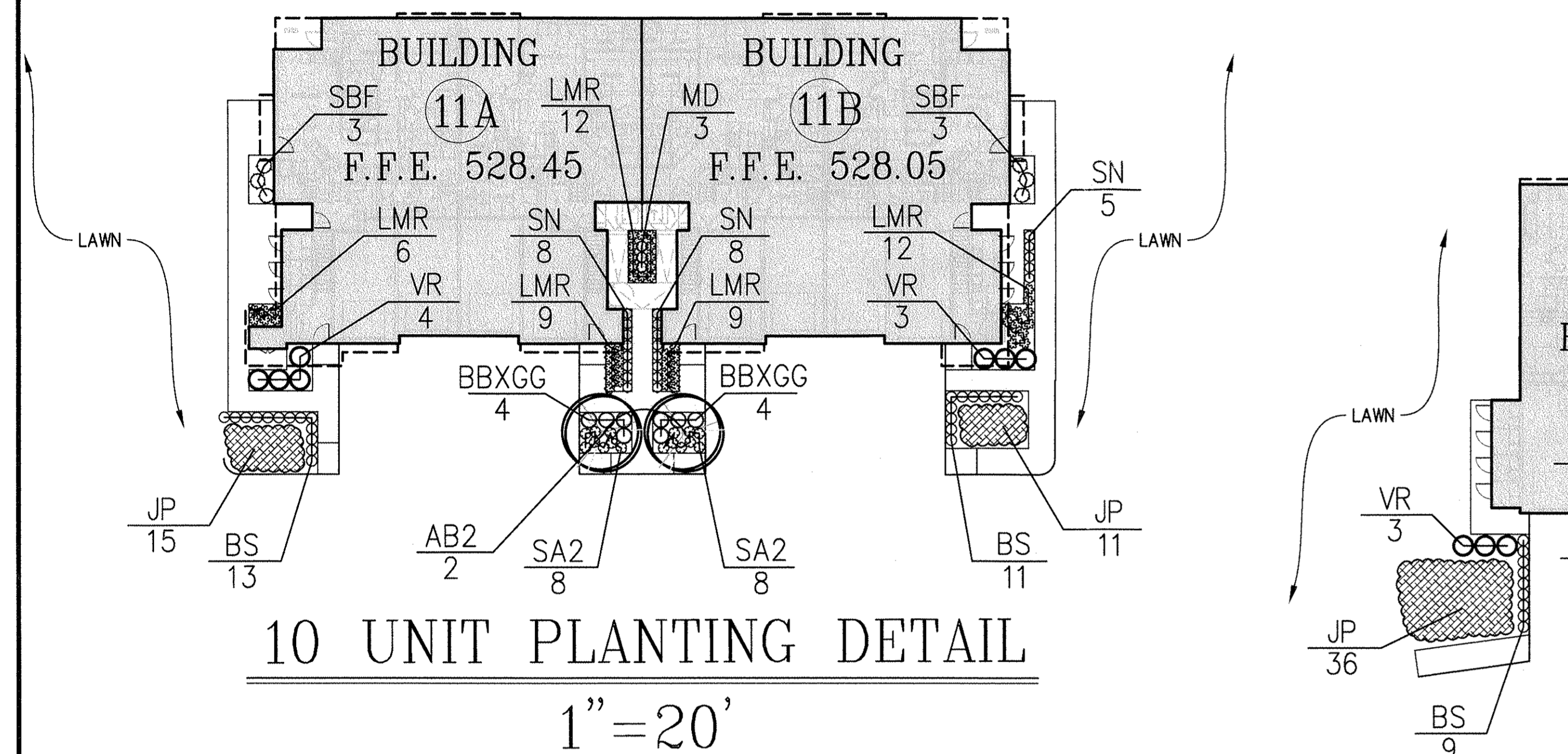
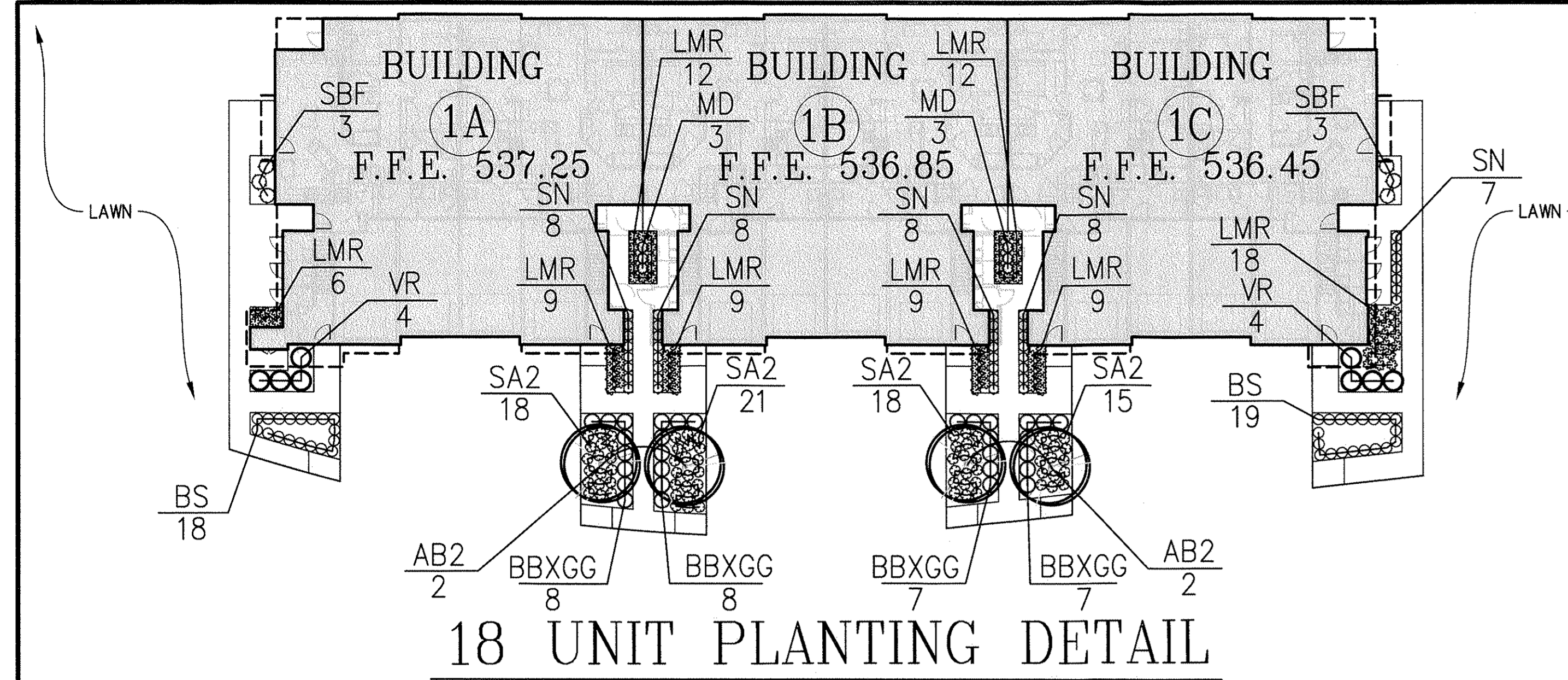
JMC
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SITE EROSION AND SEDIMENT CONTROL PLAN
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	MT	Approved	JS
Title	T = 40'		
Date	05/16/2016		
Sheet No.	1015		
Scale	1" = 40'		
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Sheet No.	1015		

SP-7



PLANT SCHEDULE 1 8 UNIT TYPICAL PLANTING

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
AB2	4	Red Maple / <i>Acer rubrum</i> 'Brandywine'	3" - 3 1/2" CAL.	B & B	

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BBXGG	30	Green Gem Korean Littleleaf Boswood / <i>Bosus Microphylla Koreana</i> 'Green Gem'	12" HT.	Container	
BS	37	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	6	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	6	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	8	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	84	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	39	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	
SA2	72	Autumn Joy Sedum / <i>Sedum x Autumn Joy</i>	1 gal.	Container	

PLANT SCHEDULE 10 UNIT TYPICAL PLANTING

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
AB2	2	Red Maple / <i>Acer rubrum</i> 'Brandywine'	3" - 3 1/2" CAL.	B & B	

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BBXGG	24	Green Gem Korean Littleleaf Boswood / <i>Bosus Microphylla Koreana</i> 'Green Gem'	12" HT.	Container	
BS	24	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	3	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	6	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	7	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	48	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	21	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	
SA2	28	Autumn Joy Sedum / <i>Sedum x Autumn Joy</i>	1 gal.	Container	

PLANT SCHEDULE 2 1 UNIT TYPICAL PLANTING

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BS	22	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	40	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	8	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	6	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	64	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	32	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	

SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT.	ROOT COND.	REMARKS
JP	49	Parson's Juniper / <i>Juniperus davurica</i> 'Parsoni'	24" - 30" SFR.	Cont.	

PLANT SCHEDULE 1 18 UNIT TYPICAL PLANTING

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
AB2	4	Red Maple / <i>Acer rubrum</i> 'Brandywine'	3" - 3 1/2" CAL.	B & B	

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BBXGG	30	Green Gem Korean Littleleaf Boswood / <i>Bosus Microphylla Koreana</i> 'Green Gem'	12" HT.	Container	
BS	37	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	6	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	6	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	8	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	84	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	39	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	
SA2	72	Autumn Joy Sedum / <i>Sedum x Autumn Joy</i>	1 gal.	Container	

PLANT SCHEDULE 10 10 UNIT TYPICAL PLANTING

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
AB2	2	Red Maple / <i>Acer rubrum</i> 'Brandywine'	3" - 3 1/2" CAL.	B & B	

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BBXGG	24	Green Gem Korean Littleleaf Boswood / <i>Bosus Microphylla Koreana</i> 'Green Gem'	12" HT.	Container	
BS	24	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	3	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	6	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	7	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

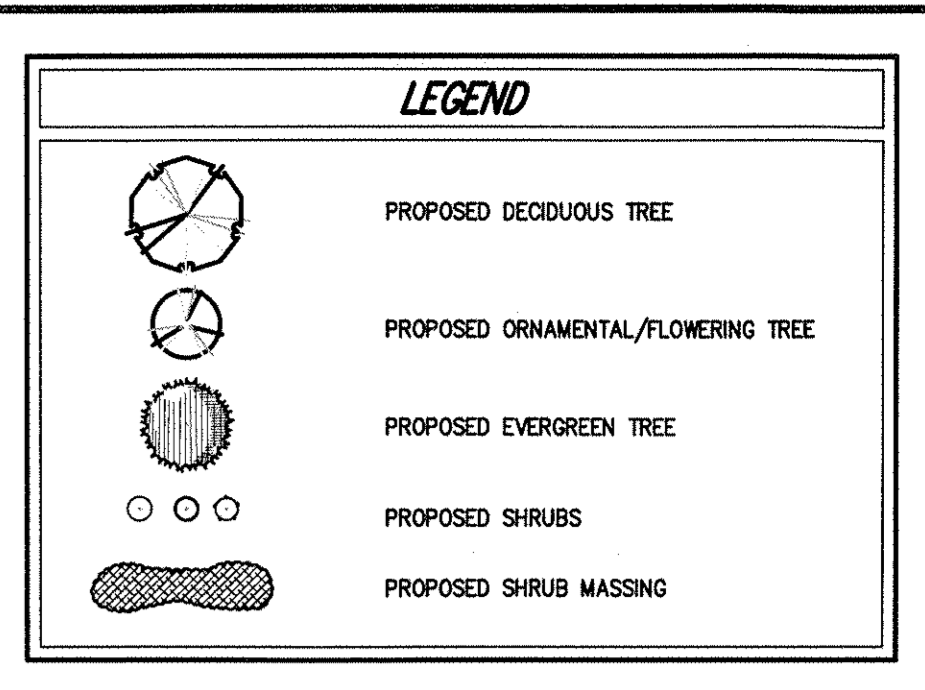
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	48	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	21	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	
SA2	28	Autumn Joy Sedum / <i>Sedum x Autumn Joy</i>	1 gal.	Container	

PLANT SCHEDULE 2 1 UNIT TYPICAL PLANTING

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
BS	22	English Boswood / <i>Bosus sempervirens</i>	15" x 18" HT.	Cont.	
MD	40	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'	2 gal.	Container	
SFB	8	Goldflame Spruce / <i>Spirea Bumukla</i> 'Goldflame'	12" - 18" HT.	B & B	
VR	6	Leatherleaf Viburnum / <i>Viburnum Rhytidophyllum</i>	4' - 5' HT.	B & B	

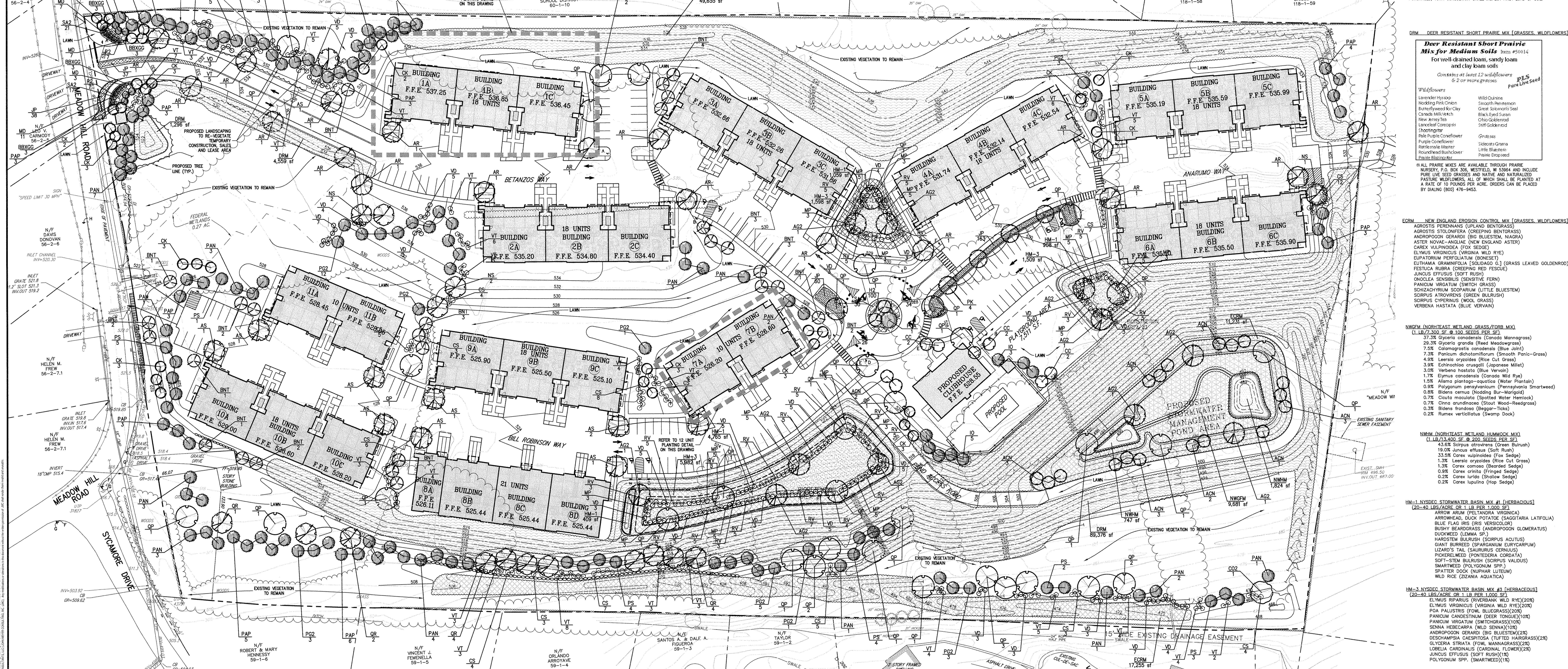
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL.HT.	ROOT COND.	REMARKS
LMR	64	Variagated Lily Turf / <i>Lilippe Muscari</i> 'Variagata'	1 gal.	Container	
SN	32	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	2 gal.	Container	

SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT.	ROOT COND.	REMARKS
JP	49	Parson's Juniper / <i>Juniperus davurica</i> 'Parsoni'	24" - 30" SFR.	Cont.	



NOTES:

1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TONIC FREE, EXTERIOR HARDWOOD.
4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND GROWN TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED. SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, INSEST, WOUNDING, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS. TREES SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SIMULACRALLY DEVELOPED, OF BURNING PART OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM QUOTIENTIONABLE DEFECTS OR WOUNDS. ONLY WINDS AND GROUND COVER PLANTS WILL ESTABLISHED IN REMOVAL CONTAINERS. ARTIFICIAL SOILS OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK. UNACCEPTABLE UNLESS SPECIFIED.
9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 6" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.
10. SURVEY AND MARK THE CLEARING LIMIT LINE IN THE FIELD BEFORE ANY CONSTRUCTION WORK BEGINS. INSTALL GRASS SAFETY FENCE AND/OR EROSION CONTROL FENCING ALONG CLEARING LINE.
11. ALL INDIVIDUAL SPECIMEN TREES TO BE SAVED IN THE CONSTRUCTION AREA OR ALONG THE CONSTRUCTION PERIMETER SHALL BE PRESERVED, BY INSTALLING SAFETY FENCING ALONG THE OUTER EDGE OF THE TREE CANOPY OR ALONG THE EDGE OF GRADE.
12. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS BEYOND CLEARING LIMITS. EQUIPMENT IS PERMITTED BEYOND CLEARING LIMITS.
13. TREE PROTECTION FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.
14. TREES SHALL BE FIELDED WITHIN CLEARING LIMITS. TREES SHALL NOT BE FIELDED INTO EXISTING WOODS AREAS OR TREES TO REMAIN.
15. TREE REPLACEMENT IS REQUIRED WHEREVER TREES ARE CLEARED BEYOND CLEARING LIMITS WITHOUT AUTHORITY FROM THE TOWN OF NEWBURGH. THIS REPLACEMENT SHALL BE EQUAL TO THE DADA AREA OF ALL TREES THAT REMAIN. STUBS DO NOT EXCEED 10% OF THE ORIGINAL TREE. NATURAL SHADE TO BE MAINTAINED. BRANCHES AND LIMBS THAT LOOSE THE MAIN TRUNK SHALL BE REMOVED. REPLACEMENT SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EROSION CONTROL PERIOD. TREE TRUNKS, PLANTS THAT REQUIRE REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
16. ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ADDITION WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT REMAIN STUBS DO NOT EXCEED 10% OF THE ORIGINAL TREE. NATURAL SHADE TO BE MAINTAINED. BRANCHES AND LIMBS THAT LOOSE THE MAIN TRUNK SHALL BE REMOVED. REPLACEMENT SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EROSION CONTROL PERIOD. TREE TRUNKS, PLANTS THAT REQUIRE REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
17. WHEREVER THE SOIL IS OUT MORE THAN 2" AND TREES ARE PROPOSED, THE CONTRACTOR SHALL ENSURE THAT ADEQUATE SOIL COVER EXISTS FOR THE PLANTING AND GROWING TREES.
18. THE TOWN OF NEWBURGH LANDSCAPING CONSULTANTS SHALL INSPECT TOPSOIL BEFORE PLANTING AND INSTALLATION OF LAWN. IF TOPSOIL IS TO BE PURCHASED, TOWN CONSULTANT SHALL INSPECT FIRST LOAD OF SOIL.



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APPLICANT/OWNER: DR A MEADOW HILL, LLC
ARCHITECT: MINNO & WASKO ARCHITECTS

DATE: 05/26/2016
REVISION: 06/07/2016

Scale: 1" = 40'

Project No: 16015
Date: 05/26/2016
Drawn: LMD
Lays: SP-8

JMC
JMC Architecture, Landscape Architecture & Land Surveying, PLLC
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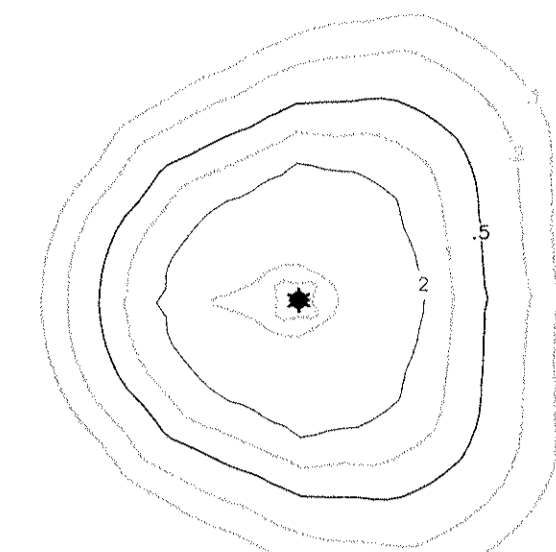
LANDSCAPING PLAN
MEADOW HILL ROAD EXPANSION
TOWN OF NEWBURGH, NY

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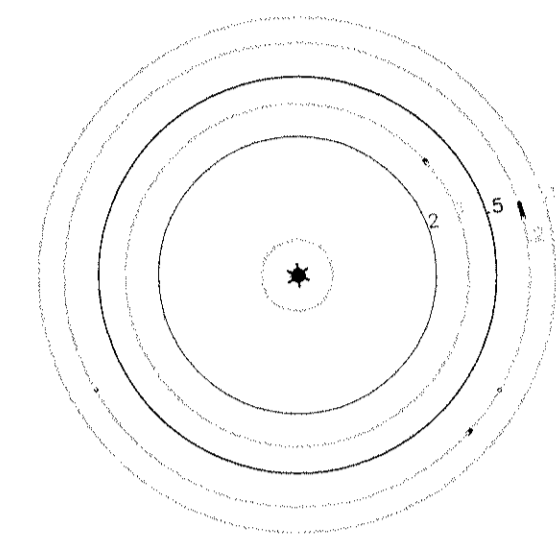


LEGEND

- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- ★ PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
- ▲ PROPOSED SITE LIGHTING (WALL MOUNTED)
- PROPOSED BOLLARD LIGHTING STANDARD
- PROPOSED ILLUMINANCE IN FOOT-CANDELS



PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE A:
 LIGHT COOPER LIGHTING - MCGRAW-EDISON
 GAT-150-MP-X-3C-X-X
 ARCHITECTURAL POST TOP LUMINAIRE - TYPE III CUTOFF
 150 WATT PULSE-START CLEAR ED-28 VBD BURN



PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE B LIGHT:
 COOPER LIGHTING - MCGRAW-EDISON
 GAT-150-MP-X-3C-X-X
 ARCHITECTURAL POST TOP LUMINAIRE - TYPE V CUTOFF
 150 WATT PULSE-START CLEAR ED-28 VBD BURN

NOTES:

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
2. CIRCUIT WIRING SHALL BE PER ORANGE AND RED/BLACK UTILITY REQUIREMENTS.
3. EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2015.

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ARCHITECTS MINNO & WASKO ARCHITECTS	
1 RIVER ROAD, SUITE 201, NEWARK, NJ 07102	

<p>PROFESSIONAL SEAL</p> <p>DATE: 05/06/2016</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Description</th> </tr> <tr> <td>1.</td> <td>REVISION PER TOWN COMMENTS</td> </tr> <tr> <td>2.</td> <td>REVISION PER TOWN COMMENTS</td> </tr> </table>	No.	Description	1.	REVISION PER TOWN COMMENTS	2.	REVISION PER TOWN COMMENTS	<p>PROFESSIONAL SEAL</p> <p>DATE: 05/06/2016</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Description</th> </tr> <tr> <td>1.</td> <td>REVISION PER TOWN COMMENTS</td> </tr> <tr> <td>2.</td> <td>REVISION PER TOWN COMMENTS</td> </tr> </table>	No.	Description	1.	REVISION PER TOWN COMMENTS	2.	REVISION PER TOWN COMMENTS
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JMC

SITE LIGHTING PLAN

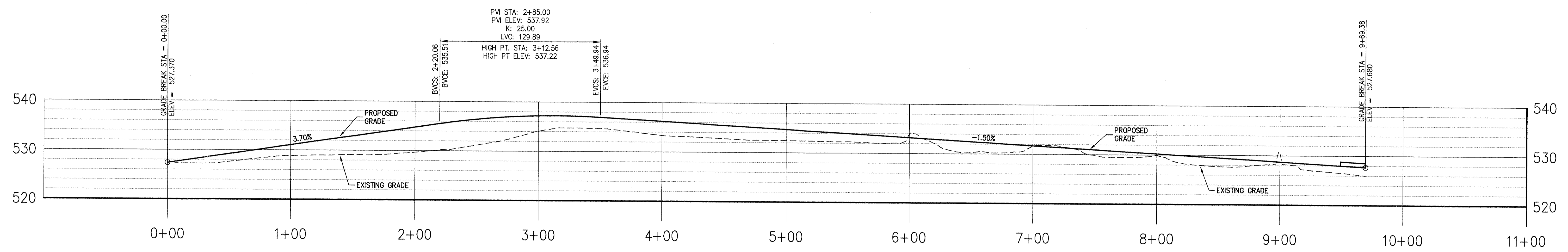
MEADOW HILL ROAD EXPANSION

MEADOW HILL ROAD, CO. OF NEWBURGH, NY

TOWN OF NEWBURGH, NY

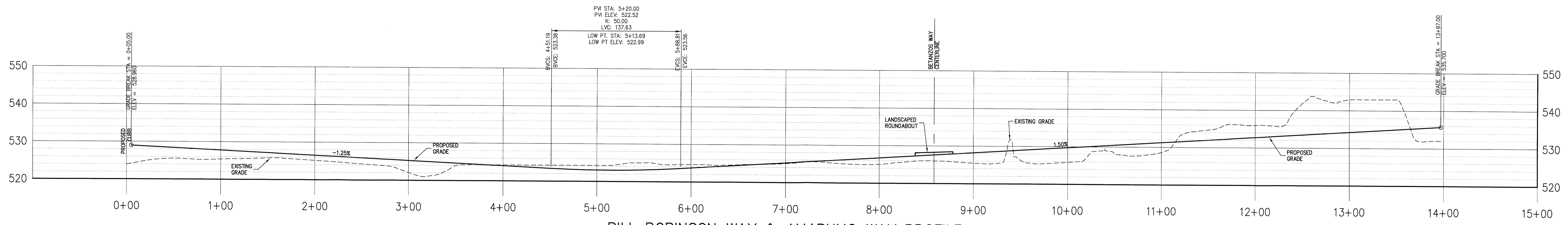
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Date:	MT	Approved:	JS
Scale:	1" = 40'		
Date:	05/06/2016		
Project No.:	16015		
Sheet No.:	01 of 01		
Drawing Title:	SP-9		



BETANZOS WAY PROFILE

SCALE: HORIZONTAL: 1" = 40'
VERTICAL: 1" = 10'



BILL ROBINSON WAY & AMARUMO WAY PROFILE

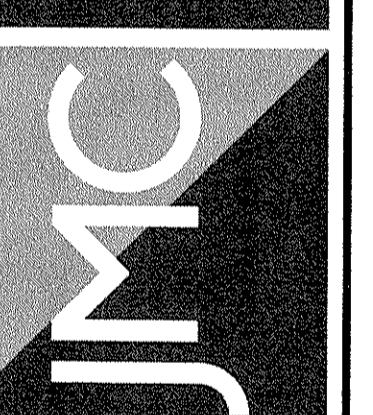
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VERTICAL: 1" = 10'

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	06/10/2016	MT

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SANITARY SEWER PROFILES

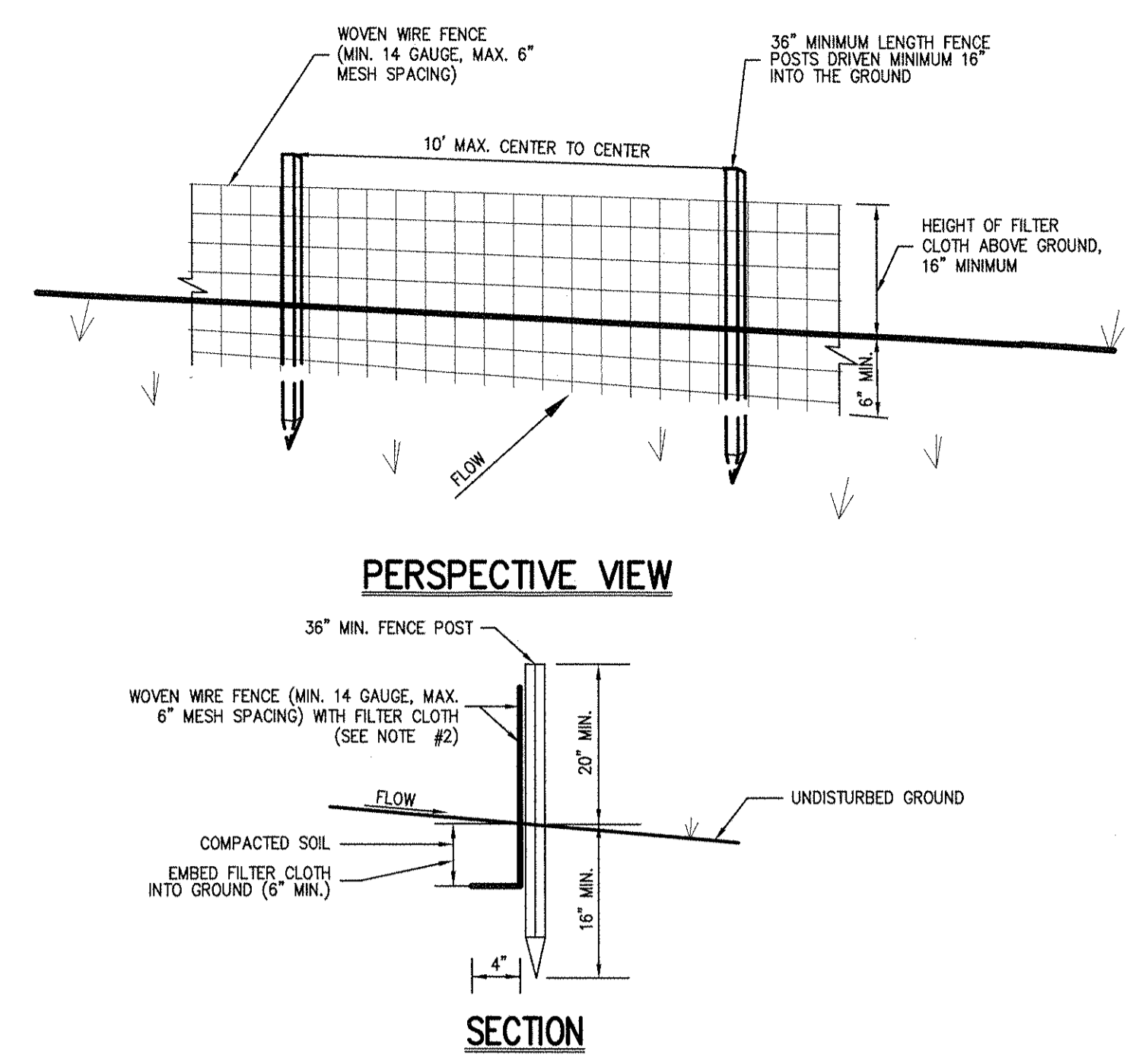
MEADOW HILL ROAD EXPANSION
MEADOW HILL ROAD
TOWN OF NEWBURGH, NY

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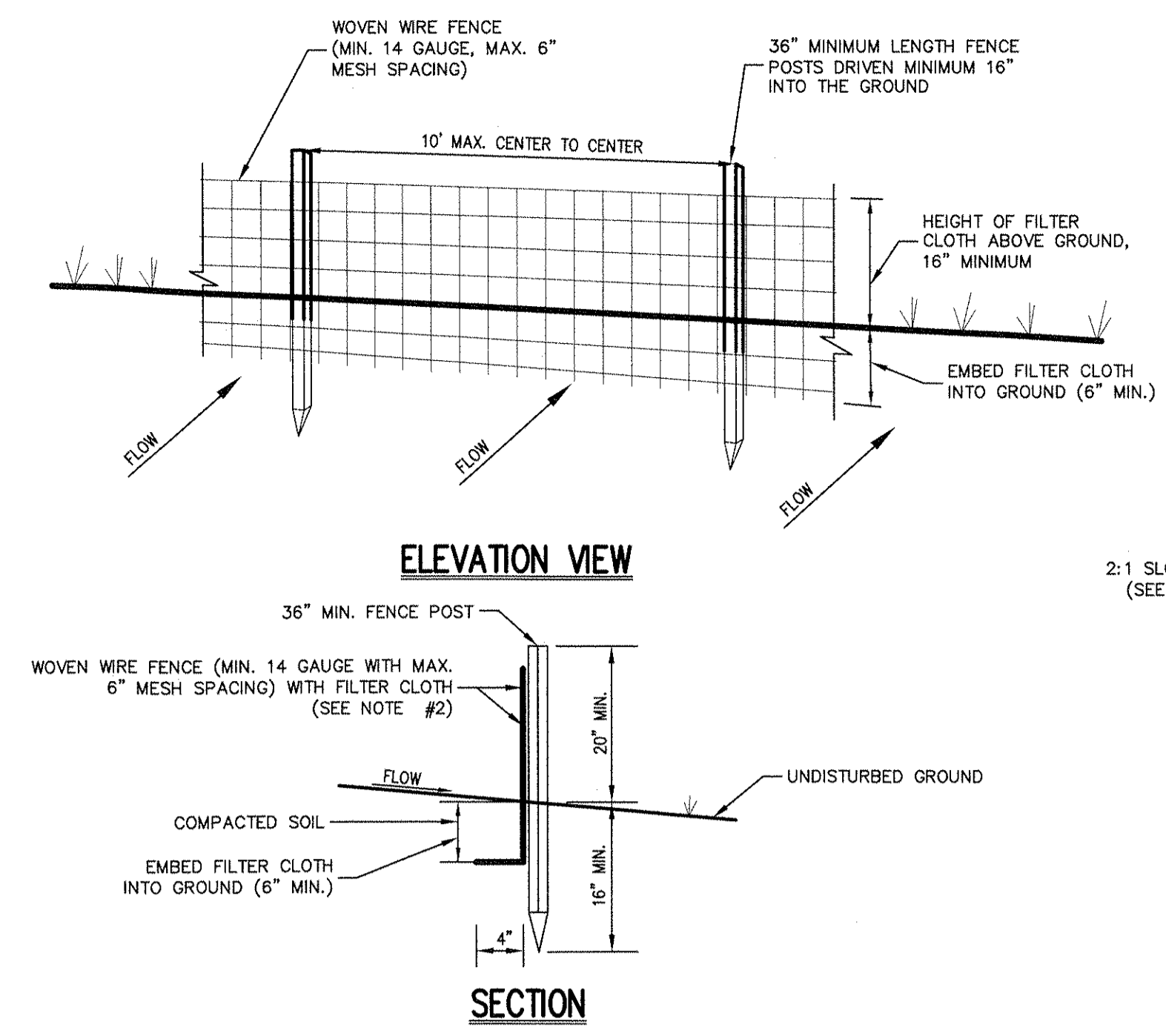
Drawn By:	MT	Approved By:	JS
Scale:	1" = 40'	Date:	05/26/2016
Project No.:	16015	Sheet No.:	SP-10

SP-10

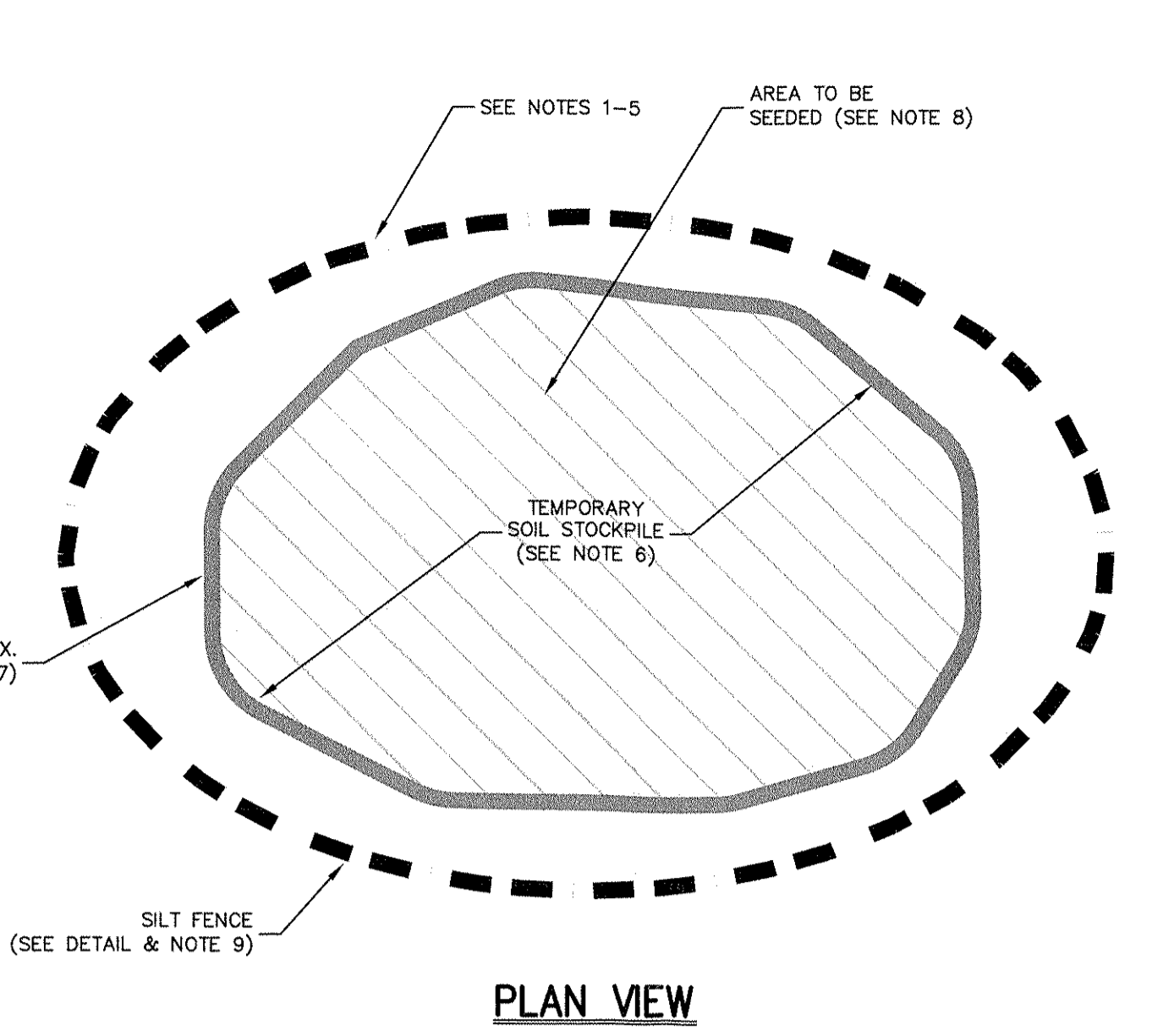
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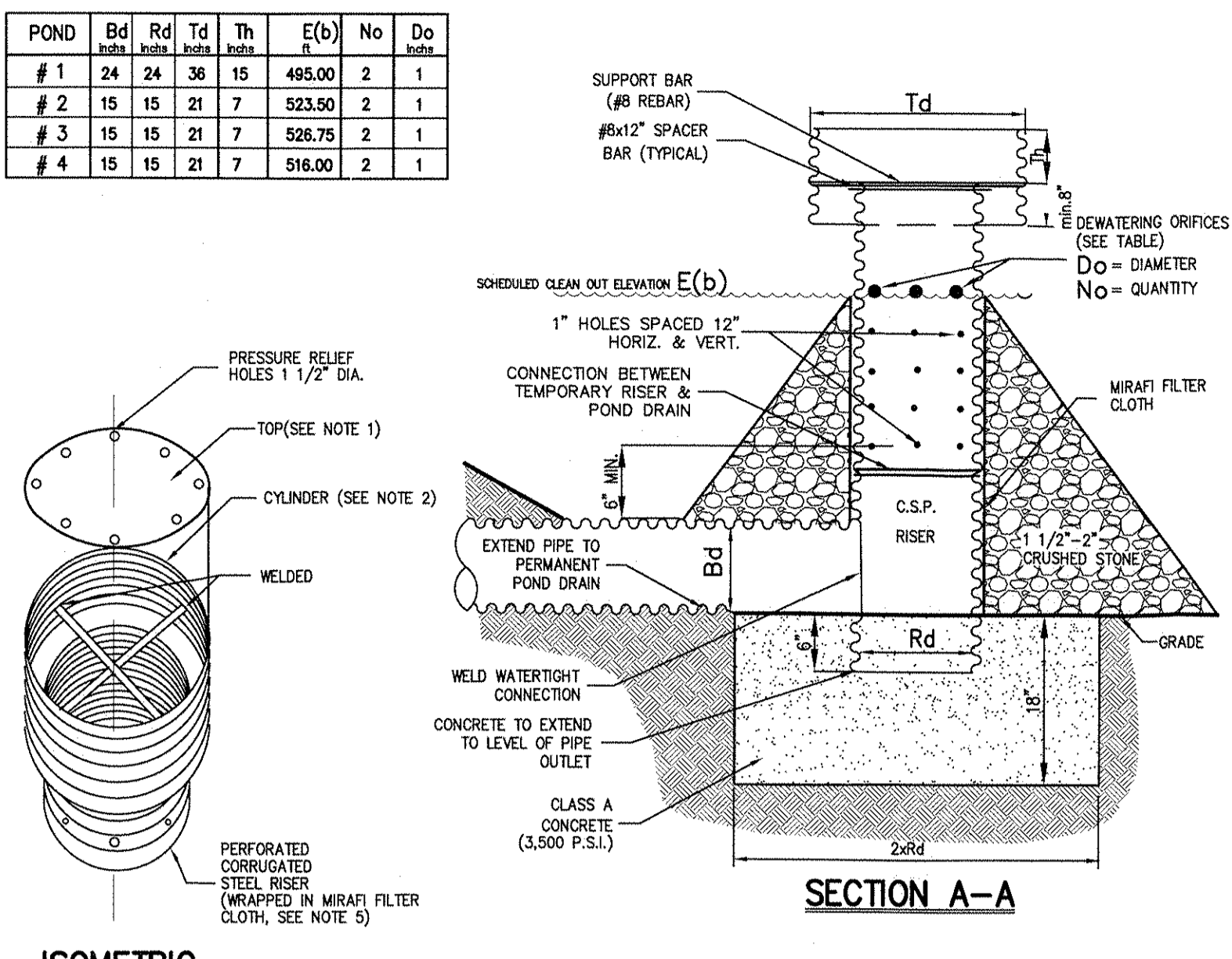
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 1\"/>



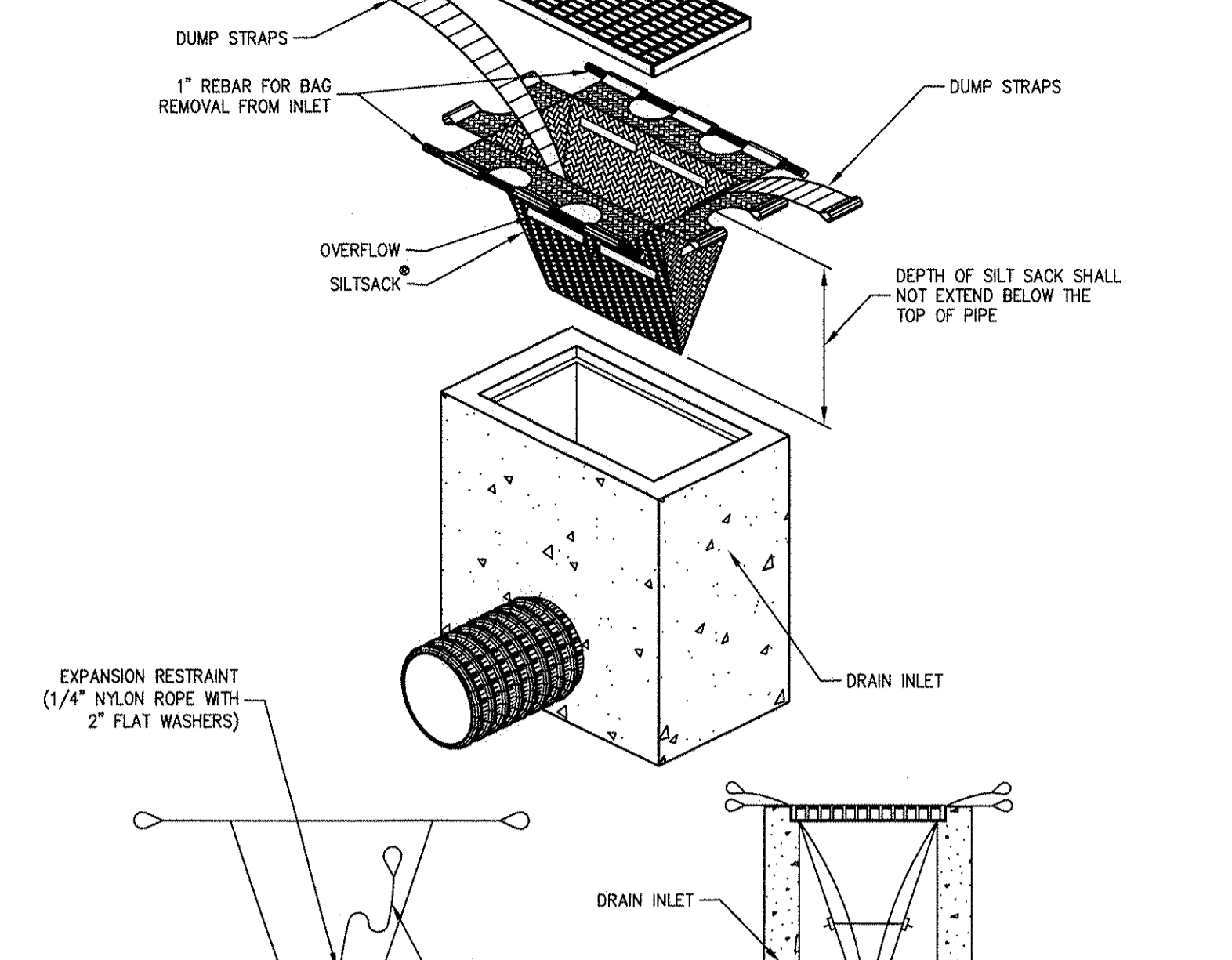
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 1\"/>



- NOTES:**
- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILED, EACH PILE SHALL BE SEEDING WITHIN 24 HOURS. PERMANENT OR ANNUAL PERGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (SERIAL #10) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



- NOTES:**
- TOP SHALL BE 12 GAUGE CORRUGATED STEEL OR 1/2\"/>



- NOTES:**
- SILT SACK SHALL BE CLEANED AFTER EVERY RAIN EVENT AND INSPECTED EVERY 2 WEEKS.

