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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MEADOW HILL ROAD EXPANSION
PROJECT NO.: 2016-07
PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1 & 9.2
REVIEW DATE: 27 MAY 2016
MEETING DATE: 2 JUNE 2016
PROJECT REPRESENTATIVE: JMC ENGINEERING

1. City of Newburgh flow acceptance letter addressing increased flow should be received.
2. Additional parking areas have been added to the plans. 18 excess parking spots have been added to the plans. A note requiring the garage spaces be kept clear of stored material and utilized for parking has been added to the plan sheets.
3. Grading has been moved from the southeasterly portion of the site towards the proposed structures to reduce the limits of clearing.
4. Orange County Health Department approval for the water system modifications are required.
5. The Town Board must modify its approval for the number of Senior Units permitted on the site.
6. Plans have been modified to remove the recreational fees deferment note.
7. Stormwater Pollution Prevention Plan has been modified to address the plan changes and is acceptable to this office. Modified Stormwater Pollution Prevention Plan will become the plan for the site upon approval. No additional approvals are required.
8. The Applicants representative should address the increase in Stormwater and Landscape bonding costs for the amended site plan.
9. A lot consolidation plan must be filed. Applicants are requested to address timing for the lot consolidation plan.

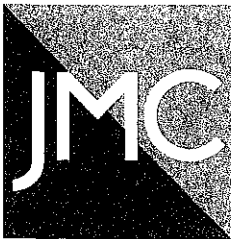
Meadow Hill

10. Existing strictures to be removed should be identified on the plan sheets and a note stating that permits for demolition must be obtained prior to removing structures from the site.
11. The Applicants representative is requested to confirm that the new structures will match the architectural approvals previously issued for the project.
12. The Planning Board should discuss a SEQRA consistency determination.
13. The Planning Board should discuss scheduling a Public Hearing.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

May 23, 2016

Chairman Ewasutyn and Members of the Planning Board
 Town of Newburgh
 308 Gardnertown Road
 Newburgh, NY 12550

MAY 25 2016

RE: JMC Project 16015
 Meadow Hill Expansion
 Meadow Hill Road
 Town of Newburgh, NY

Dear Chairman Ewasutyn and Members of the Planning Board:

We are pleased to submit 14 copies (14) of the following documents to address comments for the Meadow Hill Expansion project:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
SP-4	"Layout Plan"	05/25/2016
SP-5	"Grading Plan"	05/25/2016
SP-6	"Utilities Plan"	05/25/2016
SP-7	"Erosion & Sediment Control Plan"	05/25/2016
SP-8	"Landscaping Plan"	05/25/2016
SP-9	"Lighting Plan"	05/25/2016
SP-10	"Road Profile"	05/25/2016
SP-18	"Storm Sewer Profiles"	05/25/2016
SP-19	"Water Main Profile"	05/25/2016

We are in receipt of McGoey, Hauser & Edsall Consulting Engineers, PC (MHEC) and Creighton Manning review comments, dated 05/12/2016 and 05/17/2016. For ease of your review, we have repeated the enumerated comments in italic followed by our response:

Comment No. 1

The net parcel area calculations should be explained. Portions of the wetlands are subtracted out at 75 and 100% rates. It is unclear of the origin of this calculation.

Response No. 1

The percent lot area deducted from the usable area are based on Section C of Chapter 185 from the Zoning regulations.

Comment No. 2

Note 8 on the cover sheet should be revised. Deferral of recreation fees has lapsed.

Response No. 2

The JMC cover sheet has been revised to remove Note #8.

Comment No. 3

Lot consolidation will be required. The Applicant's representative should discuss timing of the lot consolidation.

Response No. 3

So noted.

Comment No. 4

Existing structures proposed to be removed will require a permit from the Town of Newburgh. Notes requiring the permit should be added to the plan sheets.

Response No. 4

So noted.

Comment No. 5

A one story stone building is identified to remain shown as a proposed maintenance/storage building. Gerry Canfield and Mike Donnelly's comments regarding this should be received. Access to this structure should be shown.

Response No. 5

So noted.

Comment No. 6

Proposed grading has extended grading along the easterly property line to the rear of parcels fronting on Sycamore Drive. The Applicant's Engineer has requested to evaluate relocation of the swale along the

easterly property line in a westerly direction toward the toe of the proposed slope to provide additional non disturbed area to the rear of the Sycamore parcel.

Response No. 6

The JMC drawing SP-5 "Grading Plan" and has been revised to relocate the proposed drainage swale allows proposed grading slope.

Comment No. 7

Plans identify that all 21 of the senior units will be located in Building 8. The Applicant's representatives were asked to discuss parking arrangements for that structure. Twelve garages with parking in front are identified. Parking for the additional senior units should be identified on the plans.

Response No. 7

The JMC site plan have been revised to expand the parking field areas adjacent and in the vicinity of the senior building. A total of 18 extra parking spaces will be provided.

Comment No. 8

Total parking on the site is now down to two per unit. No additional parking area is provided for visitors, guests, or use of the clubhouse facility. Planning Board should review and determine if additional visitor type parking spaces can be incorporated into the plans.

Response No. 8

The JMC site plan have been revised to expand the parking areas throughout the site. A total of 18 extra spaces will be provided.

Comment No. 9

Plans rely on garage parking in the parking calculations. Requirements that garages be utilized for parking must be implemented in order for the parking to function as required by the Zoning.

Response No. 9

The JMC drawing SP-4 "Layout Plan" has been revised to include Note #5 which specifies that all garages shall be kept clear of all storage material to maintain availability to park a vehicle.

Comment No. 10

City of Newburgh flow acceptance letter for the additional unit count must be received.

Response No. 10

So noted.

Comment No. 11

An emergency access drive is now proposed at Meadow Hill Road. Location of the proposed chain/gate should be addressed. Emergency access gate to Meadow Winds subdivision has chains at both ends to prevent unauthorized access or dumping.

Response No. 11

The Meadow Hill Road emergency access drive has been modified to include two sets of chains at both ends.

Comment No. 12

Watermain extension will require Orange County Health Department approval.

Response No. 12

So noted.

Comment No. 13

A revised stormwater pollution prevention plan has been submitted to this office and is under review. It is noted that additional impervious surfaces are collected and conveyed to the modified stormwater management facilities proposed in the original plan. Sheet SP 15 identifies the detention pond access gate has emergency access gate. This should be clarified.

Response No. 13

Detail Sheet SP-15 has been revised to remove the reference "emergency."

Comment No. 14

Ken Wersted comments regarding the additional traffic from the additional 24 units should be received.

Response No. 14

JMC has reviewed the comment letter from Ken Wersted, dated 05/17/2016. As per Mr. Wersted comment, JMC drawing SP-4 "Layout Plan" has been revised to include R6-5P, yield signs and striping to the approved roundabout.

Comment No. 15

The Applicant's representative are requested to evaluate a required extension to the storm drain system currently terminating to the north of buildings 8 & 9. Flow from the south end of buildings 10 & 11 will be conveyed across access roads for an extended distance.

Response No. 15

The JMC Drawing SP-6 has been revised to include two additional structures adjacent to buildings 10 and 11.

We are looking forward to reviewing the plans with the Planning Board at your next meeting on June 2, 2016. In the interim, should you have any questions regarding the application please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC



Umberto Baldinucci
Design Manager

- cc: Mr. Patrick J. Hines, PE, w/enc. (1 copy via overnight mail from JMC)
Mr. Ken Wersted, PE, w/enc. (1 copy via overnight mail from JMC)
Michael H. Donnelly, Esq., w/enc. (1 copy via overnight mail from JMC)
John C. Cappello, Esq., w/enc.
Mr. Nicholas W. Minoia
Mr. George J. Carfagno, w/enc.
Mr. Michael Blum, w/enc.

AMENDED SITE PLAN APPROVAL DRAWINGS MEADOW HILL ROAD EXPANSION

TAX MAP SECTION 60 | BLOCK 1 | LOT 9.1, 9.2

MEADOW HILL ROAD TOWN OF NEWBURGH, NEW YORK

JOHN MEYER CONSULTING DRAWINGS:

SP-1	COVER SHEET
SP-2	EXISTING CONDITIONS PLAN
SP-3	LOT CONSOLIDATION PLAN
SP-4	LAYOUT PLAN
SP-5	GRADING PLAN
SP-6	UTILITIES PLAN
SP-7	EROSION & SEDIMENT CONTROL PLAN
SP-8	LANDSCAPING PLAN
SP-9	LIGHTING PLAN
SP-10	ROAD PROFILE
SP-11	CONSTRUCTION DETAILS
SP-12	CONSTRUCTION DETAILS
SP-13	CONSTRUCTION DETAILS
SP-14	CONSTRUCTION DETAILS
SP-15	CONSTRUCTION DETAILS
SP-16	SANITARY SEWER PROFILES
SP-17	STORM SEWER PROFILES
SP-18	STORM SEWER PROFILES
SP-19	WATER MAIN PROFILE
SP-20	FIRE TRUCK-TURNING PLAN

OWNER / APPLICANT:

DRA MEADOW HILL, LLC
P.O. BOX 467
HIGHLAND MILLS NY 10930

ATTORNEY:

