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CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: MCDONALD'S**  
**PROJECT NO.: 2017-14**  
**PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 41.21**  
**REVIEW DATE: 13 OCTOBER 2017**  
**MEETING DATE: 19 OCTOBER 2017**  
**PROJECT REPRESENTATIVE: CORES STATES GROUP/ ALAN D. ROSCOE, P.E.**

1. A Landscaping Plan has been submitted with a planting schedule. Planning Board should review the proposed landscaping with regard to its acceptability. It is noted that the mature trees on the site are not addressed on the Landscape Plan.
2. Parking lot striping has been revised to comply with Town Codes. Detail of parking lot striping has been added to the plans.
3. Orange County Planning Department review has timed out as of October 9<sup>th</sup>.

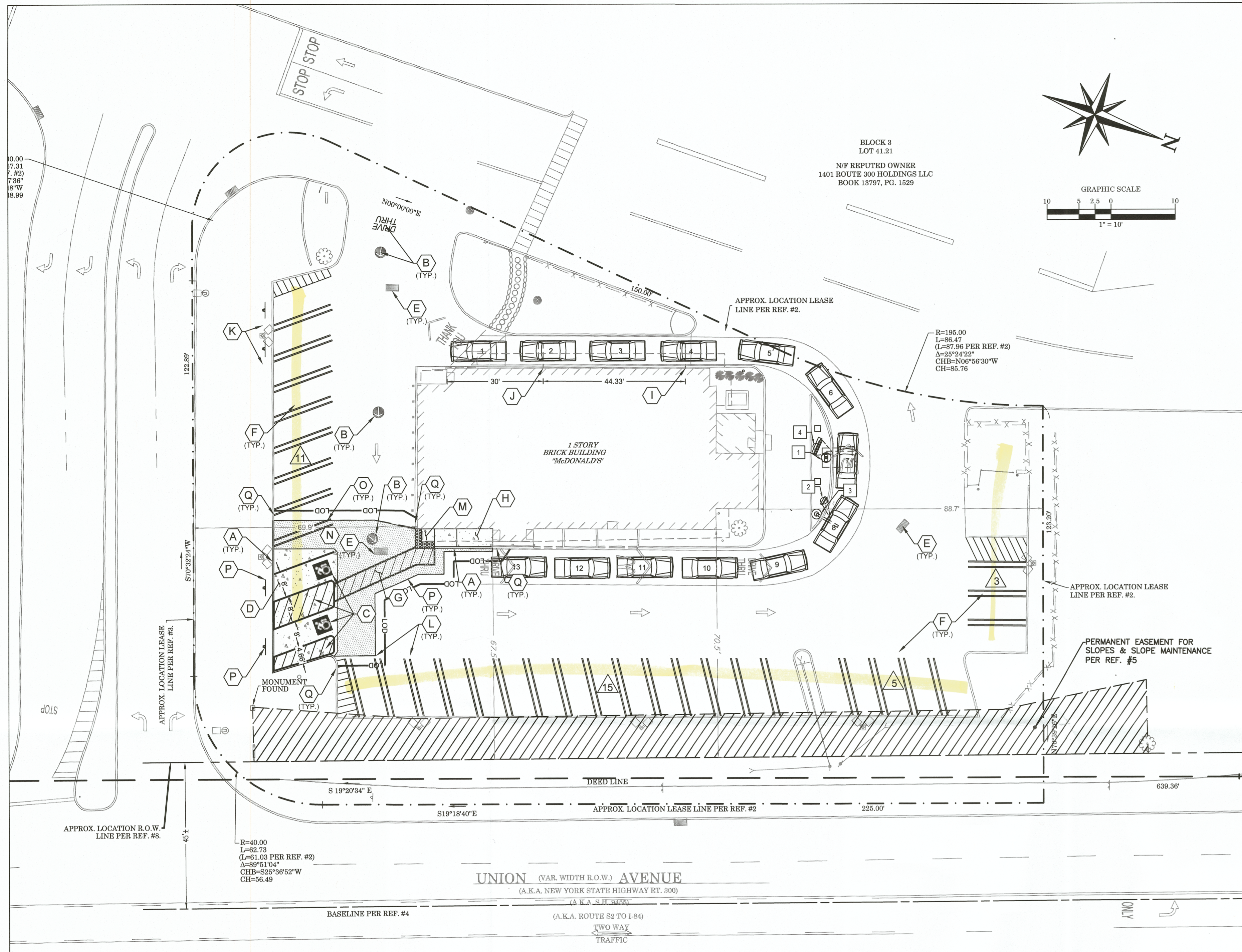
Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

---

Patrick J. Hines  
Principal

PJH/kbw



**GENERAL DEVELOPMENT NOTES:**

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. THE FOUNDATION DESIGN ARE BY OTHERS.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- PROPOSED UTILITIES ARE ONLY SHOWN IN SCHEMATIC LAYOUT. EXACT LOCATIONS SHALL BE DETERMINED PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL HALT WORK AND NOTIFY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAYMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
- ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
- EXISTING CONDITIONS ARE BASED ON BOUNDARY & TOPOGRAPHIC SURVEY BY GALLAS SURVEYING GROUP DATED 02/08/2017.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
- ALL NEW BUILDING SIGNAGE WILL COMPLY WITH ZONING REGULATIONS.
- PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE AND FOR REFERENCE ONLY.
- CONTRACTOR TO VERIFY ALL MINIMUMS CALLED OUT ON THE CIVIL PLANS AND SHALL NOTIFY ENGINEER AND ACM IF MINIMUMS CANNOT BE MET.
- REFER TO SHEET C2 FOR GENERAL NOTES.

**SITE KEY NOTES:**

- A. PROPOSED CURB REFER TO DETAILS ON SHEET C7.
- B. PROPOSED DRIVE THRU STRIPING. MUST BE LONG LIFE EPOXY. REFER TO DETAILS ON SHEET C8 AND C11.
- C. PROPOSED ADA PARKING STRIPING. MUST BE LONG LIFE EPOXY. REFER TO DETAILS ON SHEET C8.
- D. PROPOSED ADA PARKING CONCRETE PAD. REFER TO DETAILS ON SHEET C8.
- E. EXISTING STORM SEWER INLET TO BE MAINTAINED AND BE PROTECTED IN PLACE.
- F. EXISTING PARKING STRIPING TO REMAIN AND BE PROTECTED IN PLACE.
- G. PROPOSED ADA CROSSWALK STRIPING. REFER TO DETAILS ON SHEET C7.
- H. PROPOSED CONCRETE SIDEWALK. REFER TO DETAILS ON SHEET C8.
- I. EXISTING CASH WINDOW.
- J. EXISTING PICK-UP WINDOW.
- K. PROPOSED PULL FORWARD SPACES TO BE MAINTAINED AND PROPOSED SIGNAGE ADDED.
- L. PROPOSED NON-ADA PARKING STRIPING. MUST BE LONG LIFE EPOXY. REFER TO DETAILS ON SHEET C7.
- M. PROPOSED ADA PARALLEL CURB RAMP WITH 2" DEEP DETECTABLE WARNING. REFER TO DETAILS ON SHEET C7.
- N. PROPOSED ASPHALT PAVEMENT. REFER TO DETAILS ON SHEETS C7 AND C8.
- O. PROPOSED SAWCUT LINE.
- P. PROPOSED ACCESSIBLE PARKING SIGNAGE. REFER TO DETAILS ON SHEET C7.
- Q. EXISTING CURB TO REMAIN AND BE PROTECTED IN PLACE.