SILT FENCE

1

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

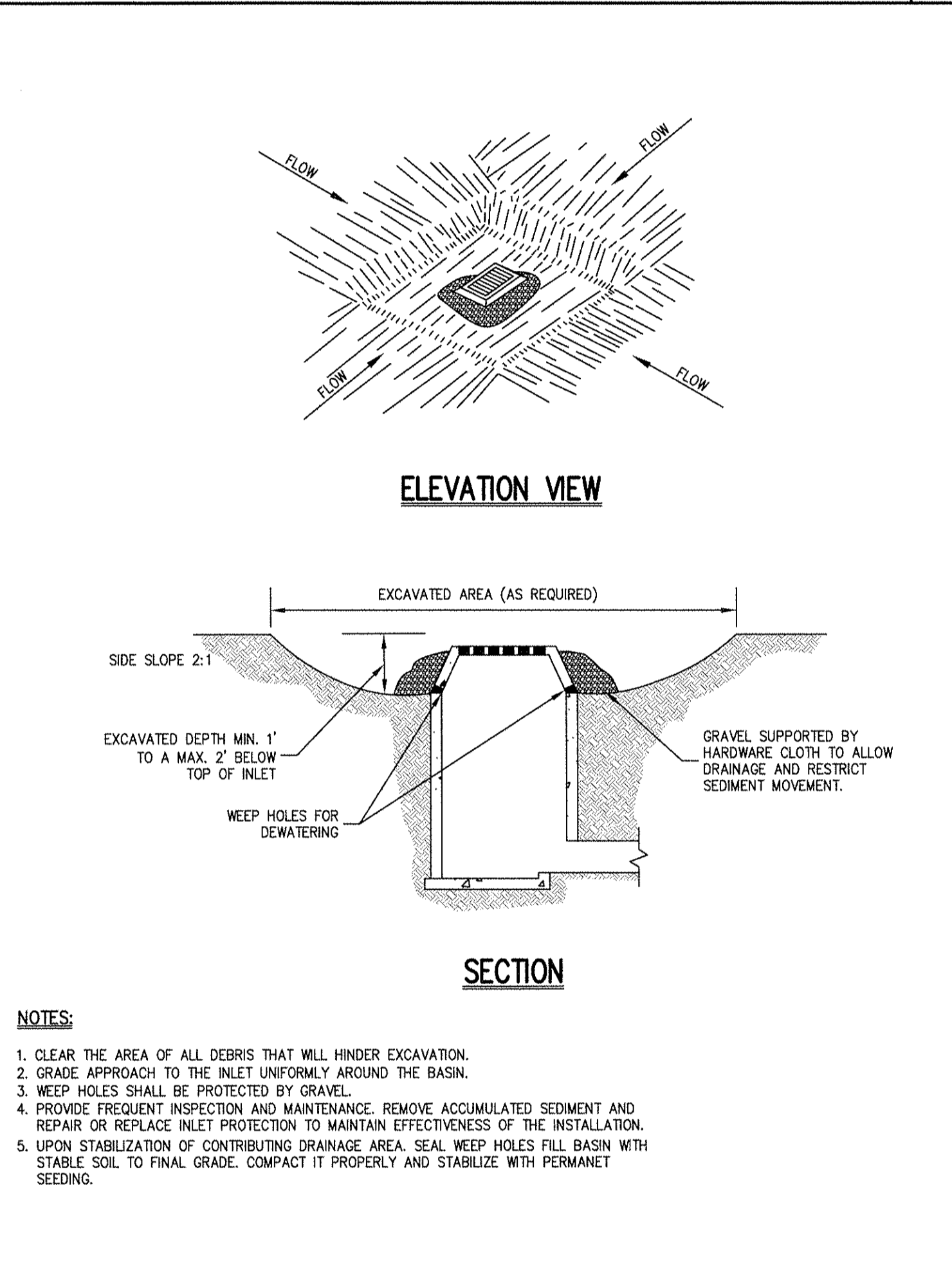
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TEMPORARY RISER & ANTI-VORTEX DEVICE

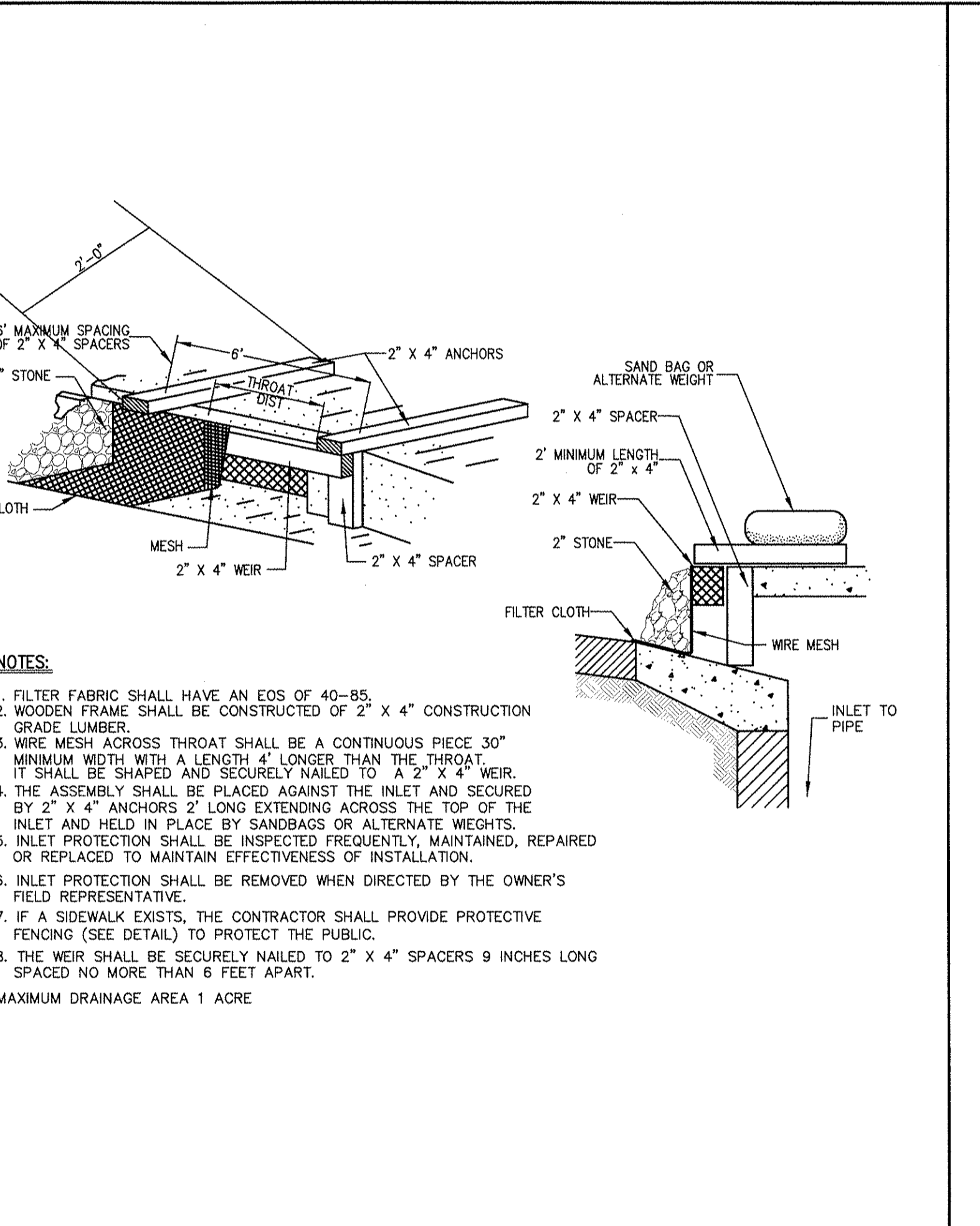
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SILT SACK (ONLY IN EXISTING ROADWAYS)

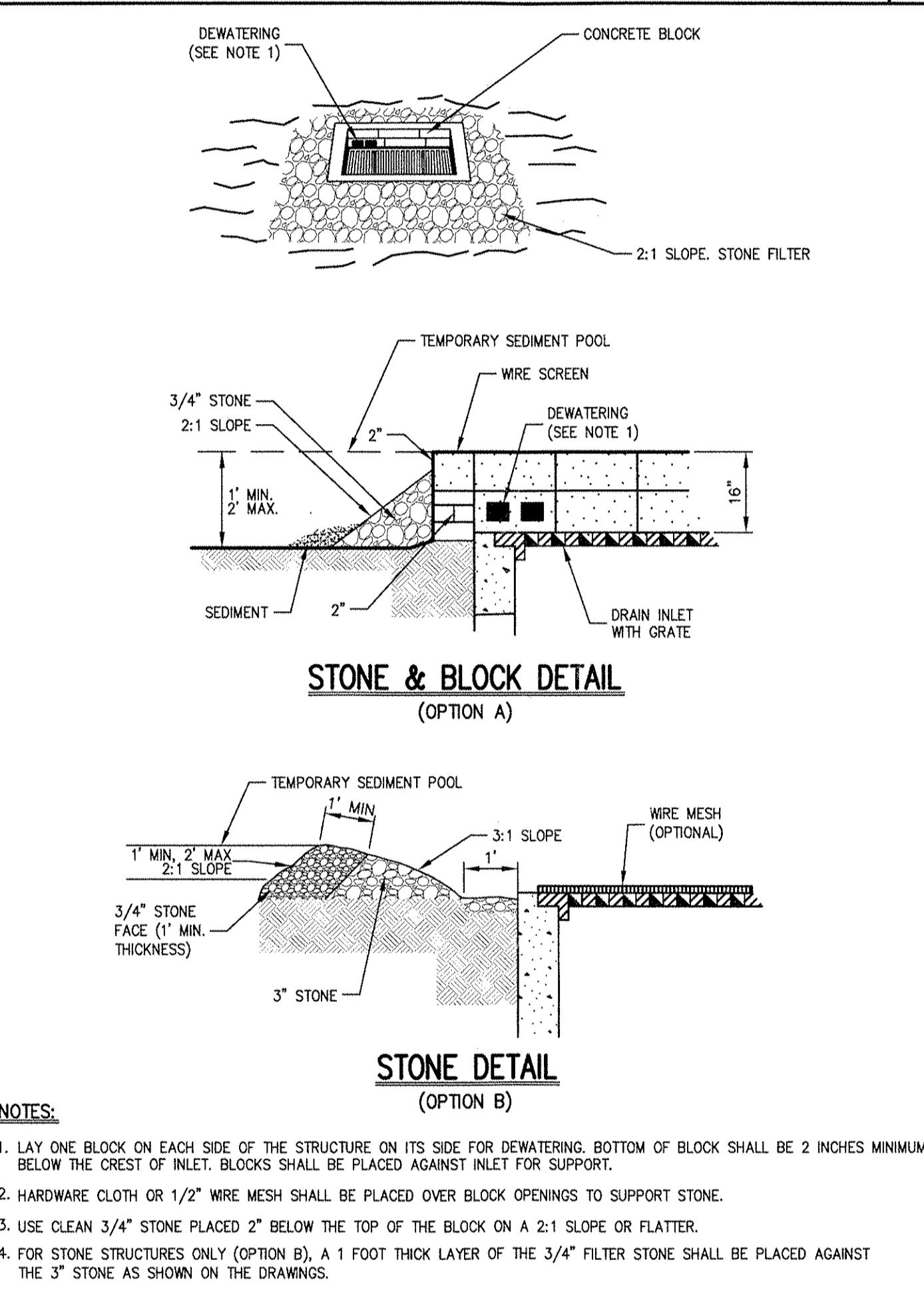
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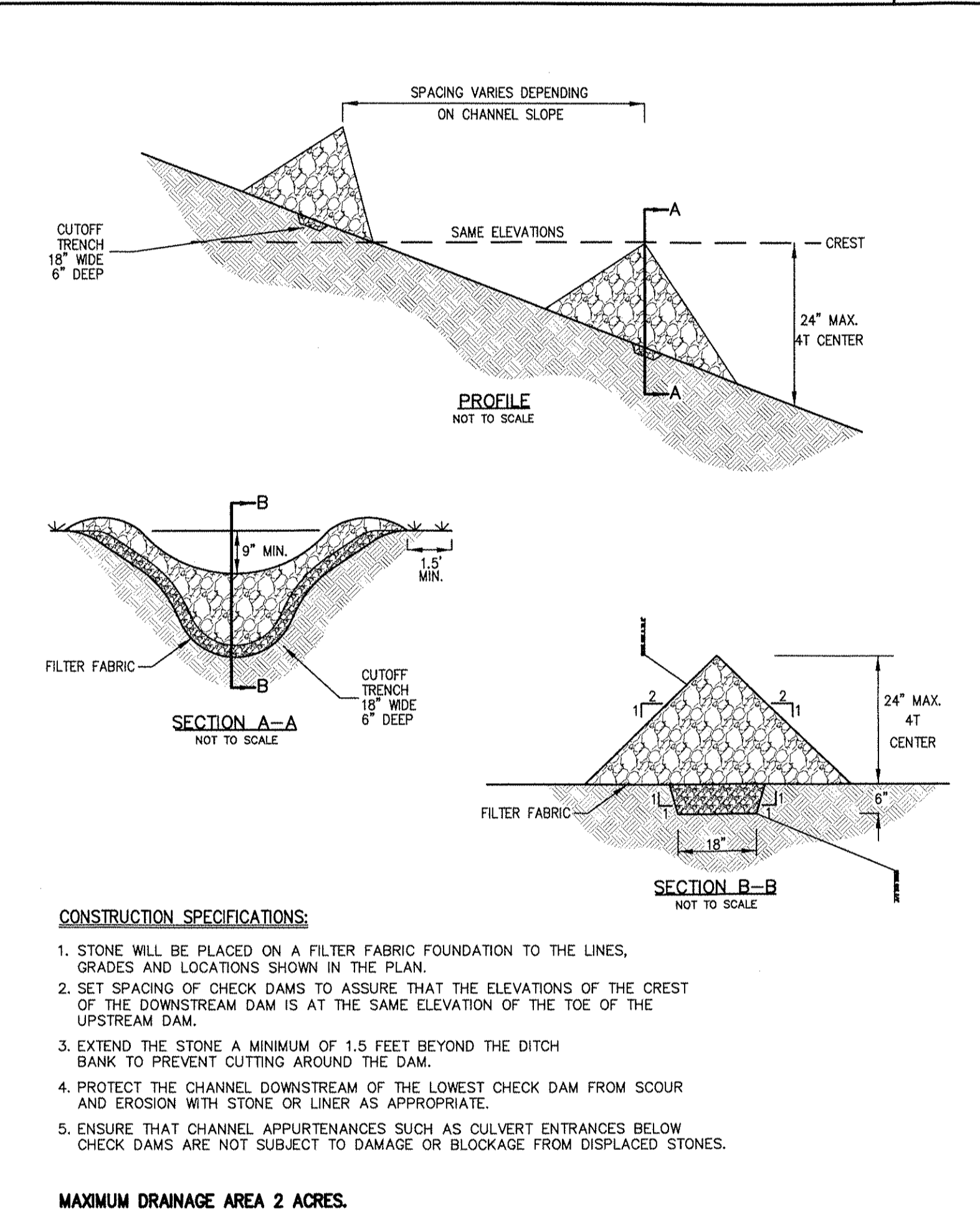
- NOTES:**
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 - GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 - WEED HOLES SHALL BE PROTECTED BY GRAVEL.
 - PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
 - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES FULL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



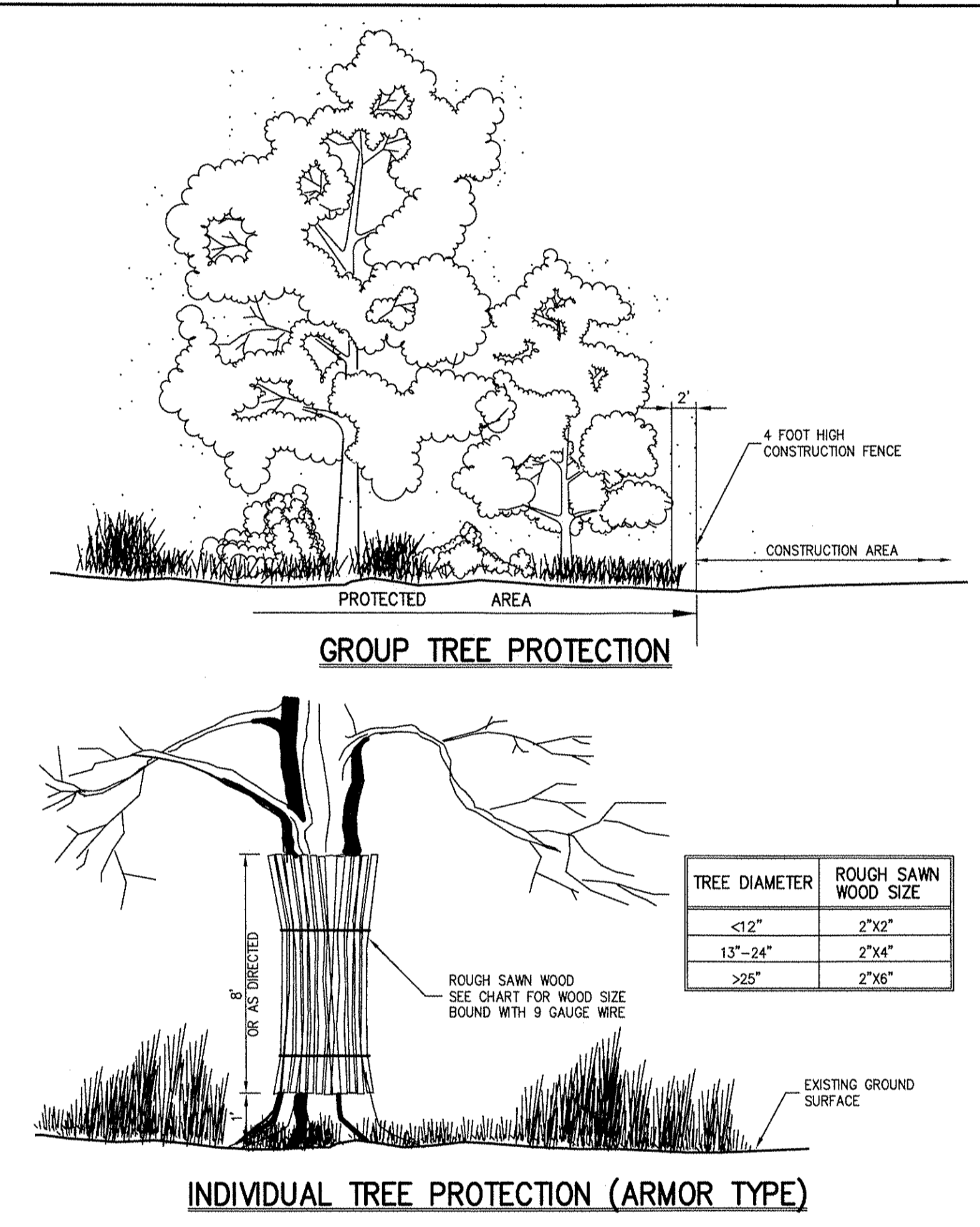
- NOTES:**
- FILTER FABRIC SHALL HAVE AN EDS OF 40-85.
 - WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>



- NOTES:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. BOTTOM OF BLOCK SHALL BE 2 INCHES MINIMUM BELOW THE CREST OF INLET BLOCKS PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2\"/>



- CONSTRUCTION SPECIFICATIONS:**
- STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 10 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRIES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.



- NOTES:**
- ROUGH SAWN WOOD SHALL BE CHART FOR WOOD SIZE SOUND WITH 9 GAUGE WIRE.

EXCAVATED DRAIN INLET PROTECTION

5

CURB DROP INLET PROTECTION STRUCTURE

6

STONE & BLOCK DRAIN INLET PROTECTION

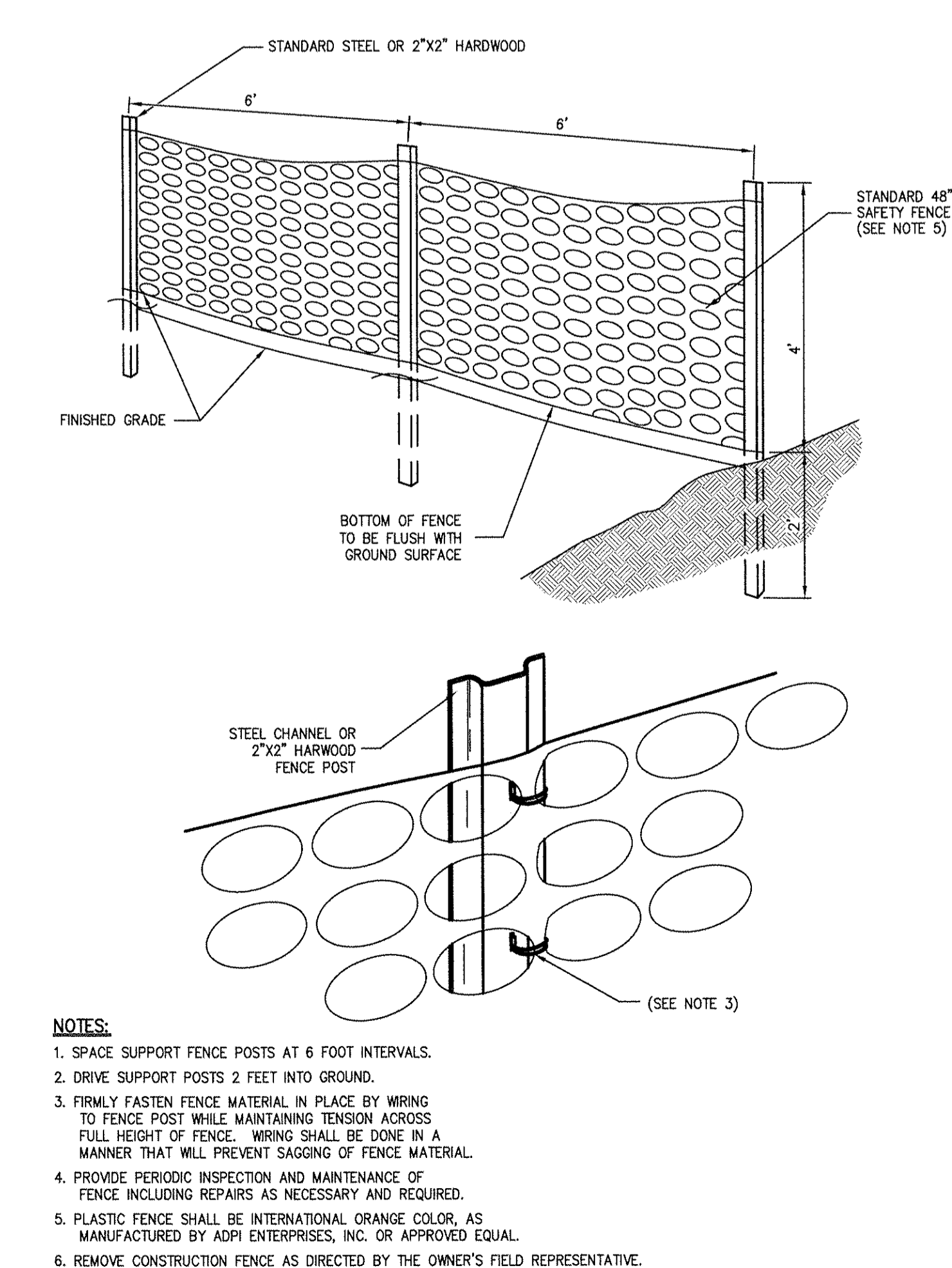
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STONE CHECK DAM

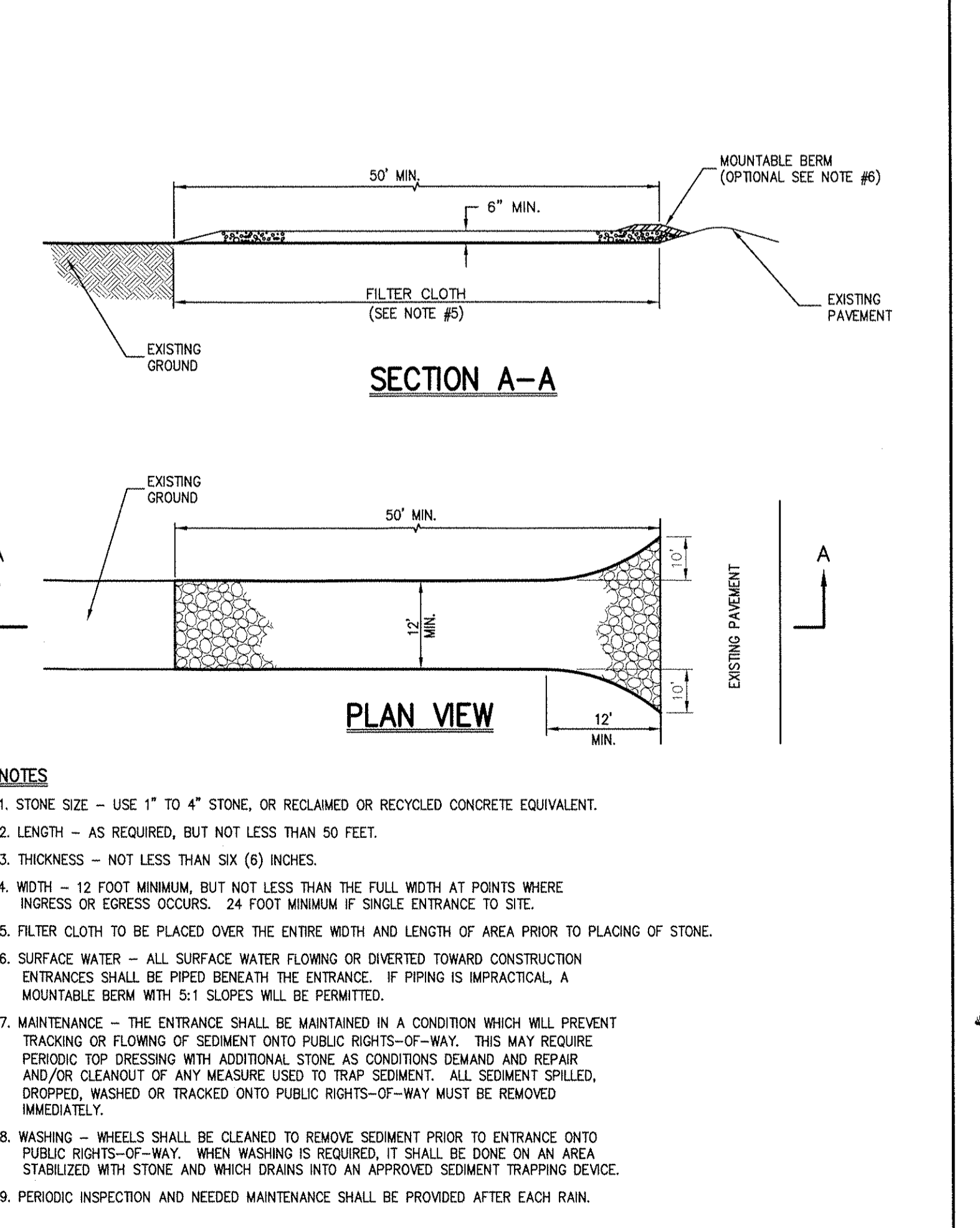
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TREE PROTECTION

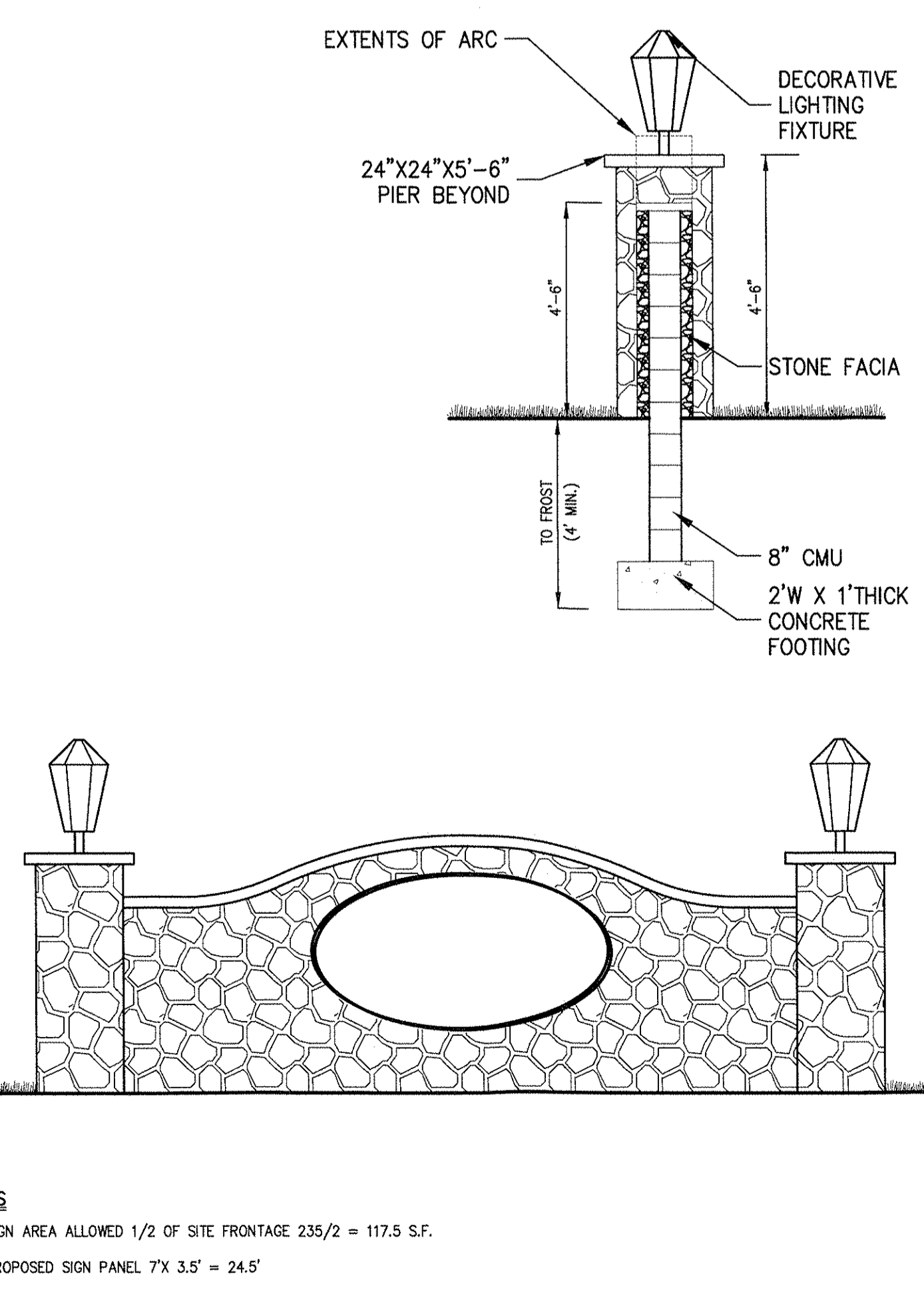
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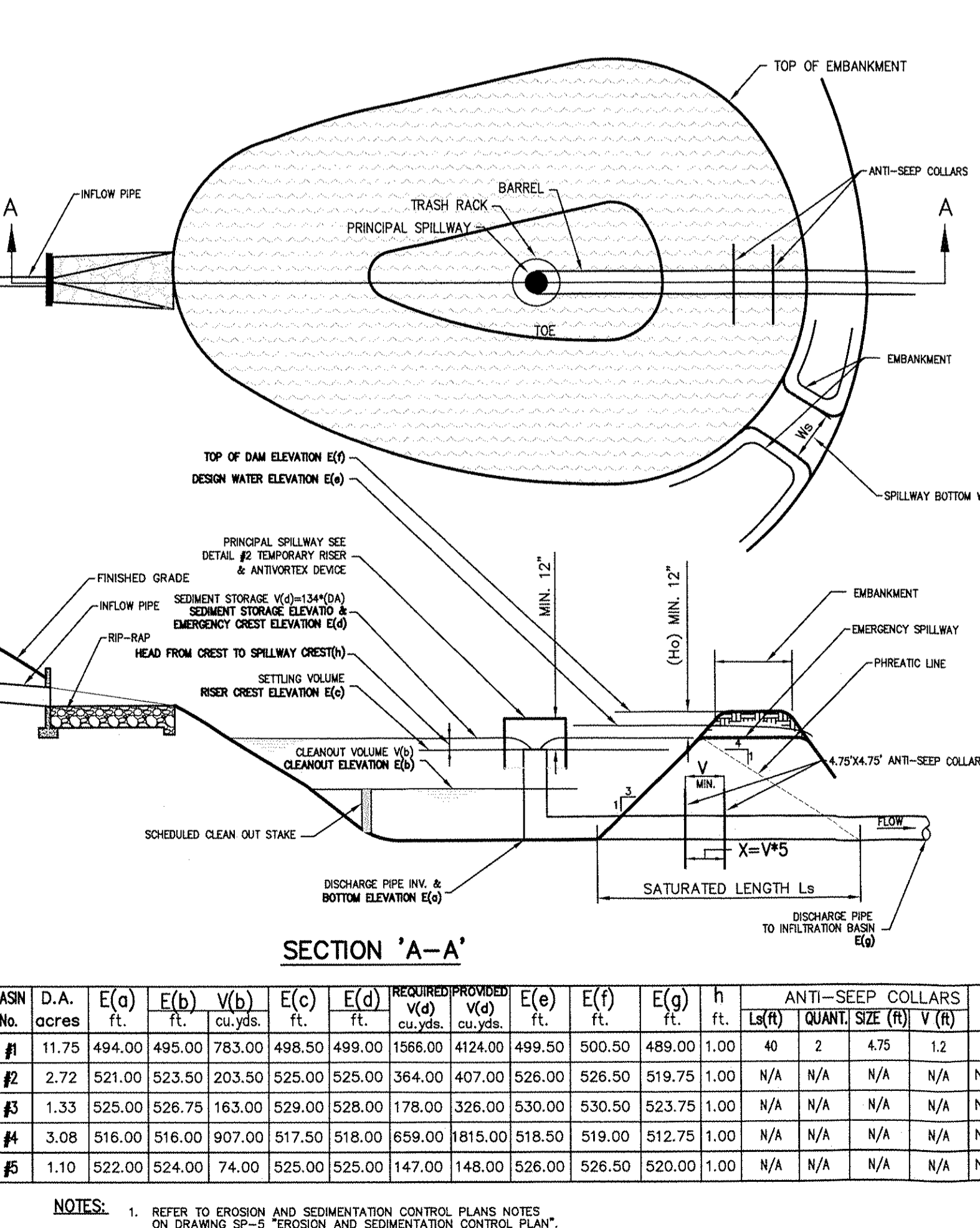
- NOTES:**
- SUPPORT FENCE POSTS AT 8 FOOT INTERVALS.
 - SUPPORT POSTS 2 FEET INTO GROUND.
 - FRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POSTS WHILE MAINTAINING 1/8\"/>



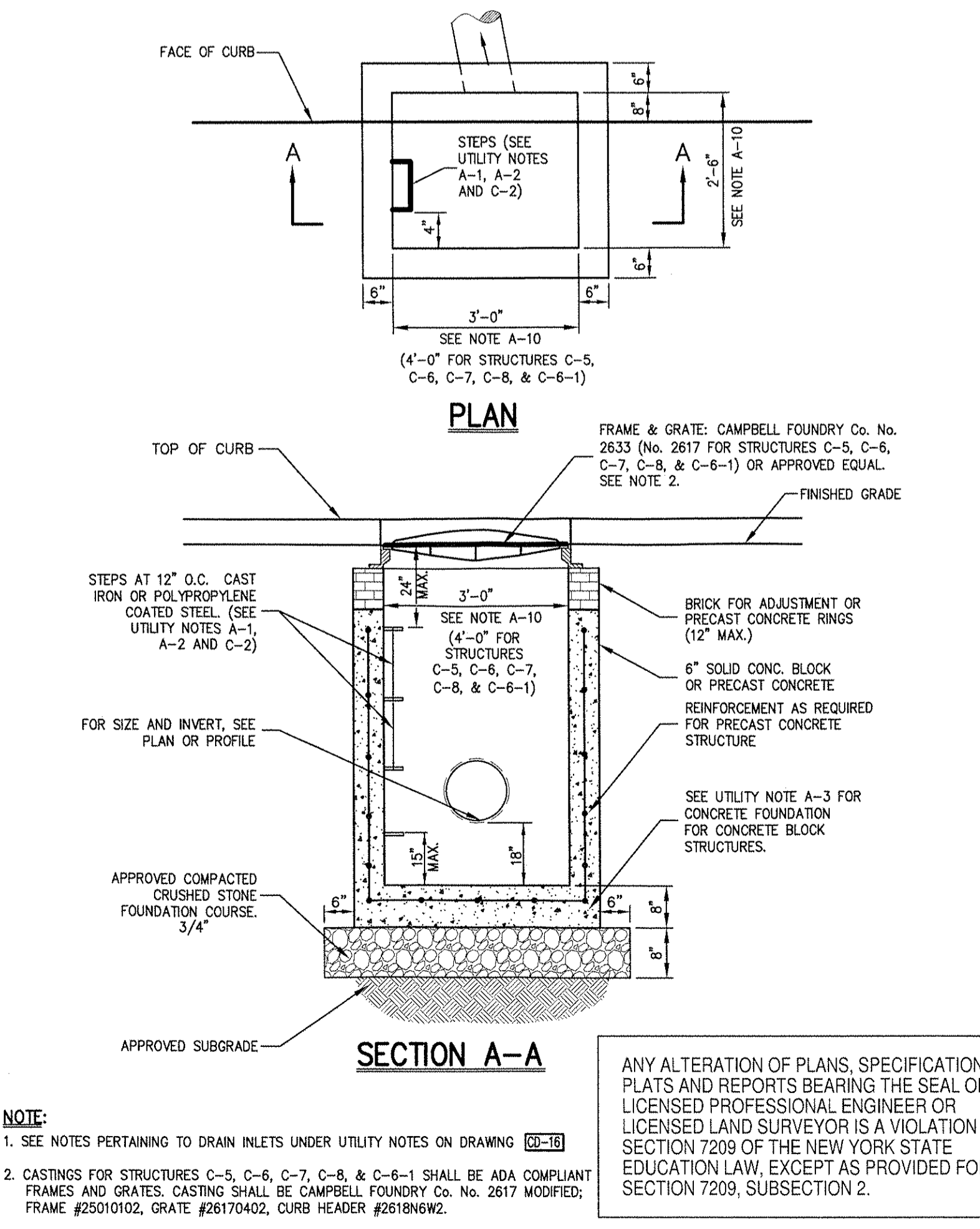
- NOTES:**
- STONE SIZE - USE 1\"/>



- NOTES:**
- SKIN AREA ALLOWED 1/2 OF SITE FRONTAGE 235/2 = 117.5 SF.
 - PROPOSED SIGN PLAN 7 X 3.5 = 24.5'



- NOTES:**
- SEE TO DESIGN AND DIMENSIONATION CONTROL PLANS NOTES ON DRAWING SP-2 \"PROBES AND SEDIMENTATION CONTROL PLAN\".



- NOTES:**
- CASTINGS FOR STRUCTURES C-3, C-4, C-7, C-8, & C-6-1 SHALL BE ADA COMPLIANT FRAME AND GRATES. CASTING SHALL BE CAMPBELL FOUNDRY CO. No. 2617 MODIFIED. FRAME: 8000SERIE, GRATE: 8000SERIE, CURB: 8000SERIE.

CONSTRUCTION FENCE

10

STABILIZED CONSTRUCTION ENTRANCE

11

DECORATIVE STONE WALL & PIERS

12

TEMPORARY SEDIMENT BASIN DETAIL

13

DRAIN INLET (TYPE CI)