JACOBOWITZ AND GUBITS, LLP
158 ORANGE AVE, P.O. BOX 367
WALDEN, NY 12586
TEL: (845) 778-2121

**SITE PLANNER, CIVIL & TRAFFIC
ENGINEER & LANDSCAPE ARCHITECTS:**

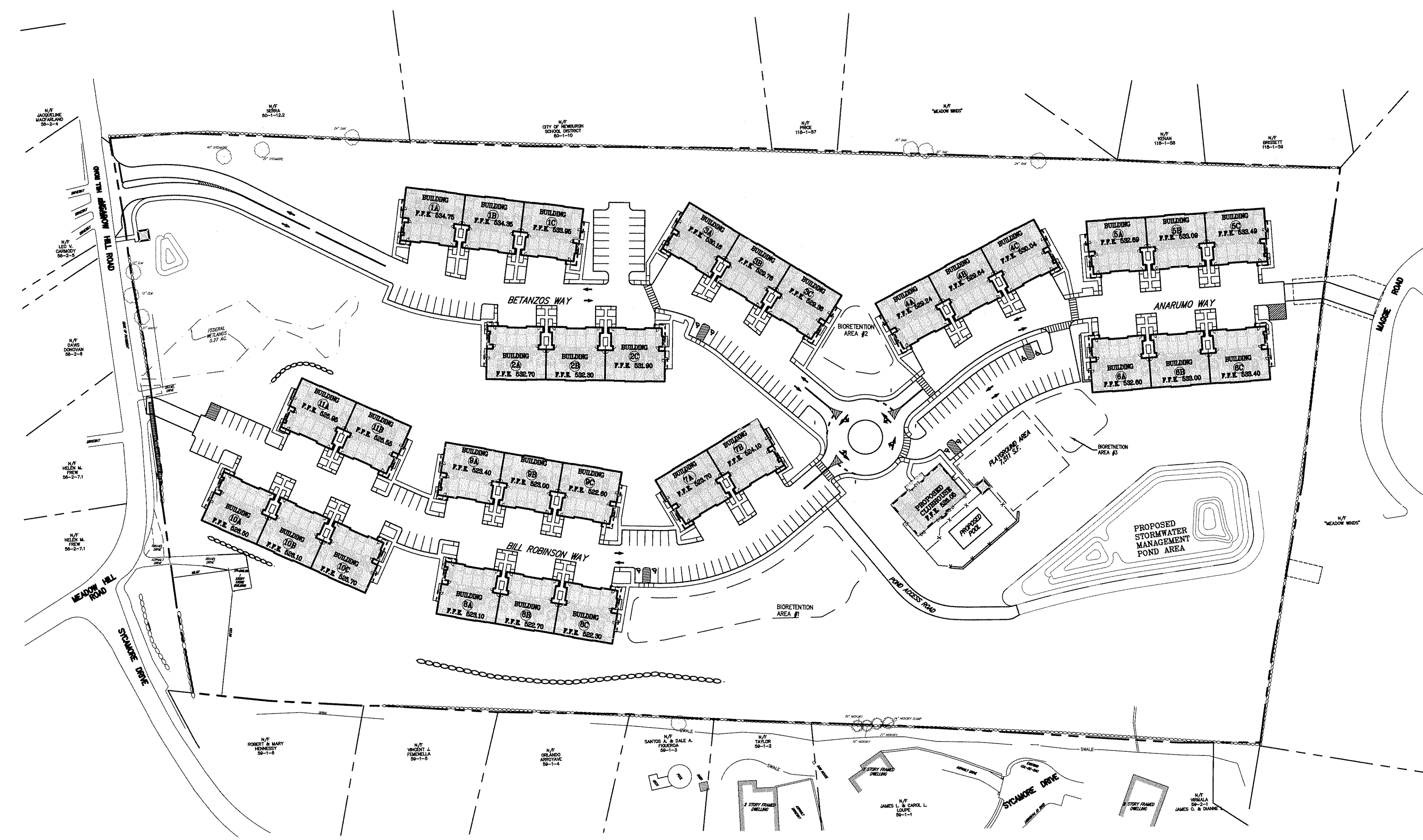
JMC 120 BEDFORD ROAD
ARMONK, NEW YORK 10504
(914) 273-5225

SURVEYOR:

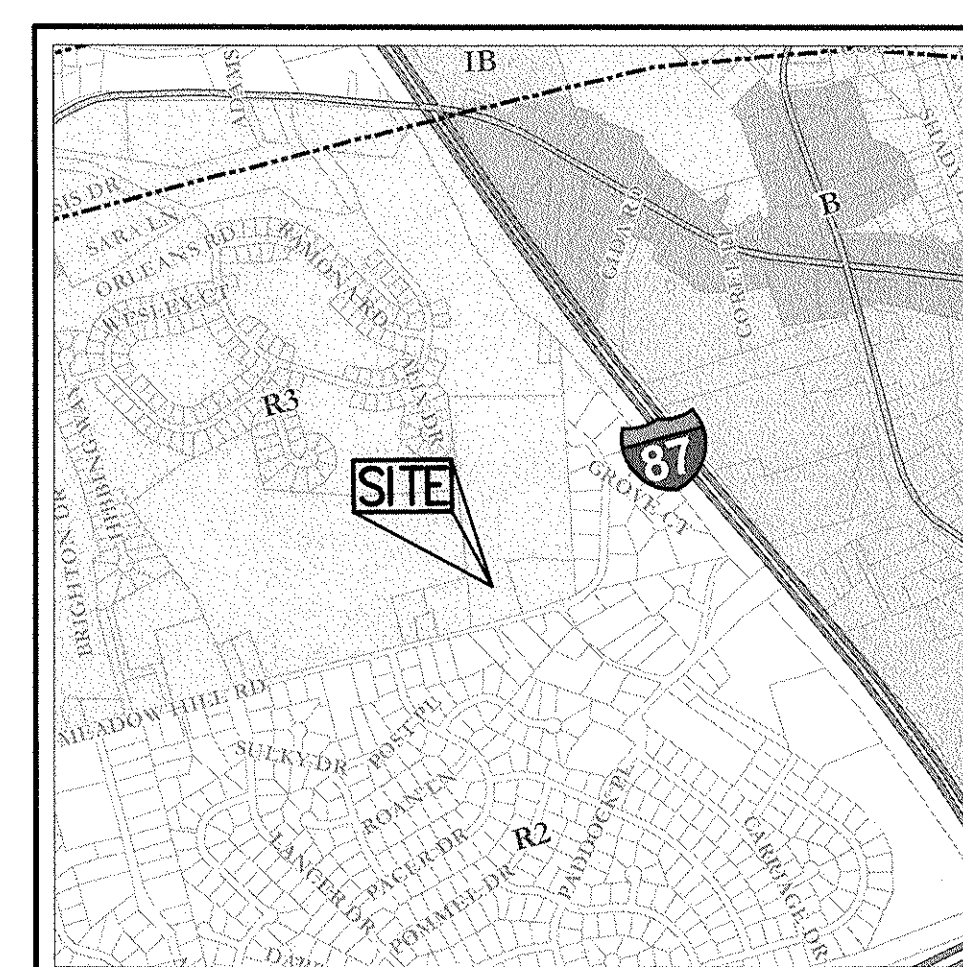
MASER CONSULTING P.A.
SUITE 1
ONE CROSSFEILD AVE
WEST NYACK, NEW YORK 10994
TEL: (845) 727-1160

ARCHITECT:

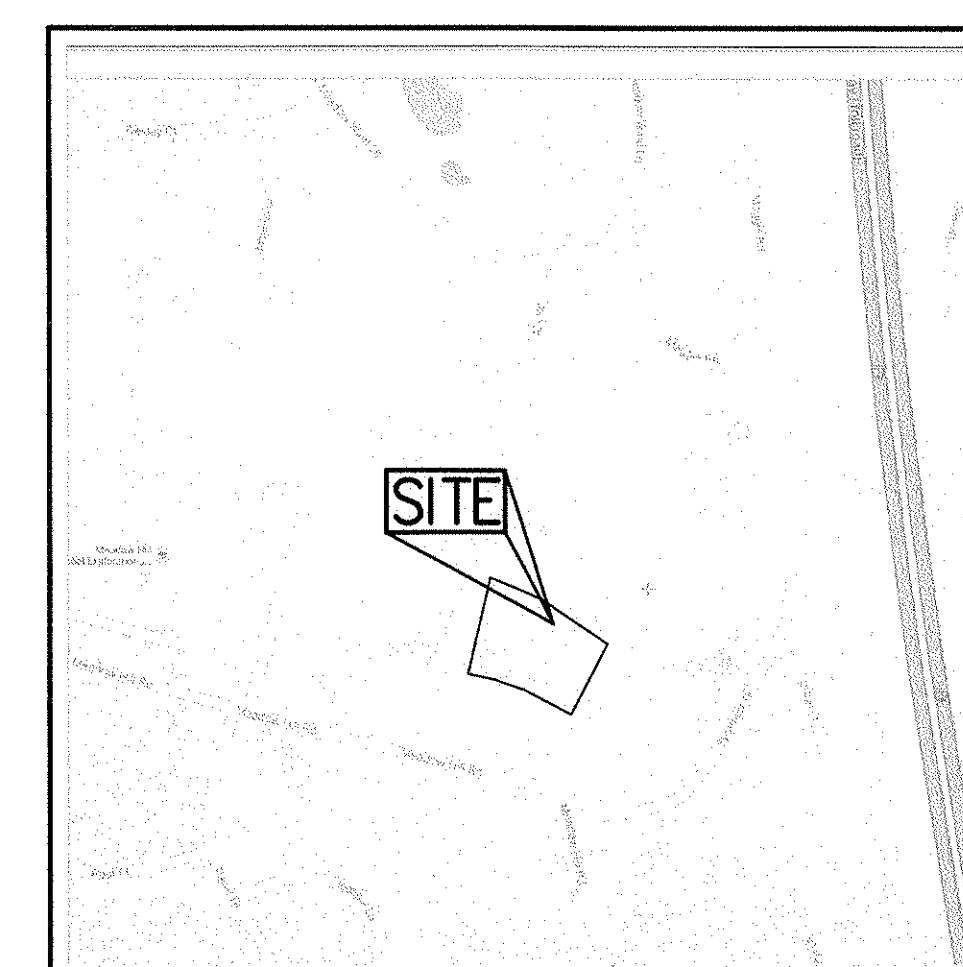
MINNO & WASKO ARCHITECTS
AND PLANNERS
GATEWAY CENTER,
1 RAYMOND PLAZA W #210,
NEWARK, NJ 07102
TEL: (973) 735-6695



AREA MAP
SCALE: 1" = 80'



ZONING MAP
SCALE: 1" = 1,600'
SOURCE: TITLE / YEAR



VICINITY MAP
SCALE: 1" = 1,000'
SOURCE: TITLE / YEAR

ZONING DISTRICT	PERMITTED/REQUIRED	APPROVED	EXPANSION
R-3			
LOT AREA (AC./S.F.)	10.00 AC./435,600 S.F.	18.25 AC./795,042 S.F.	20.82 AC./906,919 S.F. (+ 2.57 AC./112,158 S.F.)
LOT WIDTH (FT.)	300	666	666
LOT DEPTH (FT.)	300	1,413	1,413
FRONT YARD (FT.)	50	50	50
REAR YARD (FT.)	50	50	50
1 SIDE YARD (FT.)	50/60	50/60	50/60
NUMBER OF UNITS (9 UNITS PER ACRE)	-	161	185
REAR TO ADJACENT BUILDING (FT.)	75	92	82
SIDE TO SIDE OF ADJACENT BUILDING (FT.)	33	40	40
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1-BEDROOM = 600 2-BEDROOM = 900	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.	1-BEDROOM = 850 MIN. 2-BEDROOM = 1,000 MIN.
SNOR UNIT HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1,000 MAX SEC. 185.48 B (4)	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.	1-BEDROOM = 830 MIN. 2-BEDROOM = 996 MIN.
LOT BUILDING COVERAGE (%)	35	14.2	14.6
BUILDING HEIGHT (FT.)	35	35	35
LOT SURFACE COVERAGE (%)	60	33	31
STANDARD PARKING 2 SP/UNIT	322/370	329	380
HANDICAP PARKING	0	2	8
TOTAL PARKING	322/370	331	388