**SIGN LEGEND:**

- PROPOSED DRIVE-THRU CANOPY WITH LCD CUSTOMER ORDER DISPLAY (COD) 11'-3" HIGH.
  - PROPOSED OPO PRE-SELL BOARD.
  - PROPOSED WELCOME POINT GATEWAY.
  - PROPOSED FP-43 MENU BOARD WITH NEW OPO FOUNDATION.
  - NOT USED.
- VERIFY SIGNAGE WITH SIGN ORDER REQUEST FORM. VERIFY LOCATIONS WITH MCDONALD'S REPRESENTATIVE.

**STORMWATER MANAGEMENT NARRATIVE:**

	EXISTING	PROPOSED
TOTAL LOT AREA	43,302 SF	43,302 SF
IMPERVIOUS AREA	28,762 SF	28,762 SF
PERVIOUS AREA	14,541 SF	14,541 SF

THERE IS NO NET CHANGE IN IMPERVIOUS AREA BETWEEN THE PRE- AND POST-CONSTRUCTION CONDITIONS. THEREFORE, NO STORMWATER MANAGEMENT CALCULATIONS HAVE BEEN PERFORMED.

**GENERAL NOTES:**

THIS DRAWING REFERENCES: BOUNDARY & TOPOGRAPHIC SURVEY SITUATED IN CITY OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK PART OF LOT 41.21, BLOCK 3, SECTION 60 PREPARED BY: GALLAS SURVEYING GROUP. DATED: 01/31/2017 REVISED: 02/08/2017

OWNER: MCDONALD'S CORPORATION 1 MCDONALD'S PLAZA OAK BROOK, IL 60523 TEL: (630) 623-3000

1) SITE ADDRESS: 1403 ROUTE 300 NEWBURGH, NY 12550

2) ZONING DATA: ZONED: INTERCHANGING BUSINESS DISTRICT (IB)

REQUIRED	EXISTING	PROPOSED	
MIN. LOT AREA:	0 SF	48.78 AC.	NO CHANGE
MIN. LOT FRONTAGE:	0'	>0'	NO CHANGE
MIN. LOT WIDTH:	0'	>0'	NO CHANGE
MIN. FRONT YARD:	50'	67.5' (NE)	67.5' (NE) NO CHANGE
MIN. SIDE YARD:	0'	70'	NO CHANGE
MIN. REAR YARD:	0'	>0'	NO CHANGE

MAX. IMPERVIOUS SURFACE: 80% 70%\* NO CHANGE  
MAX. HEIGHT: N/A 16' (MAIN) 18' 32'-3" (TOWER) 27'-8"

EX. BUILDING MOUNTED SIGNAGE: 108.0 SF  
PROP. BUILDING MOUNTED SIGNAGE: 86.5 SF  
NET REDUCTION IN BUILDING SIGNAGE: 21.5 SF

\*EXISTING MALL PROPERTY INFORMATION TAKEN FROM A PLAN ENTITLED "OVERALL SITE PLAN" FOR FLAMING GRILL AND BUFFET DATED 11-27-2012. PREPARED BY MINUTA ARCHITECTURE.

3) PARKING REQUIREMENTS: 1 SPACE FOR EACH 4 SEATS OR 1 SPACE FOR EACH 40 SF OF SEATING FLOOR AREA, WHICHEVER IS GREATER.

THE PROPOSED MCDONALD'S BUILDING AREA AND SEATING WERE CONSIDERED FOR THIS CALCULATION.

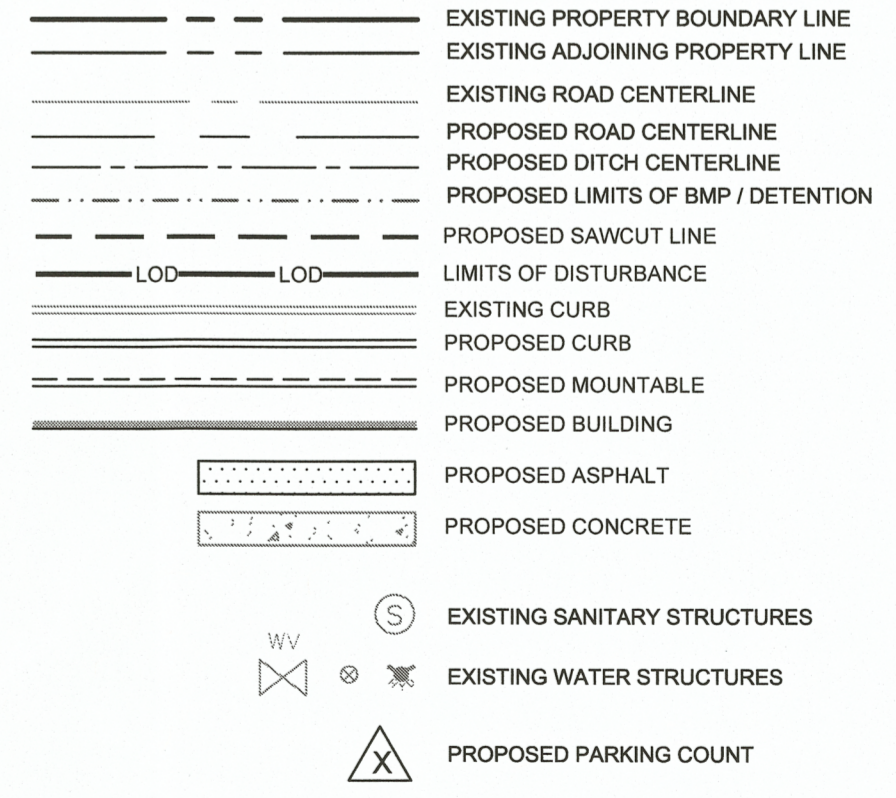
118 SEATS = 30 SPACES  
1,820 SF = 46 SPACES  
TOTAL REQUIRED = 46 SPACES

EXISTING MCDONALD'S AREA PARKING: 33 SPACES (INCLUDING 2 HANDICAPPED SPACES)  
PROPOSED MCDONALD'S AREA PARKING: 34 SPACES (INCLUDING 2 HANDICAPPED SPACES)

PARKING STALL DIMENSIONS:  
EXISTING: 90' x 18' 75' x 18'  
REQUIRED: 90' x 18' 75' x 18'  
PROPOSED: 90' x 18' 75' x 18'  
LEASE AGREEMENT WITH NEWBURGH MALL OWNERSHIP INCLUDES A SHARED PARKING PROVISION.

- ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS SHALL BE LONG LIFE EPOXY.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