14

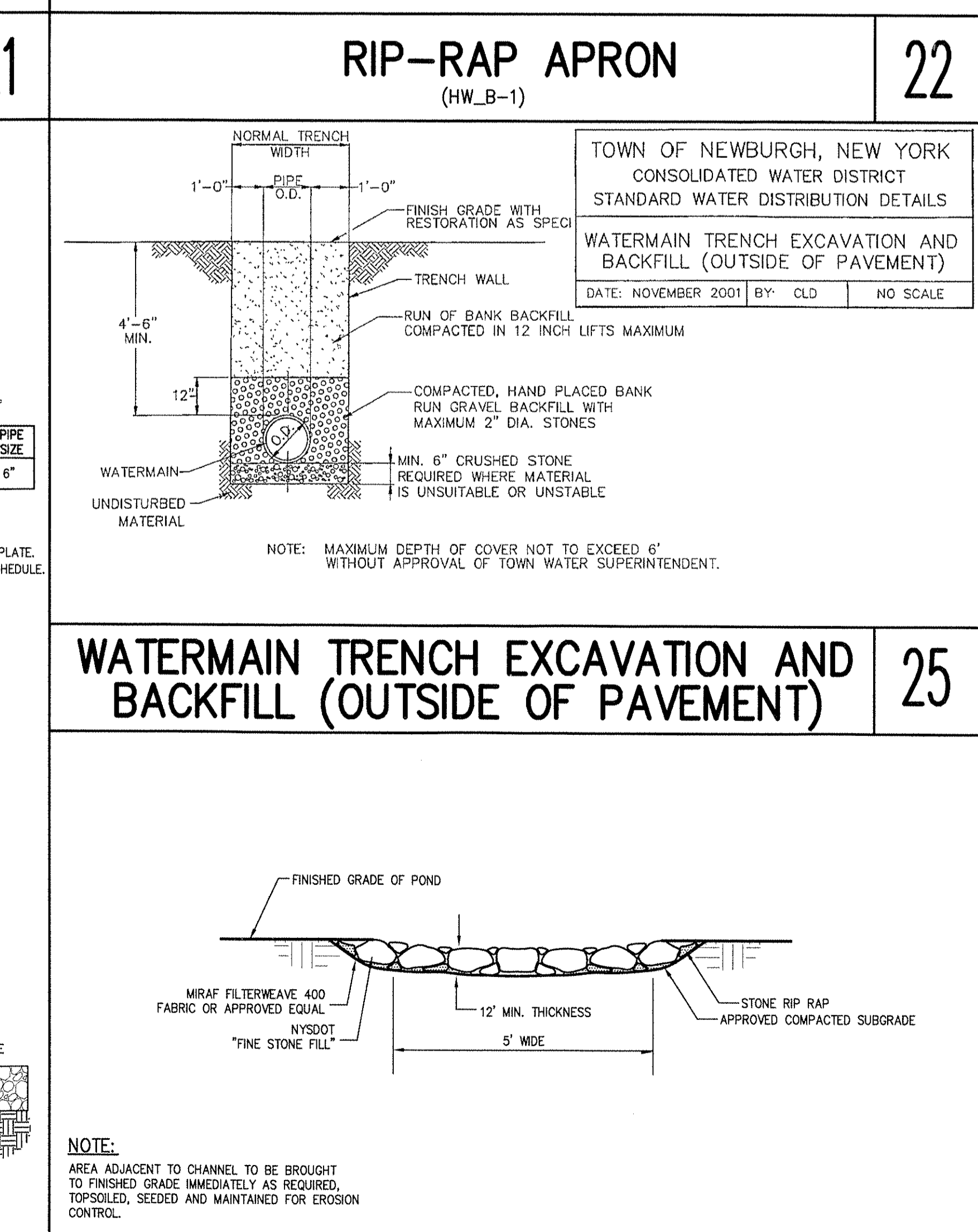
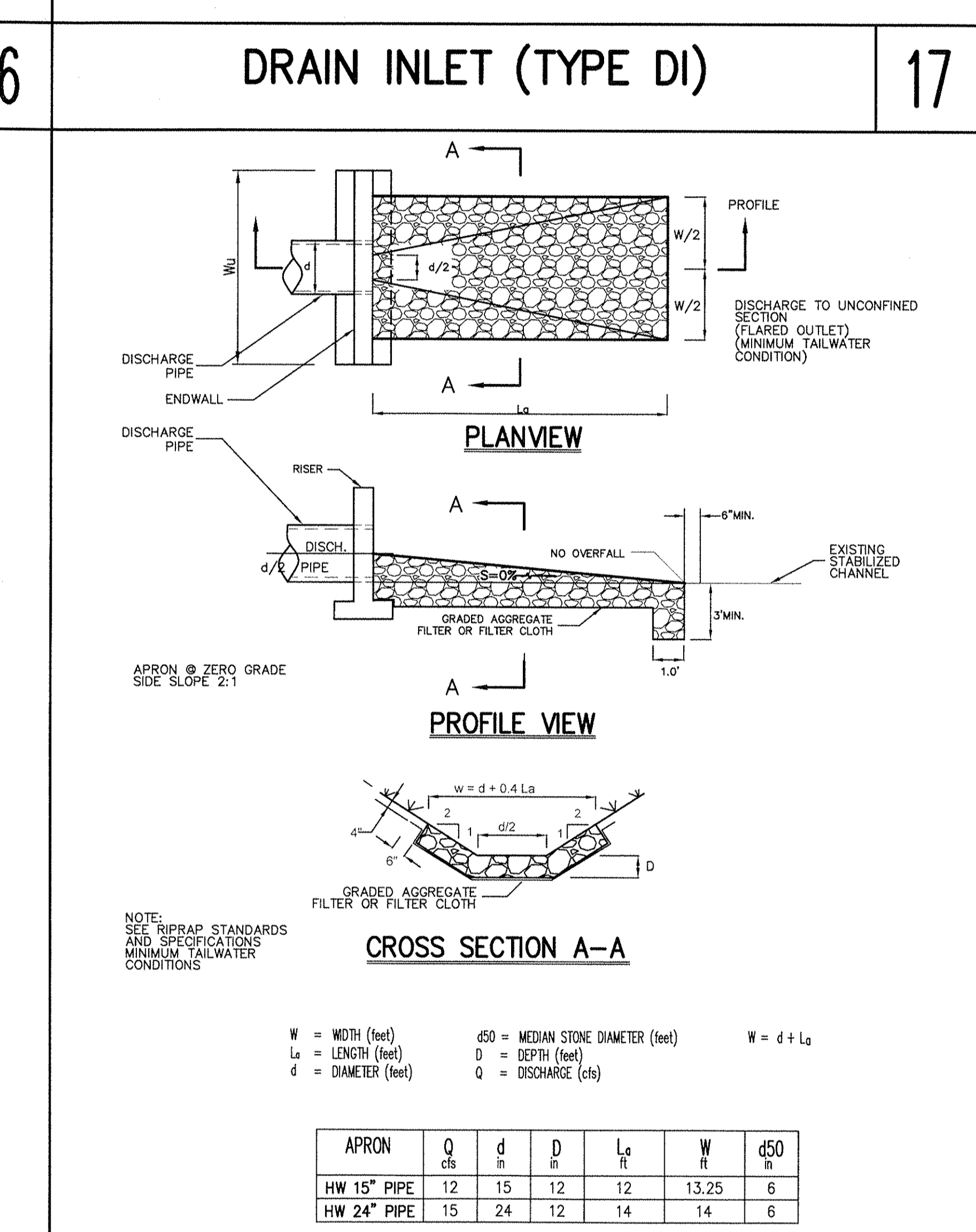
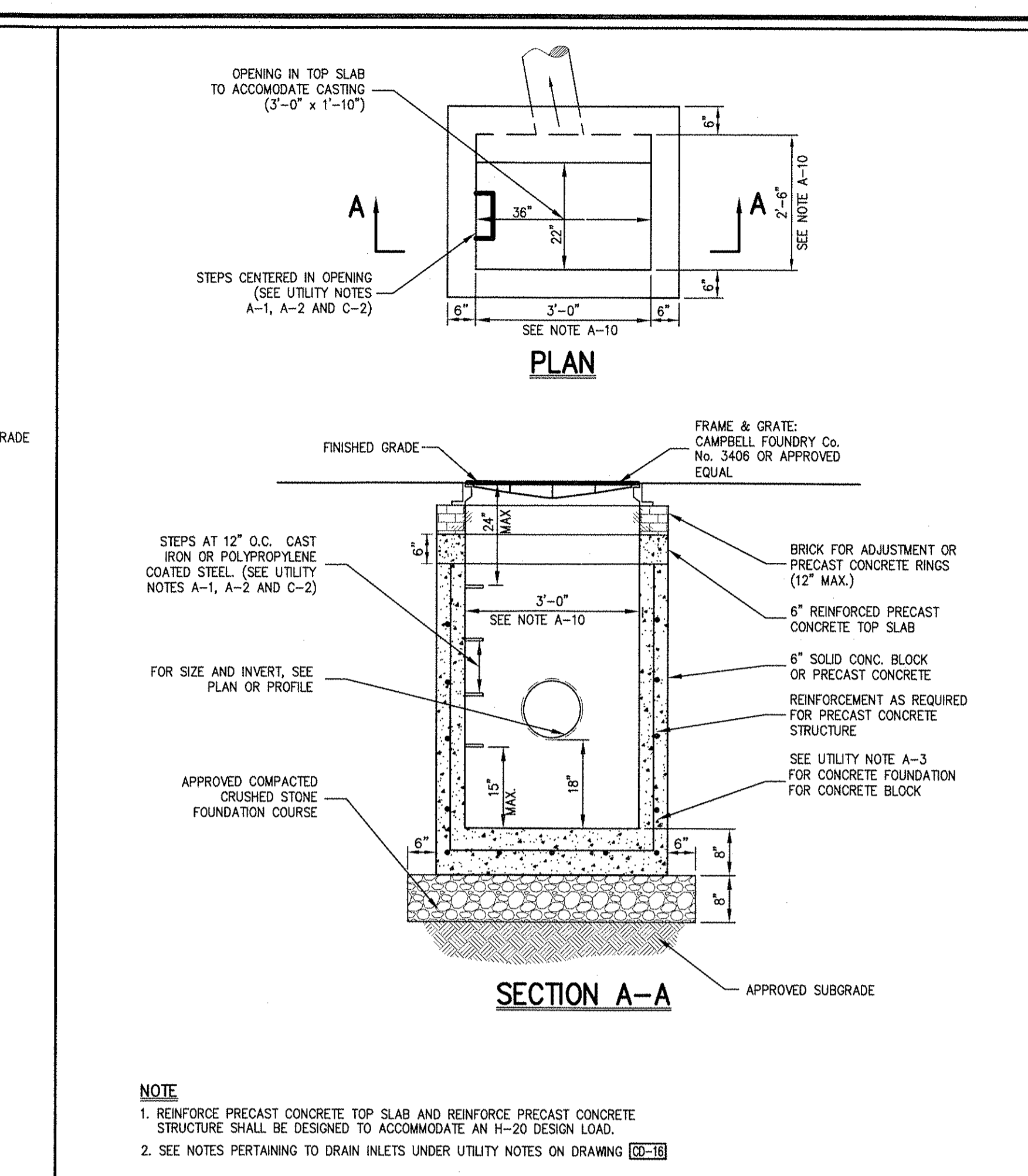
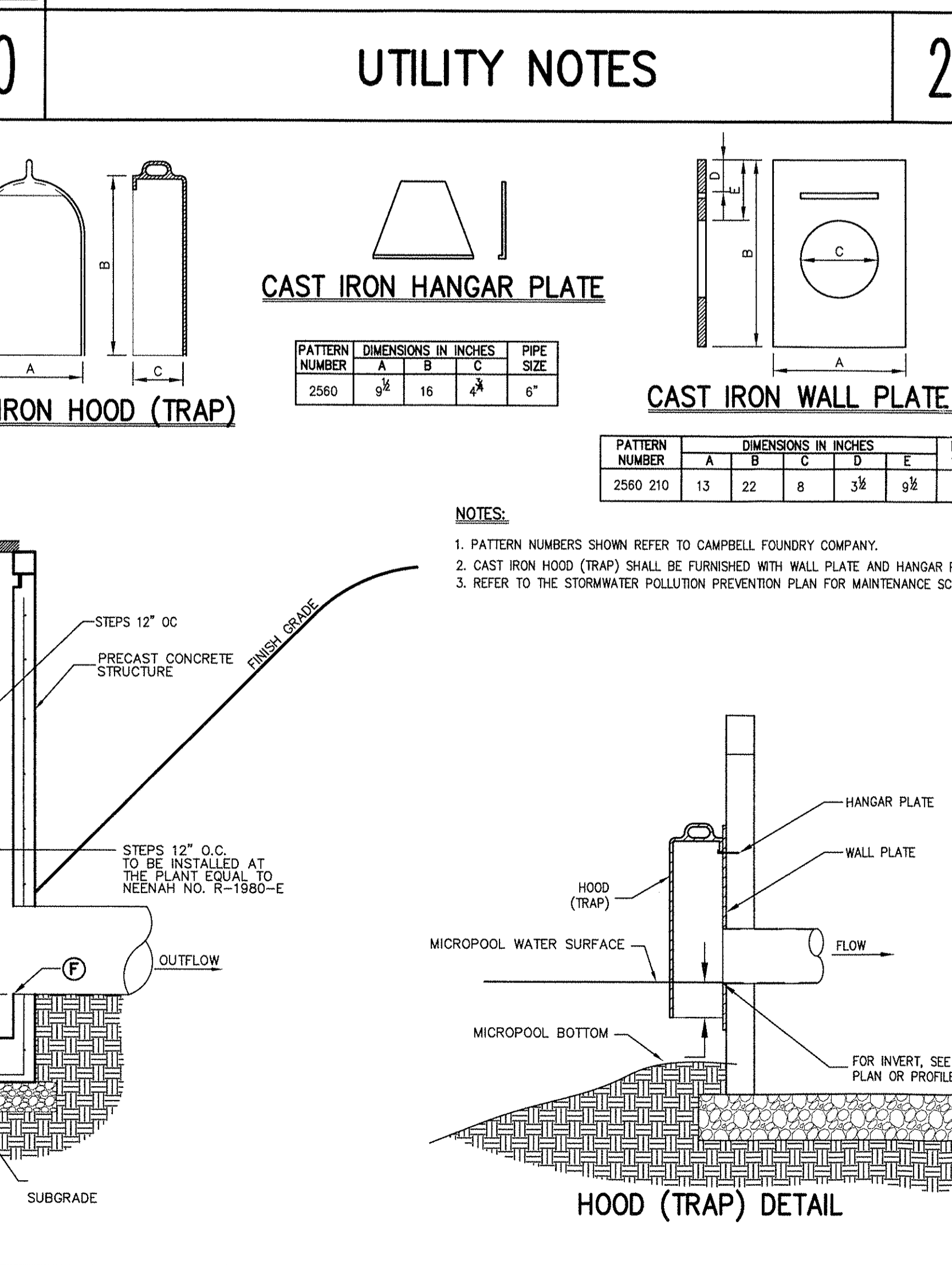
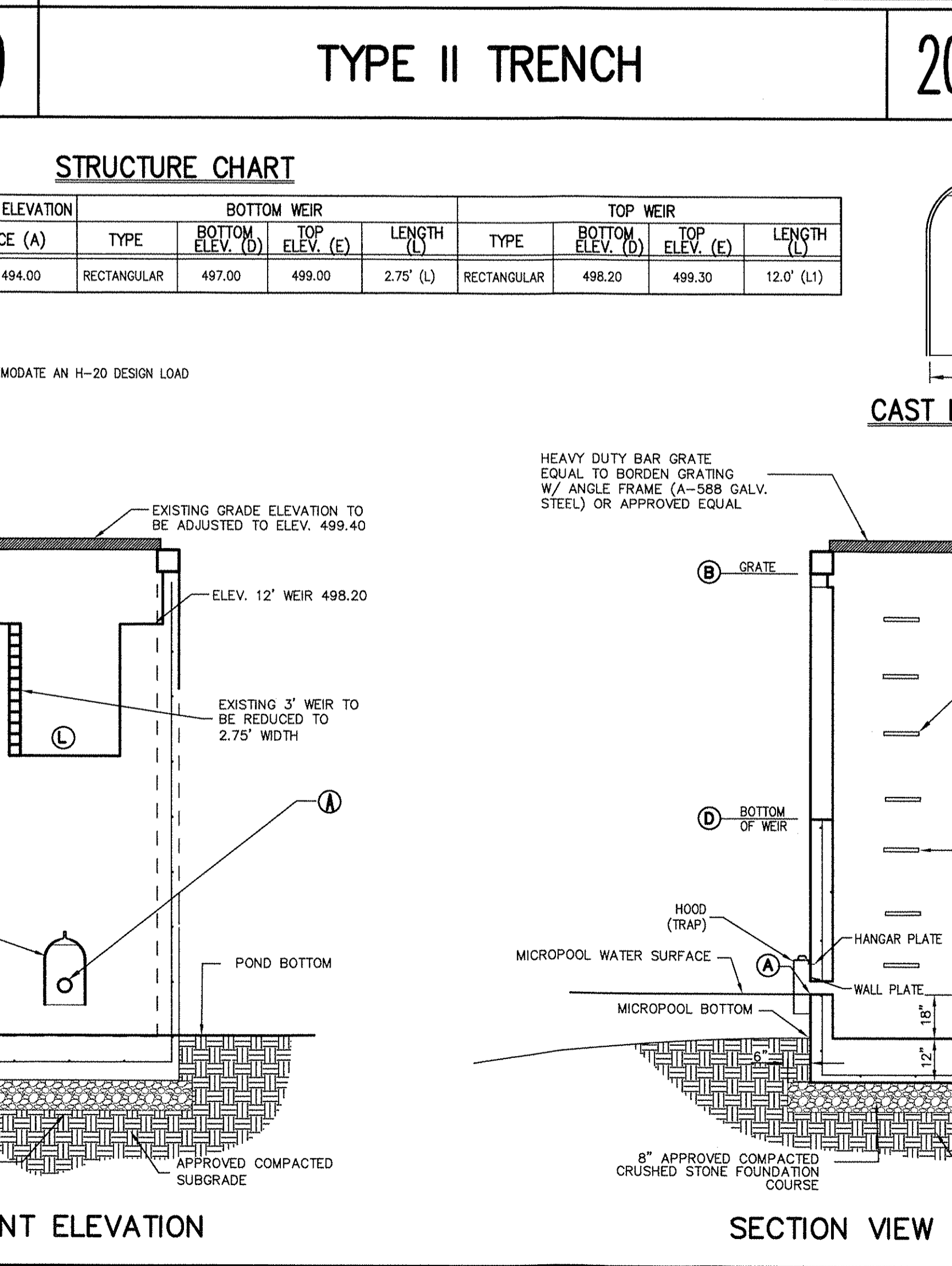
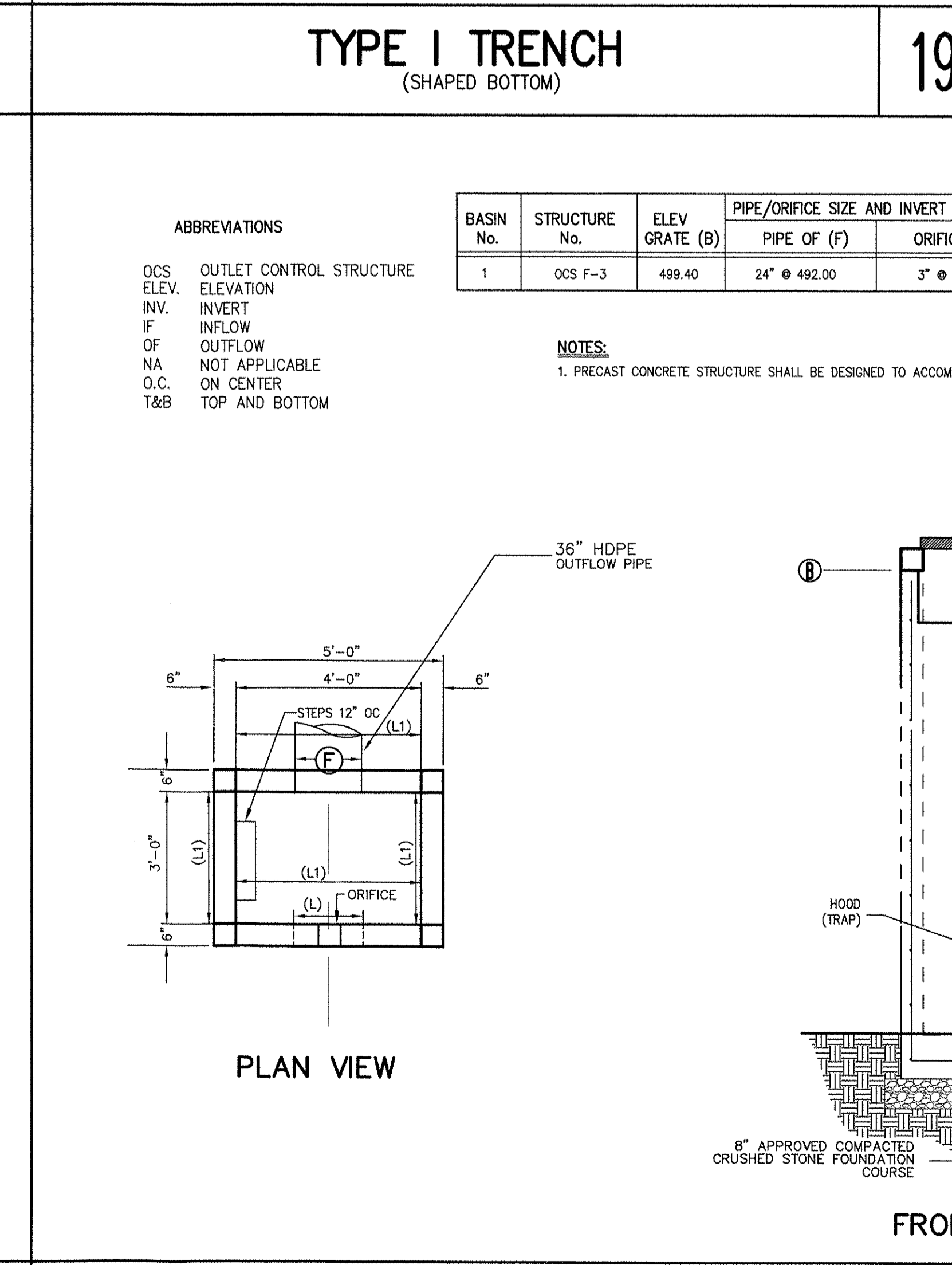
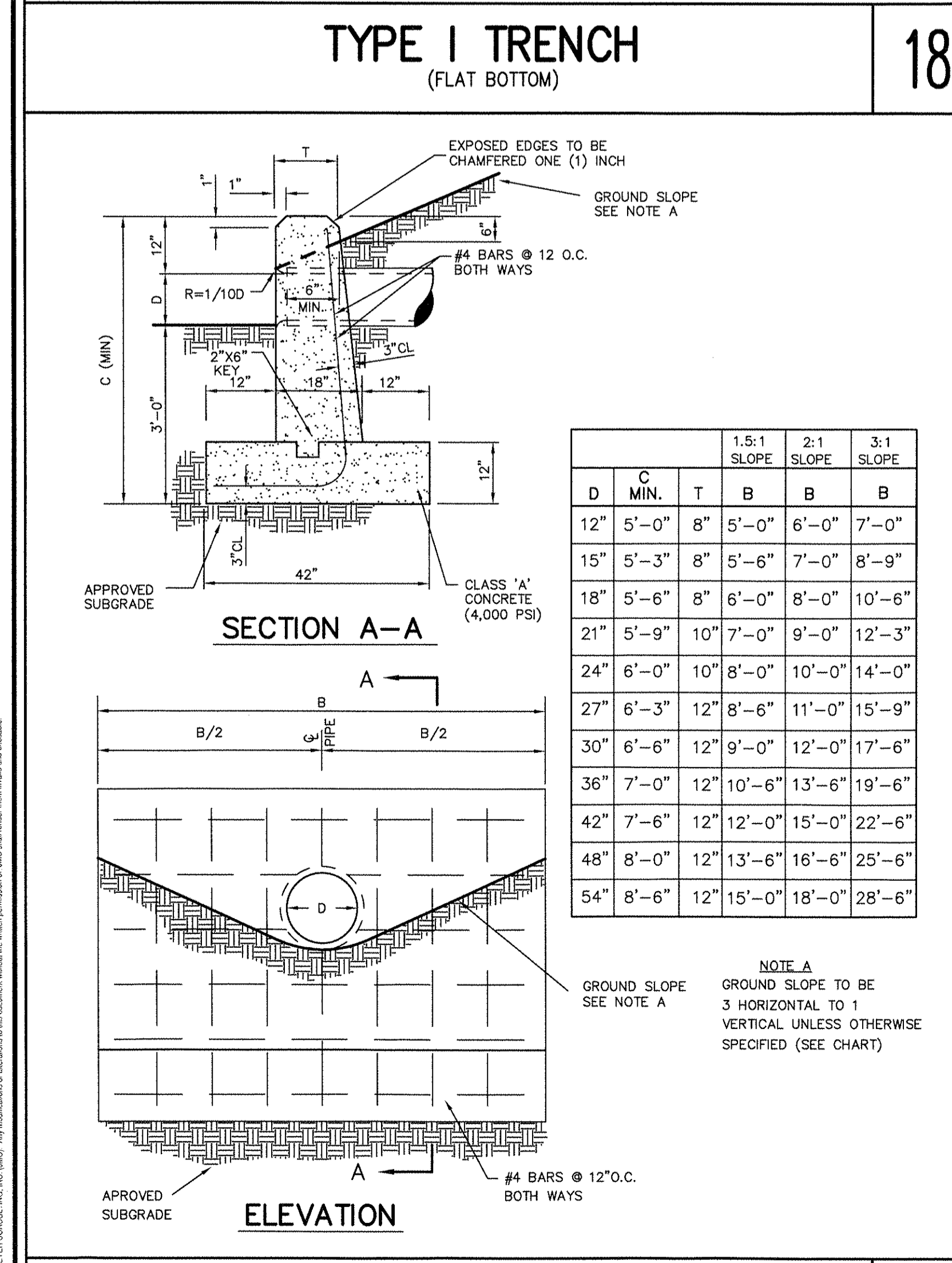
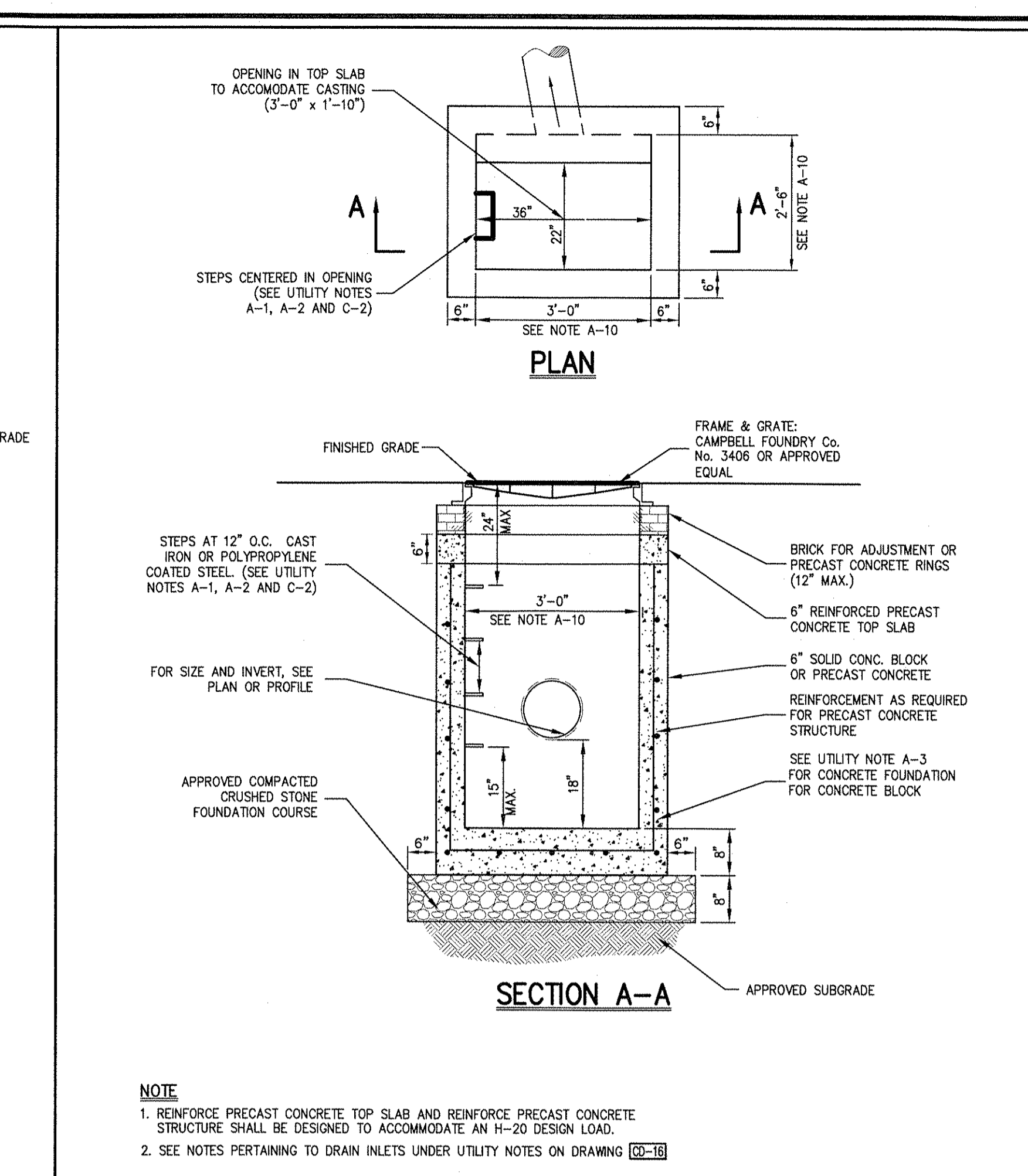
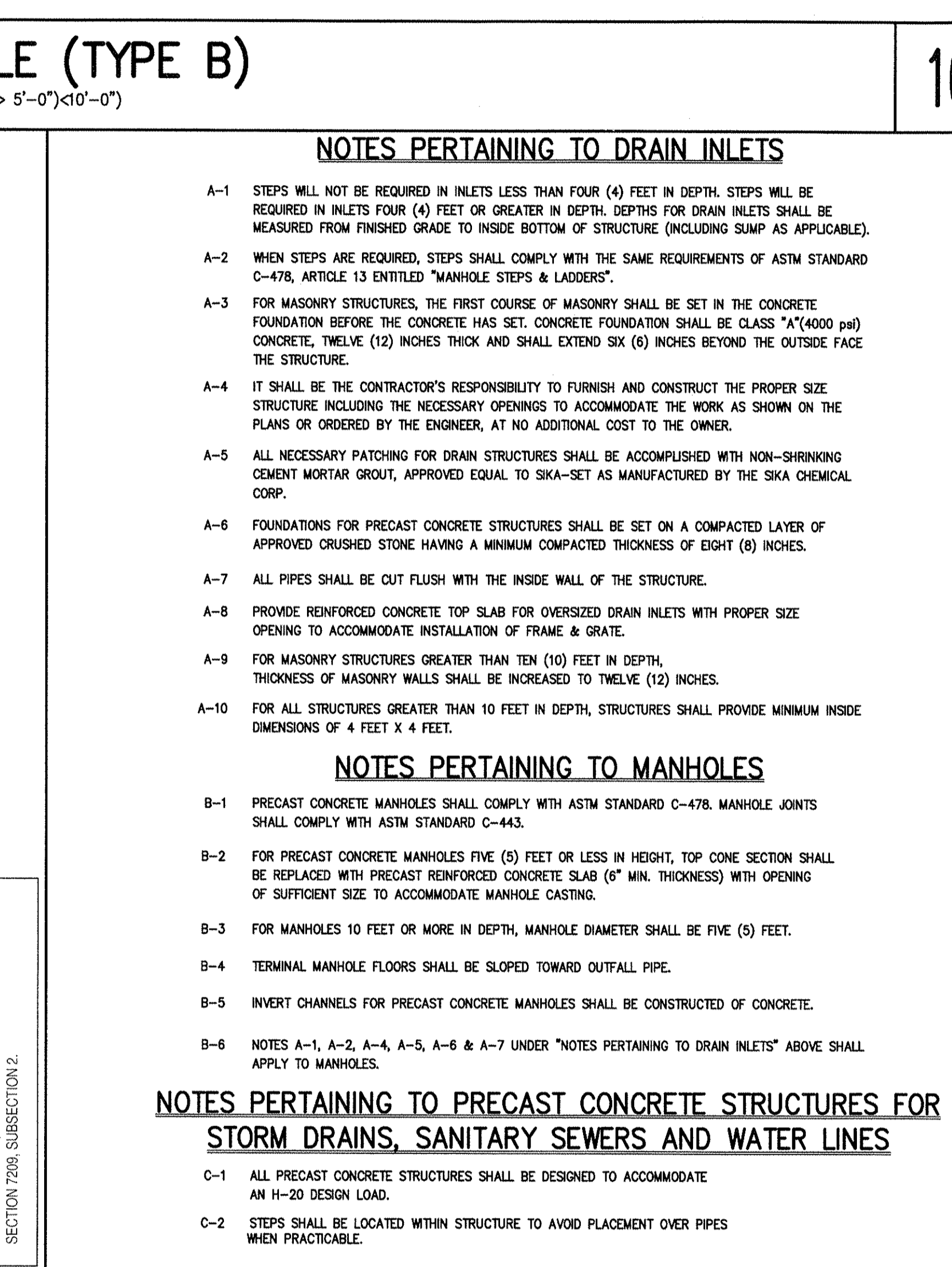
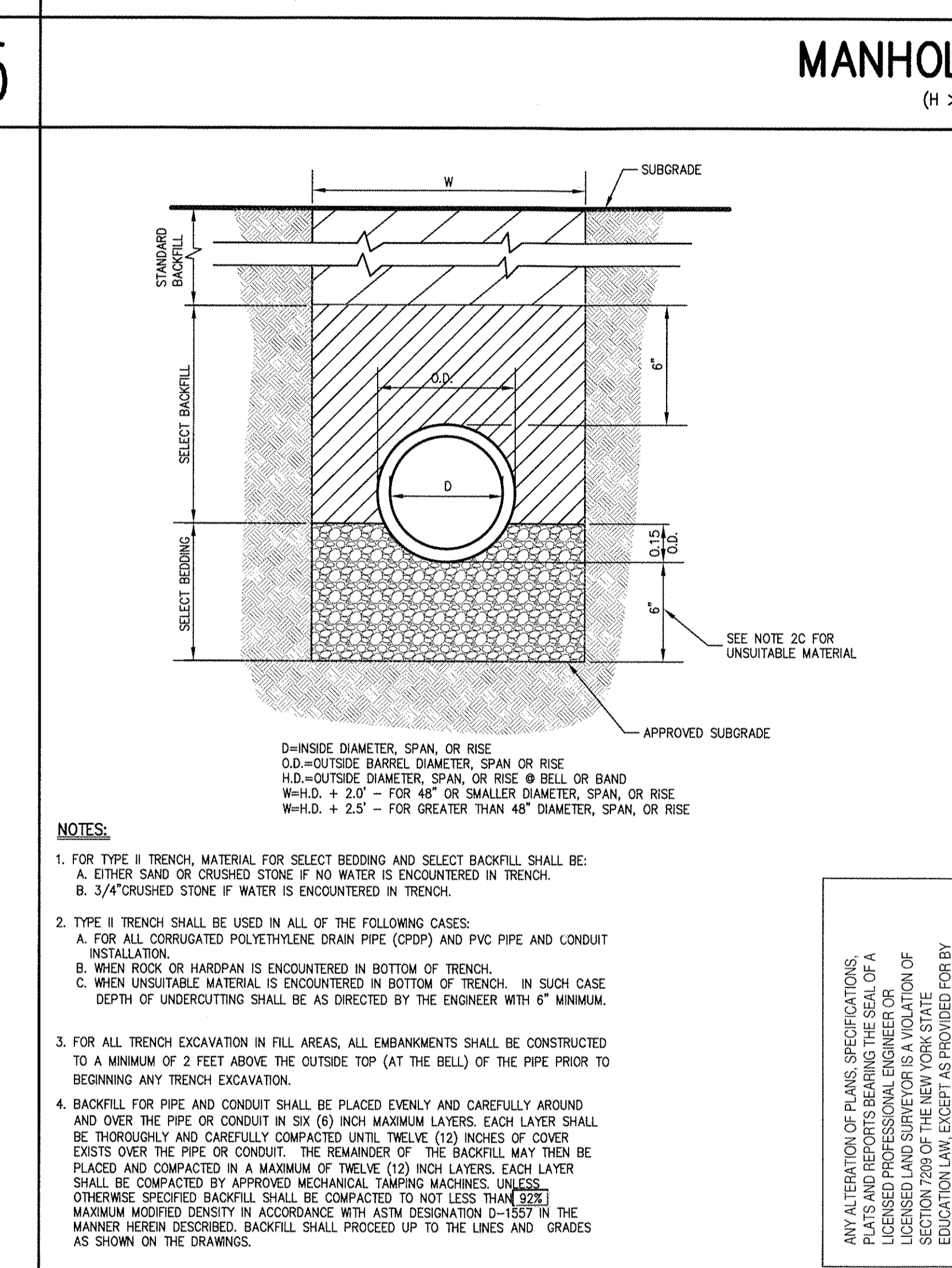
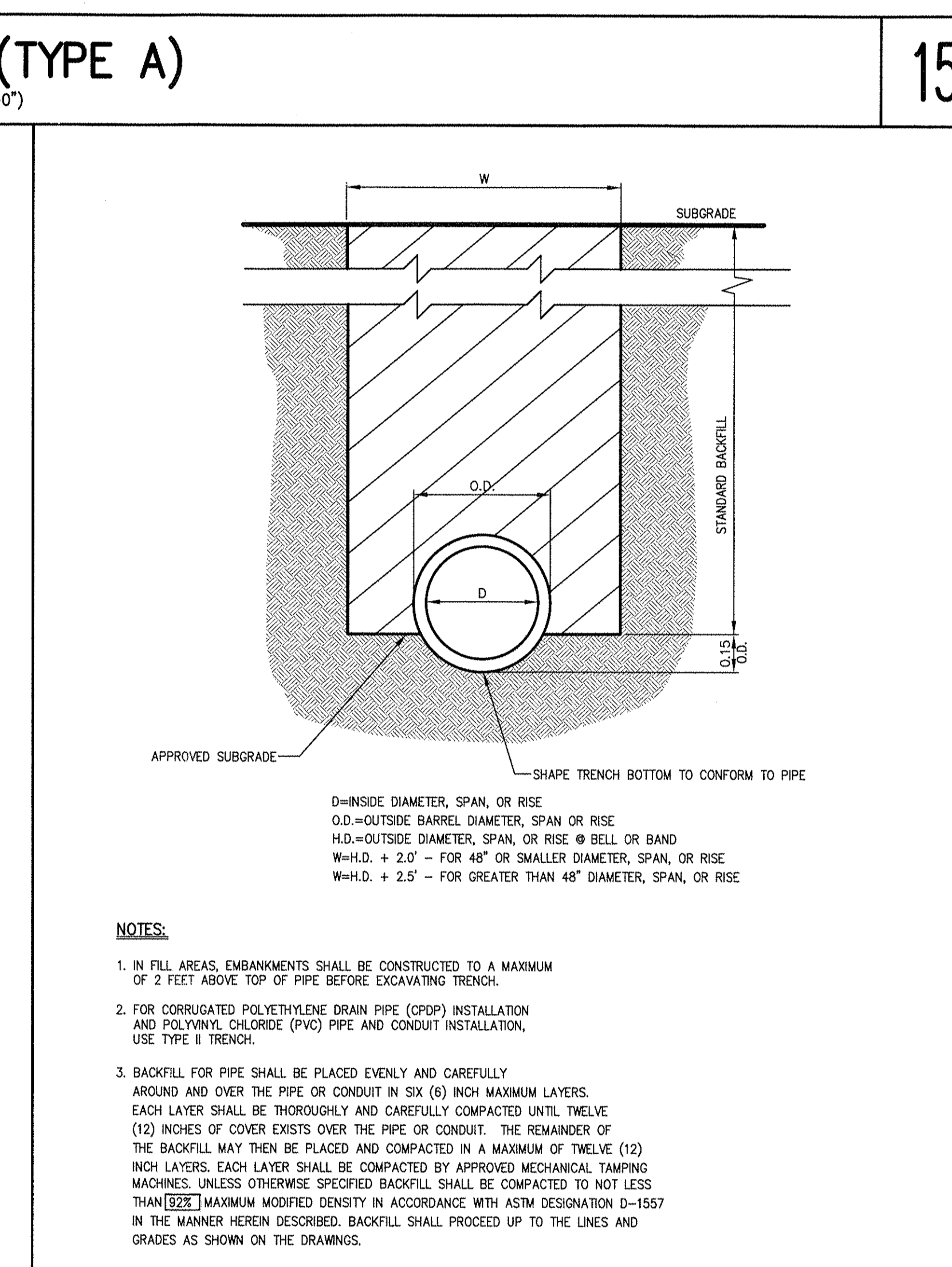
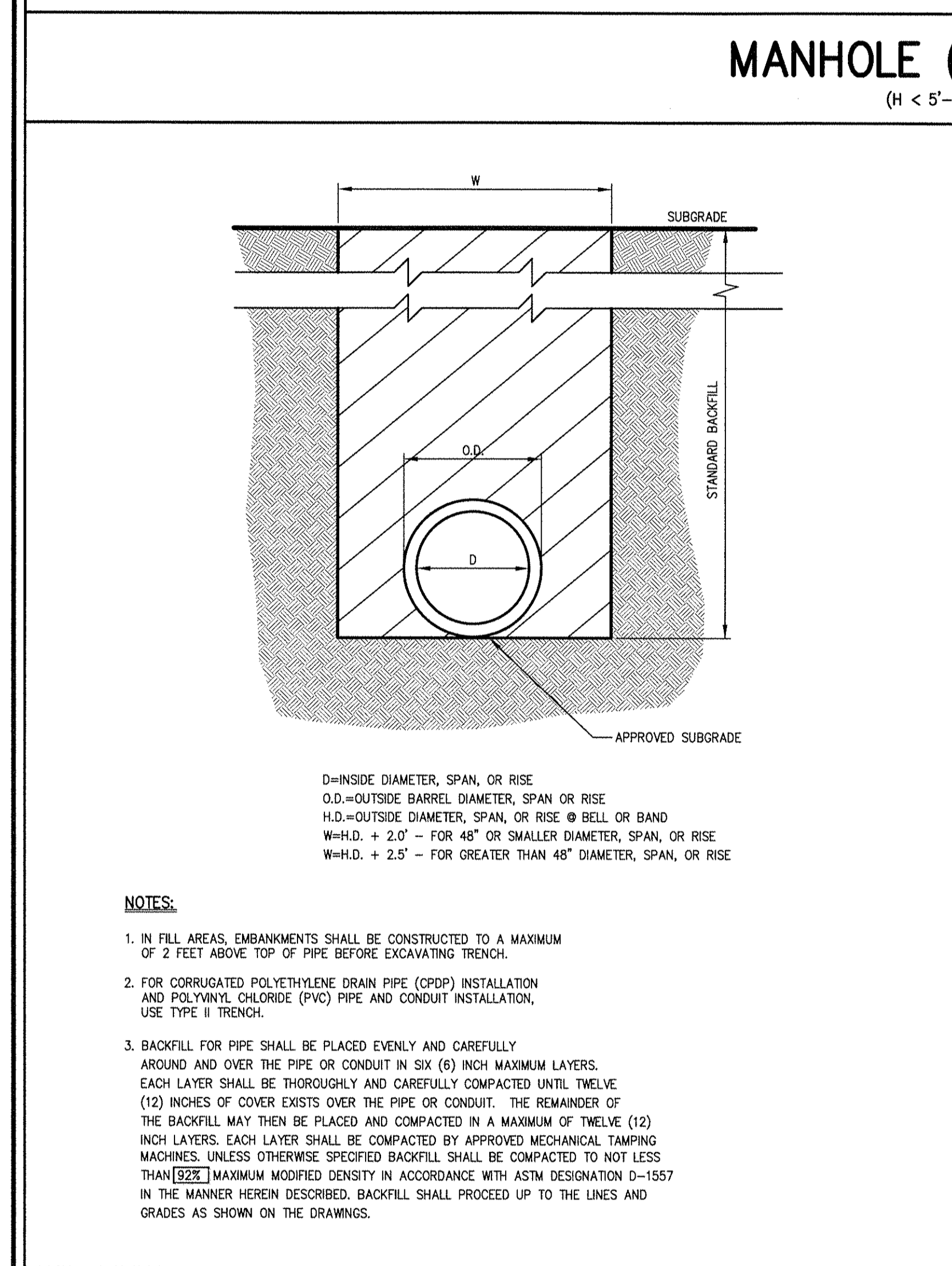
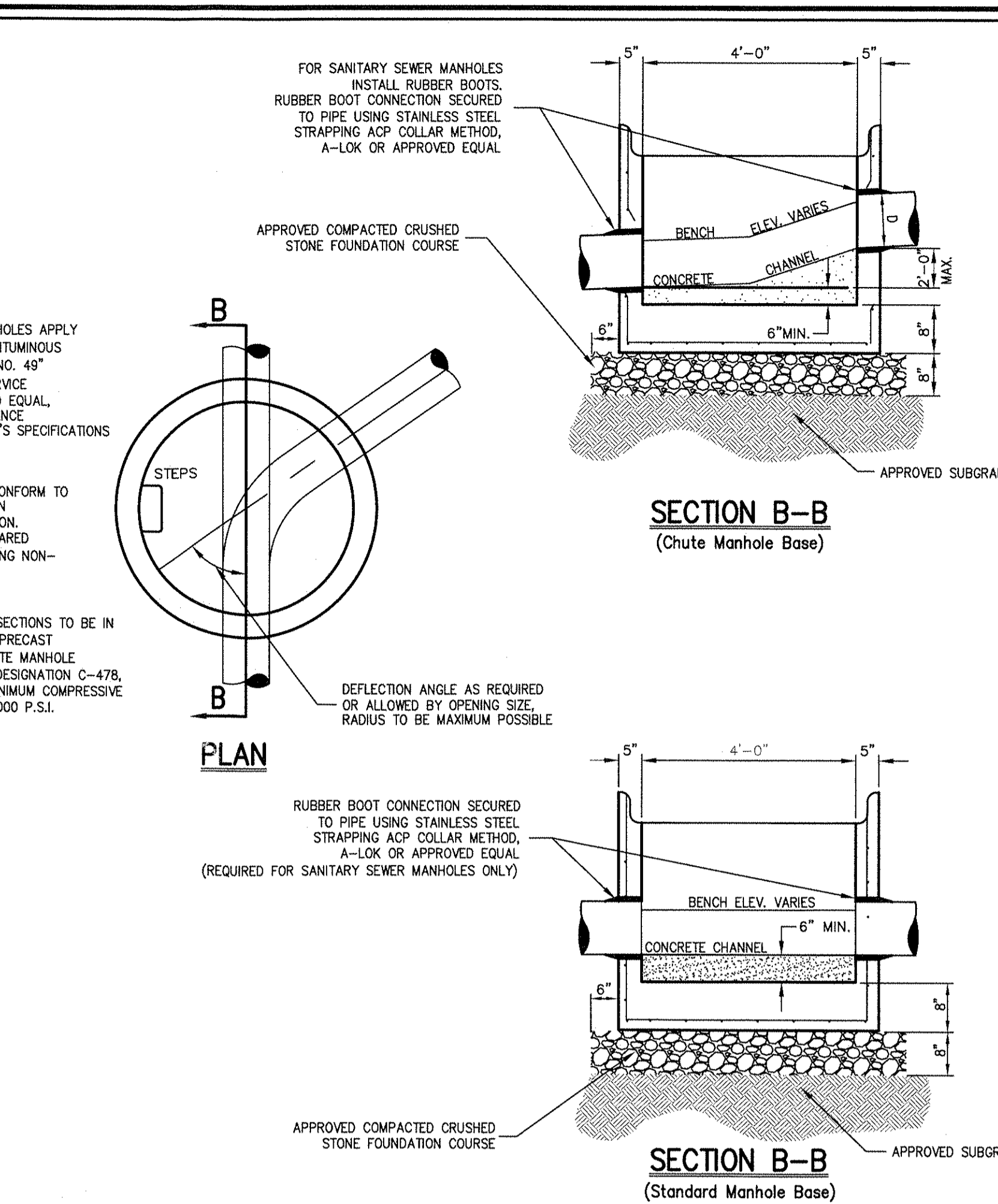
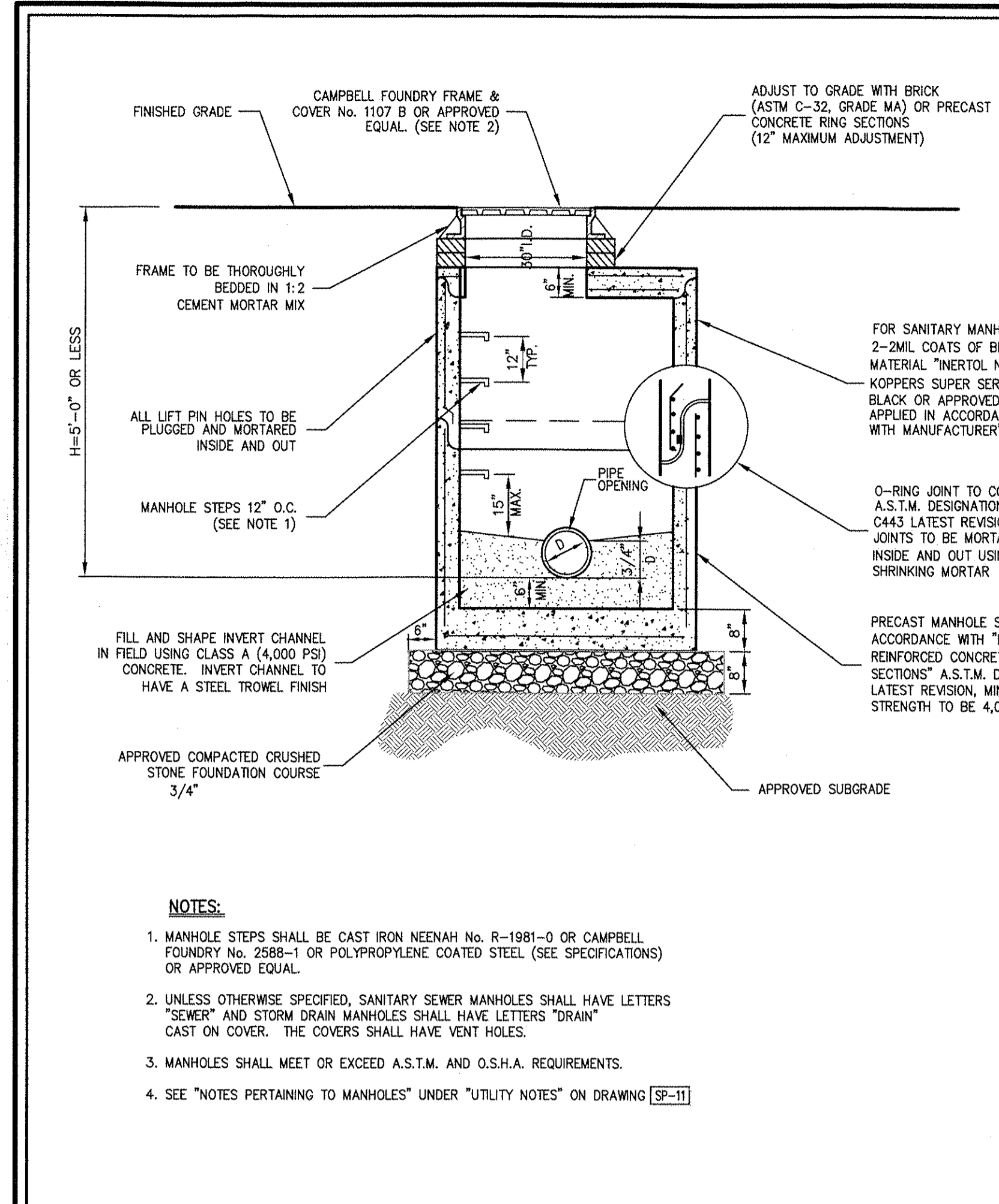
DRAMA MEADOW HILL, LLC
47 RIVER ROAD
SUMMIT, NJ 07901

MINNO & WASKO ARCHITECTS
1 RAYMOND PLACE, #210
NEWARK, NJ 07102

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CONSTRUCTION DETAILS
MEADOW HILL ROAD EXPANSION
MEADOW HILL ROAD
TOWN OF NEWBURGH, NY

Sheet: MT Approved: JS
Scale: NOT TO SCALE
Date: 05/06/2016
Project No: 16015
Revision: 1