- NOTES:**
- BASE DENSITY CALCULATIONS
BASE DENSITY = 9 DWELLING UNITS PER ACRE
SENIOR HOUSING DEVELOPMENT DENSITY = 9 DWELLING UNITS PER ACRE
1/3 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE GAINED DUE TO THE SENIOR HOUSING DEVELOPMENT PROMOTION.
1/3 OF THE TOTAL NUMBER OF UNITS GAINED MUST BE SENIOR HOUSING.
THEREFORE: 1/3 OF THE TOTAL UNITS X 1/3 MUST BE SENIOR HOUSING = 1/9 OF THE TOTAL UNITS MUST BE SENIOR HOUSING OR 11%
21 SENIOR HOUSING UNITS WILL BE REQUIRED AND WILL BE LOCATED IN BUILDING B.
 - NET PARCEL AREA CALCULATIONS
20.82 GROSS ACRES
0.27 ACRES OF FEDERAL WETLANDS
11% OF 0.27 IS SUBTRACTED AT A RATE OF 75% = (0.11)(0.27)(0.75) = 0.022 AC.
80% OF 0.27 IS SUBTRACTED AT A RATE OF 100% = (0.89)(0.27)(1.00) = 0.24 AC.
TOTAL AREA COVERED BY WETLANDS FOR NET AREA CALC = (0.022) + (0.24) = 0.262 AC.
THEREFORE: (20.82 AC. - 0.262 AC.) = 20.558 AC.
20.558 AC. X 9 UNITS = 185 UNITS PERMITTED

DESCRIPTION	PARKING PROVIDED
8-16 UNIT BUILDINGS DRIVEWAY PARKING (12 DRIVEWAY SPACES/BLDG) GARAGE PARKING (12 GARAGES PARKING/BLDG)	96
2-10 UNIT BUILDINGS DRIVEWAY PARKING (8 DRIVEWAY SPACES/BLDG) GARAGE PARKING (8 GARAGES PARKING/BLDG)	16
1-21 UNIT BUILDINGS DRIVEWAY SPACES/BLDG GARAGES PARKING/BLDG	12
STANDARD SPACES	140
TOTAL SPACES	388

- NOTES:**
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-952-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
 - UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
 - CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JOHN MEYER CONSULTING, P.C. AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JOHN MEYER CONSULTING, P.C.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
 - ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

811 Know what's below. Call before you dig.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	05/25/2016	MT

JMC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

Scale: NOT TO SCALE
Date: 05/06/2016
Project No: 16015
Sheet No: COVER
Drawing No: SP-1

SIGN TABLE

DESIGNATION NUMBER	SYMBOL	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REQUIREMENT
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1 X
B	NO LEFT TURN	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B X
C	NO RIGHT TURN	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2 X
D	YIELD	36"x36"x36"	RED ON WHITE	STEEL CHANNEL	7'-0"	R6-SP X
E	WALKWAY	30"x30" 30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 WE-7P X
F	RIGHT TURN	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-8R X
G	LEFT TURN	18"x24"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-8L X
H	WALKWAY	36"x36"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-1R X
I	WALKWAY	30"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	W1-1R X

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASON CONSULTING P.A., DATED 05-08-2005 AND PARTIALLY UPDATED ON 3/10/2016.
 - EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
 - PROJECT MAILBOXES SHALL BE LOCATED IN THE CLUBHOUSE.
 - ALL GARAGES SHALL BE KEPT CLEAN OF ALL STORAGE MATERIAL TO MAINTAIN AVAILABILITY TO PARK A VEHICLE. THE LEASING DOCUMENTS WILL ALSO HAVE A SIMILAR CONDITION AND WILL BE FILED BY THE PROJECT SUPERINTENDENT.
 - EXISTING STRUCTURES PROPOSED TO BE REMOVED WILL REQUIRE A PERMIT FROM THE TOWN OF NEWBURGH.

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING METEAD LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL (DET 30)
- PROPOSED FENCE
- PROPOSED LIGHTING STANDARD
- PROPOSED 2'-4" WIDE YELLOW LINES 8" O.C.
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 12" WIDE WHITE STOP LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES 18" O.C. @ 40°
- PROPOSED WORD MARKING ON PAVEMENT (DET 30)
- PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING
- PROPOSED TREE LINE
- EXISTING FEATURE TO BE REMOVED

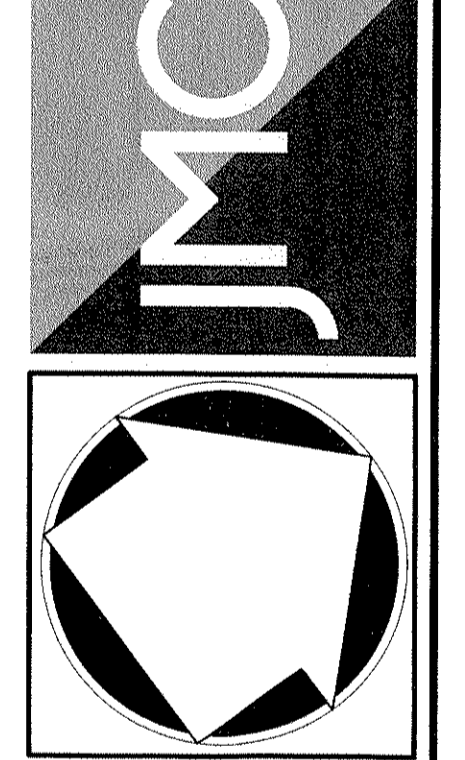


DRACON CONSULTANTS, LLC
 47 RIVER ROAD
 SUMMIT, NJ 07901

MINO & WASKO ARCHITECTS
 1 RAYMOND PLAZA W #210
 NEWARK, NJ 07102

DATE: 05/27/2016
 REVISION: REVISED PER TOWN COMMENTS

JMC Planning, Engineering, Landscape Architecture & Urban Design, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARBONIK, NY 10804
 phone 914.273.8329 - fax 914.273.2102
 www.jmcplc.com



SITE LAYOUT PLAN
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY

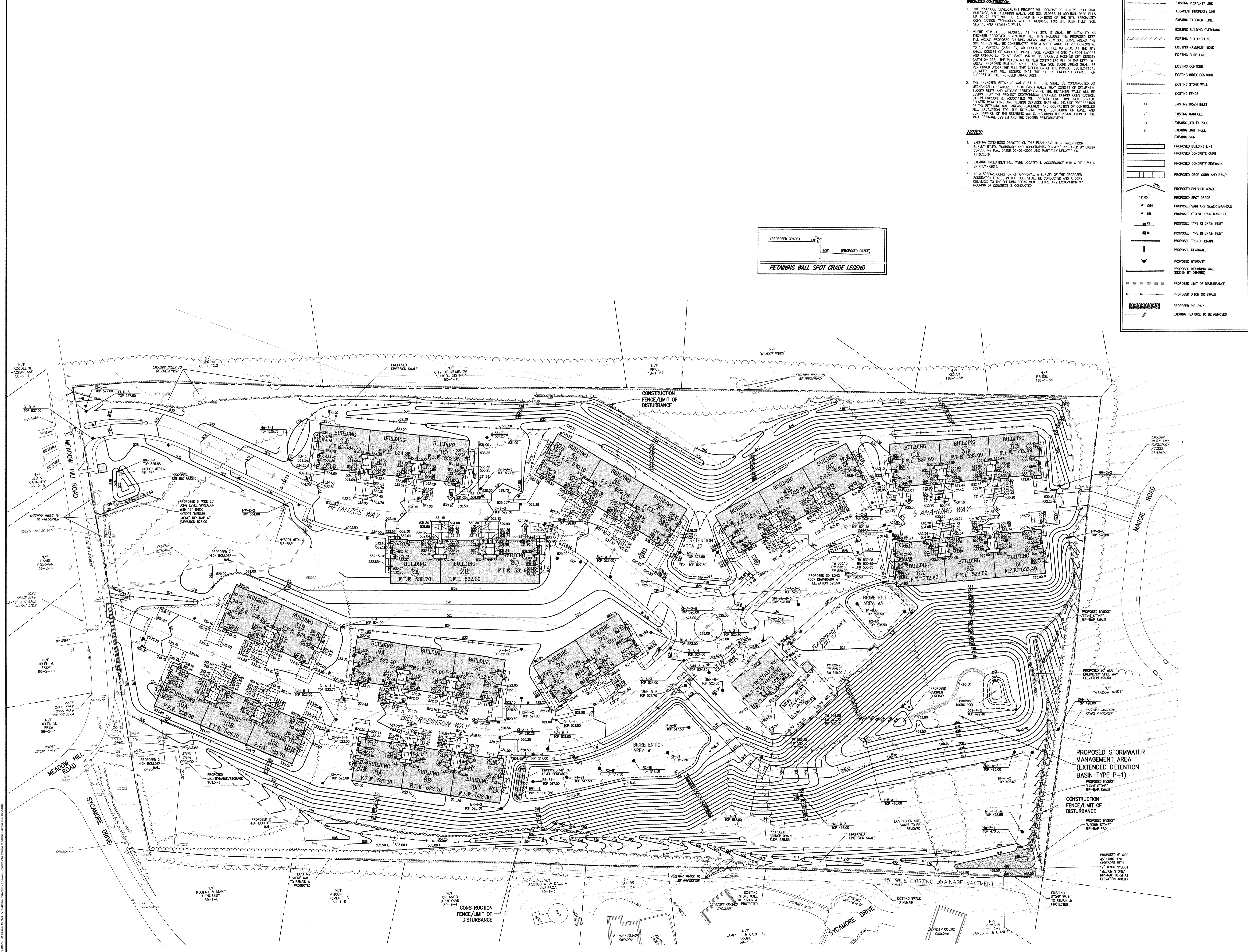
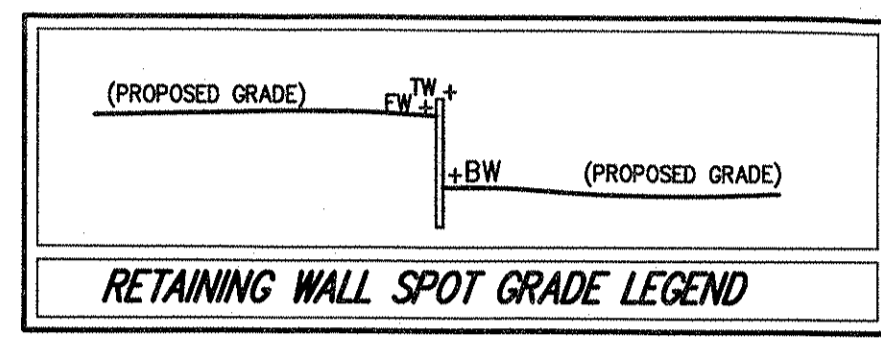
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Drawn:	MT	Approved:	JS
Scale:	1" = 40'		
Date:	05/06/2016		
Project No.:	18015		
180-2E	LAY	LAYOUT	
SP-4			

