



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: MCDONALDS ROUTE 32-NORTH PLANK ROAD**  
**PROJECT NO.: 17-26**  
**PROJECT LOCATION: SECTION 76, BLOCK 1, LOT 1.1**  
**REVIEW DATE: 9 MARCH 2018**  
**MEETING DATE: 15 MARCH 2018**  
**PROJECT REPRESENTATIVE: HARRIS BEACH/BOHLER ENGINEERING- WARREN NJ**

1. The Applicants have submitted a Stormwater Pollution Prevention Plan for the project identifying the project will be evaluated as a re-development project due to the decrease in impervious surfaces proposed during the reconstruction of the facility. This office finds the re-development analysis appropriate for the site. The Stormwater Management Plan for the site incorporates a proprietary water quality device. The propose proprietary structure meets NYSDEC requirements as DEC has adapted NJCAT/NJDEP approval for proprietary products.
2. Based on the implementation of a Stormwater Management Plan the site will require a Stormwater Facilities Maintenance Agreement for long term operation and maintenance of the stormwater management on the site.
3. The site will require an erosion and sediment control inspection fee in the amount of \$2,000.00.
4. The project has been revised based on Planning Board and Consultant input to incorporated sidewalks along the North Plank Road NYSDOT Route 32 frontage. In addition to the sidewalk a dry laid stone wall landscape feature has been incorporated to address design guidelines of parking within front yard setbacks. The dry laid stone wall encroaches into the DOT right of way along portions of the frontage. NYSDOT review and approval of these features is required.
5. Previous comments identified the potential for roadway dedication of those areas within 25 feet of the center line of Gardnertown Road and Gidney Avenue, along the property frontage. This should be addressed with the Highway Superintendent and Town Attorney as appropriate.

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •

6. Orange County Planning Department referral can be sent at this time since site development details have been provided.
7. Details of the stone wall construction should be added to the plan.
8. Previous comments dated 30 October 2017 requested the Stormwater Management Plan address capacity of the existing stormwater piping under Gidney Avenue. Existing 12 inch diameter pipe is identified while a new 18 inch diameter pipe is directed to this existing stormwater conveyance system.
9. Confirmation of coordination with light fixtures to previously approved site plans located east of this project should be confirmed. Lighting details should be provided.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

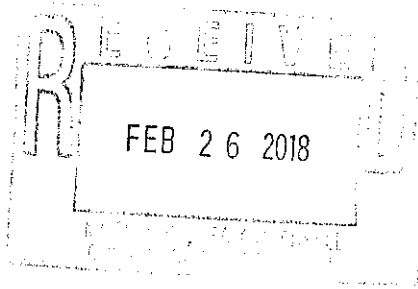
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Patrick J. Hines  
Principal

PJH/kbw

445 HAMILTON AVENUE, SUITE 1206  
WHITE PLAINS, NY 10601  
(914) 683-1200

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FAX: (914) 683-1210  
DCHAFIZADEH@HARRISBEACH.COM



February 21, 2018

**VIA FEDERAL EXPRESS**

Hon. Chairman John P. Ewasutyn  
& Members of the Planning Board of the Town of Newburgh  
Town of Newburgh  
308 Gardnertown Road  
Newburgh, New York 12550

**Re: McDonald's Restaurant/31-0145/01712  
65 North Plank Road (Route 32)  
Block 1, Lot 1.1., Section 76  
Town of Newburgh  
Orange County, New York (the "Property")  
Planning Board Project No. 2017-26**

Dear Chairman Ewasutyn:

As you know, this firm represents the applicant, McDonald's USA, LLC (hereinafter, the "Applicant"), in its application for site plan approval to rebuild the McDonald's restaurant located on the above-referenced Property (the "Application"). Specifically, enclosed herewith are the following documents for resubmission of the Applicant's proposed project requiring site plan approval:

Twelve (12) sets of the following:

- Signed and sealed Site Plan documents prepared by Bohler Engineering, dated August 15, 2017, last revised February 15, 2018 (rev #2) which include the ALTA/ACSM Land Title Survey prepared by Control Point Associates, Inc., dated October 26, 2011, revised October 2, 2013 (rev #3).
- Signed and sealed copies of the Stormwater Management Summary for the Application, prepared by Bohler Engineering, dated February 2018.

Additionally, enclosed is one (1) check in the amount of \$1,000.00 made payable to the Town of Newburgh, to replenish the escrow fund for the review of the Application. Also, per your direction, we have forwarded copies of the revised plans to (1) the Board's consultants

which are reviewing the application, including landscape architectural consultant, Karen Arent, and Ken Wersted of Creighton Manning, and (2) attorney for the Planning Board, Michael Donnelly, Esq.

**THE ZONING BOARD GRANTED THE REQUIRED AREA VARIANCES**

As you will recall, the Planning Board, by letter from Mr. Donnelly dated November 8, 2017, referred the Application to the Zoning Board of Appeals of the Town of Newburgh (the "Zoning Board") for the following five (5) area variances:

1. A variance from § 185-18C.4B of the Zoning Law to allow the proposed 57.1' front-yard setback from the location of the roof canopy of the proposed restaurant to North Plank Road, where the permitted minimum front yard setback is 60'.
2. A variance from § 185-13(D)(6)(b) of the Zoning Law to allow (a) an ingress to the parking lot of the Property within 135' of the intersection of North Plank Road and Gidney Avenue/Noel Drive, and (b) an egress from the parking lot of the Property within 120.8' of the intersection of North Plank Road (Route 32) and Gardnertown Road, where 150' is required from both the southerly egress and northerly ingress to the respective intersections.
3. A variance from § 185-13(B)(6) of the Zoning Law to allow for no off-street loading spaces where at least one is required.
4. A variance from § 185-42(1) of the Zoning Law to allow for a drive-through aisle exit onto Route 32, where the existence of such a lane is prohibited.
5. A variance from § 185-14(B)(1)(c) of the Zoning Law to allow a total sign area of 833.1 square feet where 768.49 square feet is the maximum sign area permitted.

On December 8, 2017, we submitted an application to the Zoning Board for the required area variances. A duly-noticed public hearing of that application was held before the Zoning Board at its December 28, 2017 meeting and, after closing the public hearing, the Zoning Board granted by unanimous vote all of the required five (5) variances. The minutes of that meeting were filed with the Town Clerk on January 9, 2018; however, as of the date of this letter, a written decision of the Zoning Board's approval has not yet been filed.


**THE APPLICANT HAS AMENDED THE PROPOSED SITE PLAN BASED UPON  
THE COMMENTS OF THE PLANNING BOARD'S AND ITS CONSULTANTS**

At the Planning Board's November 2, 2017 meeting, we, together with the Applicant's engineer, Bohler Engineering, appeared before the Board to present the Application for initial technical review by the Board, town staff and consultants. The following amendments to the site plan have been made in response to the comments and suggestions provided at that meeting, and listed within the MHE Technical Review Comment Memorandum dated November 2, 2017:

1. Addition of a reference to the requirements for a demolition permit on Sheet C-3.
2. Edits to the approval block on sheet C-1 to include only a line for the Planning Board Chairman's signature.
3. Addition of double-stripped parking spot detail on Sheets C-13 and C-14.
4. Addition of a decorative crosswalk that connects the parking area at the South of the Property to the proposed restaurant building.
5. Revisions to the water service layout to indicate one (1) tap to provide both fire flow and potable water.
6. Addition of sizing for the grease trap.
7. Revisions to show sanitary sewer cleanout and transition of pipe sizing.
8. Revisions to the flared end section on the proposed RCP pipe to indicate 18 inch flared end section.
9. Addition of decorative lights along the frontage of North Plank Road.
10. Removal of the curbed inlet filter detail for soil erosion, replaced with a detail for filter fabric drop inlet protection.
11. Change of location of the anti-tracking pad, to be situated within an area of the parking lot where the pavement is to be replaced.
12. Addition of the Town's standard water and sewer notes to Sheet C-16, with reference on Sheet C-6.
13. Removal of the concrete thrust block detail, replaced with a detail and schedule for restrained joint pipe detail.
14. Addition of a two (2) foot high stone stack wall has been added along the frontage of the Property.
15. Addition of a sidewalk along the frontage of the Property.

16. Edits to the plans indicating that the parking area to the South of the Property will be milled and resurfaced.
17. Addition of a new picnic area on the Property, with landscaping near the picnic area, at the "point" of the Property near the intersection of Gardnertown Road and Gidney Avenue.
18. Addition of landscaping to screen the existing trash enclosure.
19. Addition of trees to be planted along the frontage of the Property.
20. Addition of one-way signage to reinforce the direction of traffic flow through the drive-thru and parking lot.

We look forward to continuing to present this application to the Planning Board. Should you have any questions or comments please do not hesitate to contact us.

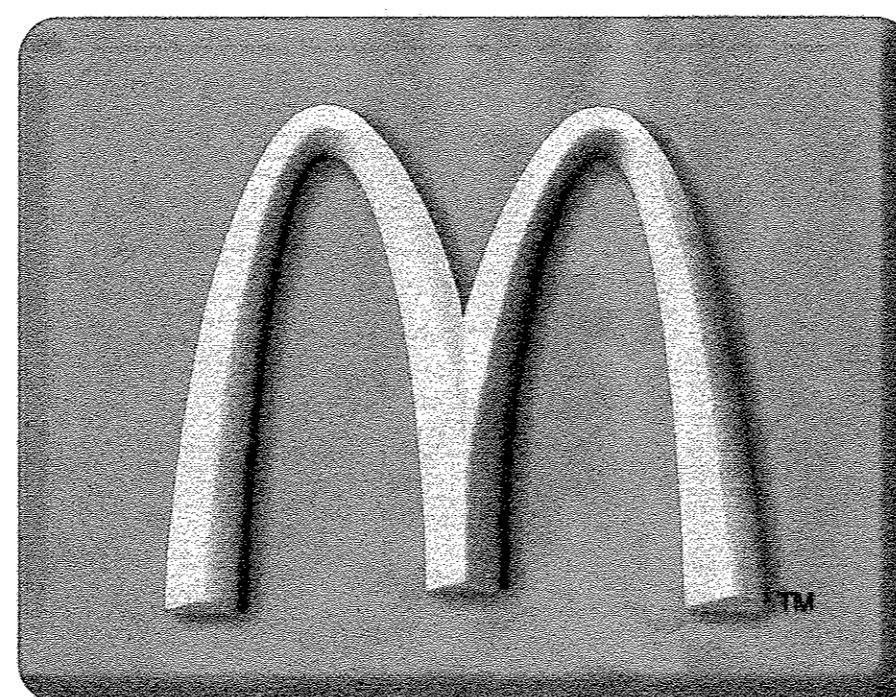
VERY TRULY YOURS,  
  
DARIUS P. CHAFIZADEH

DPC:mtd  
Enclosures

cc: Brian Sheedy, McDonald's USA, LLC  
Bill Weisgerber, McDonald's USA, LLC  
Bohler Engineering

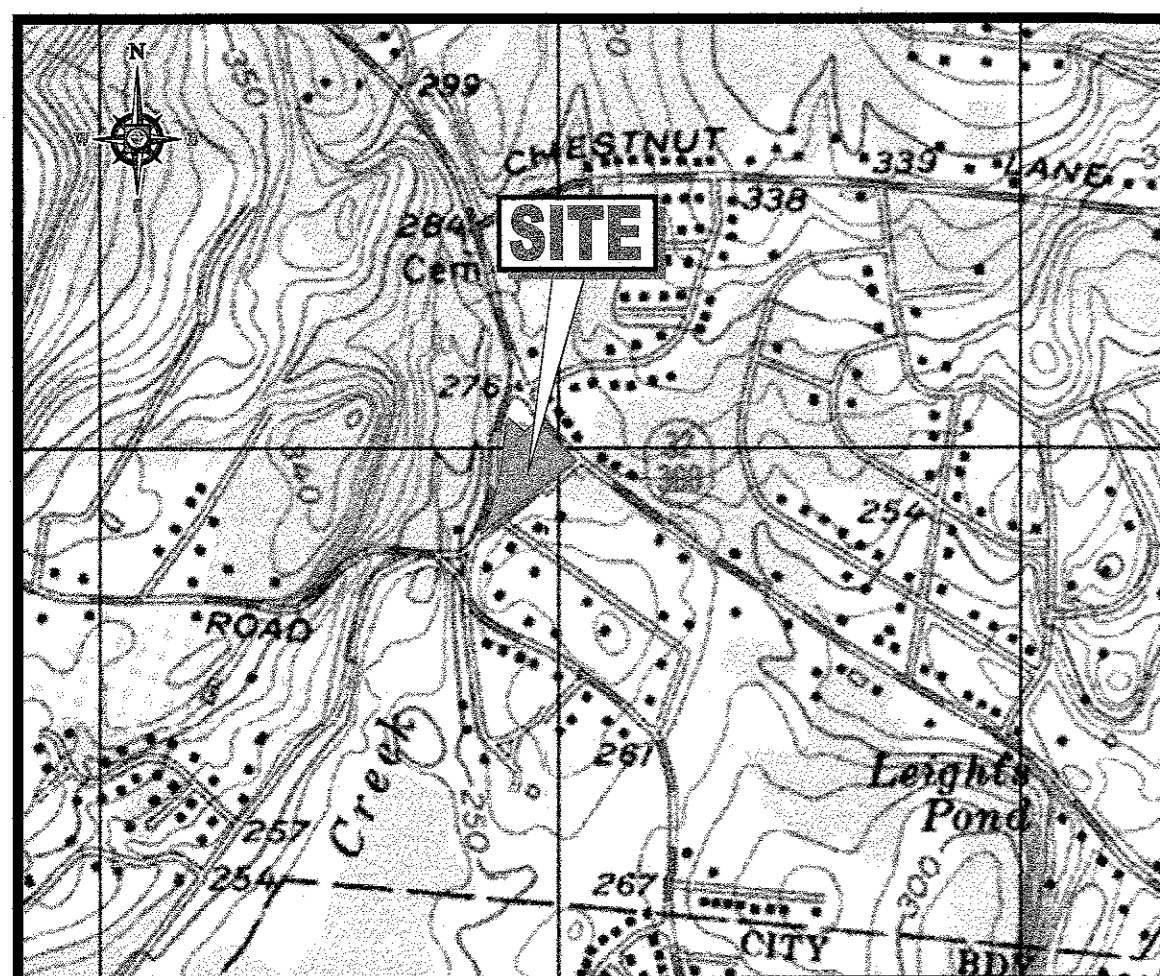
# PRELIMINARY & FINAL SITE PLAN

FOR  
PROPOSED



## McDONALD'S RESTAURANT WITH DRIVE THRU

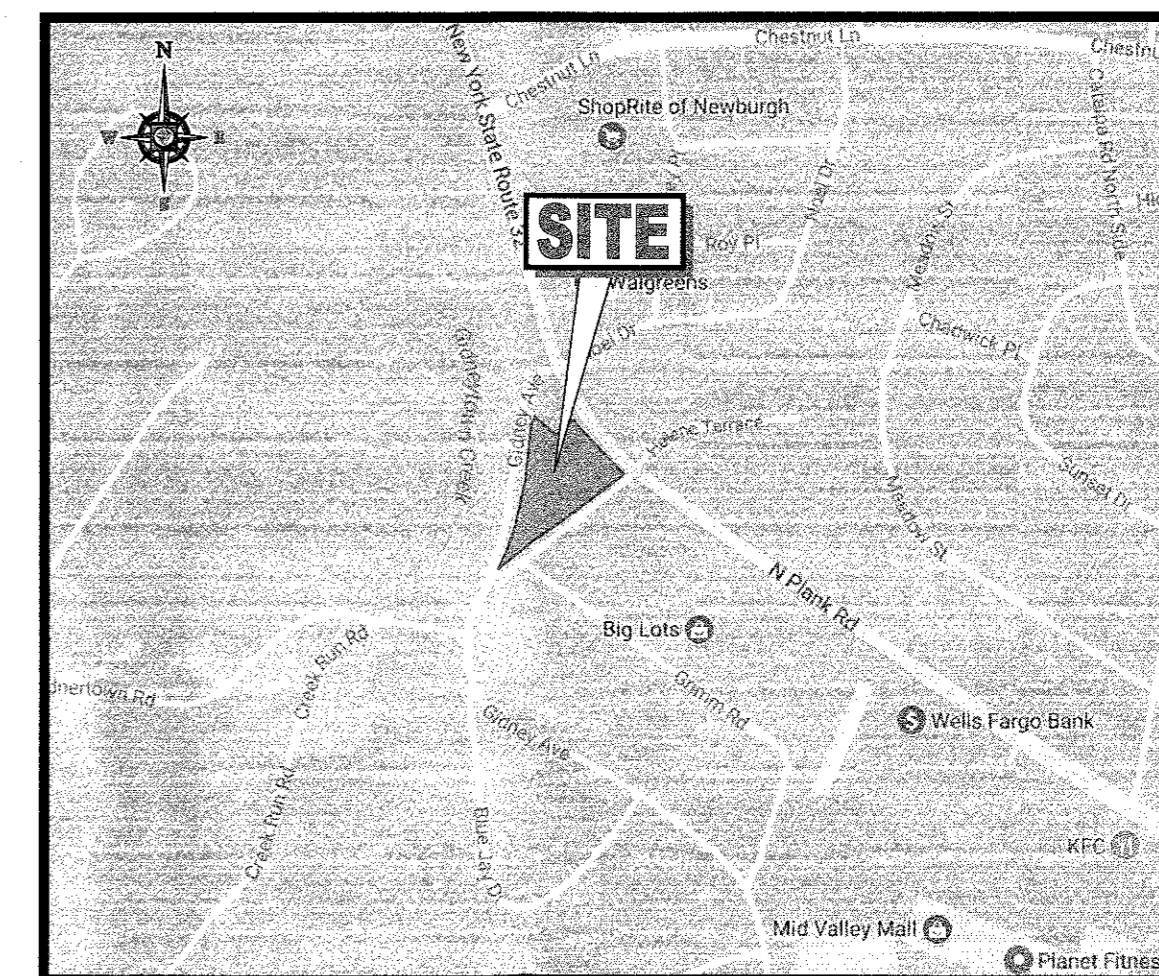
65 NORTH PLANK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NY  
SECTION 76, BLOCK 1, LOTS 1.1  
ZONE B; TAX MAP SHEET #76



USGS MAP

SCALE: 1" = 1,000'

SOURCE: UNITED STATES GEOLOGICAL SURVEY MAPS



KEY MAP

SCALE: 1" = 1,000'

SOURCE: GOOGLE MAPS

### DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 17
OVERALL SITE & SIGNAGE PLAN	C-2 OF 17
DEMOLITION PLAN	C-3 OF 17
SITE LAYOUT PLAN	C-4 OF 17
GRADING PLAN	C-5 OF 17
DRAINAGE & UTILITIES PLAN	C-6 OF 17
LIGHTING PLAN	C-7 OF 17
LANDSCAPE PLAN	C-8 OF 17
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 1	C-9 OF 17
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 2	C-10 OF 17
DRIVE-THRU PLAN & DETAILS	C-11 OF 17
ADA PLAN & DETAILS	C-12 OF 17
DETAIL SHEET	C-13 OF 17
DETAIL SHEET	C-14 OF 17
DETAIL SHEET	C-15 OF 17
DETAIL SHEET	C-16 OF 17
DETAIL SHEET	C-17 OF 17
TOPOGRAPHIC / ALTA SURVEY (BY OTHERS)	1 OF 1

### OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1, LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION.

SIGNATURE: [Signature] DATE: 8/4/12  
LINGO ASSOCIATES, LLC, A FLORIDA LIMITED LIABILITY COMPANY (AS TO 25% INTEREST)

### OWNER CERTIFICATION

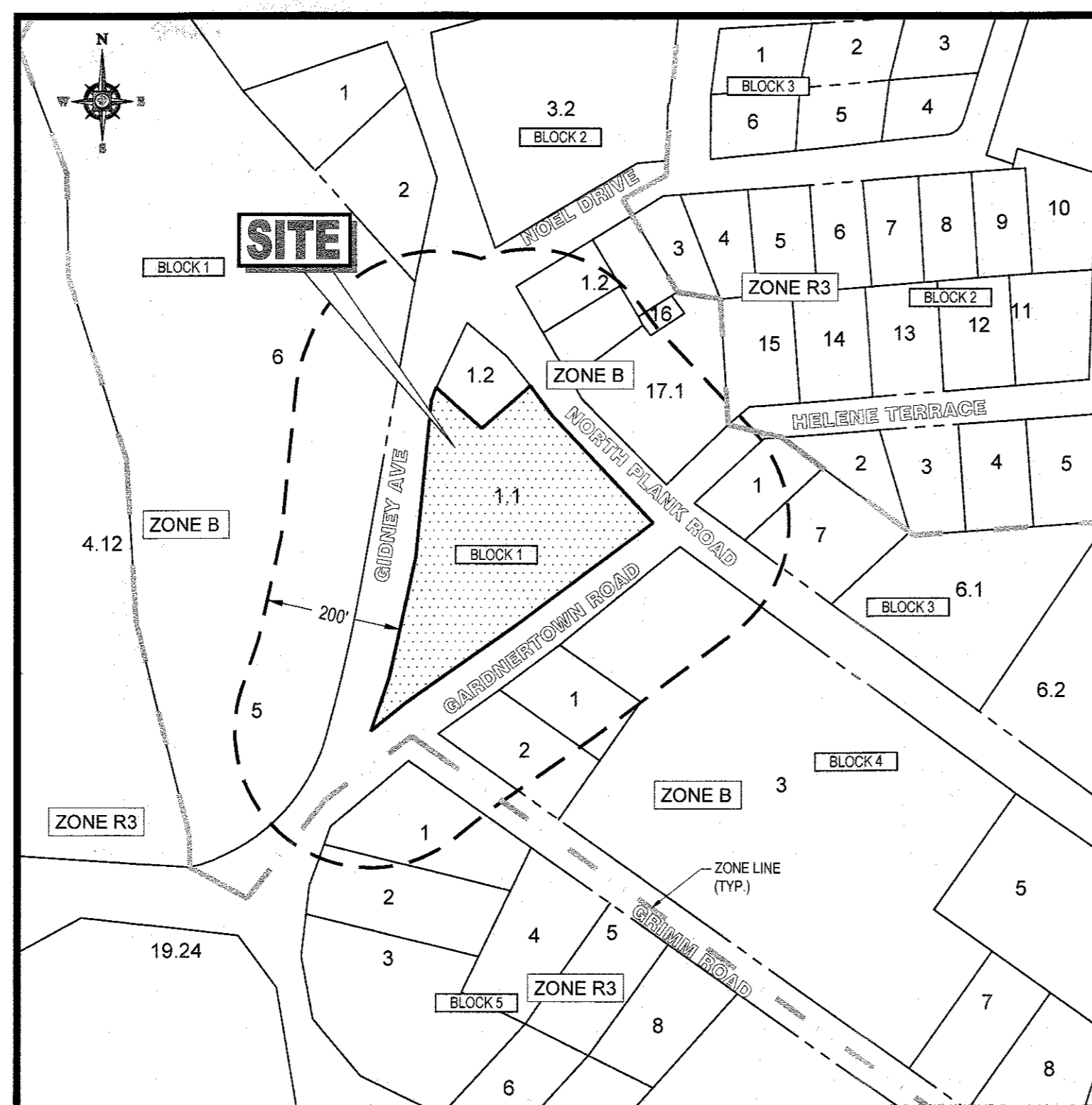
I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1, LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION.

SIGNATURE: [Signature] DATE: 8/4/12  
LAKE CREEK PROPERTIES, LLC, A NEW YORK LIMITED LIABILITY COMPANY (AS TO 75% INTEREST)

UTILITY INFORMATION	
GAS	CENTRAL HUDSON GAS & ELECTRIC (845) 206-6046
ELECTRIC	CENTRAL HUDSON GAS & ELECTRIC (845) 206-6046
SEWER	TOWN OF NEWBURGH (845) 564-7803
WATER	TOWN OF NEWBURGH (845) 564-7803
PHONE & CABLE	VERIZONHUDSON VALLEY (315) 448-2506

### ADJOINING NEIGHBORS

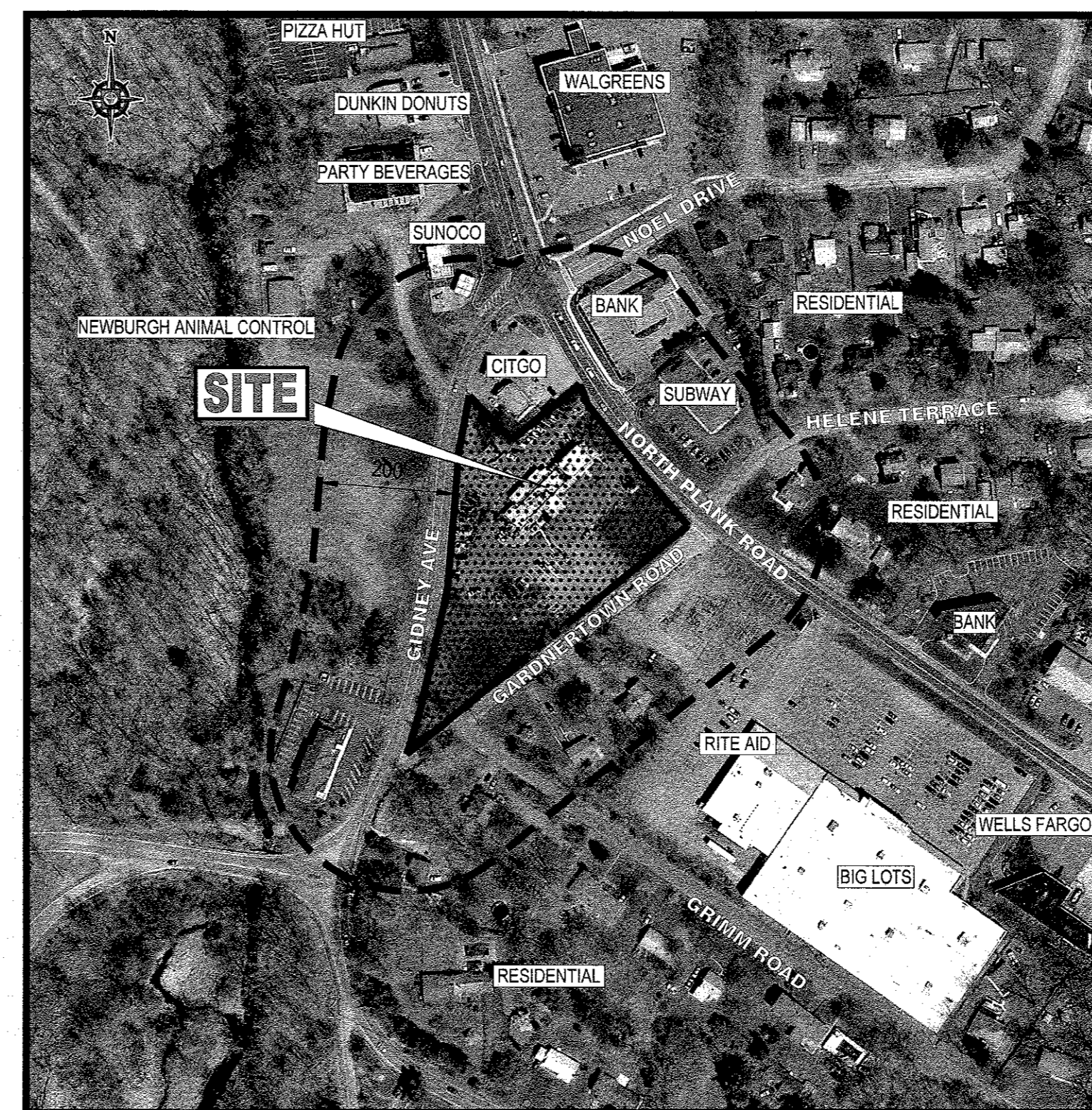
SECTION 76, BLOCK 1, LOT 1.2  
BHAI ENTERPRISES, LLC



TAX MAP

SCALE: 1" = 200'

SOURCE: NY GIS TAX MAPS



AERIAL MAP

SCALE: 1" = 200'

SOURCE: NYS AERIAL IMAGING

### APPROVAL BLOCK

TOWNSHIP OF NEWBURGH BOARD APPROVAL  
APPROVED BY THE PLANNING BOARD OF THE TOWN OF  
NEWBURGH, NY.