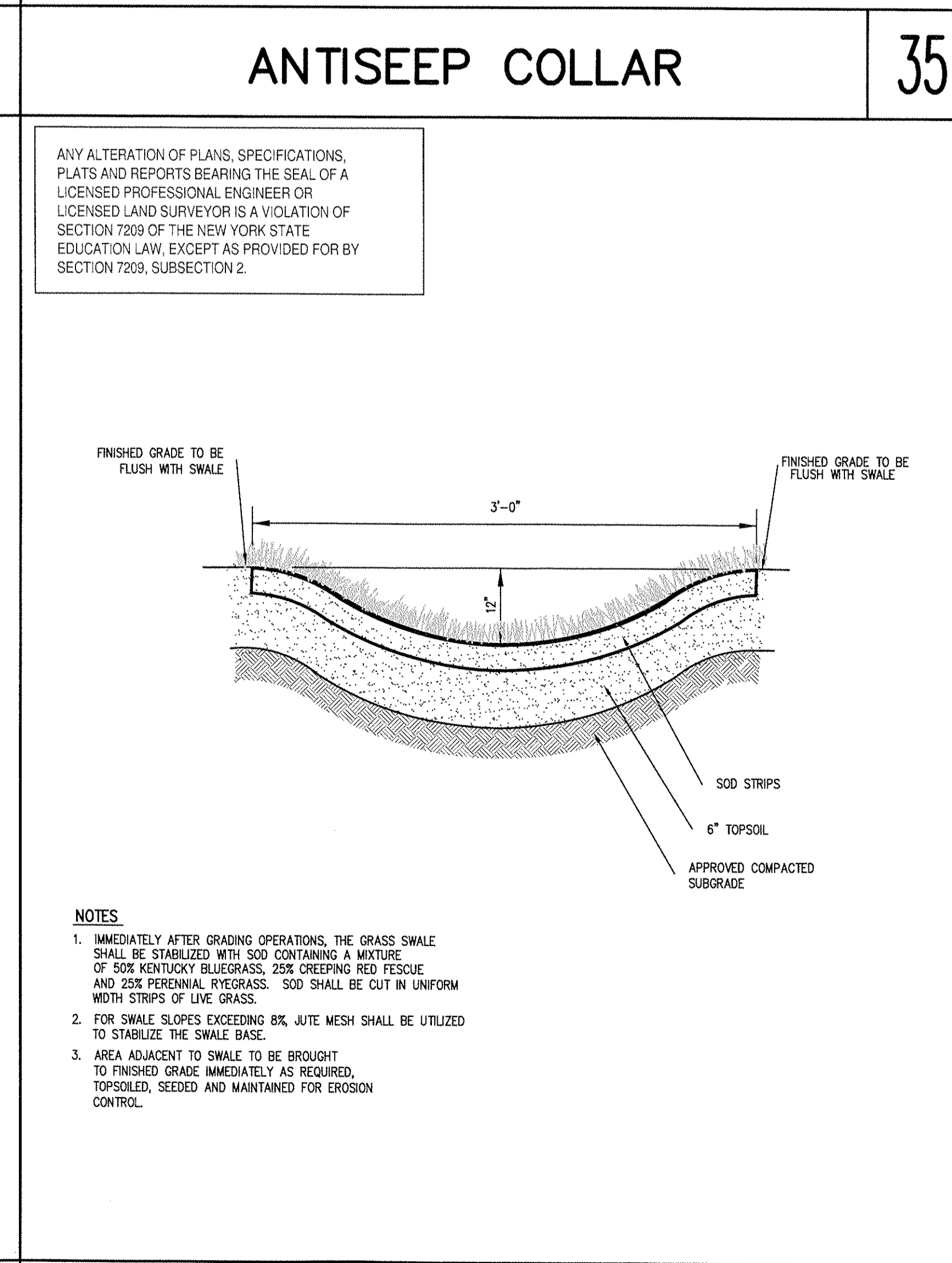
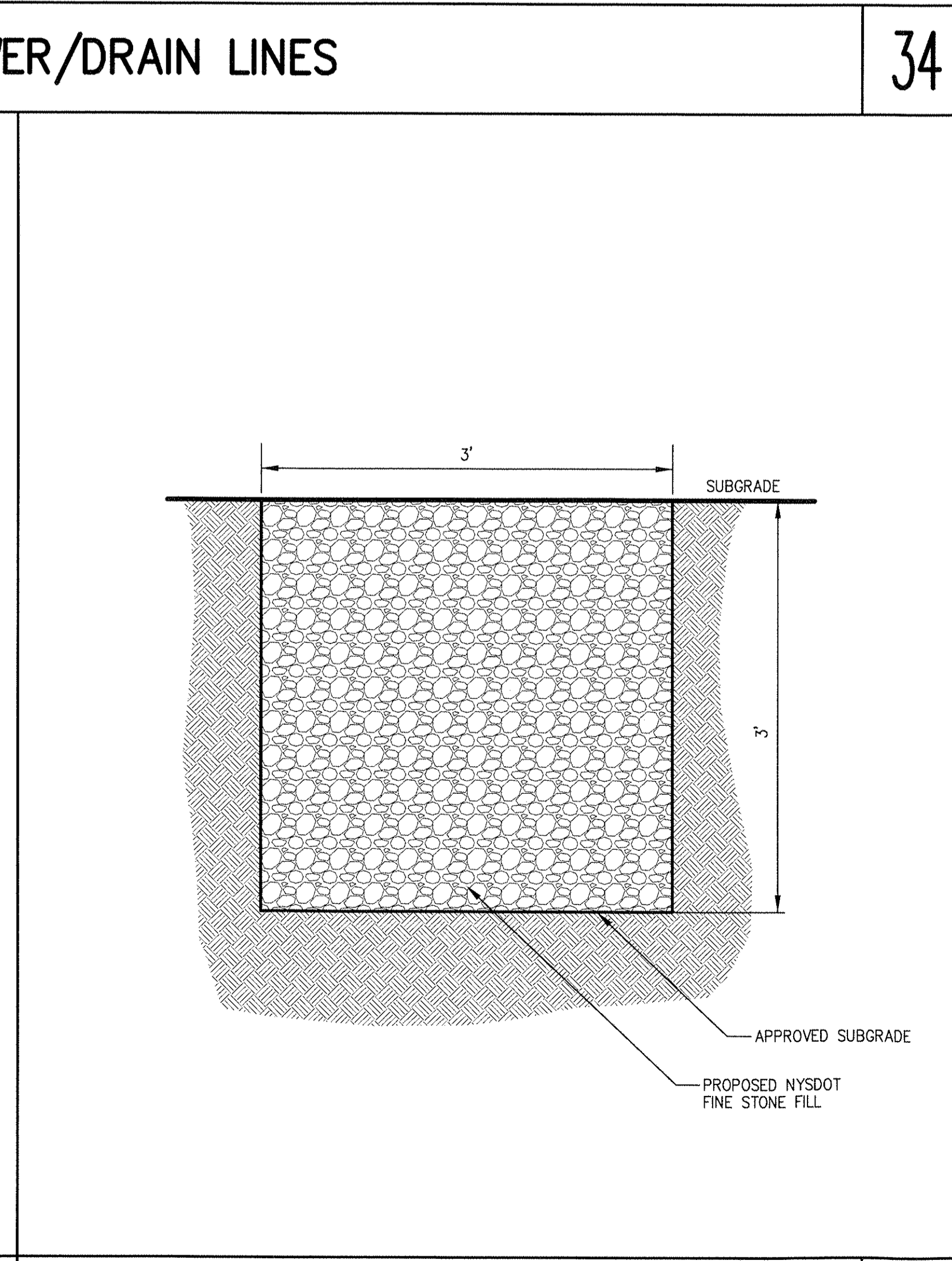
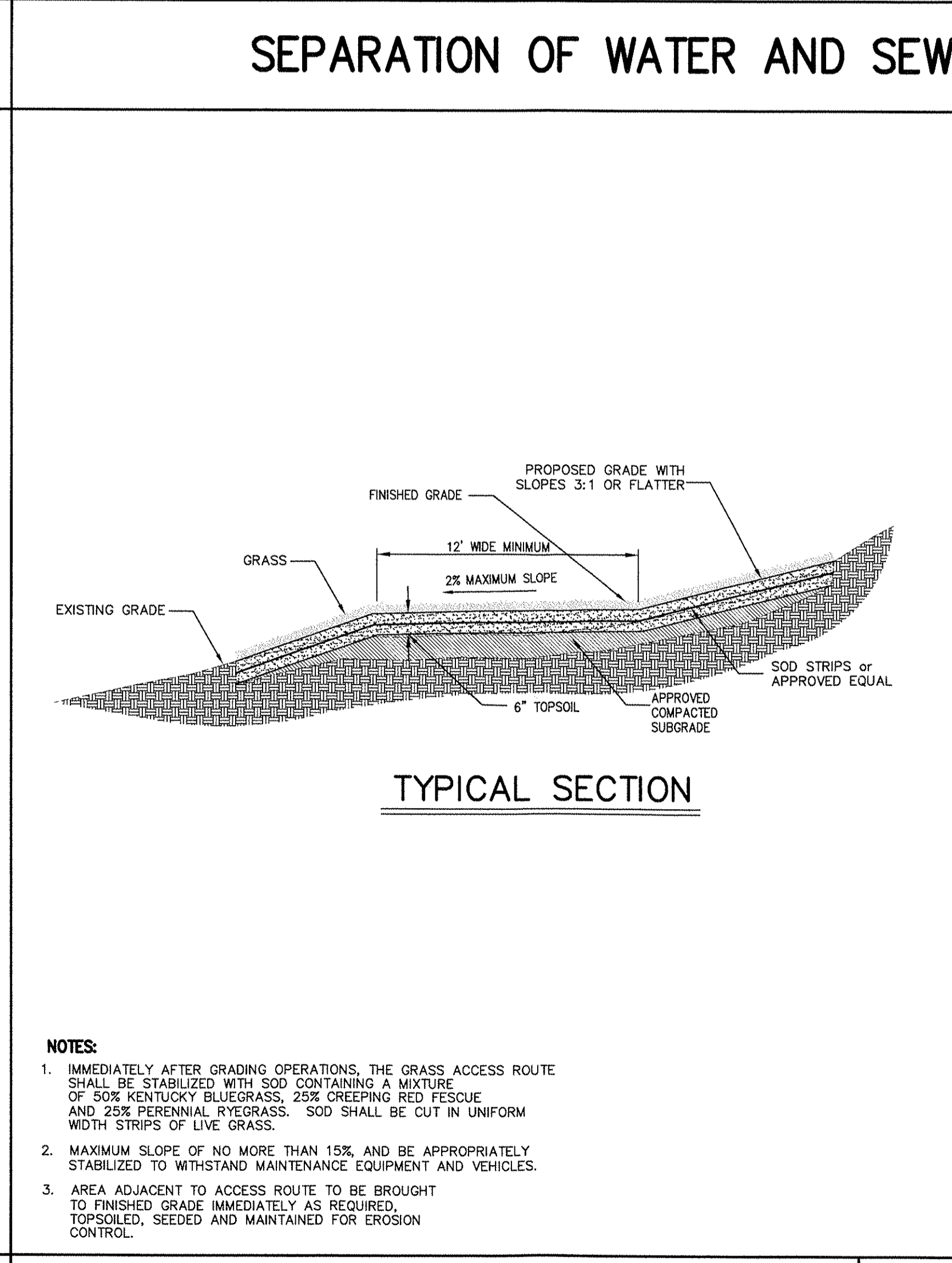
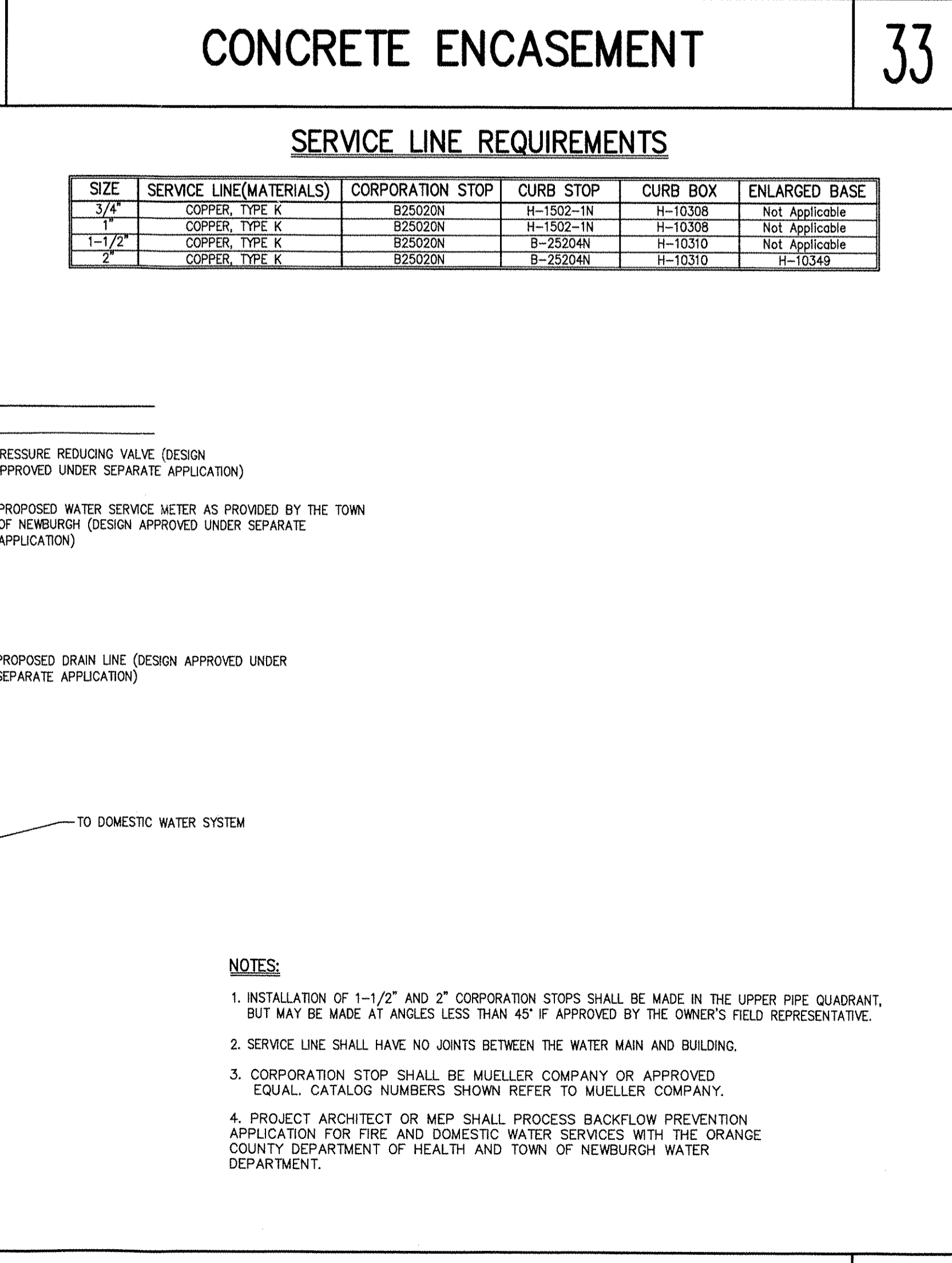
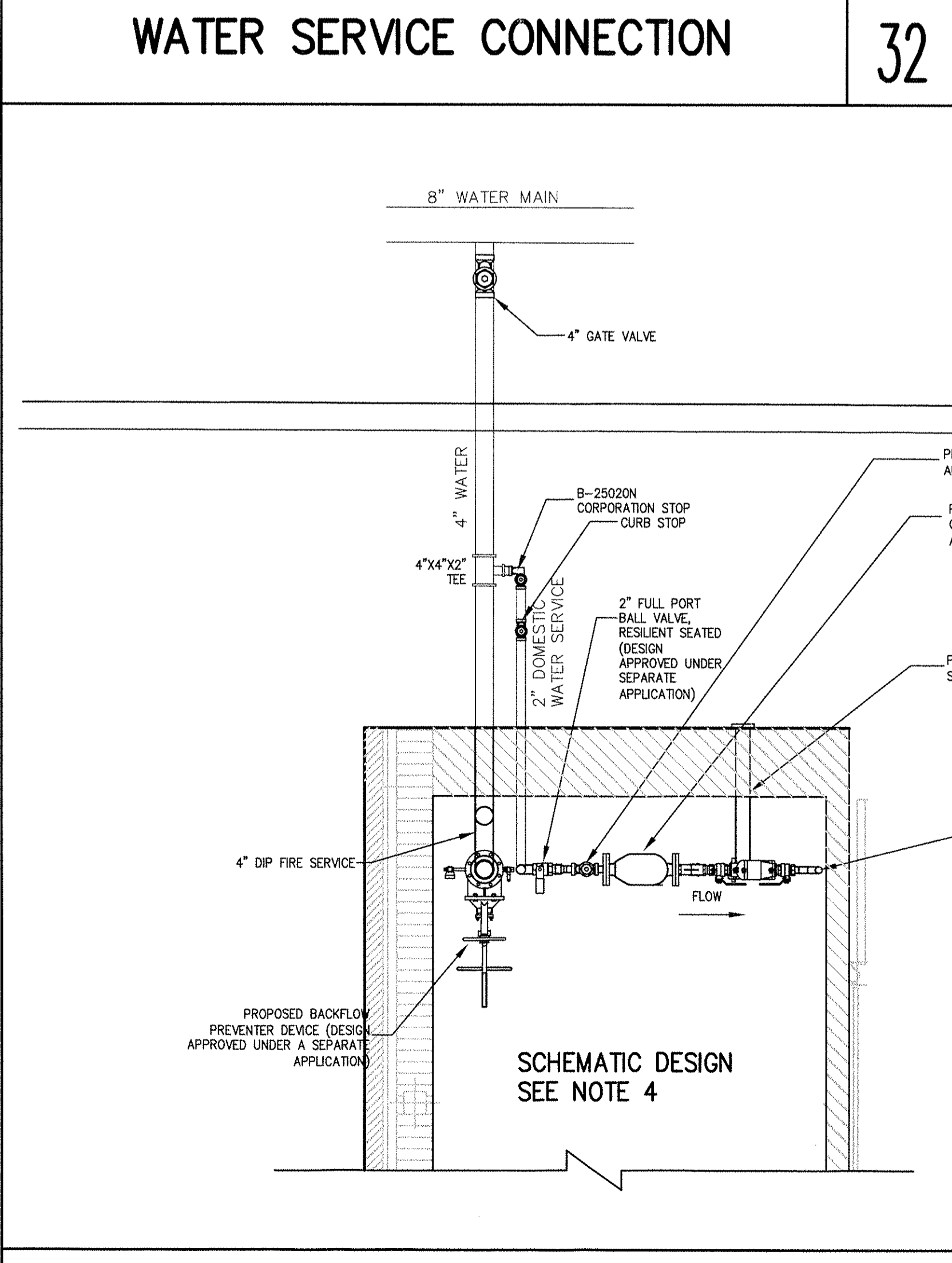
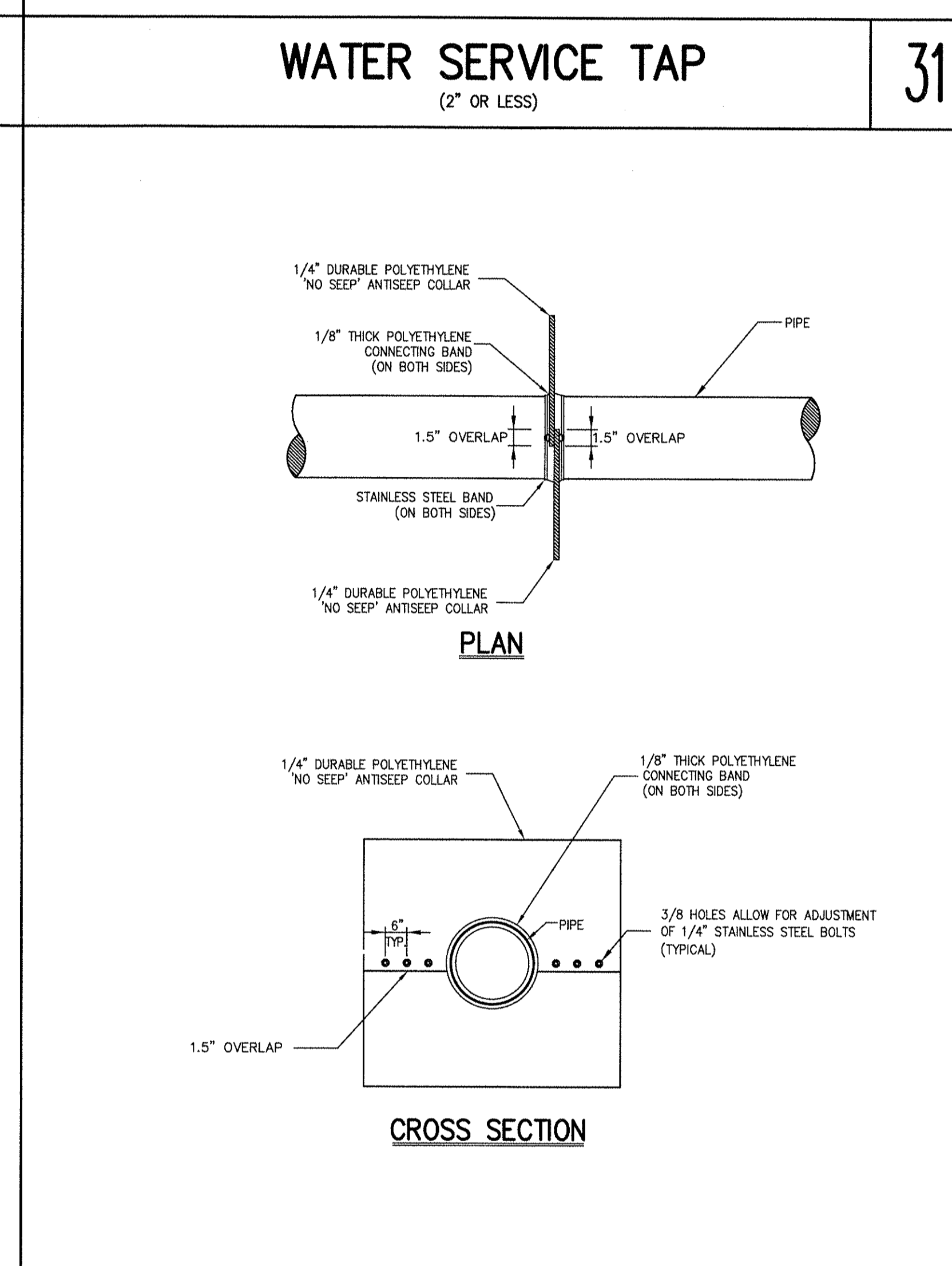
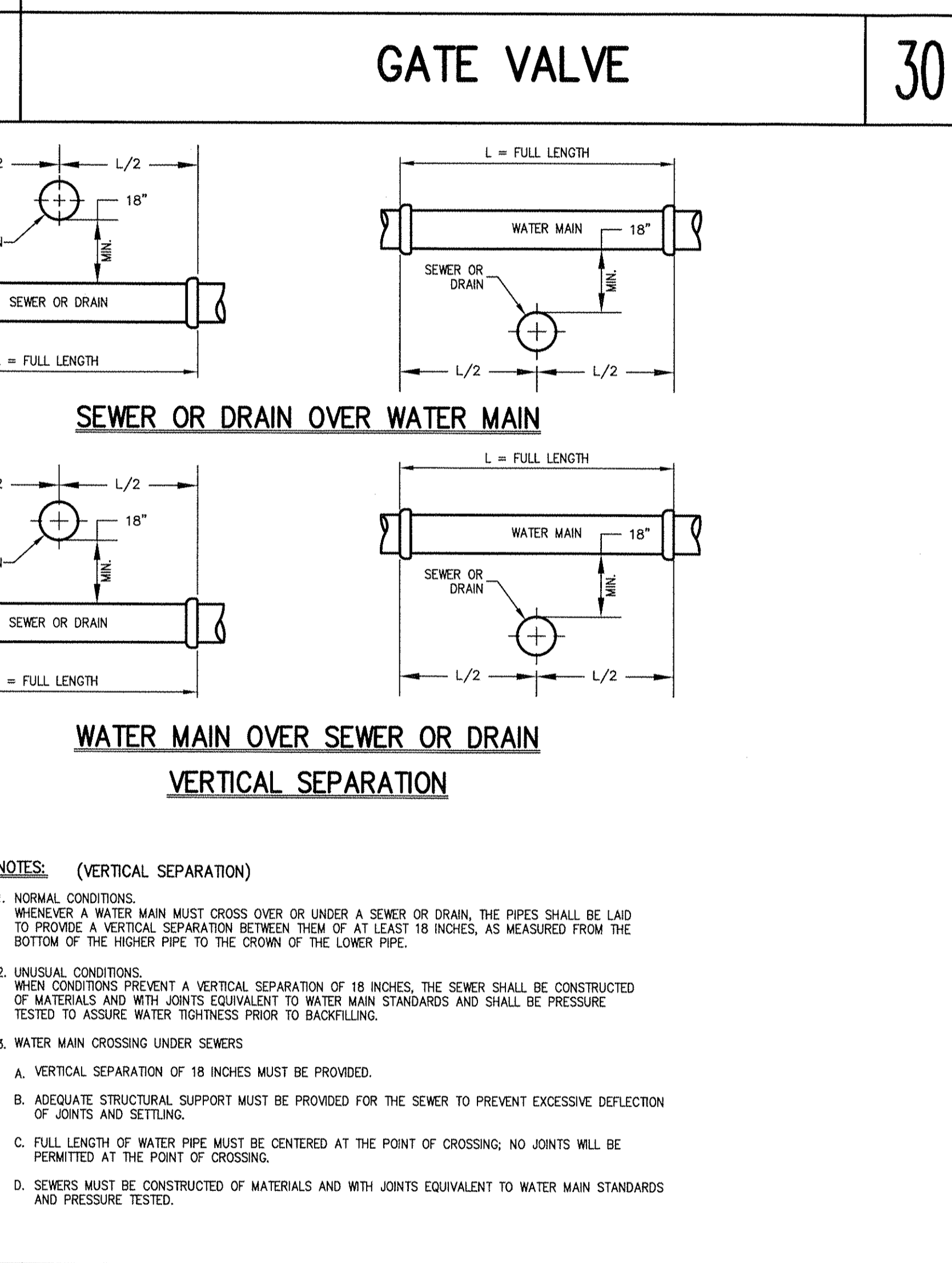
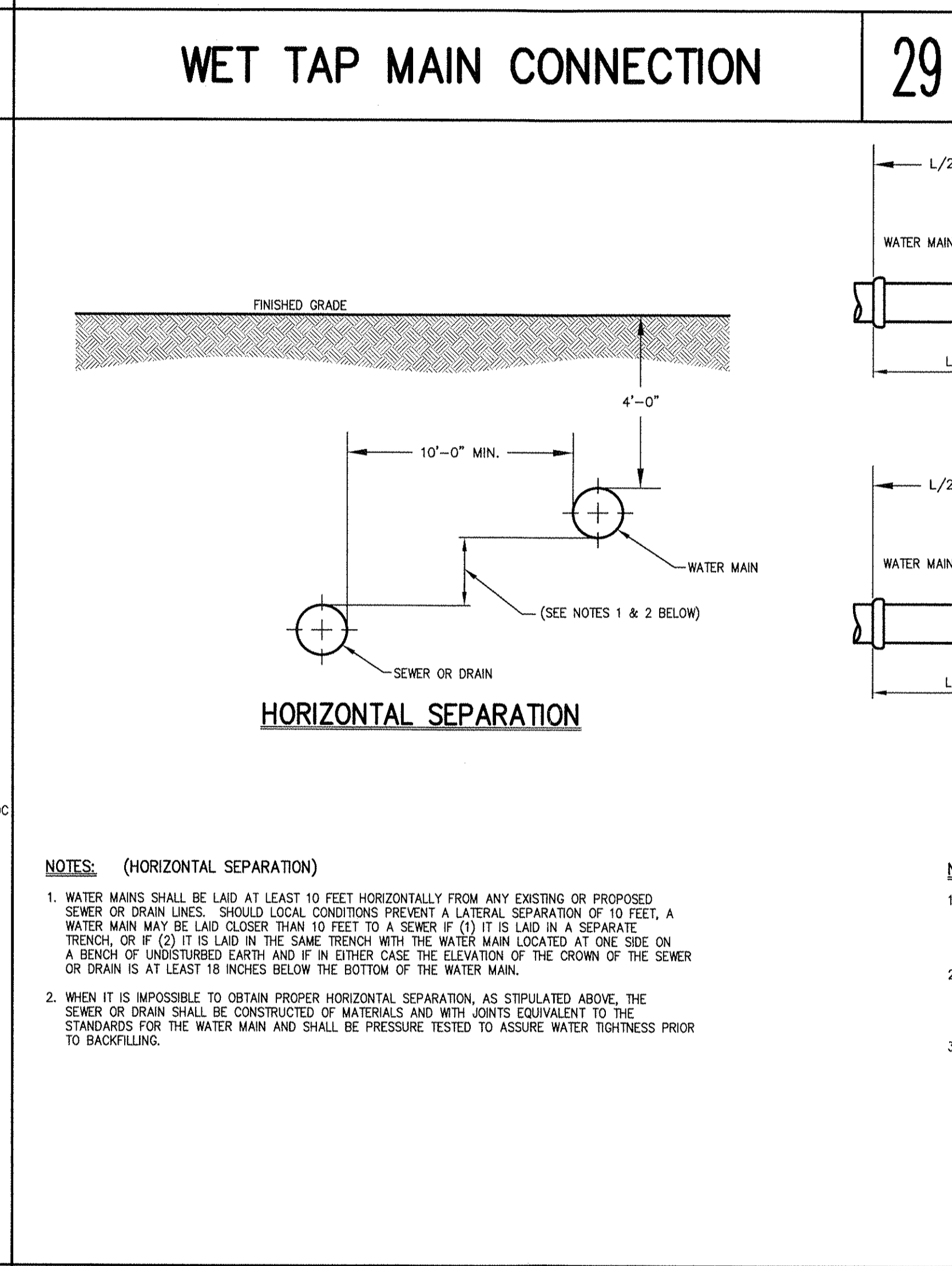
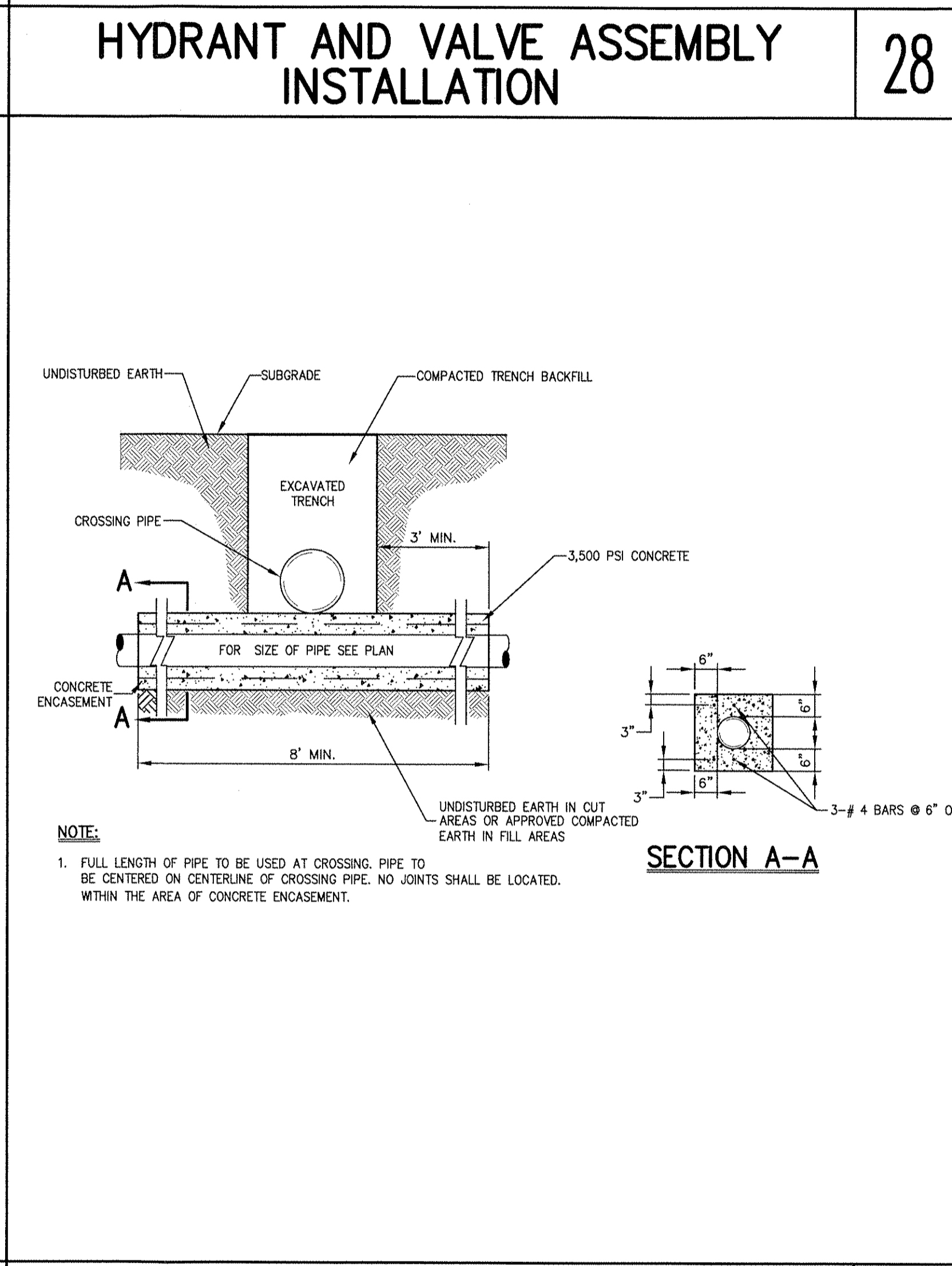
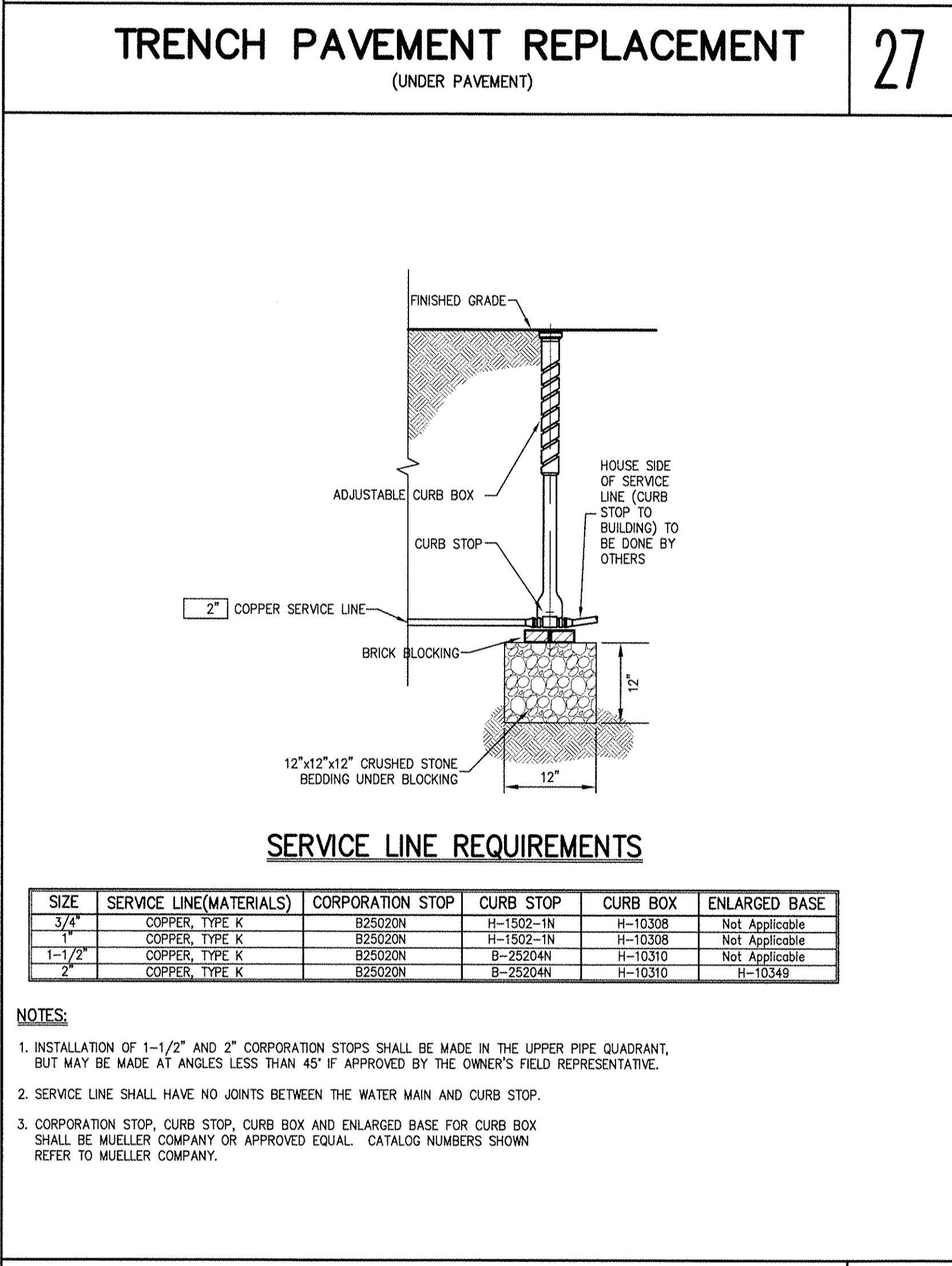
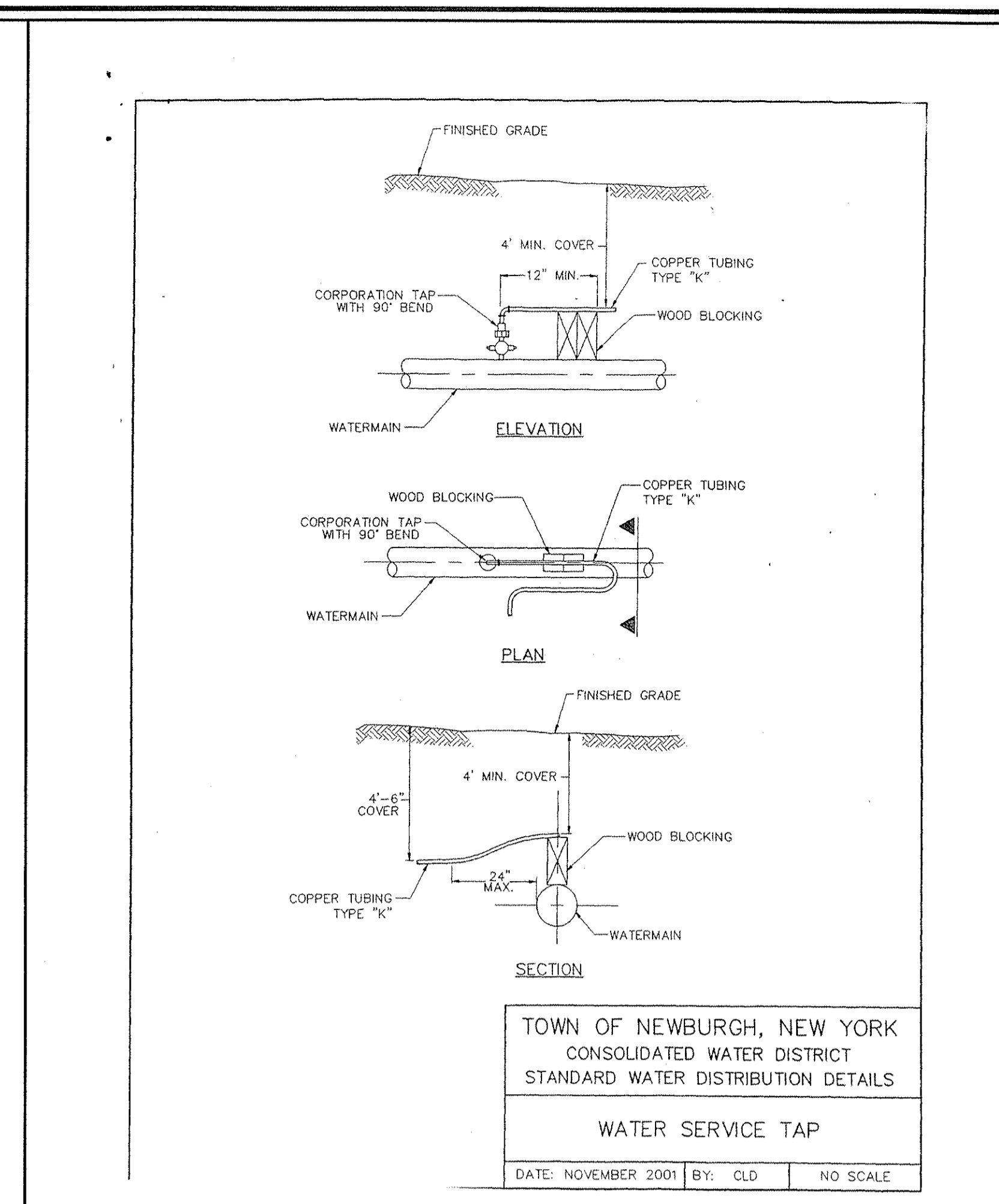
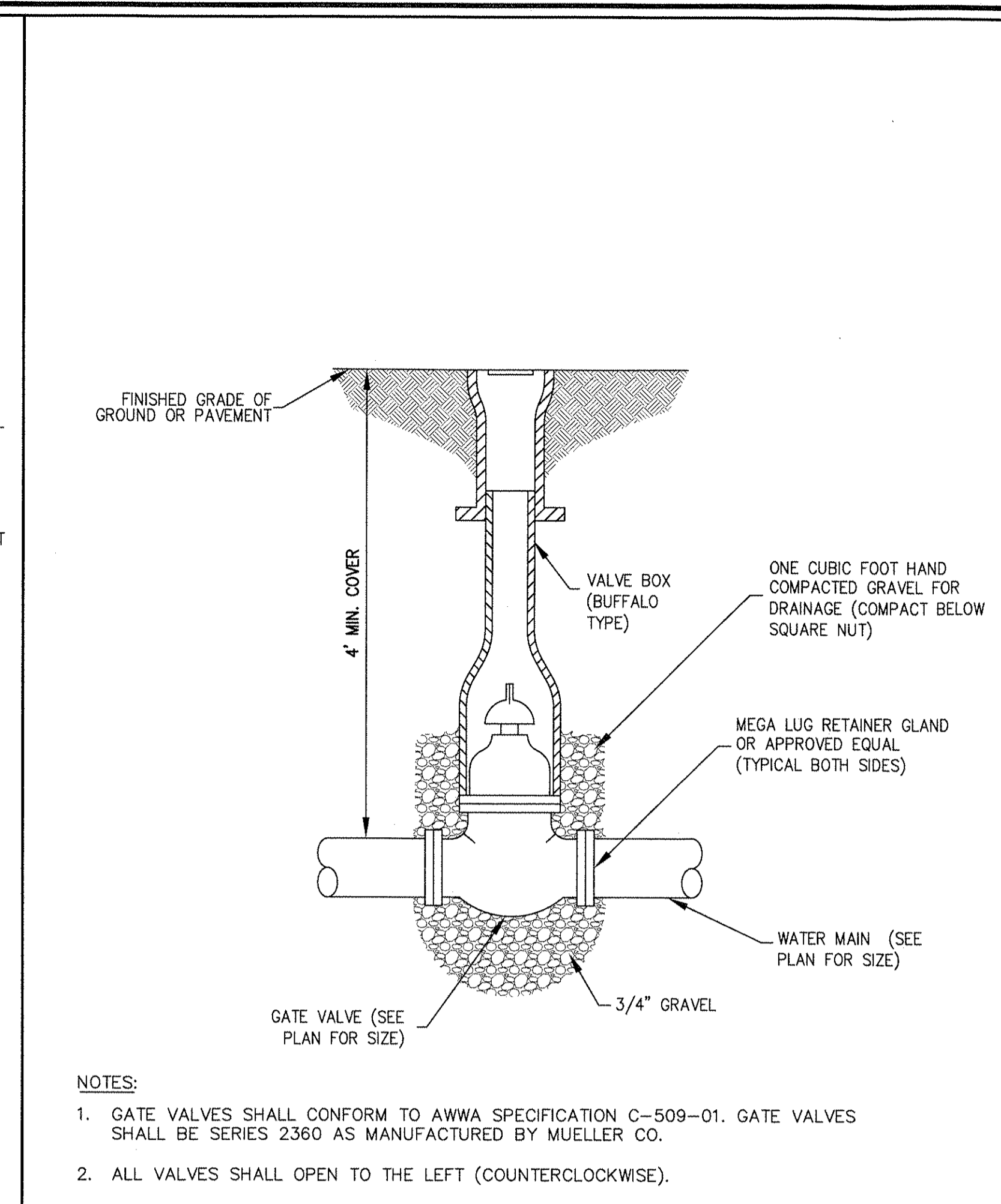
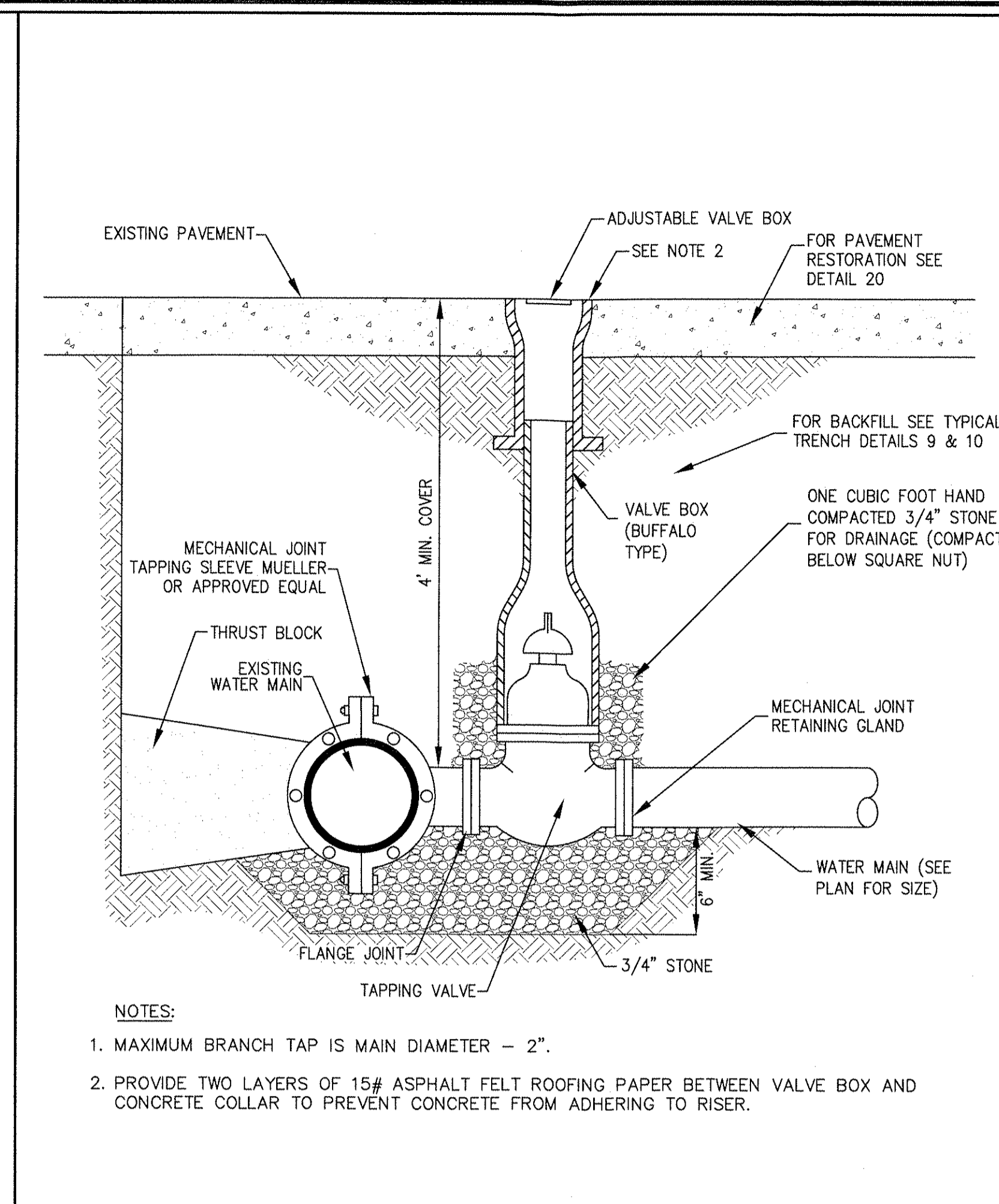
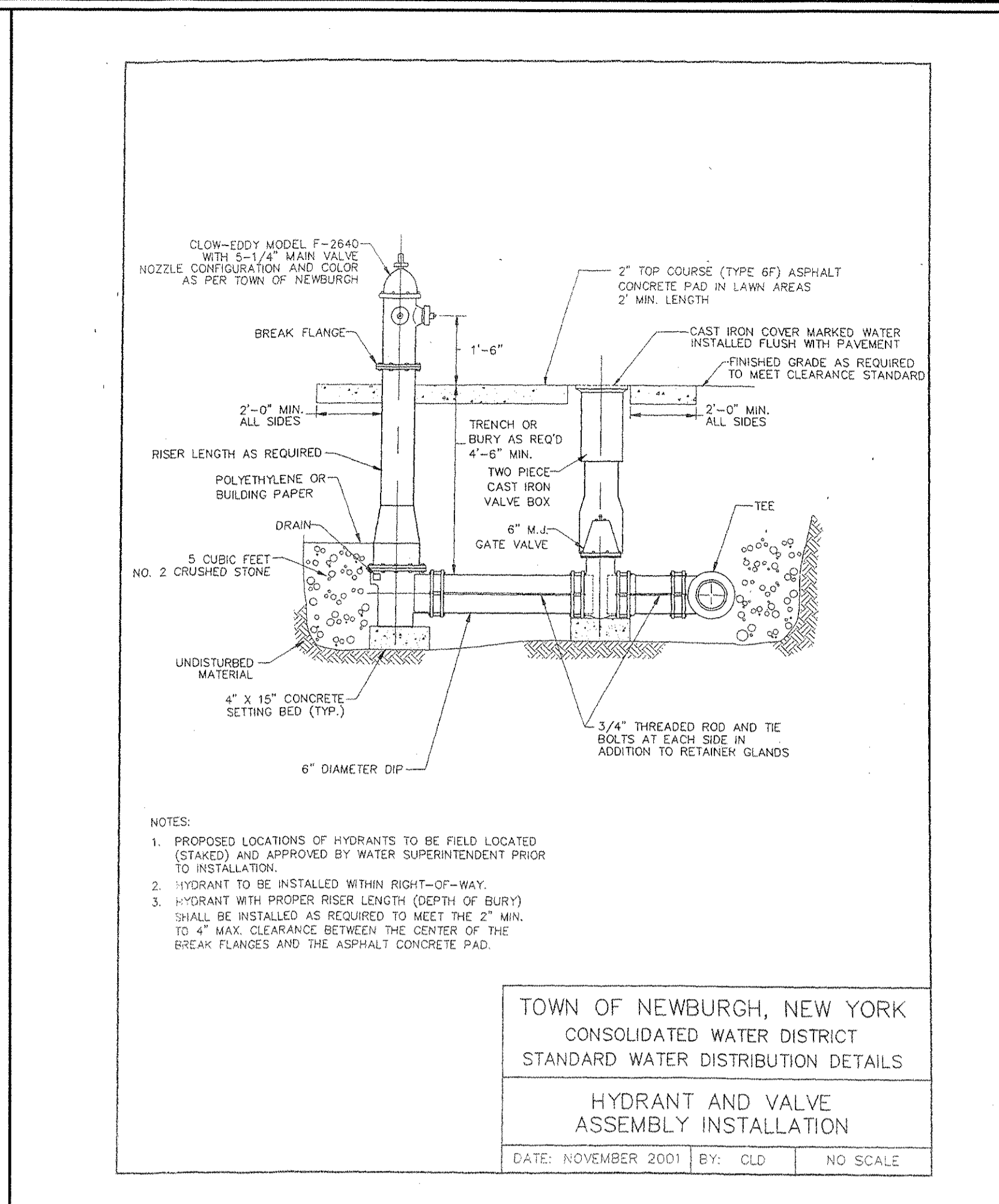
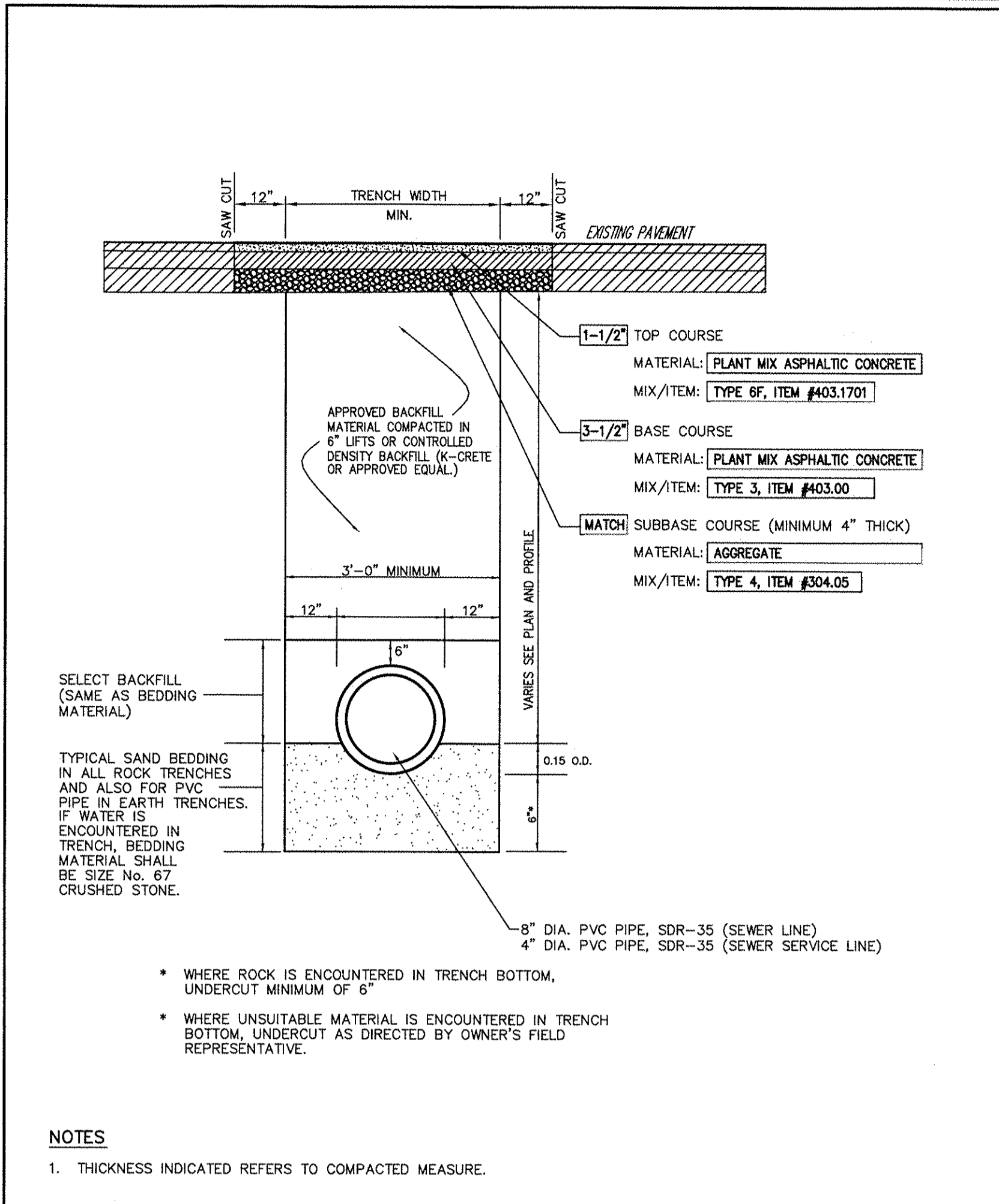
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CONSTRUCTION DETAILS
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MEADOW HILL ROAD
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Sheet: MT 16015-01
Scale: NOT TO SCALE
Date: 05/06/2016
Project No: 16015
Rev: 01/15
Rev: 02/01
Rev: 02/02
Rev: 02/03
Rev: 02/04
Rev: 02/05
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Rev: 02/28
Rev: 02/29
Rev: 02/30