- SPECIALTY CONSTRUCTION**
1. THE PROPOSED DEVELOPMENT PROJECT WILL CONSIST OF 11 NEW RESIDENTIAL BUILDINGS, SITE RETAINING WALLS AND SOIL SLOPES. IN ADDITION, DEEP FILLS UP TO 24 FEET WILL BE REQUIRED IN PORTIONS OF THE SITE. SPREADER CONSTRUCTION TECHNIQUES WILL BE REQUIRED FOR THE DEEP FILLS, SOIL SLOPES AND RETAINING WALLS.
 2. WHERE NEW FILL IS REQUIRED AT THE SITE, IT SHALL BE INSTALLED AS ENGINEER-APPROVED COMPACTED FILL. THIS INCLUDES THE PROPOSED DEEP FILL AREAS, PROPOSED BUILDING AREAS AND NEW SOIL SLOPE AREAS. THE SOIL SLOPES WILL BE CONSTRUCTED WITH A SLOPE ANGLE OF 2:1 HORIZONTAL TO 1:0 VERTICAL (25% SLOPE) OR FLATTER. THE FILL MATERIAL AT THE SITE SHALL CONSIST OF SUITABLE ON-SITE SOIL PLACED IN ONE (1) FOOT LAYERS AND COMPACTED TO AT LEAST 95% OF ITS MAXIMUM MODIFIED DRY DENSITY (ASTM D-1557). THE PLACEMENT OF NEW CONTROLLED FILL IN THE DEEP FILL AREAS, PROPOSED BUILDING AREAS AND NEW SOIL SLOPE AREAS SHALL BE PERFORMED UNDER THE FILL. THE INSPECTION OF THE PROJECT GEOTECHNICAL ENGINEER WILL ENSURE THAT THE FILL IS PROPERLY PLACED FOR SUPPORT OF THE PROPOSED STRUCTURES.
 3. THE PROPOSED RETAINING WALLS AT THE SITE SHALL BE CONSTRUCTED AS MECHANICALLY STABILIZED EARTH (MSE) WALLS THAT CONSIST OF SEASONAL BLOCKS UNITS AND GEOTEXTILE REINFORCEMENT. THE RETAINING WALLS WILL BE DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER. QUALITY CONTROL, QUALITY ASSURANCE AND TESTING SERVICES THAT INCLUDE PREPARATION OF THE RETAINING WALL AREAS, PLACEMENT AND COMPACTION OF CONTROLLED FILL, EXCAVATION FOR THE RETAINING WALL FOUNDATION OR BASE, AND CONSTRUCTION OF THE RETAINING WALLS, INCLUDING THE INSTALLATION OF THE WALL DRAINAGE SYSTEM AND THE GEOTEXTILE REINFORCEMENT.
- NOTES**
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, MEASUREMENT AND TOPOGRAPHIC SURVEY PREPARED BY MASER CONSULTING P.A., DATED 06-06-2005 AND PARTIALLY UPDATED ON 3/10/2016.
 2. EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2016.
 3. AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAIRS IN THE YIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.

LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT LINE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE C DRAIN INLET
	PROPOSED TYPE D DRAIN INLET
	PROPOSED TRENCH DRAIN
	PROPOSED HEADWALL
	PROPOSED HYDRANT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED DITCH OR SWALE
	PROPOSED RP-RAP
	EXISTING FEATURE TO BE REMOVED



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SITE GRADING PLAN
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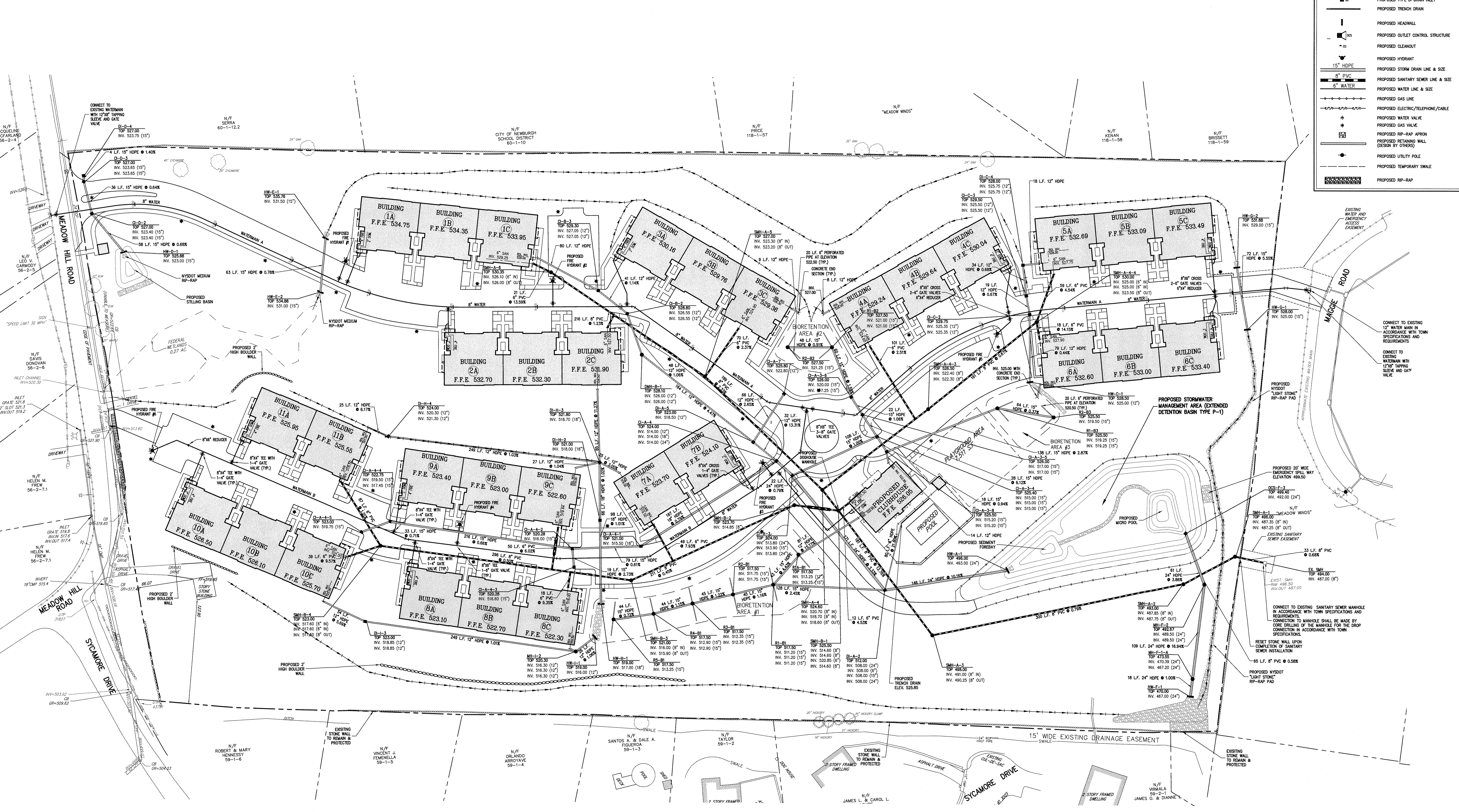
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Scale: 1" = 40'
 Date: 05/06/2016
 Project No: 16015
 Drawn By: SP-5

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY MASS CONSULTING P.A., DATED 08-08-2005.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINAGE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM D-2688. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE GLASS REINFORCED PIPE WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
 - ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE COINTEGRATED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C900 (2010) OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
 - THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINING GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINING GLANDS FOR JOINT RESTRAINT. RETAINING GLANDS SHALL BE EBBA IRON METALLIC SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
 - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 520 AND CONFORM TO ANSI/AWWA C151/A215-10-07 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A215-34 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
 - ALL VALVES SHALL BE RESILIENT MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C500 OR LATEST REVISION SUCH AS MULLER B-2000-32 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
 - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MULLER H-815 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVE CONFORMING TO ANSI/AWWA C500 SUCH AS MULLER MODEL T-2300-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO THE FOLLOWING MINIMUM: TESTING OF TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
 - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE C COPPER TUBING. CONNECTION STOPS SHALL BE MULLER H-1000 FOR 1/2" AND 1 INCH MULLER H-1500 OR H-2500 FOR 1 1/2" OR 2 INCH SIZES. COBB VALVES SHALL BE MULLER H-1001-2 FOR 1/2" AND 1 INCH AND MULLER B-2520M FOR 1 1/2" AND 2 INCH SIZES. CURB BOXES SHALL BE MULLER H-1032 FOR 1/2" AND 1 INCH AND MULLER H-1030 FOR 1 1/2" AND 2 INCH SIZES. ALL RETIED PARTS ARE LOW LEAD BRASS ALLOY.
 - THE PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
 - THE WATER MAIN SHALL BE TESTED, IDENTIFIED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, IDENTIFICATION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
 - THRUST RESTRAINT SHALL BE PROVIDED BY THE RIGID AND RETAINER CLANES. THE LENGTH OF RESTRAINTED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURE, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DIFF. STANDARDS.
 - PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
 - DISPOSITION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
 - ALL WATER MAINS SHALL BE 8" CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
 - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL OF THE AMENDMENTS IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
 - CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
 - ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE 800-B PVC PIPE CONFORMING TO ASTM D-3034-B JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING CASSETT CONFORMING ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
 - THE SOWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - ALL SECTIONS OF WATER MAIN PIPES WITH LESS THAN 4 FT COVER SHALL BE PERMA-PIPE DUAL-GUARD PREINSULATED PIPE WITH OUTER CONCRETE ENCASEMENT. THE PVC INSULATING JACKET SHALL BE WITH A 2.5" POLYURETHANE INSULATION THICKNESS. PIPE JOINTS SHALL BE FIELD INSULATED.
 - THIS PROJECT HAS INDICATED THE INTENT TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING THE REQUIREMENTS, AND IS THEREFORE, EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE FIRE DEPARTMENT. THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFA REQUIREMENTS.
 - THE PROPOSED GROUNDWATER POLLUTION AND WATER SERVICE LINES SHALL BE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION. ALL WATER SERVICES TO THE PROPOSED POOL SHALL REQUIRE AN APPROPRIATE BACKFLOW PREVENTER TO PREVENT CROSS CONNECTION TO THE DISTRIBUTION SYSTEM.
 - BACKFLOW PREVENTION DEVICES FOR BOTH THE 2" DOMESTICS AND 4" FIRE DEVICES MUST BE APPROVED BY OCOGH AND ARE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND SHALL PERFORM ALL WORK REQUIRED IN CONNECTION WITH ALL THE TESTS AS SPECIFIED HEREIN. ALL PIPE SHALL BE TESTED BY HYDROSTATIC PRESSURE, BUT NOT LESS THAN 150 PSI OR MORE THAN THE DESIGN RATING OF THE APPLICABLE PIPE. IN ACCORDANCE WITH AWWA SPECIFICATION C-600, THE TEST SHALL BE DETERMINED BY THE WATER AUTHORITY AND/OR OTHERS FIELD REPRESENTATIVE. EACH SECTION TESTED SHALL BE SLOWLY FILLED WITH WATER, CARE BEING TAKEN TO LEVEL ALL AIR FROM THE PIPES. IF NECESSARY, THE PIPES SHALL BE PAIRED AT HIGH POINTS TO VENT THE AIR. REQUIRED PRESSURE, AS MEASURED AT THE POINT OF LOWEST ELEVATION, SHALL BE APPLIED FOR NOT LESS THAN TWO (2) HOURS AND ALL PIPE, FITTINGS, VALVES, HYDRANTS AND JOINTS SHALL BE CAREFULLY EXAMINED FOR LEAKS. LEAKY JOINTS SHALL BE MADE WATER TIGHT.
 - IF THE SECTION BEING TESTED SHALL FAIL TO PASS THE PRESSURE TEST OR THE LEAKAGE TEST, OR BOTH, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO LOCATE, UNCOVER, AND REPAIR OR REPLACE THE DEFECTIVE PIPE, FITTINGS, OR JOINTS, AND ALL SUCH WORK SHALL BE DONE AT HIS EXPENSE AND AT HIS ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DISTRICT, HEALTH DEPARTMENT OR ANY OTHER AUTHORITY HAVING JURISDICTION OVER ALL OR ANY PORTION OF THE WATER LINES INSTALLED UNDER THIS CONTRACT, THE MORE RESTRICTIVE REQUIREMENTS SHALL GOVERN.
 - AFTER THE WATER LINE HAS PASSED THE REQUIRED PRESSURE AND LEAKAGE TESTS AND BEFORE BEING PLACED INTO SERVICE, THE ENTIRE LINE SHALL BE DISINFECTED. ALL IDENTIFYING METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-651. ALL DISINFECTION OPERATIONS AND PROCEDURES SHALL MEET WITH THE APPROVAL OF THE WATER AUTHORITY AND HEALTH DEPARTMENT.
 - IF THE INITIAL BACTERIOLOGICAL TESTS ARE NOT SATISFACTORY, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS, INCLUDING MAKING PROVISIONS TO ISOLATE SHORTER SECTIONS OF LINE TO LOCATE THE SOURCE OF CONTAMINATION. ALL WORK NECESSARY AND REQUIRED TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE AND AT HIS ADDITIONAL COST TO THE OWNER.
 - THE DESIGN, CONSTRUCTION AND INSTALLATION OF THE WATER MAINS SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE: "RECOMMENDED STANDARDS FOR WATER WORKS (EN STATES)" "NEW YORK STATE DEPARTMENT OF HEALTH AND ORANGE COUNTY" "DEPARTMENT OF HEALTH POLICES, PROCEDURES, AND STANDARDS"
 - UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE BY THE PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE PROFESSIONAL ENGINEER.
 - ALL WATER DISTRIBUTION SYSTEM PIPES AND APPURTENANCES SHALL CONFORM TO CURRENT TOWN OF NEWBURGH STANDARDS.
 - BACKFLOW PREVENTION DEVICE WILL BE LOCATED IN THE BUILDING APPLICATION FOR APPROVAL SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE MECHANICAL ENGINEER/ARCHITECT.
 - UNDER INDUSTRIAL CODE 703, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT "MASTER LIST OF OPERATORS" ON FILE WITH THE COUNTY HEALTH AS WELL AS THE TOWN OF NEWBURGH AND NYSDOT PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE AWARE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE DAMAGED OR DISRUPTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OPERATORS OF ANY UTILITIES THAT ARE NOT SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT SHOWN OR ARE NOT SHOWN CORRECTLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY STRUCTURES OR UTILITIES THAT HE OR SHE DAMAGES AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDER INTERFERE TO UTILITY SERVICE.
 - POTABLE WATER PIPE NETWORKS MUST BE IN COMPLIANCE WITH THE "NO LEAD LAW," THE AMENDMENT TO THE SAFE DRINKING WATER ACT WHICH PROHIBITS THE USE OF BRASS PRODUCTS CONTAINING MORE THAN 0.02% LEAD.