**SITE LEGEND**



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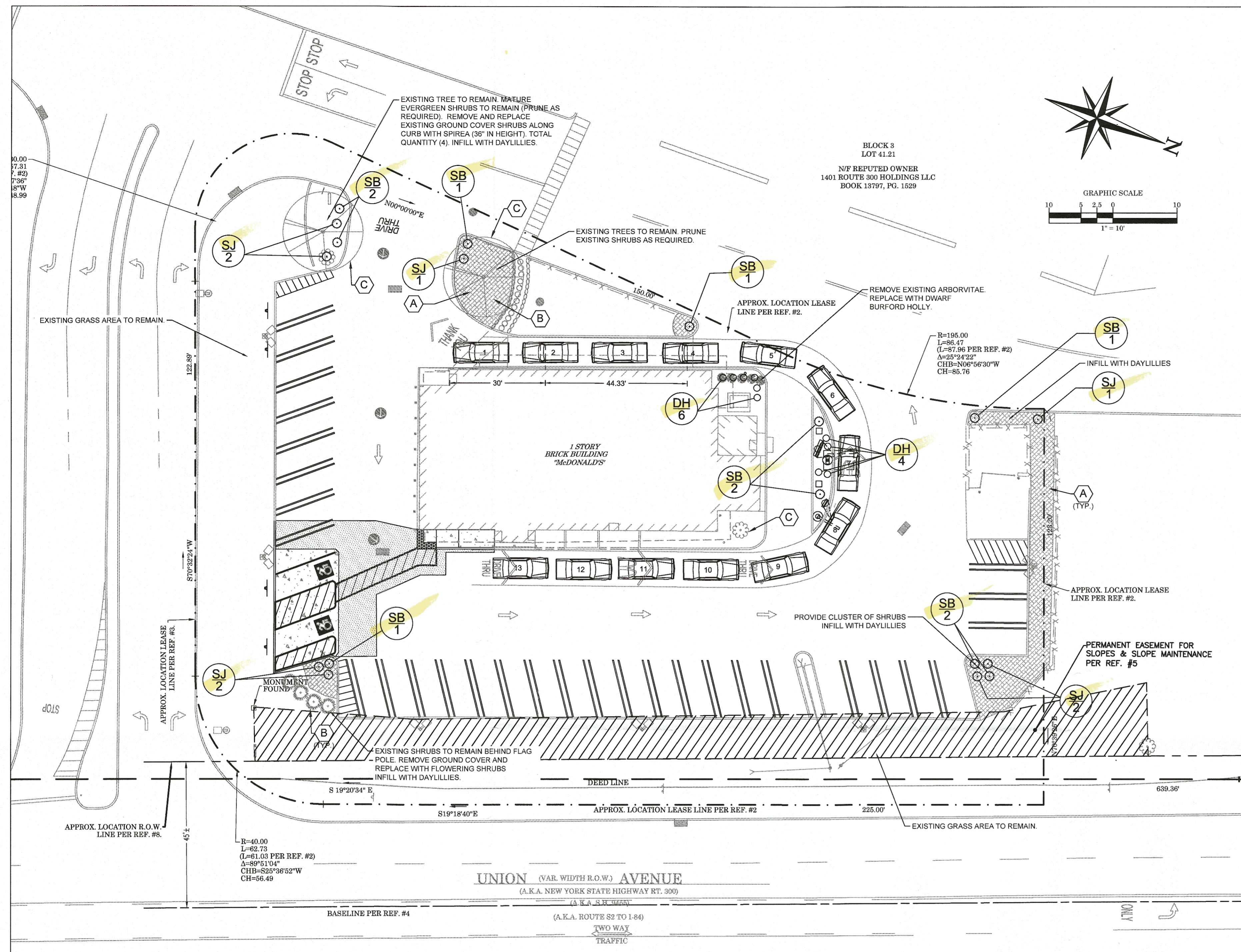
DATE MATTHEW DEWITT, P.E. NY LICENSE #0696101	DATE 10/12/17	DESCRIPTION PARKING SPACE STRIPING PEER REVIEW	BY VT
DATE 10/12/17	DATE 9/28/17	DESCRIPTION PER PEER REVIEW COMMENTS	BY VT
DATE 10/12/17	DATE 9/28/17	DESCRIPTION PER PEER REVIEW COMMENTS	BY VT

PREPARED FOR: **M. McDonald's USA, LLC**

DRAWN BY: BM  
STD. ISSUE DATE: 2017  
REVIEWED BY: MD  
DATE ISSUED: 01/31/2017  
C.S.G. PROJECT #: MCD-20353

TITLE: SITE PLAN  
SHEET: SITE PLAN  
SITE ID: 031-0728  
SITE ADDRESS: 1403 Rte. 300 Newburgh, NY, 12550

SHEET NO. **C4**

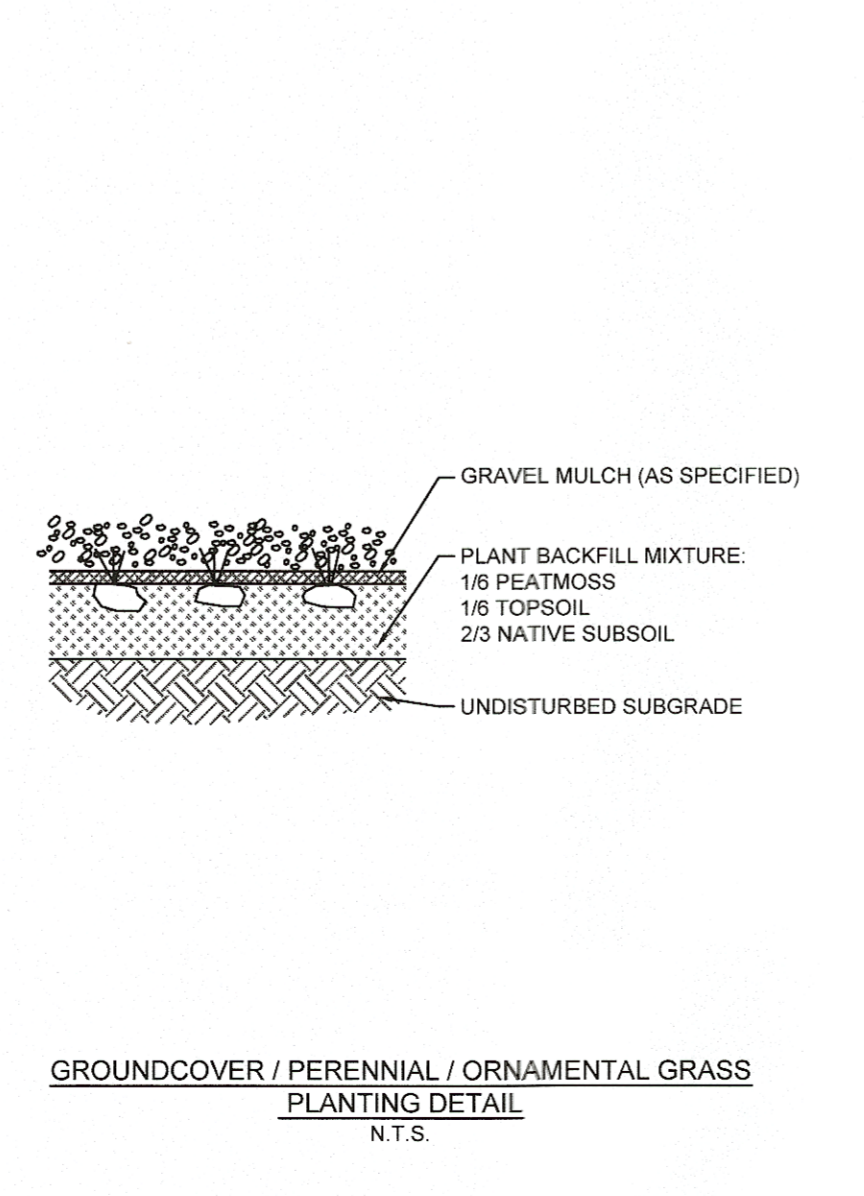
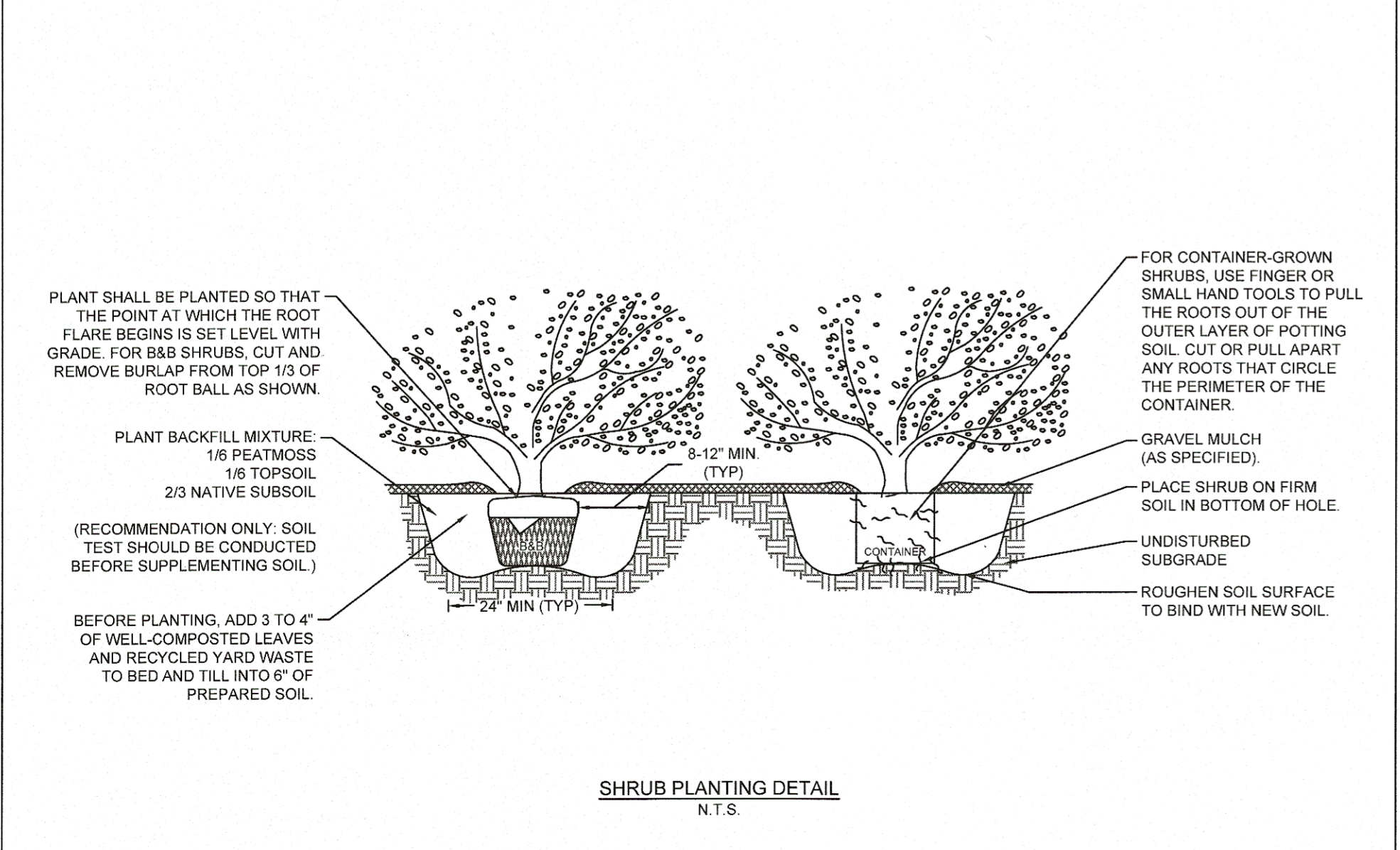