BOARD CHAIRPERSON: \_\_\_\_\_ DATE: \_\_\_\_\_

### PROPOSED SITE IMPROVEMENTS

SECTION 76, BLOCK 1, LOT 1.1

STREET ADDRESS

65 NORTH PLANK ROAD

CITY: TOWN OF NEWBURGH STATE: NY

COUNTY: ORANGE

REGIONAL DWG. NO: 031-0145

PLAN DESCRIPTION  
COVER SHEET

C-1

OF 17 REV. 2

ISSUE REF	BY	DESCRIPTION	DATE	REV	DATE	REV	DATE	REV	DATE
	ATK	PER TOWNSHIP COMMENTS	01/22/18	1					
	APR	PER TOWNSHIP COMMENTS	02/15/18	2					

FINAL PLAN SIGNATURES
P.M. _____
G.C. _____
O.O. _____

PLAN APPROVALS	DATE	DATE	DATE
SIGNATURE (2 REQUIRED)			
REGIONAL MGR			
CONST. MGR			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CONTRACTOR			
OWNER			

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

OFFICE ADDRESS
NEW YORK REGION 111 WOOD AVENUE SOUTH, SUITE 400 ISELIN, NJ 08830 (732) 623-8500

C:\3111\1059\DRAWINGS\CURRENT DRAWINGS\SITE PLAN\PACKAGE\11059-0352A-1\LAYOUT\_C-01.DWG

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.com

THE EMPLOYER AND THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209.2)

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILED OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH UTILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. (NYS 1-800-962-7962)

**BOHLER ENGINEERING**  
35 TECHNOLOGY DRIVE  
WARREN, NJ 07059  
Phone: (908) 668-8300  
Fax: (908) 754-4401  
www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

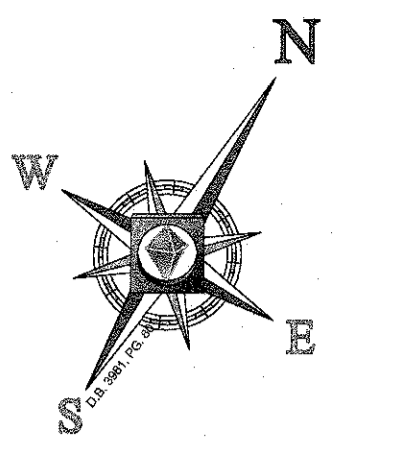
CORPORATE OFFICE:  
• WARREN, NJ  
• SOUTHBOROUGH, MA  
• BOWIE, MD  
• TOWSON, MD  
• ALBANY, NY

• HAUPPAUGE, NY  
• CENTER VALLEY, PA  
• CHALFONT, PA  
• PHILADELPHIA, PA

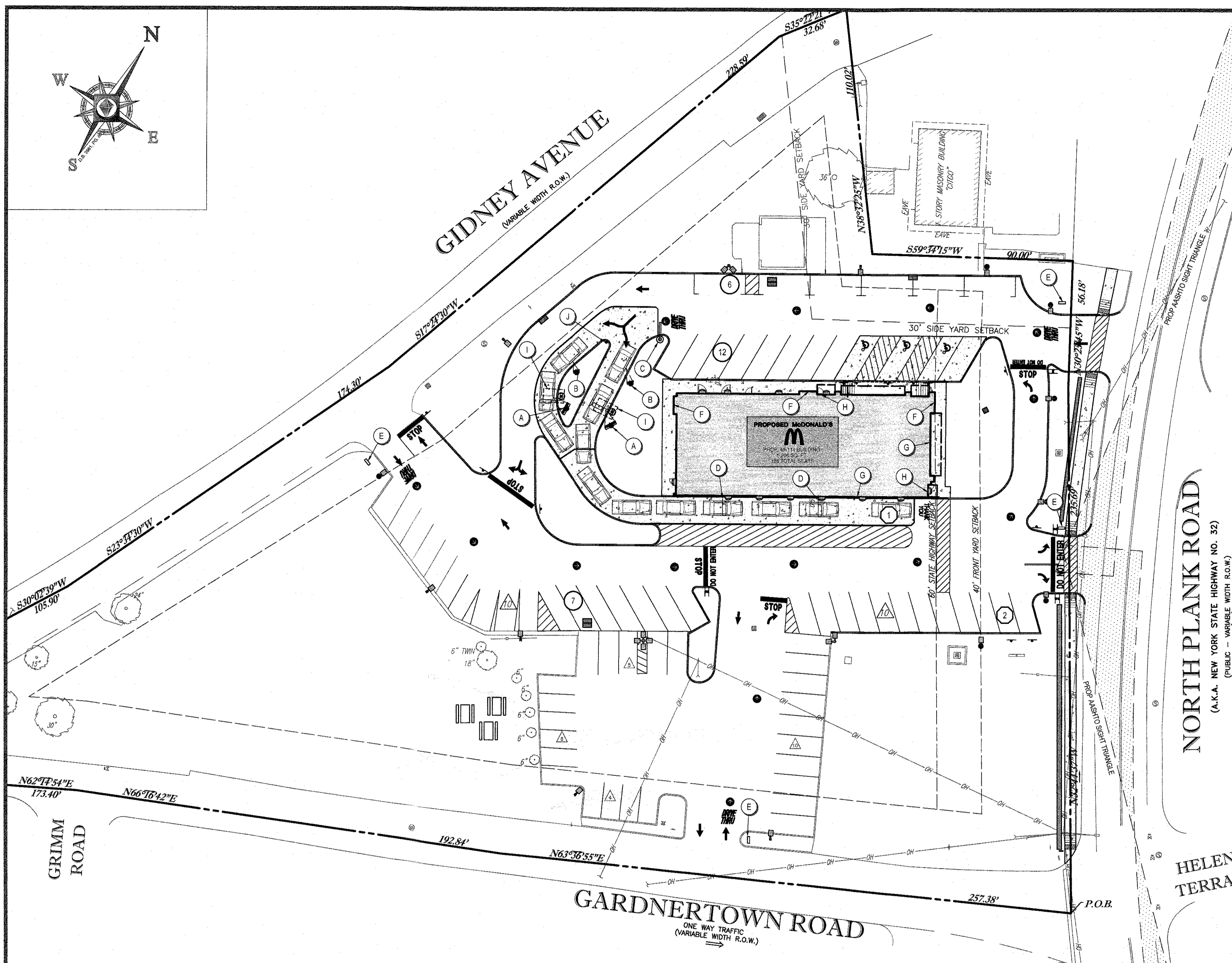
• CHARLOTTE, NC  
• STERLING, VA  
• WARRENTON, VA  
• FORT LAUDERDALE, FL  
• TAMPA, FL

**B.A. BOHLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 24277 NEW YORK LICENSE NO. 08864-1  
CALIFORNIA LICENSE NO. 44888 FLORIDA LICENSE NO. 2808  
FLORIDA LICENSE NO. 2808

CAD FILE: J11059-035-2A



GIDNEY AVENUE  
(VARIABLE WIDTH ROW)



NORTH PLANK ROAD  
(A.K.A. NEW YORK STATE HIGHWAY NO. 32)  
(PUBLIC - VARIABLE WIDTH ROW)

HELENE TERRACE

GARDNERTOWN ROAD  
ONE WAY TRAFFIC  
(VARIABLE WIDTH ROW)

GRIMM ROAD

SIGNAGE TABLE (SEC. 185-14)		
REQUIRED (49-C)	EXISTING (FOR COMPARISON ONLY)	PROPOSED
<b>WALL MOUNTED SIGNS:</b> SEE BELOW FOR AREA REQUIREMENTS <b>NORTHEAST FACADE:</b> ONE (1) ARCH M' LOGO SIGN AREA = 7.8 SF <b>SOUTHEAST FACADE:</b> ONE (1) ARCH M' LOGO SIGN AREA = 21.5 SF <b>SOUTH FACADE:</b> ONE (1) 'PLAY PLACE' SIGN AREA = 4.0 SF	<b>NORTHEAST FACADE:</b> ONE (1) ARCH M' LOGO SIGN AREA = 7.8 SF <b>SOUTHEAST FACADE:</b> ONE (1) ARCH M' LOGO SIGN AREA = 21.5 SF <b>SOUTH FACADE:</b> ONE (1) 'PLAY PLACE' SIGN AREA = 4.0 SF	<b>NORTHEAST:</b> ONE (1) 'WELCOME' SIGN AREA = 2.80 SF <b>NORTHWEST:</b> ONE (1) WELCOME SIGN AREA = 2.80 SF <b>SOUTHWEST:</b> ONE (1) ARCH M' LOGO SIGN AREA = 14.00 SF <b>SOUTHWEST:</b> ONE (1) WELCOME SIGN AREA = 2.80 SF <b>SOUTH:</b> ONE (1) ARCH M' LOGO SIGN AREA = 14.00 SF <b>SOUTH:</b> ONE (1) WELCOME SIGN AREA = 2.80 SF
<b>FREESTANDING SIGNS:</b> NUMBER OF ONE (1) FREESTANDING SIGN MAXIMUM HEIGHT = 40 FT MINIMUM SETBACK = 15 FT FROM ANY STREET LIVE SEE BELOW FOR AREA REQUIREMENTS <b>FREESTANDING AND WALL SIGNS:</b> TOTAL MAX AREA = ONE HALF (1/2) OF THE TOTAL STREET FRONTAGE NORTH PLANK ROAD = 381 SF (146.5 SF PERMITTED) GARDNERTOWN ROAD = 433.52 FT <sup>2</sup> - 311.81 SF PERMITTED GIDNEY AVENUE = 421.47 FT <sup>2</sup> - 316.14 SF PERMITTED	<b>SUB-TOTAL = 82 ± SF</b> <b>SUB-TOTAL = 56 ± SF</b> <b>SUB-TOTAL = 53 ± SF</b>	<b>SUB-TOTAL = 112.56 SF</b> <b>SUB-TOTAL = 56 ± SF</b> <b>SUB-TOTAL = 86.8 ± SF</b> <b>SUB-TOTAL = 16 SF</b>
<b>IDENTIFICATION AND DIRECTIONAL SIGNS:</b> NUMBER OF ONE (1) IDENTIFICATION SIGN PERMITTED AT EACH POINT OF ACCESS MAX. AREA OF IDENTIFICATION SIGN = 3 SF EACH <b>INTERNAL DIRECTIONAL SIGNS ARE PERMITTED</b> MAX. AREA OF DIRECTIONAL SIGN = 3 SF EACH	<b>THREE (3) DIRECTIONAL SIGNS</b> AREA = 2 SF PER FACE = 4 SF EACH (IV) <b>SUB-TOTAL = 12 ± SF</b>	<b>FOUR (4) DIRECTIONAL SIGNS</b> AREA = 2 SF PER FACE = 4 SF EACH (I) <b>SUB-TOTAL = 16 SF</b>
<b>TOTAL PERMITTED AREA = 750.49 SF</b> <b>EXISTING AREA = 750.49 SF</b>	<b>TOTAL EXISTING AREA OF FREESTANDING AND WALL SIGNS = 493 SF ±</b> <b>TOTAL PROPOSED AREA OF FREESTANDING AND WALL SIGNS = 493.56 SF</b>	<b>TOTAL = 733 SF</b> <b>TOTAL = 604.72 SF</b>

ZONING TABLE				
ZONE B (BUSINESS) ZONE USE: EATING AND DRINKING PLACE				
APPLICANT/ OWNER INFORMATION				
APPLICANT:	MCDONALD'S USA, LLC 111 WOOD AVENUE SOUTH, SUITE 400 ISELIN, NJ 08830			
PROPERTY OWNER:	LAKE CREEK PROPERTIES, LLC & RODERICK H. CUSHMAN 10814 CYPRESS BEND DR & C/O CRE ASSET MANAGEMENT, LLC BOCA RATON, FL 33498 GLENCOVE, NY 11542			
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	§ 185-9 (SCHEDULE 7)	15,000 SF	121,554 SF (2.791 AC)	121,554 SF (2.791 AC)
MIN. LOT WIDTH	§ 185-9 (SCHEDULE 7)	100'	287.61'	287.61'
MIN. LOT DEPTH	§ 185-9 (SCHEDULE 7)	125'	354.25'	354.25'
MIN. FRONT YARD	§ 185-9 (SCHEDULE 7)	40' (1)(3)	36.3' (E) (NORTH PLANK) 155.4' (GARDNERTOWN)	37.1' TO CANOPY (V) 60' TO BUILDING (NORTH PLANK) 167.4' (GARDNERTOWN)
MIN. REAR YARD	§ 185-9 (SCHEDULE 7)	30' (4)	N/A	N/A
MIN. SIDE YARD	§ 185-9 (SCHEDULE 7)	15' (4)	60.20'	55'
MIN. SIDE YARD (BOTH)	§ 185-9 (SCHEDULE 7)	30'	N/A	N/A
MAX. LOT COVERAGE (BUILDING ONLY)	§ 185-9 (SCHEDULE 7)	60% (2)	4.67% (5,557 SF)	4.28% (5,206 SF)
MAX. BUILDING HEIGHT	§ 185-9 (SCHEDULE 7)	35'	10' ±	20.25'
MAX. LOT SURFACE COVERAGE	§ 185-9 (SCHEDULE 7)	65% (2)	61.18% (74,377 SF)	57.13% (69,604 SF)

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. STALL SIZE	§ 5-2.1A	9' X 18'	6.5' X 16' (E) N/A	9' X 16' (90') 9' X 21' (PARALLEL)
MIN. NUMBER OF STALLS	§ 4-4.2B	40' SPACES	90 SPACES	70 SPACES (PLUS 3 SHORT TERM SPACES)

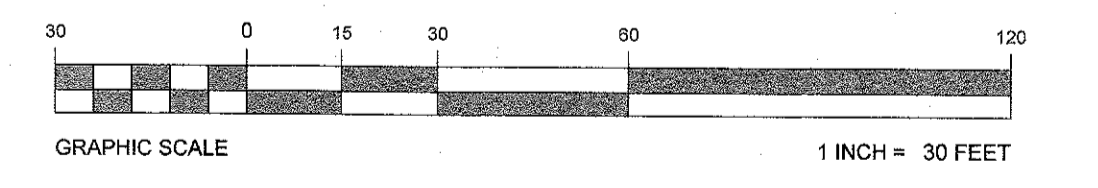
**PARKING CALCULATIONS:**  
 NUMBER OF PARKING SPACES REQUIRED = 138 SEATS X (1 SPACE / 4 SEATS) = 34.5 OR 35 SPACES + THREE (3) ADDITIONAL SHORT-TERM SPACES (NOTE 3.A.3) = 38 OR 39  
 NUMBER OF PARKING SPACES REQUIRED = 1,458 SF X (1 SPACE / 40 SF) = 36.45 OR 37 SPACES + THREE (3) ADDITIONAL SHORT-TERM SPACES (NOTE 3.A.3) = 40  
**ADA PARKING CALCULATIONS:**  
 NUMBER OF ADA PARKING SPACES REQUIRED = 3 FOR 50 TO 75 SPACES + 3 PROPOSED (C)  
 (E) = EXISTING NONCONFORMITY  
 3 SHORT TERM SPACES INCLUDED IN TOTAL REQUIREMENT

LAND USE AND ZONING NOTES:

- PARKING REQUIREMENTS (185-12):**
  - MIN. ACCESS TO AND FROM A STREET = TWO (2) LANES OF 10 FT WIDTH EACH; 10.5 FEET PROPOSED (C)
  - NO ENTRANCE OR EXIT FROM AN ACCESSORY OFF-STREET PARKING AREA WITH OVER 10 SPACES OR ANY LOADING BERTH SHALL BE LOCATED WITHIN 150 FT OF AN INTERSECTION. (20.8 FT E)
- OFF-STREET LOADING (185-13.B):**
  - ON-STREET LOADING FACILITIES ARE NOT PERMITTED (C)
  - ONE (1) LOADING SPACE IS REQUIRED FOR ALL NON-RESIDENTIAL USES UNDER 25,000 SF IN FLOOR AREA (V)
  - LOADING FACILITIES SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD OR SIDE YARD ADJACENT TO A RESIDENTIAL DISTRICT (N/A)
  - MINIMUM ACCESS AT LEAST 12 FT IN WIDTH SHALL BE PROVIDED BETWEEN ANY LOADING FACILITY AND A STREET (N/A)
  - NO ACCESS TO A LOADING FACILITY SHALL BE LOCATED WITHIN 50 FT OF A STREET INTERSECTION (N/A)
  - ALL LOADING SHALL CONFORM TO THE MINIMUM REQUIRED SETBACKS FOR THE DISTRICT WHICH THEY ARE LOCATED (N/A)
- FAST-FOOD, DRIVE-THRU AND DRIVE-UP ESTABLISHMENTS (185-14):**
  - COMPATIBILITY: BEFORE APPROVING ANY FAST-FOOD, DRIVE-UP OR DRIVE-THRU ESTABLISHMENT, THE PLANNING BOARD SHALL CONSIDER:
    - ALL DRIVE-THRU AISLES SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES 9W, 17K, 32, 62 OR 300 (E)
    - PROPOSED SIGNS, LIGHTING, SPEAKER NOISE WHERE RESIDENTIAL PROPERTIES ARE LOCATED AND NEARBY LANDSCAPING
    - PARKING SHALL BE ADEQUATE FOR THE TYPE OF FACILITY PROPOSED, WITH THREE (3) ADDITIONAL SHORT-TERM SPACES DEVOTED SPECIFICALLY FOR PICK-UP OR ORDER DELAYS FOR EACH DRIVE-UP, DRIVE-THRU, WALK-UP OR PICK-UP WINDOW AREA INSIDE OR OUTSIDE OF THE BUILDING. 3 PROPOSED (C)
    - TRUCKS AND INTERNAL DRIVE AISLES SHALL NOT BE BLOCKED BY WAITING DRIVE-THRU TRAFFIC (C)
    - PARKING AREAS AND CIRCULATION DRIVES SHALL BE ADEQUATELY SEPARATED SO AS TO AVOID CONFLICT BETWEEN PARKING CARS AND WAITING DRIVE-THRU TRAFFIC (C)
    - ADEQUATE STONE SPICE WILL BE PROVIDED FOR WAITING DRIVE-THRU VEHICLES SUCH THAT THESE VEHICLES DO NOT INTERFERE WITH VEHICULAR OR PEDESTRIAN CIRCULATION (C)
    - THE SITE PLAN CHECKLIST FOR PARKING LOT TRAFFIC AND PEDESTRIAN MOVEMENTS/SAFETY CONCERNS SHALL BE REVIEWED IN PREPARATION OF PLANS (C)
  - CONDITIONS: ANY SUCH USE SHALL MEET THE FOLLOWING CONDITIONS OF OPERATION:
    - PROVISION OF SUFFICIENT SECURITY TO PREVENT THE USE OF THE PREMISES AS A LOITERING PLACE DURING HOURS OF OPERATION (C)
    - PROVISION OF ADEQUATE FACILITIES AND PERSONNEL FOR DISPOSAL OF TRASH AND OTHER DEBRIS (C)
    - PROVISION FOR CONTINUING MAINTENANCE OF THE EXTERIOR OF THE BUILDING AND THE GROUNDS, INCLUDING LANDSCAPING, SIGNS AND POLICING OF LITTER (C)

VARIANCE LIST:

- FRONT YARD SETBACK TO STATE HIGHWAY: 60' REQUIRED, 57' 1" PROVIDED TO CANOPY (V)
- MAX. AREA OF DIRECTIONAL SIGN: 3 SF REQUIRED, 4 SF PROVIDED (V)
- ENTRANCE OR EXIT FOR OFF-STREET PARKING WITHIN 150' OF INTERSECTION (E)
- LOADING SPACES FOR NON-RESIDENTIAL USE: 1 REQUIRED, 0 PROVIDED (E)
- ALL DRIVE-THRU AISLES SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES 9W, 17K, 32, 62 OR 300 (E)



THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY		STATE
TOWN OF NEWBURGH		NY
COUNTY		REGIONAL DWG. NO.
ORANGE		031-0145
PLAN DESCRIPTION		STATUS
OVERALL SITE & SIGNAGE PLAN		PRELIMINARY
DATE		BY
08/15/17		KF
PLAN CHECKED		DATE
AS-BUILT		08/15/17
DATE		BY
N/A		N/A

SEE ADA PLAN & DETAIL SHEET FOR SIGN DETAILS

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF THE PROFESSIONAL ENGINEER. UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK. AT THE SITE, ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILED OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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 PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NO. 26064  
 PENNSYLVANIA LICENSE NO. 08866  
 FLORIDA LICENSE NO. 5277

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS	APR	

FINAL PLAN SIGNATURES

P.M. G.C. O/O

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NEW YORK REGION  
 111 WOOD AVENUE SOUTH, SUITE 400  
 ISELIN, NJ 08830 (732) 623 - 8500

OFFICE ADDRESS

PLAN APPROVALS

REGIONAL MGR.	CONTRACTOR	OWNER

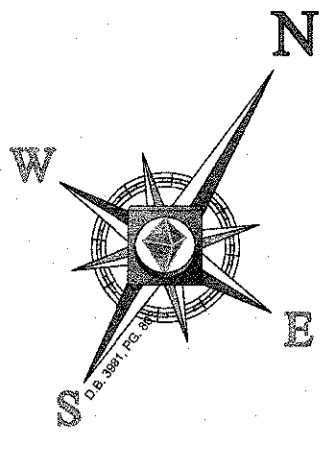
CO-SIGN SIGNATURES

DATE	STATUS	DATE	BY
	PRELIMINARY	08/15/17	KF
	PLAN CHECKED	08/15/17	LM
	AS-BUILT	N/A	N/A

CAD FILE: 110559-SP-2A

OF 17 REV. 2





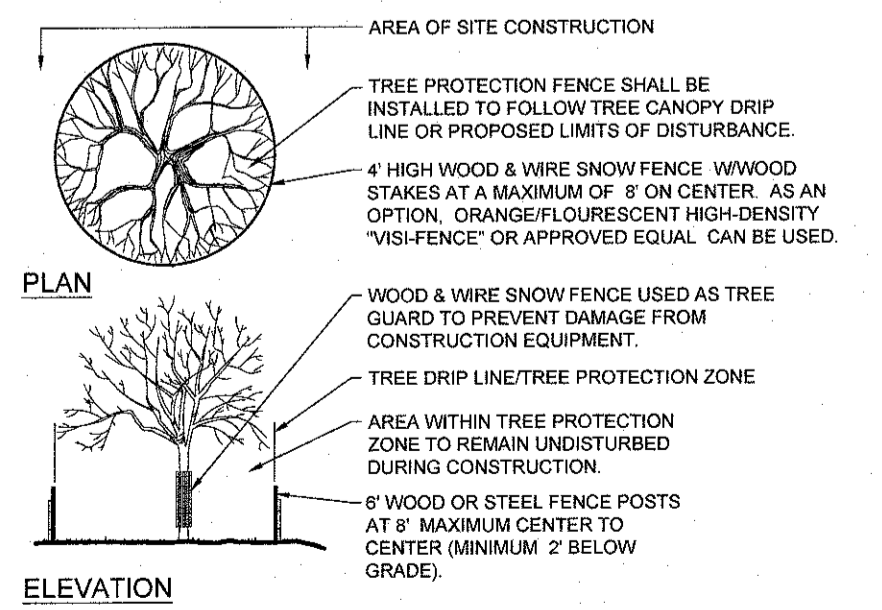
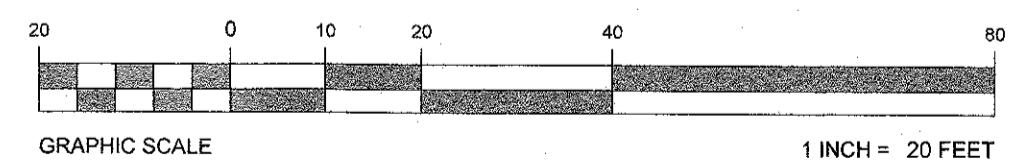
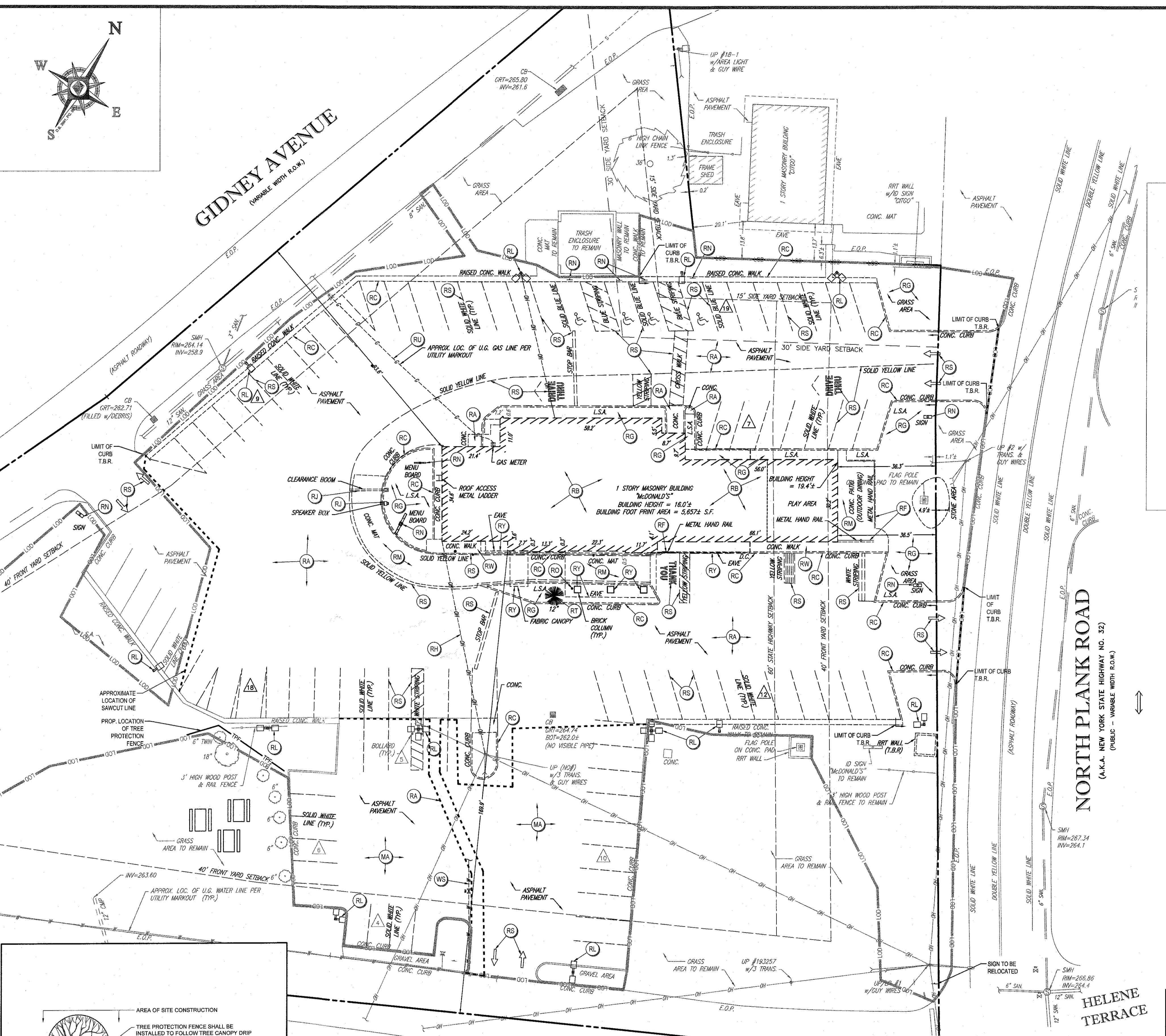
**GIDNEY AVENUE**  
(VARIABLE WIDTH R.O.W.)

**DEMOLITION NOTES:**  
(000103 - 03/12/17)

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:  
CONTROL POINT ASSOCIATES, INC.  
35 TECHNOLOGY DRIVE  
WARREN, NJ 07059  
DATED: 10/28/11, REVISED 2/28/12  
JOB# C-11443
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AND THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (NJSA 48:2-3, et seq.) AS AMENDED.
- BOHLER ENGINEERING HAS NO CONTRACTUAL RESPONSIBILITY FOR JOB SITE SAFETY OR SUPERVISION.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH BOHLER ENGINEERING, IN WRITING AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
  - A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
  - B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
  - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
  - E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
  - I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIAL.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE FEDERAL PERMITS AND EXPLOSIVE CONTROL DEVICES (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH ALL FEDERAL, STATE, AND FEDERAL LOCAL APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

**PROPOSED KEY:**

- RA REMOVE EXIST. ASPHALT/ CONC./ GRAVEL PAVEMENT/ BRICK
- RB REMOVE EXIST. BUILDING/ STRUCTURE
- RC REMOVE EXIST. CURB
- RD REMOVE EXIST. FENCE/GUIDE RAIL
- RE REMOVE EXIST. GROUND COVERS/ GRASS/ LANDSCAPE
- RF REMOVE EXIST. OVERHEAD WIRES IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS
- RG REMOVE EXIST. FEATURE
- RH REPLACE EXISTING LIGHT FIXTURE & REUSE FOUNDATION AND/OR POLE IF POSSIBLE
- RI REMOVE EXIST. CONC. MAT/ PAD
- RJ REMOVE EXIST. SIGN
- RK REMOVE EXIST. BOLLARD
- RL REMOVE EXIST. STRIPING
- RM REMOVE EXIST. TREE/ SHRUBS
- RN REMOVE EXIST. UG UTILITIES IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS
- RO REMOVE EXIST. CONC. SIDEWALK/ STEPS/ STAIRS AND RAILING
- RP REMOVE EXIST. CANOPY/ COLUMNS AND FOUNDATIONS
- RA MILL 2" ASPHALT
- RS EXIST. WATER SERVICE TO BE CUT, CAPPED & ABANDONED



**TREE PROTECTION DURING SITE CONSTRUCTION DETAIL**  
NOT TO SCALE (0039608 - 4/20/17)

REFER TO SOIL EROSION PLAN FOR SOIL EROSION NOTES & DETAILS

CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT FROM THE TOWN OF NEWBURGH PRIOR TO THE START OF DEMOLITION

ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

T.B.R. = FEATURE TO BE REMOVED

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• TAMPA, FL

**B.A. BOHLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE # 18871  
FLORIDA LICENSE # 12277  
FLORIDA LICENSE # 12277

PROPOSED SITE IMPROVEMENTS			
SECTION 76, BLOCK 1, LOT 1.1			
STREET ADDRESS			
65 NORTH PLANK ROAD			
CITY		STATE	
TOWN OF NEWBURGH		NY	
COUNTY		ORANGE	
REGIONAL DWG. NO	PLAN DESCRIPTION	STATUS	DATE
031-0145	DEMOLITION PLAN	PRELIMINARY	08/15/17
		PLAN CHECKED	08/15/17
		AS-BUILT	N/A
		CONTRACTOR	N/A
		OWNER	N/A

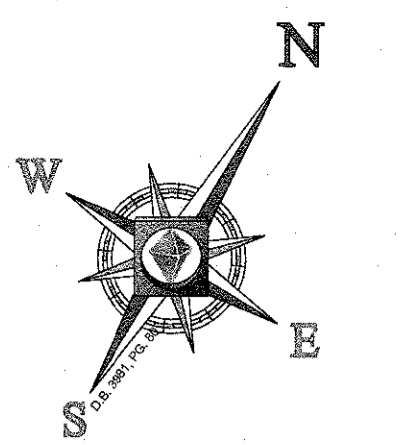
PLAN APPROVALS	DATE	DATE	DATE	DATE
SIGNATURE (2 REQUIRED)				
REGIONAL MGR.	01/22/18	REV. PER TOWNSHIP COMMENTS		ISSUE REF.
CONST. MGR.		ATK		
OPERATIONS DEPT.		REV. PER TOWNSHIP ENGINEER COMMENTS		
REAL ESTATE DEPT.		APR		
CONTRACTOR				
OWNER				
<b>C-3</b>				
OF 17 REV. 2				

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ISELIN, NJ 08830 (732) 623-8500

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**GIDNEY AVENUE**  
(VARIABLE WIDTH R.O.W.)