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INLET CONTOUR
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRE
- EXISTING IRON INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED EASEMENT LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- SMH
- MH
- DI
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C DRAIN INLET
- PROPOSED TYPE D DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED HEADWALL
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED CLEANOUT
- PROPOSED HYDRANT
- PROPOSED STORM DRAIN LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED WATER VALVE
- PROPOSED GAS VALVE
- PROPOSED RP-RAP APRON
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED UTILITY POLE
- PROPOSED TEMPORARY SWALE
- PROPOSED RP-RAP



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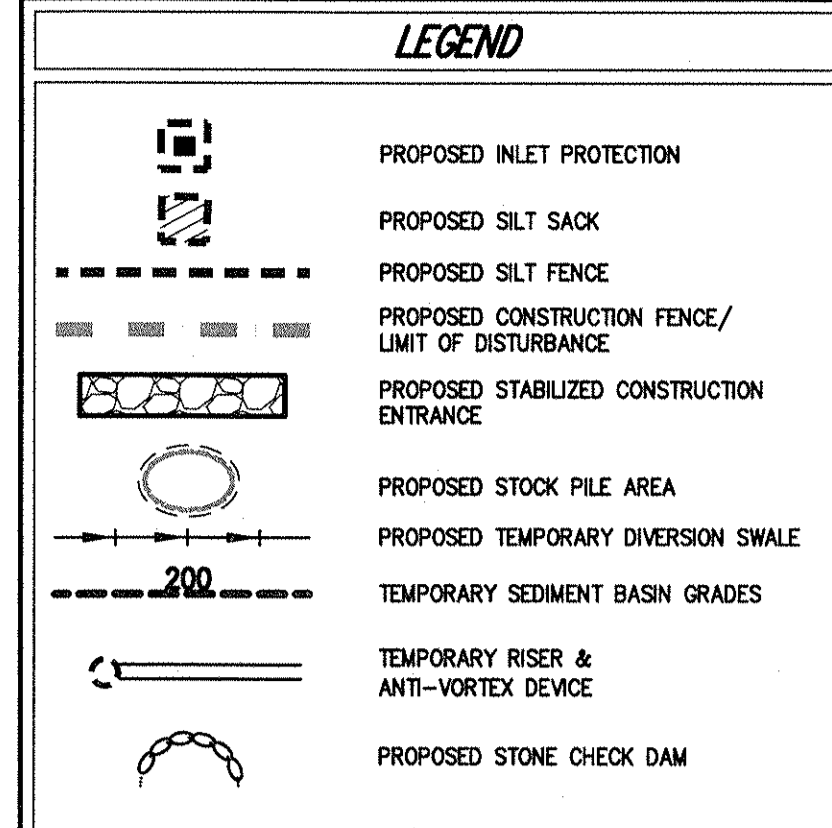
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SITE UTILITIES PLAN
 MEADOW HILL ROAD EXPANSION
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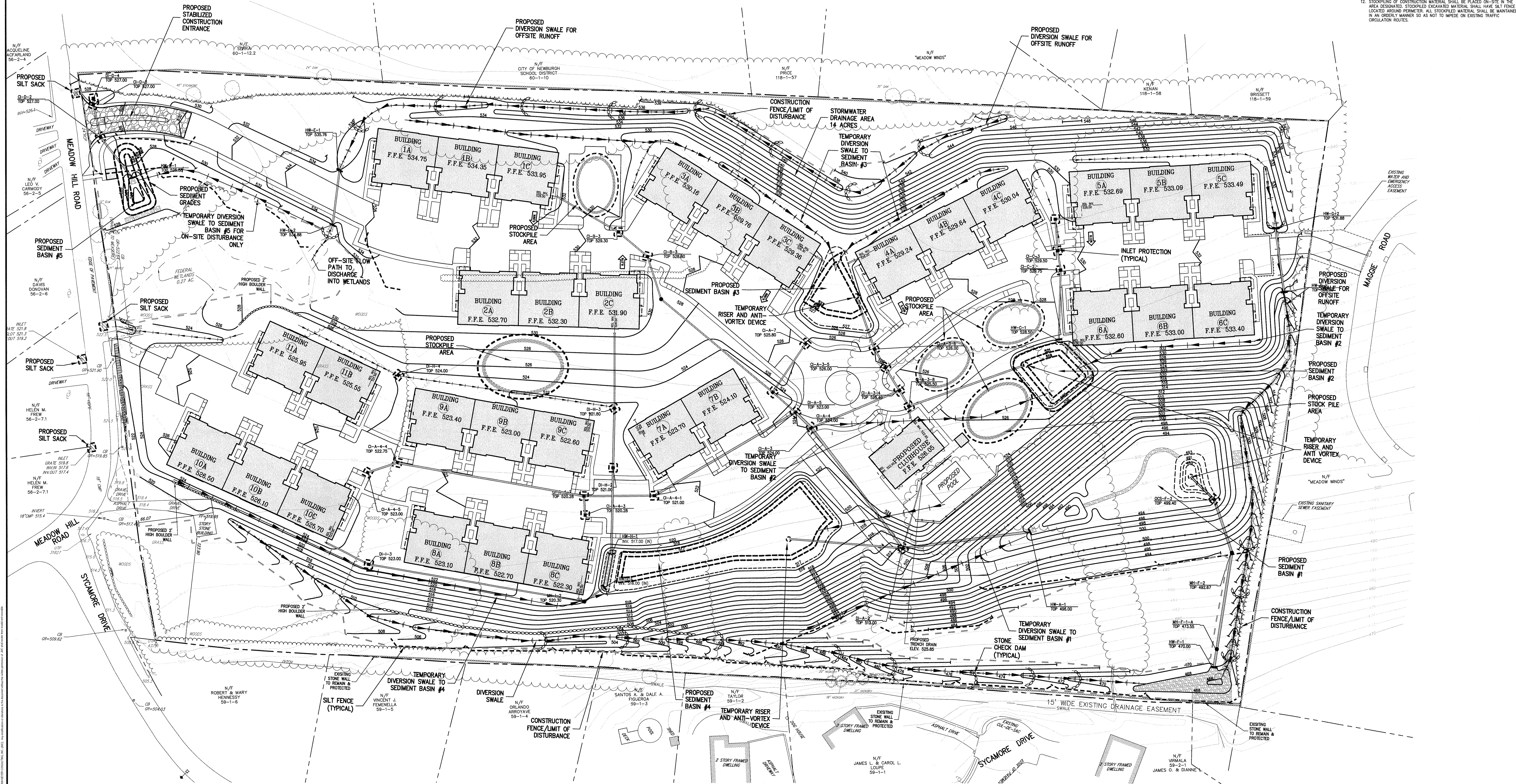
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Scale: 1" = 40'
 Date: 05/06/2016
 Project No: 16015
 305-SE UTL UTL/UR
 Drawing No: **SP-6**

- ### SEQUENCE OF CONSTRUCTION
- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL BE PROTECTED WITH EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
- STAKE LIMIT OF DISTURBANCE BOUNDARY WITH ORANGE CONSTRUCTION FENCE. INSTALL A STABILIZED CONSTRUCTION ENTRANCE. CLEAR THE AREA TO BE DEVELOPED.
 - INSTALL ALL SILT FENCES.
 - GRUB THE AREA TO BE CONSTRUCTED.
 - CONSTRUCT DIVERSION SWALE 1 TO DIVERT THE OFFSITE AREA DRAINING TOWARDS THE SITE TO AN EXISTING DEPRESSION AND DIVERSION SWALES 2 AND 3 TO DIVERT THE RUNOFF FROM THE OFFSITE AREA TOWARDS THE EXISTING DRAINAGE CHANNEL, WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN.
 - PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALES.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN.
 - REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
 - PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
 - INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF GUTTER BASKETS, MANHOLES AND UNDERGROUND STORM PIPES ALONG WITH THE EROSION AND SEDIMENT CONTROL DEVICES ASSOCIATED WITH THE STORM DRAINAGE SYSTEM (I.E. INLET PROTECTION, STONE CHECK DAMS, ETC., AS SHOWN ON THE PLANS).
 - INSTALL UTILITIES (SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, ETC.), AS REQUIRED.
 - INSTALL GREEN INFRASTRUCTURE PRACTICES INCLUDING RAIN GARDEN AND BIOPLET.
 - BEGIN ROAD CONSTRUCTION INCLUDING SUBBASE AND BASE PAVEMENT SECTIONS.
 - FINISH GRADING, REDISTRIBUTE TOPSOIL, AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 - COMPLETE FINAL GRADING FOR THE STORMWATER BASIN.
 - CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 - COMPLETE BUILDING CONSTRUCTION.