PLANT SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>Shrubs</b>					
SJ	8	<i>Spirea japonica</i> (L.) Little Princess	Little Princess Spirea	36" HEIGHT	4' O.C.
SB	10	<i>Spirea bumalda</i> (L.)	Anthony Waterer Spirea	36" HEIGHT	4' O.C.
<b>Groundcover / Perennials / Ornamental Grass</b>					
HS	36 (EST.)	<i>Hemerocallis</i> (L.) Stella D'Oro	Stella D'Oro Daylily	#2 CONT.	2' O.C.
DH	10	<i>Ilex cornuta</i> (L.) Dwarf Burford	Dwarf Burford Holly	36" HEIGHT	9' O.C.

\* VARIETY/QUANTITIES ARE APPROXIMATE AND MAY BE VARIED OR SUBSTITUTED WITH PRIOR APPROVAL OF NEWBURGH PLANNING BOARD.

**LANDSCAPE KEY NOTES:** ○

- A. EXISTING MULCH BED TO REMAIN.
- B. EXISTING SHRUBS TO REMAIN.
- C. EXISTING TREES TO REMAIN.



**SITE LEGEND**

---	EXISTING PROPERTY BOUNDARY LINE
----	EXISTING ADJOINING PROPERTY LINE
----	EXISTING ROAD CENTERLINE
----	PROPOSED ROAD CENTERLINE
----	PROPOSED DITCH CENTERLINE
----	PROPOSED LIMITS OF BMP / DETENTION
----	PROPOSED SAWCUT LINE
----	LIMITS OF DISTURBANCE
---	EXISTING CURB
---	PROPOSED CURB
---	PROPOSED MOUNTABLE
---	PROPOSED BUILDING
---	PROPOSED ASPHALT
---	PROPOSED CONCRETE
⊗	EXISTING SANITARY STRUCTURES
⊗	EXISTING WATER STRUCTURES
⊗	PROPOSED PARKING COUNT

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DATE: 04/11/17  
MATTHEW DEWITT, P.E.  
NY LICENSE #096101

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201 S. Main Avenue  
Newburgh, NY 12550  
Phone (515) 892-2125  
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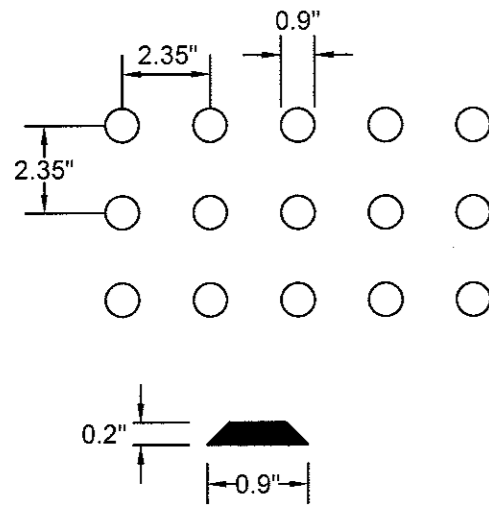
PREPARED FOR: **McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents for this project shall govern over all other drawings and specifications. Reproduction of these drawings for use on a different site or at a later time without the written consent of the architect is prohibited. The contract documents for this project shall govern over all other drawings and specifications.