**GENERAL NOTES:**  
(S00003 - 10/2015)

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "ALTA / ACSM LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 10/28/11, REVISED 2/28/12
- "STORMWATER MANAGEMENT PLAN" PREPARED BY BOHLER ENGINEERING, DATED AUGUST 2011
- "REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITSTONE ASSOCIATES, INC., DATED 4/28/12

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THE PROPERTY SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. AND DATED 10/28/11, REVISED 2/28/12 SHALL BE CONSIDERED A PART OF THESE PLANS.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA CHARGES SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

14. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERSECTION CABLES, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

16. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

18. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

19. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS SUBCONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

20. BOHLER ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S "DRAWING REVIEW" WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

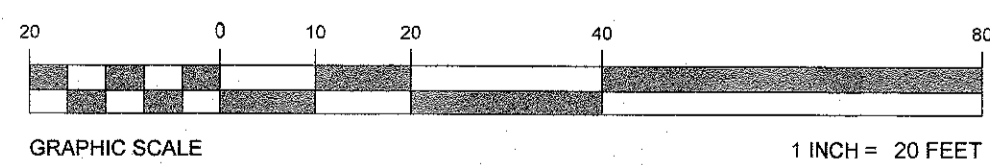
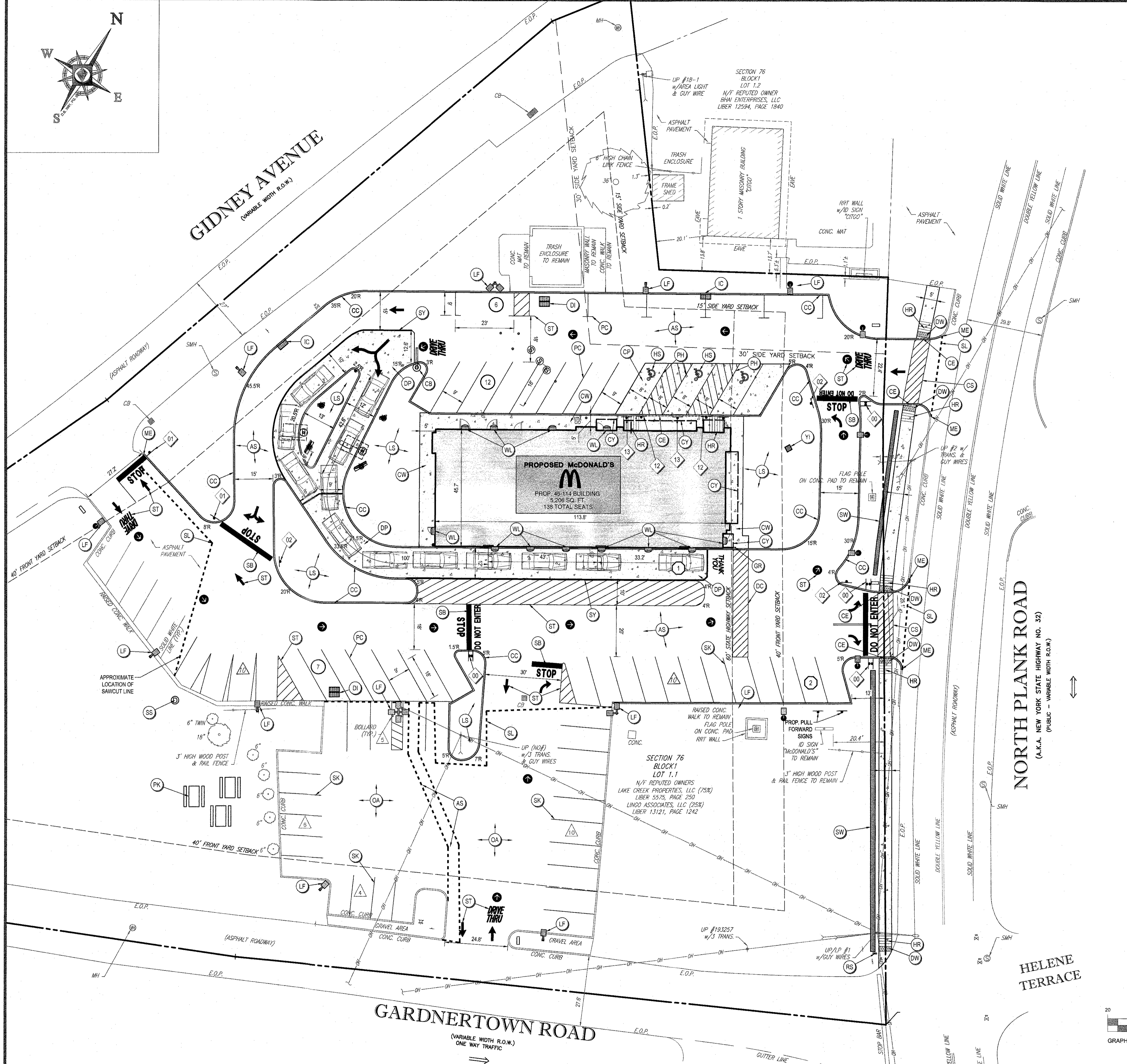
21. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES, CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

23. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

**PROPOSED KEY:**

- AS ON-SITE ASPHALT PAVEMENT
- CB CLEARANCE BAR
- CC CONCRETE CURB
- CE FLUSH CURB
- CF 6" THICK CONCRETE PAD
- CG 6" WIDE STRIPED CROSSWALK
- CH 6" THICK CONCRETE SIDEWALK
- CI DRIVEWAY INLET
- CK DECORATIVE CROSSWALK
- CL 8" THICK CONCRETE DRIVEWAY PAD
- CM DETECTABLE WARNING SURFACE
- CN STEEL RAILING, SLF
- CO ACCESSIBLE RAMP
- CP ADA SYMBOL
- CQ CURB INLET
- CR POLE MOUNTED LIGHT FIXTURE
- CS LANDSCAPED AREA
- CT MEET EXISTING PAVEMENT, CURB AND SIDEWALK FLUSH WITH NO TRIPPING HAZARD
- CU OVERLAY 2" ASPHALT
- CV PARKING STALLS (SEE DETAIL)
- CH ACCESSIBLE PARKING STALL
- CK PICNIC AREA
- CR RELOCATED SIGN
- CS PAINTED STOP BAR
- CT PAINTED STRIPING REPLACED IN KIND
- CU SAWCUT LINE
- CV STORM MANHOLE
- CW STOP SIGN MUTCD R1-1
- DX "DO NOT ENTER" SIGN MUTCD R5-1
- DY STOP SIGN MUTCD R1-1
- DZ "ONE WAY" SIGN MUTCD R5-1
- EA "NO PARKING ANY TIME" SIGN (GENERAL) MUTCD R7-1
- EB REVERSIBLE PARKING SIGN (WITHOUT ARROWS) MUTCD R7-8



**PROPOSED SITE IMPROVEMENTS**  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
**65 NORTH PLANK ROAD**

CITY STATE  
**TOWN OF NEWBURGH NY**  
COUNTY  
**ORANGE**

REGIONAL DWG. NO  
**031-0145**  
PLAN DESCRIPTION  
**SITE LAYOUT PLAN**

ISSUE REF	BY	DESCRIPTION	DATE	REV
	ATK	REV. PER TOWNSHIP COMMENTS	01/22/18	1
	ATK	REV. PER TOWNSHIP COMMENTS	02/15/18	2

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NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-8500

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR OWNER		

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

CO-SIGN SIGNATURES

**C-4**

OF 17 REV. 2

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE OR ANY OTHER DRAWING OR ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. ANY ALTERATION MADE WITHOUT THE ENGINEER'S SIGNATURE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO OBTAIN THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLANS IS A COMPILED OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE COVERED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH UTILITIES, UNLESS OTHERWISE NOTED, MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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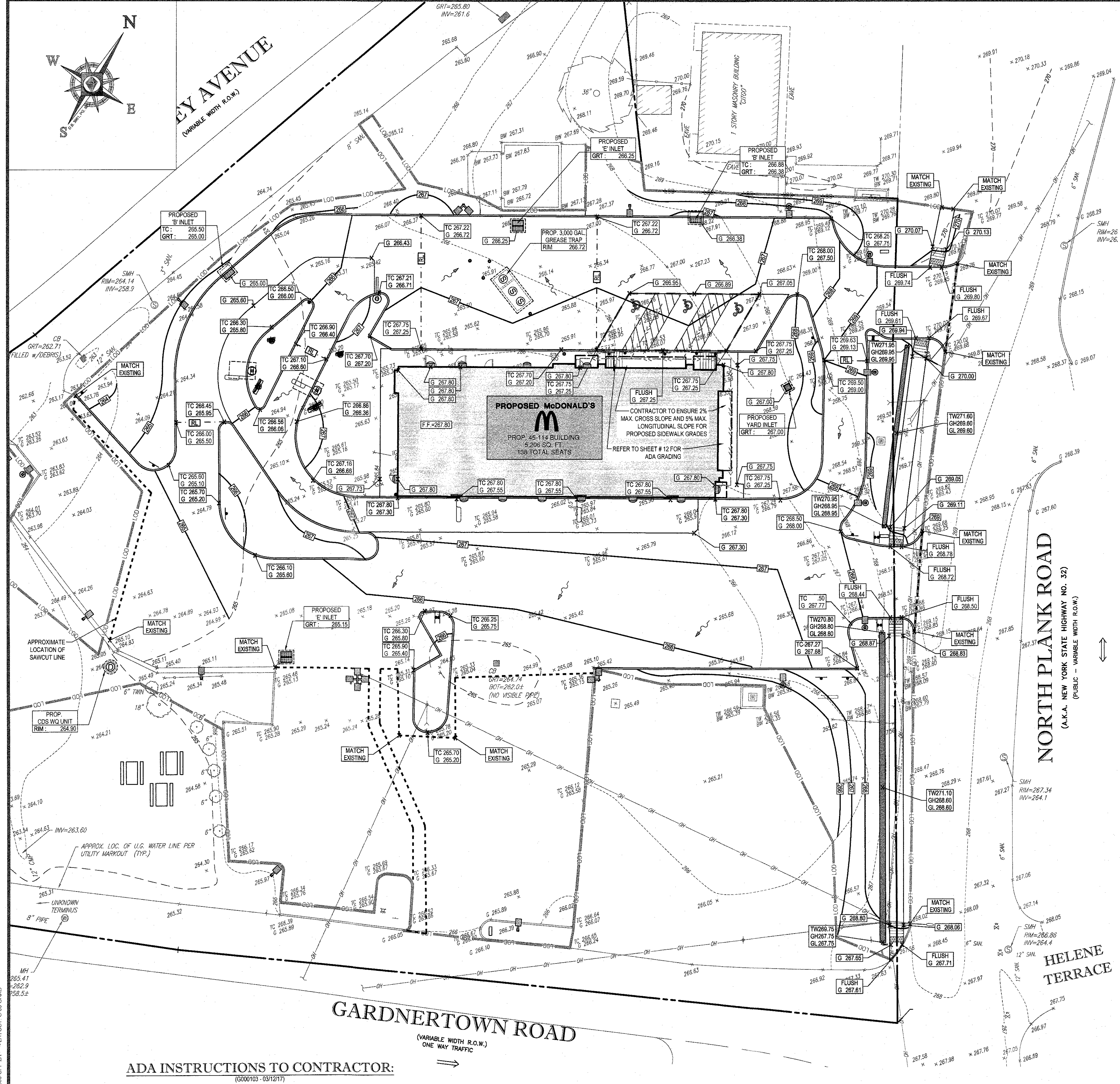
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**B.A. BOHLER**  
PROFESSIONAL ENGINEER

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FLORIDA LICENSE NO. 11112 - CIVIL ENGINEER  
NEW YORK LICENSE NO. 13084 - CIVIL ENGINEER



**GRADING & UTILITY NOTES:**

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY FOR THE CONTRACTOR TO COMPLY WITH THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/LOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXISTING BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DETAIL ARE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH UTILITY REQUIREMENTS HAVING JURISDICTION, AND SHALL BE RESPONSIBLE FOR COORDINATING UTILITY CONNECTIONS TO THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTIONS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERRED TO IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DETERMINED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED. AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING SHALL COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF A GEOTECHNICAL REPORT, EARTHWORK ACTIVITIES SHALL COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION).
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.

**GRAPHIC LEGEND**  
(LU010102 - 03/12/12)

PROPERTY LINE	EXIST. TOP OF CURB ELEVATION	EXIST. GRADE ELEVATION
EXIST. CONTOUR & ELEVATION	PROF. TOP OF WALL ELEVATION	PROF. GRADE ON HIGH SIDE OF WALL
PROF. FINISH GRADE CONTOUR & ELEVATION	PROF. GRADE ON LOW SIDE OF WALL	PROF. TOP OF CURB & FINISHED GRADE ELEV.
EXIST. WATER	EXIST. AREA/YARD LIGHT	PROF. CLEAN OUT
EXIST. GAS	PROF. AREA/YARD LIGHT	EXIST. INLET
EXIST. ELECTRIC/TELEPHONE	PROF. OVERHEAD WIRE	PROF. INLET
EXIST. ELECTRIC/TELEPHONE/CABLE	EXIST. STORM PIPE	EXIST. MANHOLE
EXIST. OVERHEAD WIRES	PROF. STORM PIPE	PROF. STORM MANHOLE
EXIST. STORM PIPE	EXIST. SANITARY PIPE	EXIST. HYDRANT
PROF. STORM PIPE	PROF. SANITARY PIPE	PROF. HYDRANT
EXIST. SANITARY PIPE	EXIST. DIRECTION OF DRAINAGE FLOW ARROW	EXIST. UTILITY VALVE
PROF. SANITARY PIPE	EXIST. ELEVATION	PROF. UTILITY POLE
PROF. DIRECTION OF DRAINAGE FLOW ARROW	EXIST. TRAFFIC SIGNAL	EXIST. TRAFFIC SIGNAL
EXIST. RIDGE LINE		

**ADA INSTRUCTIONS TO CONTRACTOR:**  
(0000103 - 03/12/12)

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED/DISABLED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM BUILDING CODE (WHICH BY REFERENCE HAS ADOPTED ICC A117.1 2009 REQUIREMENTS AND THE FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. AS CONSTRUCTED FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, ACCESS BETWEEN BUILDINGS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS POINTS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE MUST NOT EXCEED MAXIMUM OF 1:12 (8.3%).
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, AND PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES BETWEEN LANDINGS, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT HAVE A CROSS SLOPE, TO PROVIDE POSITIVE DRAINAGE, OF NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%). THE ENTIRE WIDTH OF THE PATH OF TRAVEL MUST COMPLY WITH THESE REQUIREMENTS.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED FOR POSITIVE DRAINAGE, WITH SLOPE NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN BOTH DIRECTIONS. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

REFER TO SHEET #12 FOR ADDITIONAL ADA GRADING INFORMATION

APPROXIMATE CUT = 150 CY  
APPROXIMATE FILL = 1350 CY  
ADJUSTED TOTAL NET CUT/FILL = 1200 CY

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AS A DIRECTOR OF THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND IN THE SPECIFICATIONS. ANY ALTERATIONS MADE IN THE SPECIFICATIONS, BY ANY OTHER PERSON, SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THIS PLAN IS A COMPILED LIST OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH UTILITIES AND/OR SERVICES SURFACE ANYWHERE IN THAT REGION, OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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- PHILADELPHIA, PA
- CHARLOTTE, NC
- STERLING, VA
- WARRENTON, VA
- FORT LAUDERDALE, FL
- TAMPA, FL

**PROPOSED SITE IMPROVEMENTS**  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD

CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	
ORANGE	
REGIONAL DWG NO	PLAN DESCRIPTION
031-0145	GRADING PLAN

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	N/A
AS-BUILT	N/A	N/A

REGIONAL DWG NO: 031-0145  
PLAN DESCRIPTION: GRADING PLAN

ISSUE REF	BY	DATE	DESCRIPTION
	ATK	01/22/18	REV. PER TOWNSHIP COMMENTS
	APR	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS

**FINAL PLAN SIGNATURES**

P.M.	G.C.	O.O.
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**McDonald's**

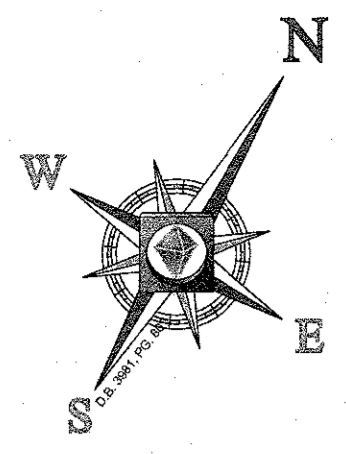
NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-8600

OFFICE ADDRESS

REGIONAL MGR	DATE
CONSTR. MGR	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

CONTRACTOR OWNER

CO-SIGN SIGNATURES



GIDNEY AVENUE  
(VARIABLE WIDTH R.O.W.)

GARDNERTOWN ROAD  
(VARIABLE WIDTH R.O.W.)  
ONE WAY TRAFFIC

GRIMM ROAD

PROP. GAS CONNECTION. CONTRACTOR TO COORDINATE WITH GAS AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR TO VERIFY EXACT LOCATION, SIZE, DEPTH AND CONDITION OF EXISTING SEWER MAIN. CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON THE PLANS. CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY.

PROP. ETC CONNECTION. CONTRACTOR TO COORDINATE WITH RESPECTIVE ELECTRIC COMPANY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF POLE & LIGHT DIFFERS FROM THAT SHOWN ON PLAN.

PROP. 6" WET TAP. CONTRACTOR TO COORDINATE WITH WATER AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

CONTRACTOR TO CLEAN EXISTING CATCH BASIN OF DEBRIS TO DETERMINE IF ANY PIPES EXIST

GUY WIRES TO BE REPLACED AS NECESSARY FOR PROP. SIDEWALKSTONE STACK WALL. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR GUY WIRE RELOCATION

### SANITARY COMPUTATIONS

GREASE TRAP  
138 SEATS X 20 GPD/SEAT = 2,760 GPD  
USE 6'X14" GREASE TRAP  
CAPACITY = 3,000 GALLONS

### GRAPHIC LEGEND

(U010102 - 03/12/12)

	PROPERTY LINE
	EXIST. CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. WATER
	PROP. WATER
	EXIST. GAS
	PROP. GAS
	EXIST. ELECTRIC/TELEPHONE
	PROP. ELECTRIC/TELEPHONE
	EXIST. ELECTRIC/TELEPHONE CABLE
	PROP. ELECTRIC/TELEPHONE CABLE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. STORM PIPE
	PROP. STORM PIPE
	EXIST. SANITARY PIPE
	PROP. SANITARY PIPE
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GRADE ELEVATION
	PROP. TOP OF WALL ELEVATION
	PROP. GRADE ON HIGH SIDE OF WALL
	PROP. GRADE ON LOW SIDE OF WALL
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. AREA/YARD LIGHT
	PROP. AREA/YARD LIGHT
	PROP. CLEAN OUT
	EXIST. INLET
	PROP. INLET
	EXIST. MANHOLE
	PROP. STORM MANHOLE
	PROP. SANITARY MANHOLE
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. UTILITY VALVE
	PROP. UTILITY VALVE
	EXIST. UTILITY POLE
	PROP. UTILITY POLE
	EXIST. TRAFFIC SIGNAL
	PROP. TRAFFIC SIGNAL

ISSUE REF	BY	DESCRIPTION
ATK	ATK	REV. PER TOWNSHIP COMMENTS
APR	APR	REV. PER TOWNSHIP ENGINEER COMMENTS

FINAL PLAN SIGNATURES
P.M.
G.C.
O.O.

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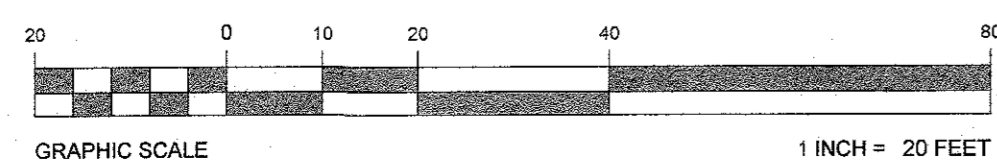
NEW YORK REGION  
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ISELIN, NJ 08830 (732) 623-8500

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY	STATE	
TOWN OF NEWBURGH	NY	
COUNTY		
ORANGE		
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	DRAINAGE & UTILITIES PLAN	
CAD FILE: J110599-SP2-A		

SEE DETAIL SHEET C-16 FOR TOWN OF NEWBURGH WATER AND SEWER NOTES

THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY



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THE ABOVE REFERENCED REGIONAL NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THAT REGION (NYS 1-800-962-7962)

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35 TECHNOLOGY DRIVE  
WARREN, NJ 07059  
Phone: (908) 668-8300  
Fax: (908) 754-4401  
www.BohlerEngineering.com

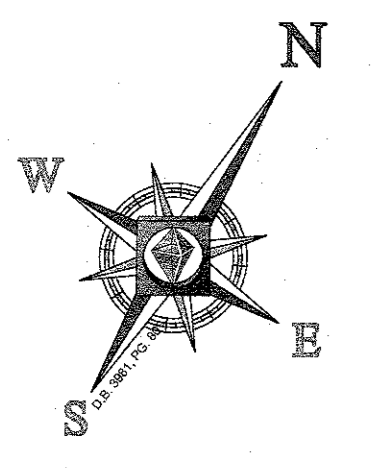
CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
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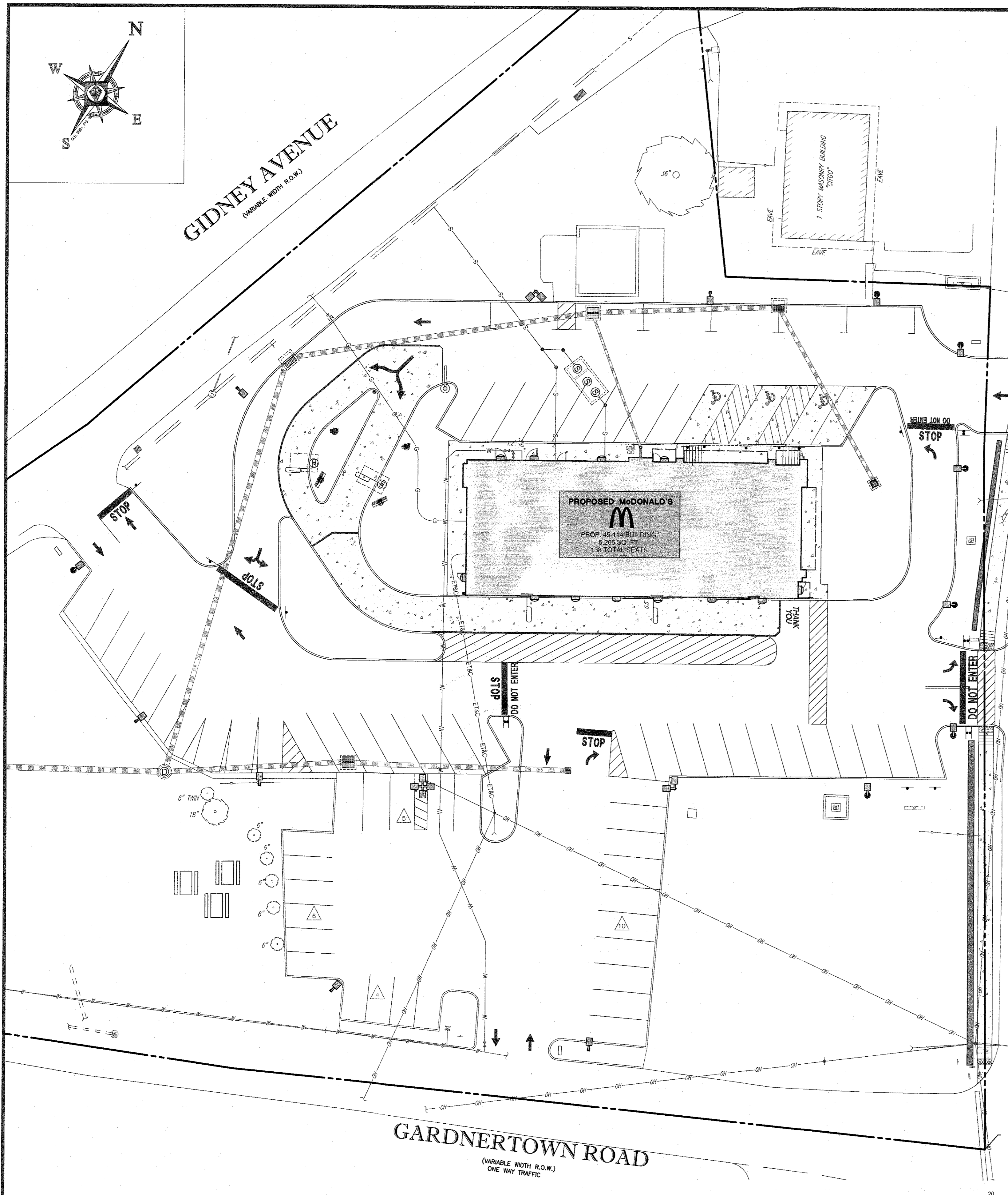
• CHARLOTTE, NC  
• STERLING, VA  
• WASHINGTON, VA  
• FORT LAUDERDALE, FL  
• TAMPA, FL

**BA BOHLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 4167  
FLORIDA LICENSE NO. 25024  
FLORIDA LICENSE NO. 25024

© 2011 UTI 0509 DRAWINGS CURRENT DRAWINGS SITE PLAN PACKAGE UTI 0509-SP2-A LAYOUT: C-03 DRAIN & UTIL.



GIDNEY AVENUE  
(VARIABLE WIDTH R.O.W.)



GARDNERTOWN ROAD  
(VARIABLE WIDTH R.O.W.)  
ONE WAY TRAFFIC

HUBBELL LIGHTING  
BEACON VIPER SERIES  
LARGE LED AREA LIGHT  
W/ BACK LIGHT CONTROL  
(A-1 BLC, A-2 BLC & A-3 BLC)  
NOT TO SCALE

COOPER INDUSTRIES  
EPIC MODERN  
MEDIUM SERIES LED  
DECORATIVE AREA  
LIGHT (D-1, D-2 & D-3)  
NOT TO SCALE



SECURITY LIGHTING  
RADIUS SERIES LED  
WALL SCONCE  
(W-1)  
NOT TO SCALE



SECURITY LIGHTING  
HIRAF SERIES LINEAR  
LED FACADE LIGHT  
(W-2, W-3 & W-4)  
NOT TO SCALE

LIGHTING NOTES:  
(000201-01/05/18)(MODIFIED)

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.87 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES AND 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES ARE TO BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND REPLACING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS TO BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE UTILITIES, OR OTHER STRUCTURES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	CATALOG #
	9	A-1 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	SINGLE	29,128	0.87	VP-L-96NB-280-5K-T4-XXX-PK2-**-BLC-XXX-PS
	3	A-2 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	DOUBLE @ 90°	29,128 (X2)	0.87	VP-L-96NB-280-5K-T4-XXX-PK2-**-BLC-XXX-PS
	1	A-3 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	QUAD @ 90°	29,128 (X4)	0.87	VP-L-96NB-280-5K-T4-XXX-PK2-**-BLC-XXX-PS
	2	D-1	11.441'	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	SINGLE	2,951	0.87	EMM-E01-LED-XXX-T4-50-BL-BZ-7050-VA6109-BZ
	2	D-2	11.441'	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	SINGLE	5,902	0.87	EMM-E02-LED-XXX-T4-50-BL-BZ-7050-VA6109-BZ
	2	D-3	11.441'	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	SINGLE	3,134	0.87	EMM-E01-LED-XXX-5M-Q-50-BL-BZ-7050-VA6109-BZ
	12	W-1	9'	SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE	SINGLE	1,620	0.87	RWSC-36L-5K-DO-XXX-PS
	5	W-2	15.583'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FACADE LIGHT	SINGLE	1,800	0.87	HIRAF-HE-LED-36-DO-XXX-PS
	14	W-3	15.583'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FACADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-48-DO-XXX-PS
	2	W-4	18.75'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FACADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-48-DO-XXX-PS

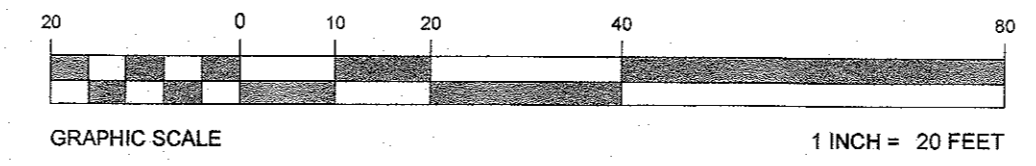
NOTE: 1. ANY EXISTING STREET LIGHTS HAVE NOT BEEN MODELLED FOR THIS DESIGN.  
2. MOUNTING HEIGHT OF D-1 & D-2 FIXTURE IS 11.441'. TOTAL FIXTURE HEIGHT IS 13'-6".  
3. BRACKET CATALOG NUMBER FOR D-1 & D-2 FIXTURES: VA6109-BZ  
4. DECORATIVE POLE CATALOG NUMBER FOR D-1 & D-2 FIXTURES: BWR-12-R-2-R-2-BZ-XXX

EXISTING LIGHT POLE FOUNDATION NOTE

GENERAL CONTRACTOR TO PROVIDE, IN WRITING, DOCUMENTATION TO OWNER VERIFYING THE SUITABILITY OF ANY EXISTING LIGHT POLE FOUNDATION AND POLES FOR REUSE. FINAL REVIEW OF ALL LIGHT POLE FOUNDATIONS AND POLES SHALL BE WITH PROJECT CPM.

REFER TO DETAIL SHEET FOR LIGHT POLE SPECIFICATIONS AND LIGHT POLE FOUNDATION DETAIL

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILED OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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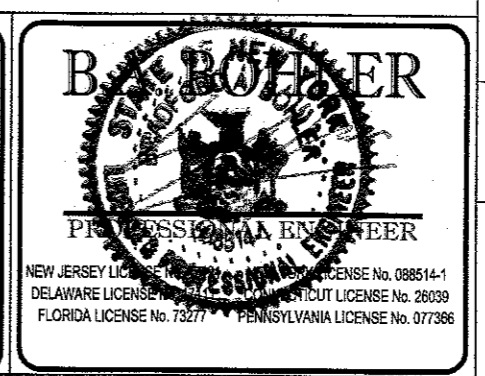
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• CHARLTON, PA  
• PHILADELPHIA, PA

• CHARLOTTE, NC  
• STERLING, VA  
• WARRINGTON, VA  
• FORT LAUDERDALE, FL  
• TAMPA, FL



PROPOSED SITE IMPROVEMENTS  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY TOWN OF NEWBURGH STATE NY  
COUNTY ORANGE  
REGIONAL DWG. NO. 031-0145  
PLAN DESCRIPTION LIGHTING PLAN

STATUS DATE BY  
PRELIMINARY 08/15/17 KF  
PLAN CHECKED 08/15/17 LM  
AS-BUILT N/A N/A

REGIONAL DWG. NO. 031-0145  
PLAN DESCRIPTION LIGHTING PLAN

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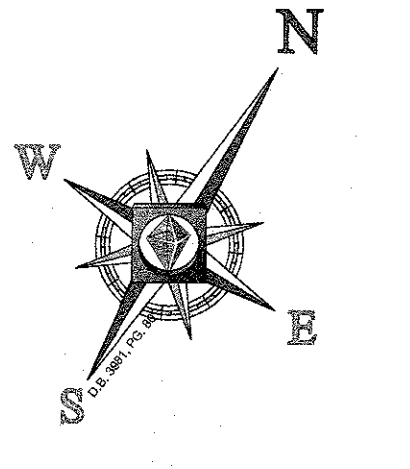
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CONST. MGR.  
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CONTRACTOR  
OWNER

FINAL PLAN SIGNATURES  
REV. DATE DESCRIPTION  
1 01/22/18  
2 02/15/18  
BY: ATK  
REV. PER TOWNSHIP COMMENTS  
REV. PER TOWNSHIP ENGINEER COMMENTS  
APR

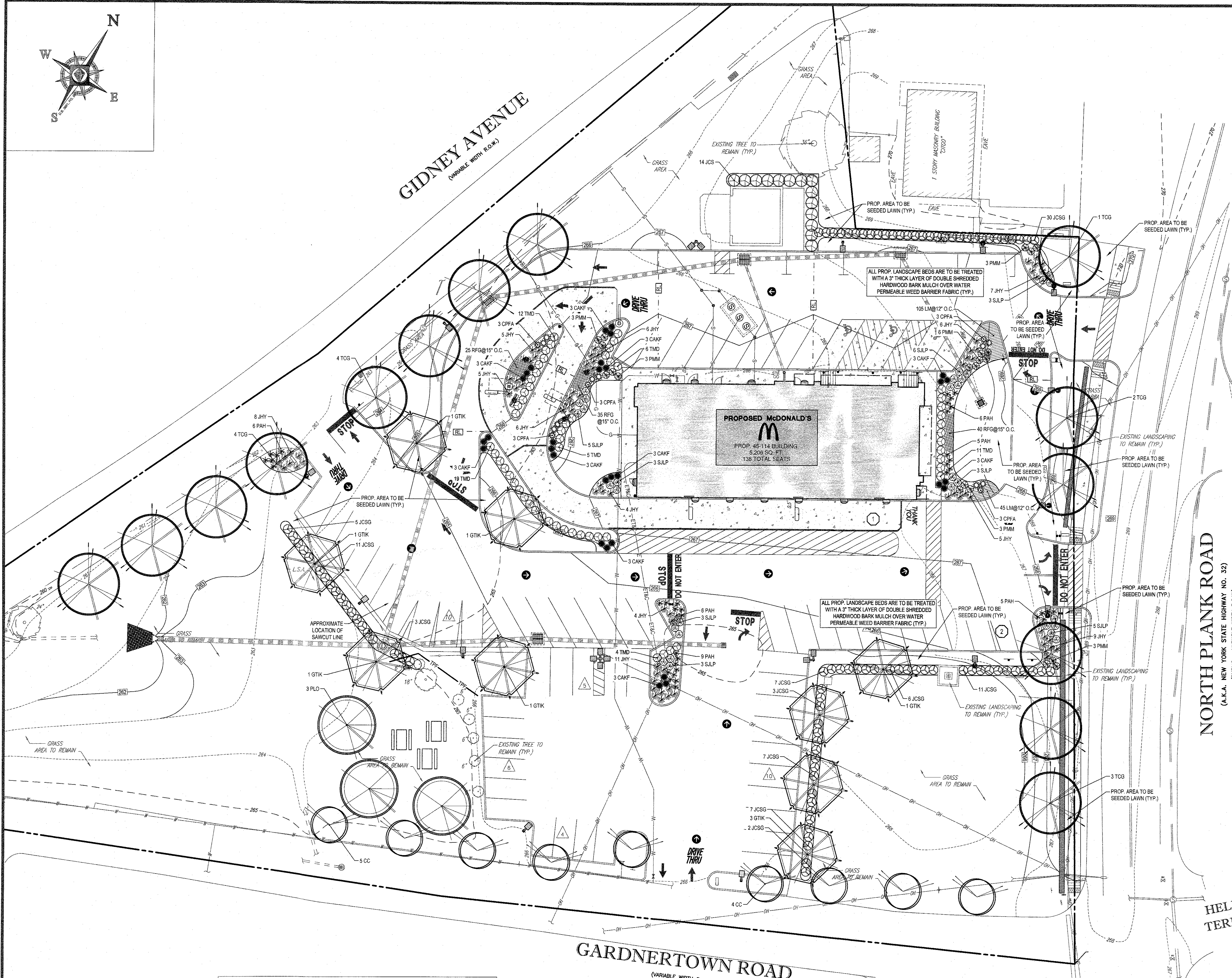
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PLAN CHECKED 08/15/17 LM  
AS-BUILT N/A N/A