- ### NOTES
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FILED, "SECONDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING P.A., DATED 05-08-2005 AND PARTIALLY UPDATED ON 2/15/2016.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 - DISTURBED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF SEEDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
 PERENNIAL RYE GRASS 70%
 CREEPING RED FESCUE 30%
 - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY OTHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - SEEDD AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REAPPLIED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE ENGINEER'S FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
 - CUT AND FILLS SHALL NOT ENDANGER ADJACENT PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER TRANSPORTS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 - STOCKPILES OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPDE ON EXISTING TRAFFIC CIRCULATION ROUTES.



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DATE: 05/06/2016
 DRAWING: SP-7



NOTES:

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
2. GROUND WIRING SHALL BE PER ORANGE AND ROCKLAND UTILITY REQUIREMENTS.
3. EXISTING TREES IDENTIFIED WERE LOCATED IN ACCORDANCE WITH A FIELD WALK ON 03/17/2015.

LEGEND

- EXISTING UTILITY POLE
- ⊙ EXISTING LIGHT POLE
- ★ PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
- ▲ PROPOSED SITE LIGHTING (WALL MOUNTED)
- ⊙ PROPOSED BOLLARD LIGHTING STANDARD
- ⊙ 0.1 PROPOSED ILLUMINANCE IN FOOT-CANDLES

PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE A LIGHT COOPER LIGHTING - MCGRAW-EDISON GAT-150-MP-X-3C-X-X ARCHITECTURAL POST TOP LUMINAIRE - TYPE III CUTOFF 150 WATT PULSE-START CLEAR ED-28 VBD BURN

PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE B LIGHT COOPER LIGHTING - MCGRAW-EDISON GAT-150-MP-X-3C-X-X ARCHITECTURAL POST TOP LUMINAIRE - TYPE III CUTOFF 150 WATT PULSE-START CLEAR ED-28 VBD BURN

DR A MEADOW HILL, LLC
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 SUMMIT, N.J. 07901

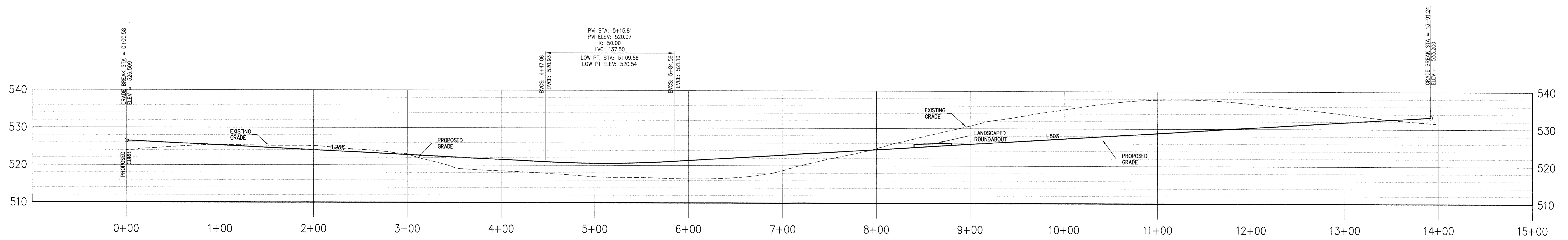
ARCHITECTS
MINNO & WASKO ARCHITECTS
 1 RAYMOND PLAZA, W. #210
 NEWARK, N.J. 07102

JMC

SITE LIGHTING PLAN
 MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBURGH, NY

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Scale: 1" = 40'
 Date: 05/06/2016
 Project No: 16015
 Drawing No: SP-9



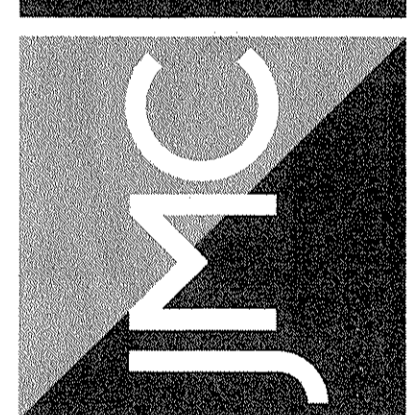
BILL ROBINSON WAY & AMARUMO WAY PROFILE

SCALE: HORIZONTAL: 1" = 40'
VERTICAL: 1" = 10'

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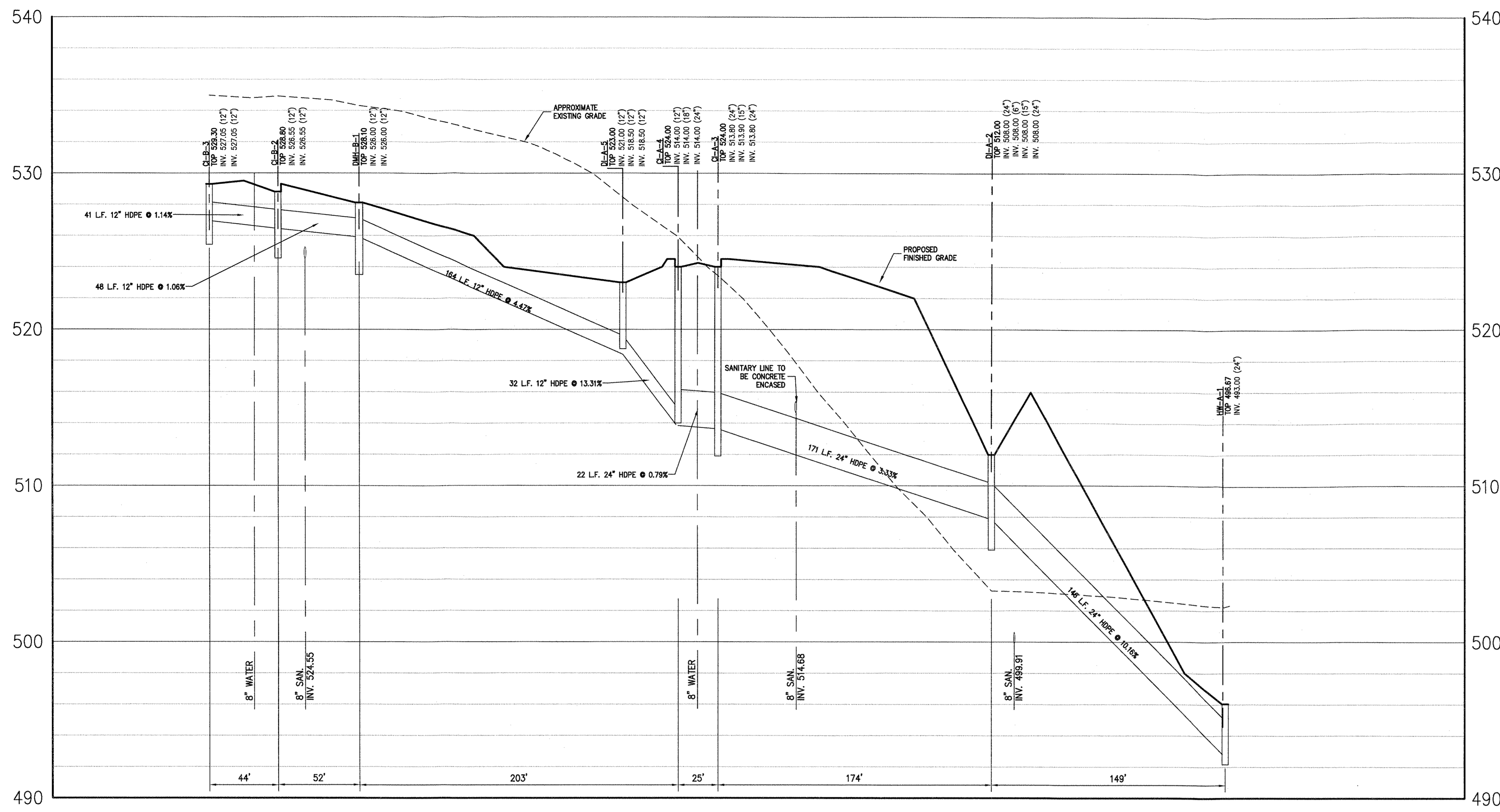