DATE	DESCRIPTION
2 10/12/17	PARKING SPACE STRIPING PEER REVIEW
1 9/28/17	PER PEER REVIEW COMMENTS
REV	DATE

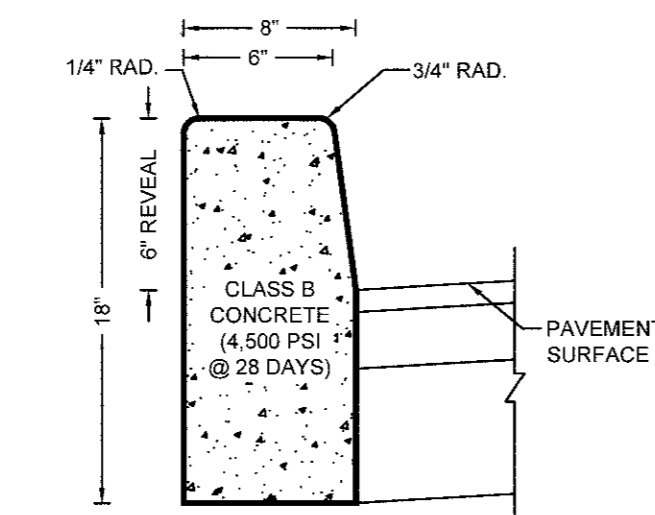
BY	
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DRAWN BY: BM	STD. ISSUE DATE: 2017	REVIEWED BY: MD	DATE ISSUED: 01/31/2017	C.S.C. PROJECT #: MCD-203353
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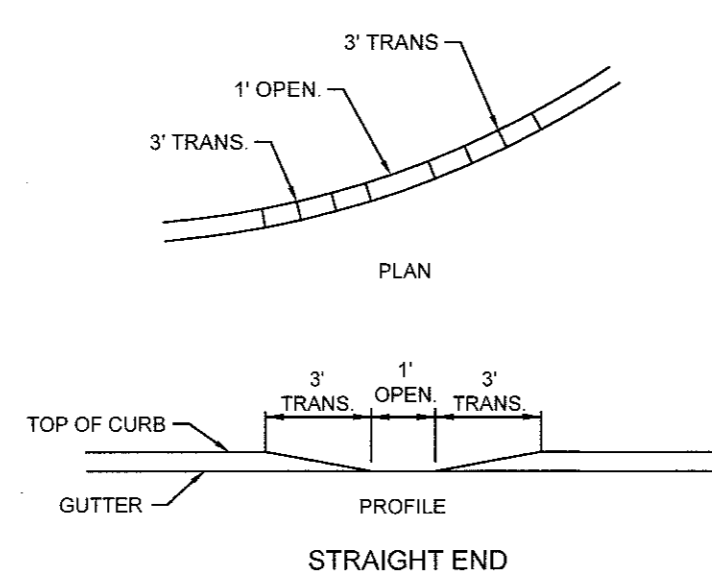
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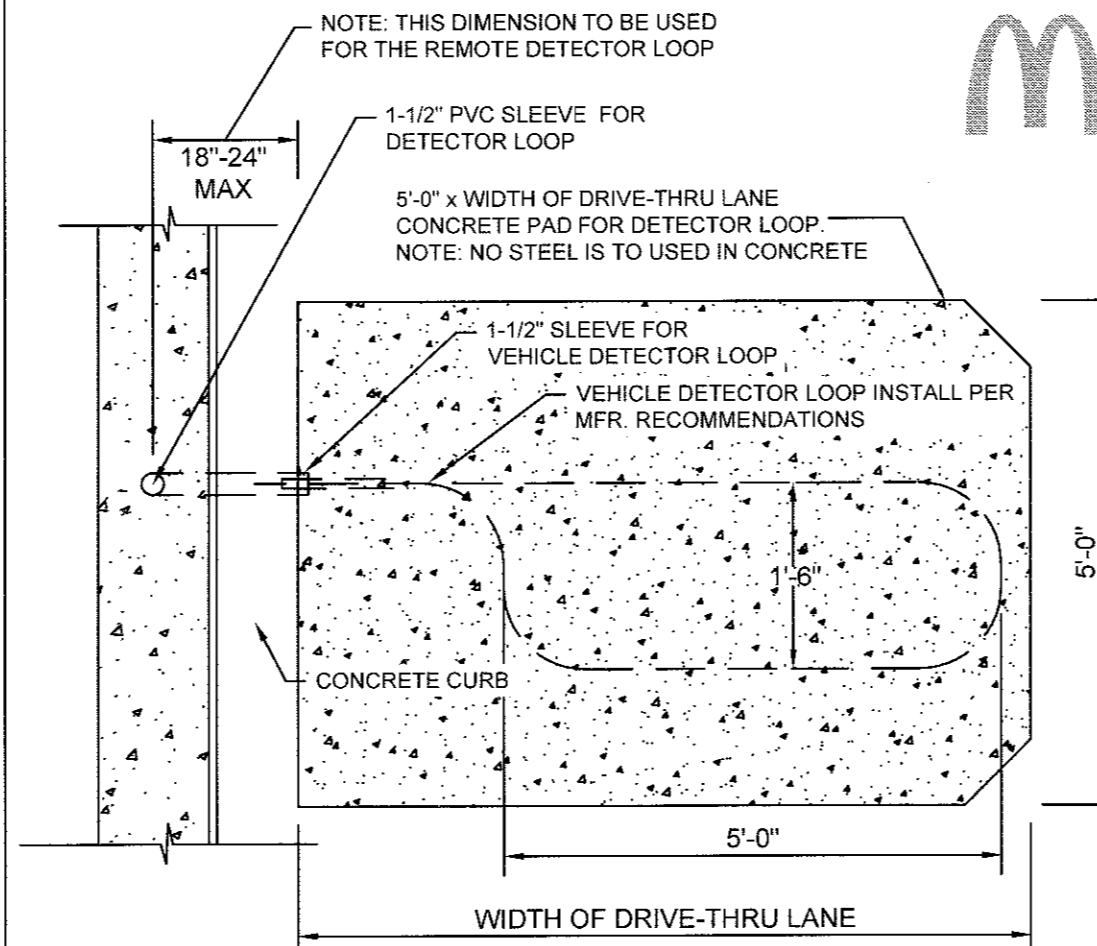
**DETECTABLE WARNING DOME  
SPACING AND SECTION**  
NOT TO SCALE



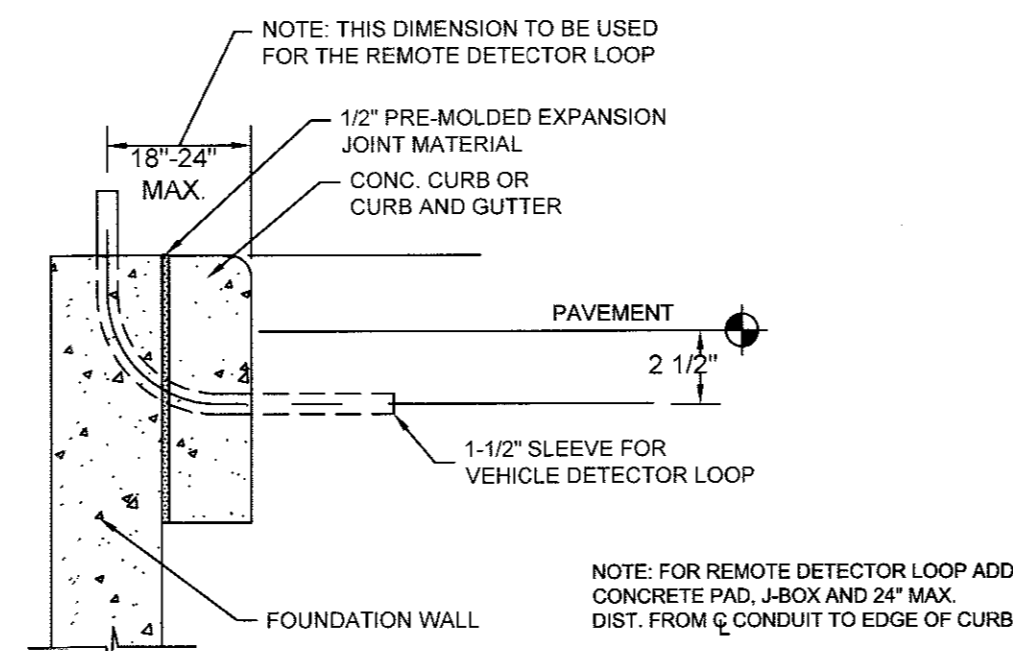
**TYPICAL CONCRETE CURB**  
NOT TO SCALE