REGIONAL DWG. NO. 031-0145  
PLAN DESCRIPTION LIGHTING PLAN

CAD FILE: J11059A-LG1-2A  
OF 17 REV. 2



GIDNEY AVENUE  
(VARIABLE WIDTH ROAD)



COMPLIANCE CHART			
SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
185-13 OFF-STREET PARKING AND LOADING FACILITIES	D(9)(A) PARKING SPACE STANDARDS. LANDSCAPING ALL OPEN PARKING AREAS SHALL BE SUITABLY LANDSCAPED IN PARKING LOTS WITH MORE THAN 20 SPACES. AT LEAST 5% OF THE AREA OF THE PARKING LOT SHALL BE DEVOTED TO LANDSCAPING WITHIN THE INTERIOR OF THE PARKING LOT. SUCH LANDSCAPING SHALL BE IN ADDITION TO THAT WHICH MAY BE REQUIRED ALONG THE STREET LINE. THE LOT LINES OR THE BUILDING FOUNDATION. IN ALL PARKING LOTS PROVIDING EIGHT OR MORE OFF-STREET PARKING SPACES, ONE SHADE OR FLOWERING ORNAMENTAL TREE SHALL BE PLANTED FOR EACH EIGHT PARKING SPACES AND ANY ADDITIONAL NUMBER THEREOF, SAID TREE OR TREES TO BE PLANTED IN MEDIAN DIVIDERS, ISLANDS OR SUCH OTHER LOCATIONS AS MAY BE ACCEPTABLE TO THE PLANNING BOARD.	TOTAL PARKING SPACES: 72 SPACES TOTAL PARKING AREA: 20,914 SF REQUIRED: 20,914 x .05 = 1,045.7 SF  PROPOSED LANDSCAPE WITHIN PARKING AREA: 2,595 SF	COMPLIES
	D(9)(B) ALL PLANTING BEDS, LANDSCAPED ISLANDS AND PEDESTRIAN WALKWAYS, IF PROVIDED, SHALL BE PROTECTED BY CURBS, STURDY POSTS, RAILS OR WALLS 1 1/2 TO TWO FEET IN HEIGHT OR OTHER PROTECTIVE DEVICES AND SHALL BE OF SUFFICIENT WIDTH TO PREVENT DAMAGE OR INJURY TO BOTH PLANT MATERIALS AND PEDESTRIANS. ADDITIONAL BARRIERS MAY BE REQUIRED BY THE PLANNING BOARD TO GIVE BETTER PROTECTION AND TO IMPROVE PEDESTRIAN AND VEHICULAR CIRCULATION.	TOTAL PARKING SPACES: 72 SPACES REQUIRED: 72 / 8 = 9 TREES  PROPOSED TREES: 9 (9 GTK)	COMPLIES
		TOTAL PARKING SPACES: 72 SPACES REQUIRED: 72 / 8 = 9 TREES  PROPOSED TREES: 9 (9 GTK)	COMPLIES

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES(S)					
GTK	9	GLEDITSIA TRICANTHOS INERMIS 'SUYDOLCI'	SKYLINE THORNLESS HONEYLOCUST	2 1/2" CAL.	B+B
PLD	3	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2 1/2" CAL.	B+B
TCG	14	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2" CAL.	B+B
SUBTOTAL	26				
ORNAMENTAL TREES(S)					
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2 1/2" CAL.	B+B
SUBTOTAL	9				
DECIDUOUS SHRUBS(S)					
SJP	31	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24-30"	CONTAINER
SUBTOTAL	31				
EVERGREEN SHRUBS(S)					
CPFA	15	CHAMAECYPARIS FISIFERA 'FILIFERA'	DWARF GOLD THREAD CYPRESS	15-18" SPDR	CONTAINER
JCS	14	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	6-7"	B+B
JCSG	92	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30" SPDR	B+B
JHY	76	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	18-24" SPDR	CONTAINER
PMM	21	PRUNUS MUSD MUGUS	DWARF MUGO PINE	18-24"	CONTAINER
TMD	57	TAXUS MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B
SUBTOTAL	275				
PERENNIALS					
LM	150	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER
RFG	100	RUDRACKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	2 GAL.	CONTAINER
SUBTOTAL	250				
ORNAMENTAL GRASSES(S)					
CAKF	30	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PAH	37	PENNISETUM ALPEJOUROIDES 'HAWKEYE'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
SUBTOTAL	67				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICATE.

- SEEDING SPECIFICATIONS:** (L521101 - 09/2012)
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
  - PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
  - SEEDING RATES:
 

PERENNIAL RYEGRASS	1/2 LB/1,000 SQ. FT.
KENTUCKY BLUEGRASS	1 LB/1,000 SQ. FT.
RED FESCUE	1 1/2 LBS/1,000 SQ. FT.
SPREADING FESCUE	1 1/2 LBS/1,000 SQ. FT.
FERTILIZER (20-10-10)	14 LBS/1,000 SQ. FT.
MULCH	90 LBS/1,000 SQ. FT.
  - GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SEEDING. CONTRACTOR TO MAINTAIN SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

REFER TO LANDSCAPE NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

**OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION PLANTS, TREES, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED TRAVEL SURFACES ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE PLANS IN ANY MANNER WITHOUT THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2205-2)

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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WARREN, NJ 07059  
Phone: (908) 858-6300  
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**BOHLER ENGINEERING**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 22054  
PENNSYLVANIA LICENSE NO. 29094  
FLORIDA LICENSE NO. 1220

PROPOSED SITE IMPROVEMENTS  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY TOWN OF NEWBURGH STATE NY  
COUNTY ORANGE  
REGIONAL DWG. NO 031-0145  
PLAN DESCRIPTION LANDSCAPE PLAN

STATUS DATE BY  
PRELIMINARY 08/15/17 KF  
PLAN CHECKED 08/15/17 LM  
AS-BUILT N/A N/A

OWNER: C-8  
REV. 17

**McDonald's**

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NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
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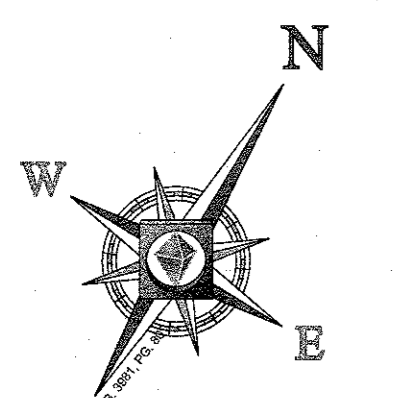
DATE: 01/22/18  
REV. PER TOWNSHIP COMMENTS: APR  
REV. PER TOWNSHIP ENGINEER COMMENTS: APR

ISSUE REF: BY ATK  
DESCRIPTION: 185-13 OFF-STREET PARKING AND LOADING FACILITIES

FINAL PLAN SIGNATURES:  
P.M. G.C. O.O.

PLAN APPROVALS:  
SIGNATURE (2 REQUIRED)  
DATE

CO-SIGN SIGNATURES:  
REGIONAL MGR  
CONST. MGR  
OPERATIONS DEPT.  
REAL ESTATE DEPT.  
CONTRACTOR  
OWNER



GIDNEY AVENUE  
(VARIABLE WIDTH R.O.W.)

TEMPORARY SWALE

PROP. STABILIZED CONSTRUCTION ENTRANCE (TYP)

TEMPORARY SEDIMENT TRAP

PROP. STABILIZED CONSTRUCTION ENTRANCE (TYP)

PROP. INLET FILTER (TYP)

TEMPORARY SOIL STOCKPILE (TYP)

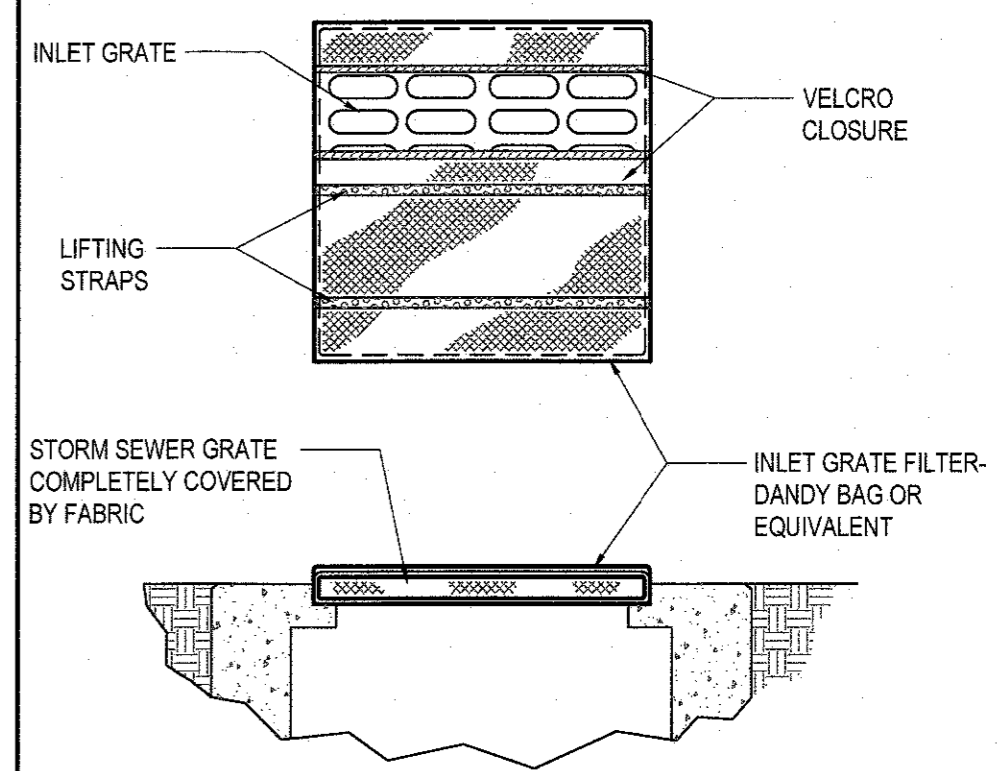
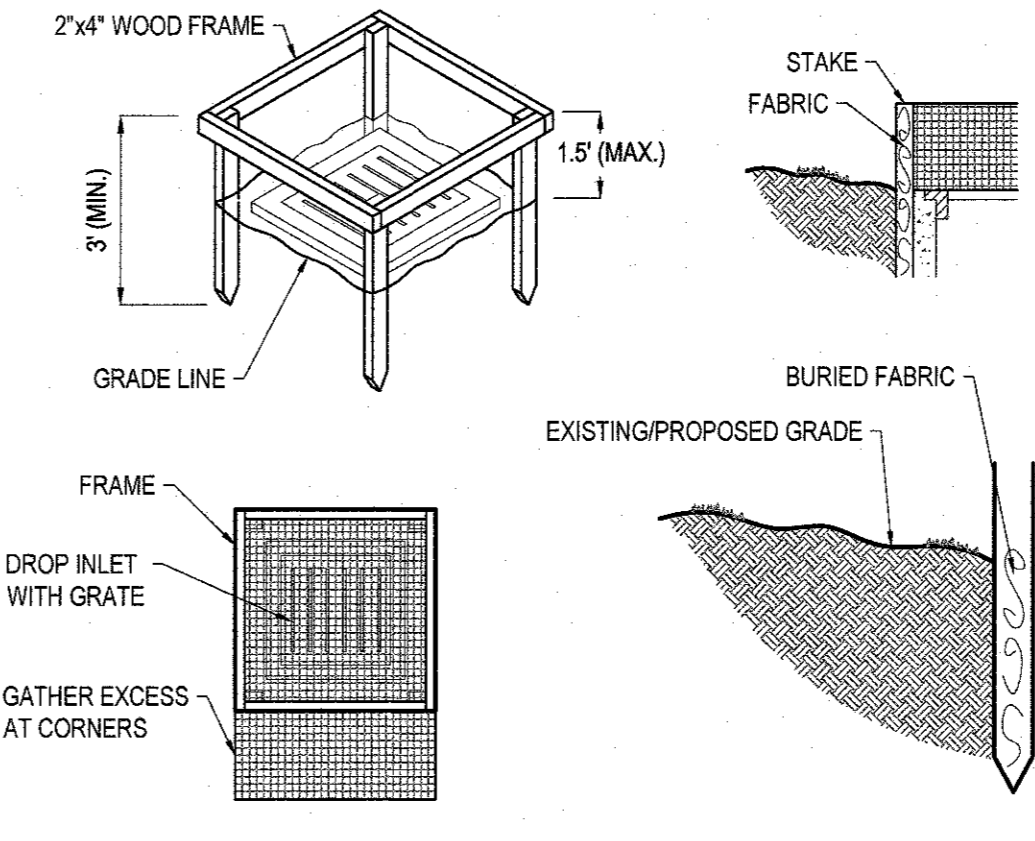
TEMPORARY SWALE

GARDNERTOWN ROAD  
(VARIABLE WIDTH R.O.W.)  
ONE WAY TRAFFIC

NORTH PLANK ROAD  
(A.K.A. NEW YORK STATE HIGHWAY NO. 32)  
(PUBLIC - VARIABLE WIDTH R.O.W.)

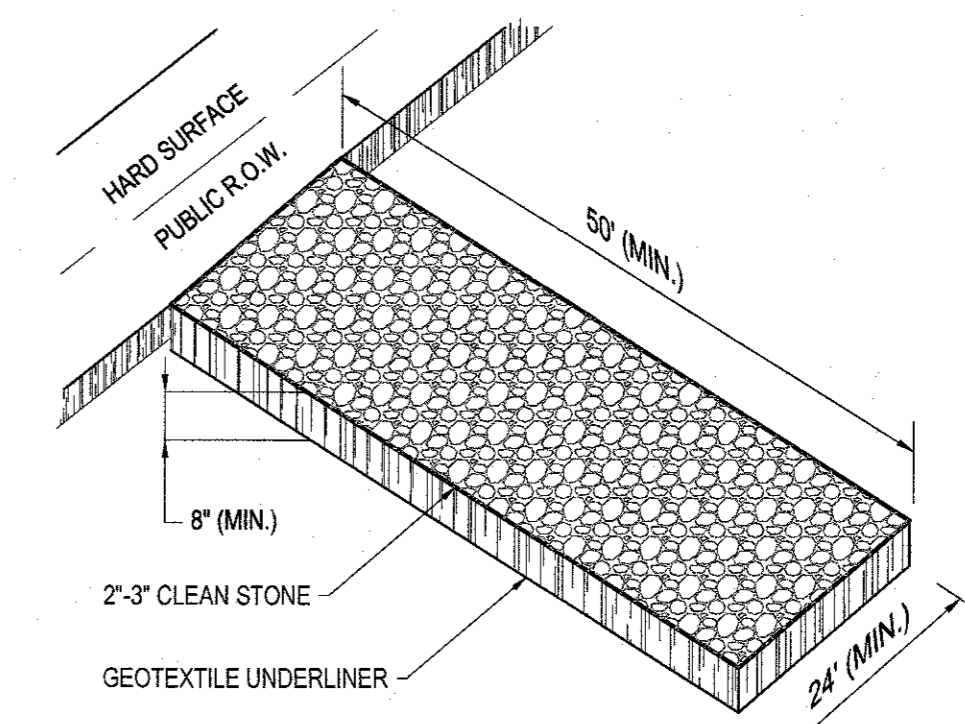
HELENT TERRAC

- CONSTRUCTION SPECIFICATIONS:**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED, THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  3. STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD (OR EQUIVALENT METAL) WITH A MINIMUM LENGTH OF 3 FEET. STAKE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  4. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  5. A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
  6. ONCE ASPHALT WORK IS COMPLETED, CATCH BASINS AND TRENCH DRAINS SHALL BE PROTECTED AGAINST SEDIMENT UTILIZING ULTRA DRAIN GUARD MANUFACTURED BY ULTRATECH INTERNATIONAL, INC. (800) 353-1611.
  7. THIS DETAIL SHALL BE UTILIZED IN DISTURBED SOIL AREAS.
- MAXIMUM DRAINAGE AREA = 1 ACRE

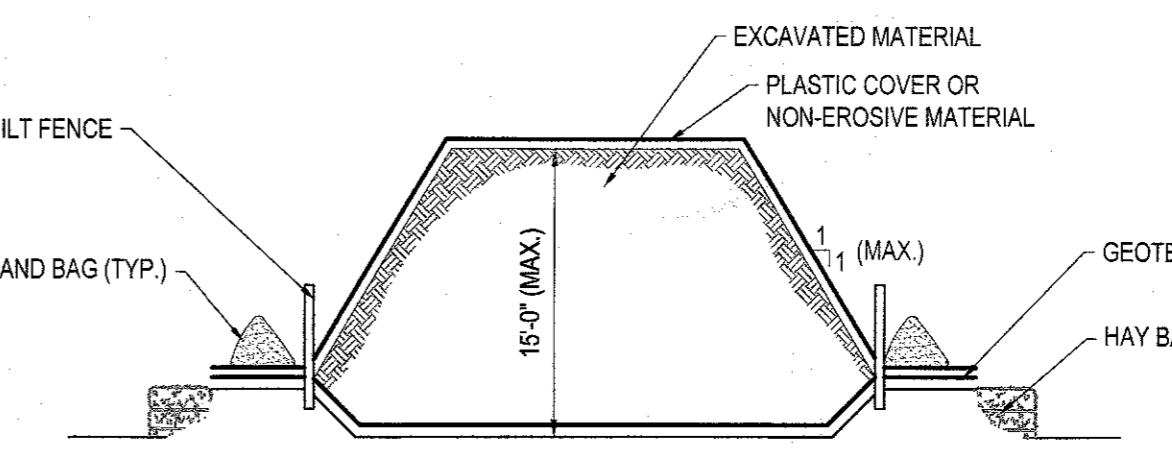


1 FILTER FABRIC DROP INLET PROTECTION N.T.S. 2 INLET FILTER N.T.S.

- CONSTRUCTION ENTRANCE NOTES:**
1. STONE SIZE-USE 2"-3" CLEAN STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH-NOT LESS THAN 50 FEET
  3. THICKNESS-NOT LESS THAN (8) INCHES
  4. WIDTH-TWELVE (12) FEET MIN. BUT NOT LESS THAN THE FULL WIDTH AT POINT WHERE INGRESS OR EGRESS OCCURS.
  5. FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
  6. SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED UNDER THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
  8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
  10. CONTRACTOR TO ENSURE THAT THE TRACKING PREVENTION REMAINS EFFECTIVE DURING ALL CONSTRUCTION PHASES. CONTRACTOR TO RELOCATE TRACKING PADS AS NECESSARY.

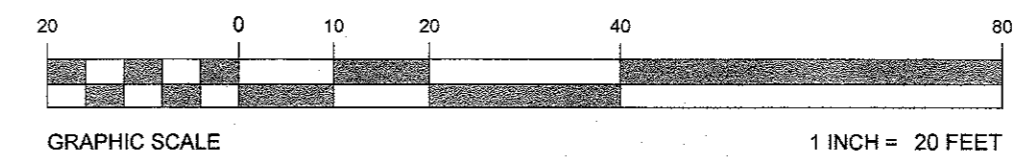


3 CONSTRUCTION ENTRANCE/EXIT(ANTI-TRACKING PAD) N.T.S.



- STOCKPILE MANAGEMENT NOTES**
1. PROTECTION OF STOCKPILES IS A YEAR-ROUND REQUIREMENT.
  2. LOCATE STOCKPILES A MINIMUM 50 FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE AND INLETS AND IN ACCORDANCE WITH LOCAL REQUIREMENTS FOR VISIBILITY AT INTERSECTIONS.
  3. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
  4. DURING THE RAINY SEASON, SOIL STOCKPILES SHALL BE PLACED ON AND COVERED WITH PLASTIC OR COMPARABLE MATERIAL AT ALL TIMES.
  5. REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED, OR AS DIRECTED BY THE ENGINEER, TO KEEP THEM FUNCTIONING PROPERLY.
  6. SEDIMENTS SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD (1/3) OF THE BARRIER HEIGHT.
  7. STABILIZE STOCKPILES WITH PLASTIC COVER OR NON-EROSIVE MATERIAL, SUCH AS TEMPORARY SEEDING WITH STRAW MULCH AND TACKIFIER, MULCH OR OTHER SUITABLE MATERIAL, AT A MINIMUM WITHIN 14 DAYS OF THE COMPLETION OF THE PILE.

4 EXCAVATED MATERIAL STOCK PILE N.T.S.



THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

SEE DETAIL SHEETS FOR ADDITIONAL SOIL EROSION NOTES AND DETAILS

THE EDUCATIONAL PLAN OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY ALTERATION MUST BE MADE IN THE ORIGINAL DRAWING OR SPECIFICATION AND THE ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK. AT THE SITE, ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CORRECTED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

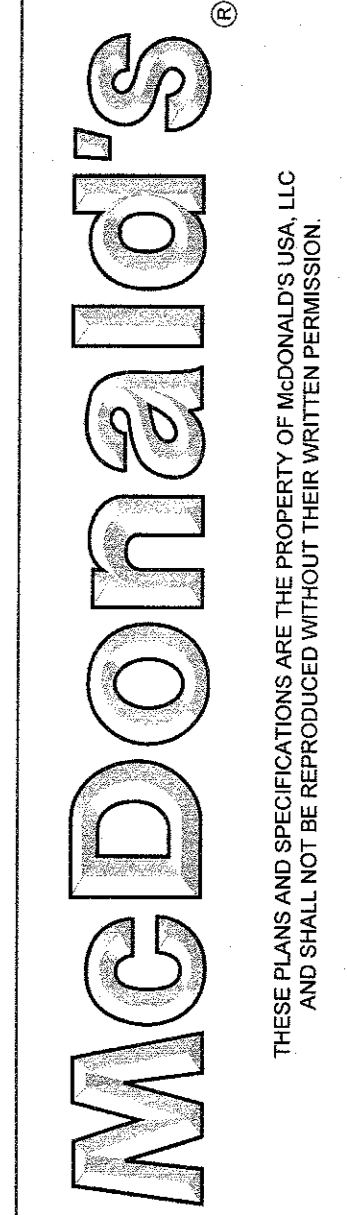
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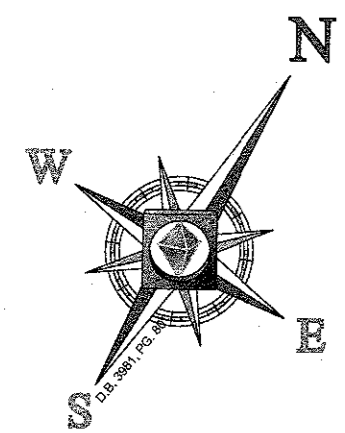
**BOHLER ENGINEERING**  
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Phone: (908) 698-8300 Fax: (908) 754-4401  
www.BohlerEngineering.com

**B.A. BOHLER**  
Professional Engineer  
NEW JERSEY LICENSE NO. 12823  
FLORIDA LICENSE NO. 12823

PROPOSED SITE IMPROVEMENTS	
SECTION 76, BLOCK 1, LOT 1.1	
STREET ADDRESS	
65 NORTH PLANK ROAD	
CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	
ORANGE	
REGIONAL DWG. NO	PLAN DESCRIPTION
031-0145	SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE I

ISSUE REF	BY	ATK	APR
	DESCRIPTION	REV. PER TOWNSHIP ENGINEER COMMENTS	REV. PER TOWNSHIP ENGINEER COMMENTS
DATE	1	01/22/18	
REV	2	02/15/18	
FINAL PLAN SIGNATURES	P.M.	G.C.	O.O.
PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE	
REGIONAL INGR.	CONST. INGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.
CONTRACTOR	OWNER	CO-SIGN SIGNATURES	
OFFICE	ADDRESS	NEW YORK REGION	
	111 WOOD AVENUE SOUTH, SUITE 400		
	ISELIN, NJ 08830 (732) 623-8500		
STATUS	DATE	BY	
PRELIMINARY	08/15/17	KF	
PLAN CHECKED	08/15/17	LM	
AS-BUILT	N/A	N/A	
CAD FILE: J11099-SPP-2A		OF 17 REV. 2	





**GIDNEY AVENUE**  
(WIDABLE WITH R.O.W.)

PROP. SILT FENCE (TYP)

PROP. STABILIZED CONSTRUCTION ENTRANCE (TYP)

PROPOSED MCDONALD'S  
PROP. 46,114 BUILDING  
± 298 SQ. FT.  
198 TOTAL SEATS

PROP. STABILIZED CONSTRUCTION ENTRANCE (TYP)

PROP. INLET FILTER (TYP)

TEMPORARY SOIL STOCKPILE (TYP)

APPROXIMATE LOCATION OF SAWTOOTH LINE

**EROSION & SEDIMENT CONTROL NOTES**

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH SWALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH LOCATION PROTECT AREA	MULCH STRAW	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

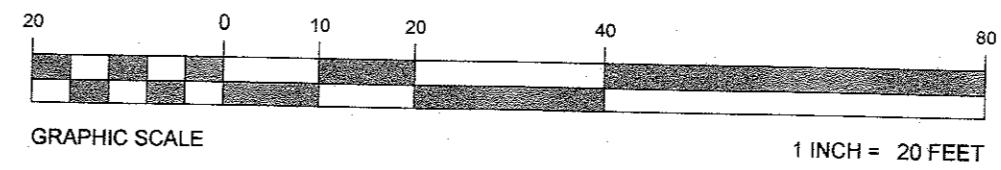
\* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK; WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

**SEQUENCE OF CONSTRUCTION:** (03/09/99-9-17-04) MODIFIED

- INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER SILT FENCING.
- DEMOLITION OF EXISTING FEATURES TO BE REMOVED (SEE DEMOLITION PLAN)
- CONSTRUCT TEMPORARY SEDIMENT BASIN AND TEMPORARY SWALE
- CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
- EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES
- EXCAVATE FOR BUILDING FOUNDATION
- COMPLETE BUILDING CONSTRUCTION
- EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, AND UTILITIES.
- FINAL GRADING ON SITE.
- INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
- REMOVE ALL SOIL AND SEDIMENT CONTROLS AFTER THE SITE CONSTRUCTION IS COMPLETE AND STABILIZED.

**THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY**



PROPOSED SITE IMPROVEMENTS  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY TOWN OF NEWBURGH STATE NY  
COUNTY ORANGE  
REGIONAL DWG. NO. 031-0145  
PLAN DESCRIPTION SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE II

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

CO-SIGN SIGNATURES

OFFICE ADDRESS  
NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-9500

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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANNING INFORMATION REPORTED TO THE ENGINEER IMMEDIATELY. THE CITY AGENCIES ADVISED THAT UTILITY INFORMATION SHOWN ON ACCORDINGLY COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITIES AND RECORD DRAWINGS AND MUST BE CONFIRMED. THE CONTRACTOR IS ALSO ADVISED THAT ALL UTILITIES DISTURBED DURING CONSTRUCTION MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

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**BOHLER ENGINEERING**  
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FORT LAUDERDALE, FL

**B.A. BOHLER**  
Professional Engineer  
No. 088164  
FLORIDA LICENSE NO. 12345  
NEW YORK LICENSE NO. 12345

**McDonald's**

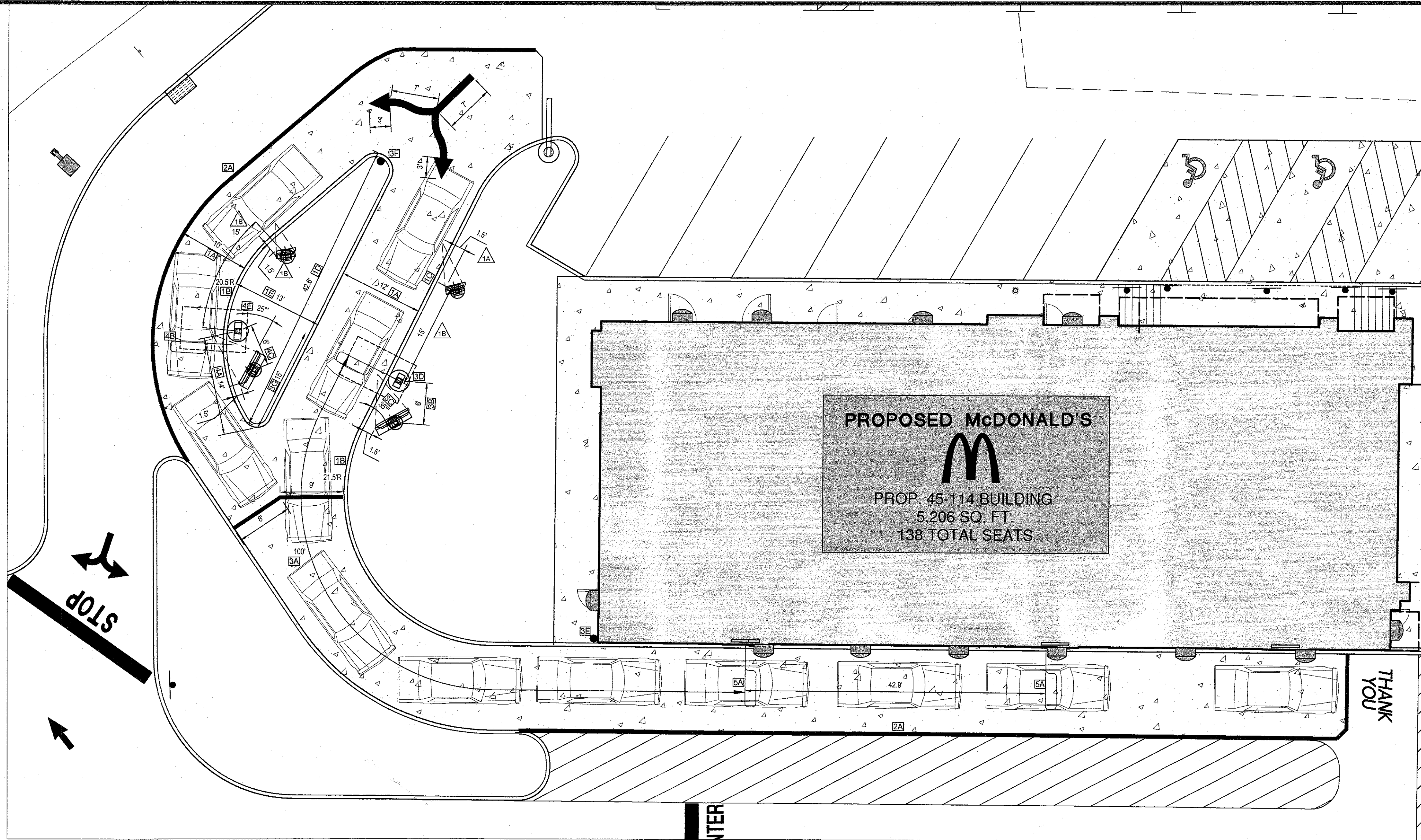
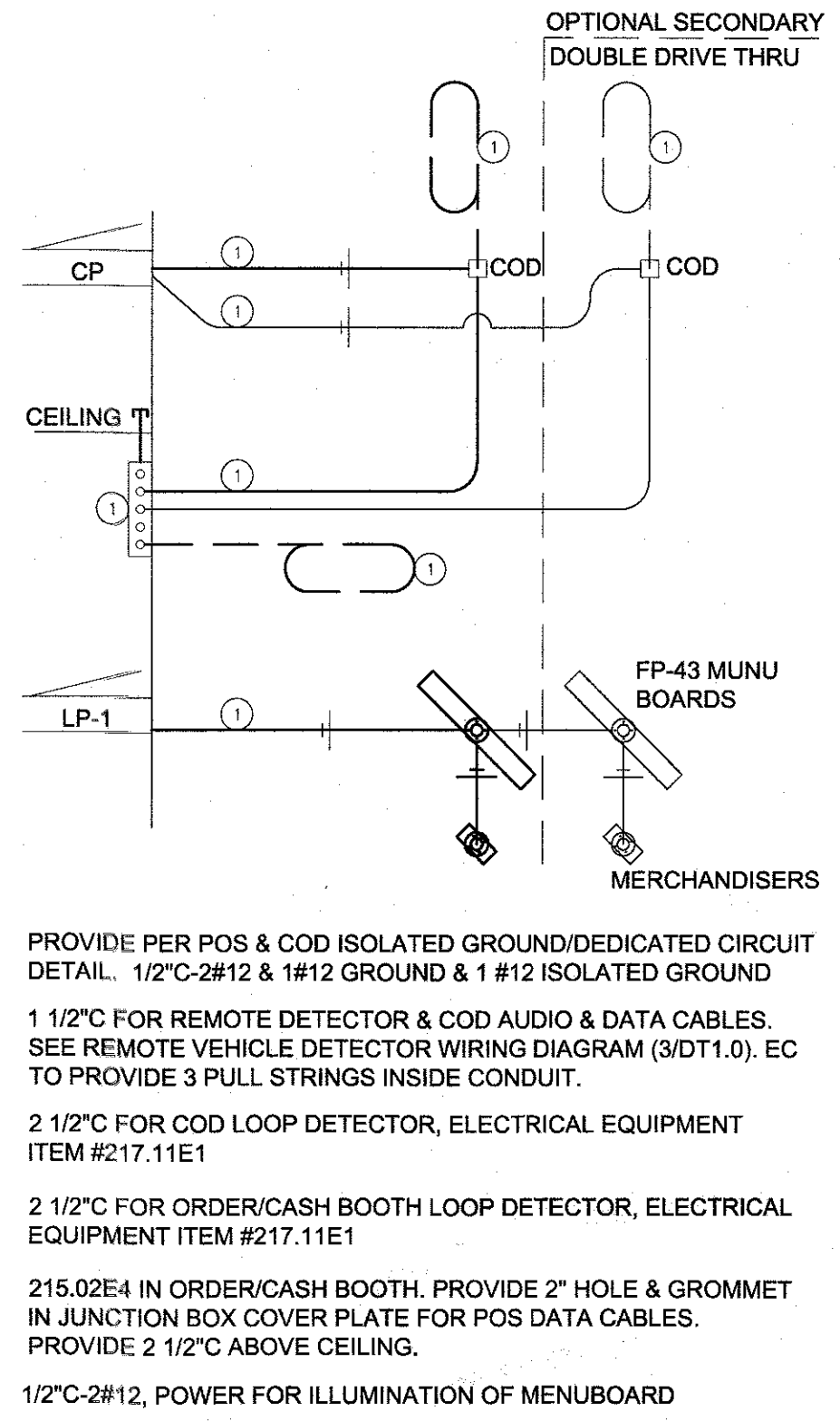
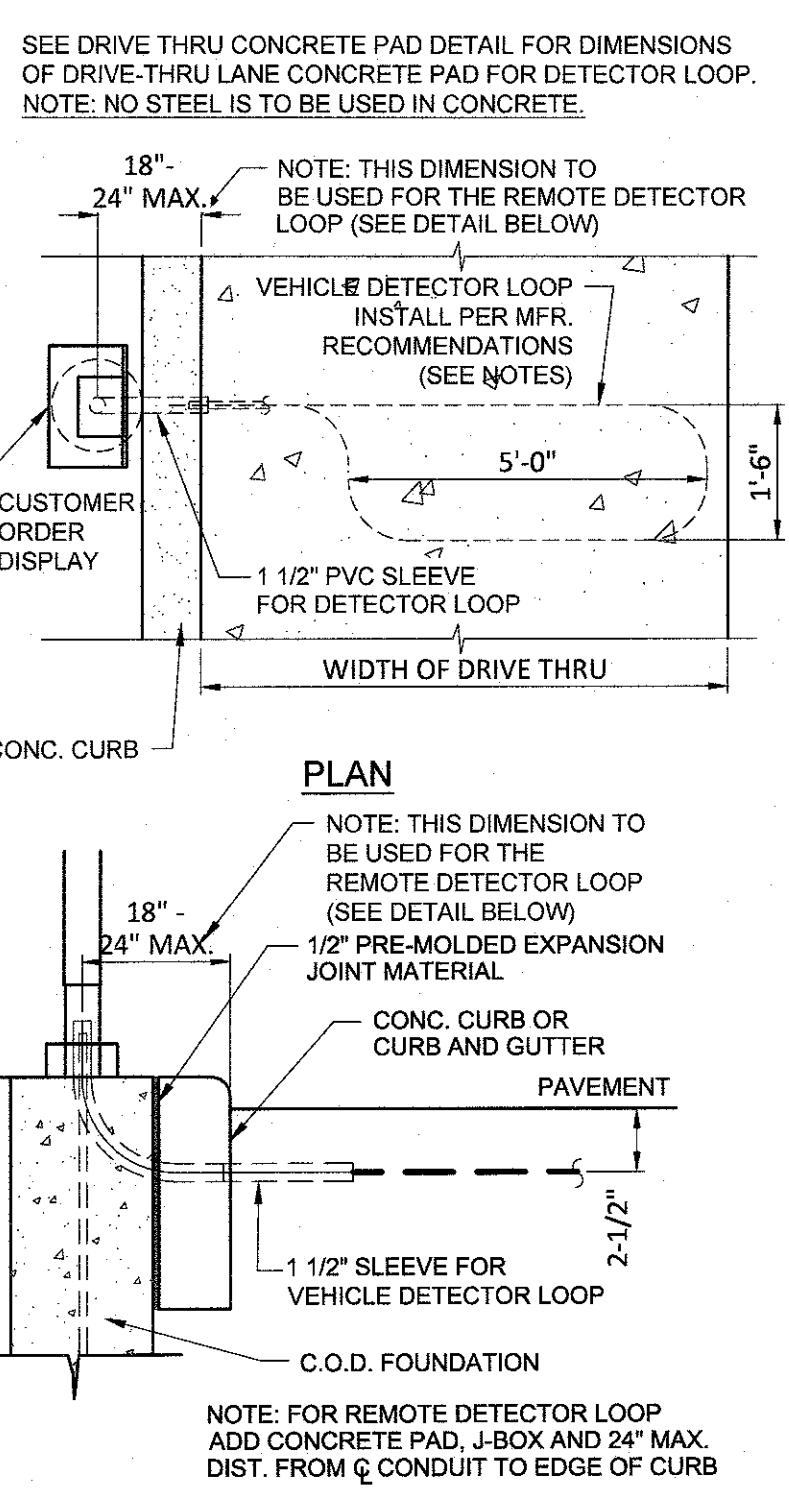
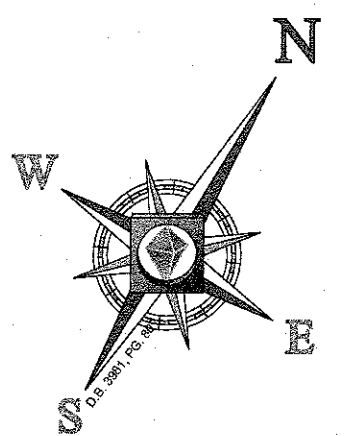
FINAL PLAN SIGNATURES	DATE	DESCRIPTION	BY	ISSUE REF
P.M.	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
G.C.	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS	APR	
O/O				

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	08/15/17	KF
REGIONAL MGR.		PLAN CHECKED	08/15/17	LM
CONST. MGR.		AS-BUILT	N/A	N/A
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR OWNER				

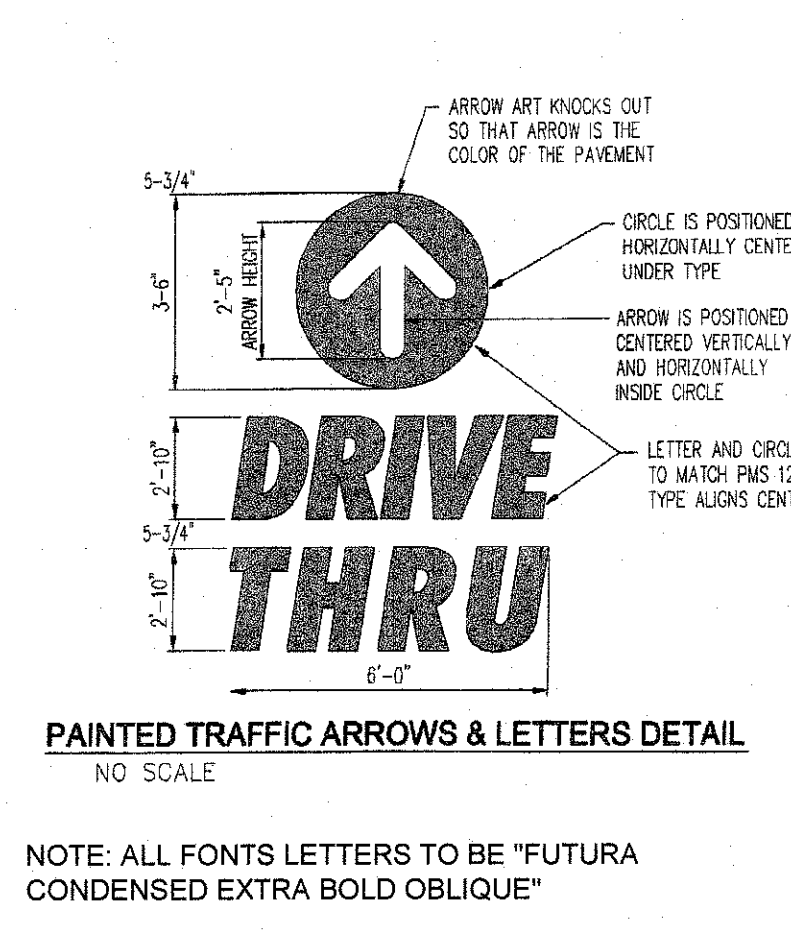
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**C-10**  
OF 17 REV. 2

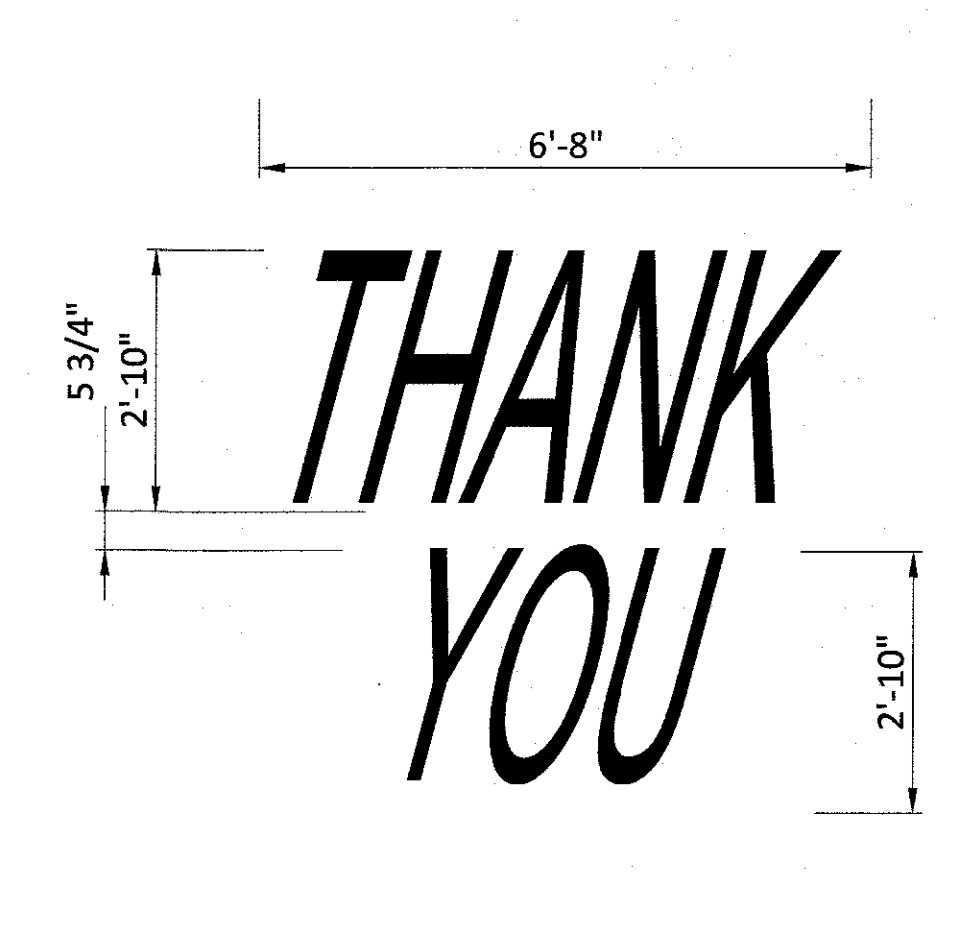




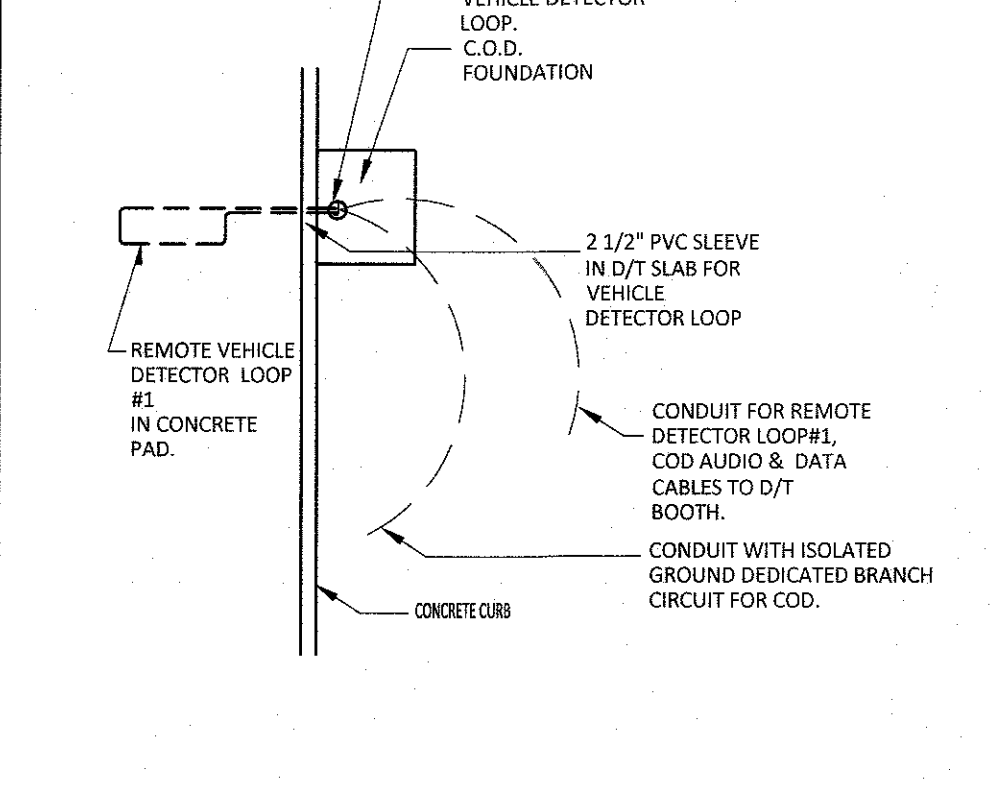
**1** AUTO DETECTOR LOOP DETAIL  
NOT TO SCALE (SOURCE: MCDONALD'S)



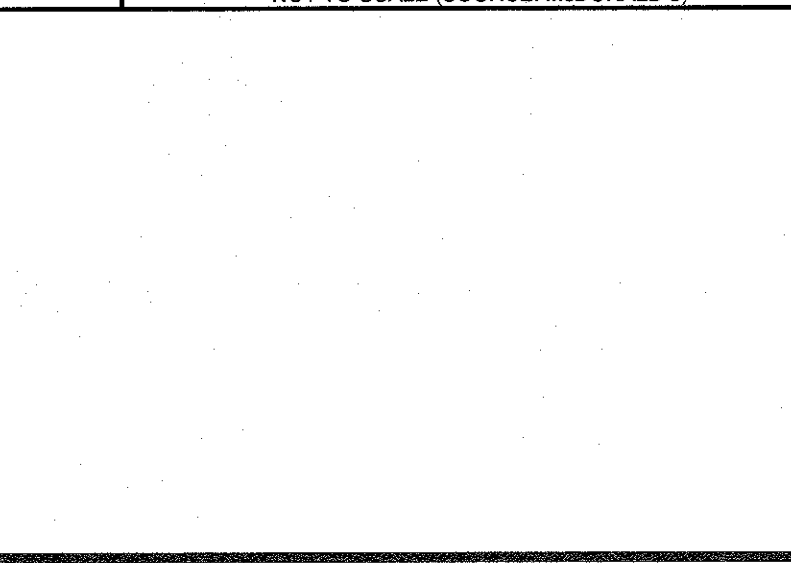
**2** DRIVE-THRU SITE WIRING DIAGRAM  
NOT TO SCALE (SOURCE: MCDONALD'S)



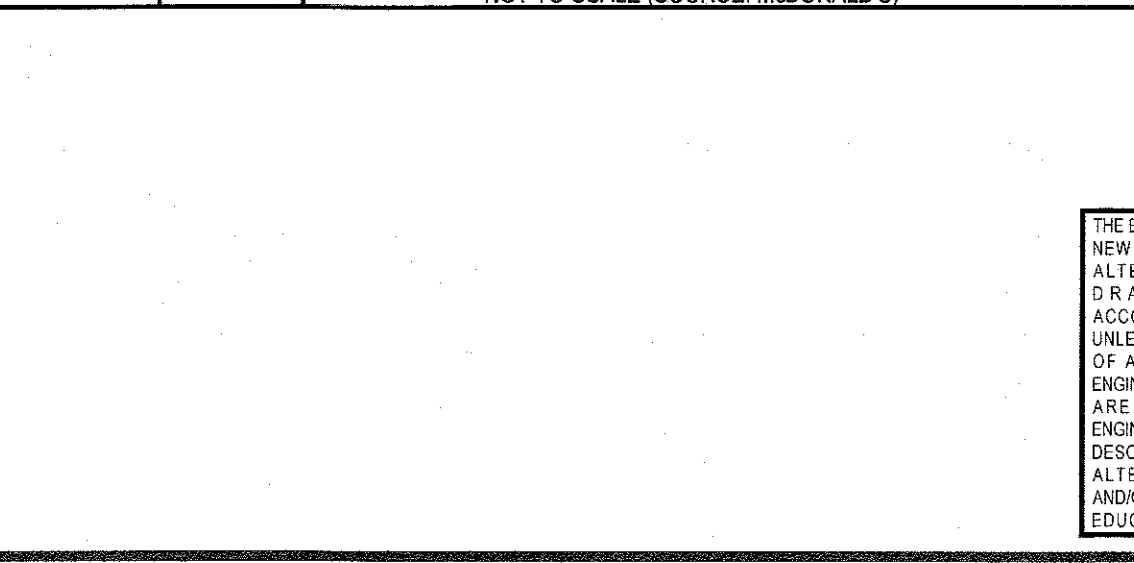
**3** DRIVE-THRU PAVEMENT MARKING  
NOT TO SCALE (SOURCE: MCDONALD'S)



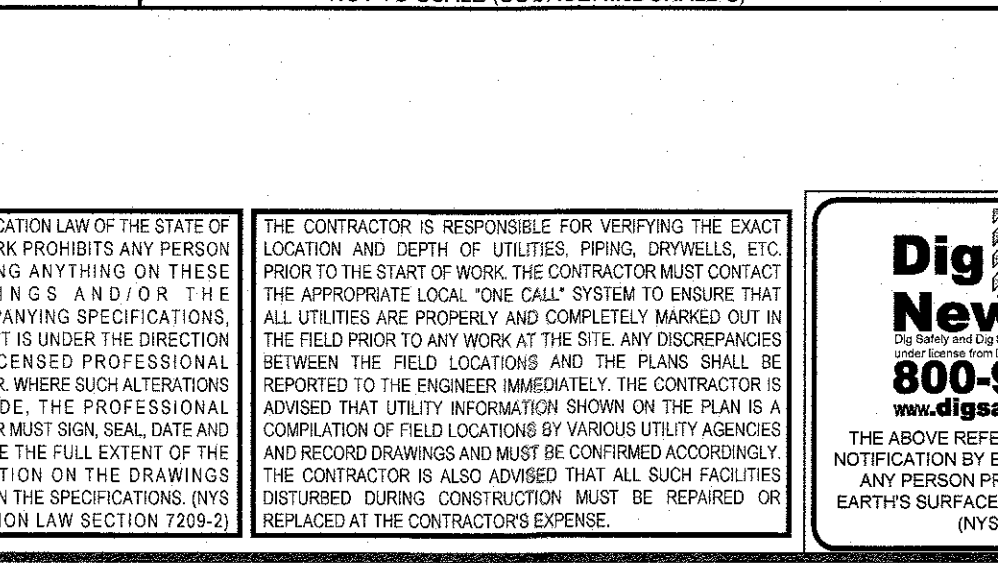
**4** 'THANK YOU' PAVEMENT MARKING  
NOT TO SCALE (SOURCE: MCDONALD'S)



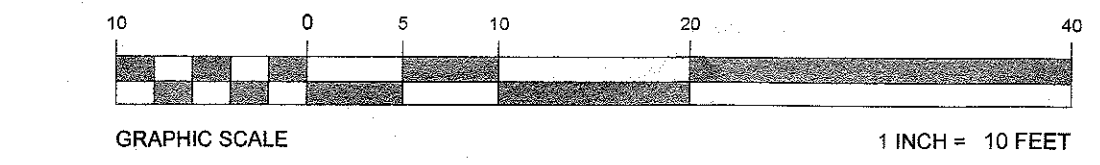
**5** AUTO DETECTOR WIRING DIAGRAM  
NOT TO SCALE (SOURCE: MCDONALD'S)



**6** SIDE BY SIDE DRIVE-THRU STANDARD A  
NOT TO SCALE (SOURCE: MCDONALD'S)



**DRIVE-THRU ENLARGEMENT**  
SCALE: 1" = 10'



**SIDE BY SIDE DRIVE-THRU STANDARD A**

1. SIDE BY SIDE DRIVE-THRU STANDARD A CURBING DETAILS:
  - 1A) DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0" LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0", 10' & 12" SHOWN, COMPLIES
  - 1B) THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB. 21.5' SHOWN, COMPLIES
  - 1C) PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER). COMPLIES
  - 1D) THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 38'-48". THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. 42.5' SHOWN, COMPLIES
  - 1E) THE ISLAND WIDTH SHOULD BE 15' AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB). 13' SHOWN, COMPLIES
2. SIDE BY SIDE DRIVE-THRU STANDARD A PAVEMENT MARKINGS:
  - 2A) 6" WIDE YELLOW PAINT STRIPS TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE 'MCDONALD'S GATEWAY' IS LOCATED. COMPLIES
  - 2B) DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7" SHAFT, 7" ARROW STEM AND 3" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE. COMPLIES
  - 2C) MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY WOULD MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 8'-0" AND OFFSETTING THE OUTER LANE BACK OF CURB 11'-0" AT THE INTERSECTION OF THESE OFFSETS. A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE. COMPLIES
3. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR PRIMARY LANE:
  - 3A) MIN. 60' (+5' 60' 48") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN CASH BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20' INCREMENTS (+/- 5' FOR 60', 100' & 120') TO A MAX. OF 120'. 100' IS OPTIONAL. 100' SHOWN, COMPLIES
  - 3B) THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (6'-0" MIN. AND 8'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION. 6'-0' SHOWN, COMPLIES
  - 3C) THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE APPROXIMATELY 25' TO 35' ANGLE FROM A CAR POSITIONED AT THE COD TO MAXIMIZE SECOND CAR VIEWING. 35' SHOWN, COMPLIES
  - 3D) AUGER 'MCDONALD'S ORDER HERE CANOPY' FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES

4. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR SECONDARY LANE:
  - 4A) TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDDLE OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD. 14' SHOWN, COMPLIES
  - 4B) THE LOOP DETECTOR IS TO BE 2' FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE. COMPLIES
  - 4C) THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 12" FROM THE FACE OF THE CURB. 6'-0' SHOWN, COMPLIES
  - 4D) AUGER 'MCDONALD'S ORDER HERE CANOPY' FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
  - 4E) THE SECONDARY MENU SHALL BE AT AN ANGLE OF APPROXIMATELY 25' FROM A VEHICLE POSITIONED AT THE COD WITH 100% VISIBILITY. 25' SHOWN, COMPLIES
5. SIDE BY SIDE DRIVE-THRU STANDARD D DETECTOR LOOP:
  - 5A) DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS.

**SIDE BY SIDE DRIVE-THRU STANDARD A OPTIONAL FEATURES:**

1. SIDE BY SIDE DRIVE-THRU STANDARD A OPTIONAL EQUIPMENT:

PRE-SELL BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-SELL BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-SELL BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-SELL BOARD SHOULD MAXIMIZE VISIBILITY TO THE THIRD CAR FROM COD. COMPLIES
2. PRE-SELL BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-SELL BOARD IS TO BE 15' AS MEASURED ALONG FACE OF CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-SELL BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35'). COMPLIES

REGIONAL MGR.	CONTRACT MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR OWNER

BY	ISSUE REF	DESCRIPTION
ATK		REV PER TOWNSHIP COMMENTS
APR		REV PER TOWNSHIP ENGINEER COMMENTS

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ISELIN, NJ 08830 (732) 623-6500