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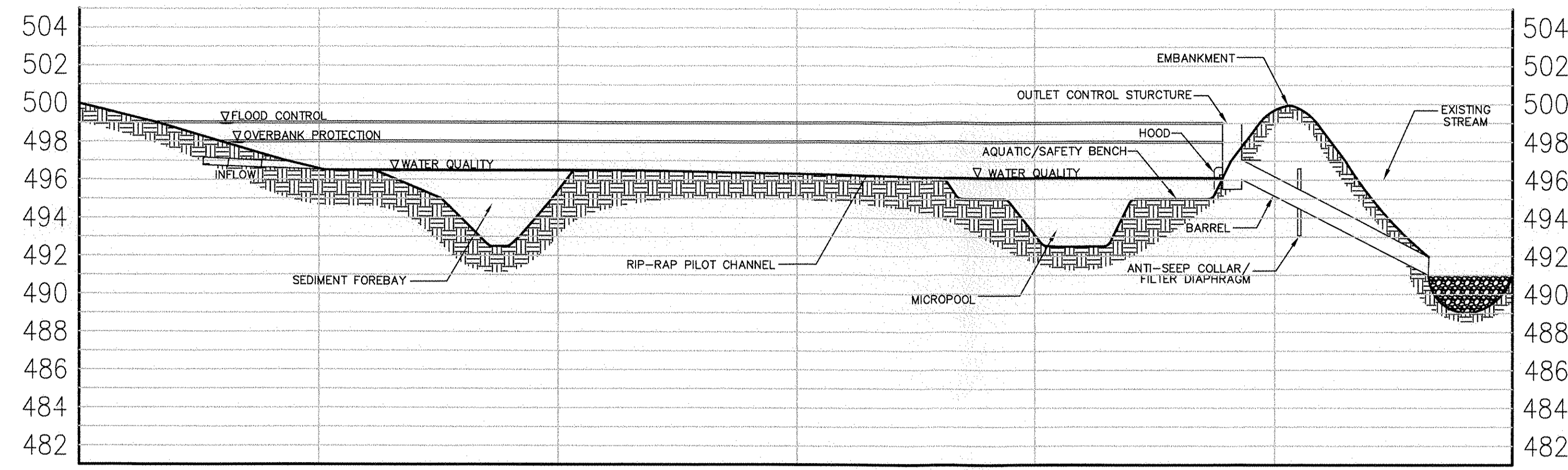
ARCHITECT: MINNO & WASKO ARCHITECTS
 1 RAYMOND PLAZA W #210
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 Architecture & Land Surveying, P.L.L.C.
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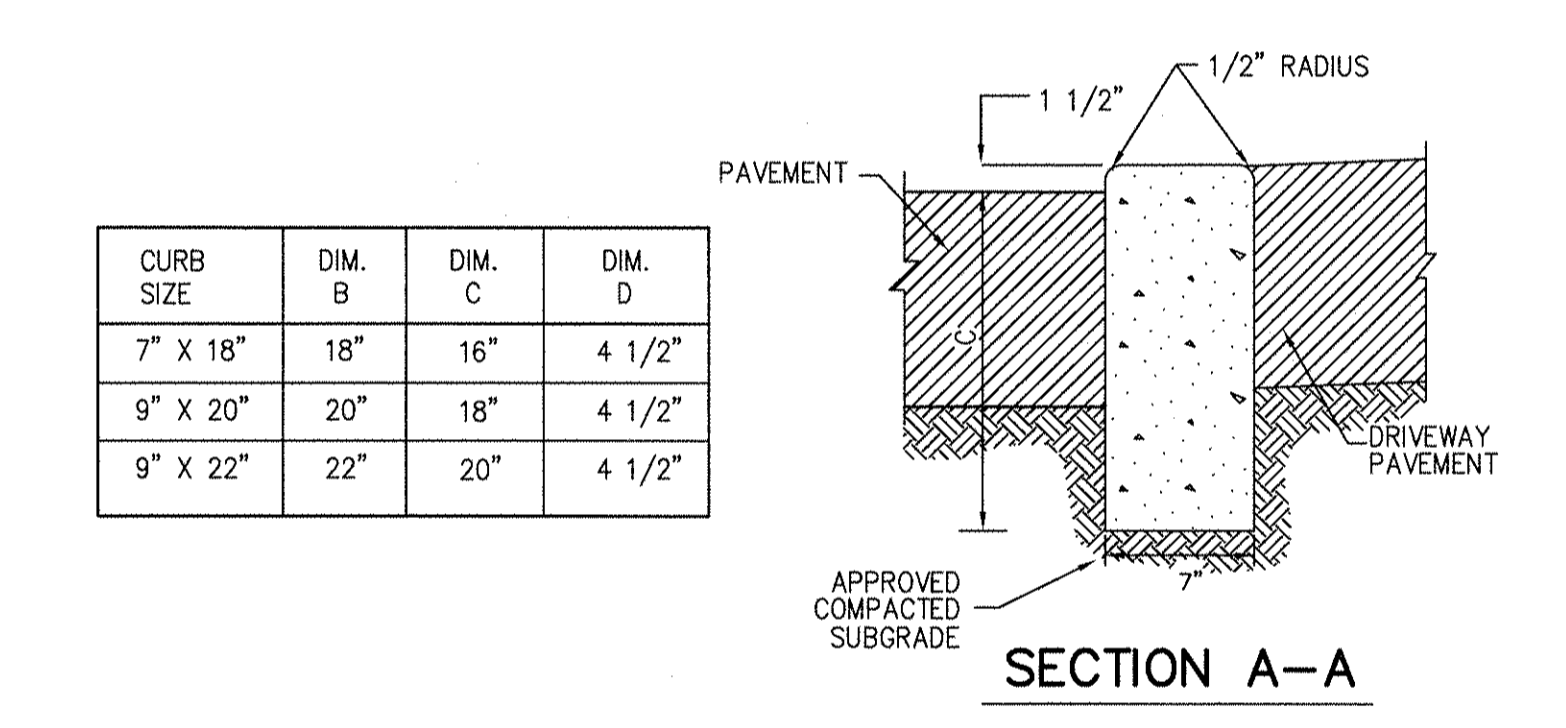
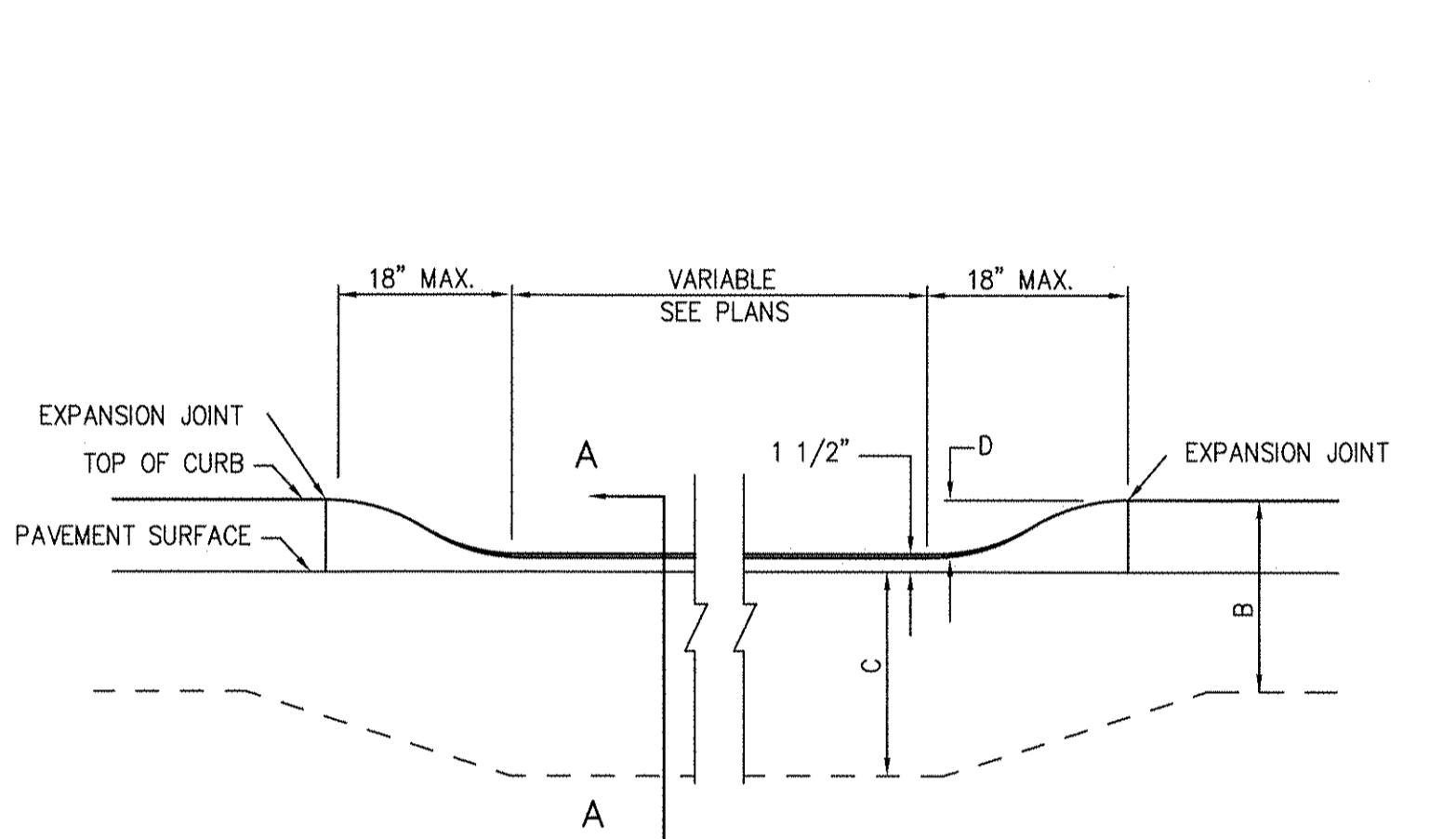
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 Project No: 16015
 SHEET NO: DXT 3
 OF 3

SP-13



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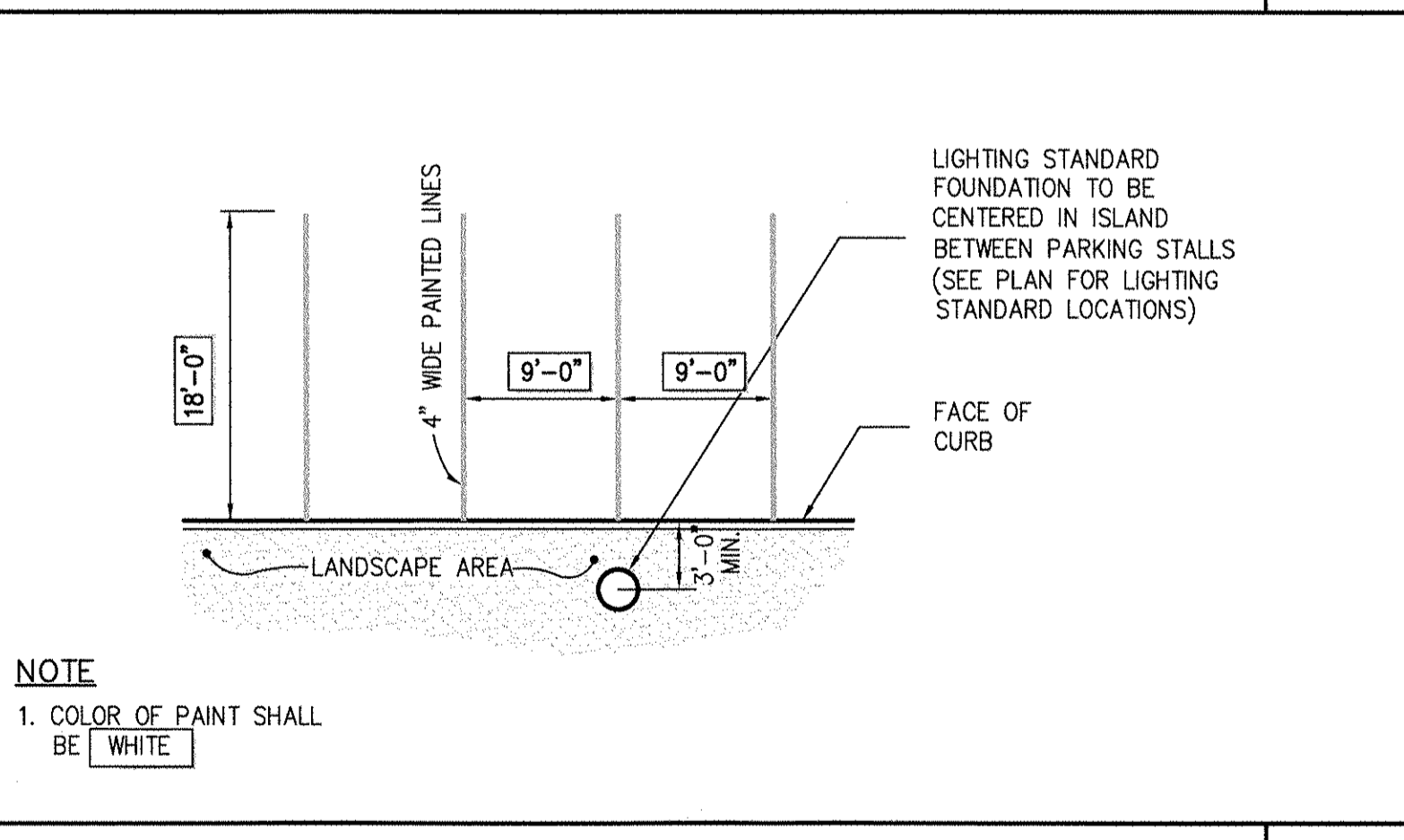
MICROPOOL EXTENDED DETENTION POND P-1 40



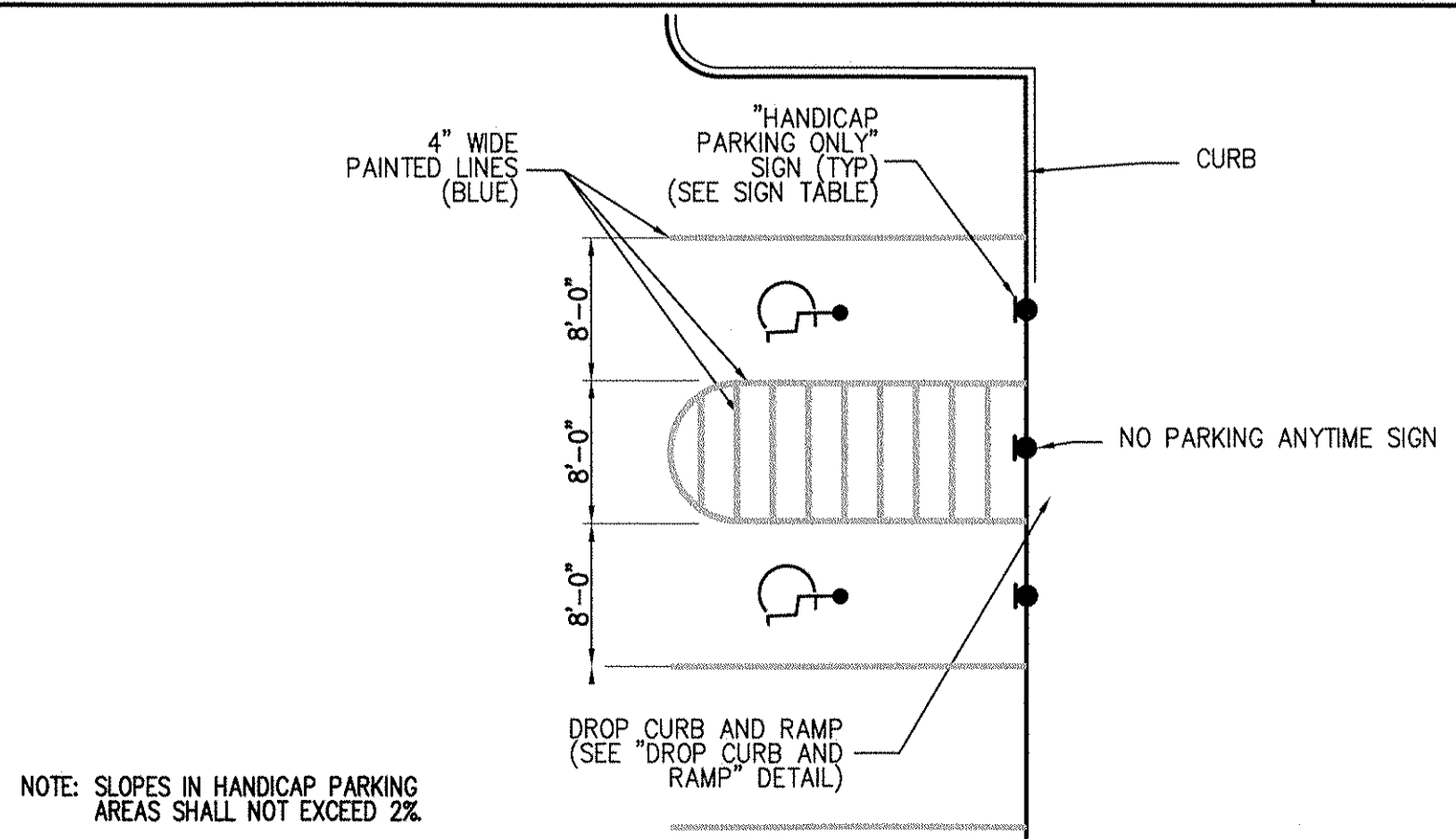
METHOD OF DEPRESSING CURB AT DRIVEWAYS

CURB SIZE	DIM. B	DIM. C	DIM. D
7" x 18"	18"	16"	4 1/2"
9" x 20"	20"	18"	4 1/2"
9" x 22"	22"	20"	4 1/2"

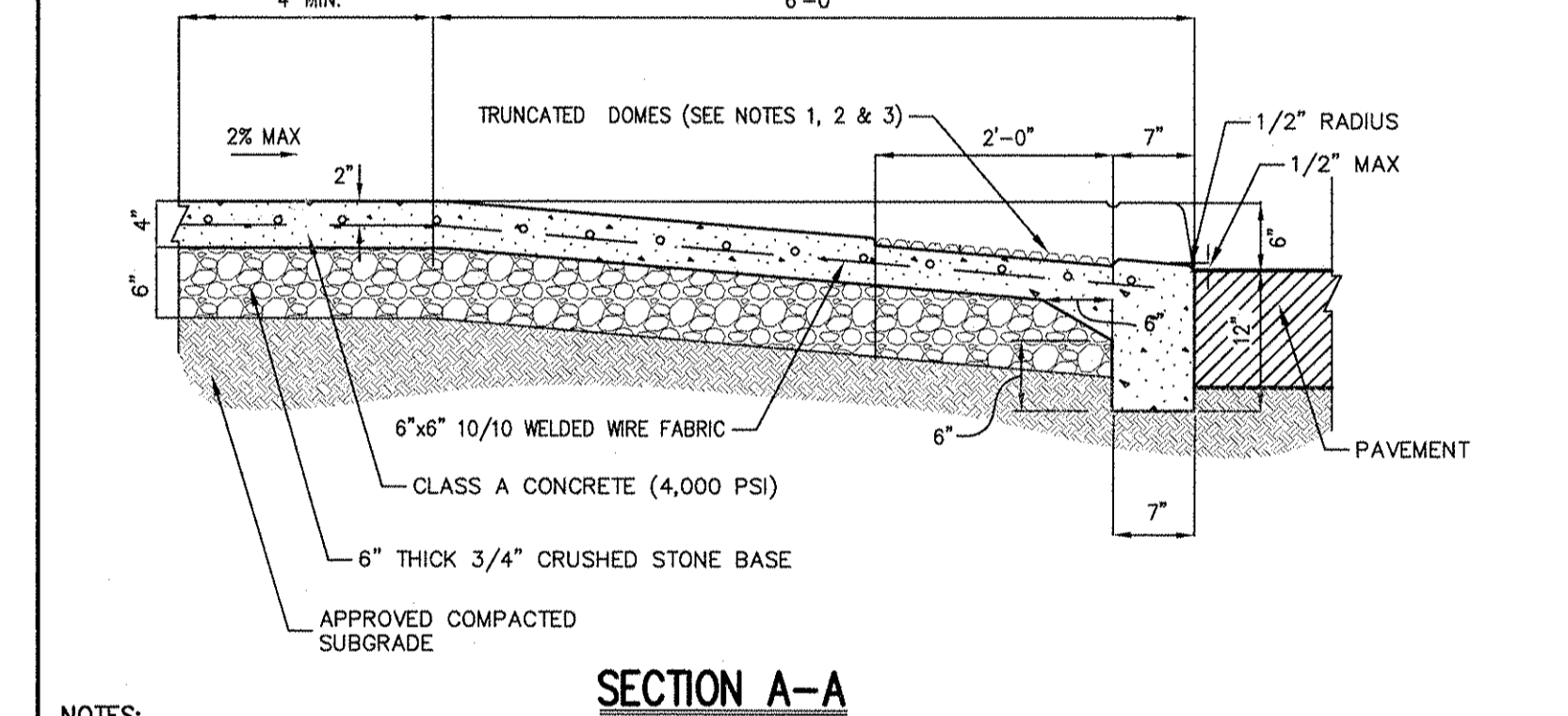
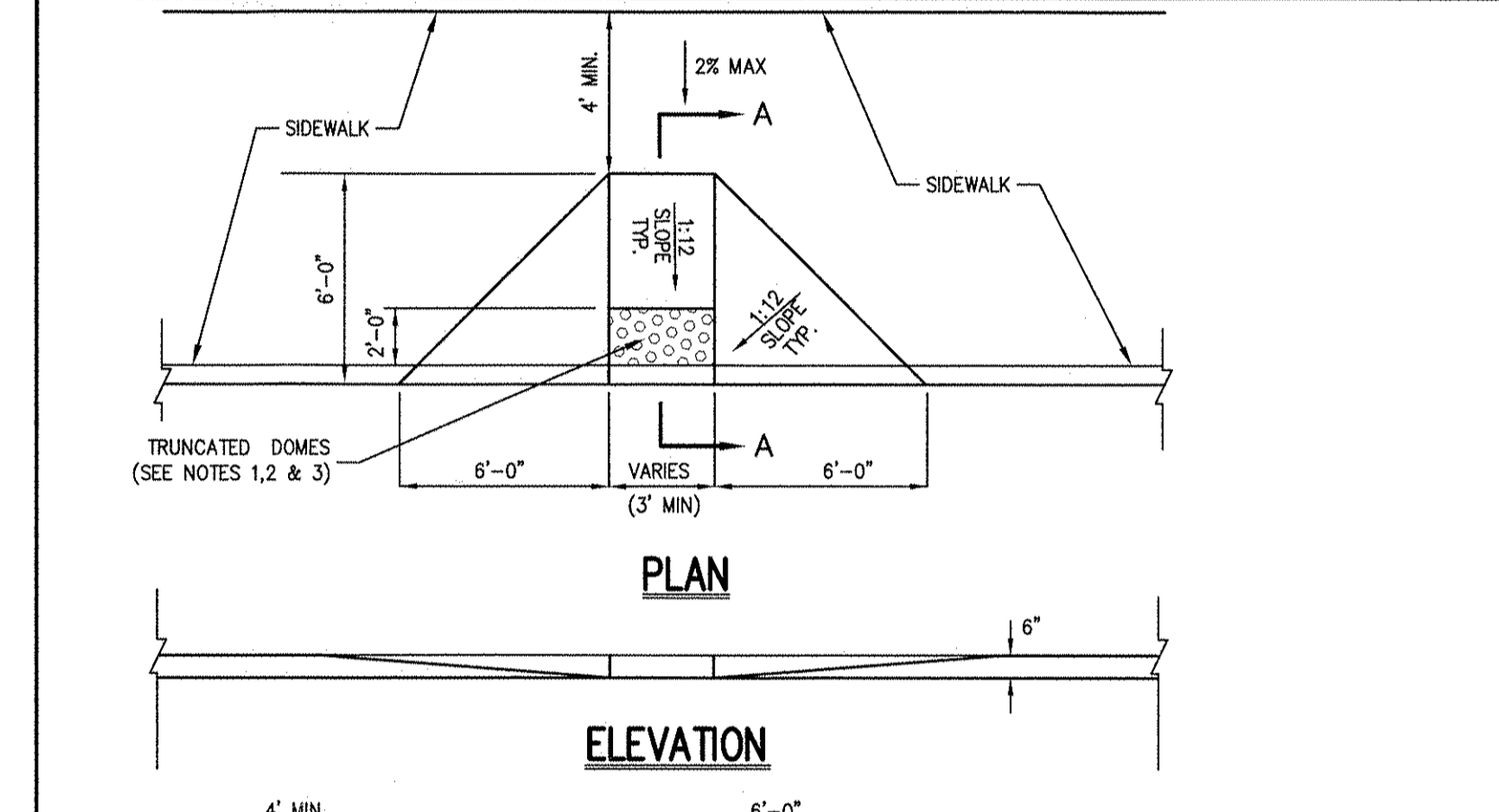
DEPRESSED CONCRETE CURB 46



90° PARKING (SINGLE STRIPING - CURBED PERIMETER) 52

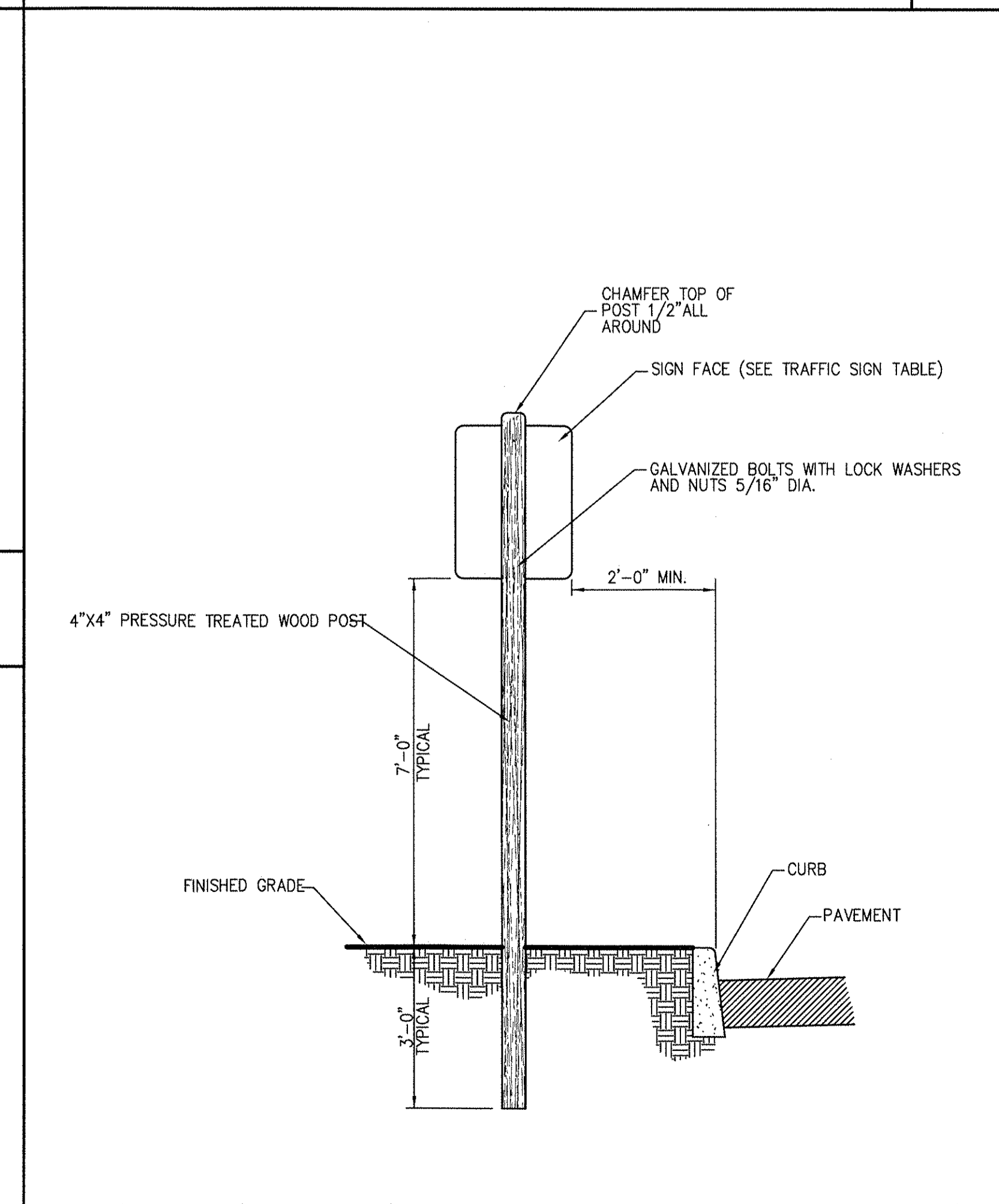


HANDICAP PARKING 53



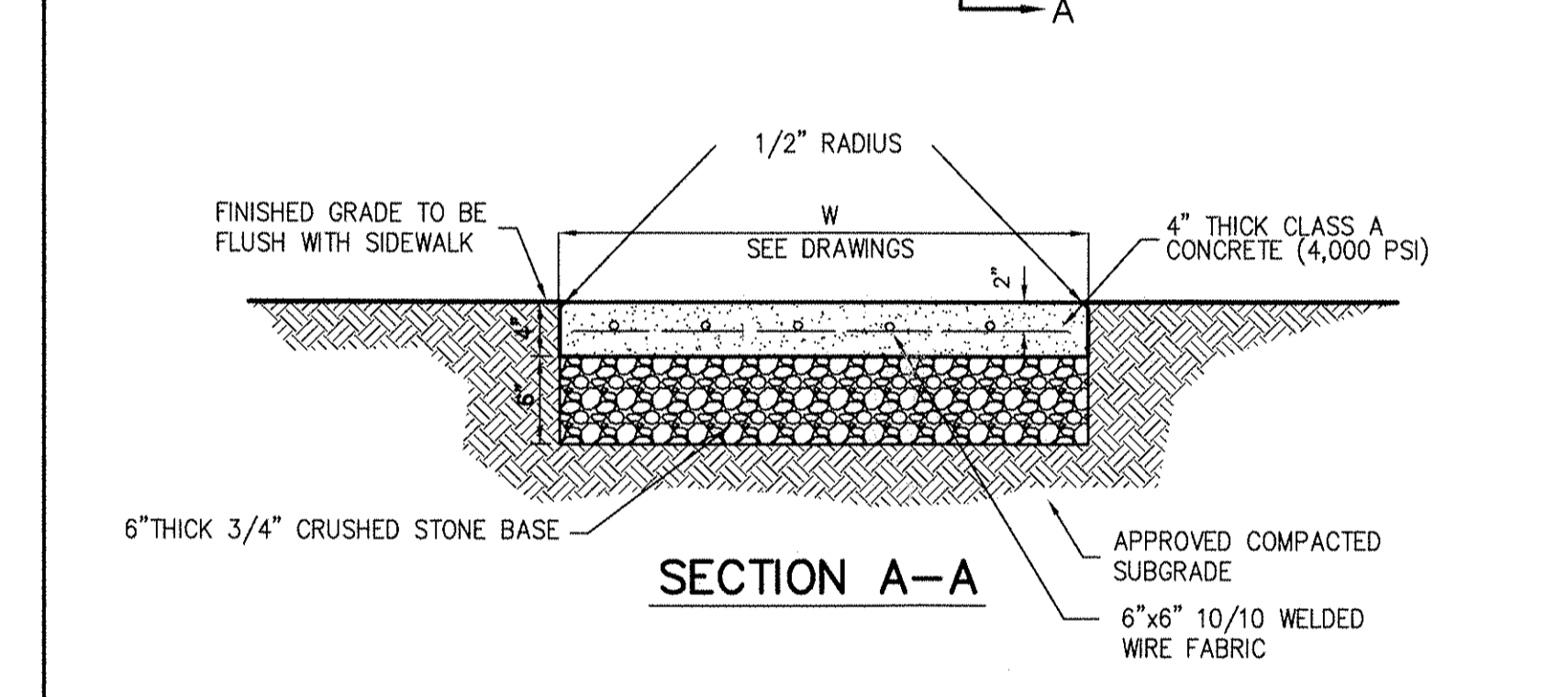
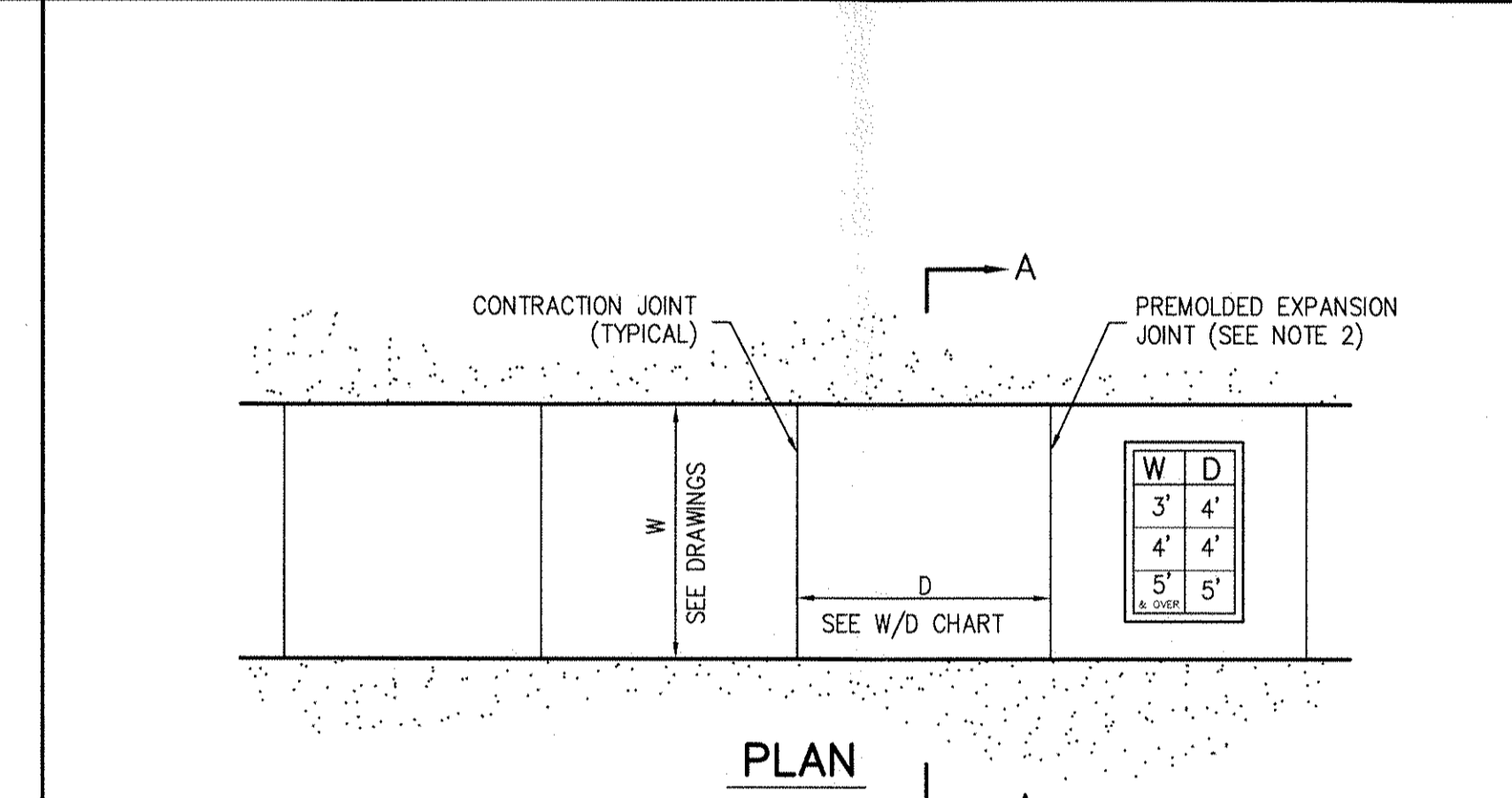
- NOTES:**
- RAMPS AND SIDE RAMPS SHALL HAVE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 - TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.09.2, FEDERAL REGISTER, VOLUME 34, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
 - 24" WIDTH OF TRUNCATED DOMES TO BE INSTALLED DIRECTLY BEHIND CURB.

DROP CURB & RAMP 47



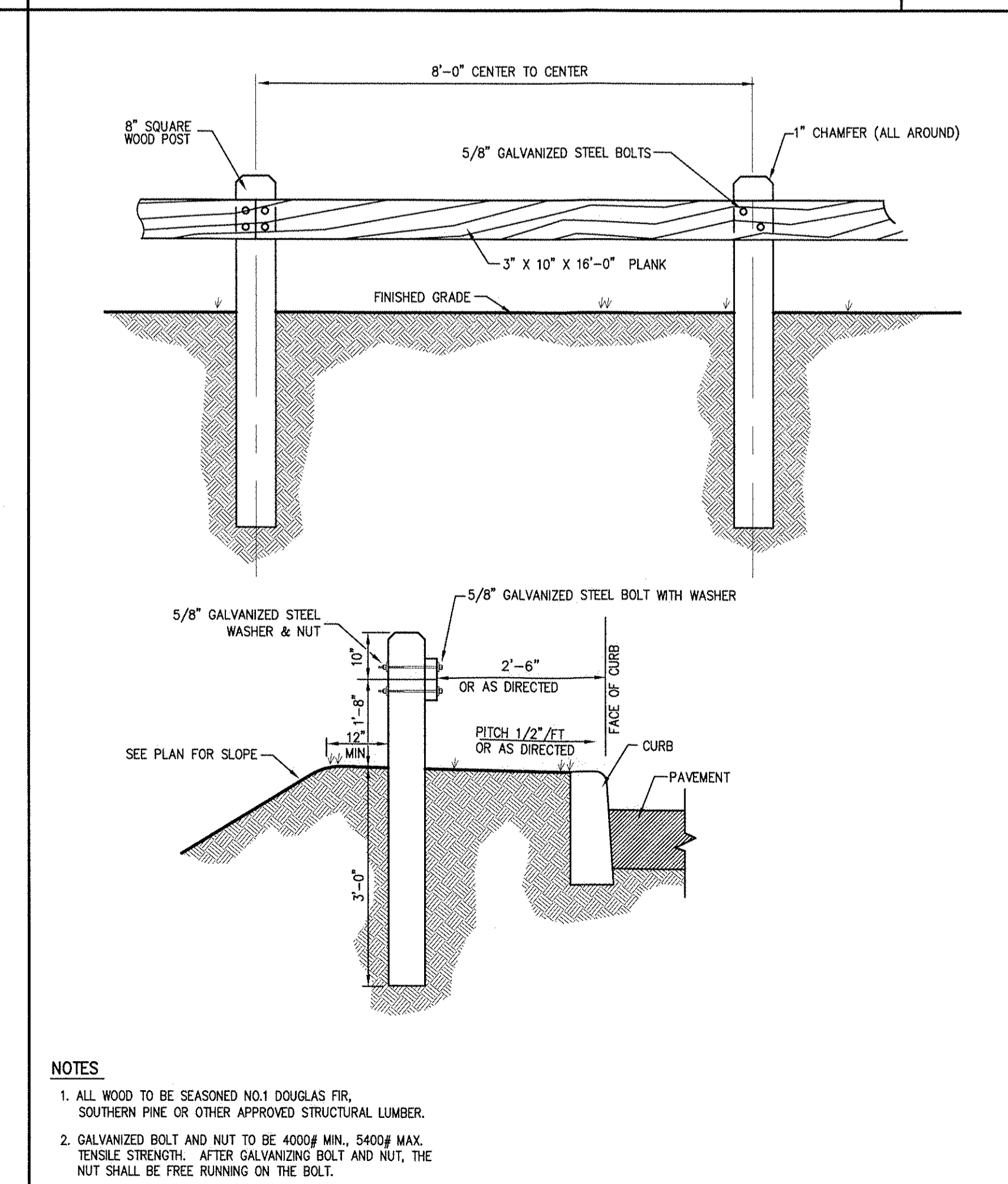
TRAFFIC SIGN POST (WOOD) 54

DRIVEWAY 4" HIGH STONE CURB (BELGIAN BLOCK) 42



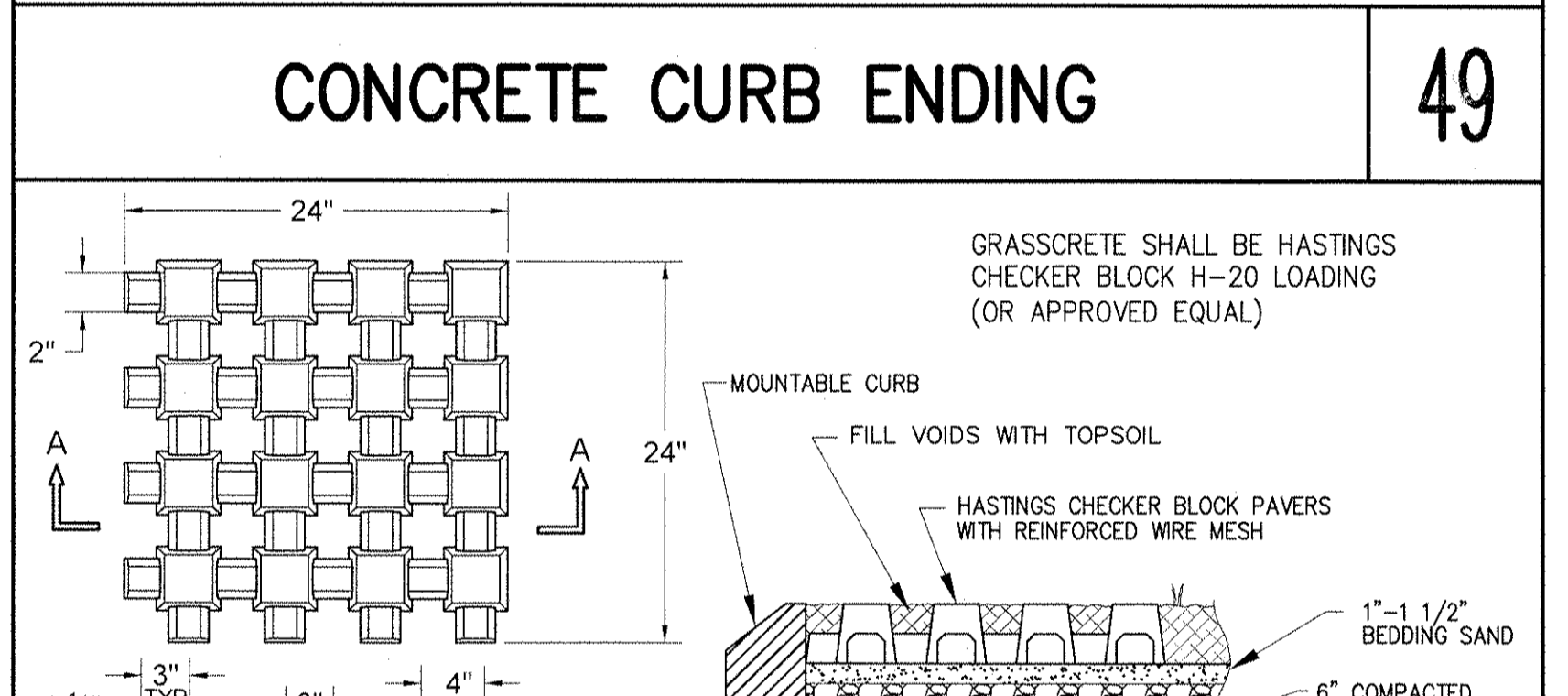
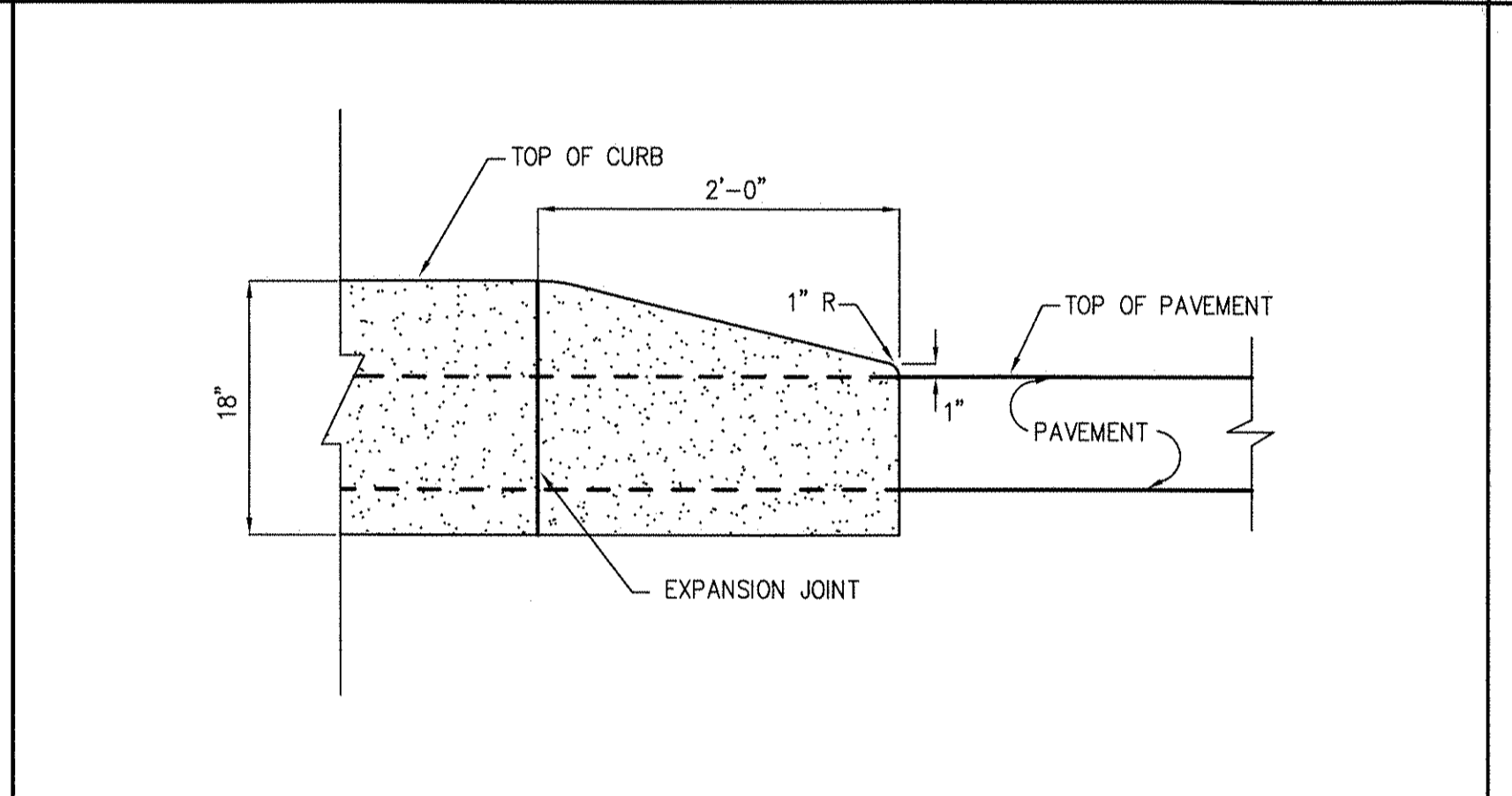
- NOTES:**
- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
 - PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 - REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 - SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

CONCRETE SIDEWALK 48



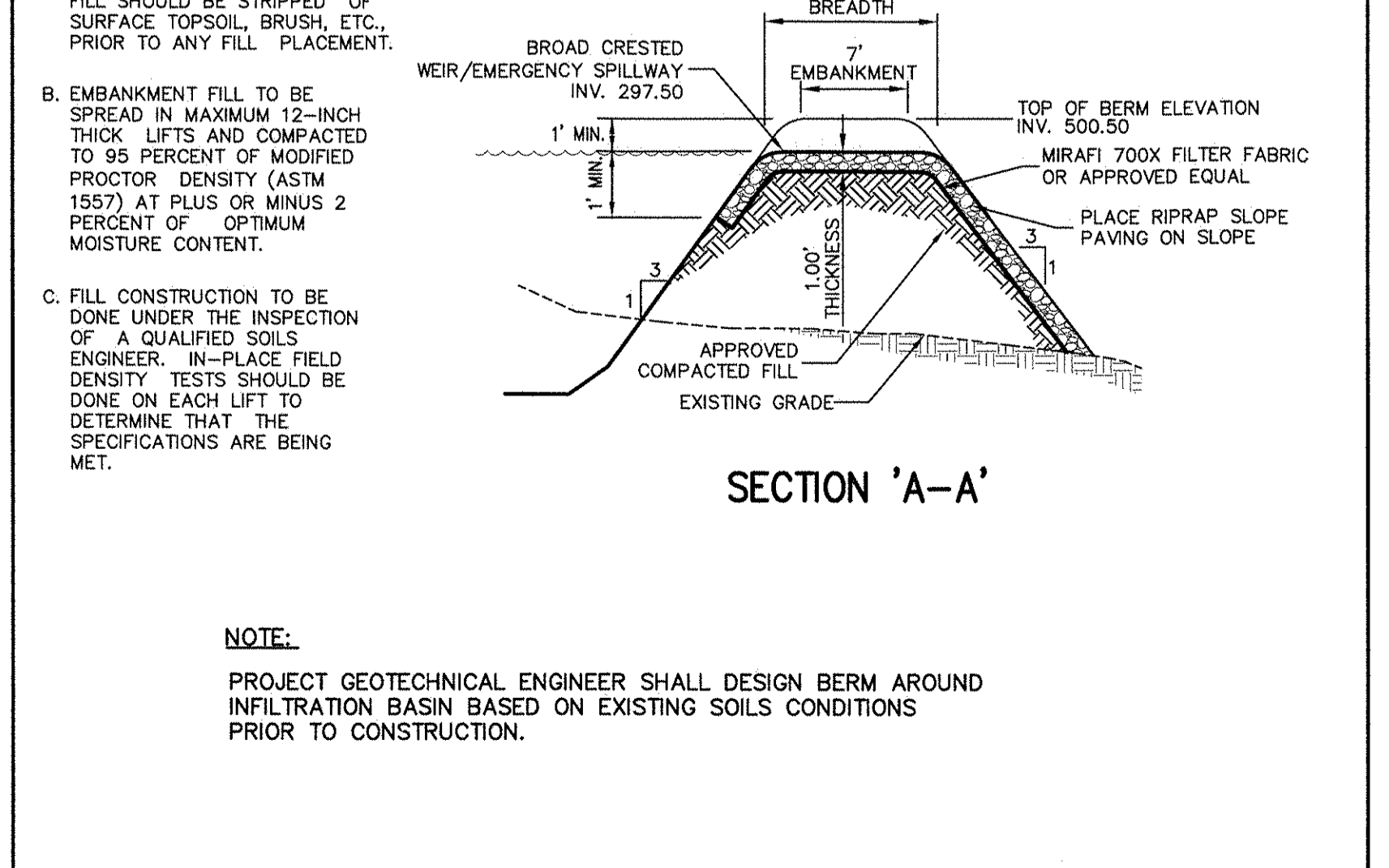
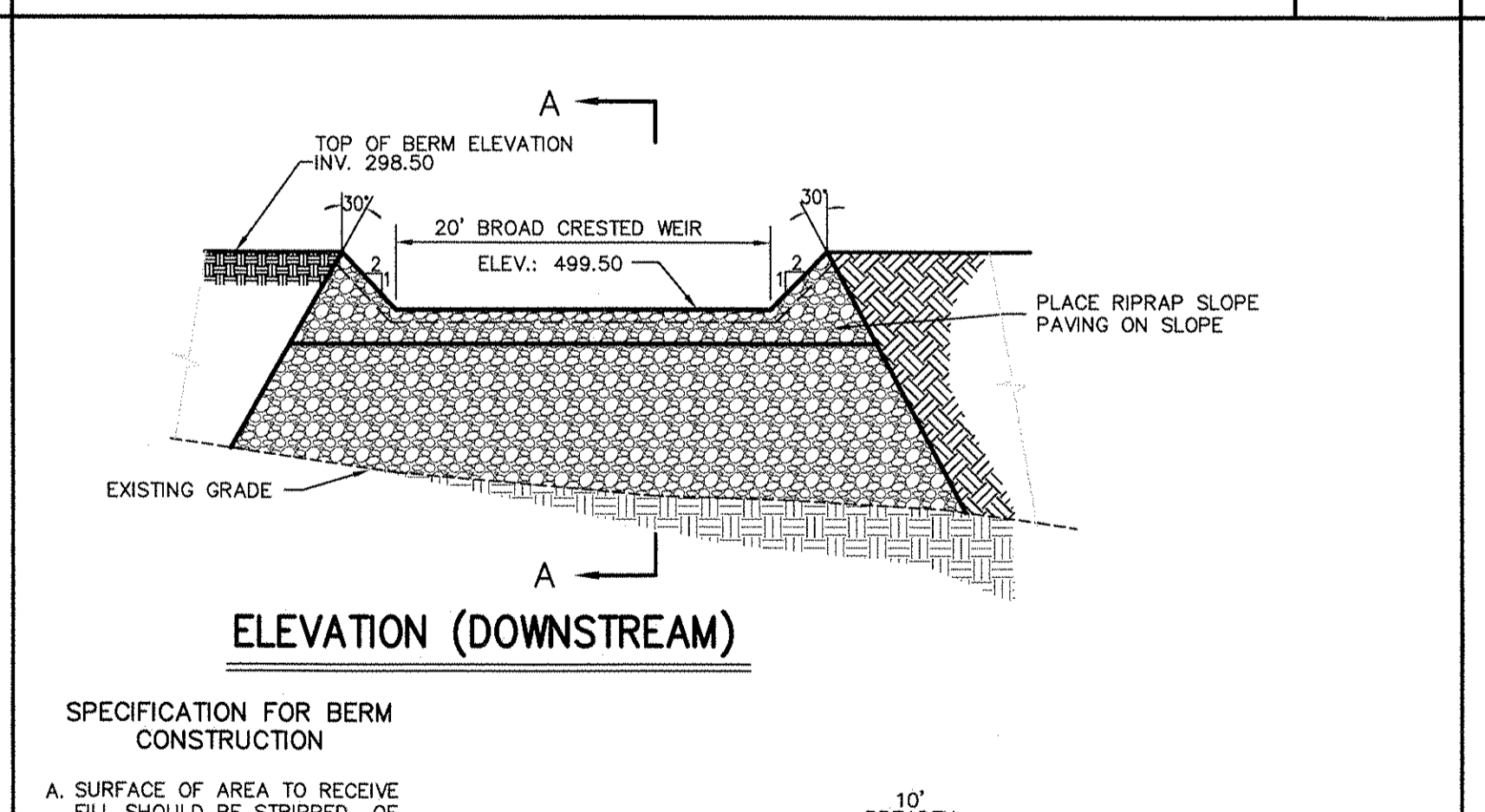
WOOD GUIDE RAIL 55