**CURB TRANSITION DETAIL**  
NTS

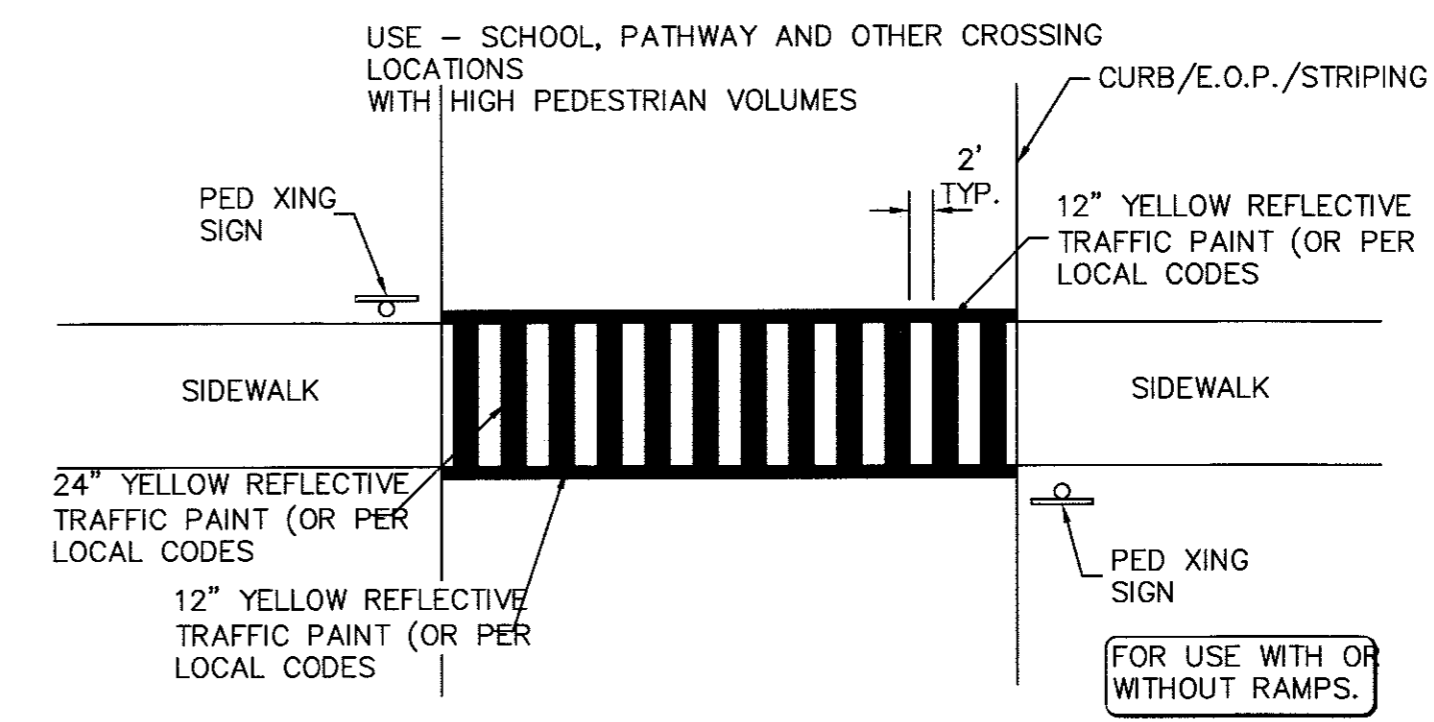


**PLAN**

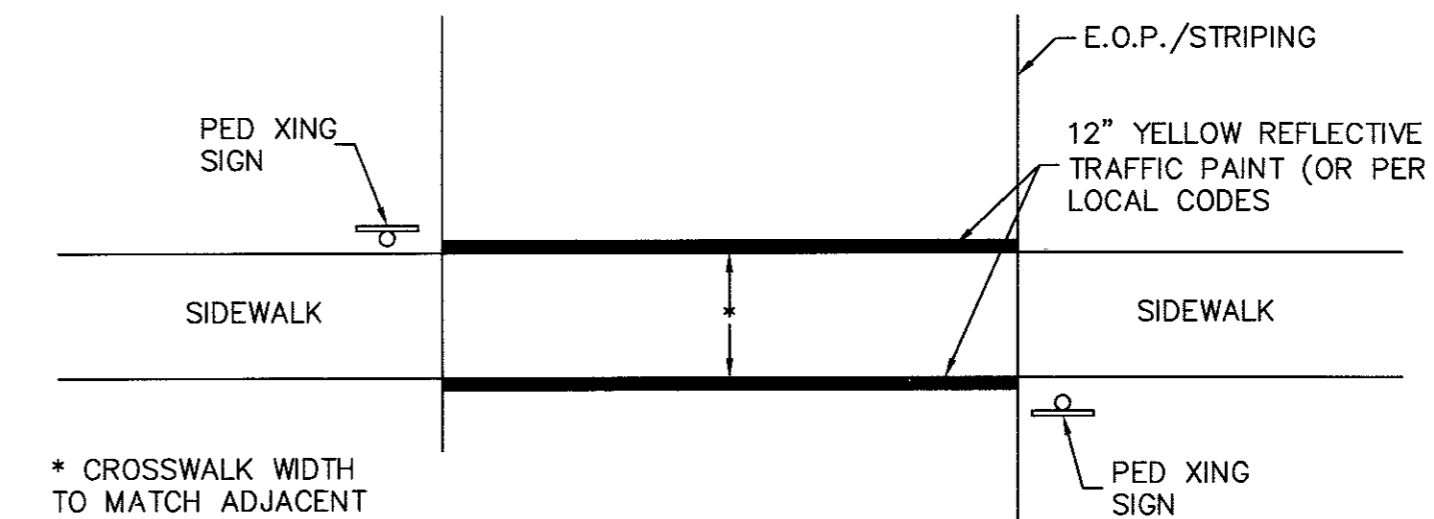


**SECTION**

**DETECTOR LOOP DETAIL**

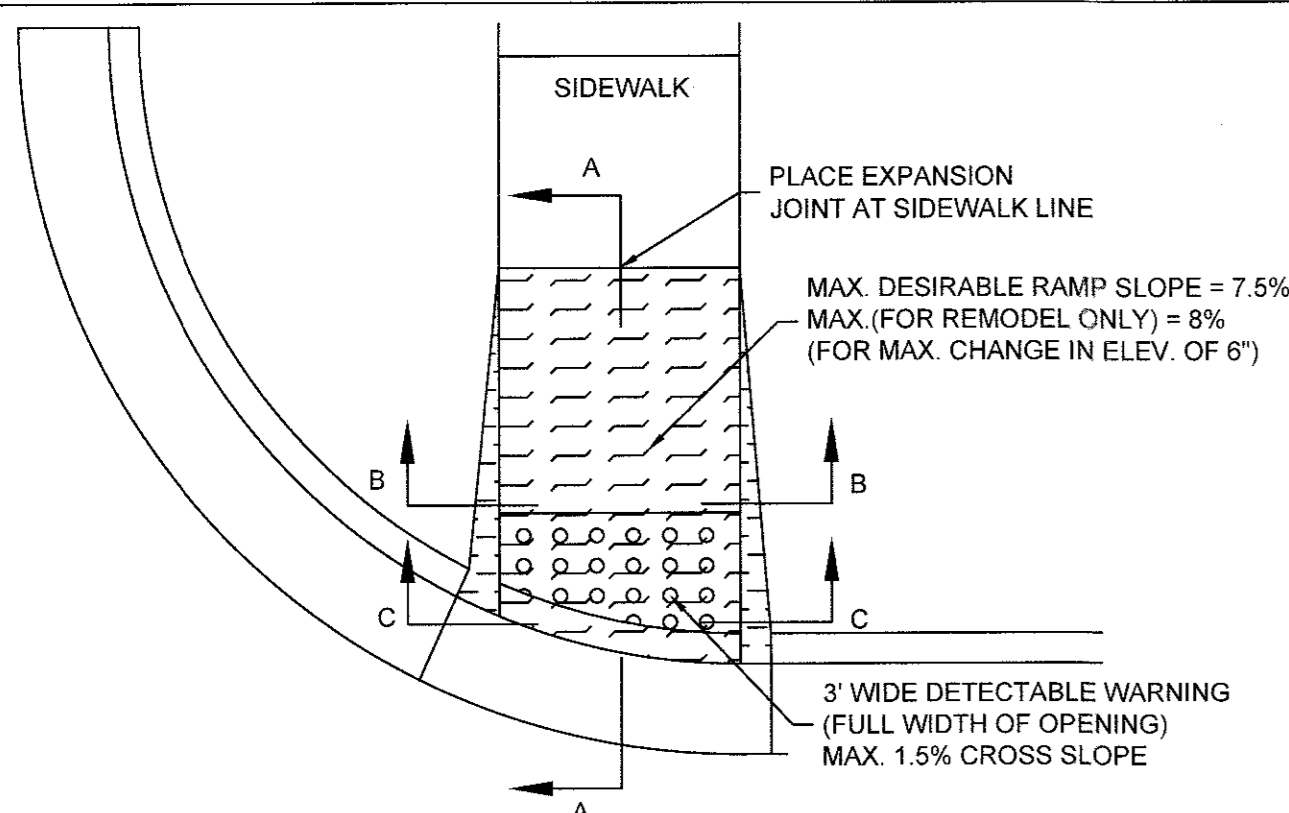


**HIGH VISIBILITY CROSSWALK**

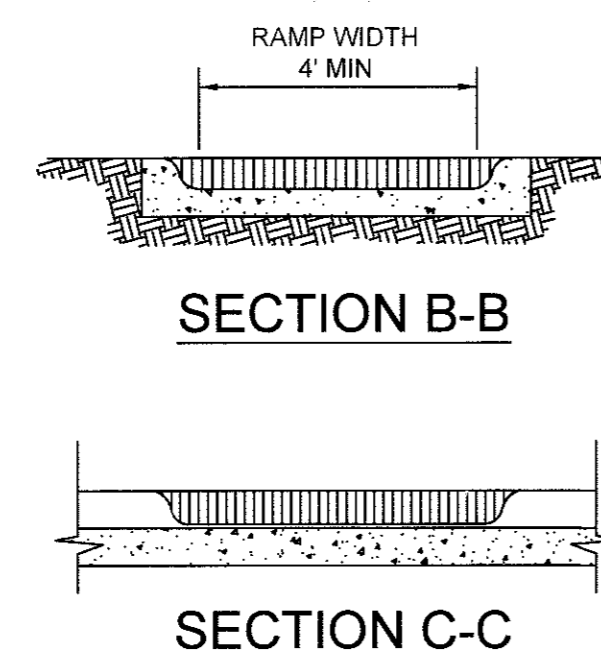