DATE	DATE	BY

SIGNATURE (2 REQUIRED)	DATE	STATUS	DATE	BY
		PRELIMINARY	08/15/17	KF
		PLAN CHECKED	08/15/17	LM
		AS-BUILT	N/A	N/A

REGIONAL DWG NO: 031-0145  
PLAN DESCRIPTION: DRIVE-THRU PLAN & DETAILS  
CAD FILE: J110260-SPR-2A

**C-11**  
OF 17 REV. 2

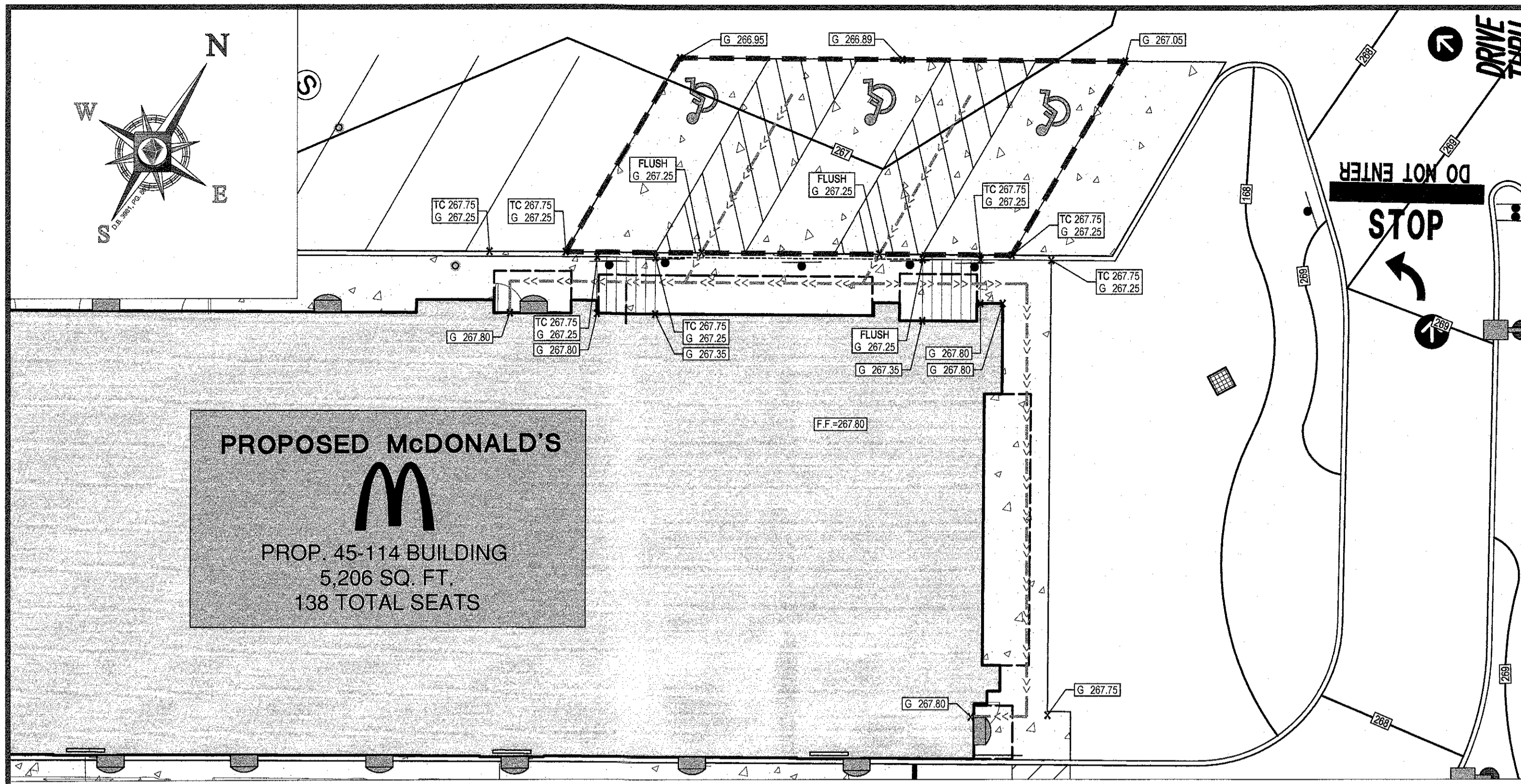
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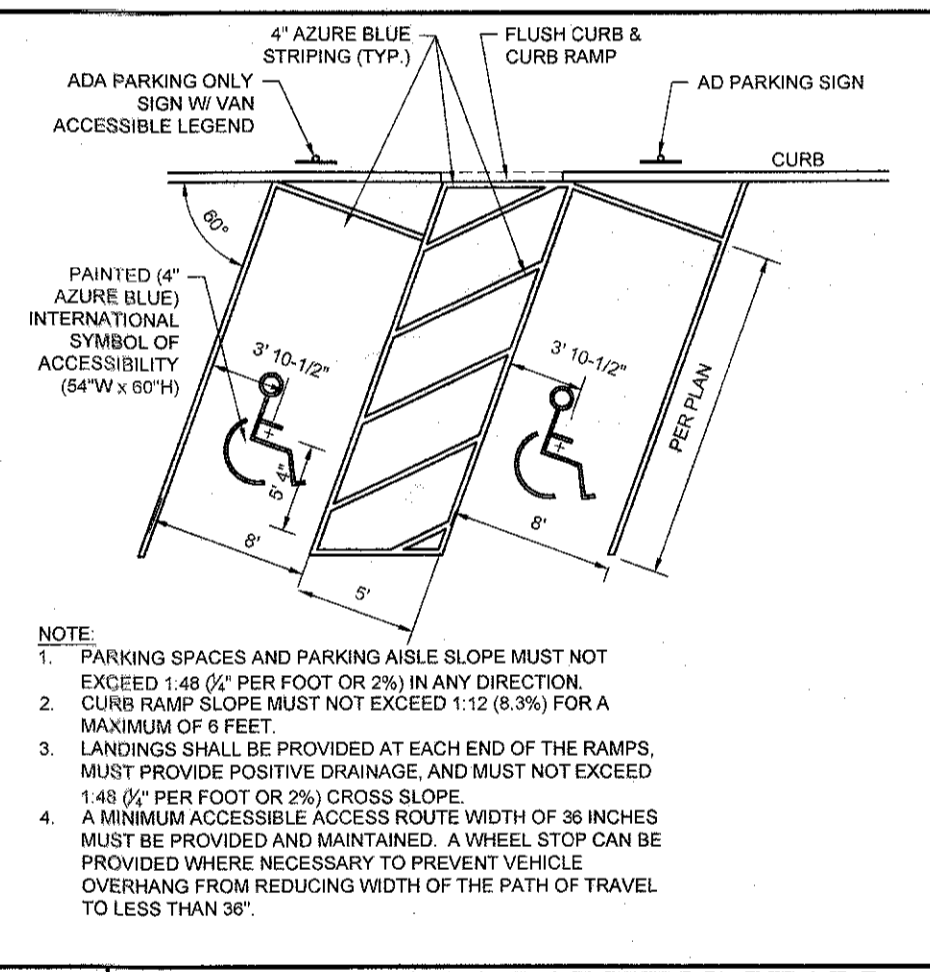
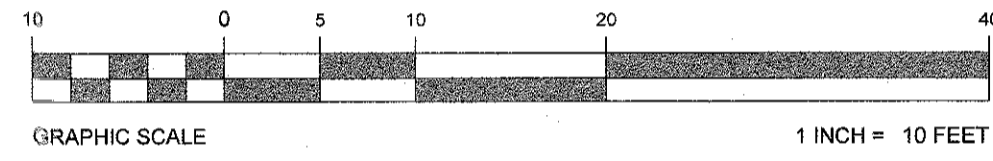
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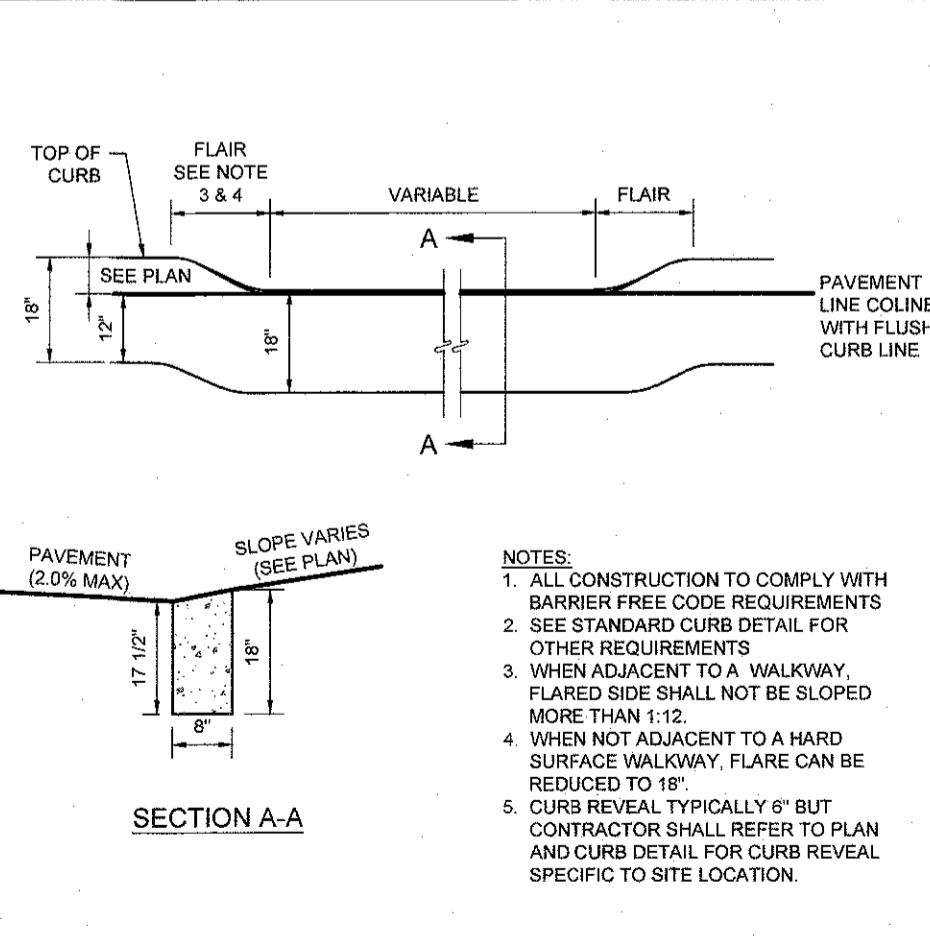


**ADA ENLARGEMENT**

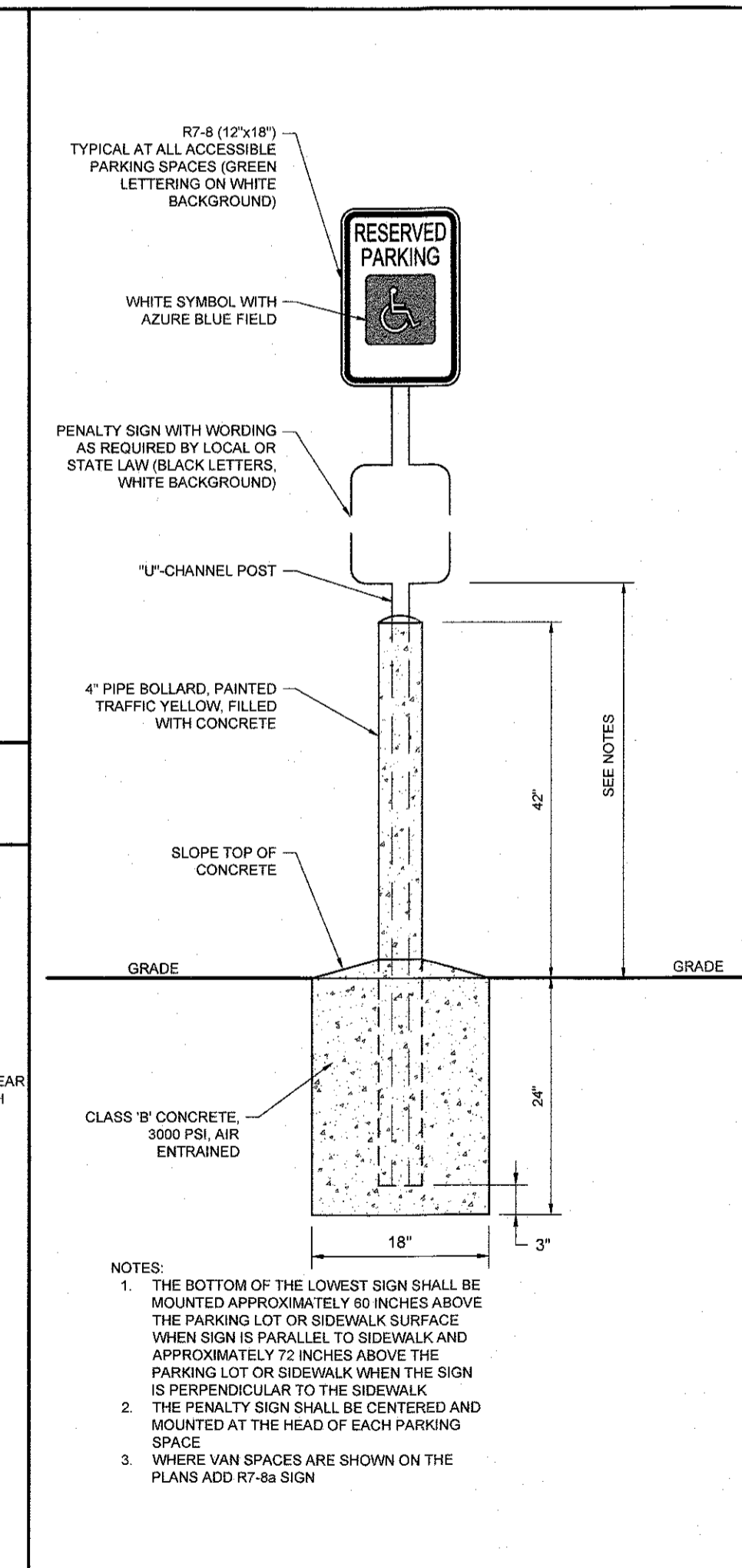
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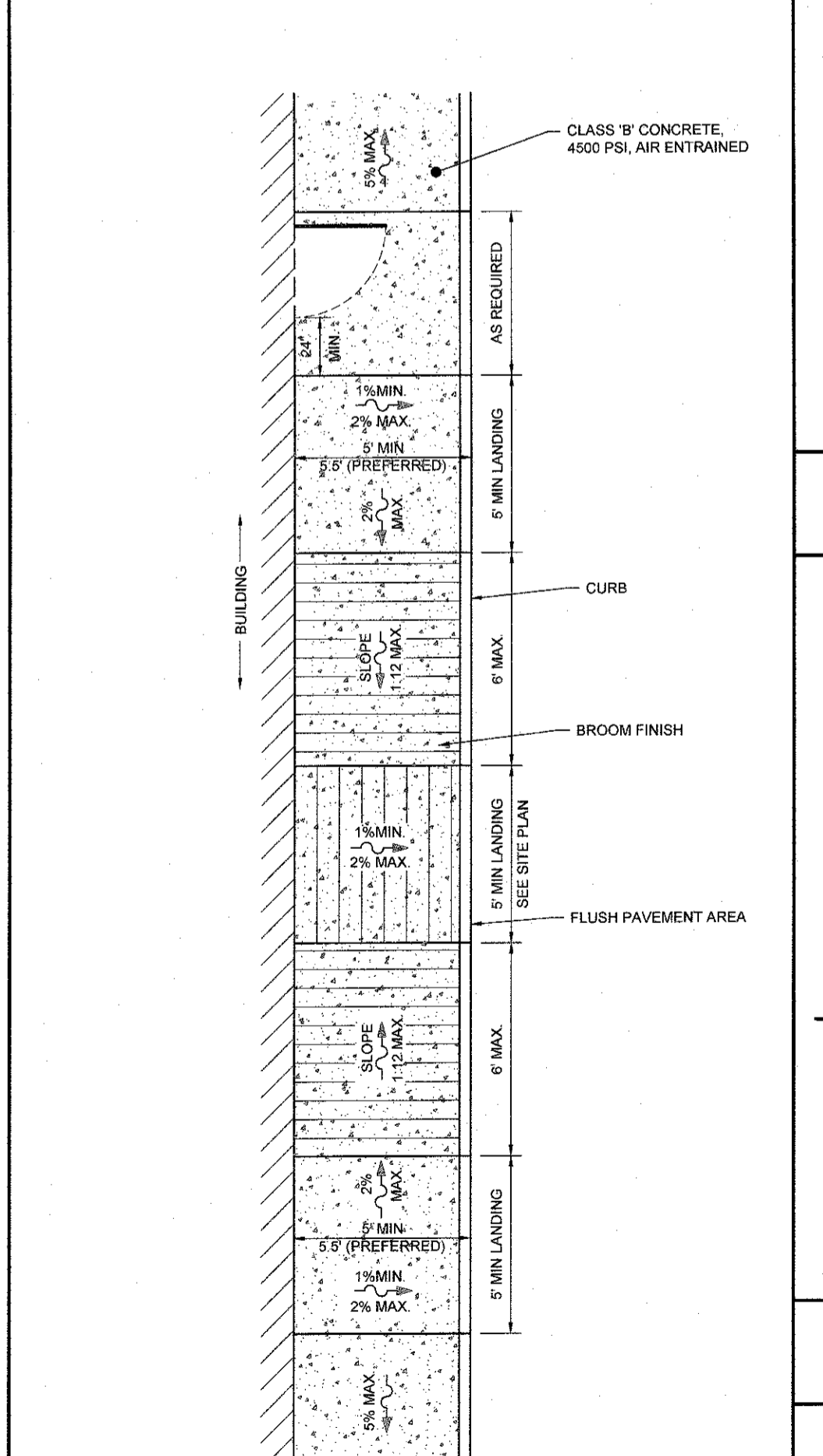
**2 ANGLED ADA PARKING STALL MARKING DETAIL**  
NOT TO SCALE (S070301-01-09/2017)



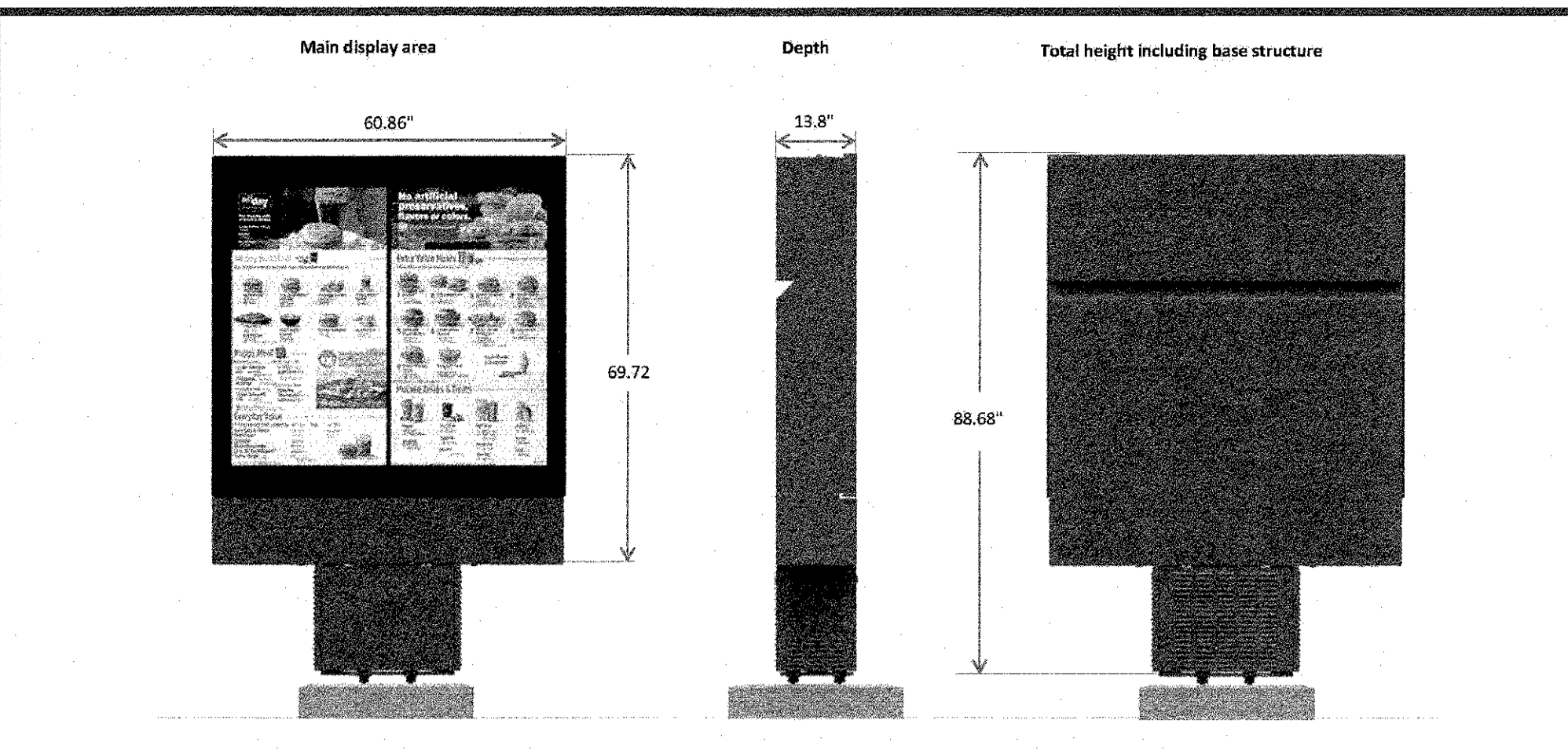
**3 ADA FLUSH CURB DETAIL**  
NOT TO SCALE (S039904-01/2013)



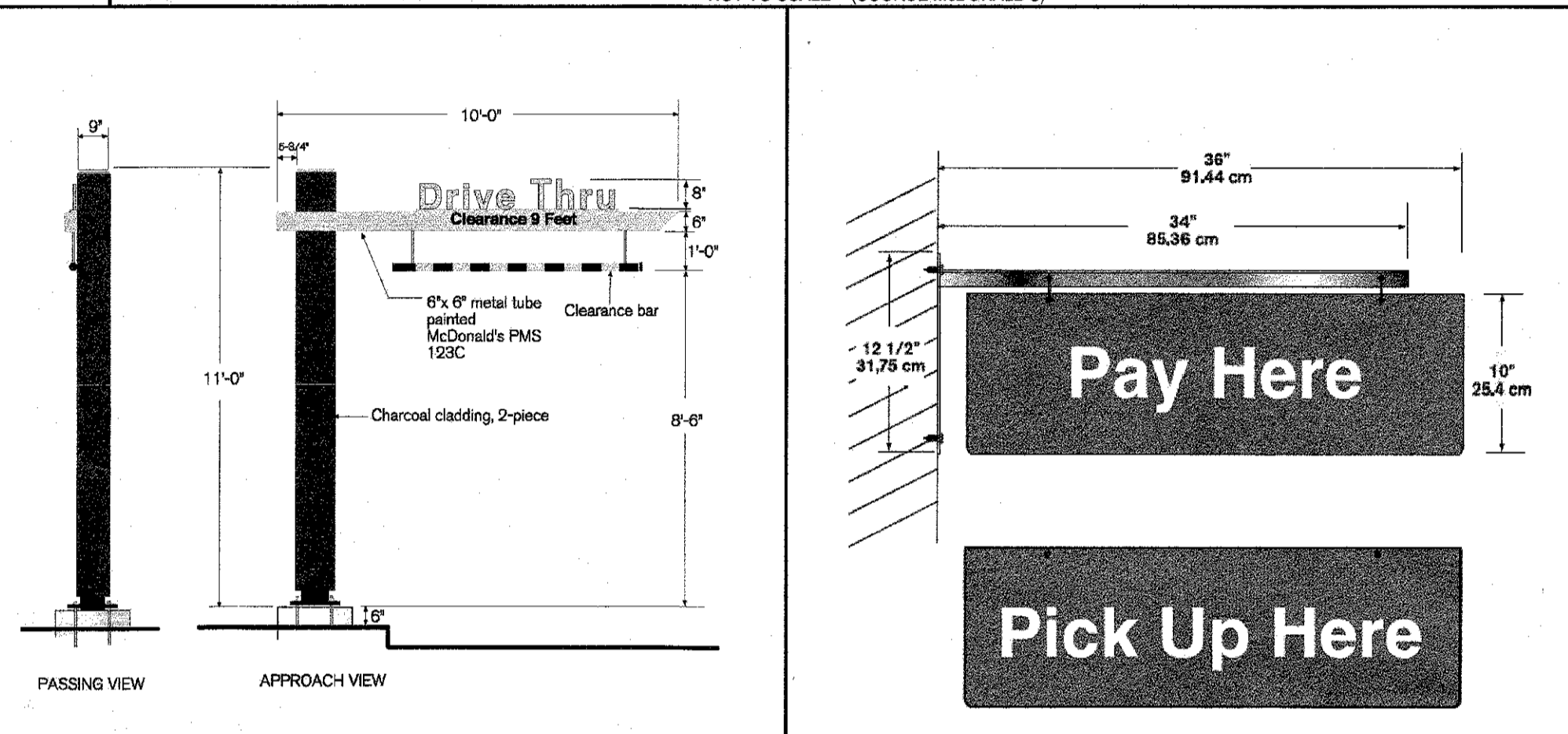
**4 ADA PARKING SIGN ON BOLLARD DETAIL**  
NOT TO SCALE (S070207-11/2016)



**1 ADA RAMP ALONG BUILDING DETAIL**  
NOT TO SCALE (S070104-01/2013)

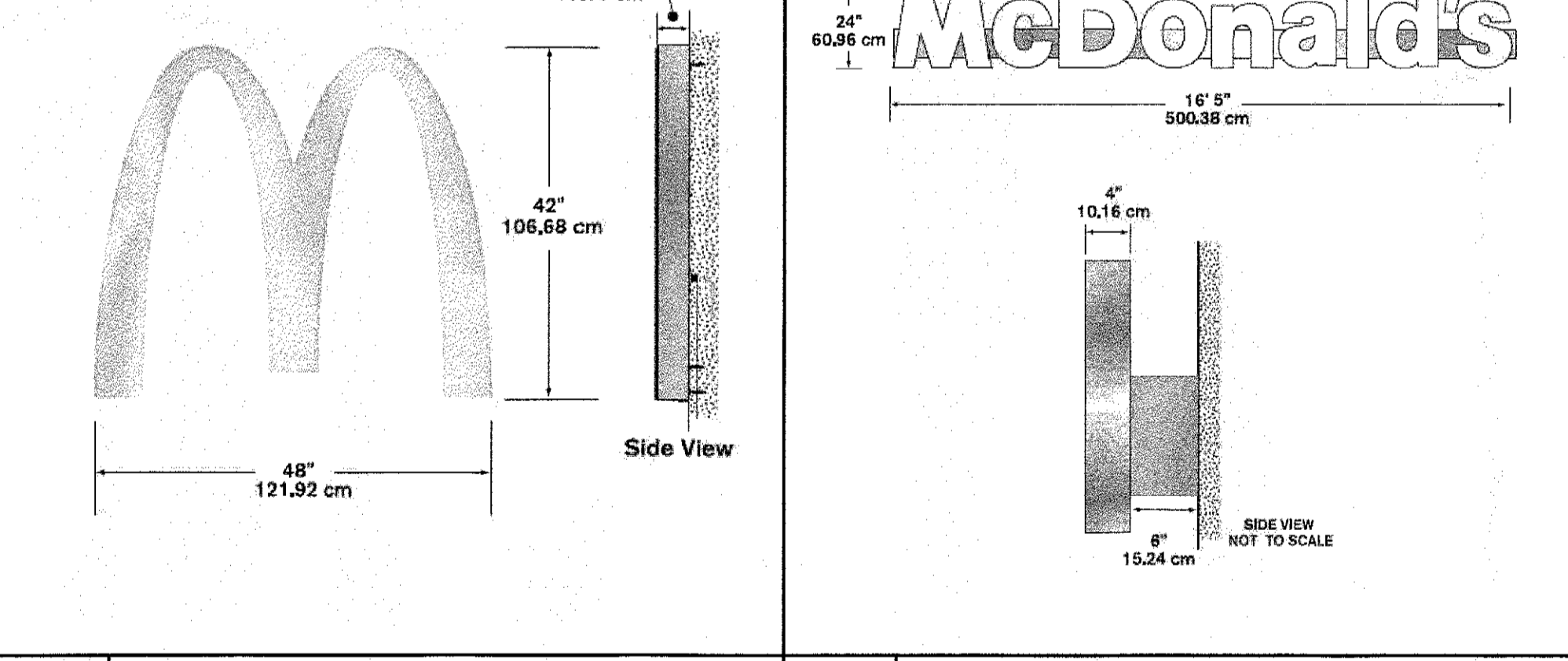


**A MENU BOARD SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)



**B PRESALE MENU BOARD**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**C GATEWAY SIGN (3.30 SF)**  
NOT TO SCALE (SOURCE: MCDONALD'S)



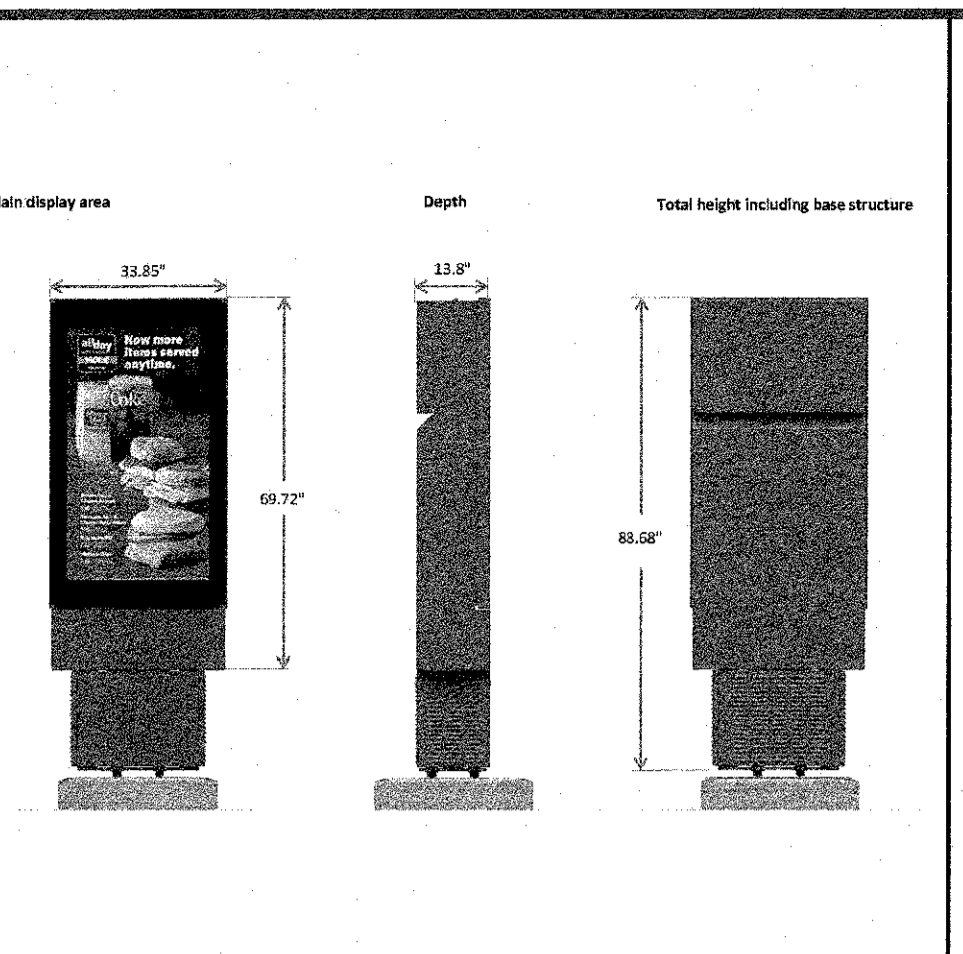
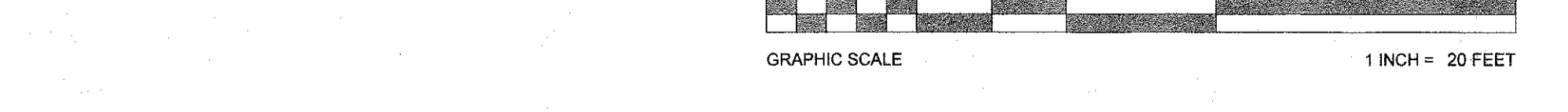
**D NEXT GEN WINDOW POSITION SIGNS**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**E NEXT GEN S2F DIRECTIONAL SIGNS**  
NOT TO SCALE (SOURCE: MCDONALD'S)

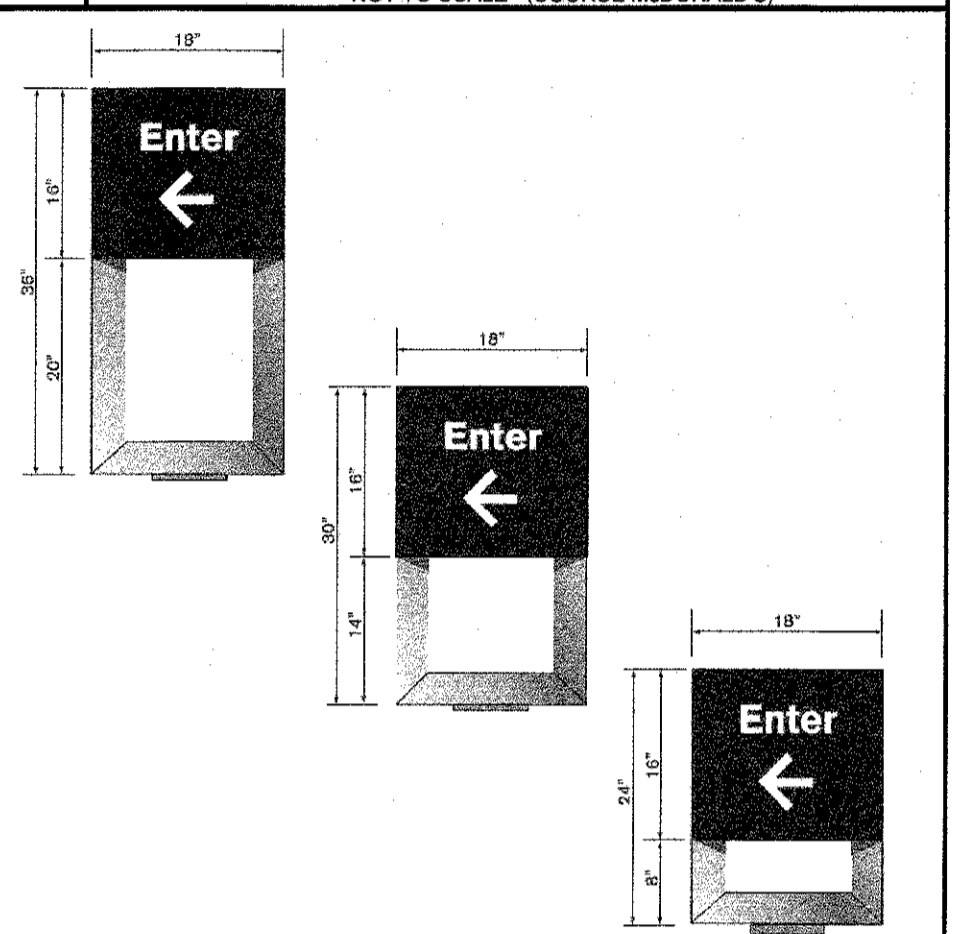
**F ARCH 'M' LOGO SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**G MCDONALD'S FACIA SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**H NON-ILLUMINATED WELCOME SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)



**B PRESALE MENU BOARD**  
NOT TO SCALE (SOURCE: MCDONALD'S)



**D NEXT GEN WINDOW POSITION SIGNS**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**E NEXT GEN S2F DIRECTIONAL SIGNS**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**F ARCH 'M' LOGO SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**G MCDONALD'S FACIA SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)

**H NON-ILLUMINATED WELCOME SIGN**  
NOT TO SCALE (SOURCE: MCDONALD'S)



ISSUE REF	BY	DESCRIPTION	DATE	REV	DATE	DESCRIPTION
	ATK	REV. PER TOWNSHIP COMMENTS	01/22/18	1		
	APR	REV. PER TOWNSHIP COMMENTS	02/15/18	2		

FINAL PLAN SIGNATURES	DATE	REV	DATE
P.M.			
G.C.			
O.O.			