DROP CURB & RAMP (TYPE C) WITH DETECTABLE WARNING 43



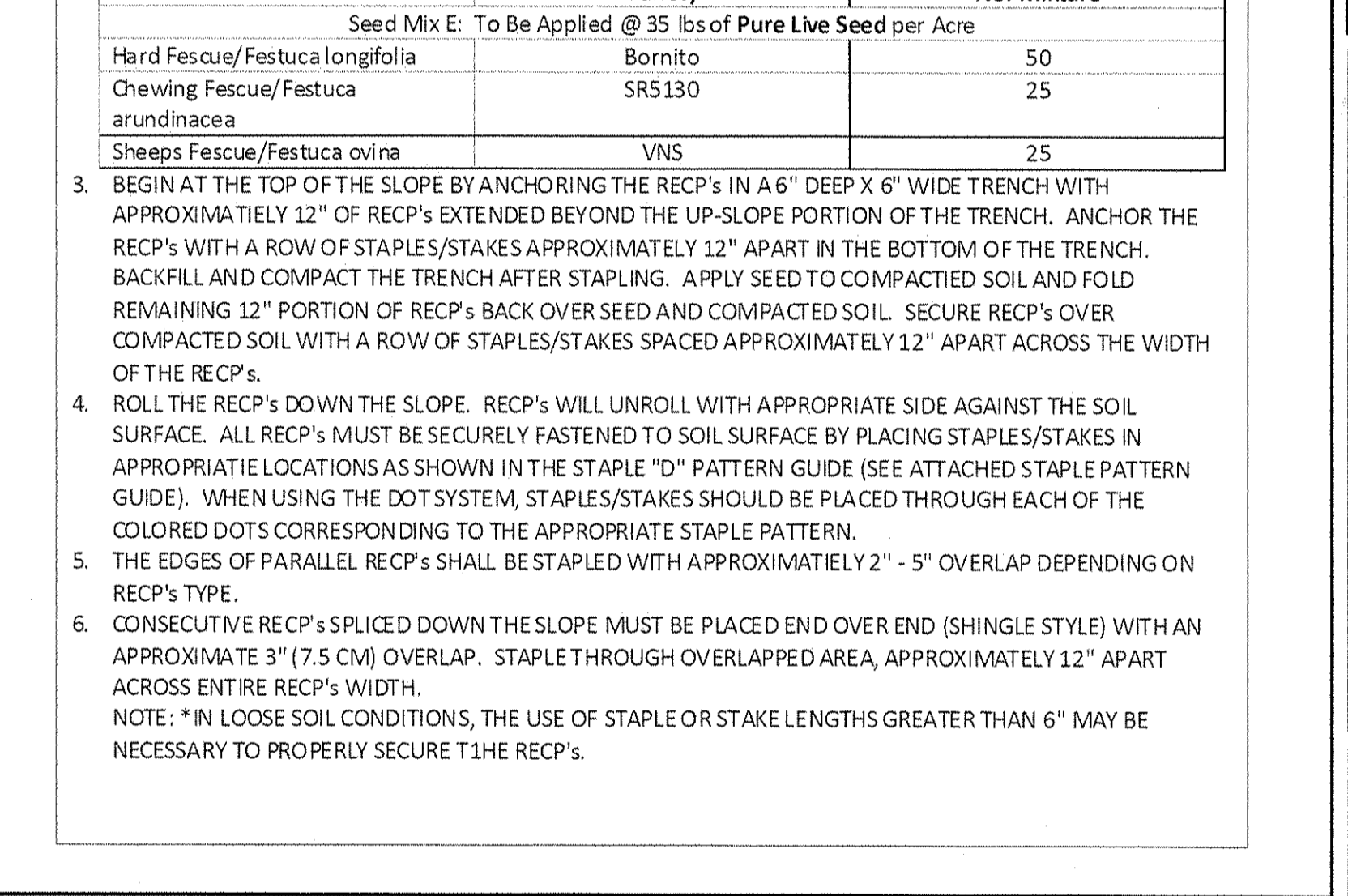
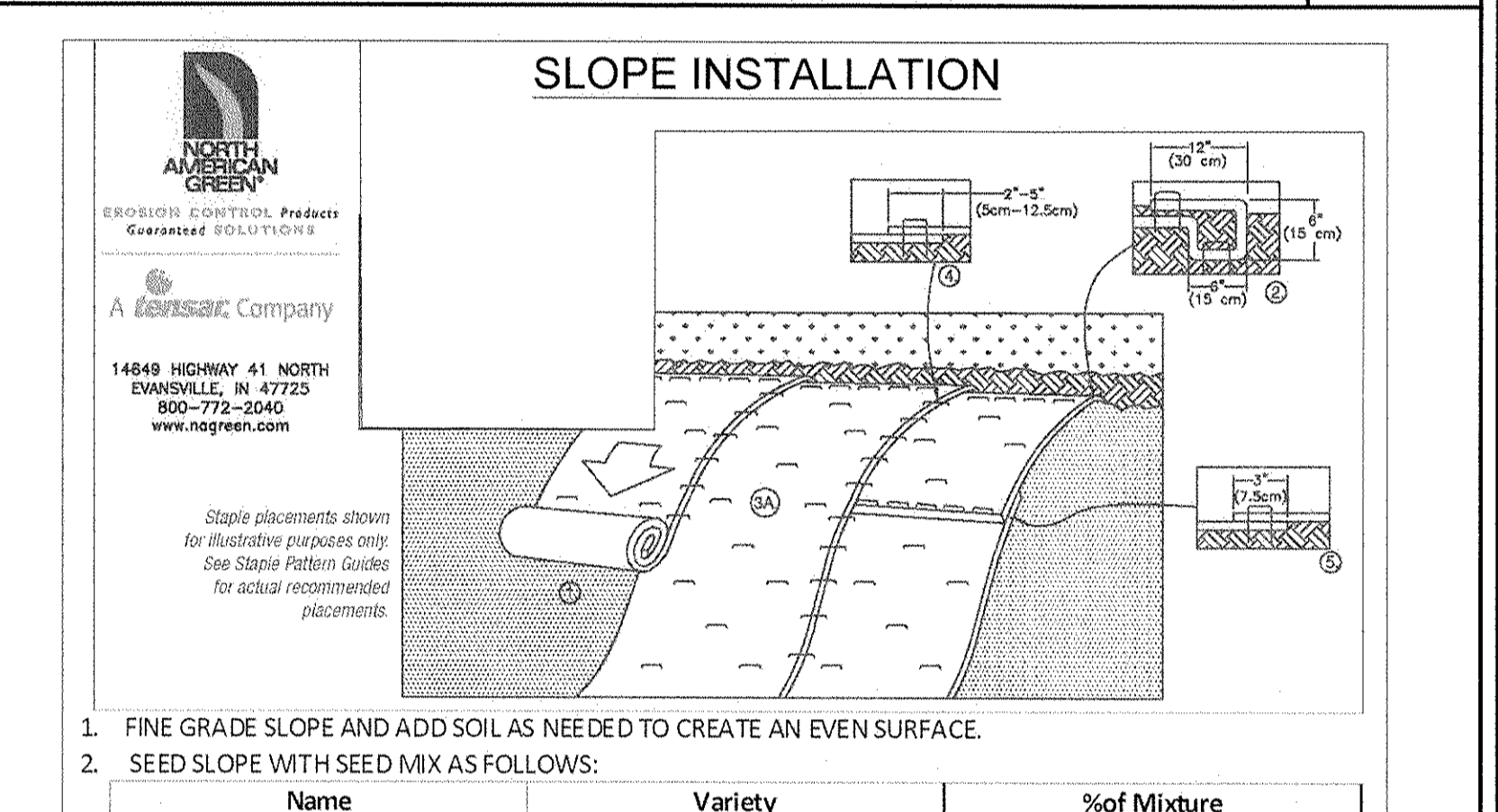
- NOTES:**
- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 - DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.09.2, FEDERAL REGISTER, VOLUME 34, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
 - 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - CURB TREATMENT FINISHES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
 - RAMP CURB AND ADJACENT PAVEMENTS SHALL BE GRADUATED TO PREVENT POINING.
 - MINIMUM LANDING OF RAMP ALONG A DRIVEWAY WITH THE MINIMUM DRIVEWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DRIVEWAY AND SHALL HAVE A MINIMUM DEPTH OF:
 - MANUAL SWING DOORS = 6' MIN.
 - FULL POWERED AUTOMATIC SLIDING DOORS = 4' MIN.
 - CONTRACTOR TO INSURE TOP OF CURB MATCHES SLOPE OF RAMP.

CONCRETE CURB ENDING 49

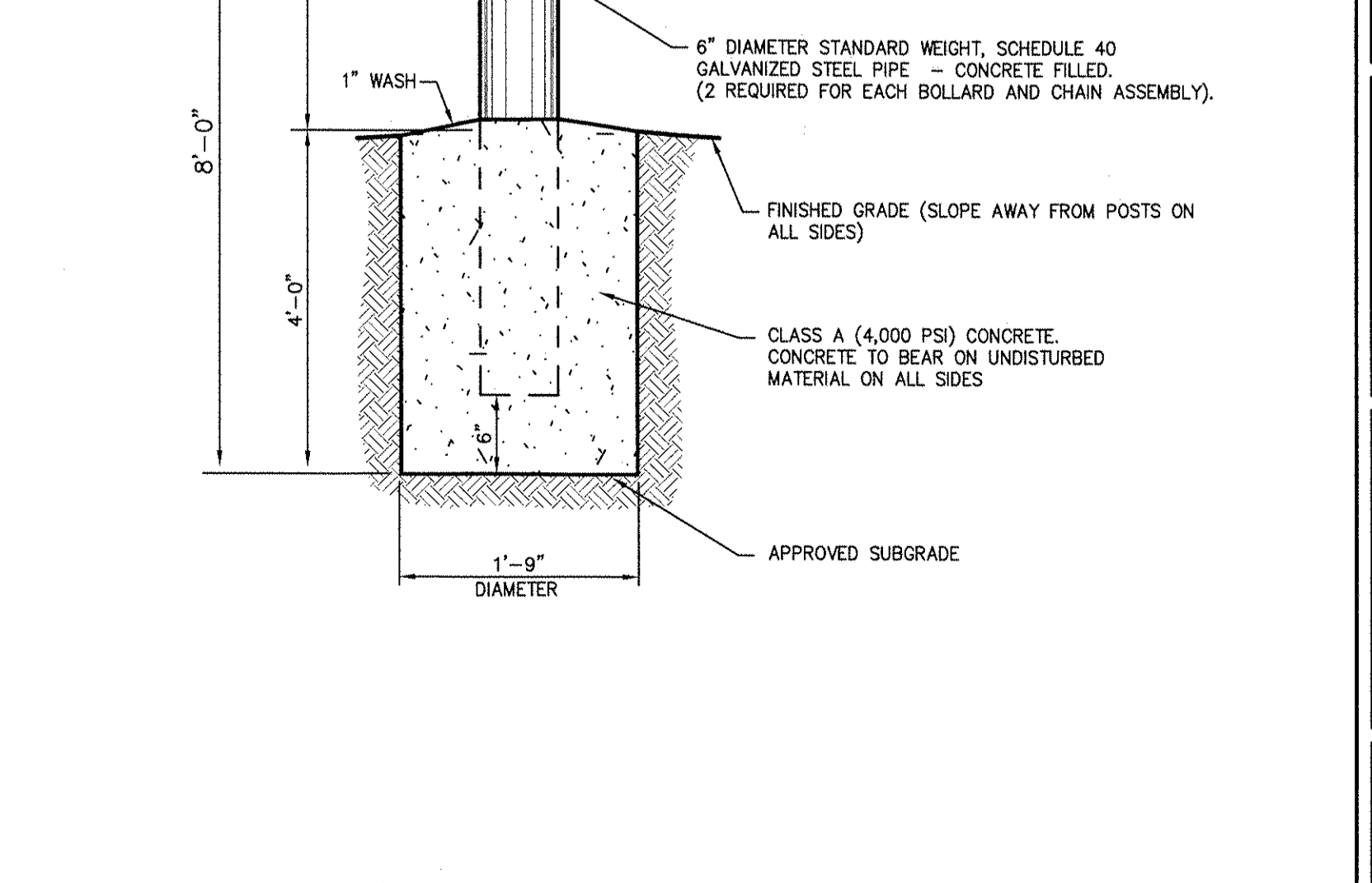
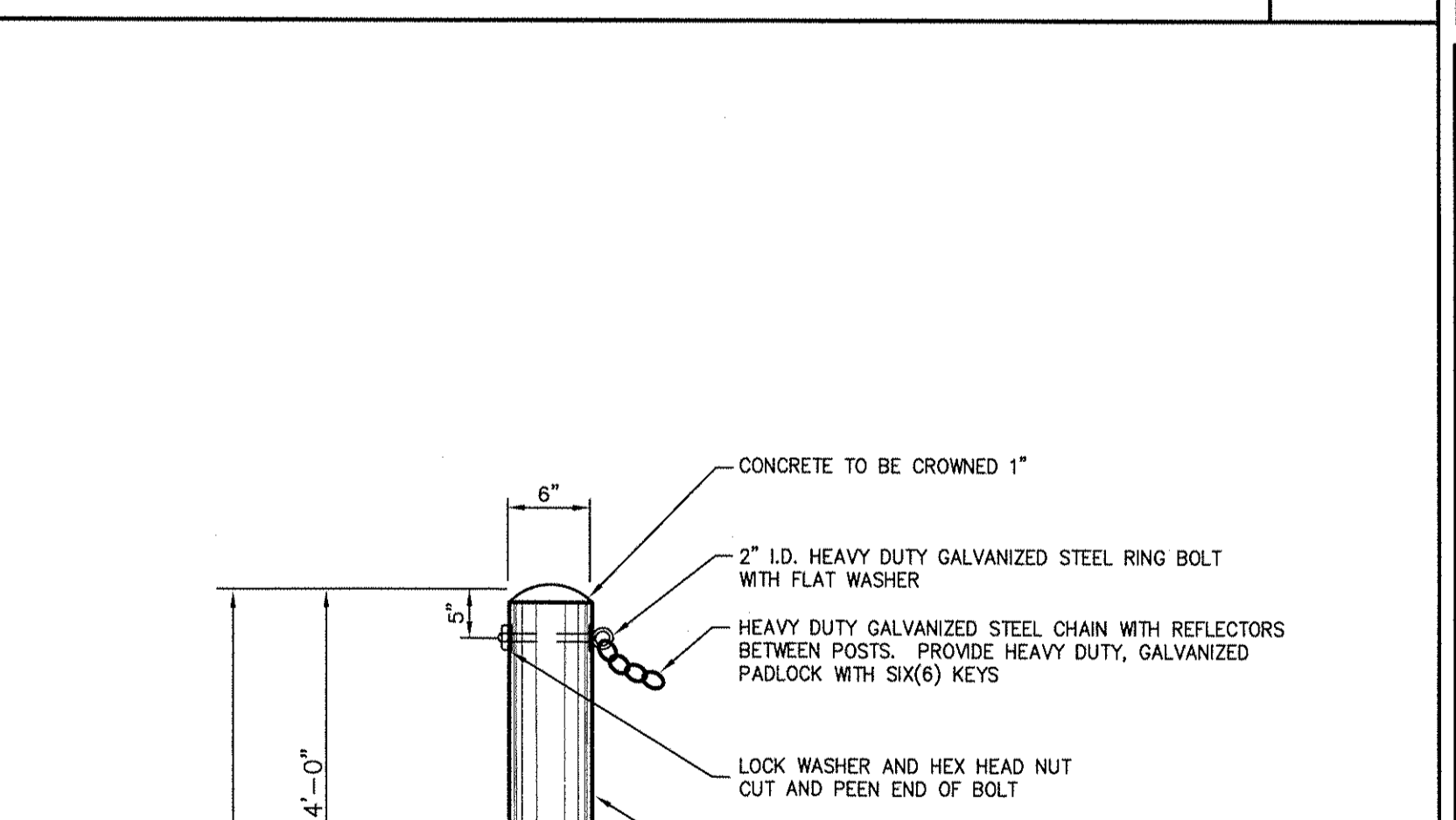


RIP-RAP EMERGENCY SPILLWAY 56

STONE CURB (BELGIAN BLOCK) 45

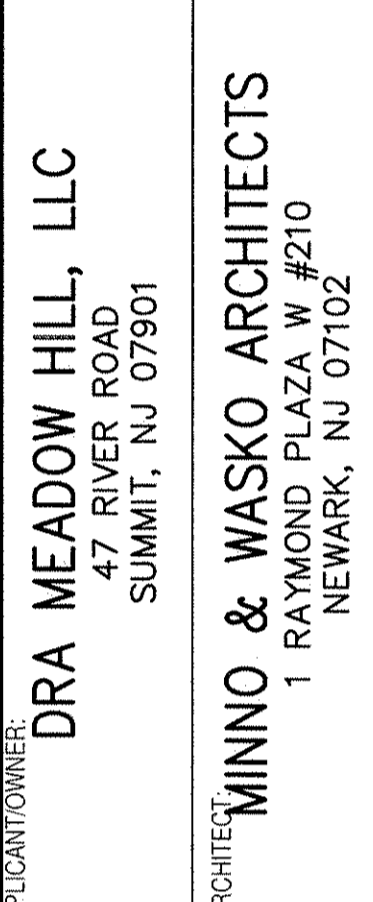


STABILIZED SLOPE DETAIL 51

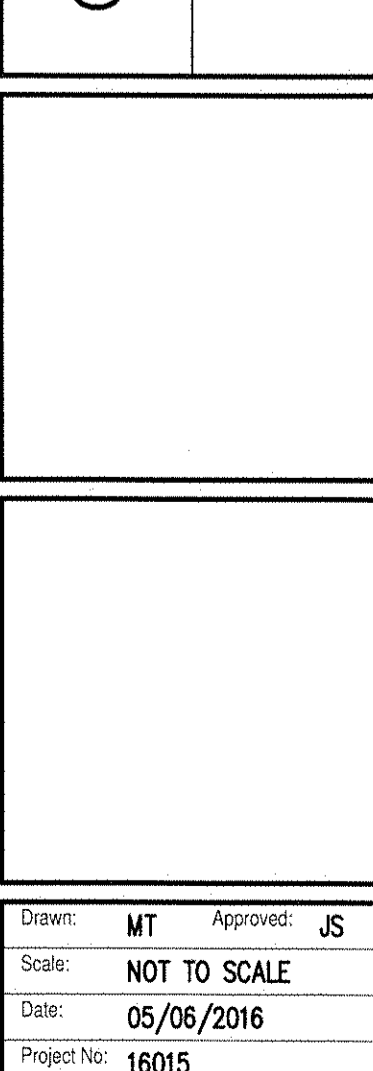
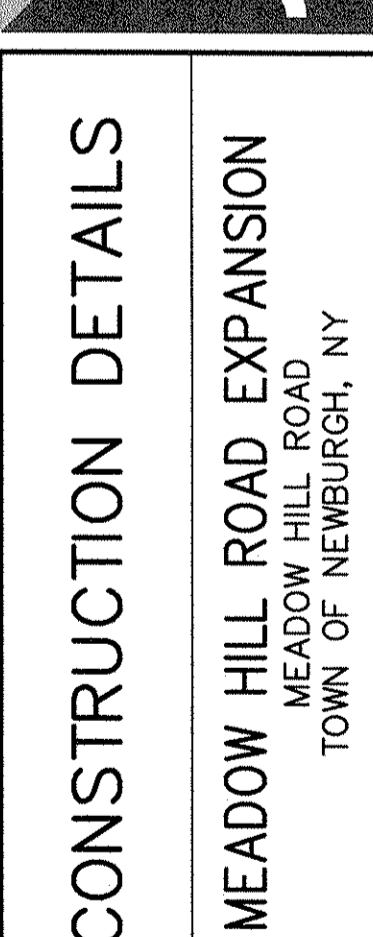


BOLLARD & CHAIN ASSEMBLY (STEEL PIPE) 57

MOUNTABLE CURB 44



CONCRETE CURB ENDING 49



WOOD GUIDE RAIL 55

No.	REVISION	DATE	BY	CHKD.
1.	REVISION	05/25/2016	MT	JS
2.	REVISION	05/19/2016	MT	JS

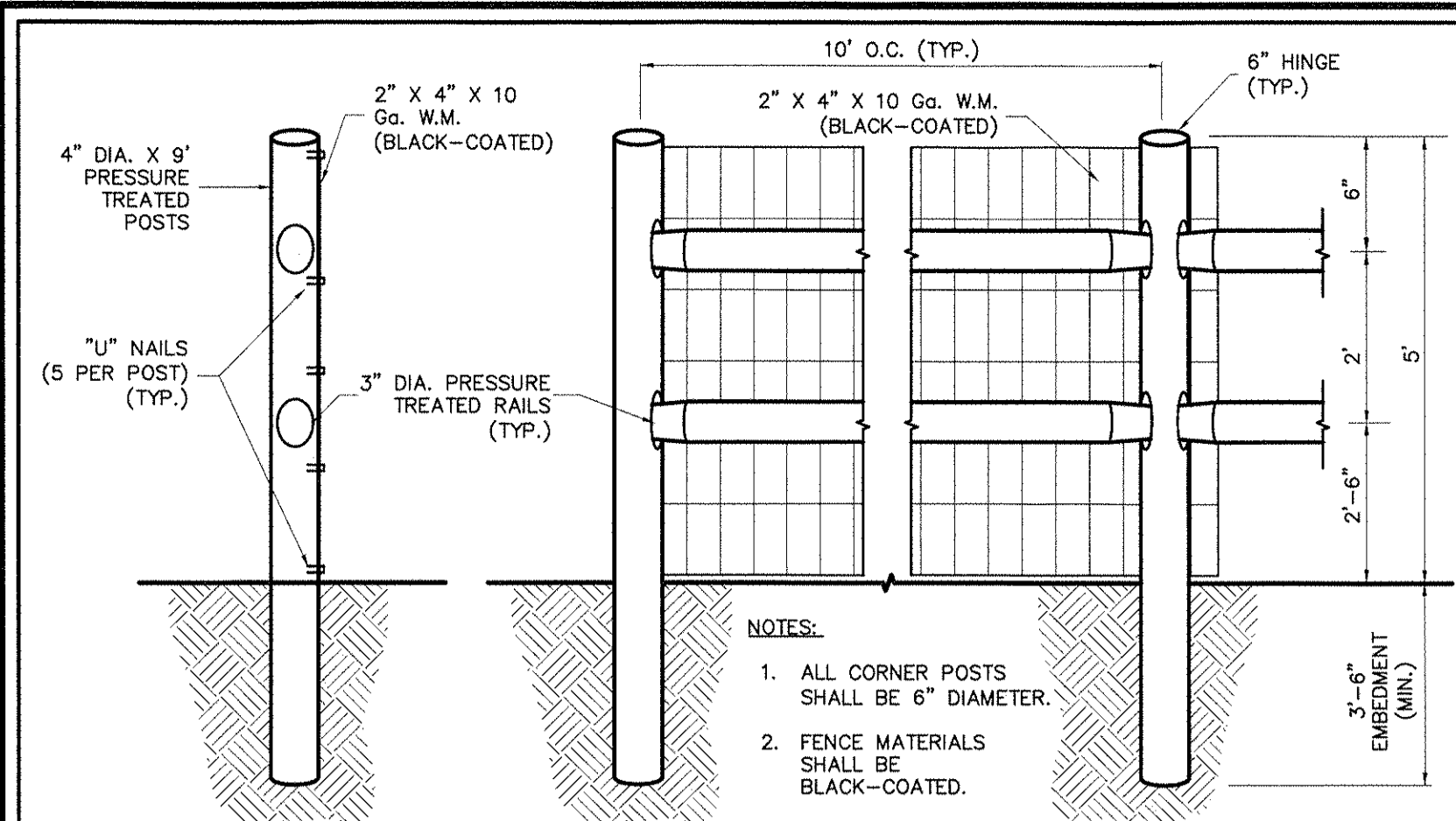
DRA MEADOW HILL, LLC
 14608 HIGHWAY 41 NORTH
 DANVILLE, VA 27033
 DR@meadowhill.com
 www.meadowhill.com

MINNIO & WASKO ARCHITECTS
 1 FAIRMONT PLAZA W #710
 NEWARK, NJ 07102

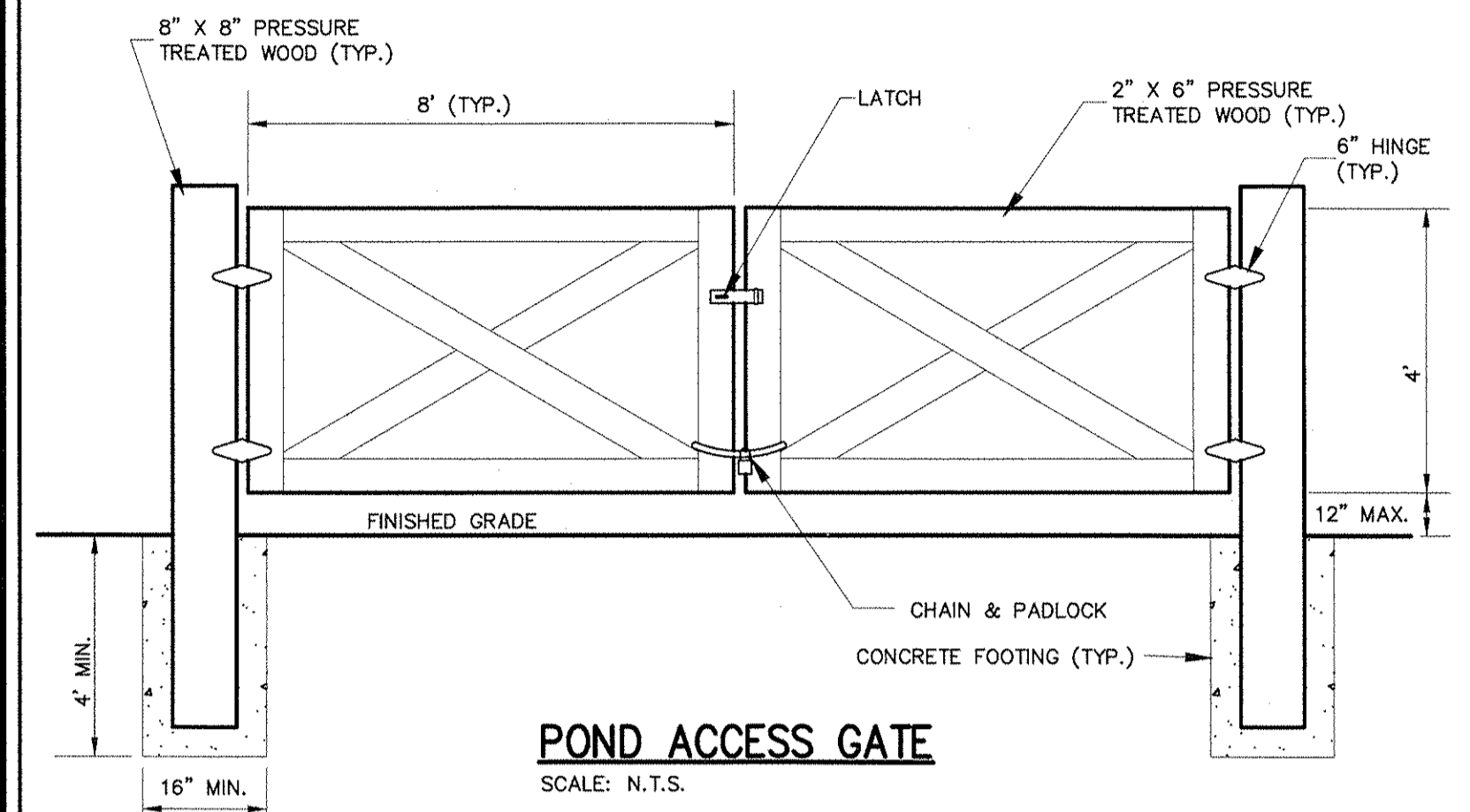
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 183 BEDFORD ROAD • RIDGEMONT, NY 10584
 914.273.3225 • FAX 914.273.3105
 www.jmcpllc.com

CONSTRUCTION DETAILS
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY

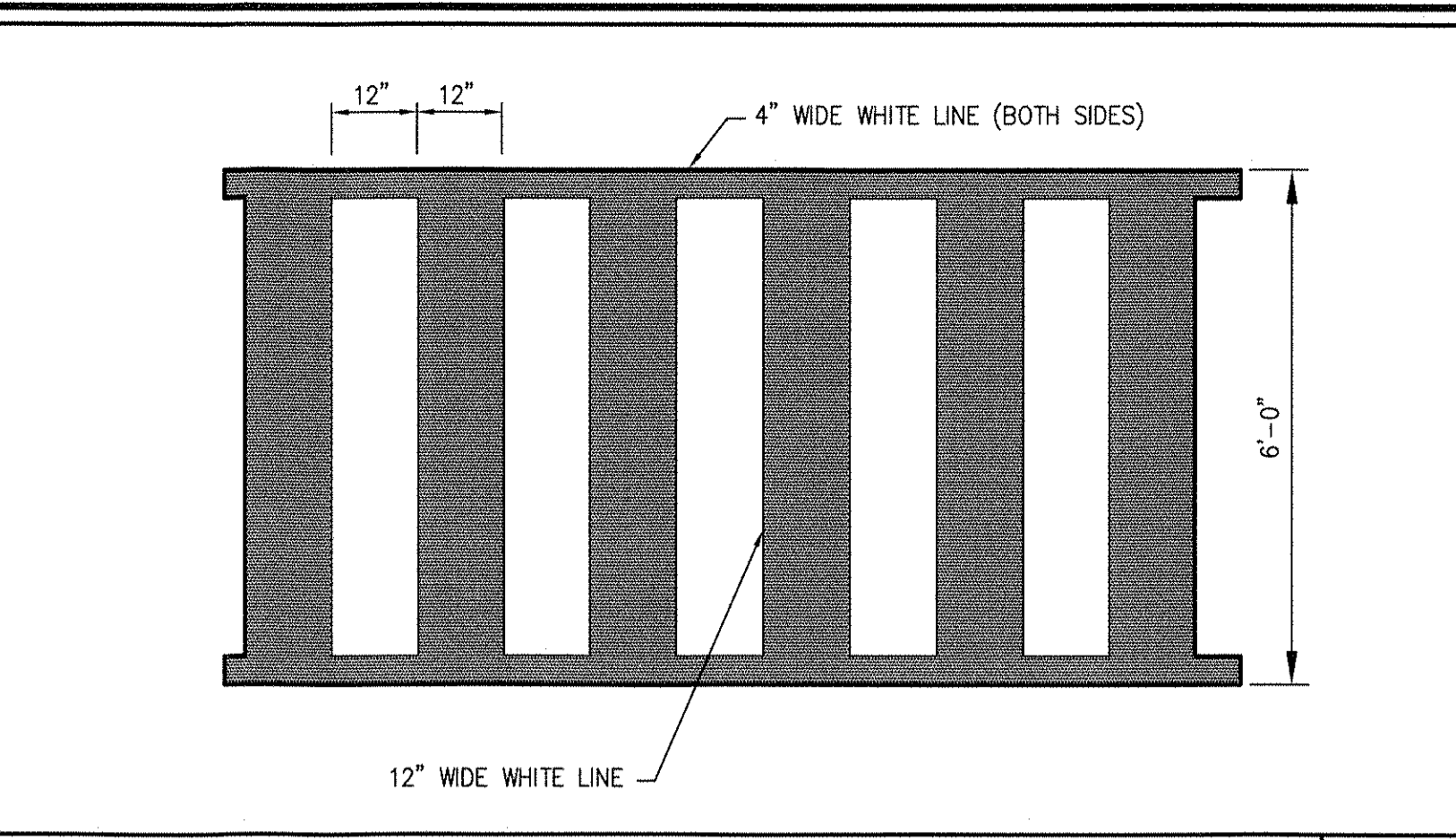
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Date:	05/06/2016	Scale:	NOT TO SCALE
Project No.:	16015	Sheet:	
Revision:	REV 4	Drawn by:	



POST & RAIL FENCE - ELEVATION
SCALE: N.T.S.

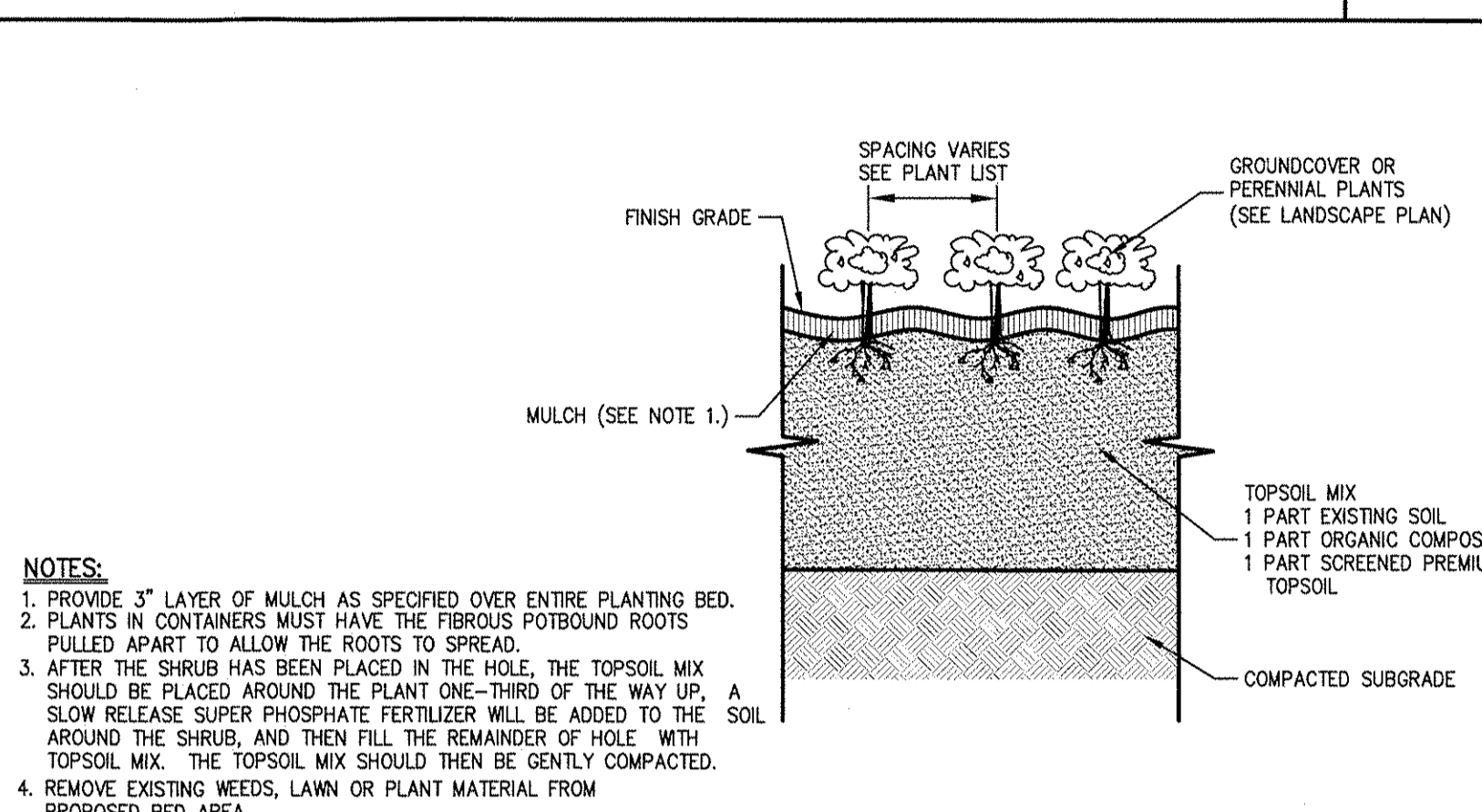


POND ACCESS GATE
SCALE: N.T.S.



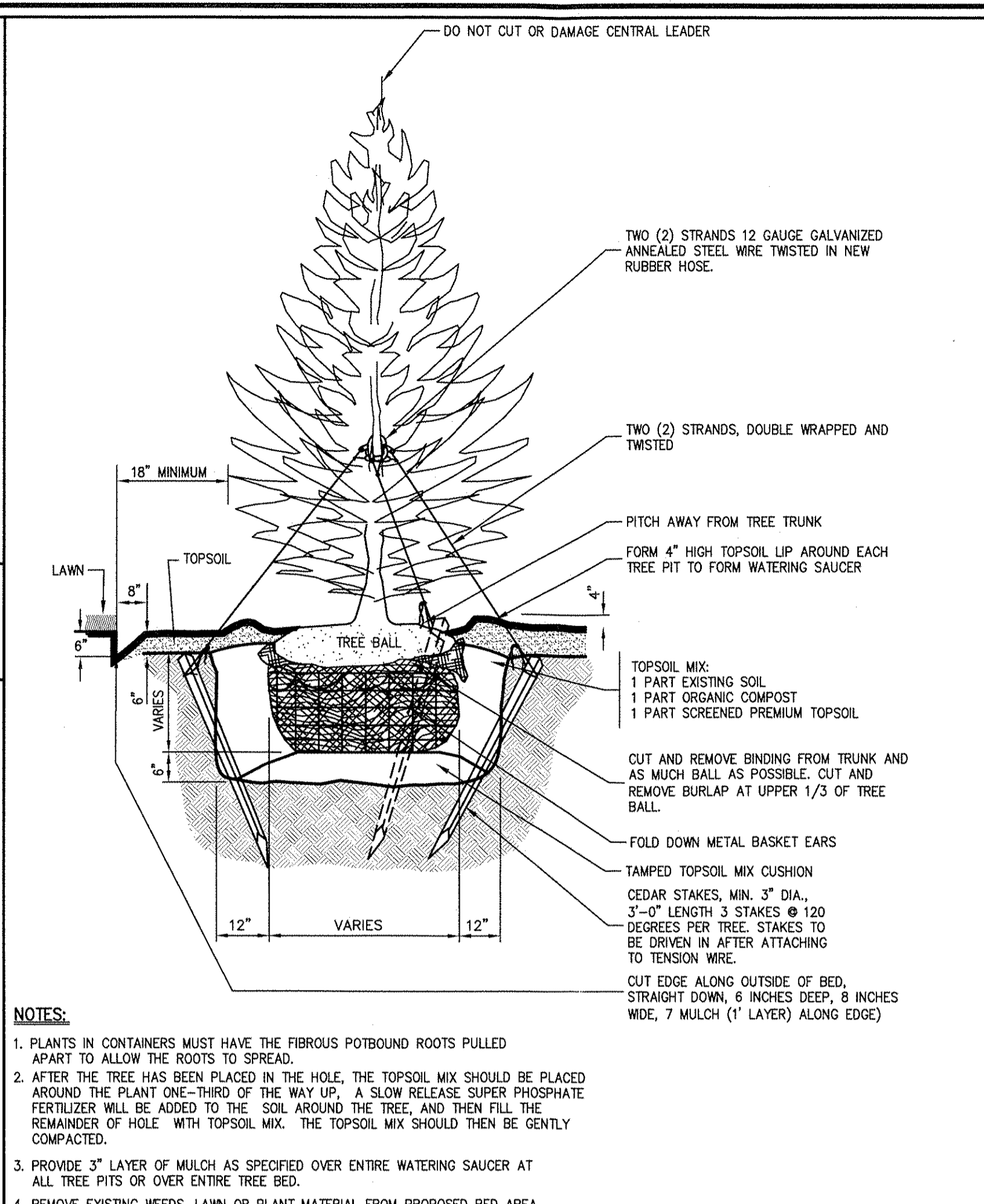
PEDESTRIAN CROSSING

59



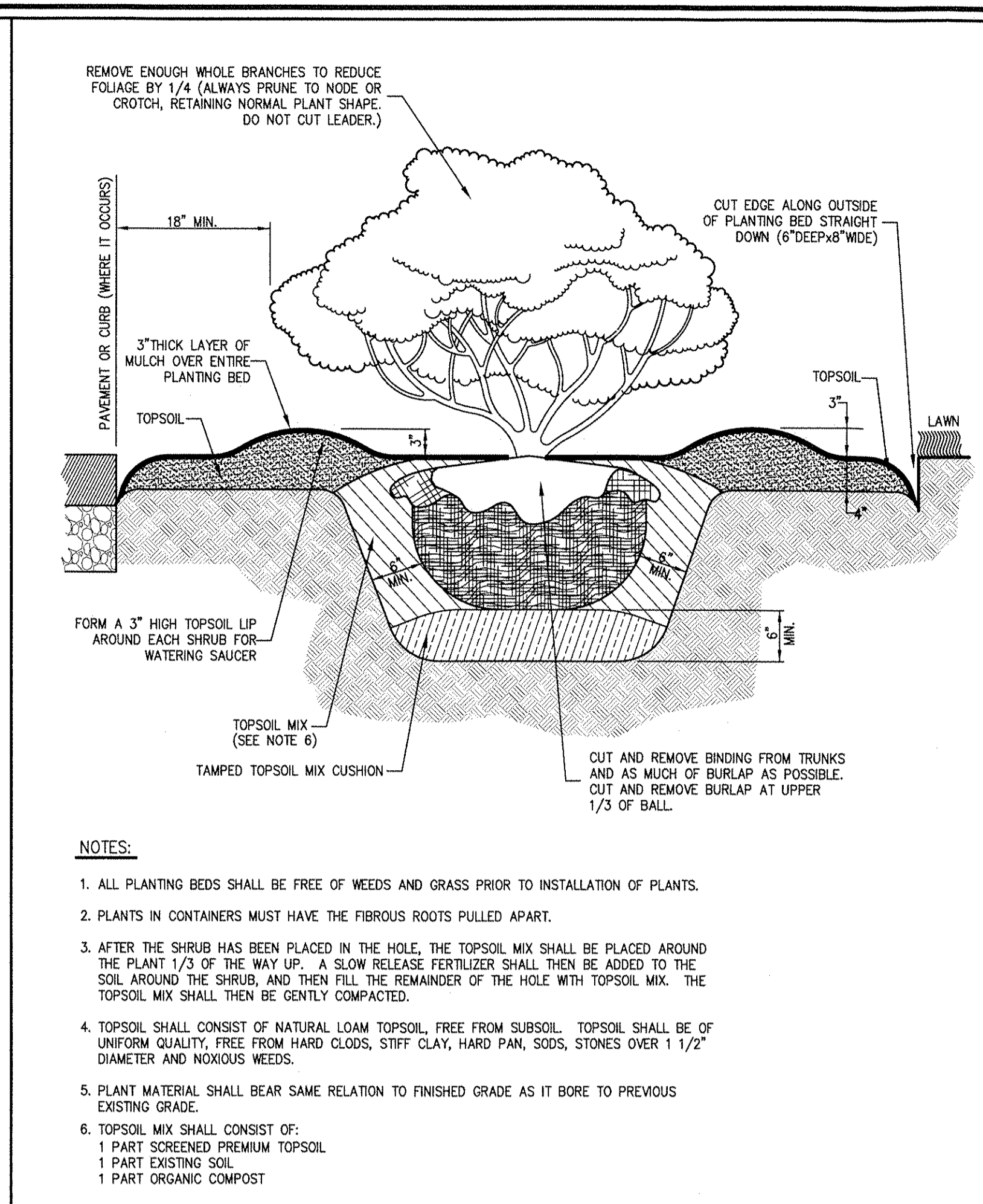
GROUNDCOVER PLANTING

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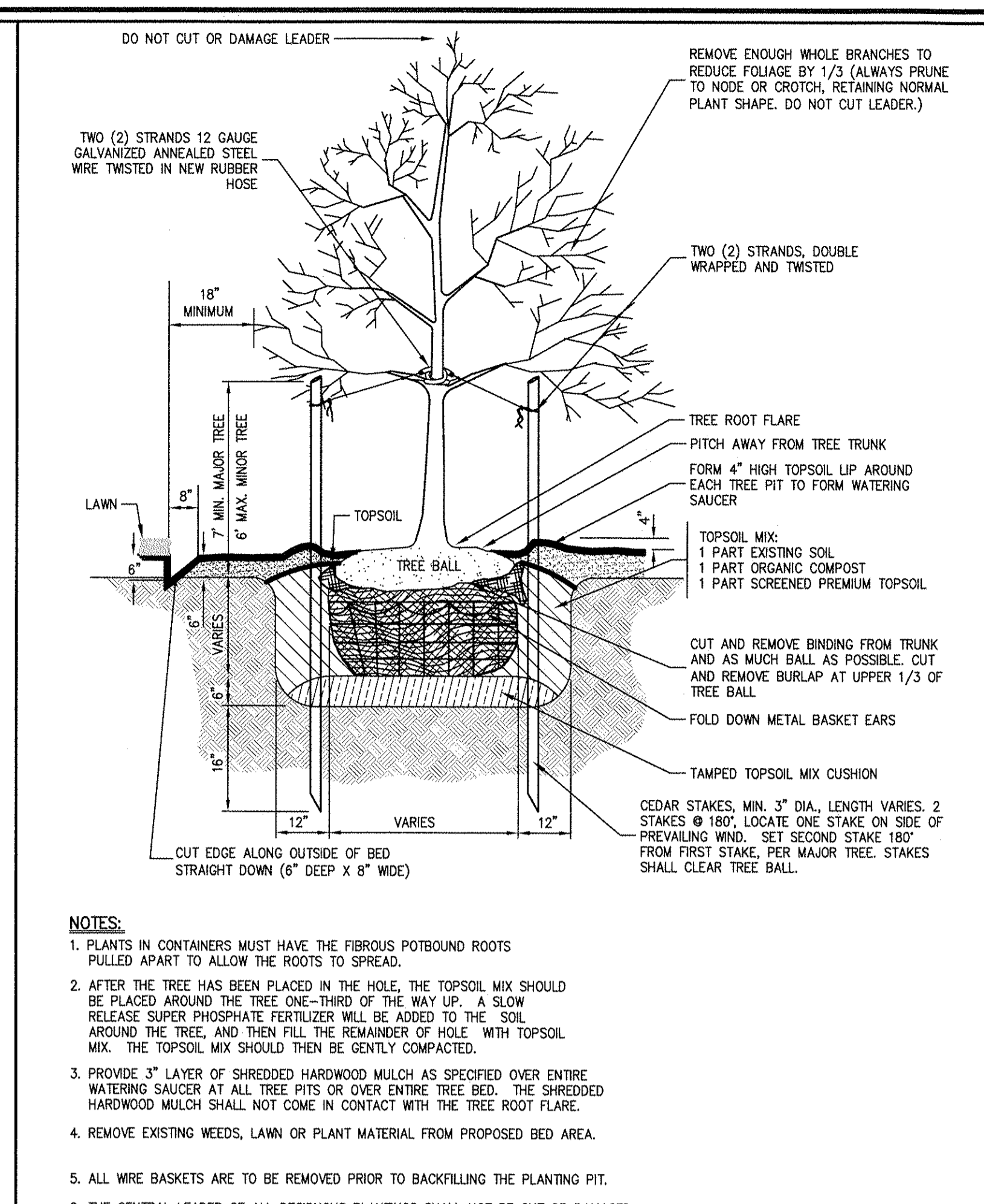
EVERGREEN TREE PLANTING