**CROSSWALK (WO/RAMPS)**

**CROSSWALK DETAIL**  
Not To Scale

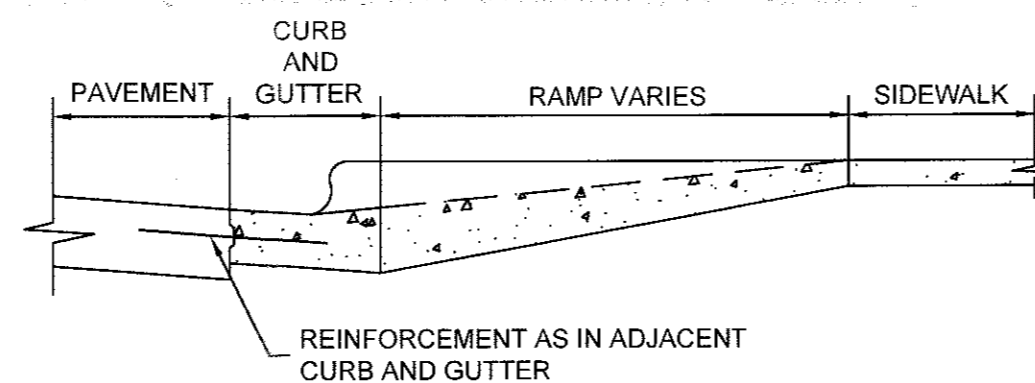


**SIDEWALK WITH RAMP CONDITIONS**  
Not To Scale



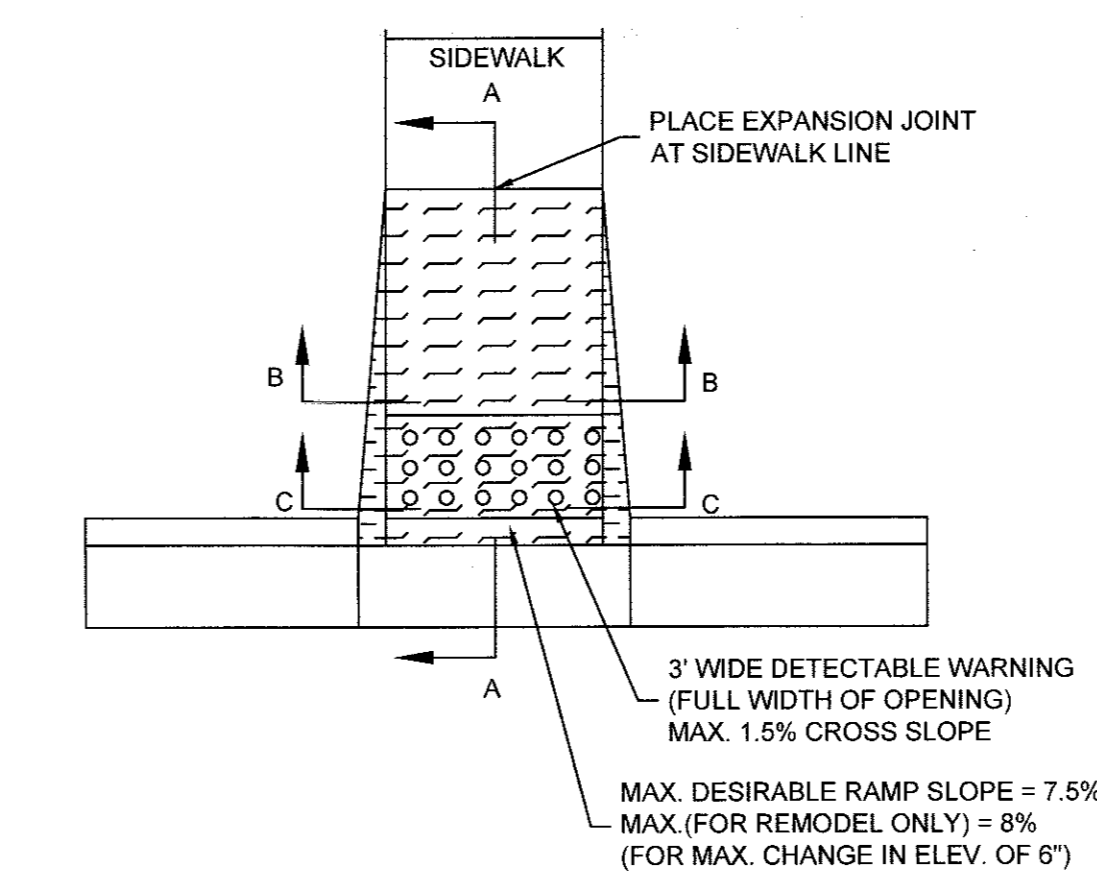
**SECTION B-B**

**SECTION C-C**



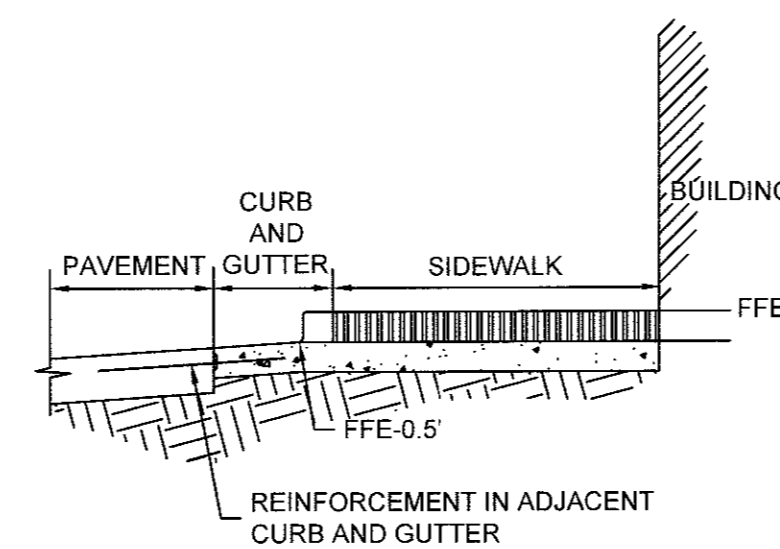
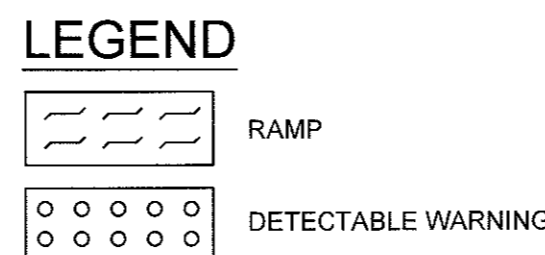
**SECTION A-A**