SANITARY SEWER PROFILES
MEADOW HILL ROAD EXPANSION
 MEADOW HILL ROAD
 TOWN OF NEWBOURGH, NY

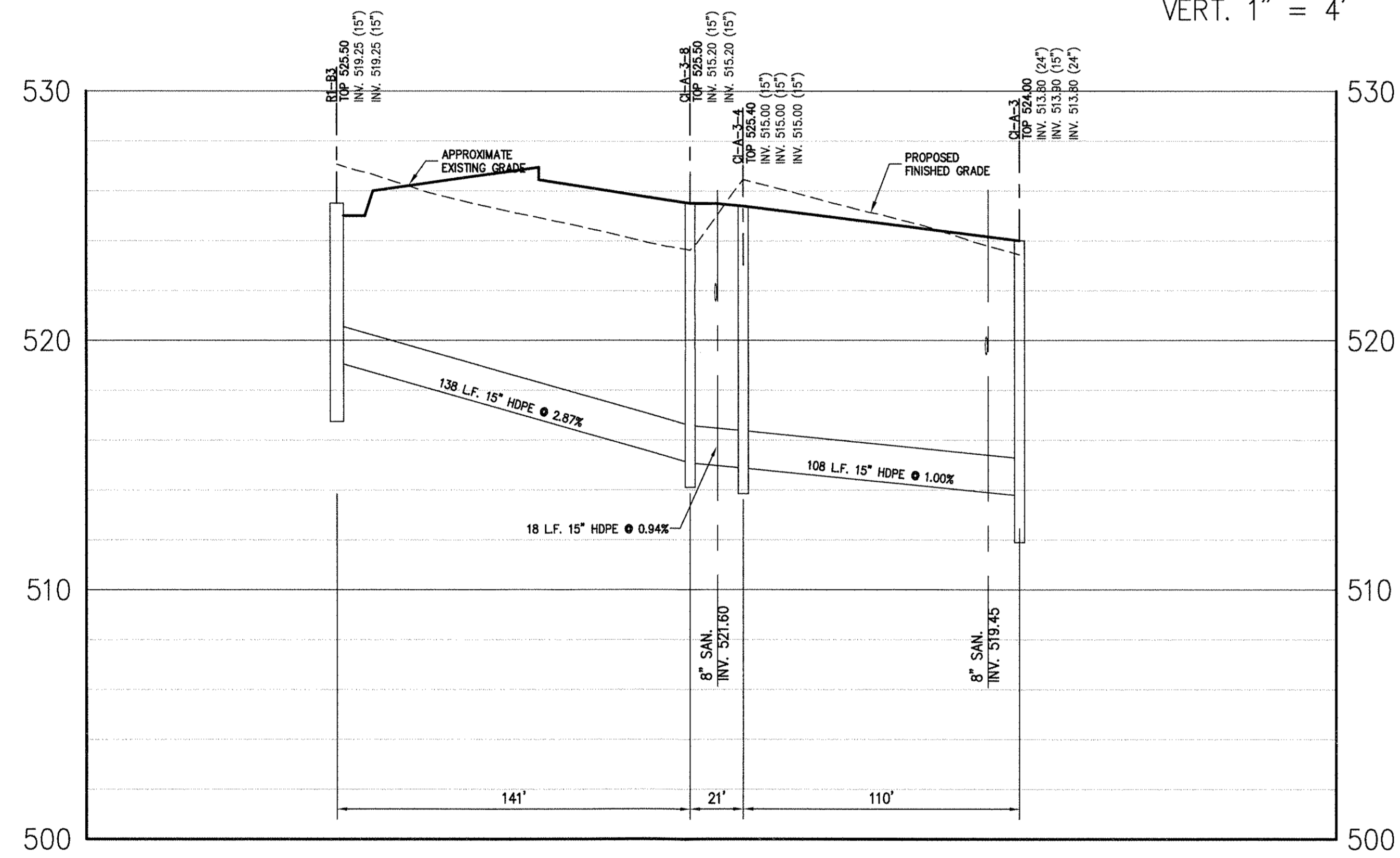
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DRAWN: MT SCALE: 1" = 40' DATE: 05/06/2016 PROJECT NO: 16015 DRAWING NO: ROAD PROFILE - UTIL.sxd	APPROVED: JS DATE: 05/06/2016
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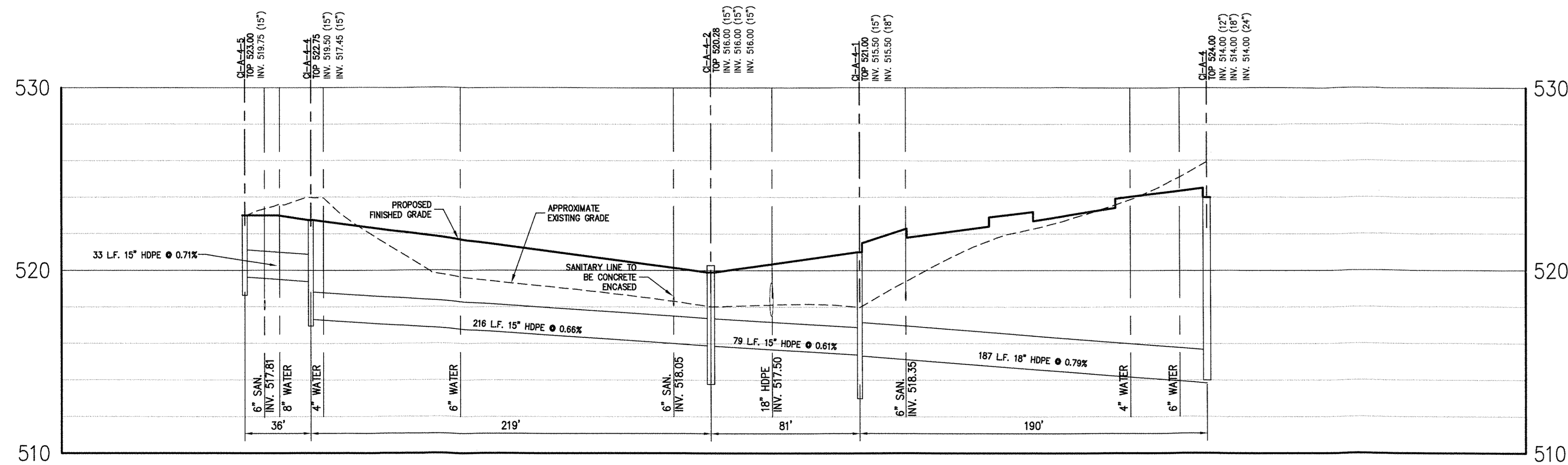
SP-10



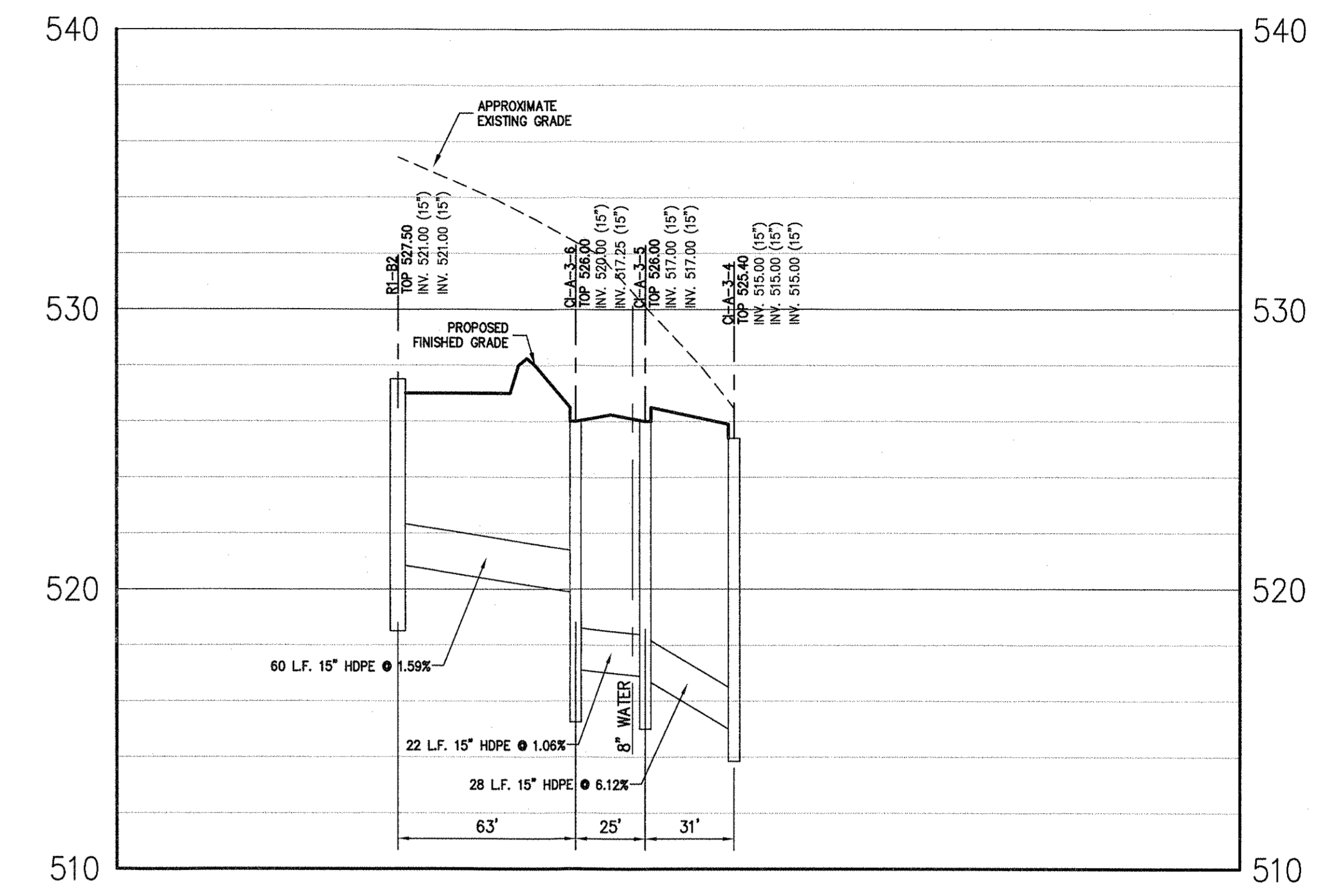
CI-B-3 TO HW-A-1
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



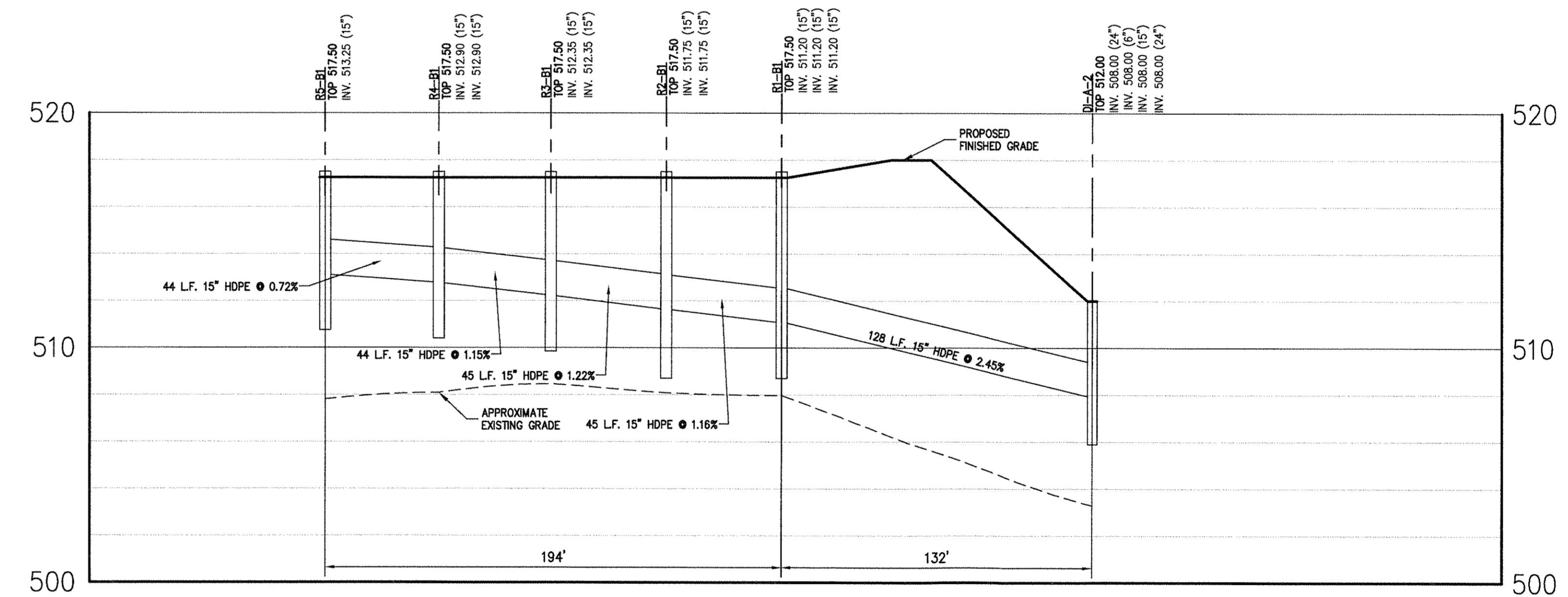
R1-B3 TO CI-A-3
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