61



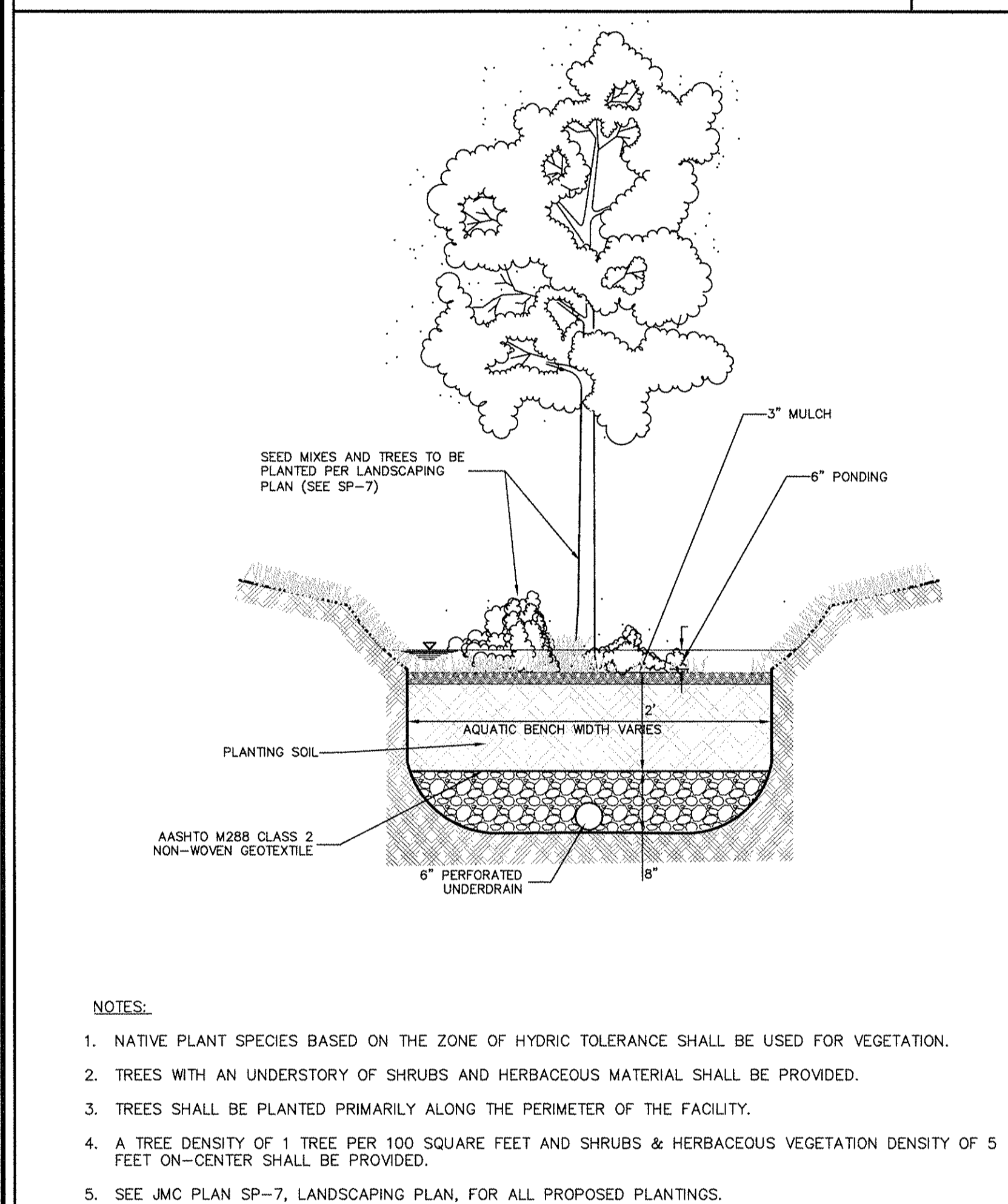
SHRUB PLANTING

62



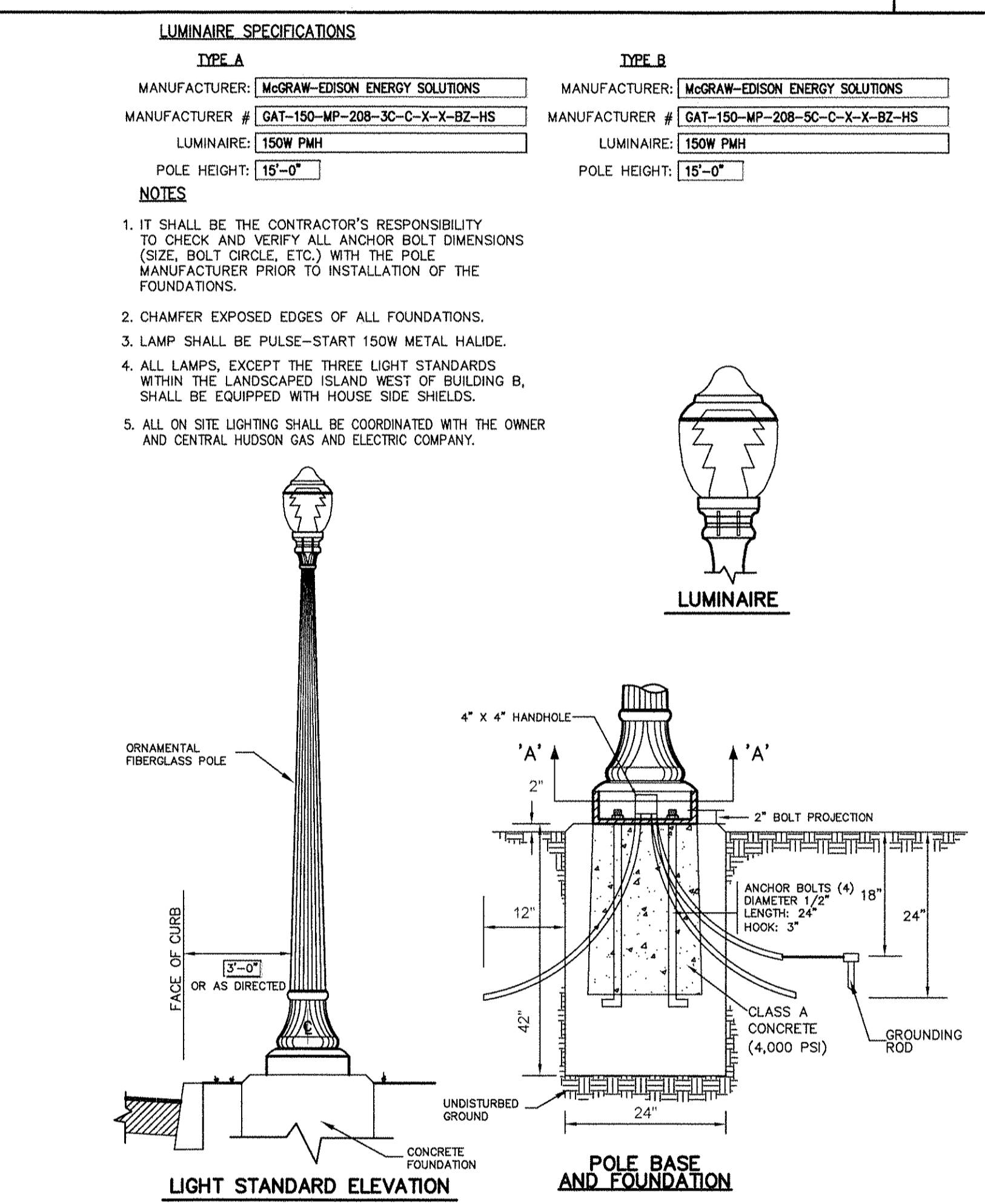
DECIDUOUS TREE PLANTING

63



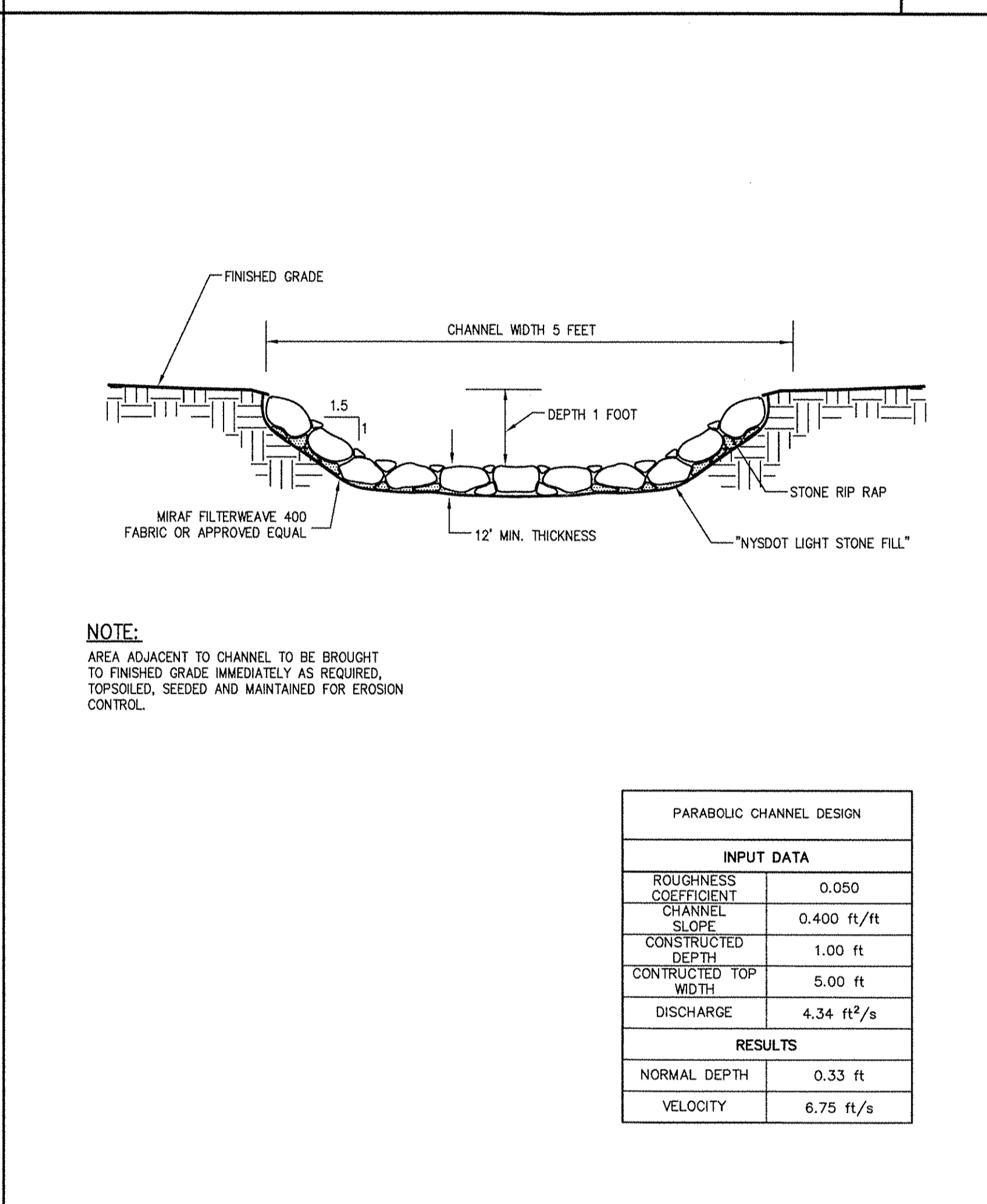
BIORETENTION DETAIL

64



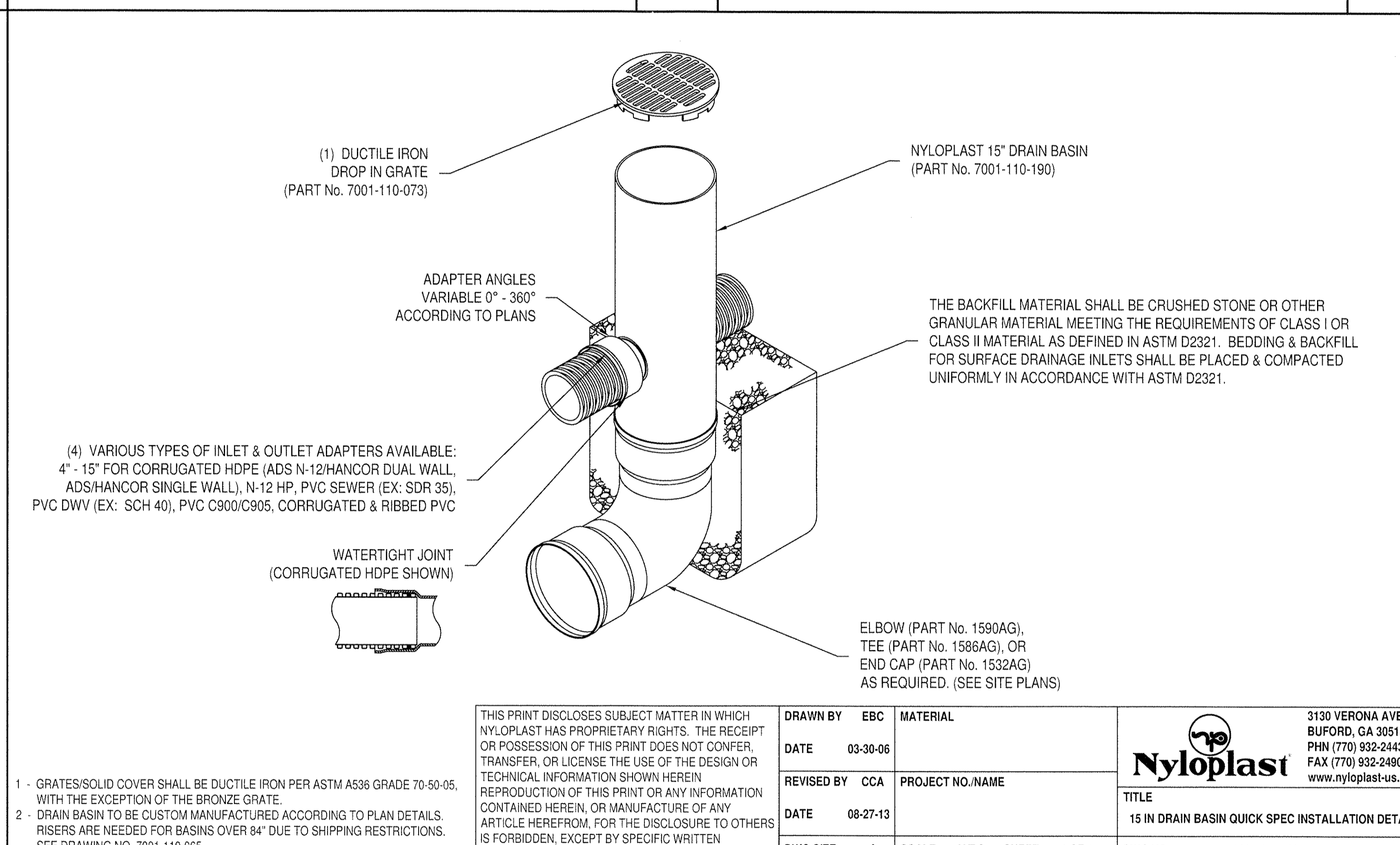
ACORN DECORATIVE LIGHT

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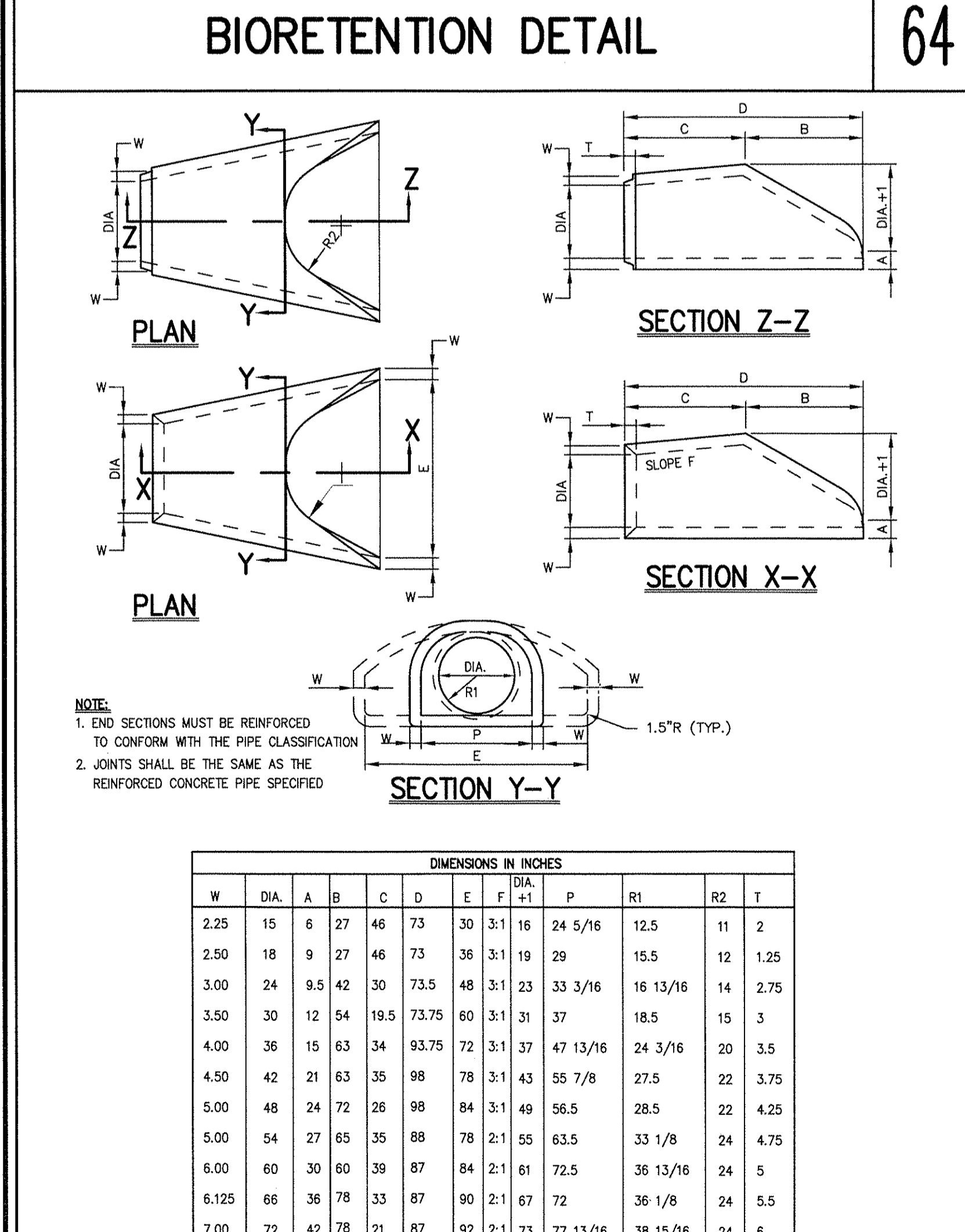
STONE RIP RAP CHANNEL

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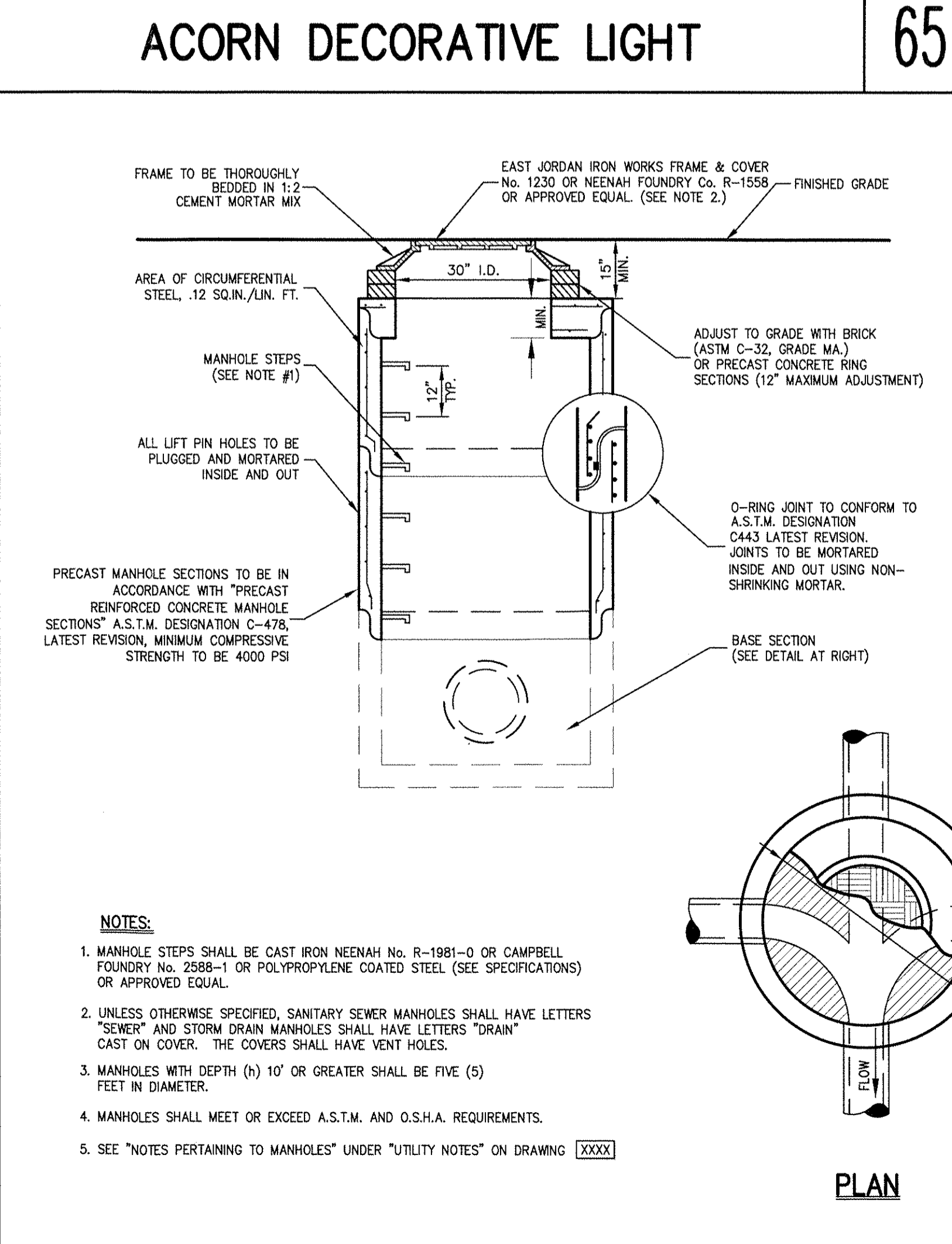
NYLOPLAST 15" DRAIN BASIN
(BIORETENTION RISER PIPE)

67



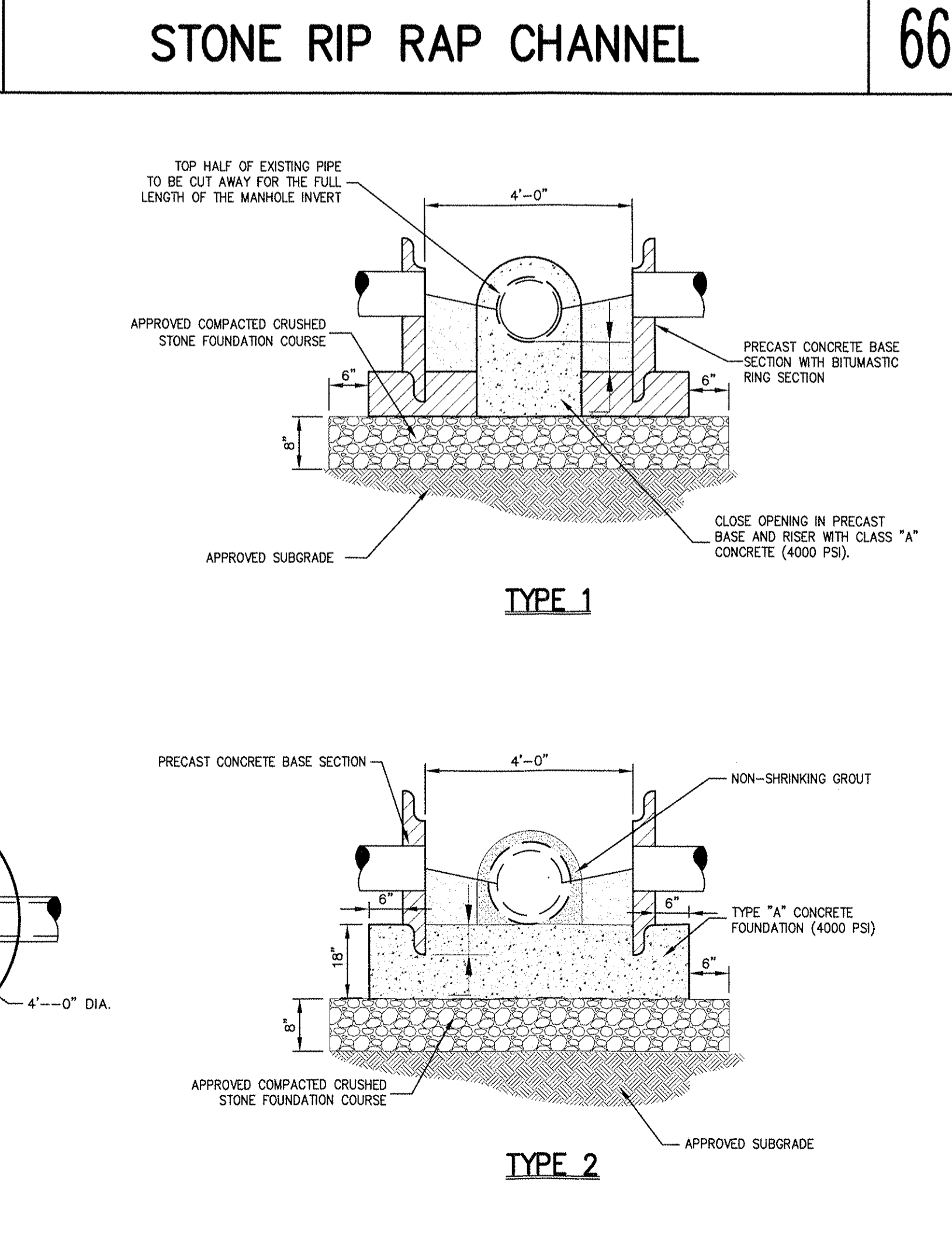
END SECTION (CONCRETE)

68



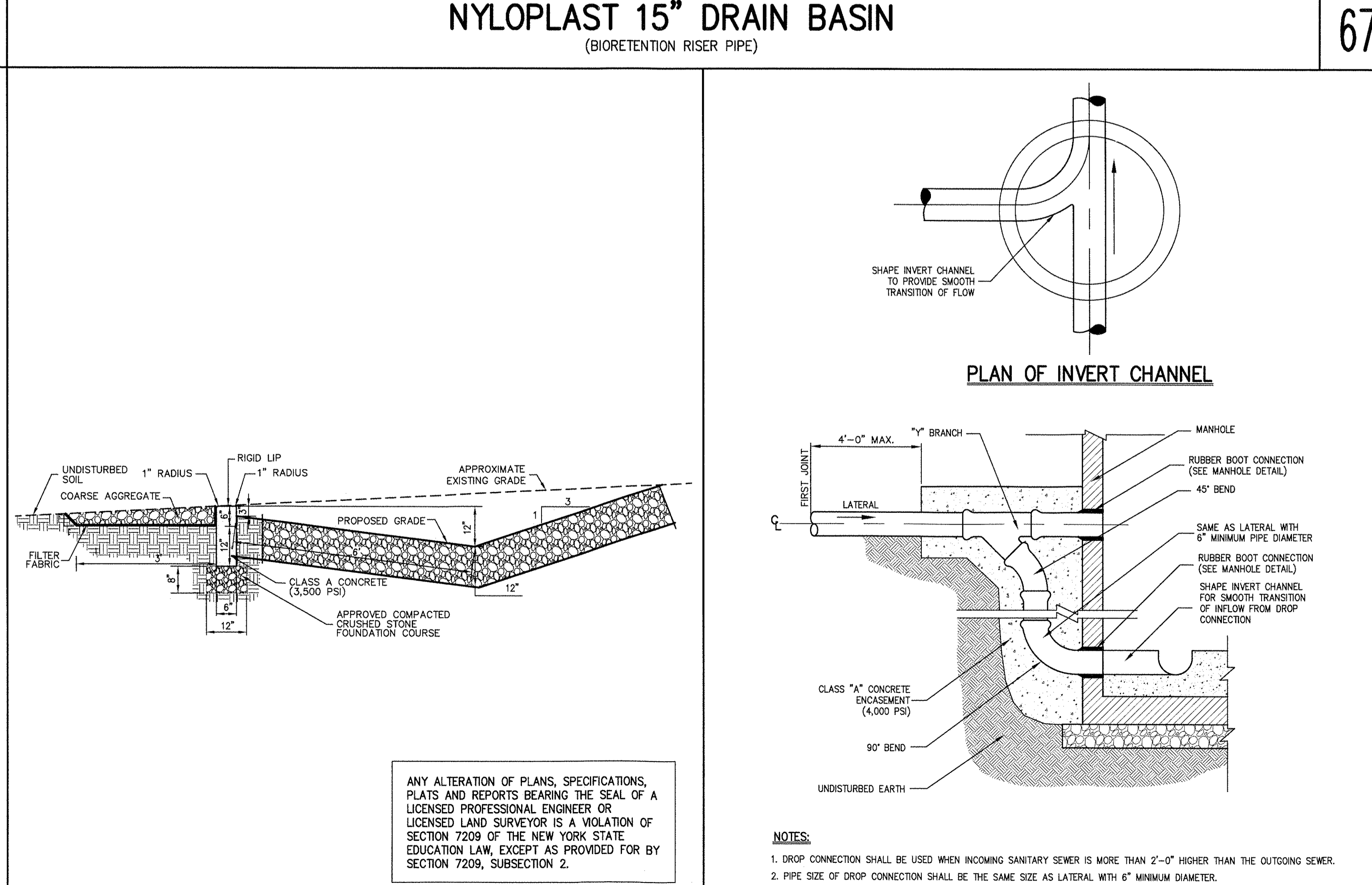
DOGHOUSE MANHOLE

69



CONCRETE LEVEL SPREADER

70



DROP CONNECTION AT MANHOLE
(SANITARY SEWER)

71

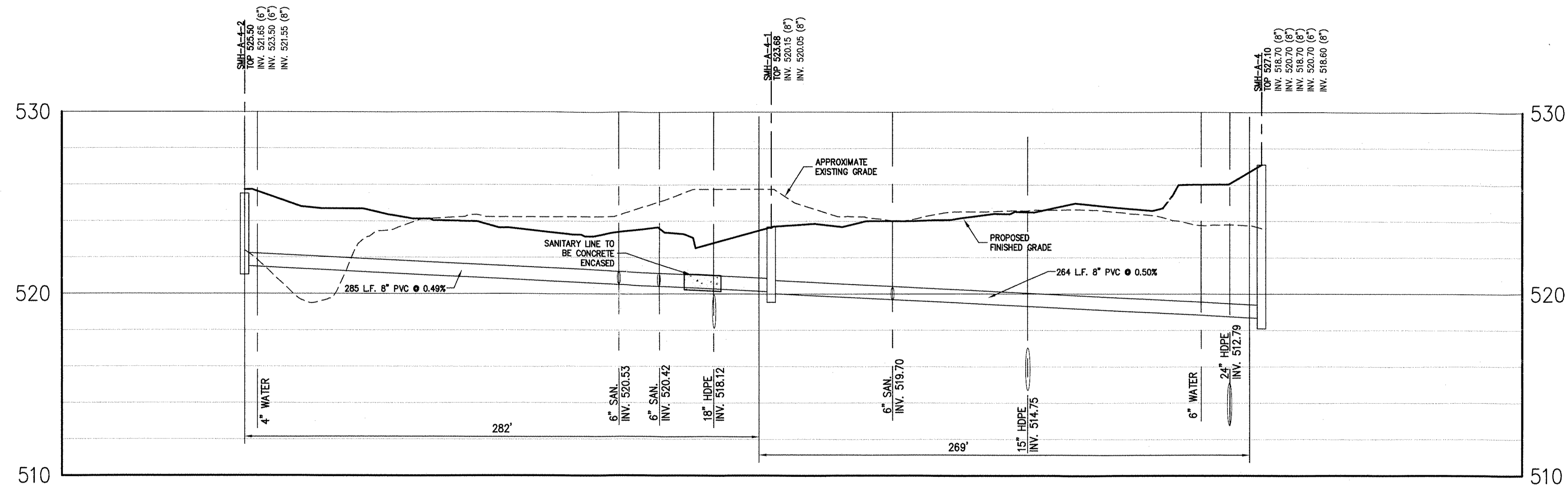
DRAMA MEADOW HILL, LLC
47 RIVER ROAD
SUMMIT, NJ 07901

MINNO & WASKO ARCHITECTS
1 RAYMOND PLAZA W #210
NEWARK, NJ 07102

JMC
CONSTRUCTION DETAILS
MEADOW HILL ROAD EXPANSION
MEADOW HILL ROAD
TOWN OF NEWBURGH, NY

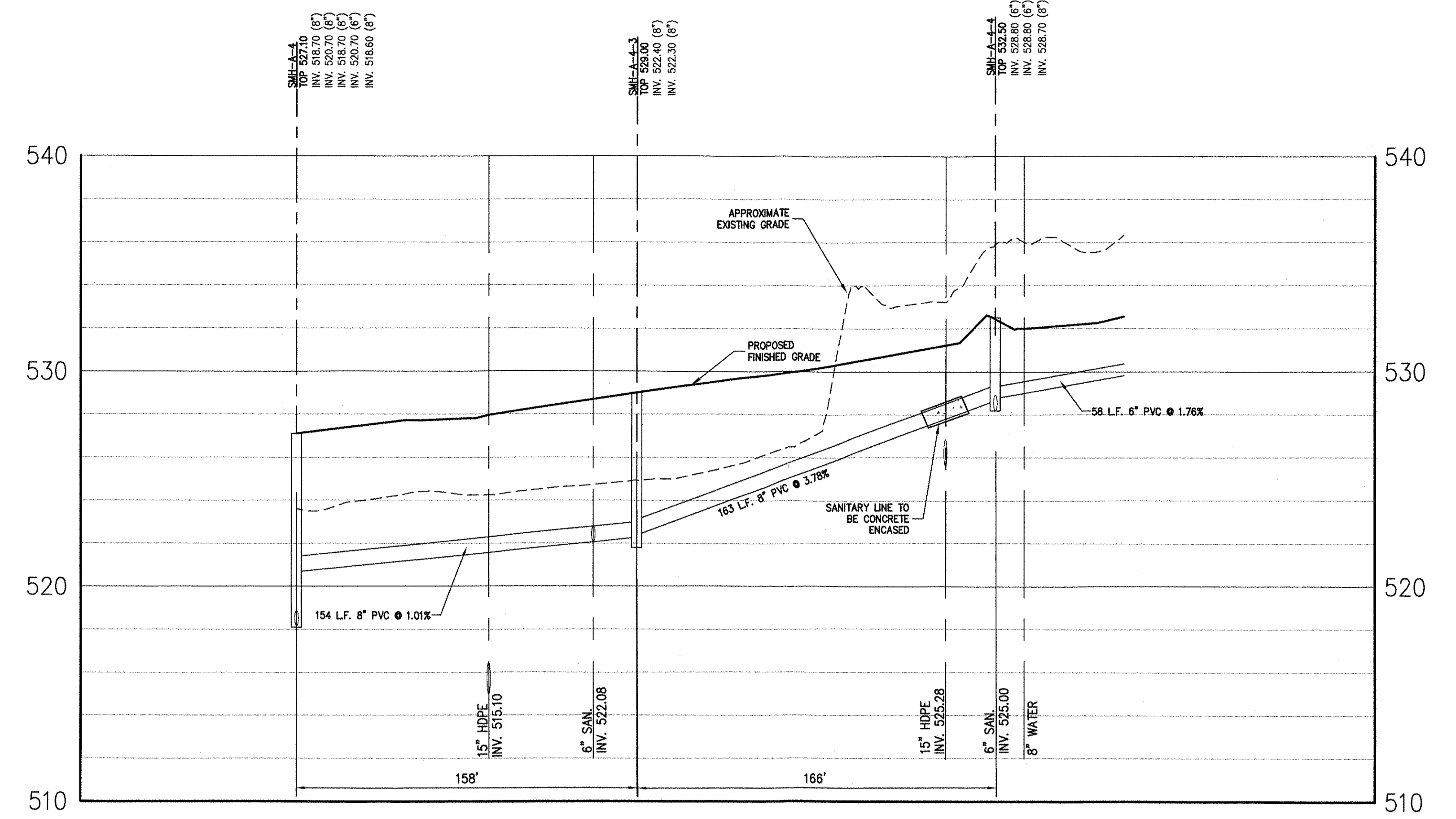
Nyloplast
3130 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2490
www.nyloplast-us.com

SP-15



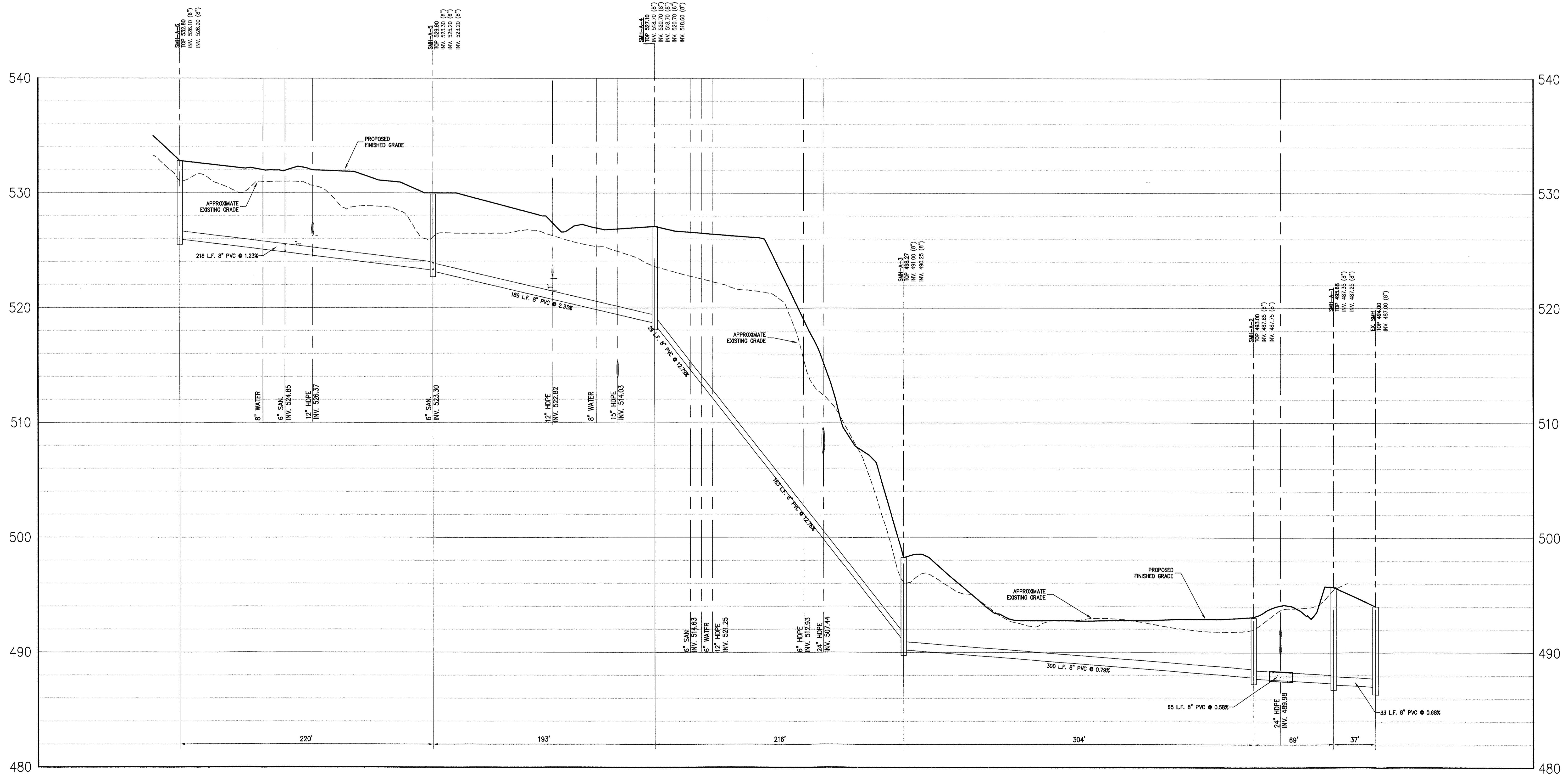
SMH-A-4-2 TO SMH-A-4

SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



SMH-A-4-4 TO SMH-A-4

SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



SMH-A-6 TO EXIST. SMH

SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

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REVISIONS: No. 2 REASON FOR TOWN COMMENTS REVISION FOR TOWN COMMENTS DATE 05/27/2016 BY MT	PROJECT: SANITARY SEWER PROFILES UTILITY	DRAWING NO. SP-16
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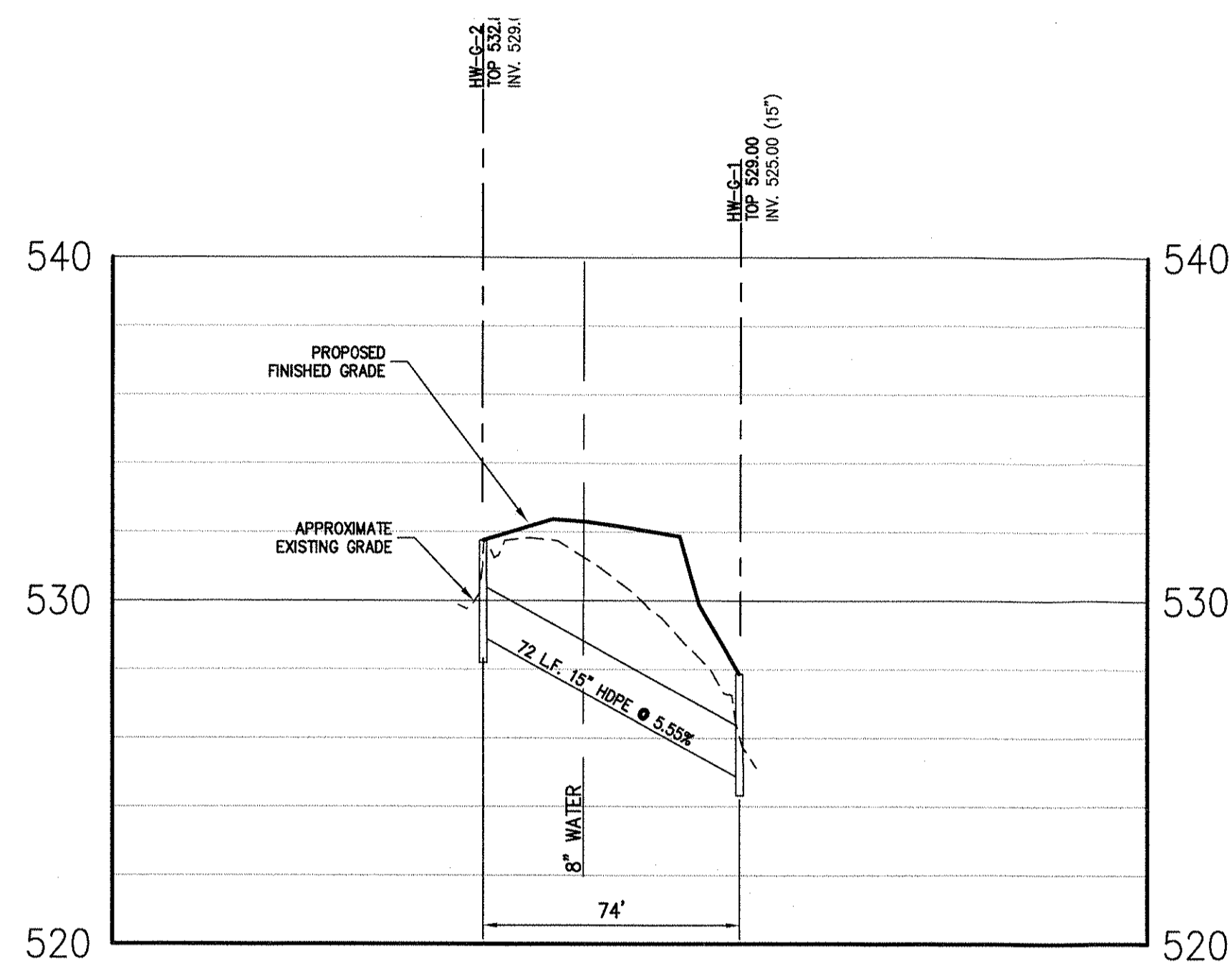
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 John Mayer Consulting, Inc.
 120 BEESFORD ROAD • ARMONK, NY 10504
 PH: 914.273.5225 • FAX 914.273.2102
 WWW.JMCPINC.COM

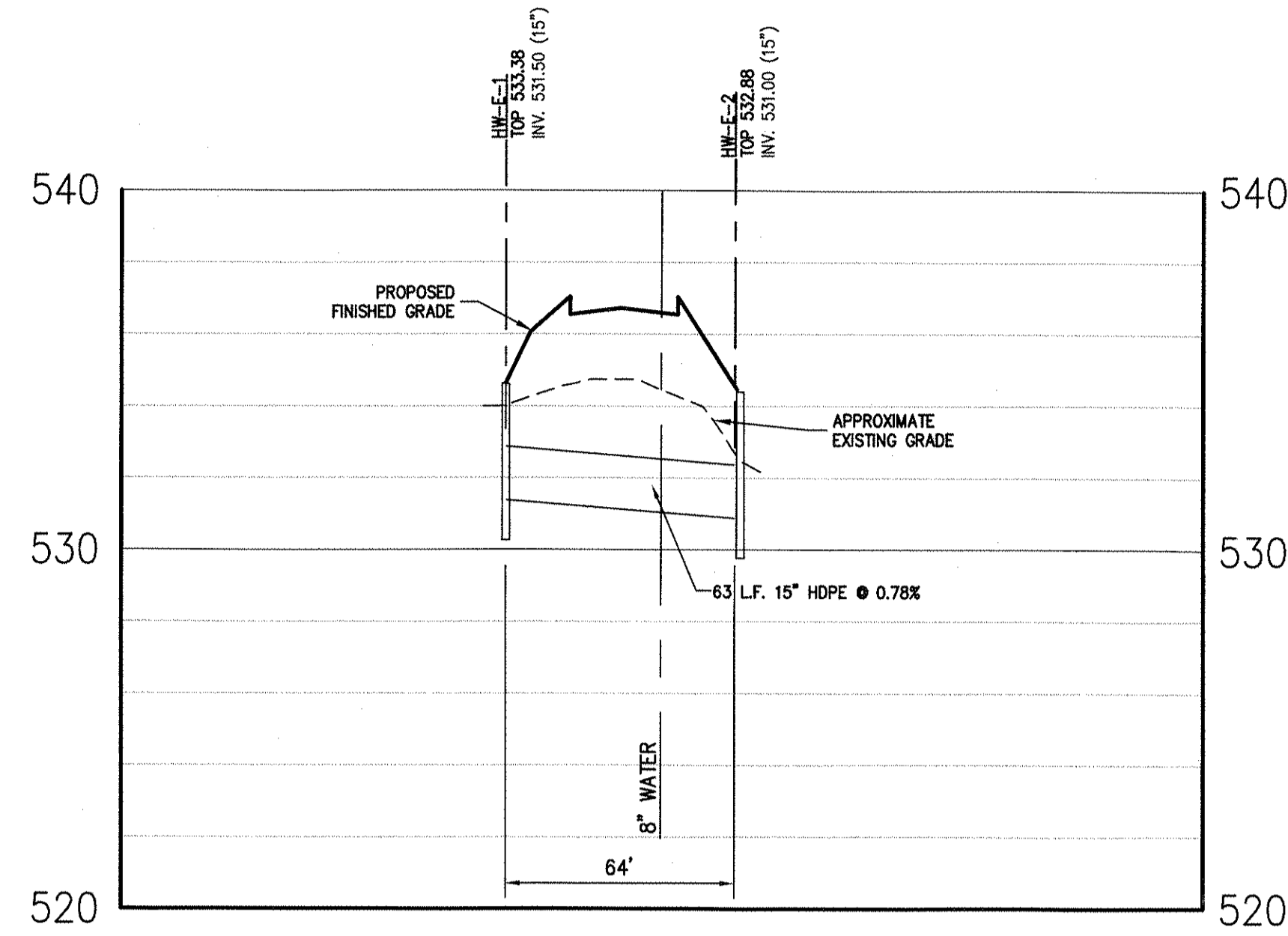
DR. MEADOW HILL, LLC
 47 RIVER ROAD
 SUMMIT, NJ 07901

MINNO & WASKO ARCHITECTS
 1 RAYMOND PLAZA, W #210
 NEWARK, NJ 07102

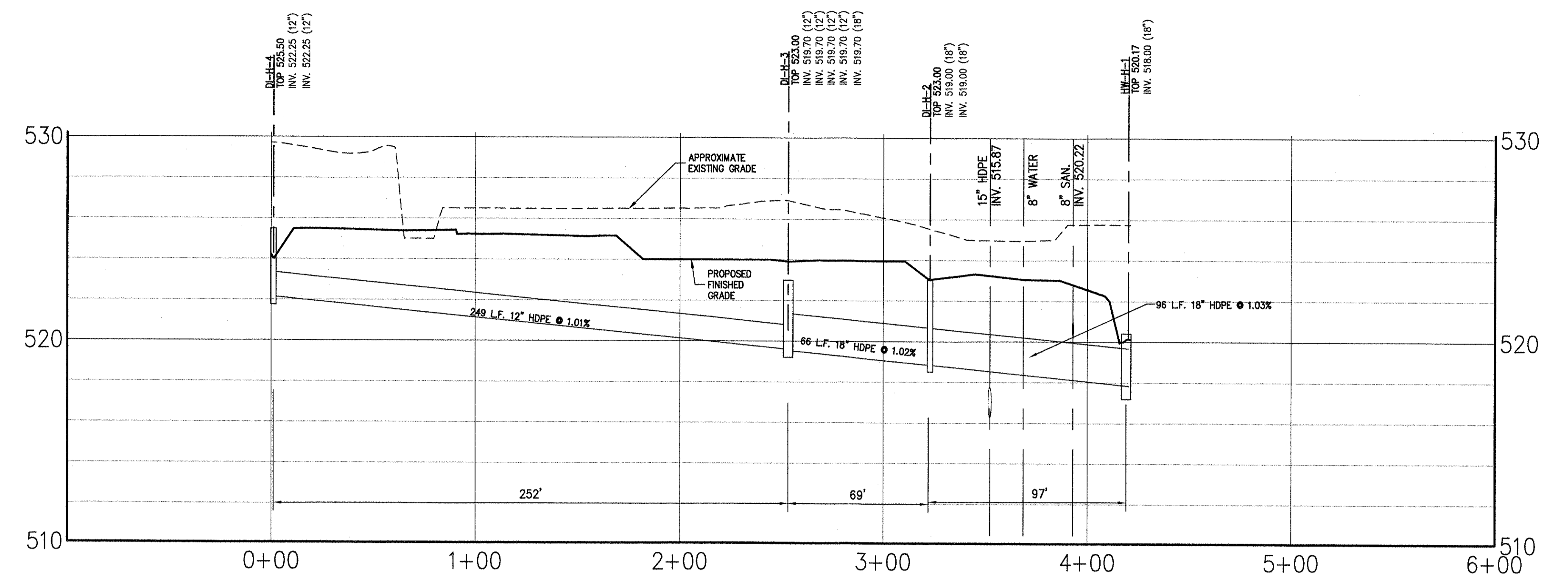
SANITARY SEWER PROFILES
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY



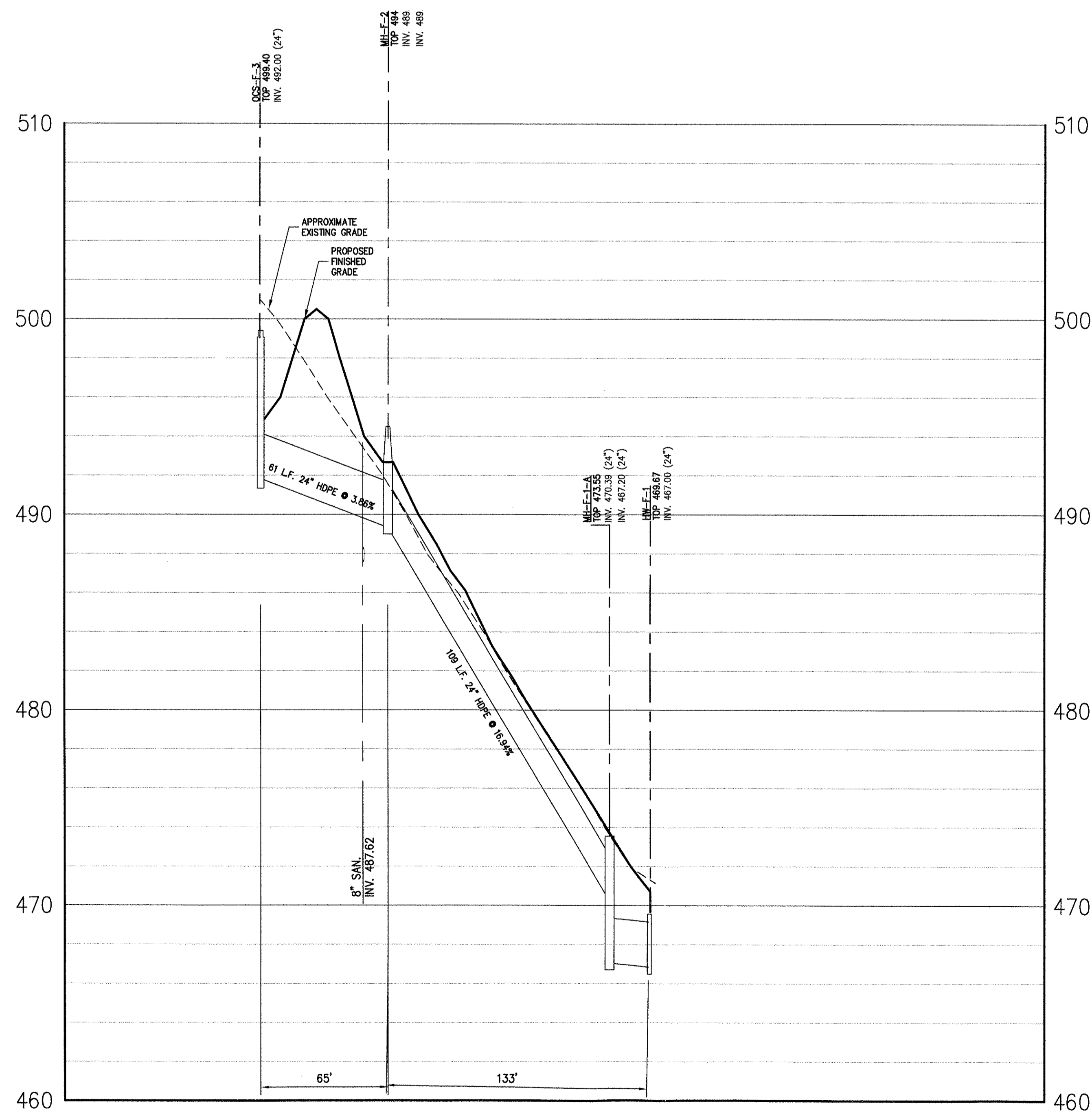
HW-G-2 TO HW-G-1
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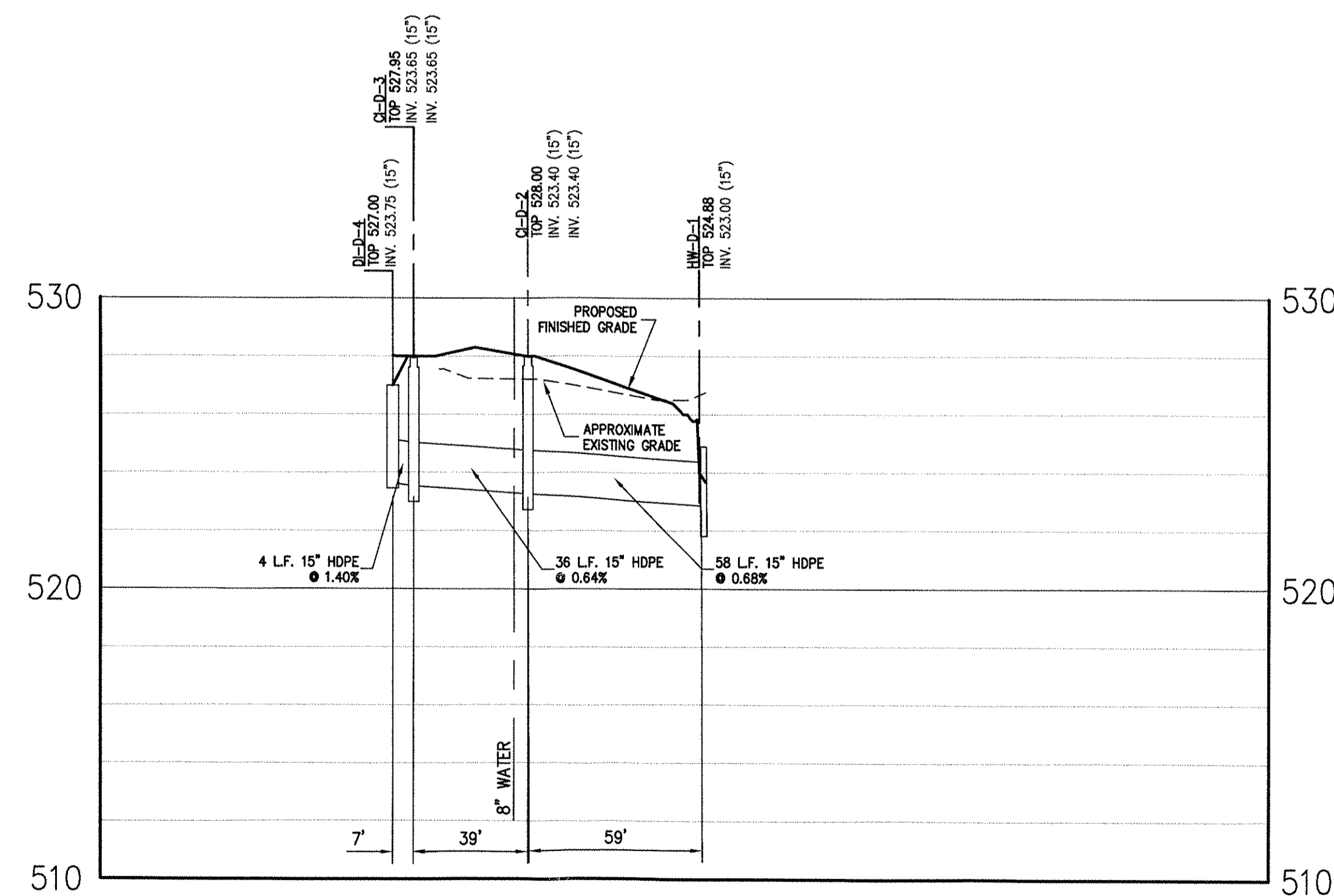
HW-E-1 TO HW-E-2
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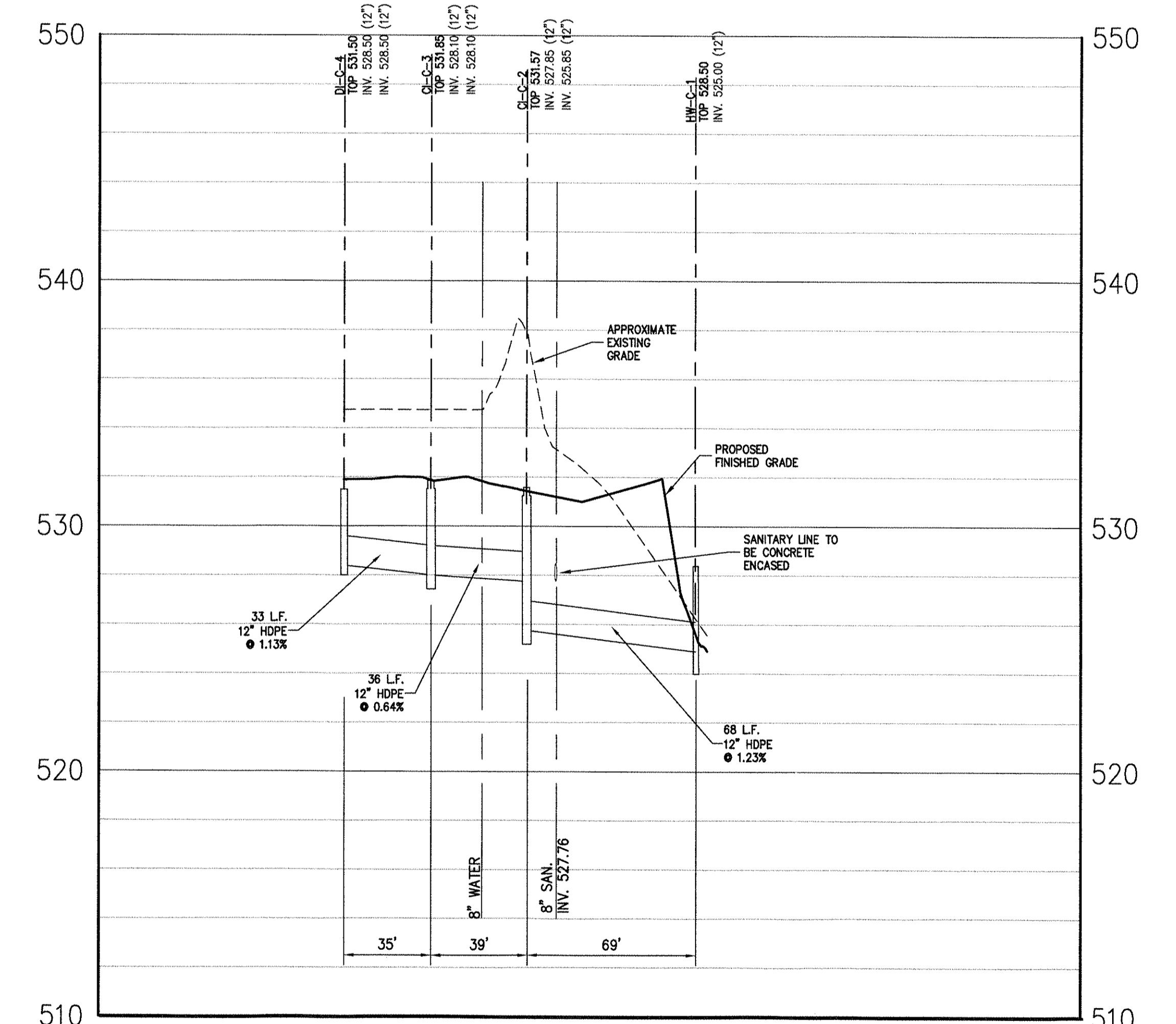
DI-H-4 TO HW-H-1
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VERT. 1" = 4'



DI-F-3 TO HW-F-1
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VERT. 1" = 4'



DI-D-4 TO HW-D-1
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



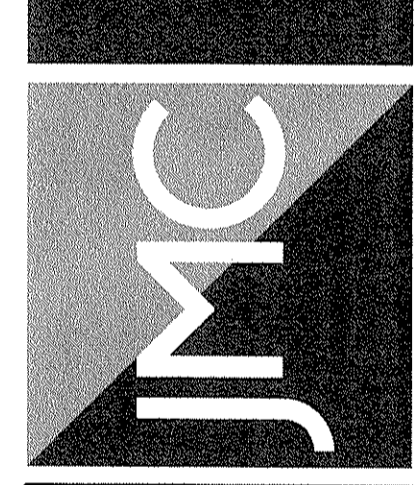
DI-C-4 TO HW-C-1
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

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No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	05/20/2016	MT

PROJECT OWNER:
DRA MEADOW HILL, LLC
 47 RIVER ROAD
 SUMMIT, NJ 07901
 ARCHITECT:
MINNO & WASKO ARCHITECTS
 1 RAYMOND PLAZA, W #210
 NEWARK, NJ 07102

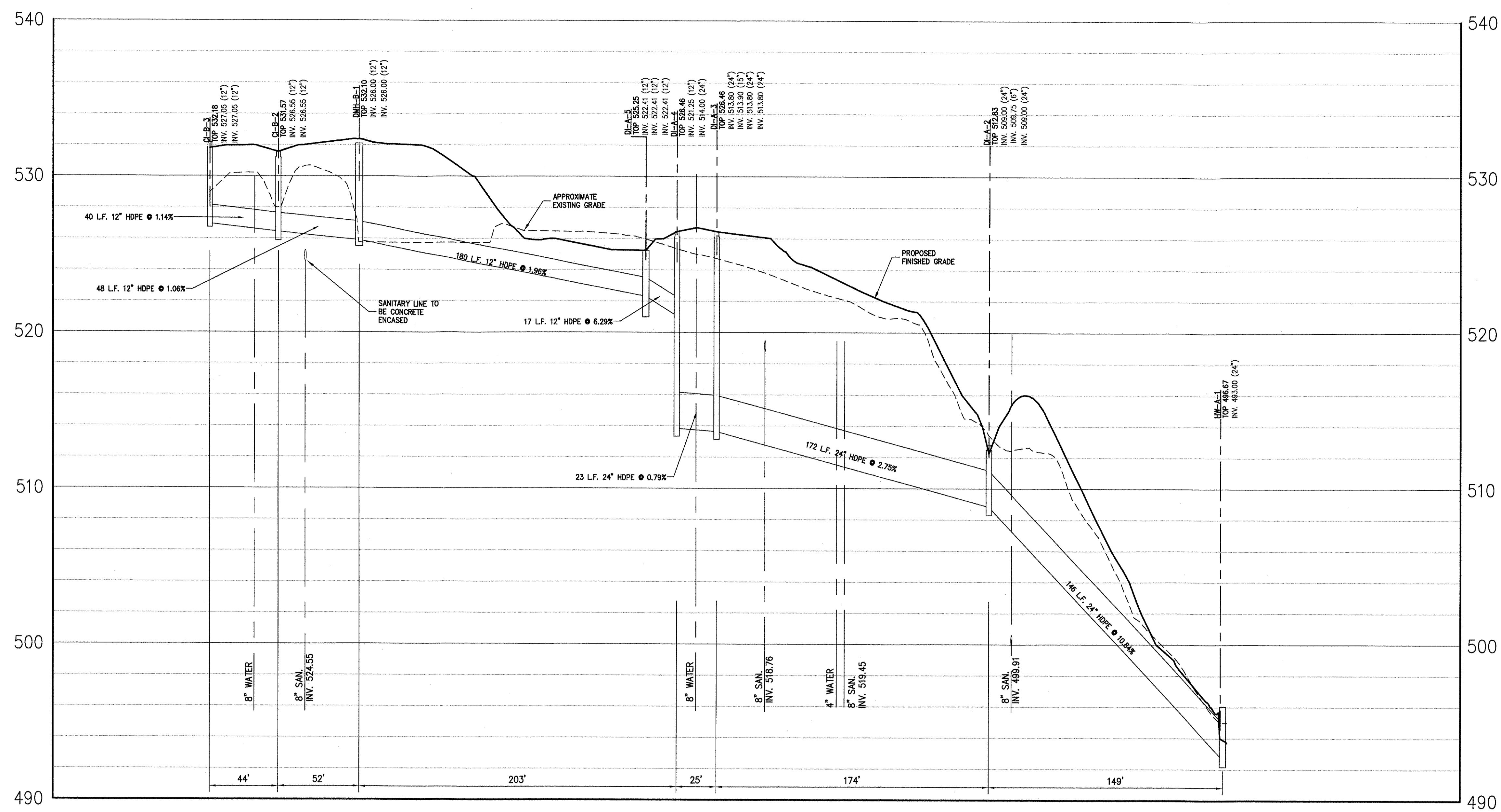
JMC Planning & Engineering, L.L.C.
 JMC Surveying & Mapping, L.L.C.
 JMC Site Development Consultants, L.L.C.
 John Berger Consulting, Inc.
 120 BEFFORD ROAD • HIRSHIK, NY 10584
 voice 914.273.8225 • fax 914.273.2102
www.jmcpllc.com



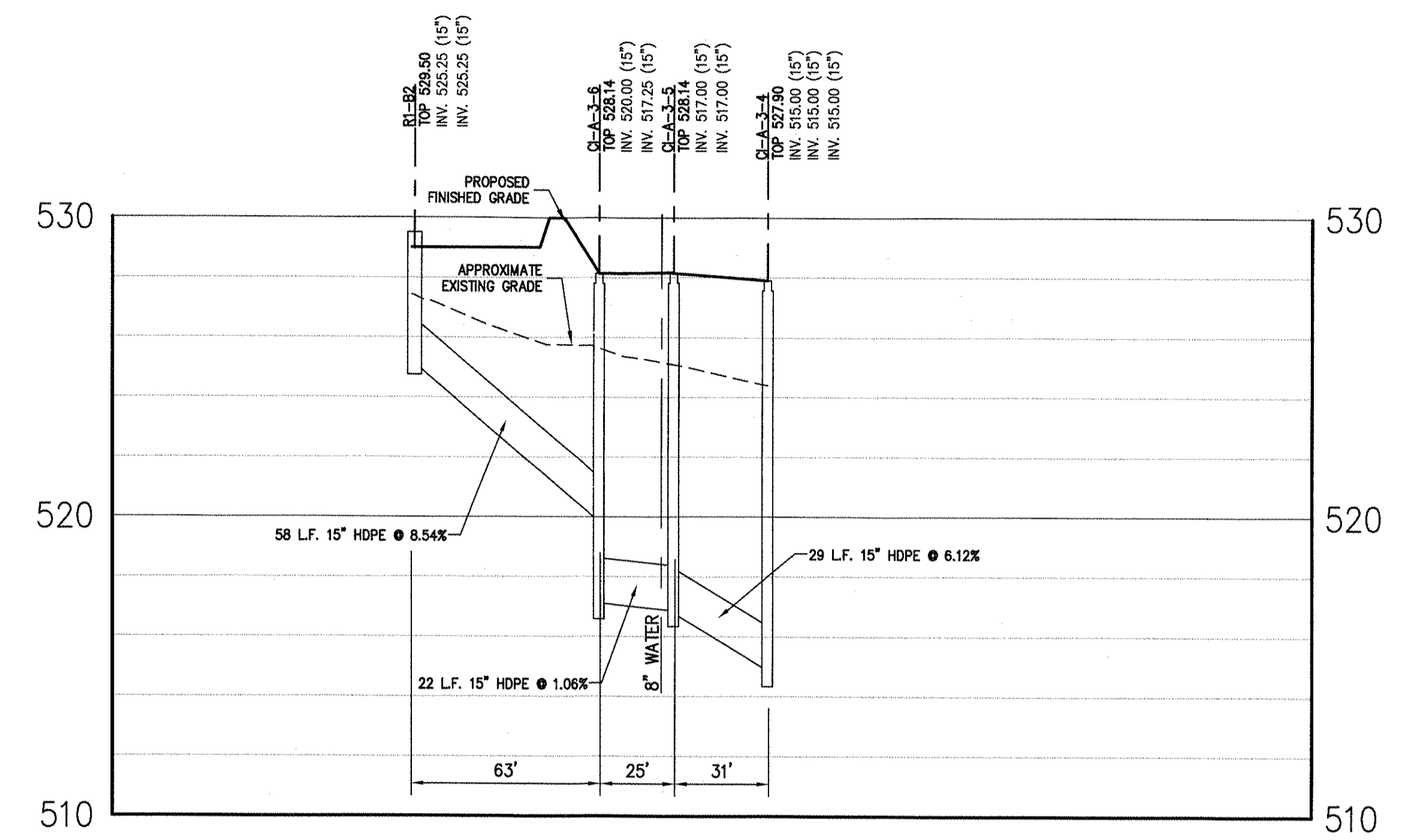
STORM SEWER PROFILES
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY

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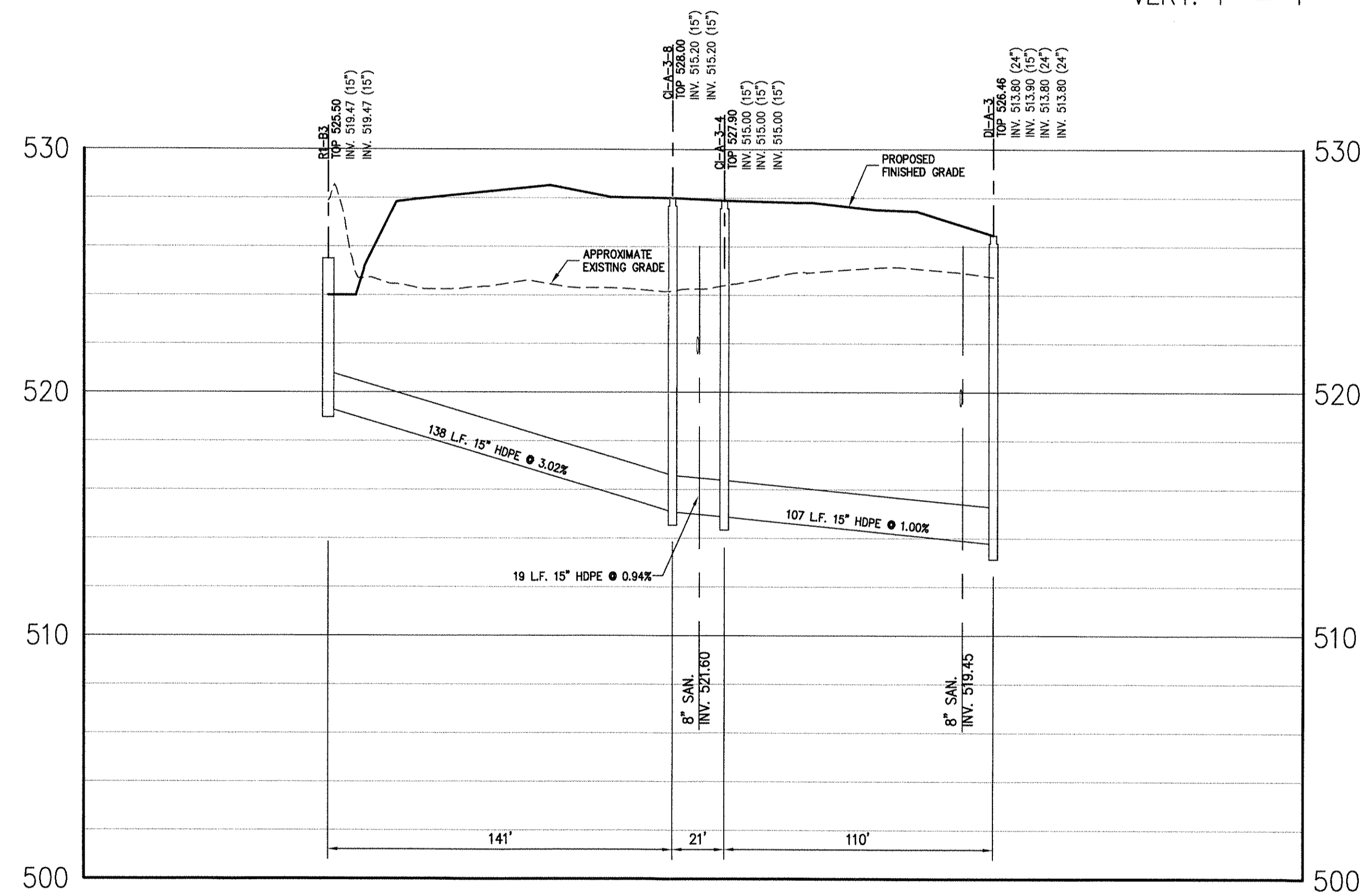
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Date	05/06/2016		
Project No.	16015		
Drawn by	STORM PROFILES	UTIL	MT
Sheet No.	SP-17		



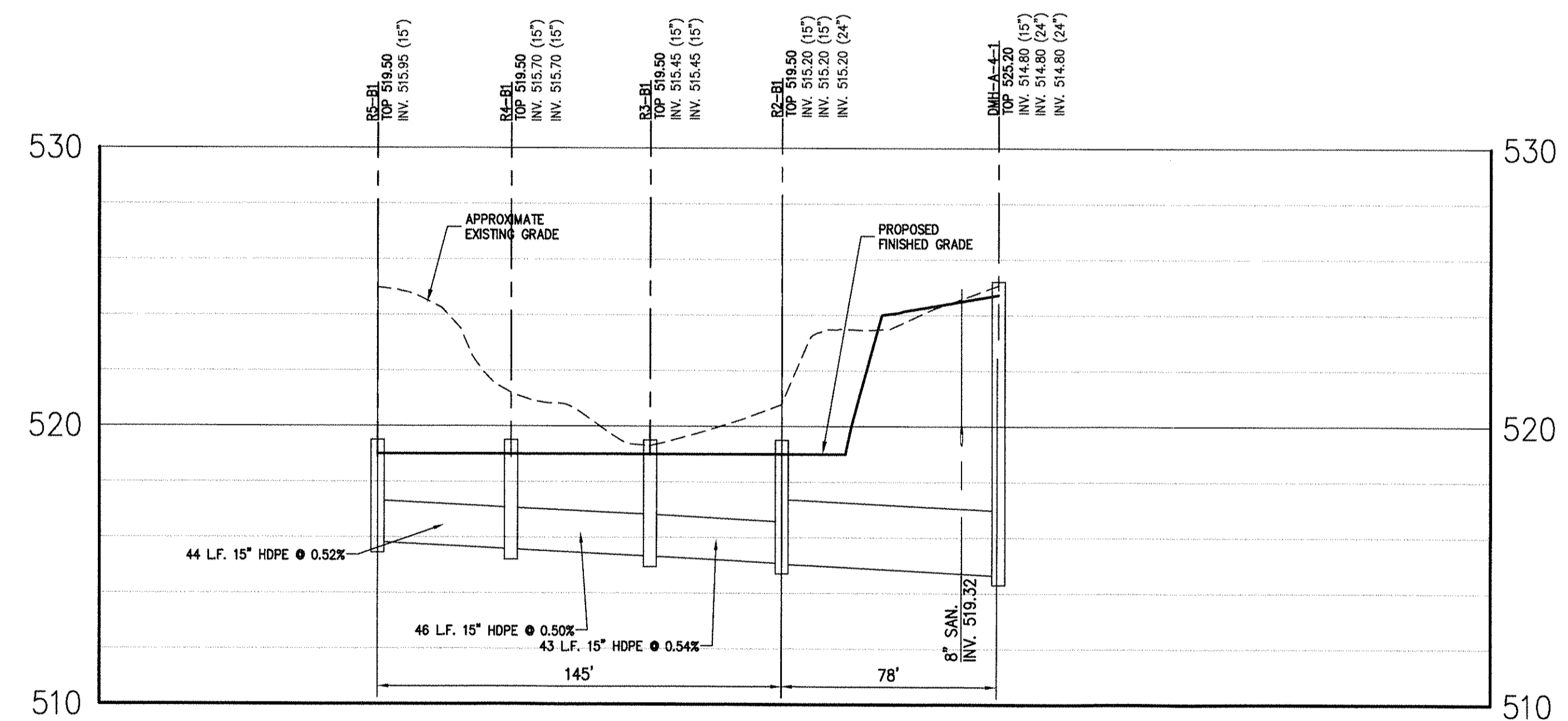
CI-B-3 TO HW-A-1
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VERT. 1" = 4'



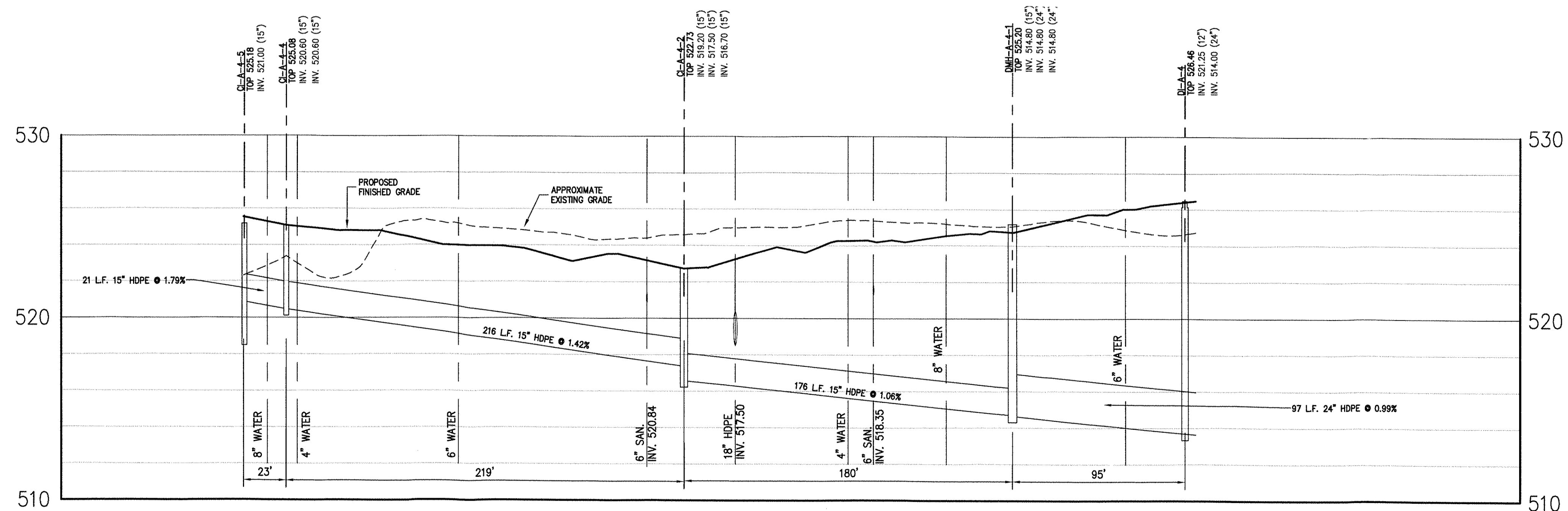
R1-B2 TO CI-A-3-4
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R1-B3 TO CI-A-3
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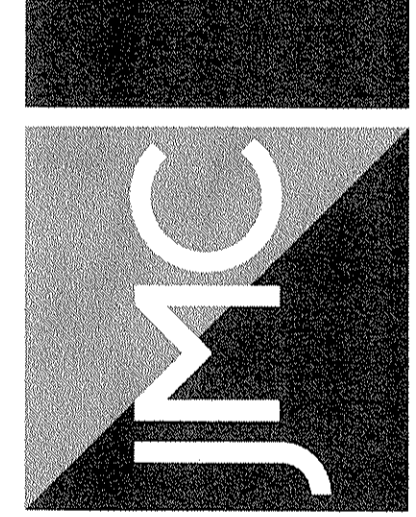
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CI-A-4-5 TO CI-A-3
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

By	MT
Date	05/25/2016
Revision	06/10/2016
1.	REVISED PER TOWN COMMENTS
2.	REVISED PER TOWN COMMENTS
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SYNOPSIS: DRA MEADOW HILL, LLC
47 RIVER ROAD
SUMMIT, NJ 07901
ARCHITECT: MINNO & WASKO ARCHITECTS
1 RAYMOND PLAZA W #210
NEWARK, NJ 07102

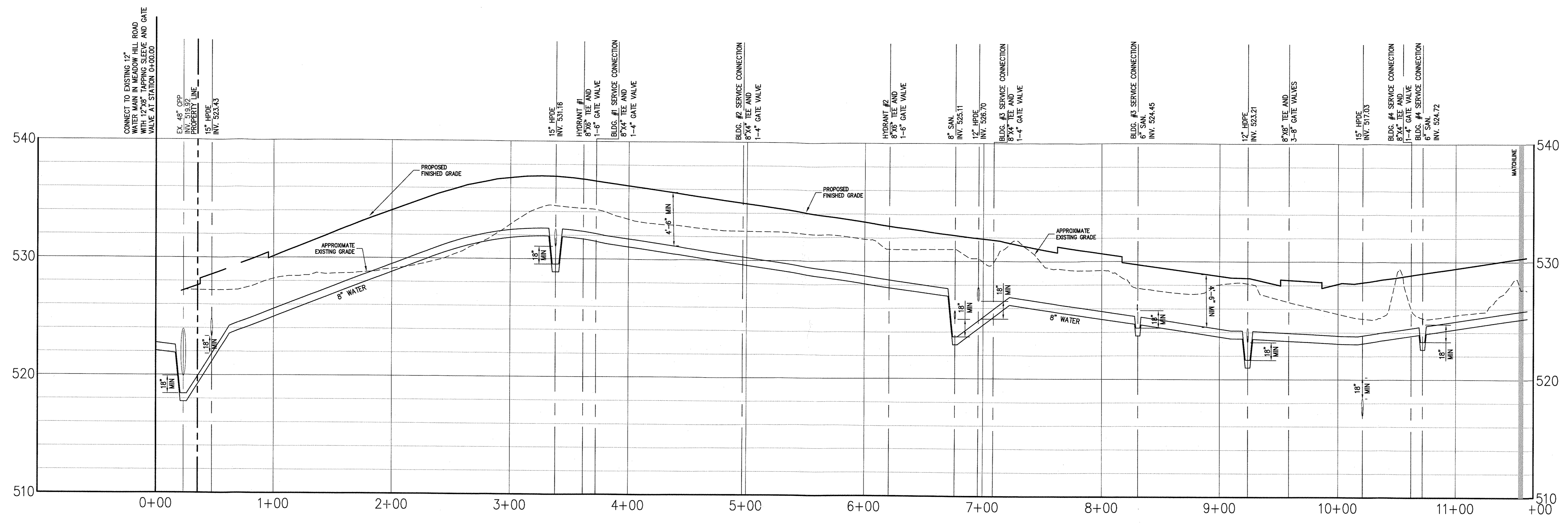


JMS: Project Engineer, License No. 36000
Architectural & Surveying, P.L.L.C.
JMC: Site Development Consultant, LLC
John Wasko Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10604
Phone 914.273.3225 Fax 914.273.2102
www.jmcpic.com

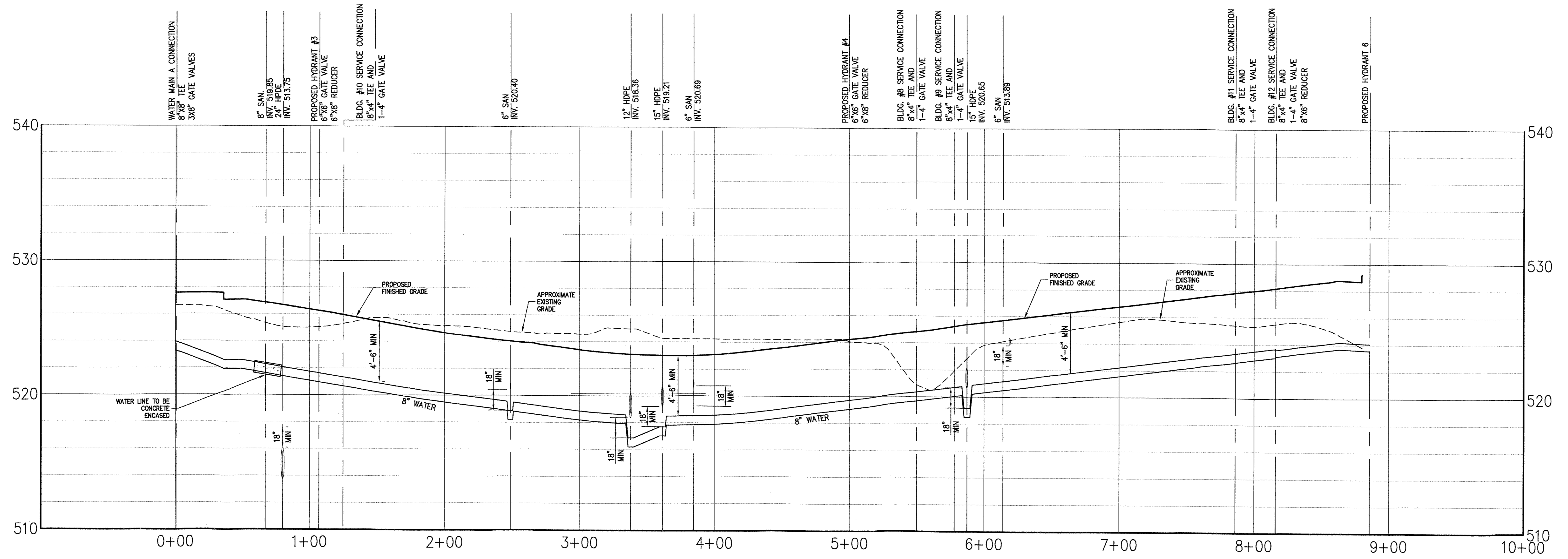
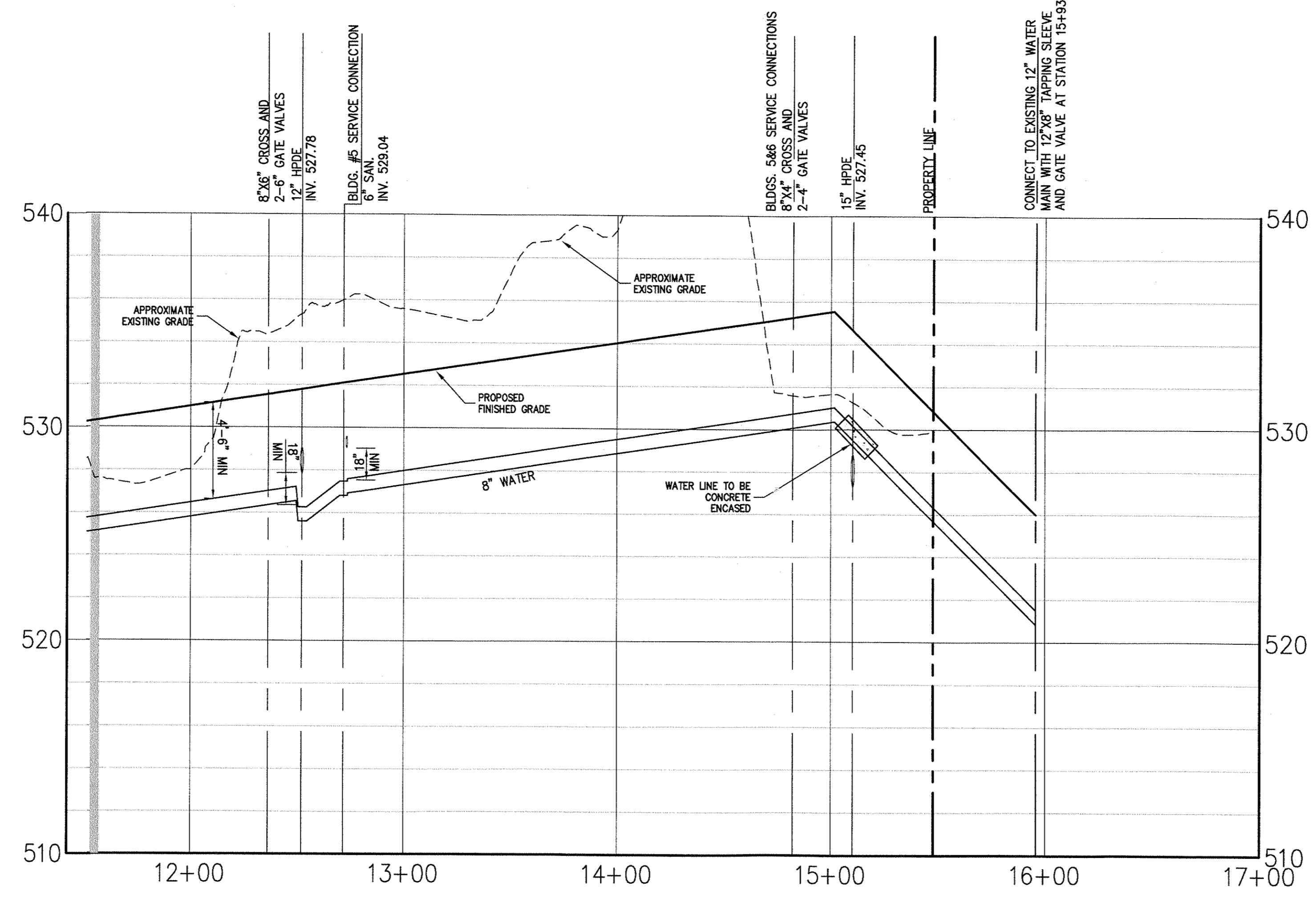
STORM SEWER PROFILES
MEADOW HILL ROAD EXPANSION
TOWN OF NEWBURGH, NY

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Drawn	MT	Reviewed	JS
Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
Sheet No.	FROM PROFILES 2	OF 10	
Drawn By			



WATER MAIN A
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



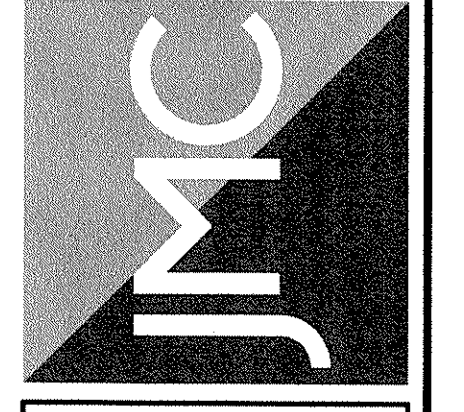
WATER MAIN B
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

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No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT
2.	REVISED PER TOWN COMMENTS	06/10/2016	MT

CLIENT/TOWN: **DRA MEADOW HILL, LLC**
 47 RIVER ROAD
 SUMMIT, NJ 07901
 ARCHITECT: **MINNO & WASKO ARCHITECTS**
 1 RAYMOND PLAZA, W #210
 NEWARK, NJ 07102

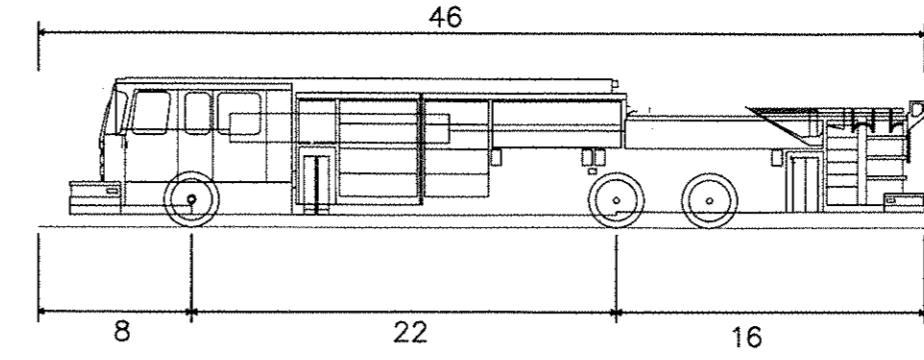
JMC Planning, Engineering, & Surveying, LLC
 Architecture & Surveying Division - P.L.L.C.
 JMC Site Development Consultants, LLC
 John Wargo Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 phone 914.271.5225 • fax 914.273.2102
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WATER MAIN PROFILES
 MEADOW HILL ROAD EXPANSION
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Drawn:	MT	Approved:	JS
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Date:	05/06/2016		
Project No.:	16015		
Discipline:	WATER	UTIL	UTL

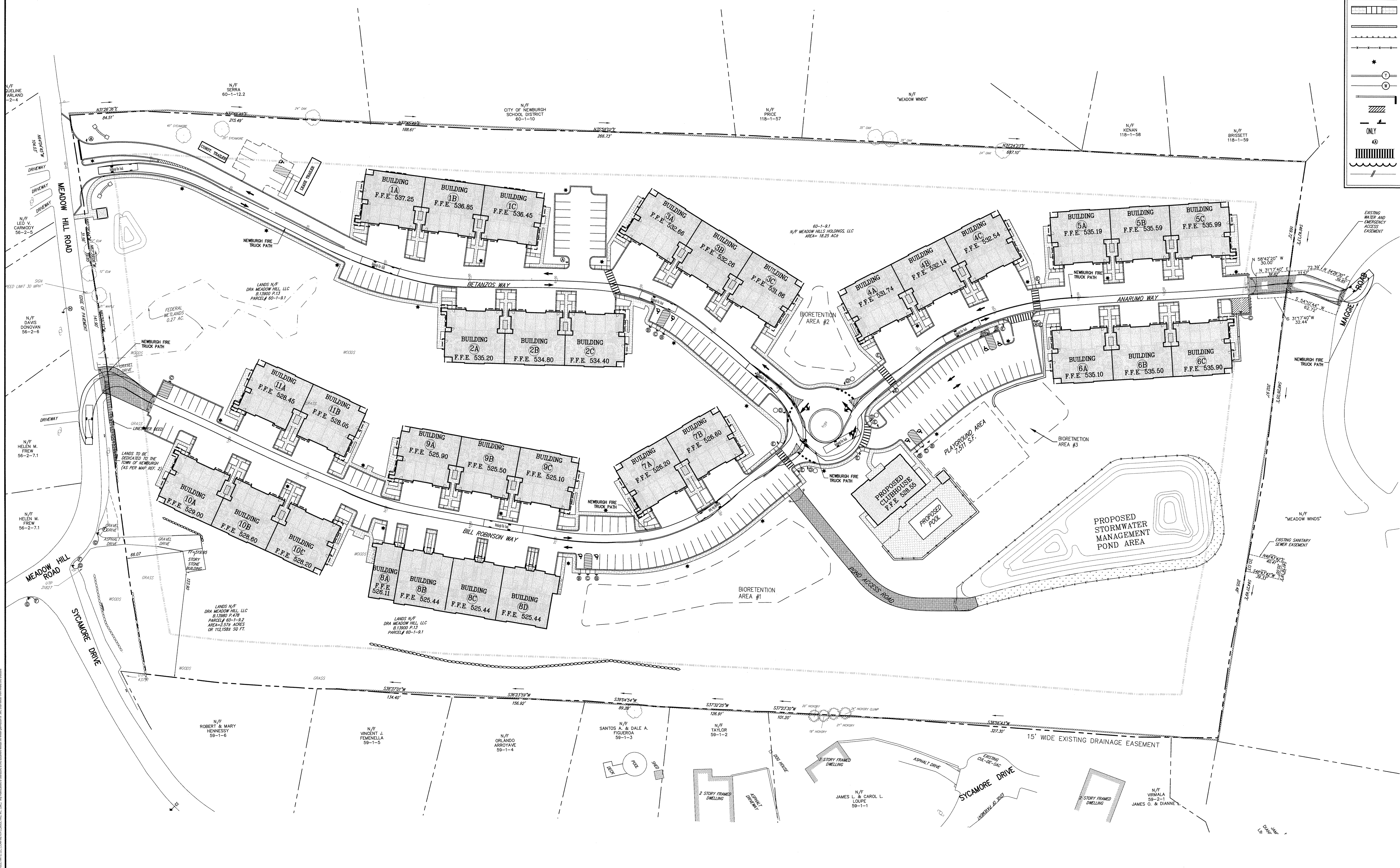


Newburgh Fire Truck
 Overall Length 46.000ft
 Overall Width 8.167ft
 Overall Body Height 9.000ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASER CONSULTING P.A., DATED 05-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
- EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/07/2016.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
- PROJECT MAILBOXES SHALL BE LOCATED IN THE CLUBHOUSE.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GUIDE RAIL (DET X)
	PROPOSED FENCE
	PROPOSED LIGHTING STANDARD
	PROPOSED 2-4" WIDE YELLOW LINES 8" O.C.
	PROPOSED 1-4" WIDE WHITE LINE
	PROPOSED 12" WIDE WHITE STOP LINE
	PROPOSED 4" WIDE YELLOW HATCH LINES 10" O.C. @ 45°
	PROPOSED ARROW MARKING ON PAVEMENT (DET X)
	PROPOSED WORD MARKING ON PAVEMENT (DET X)
	PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED TREE LINE
	EXISTING FEATURE TO BE REMOVED



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FIRE TRUCK-TURNING PLAN
MEADOW HILL ROAD EXPANSION
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7208, SUBSECTION 2.

Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	05/06/2016		
Property	6015		
185-02	TRUCK	TRUCKWAY	
Drawing No.	SP-20		