- SIDEWALK RAMP NOTES:**
1. SIDEWALK RAMP LOCATION DETERMINED FROM THE INTERSECTION OF THE EXTENSION OF BACK OF SIDEWALK AND BACK OF CURB & GUTTER.
  2. KEY ALL CONSTRUCTION JOINTS OR USE TIE BARS #4 EPOXY COATED @ 12" O.C.
  3. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  4. ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 250' CENTER MAX.
  5. SIDEWALK RAMP SHALL BE LENGTHENED TO PROVIDE ADA COMPLIANCE SLOPE.
  6. ADA MAXIMUM RAMP SLOPE = 1"/FT. ADA MAXIMUM CROSS SLOPE = 1.5%.
  7. DETECTABLE WARNINGS TO COMPLY WITH ADA REQUIREMENTS.

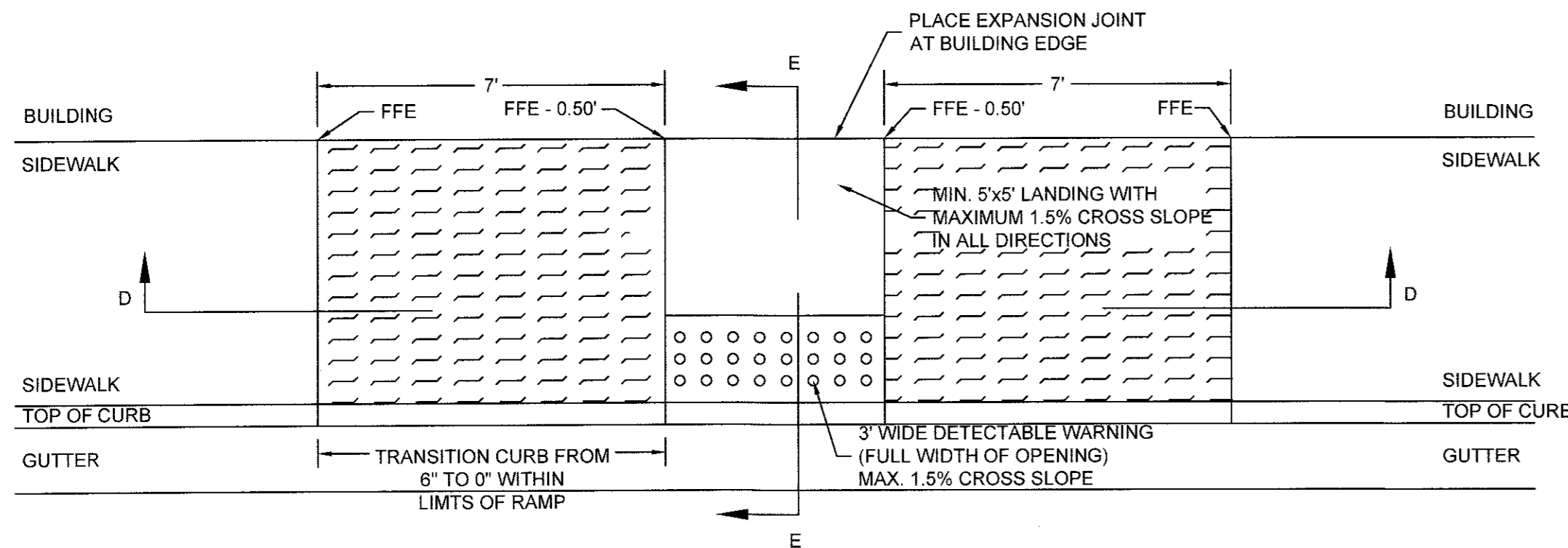


**ADA STANDARD FOR ACCESSIBLE DESIGN:**

4.29.2\* DETECTABLE WARNINGS ON WALKING SURFACES. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

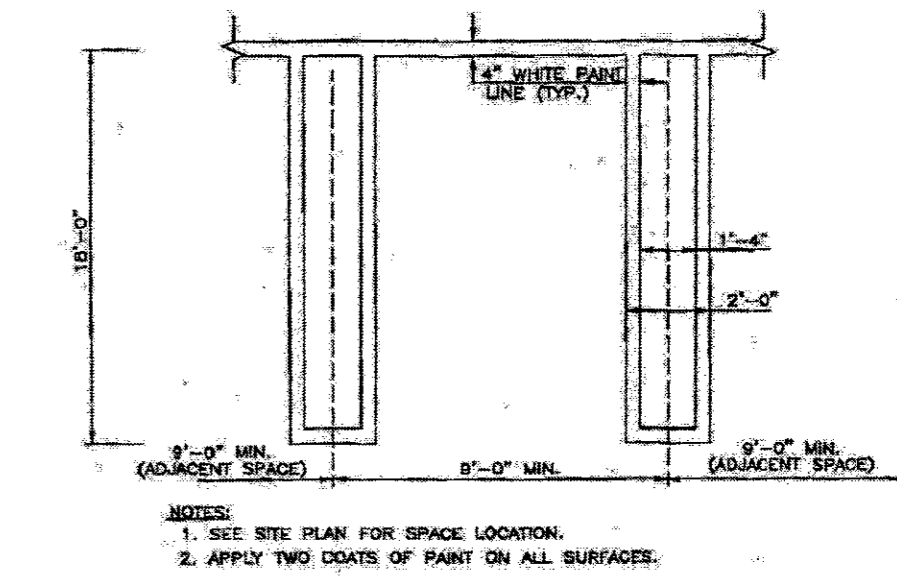


**SECTION E-E**



**SECTION D-D**

**SIDEWALK WITH RAMP CONDITIONS**  
Not To Scale



**TYPICAL PARKING SPACE DETAIL**  
Not To Scale

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**NOTE:** CORE STATES ARCHITECTURE AND ENGINEERING, P.C. DID NOT PROVIDE SUCH DETAILS LABELED WITH AN "R" AND SHALL BE HELD HARMLESS FROM CONSTRUCTION ISSUES RESULTING FROM ERRORS AND OMISSIONS FROM SUCH DETAILS.

DATE	10/12/17	DATE	9/28/17
	10/12/17	DATE	9/28/17
REVISION	1	DESCRIPTION	PARKING SPACE STRIPING PEER REVIEW
REVISION	2	DESCRIPTION	PER PEER REVIEW COMMENTS
PREPARED FOR	McDonald's USA, LLC		
PROJECT	CONSTRUCTION DETAILS		
DRAWN BY	BM	DATE	2017
ISSUED	MD	DATE	01/31/2017
C.S.G. PROJECT #	MCD-20353		
SITE ADDRESS	1403 Rte. 300 Newburgh, NY, 12550		
SHEET NO.	C7		

**CORE STATES**  
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201 S. Maple Avenue  
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