PLAN APPROVALS	DATE	DATE	DATE
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR OWNER			

PROPOSED SITE IMPROVEMENTS	STATUS	DATE	BY
SECTION 76, BLOCK 1, LOT 1.1	PRELIMINARY	08/15/17	KF
STREET ADDRESS	PLAN CHECKED	08/15/17	LM
65 NORTH PLANK ROAD	AS-BUILT	N/A	N/A
CITY			
TOWN OF NEWBURGH			
COUNTY			
ORANGE			
STATE			
NY			
REGIONAL DWG. NO.	PLAN DESCRIPTION		
031-0145	ADA PLAN & DETAILS		

NOTE: DOOR OPENING MINIMUM DIMENSIONS AND LANDINGS MAY OVERLAP IF APPROVED BY BUILDING CODE OFFICIAL, BUT LESS DESIRABLE.

NOTE: 1. PARKING SPACES AND PARKING AISLE SLOPE MUST NOT EXCEED 1.48 (1/4") PER FOOT OR 2% IN ANY DIRECTION. 2. CURB RAMP SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF 6 FEET. 3. LANDINGS SHALL BE PROVIDED AT EACH END OF THE RAMP. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1.48 (1/4") PER FOOT OR 2% CROSS SLOPE. 4. A MINIMUM ACCESSIBLE ACCESS ROUTE WIDTH OF 36 INCHES MUST BE PROVIDED AND MAINTAINED. A WHEEL STOP CAN BE PROVIDED WHERE NECESSARY TO PREVENT VEHICLE OVERHANG FROM REDUCING WIDTH OF THE PATH OF TRAVEL TO LESS THAN 36".

NOTE: 1. THE BOTTOM OF THE LOWEST SIGN SHALL BE MOUNTED APPROXIMATELY 80 INCHES ABOVE THE PARKING LOT OR SIDEWALK SURFACE. WHEN SIGN IS PARALLEL TO SIDEWALK AND APPROXIMATELY 72 INCHES ABOVE THE PARKING LOT OR SIDEWALK WHEN THE SIGN IS PERPENDICULAR TO THE SIDEWALK. 2. THE PENALTY SIGN SHALL BE CENTERED AND MOUNTED AT THE HEAD OF EACH PARKING SPACE. 3. WHERE VAN SPACES ARE SHOWN ON THE PLANS ADD R7-8S SIGN.

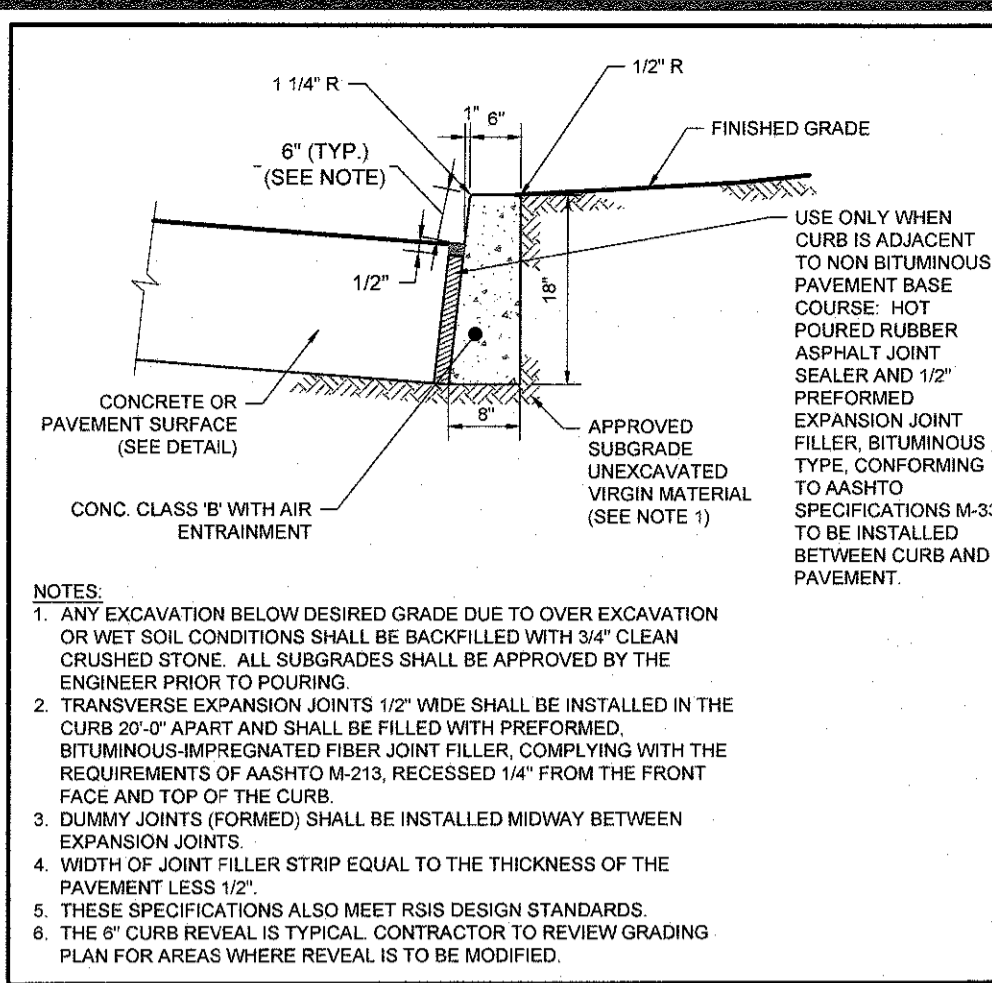
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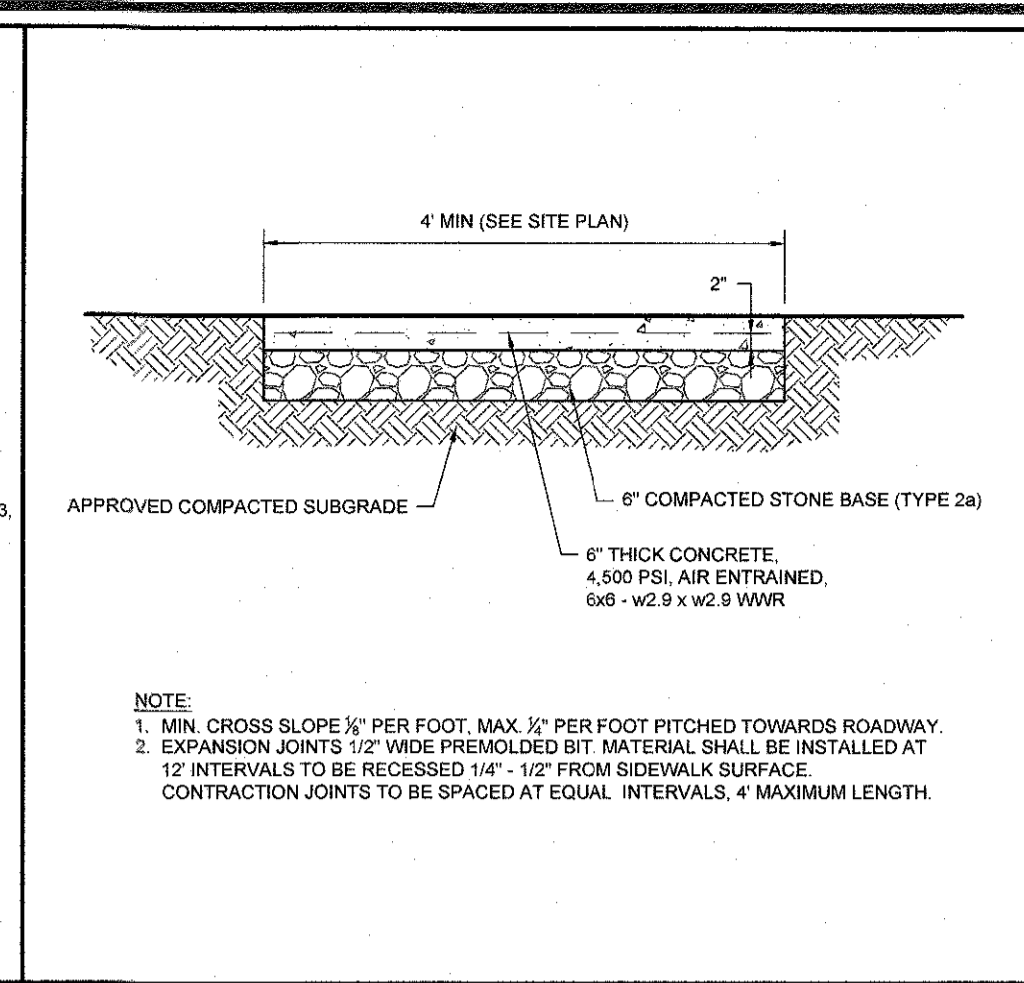
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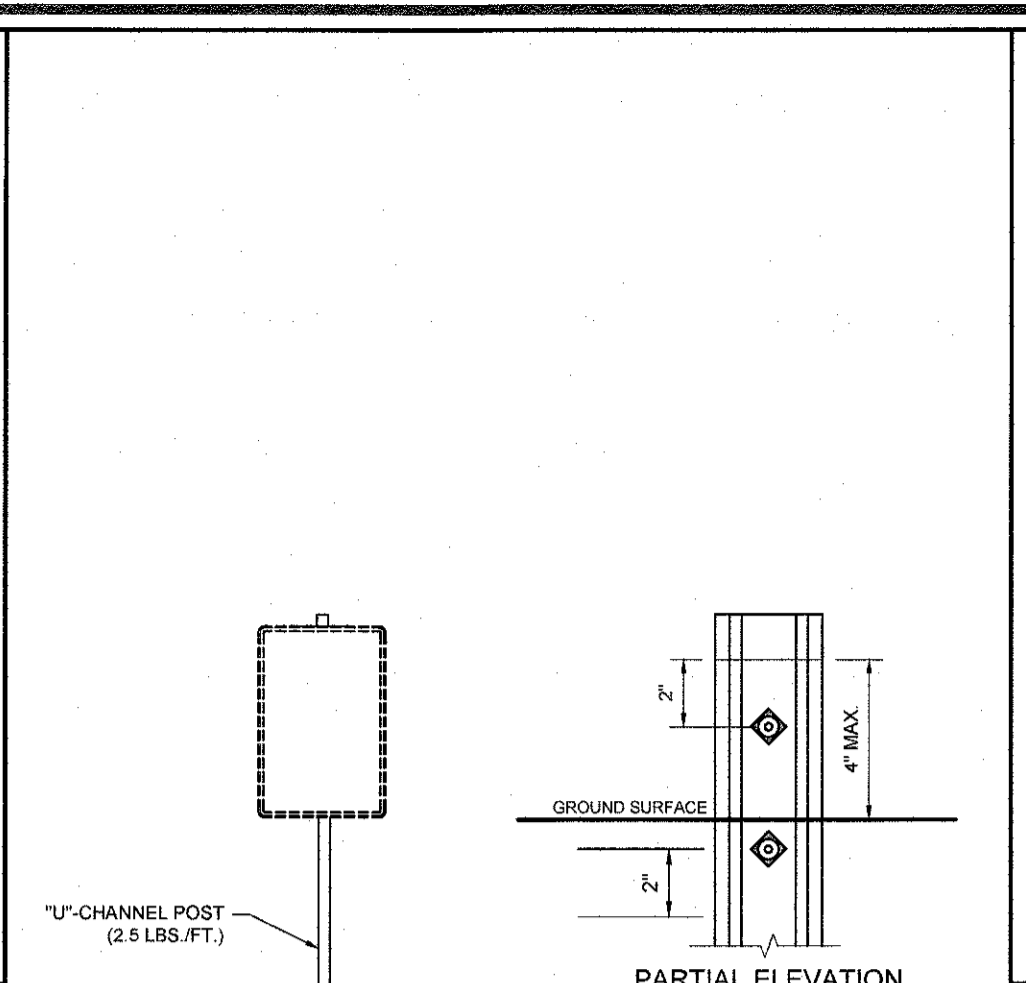
**C-12**  
OF 17 REV. 2



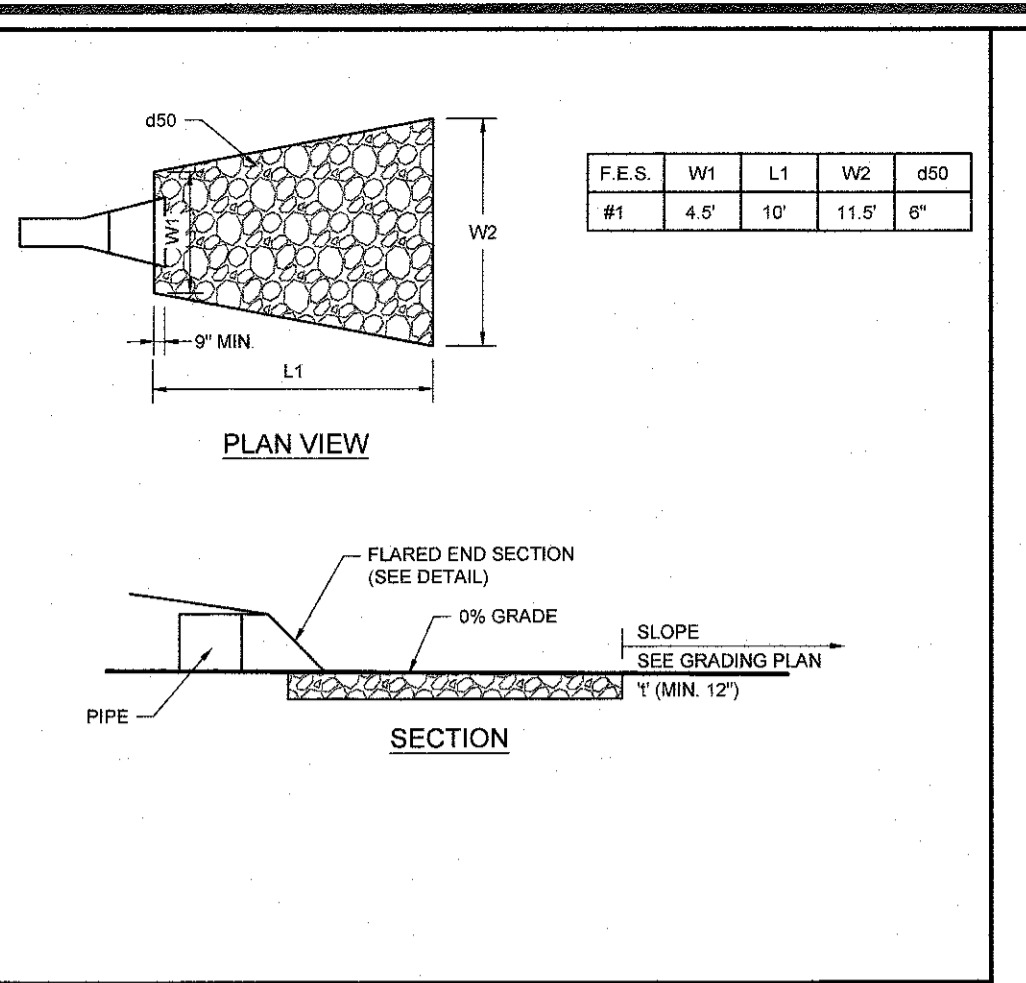
**1 CONCRETE CURB 6" REVEAL DETAIL**  
NOT TO SCALE (S030202-01/2013)



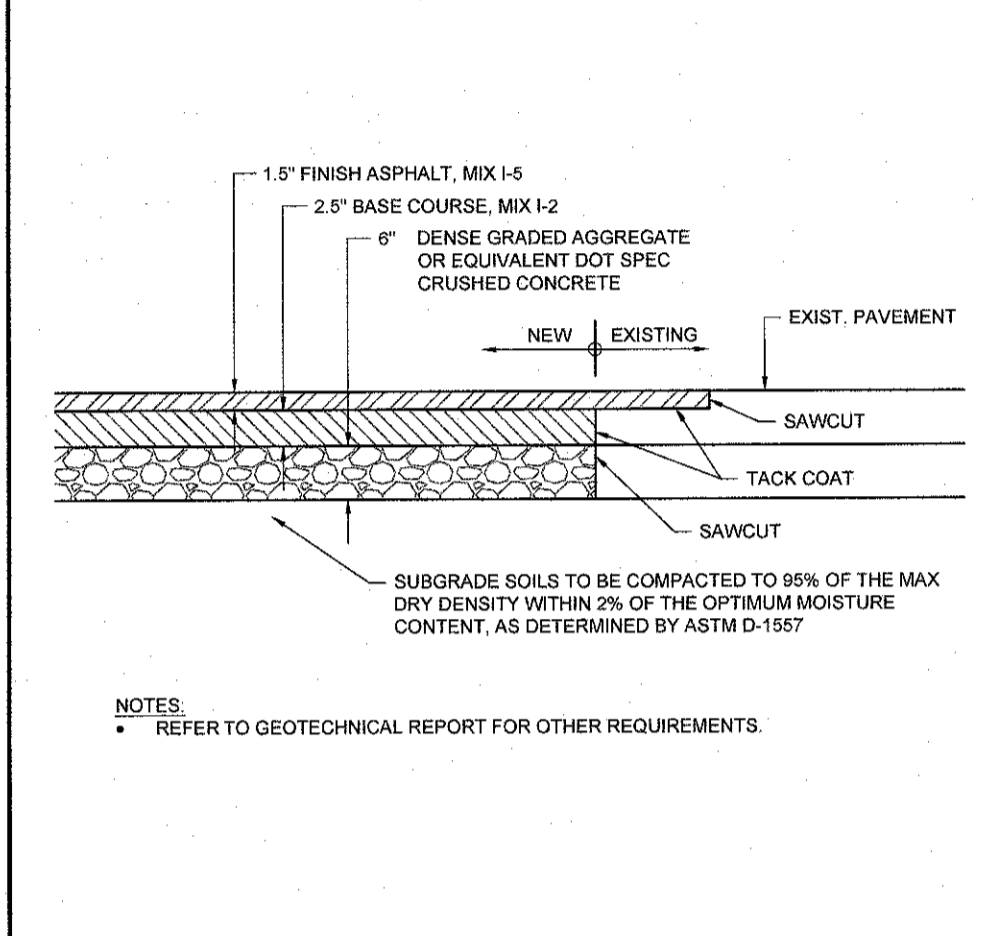
**2 CONCRETE SIDEWALK WITH STONE BASE DETAIL**  
NOT TO SCALE (S090105-8/2015)



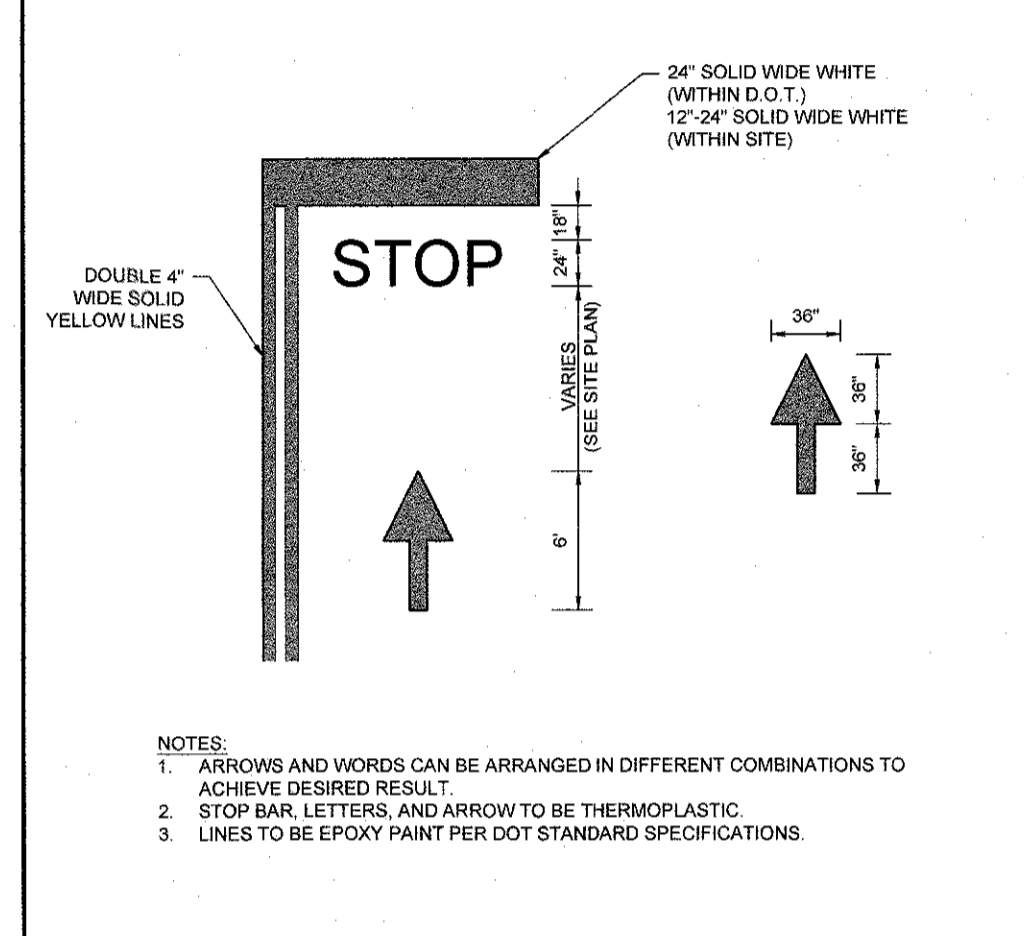
**3 FLARED END RIP RAP DETAIL**  
NOT TO SCALE (C099909-09/2016)



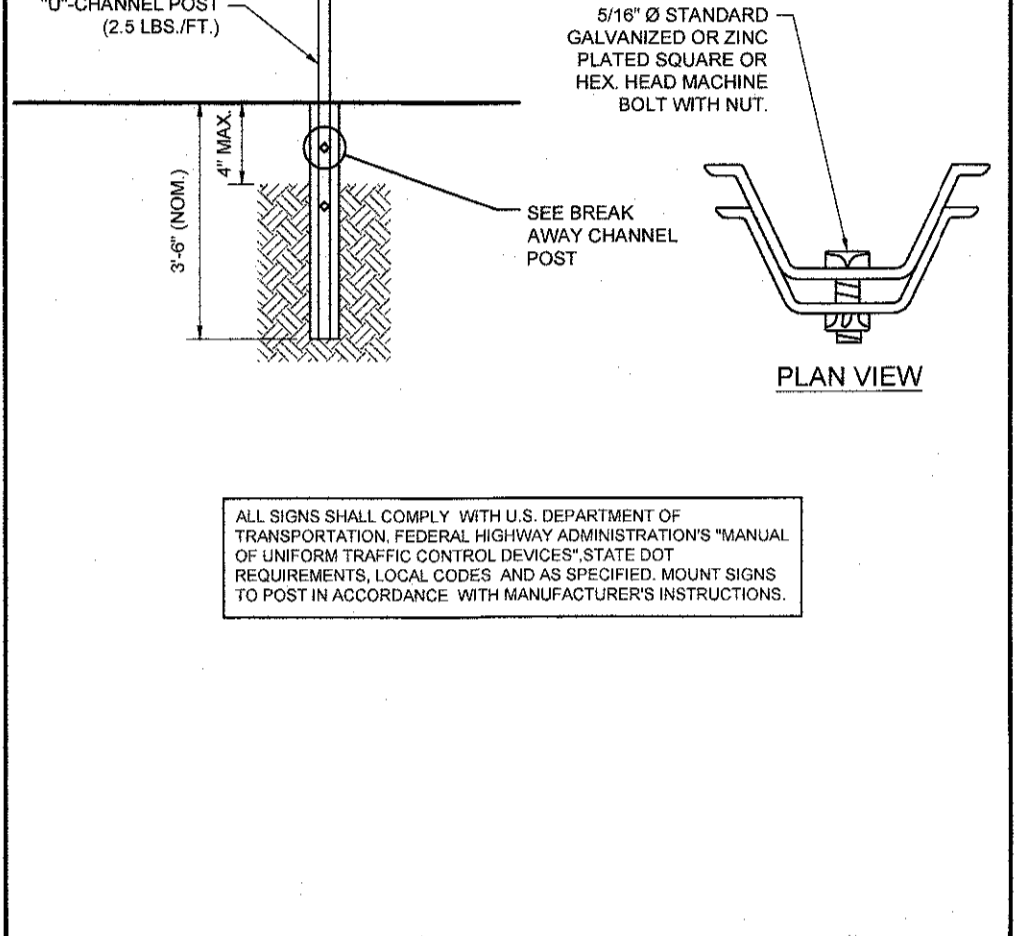
**4 WET TAP DETAIL**  
NOT TO SCALE (U049007-01/2013)



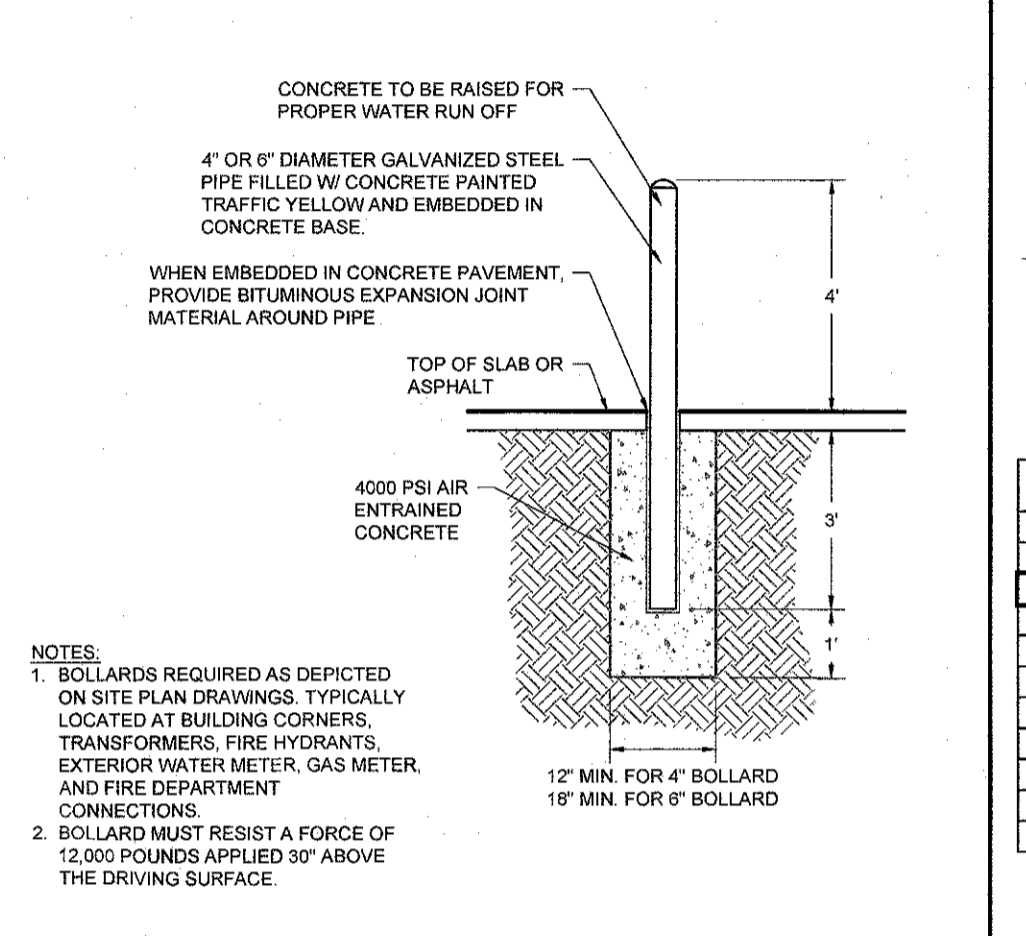
**5 STANDARD PAVING WITH BUTT JOINT DETAIL**  
NOT TO SCALE (S06103-01/2013)



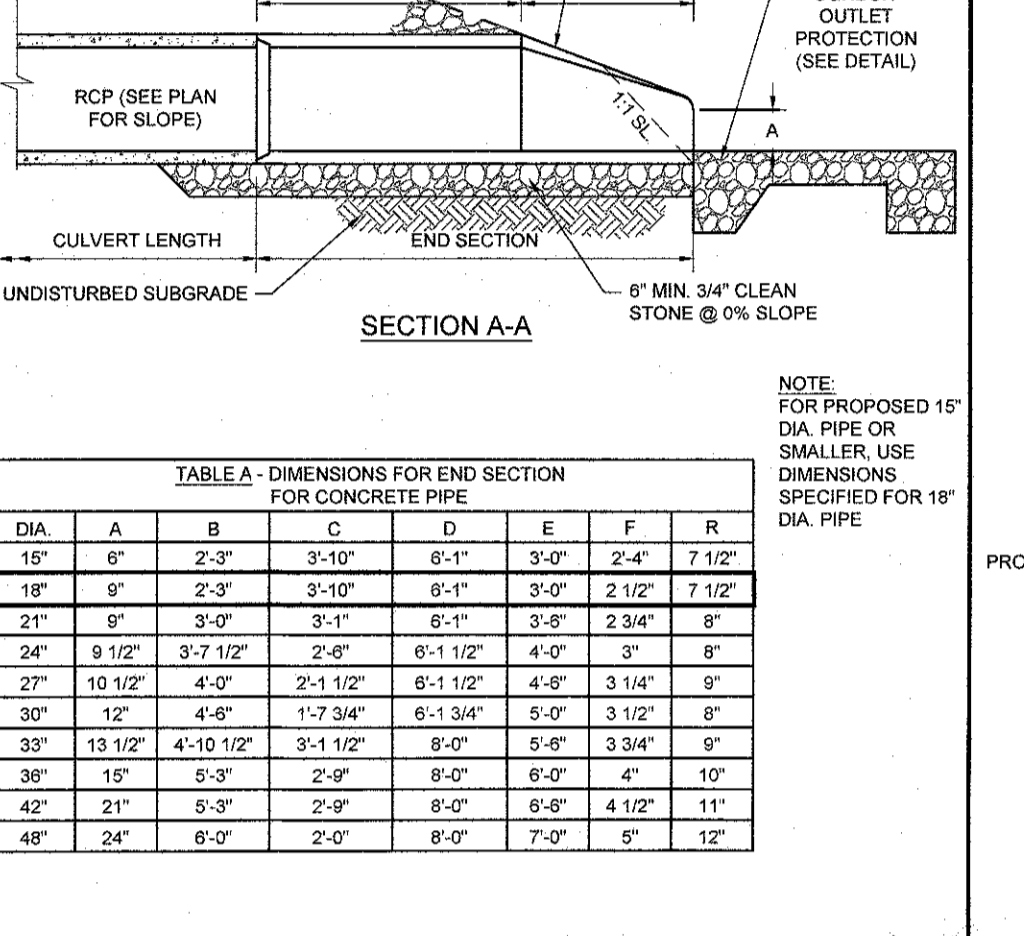
**6 PAINTED MARKING DETAILS**  
NOT TO SCALE (S080501-01/2013)