CI-A-4-5 TO CI-A-4
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



R1-B2 TO CI-A-3-4
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



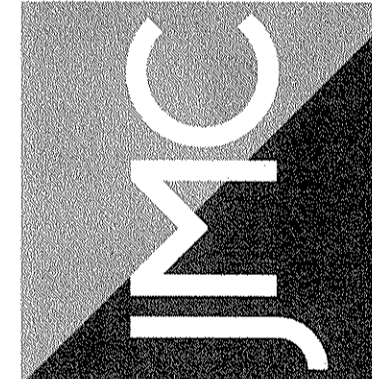
R5-B1 TO DI-A-2
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

Rev.	By	Date
1.	T.	05/29/2016
REVISIONS PER TOWN COMMENTS		

PROJECT OWNER: DRA MEADOW HILL, LLC
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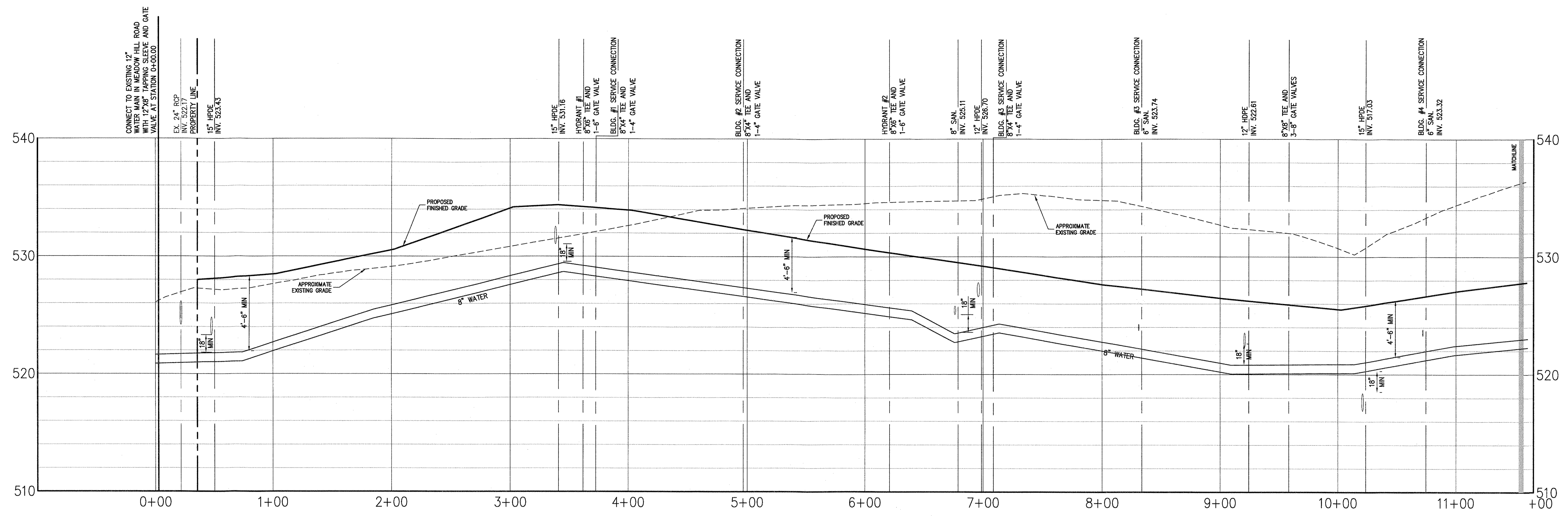


STORM SEWER PROFILES
MEADOW HILL ROAD EXPANSION
TOWN OF ARDBURGH, NY

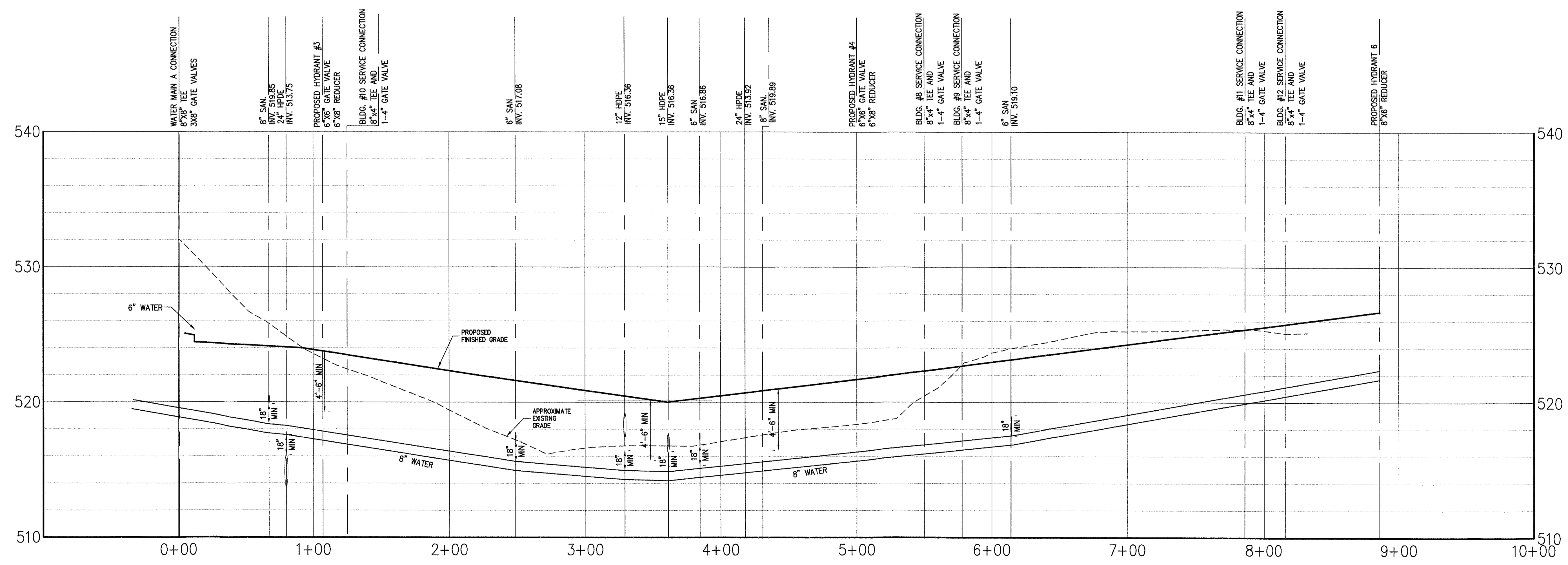
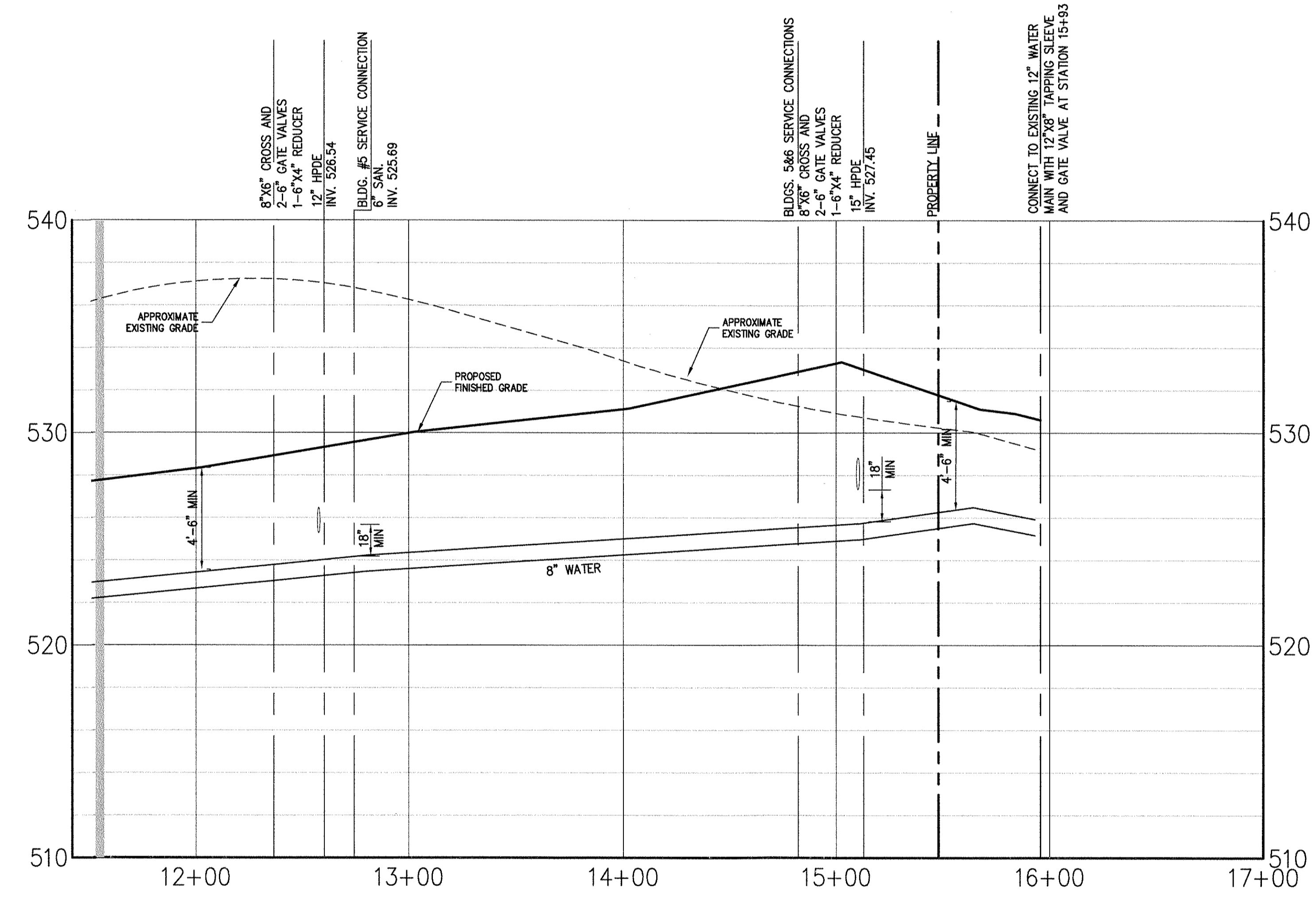
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Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	05/06/2016		
Project No.	16015		
WBS-DE	STORM PROFILES	UTL	lay

SP-18



WATER MAIN A
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'



WATER MAIN B
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

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