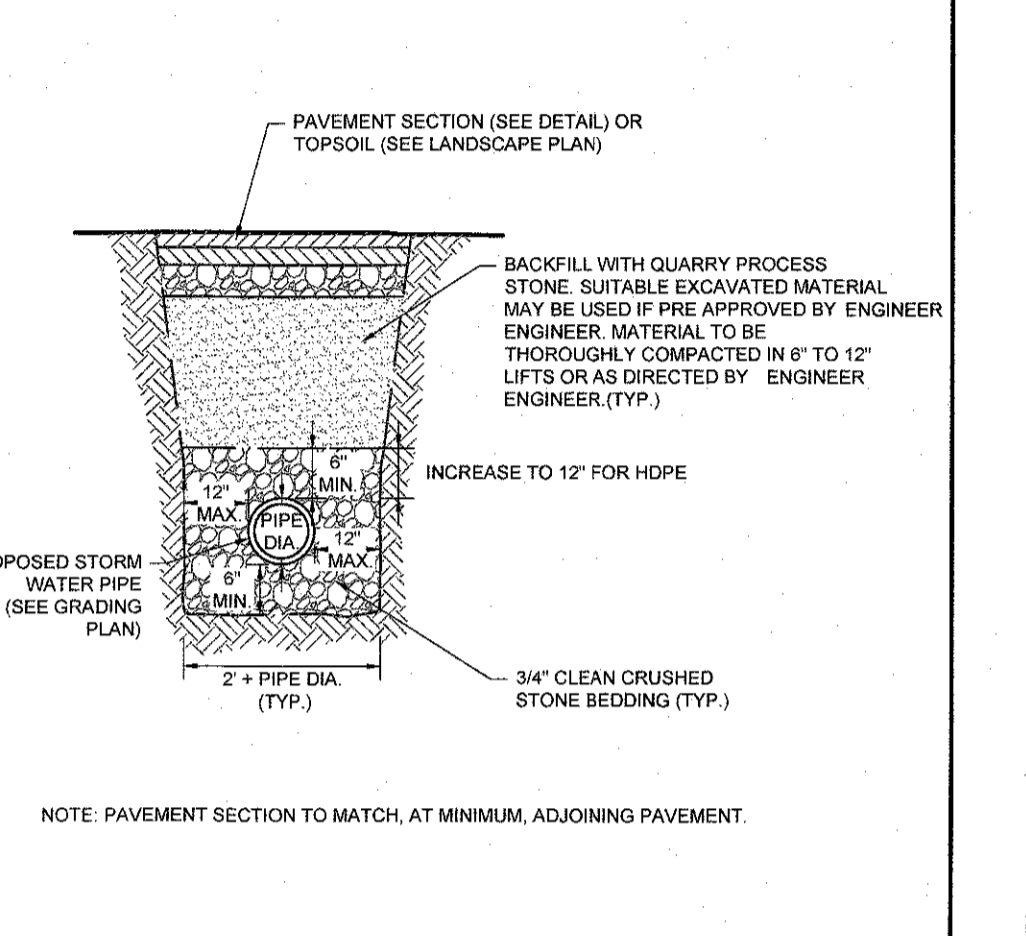
**7 BREAKAWAY SIGN POST DETAIL**  
NOT TO SCALE (S100202-01-01/2013)



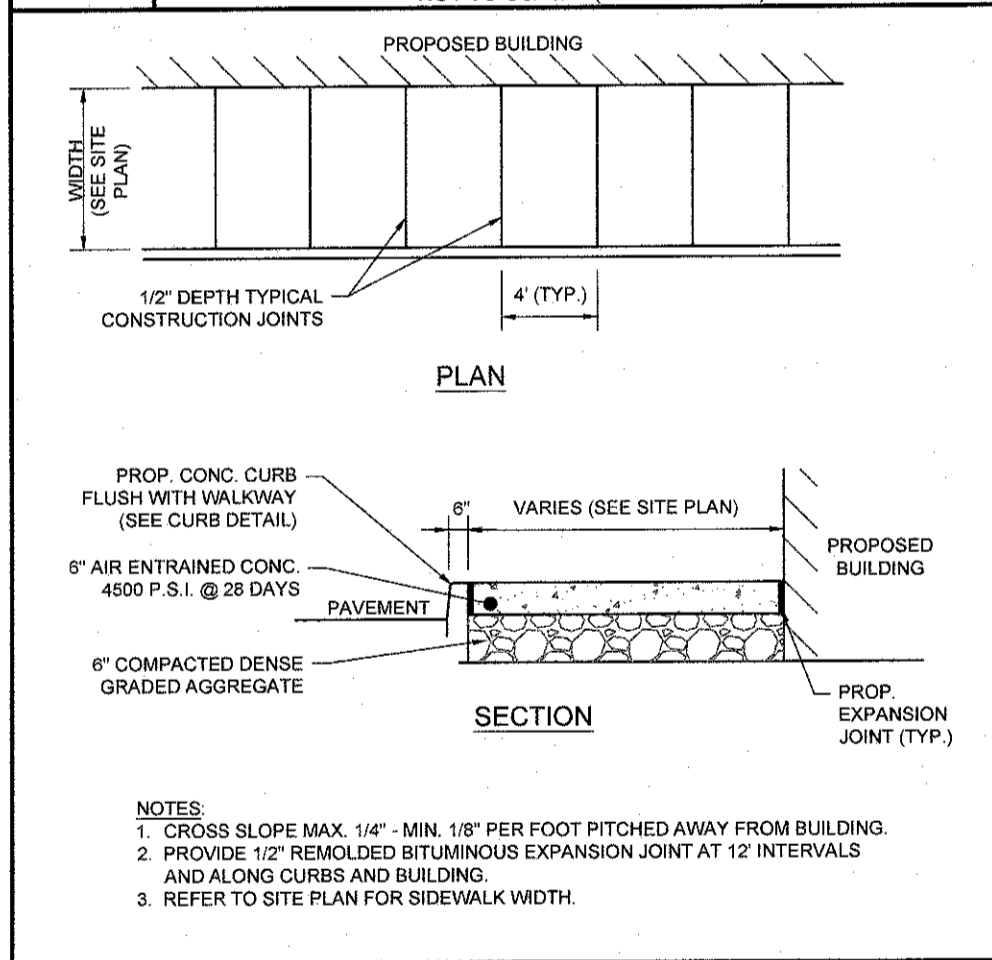
**8 4" OR 6" BOLLARD DETAIL**  
NOT TO SCALE (S010201-01/2013)



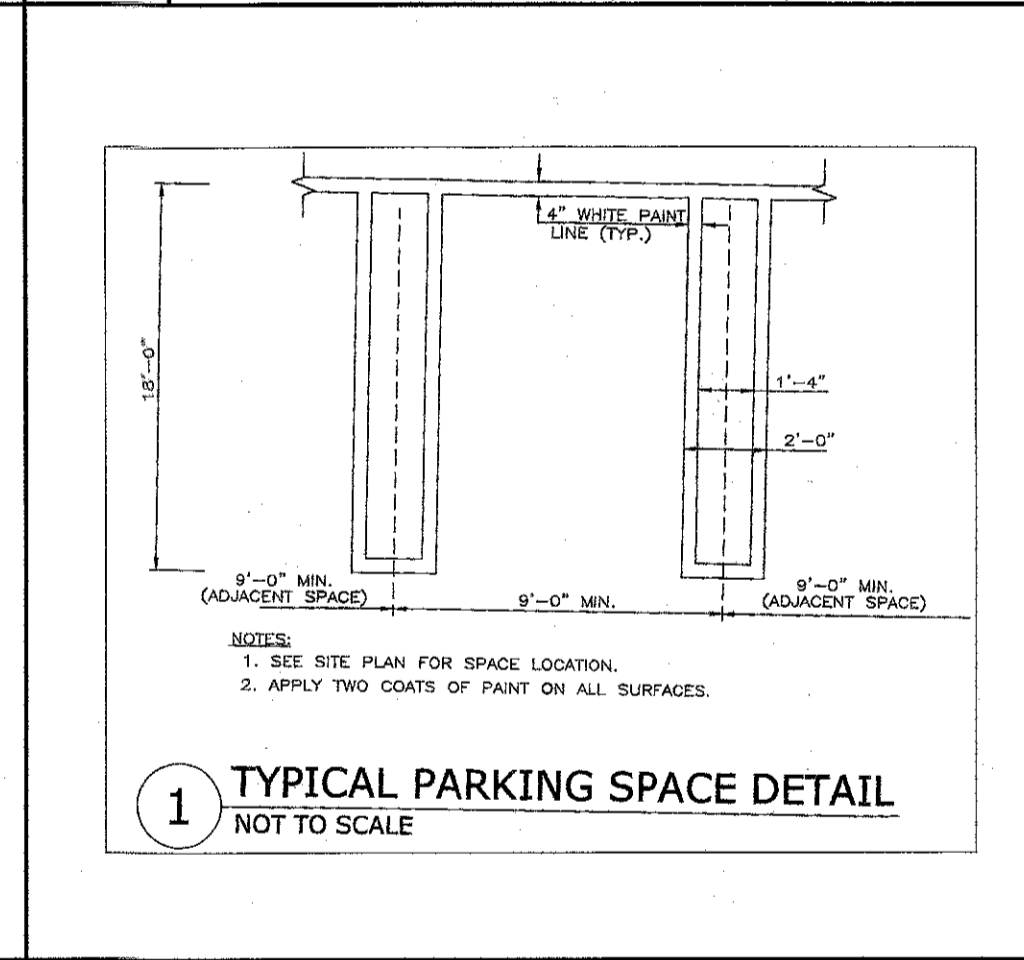
**9 F.E.S. FOR REINFORCED CONCRETE PIPE DETAIL**  
NOT TO SCALE (G022022-01/2013)



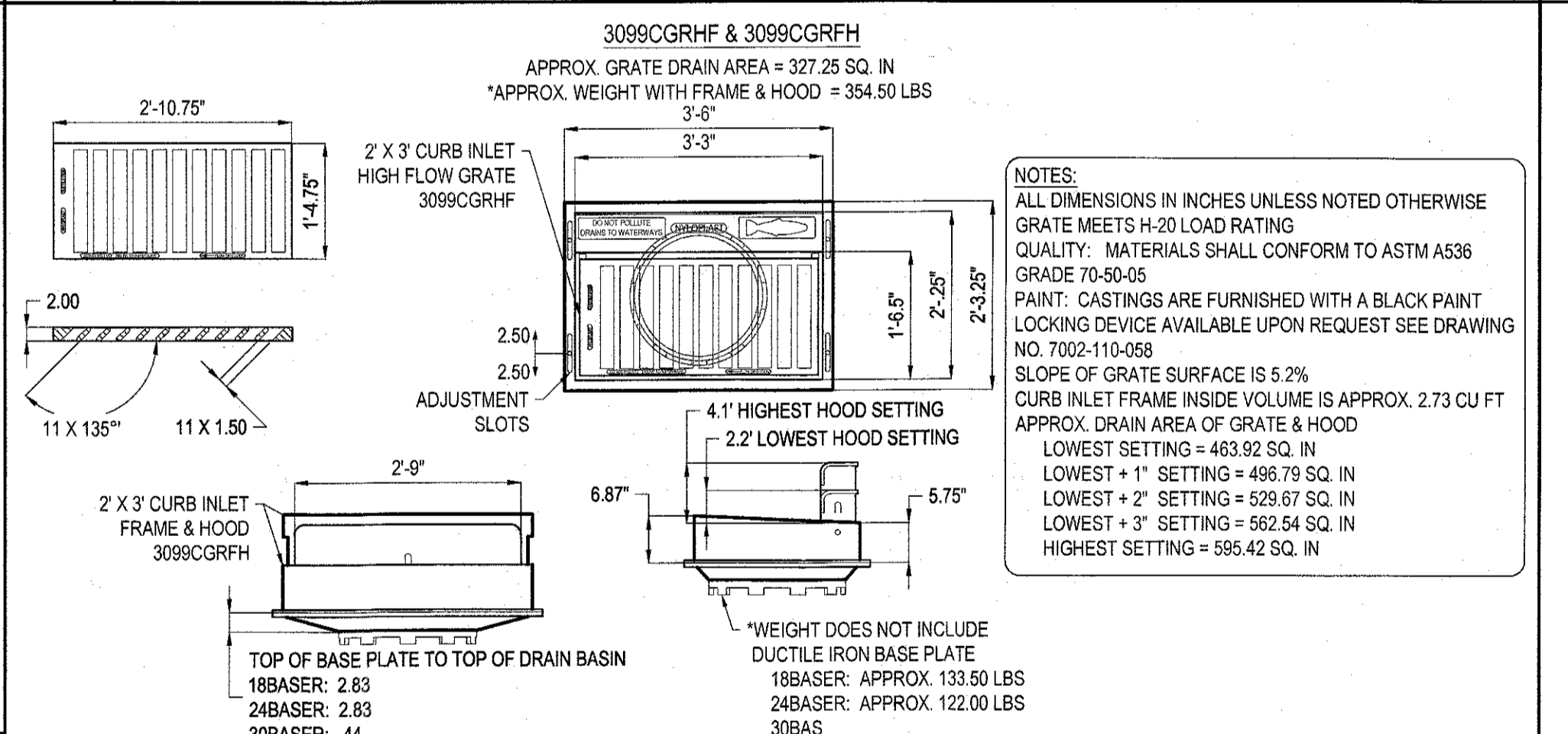
**10 STORM TRENCH & PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE (G029907-01/2013)



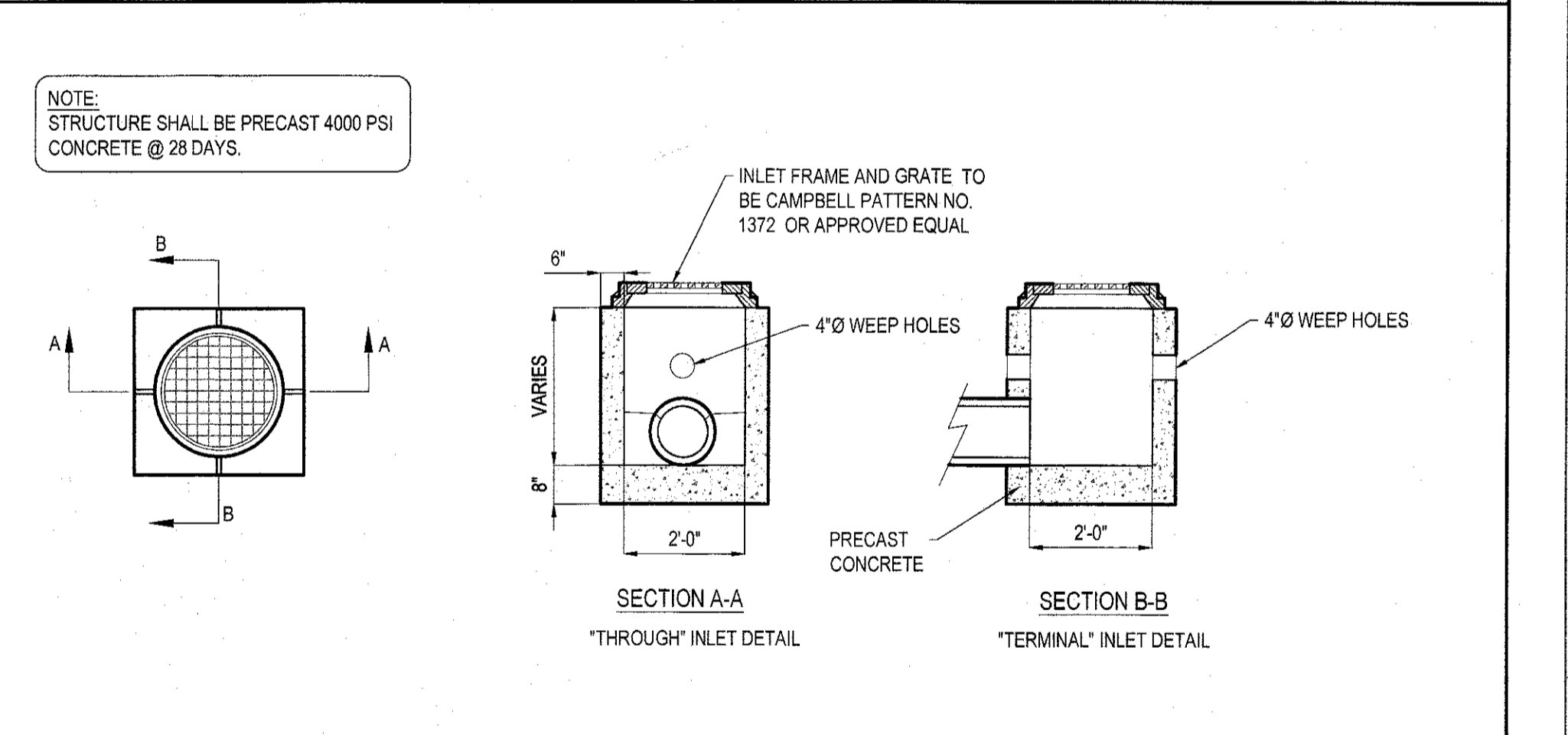
**11 CURB AND WALK AT BUILDING DETAIL**  
NOT TO SCALE (S090104-01/2013)



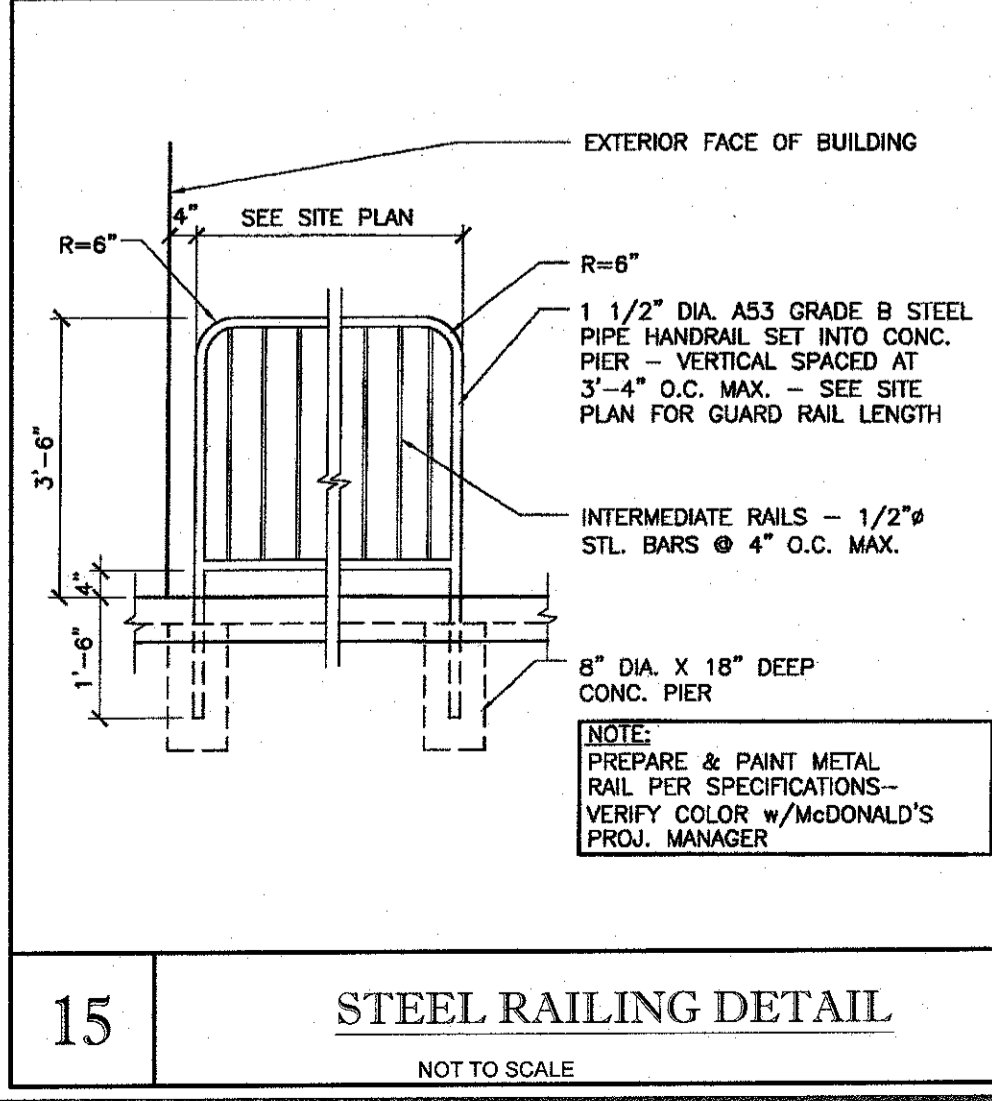
**12 TOWN OF NEWBURGH STRIPING DETAIL**  
NOT TO SCALE (TOWN OF NEWBURGH)



**13 NYLOPLAST CURB INLET FRAME & GRATE**  
N.T.S.



**14 YARD INLET**  
N.T.S.



**15 STEEL RAILING DETAIL**  
NOT TO SCALE

C:\031110\031110\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\110599-CDS-2A-LAYOUT-C-13.DWG

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS... THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES... THE ABOVE REFERENCED REGIONS REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THAT REGION.

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**B.A. BOHLER**  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE NO. 13084  
FLORIDA LICENSE NO. 13084

PROPOSED SITE IMPROVEMENTS  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY TOWN OF NEWBURGH STATE NY  
COUNTY ORANGE

**McDonald's**  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-8600

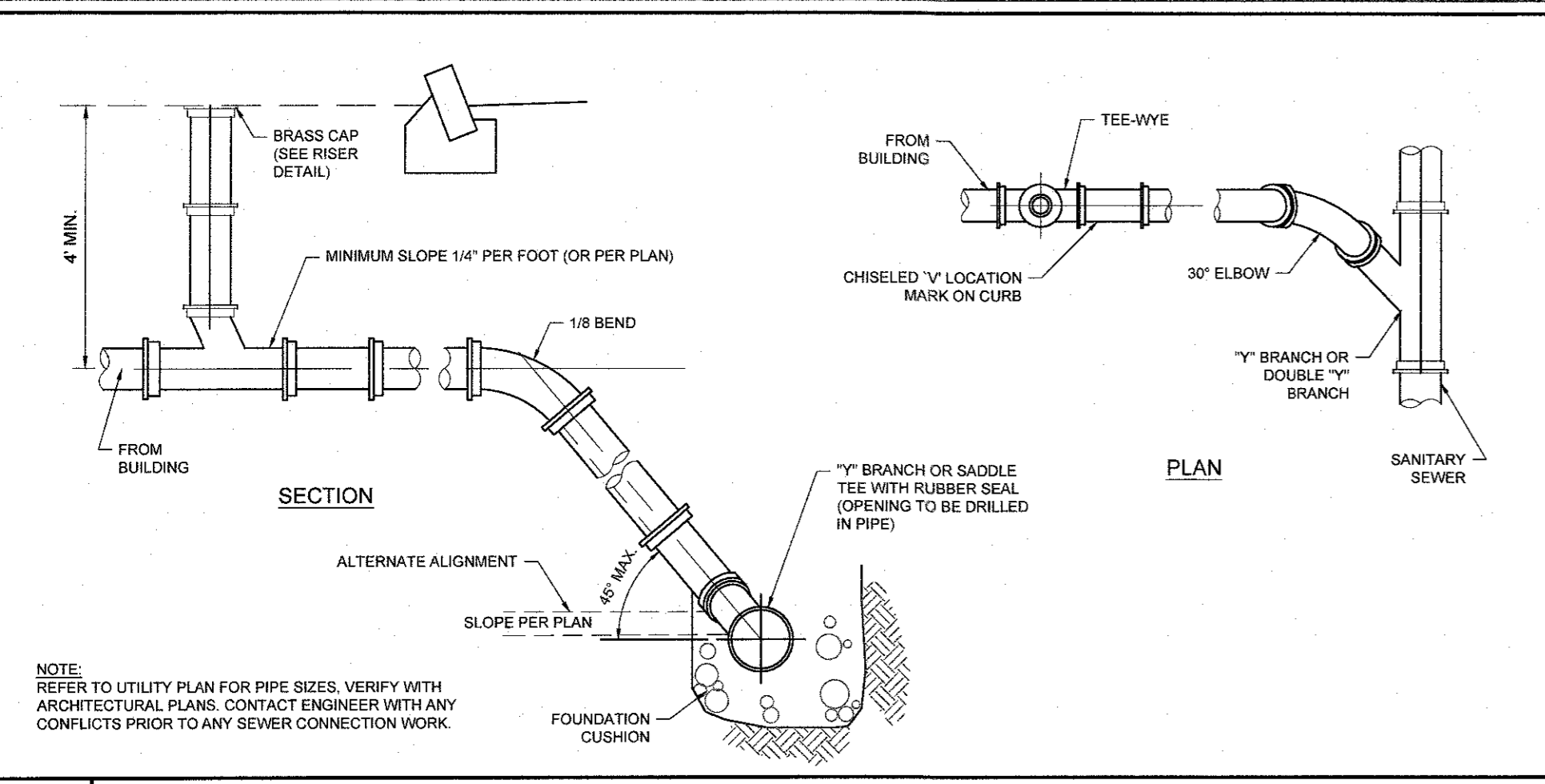
ISSUE REF: BY ATK REV. PER TOWNSHIP COMMENTS: APR  
DATE: 01/23/18  
REV. PER TOWNSHIP COMMENTS: APR  
DATE: 02/15/18

FINAL PLAN SIGNATURES: P.M. G.C. O.O.

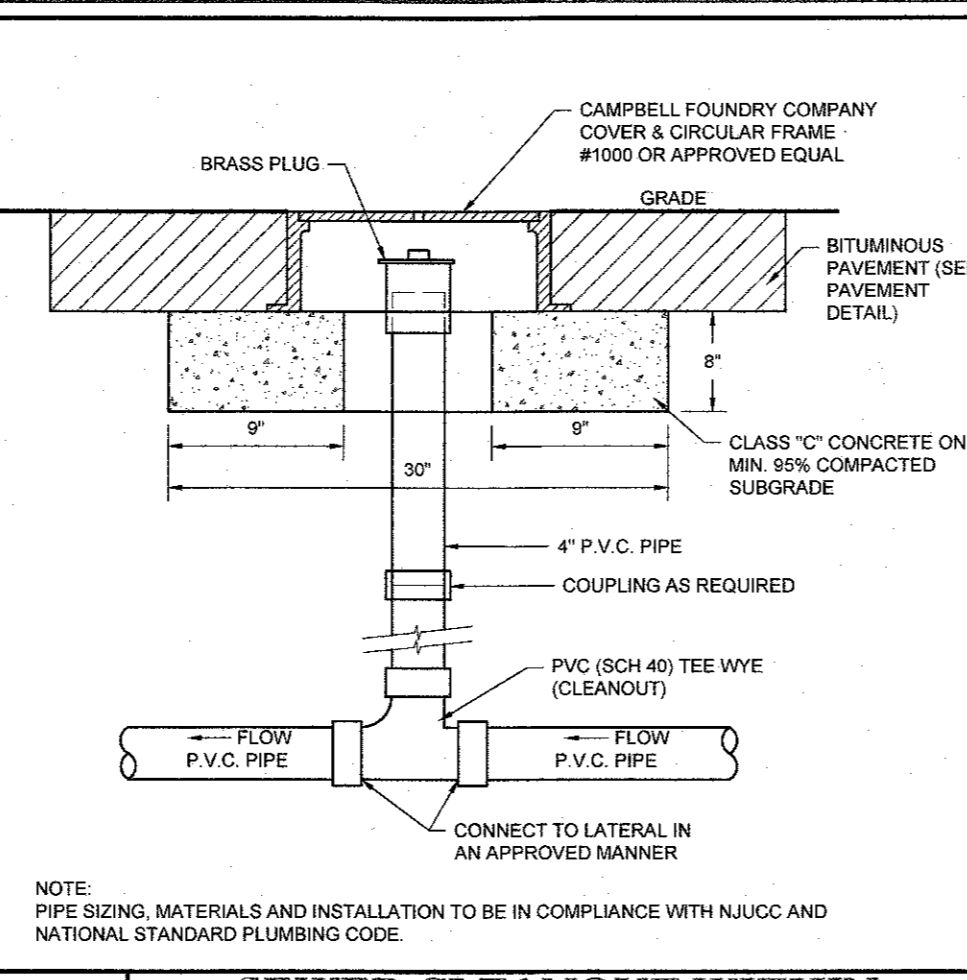
PLAN APPROVALS: SIGNATURE (2 REQUIRED) DATE  
REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR. OWNER.

CO-SIGN SIGNATURES: STATUS DATE BY  
PRELIMINARY 08/15/17 KF  
PLAN CHECKED 08/15/17 LM  
AS-BUILT N/A N/A

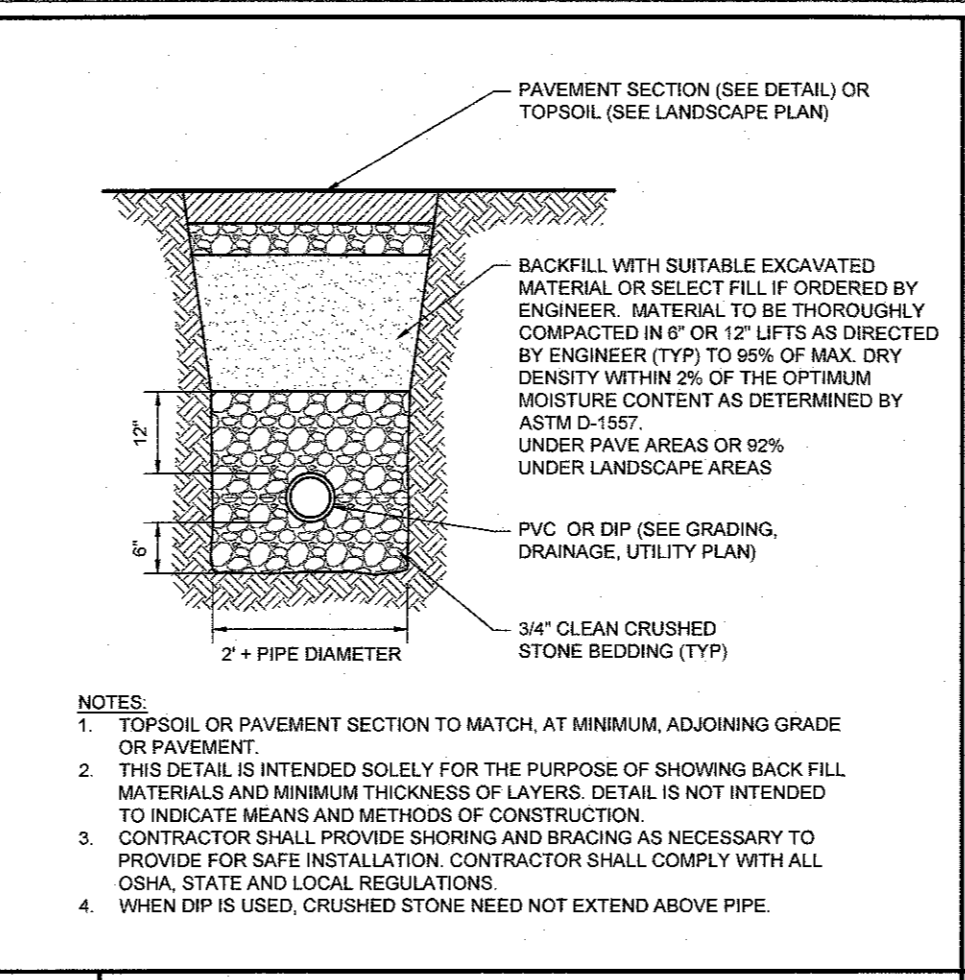
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PLAN DESCRIPTION: DETAIL SHEET  
C-13  
OF 17 REV. 2



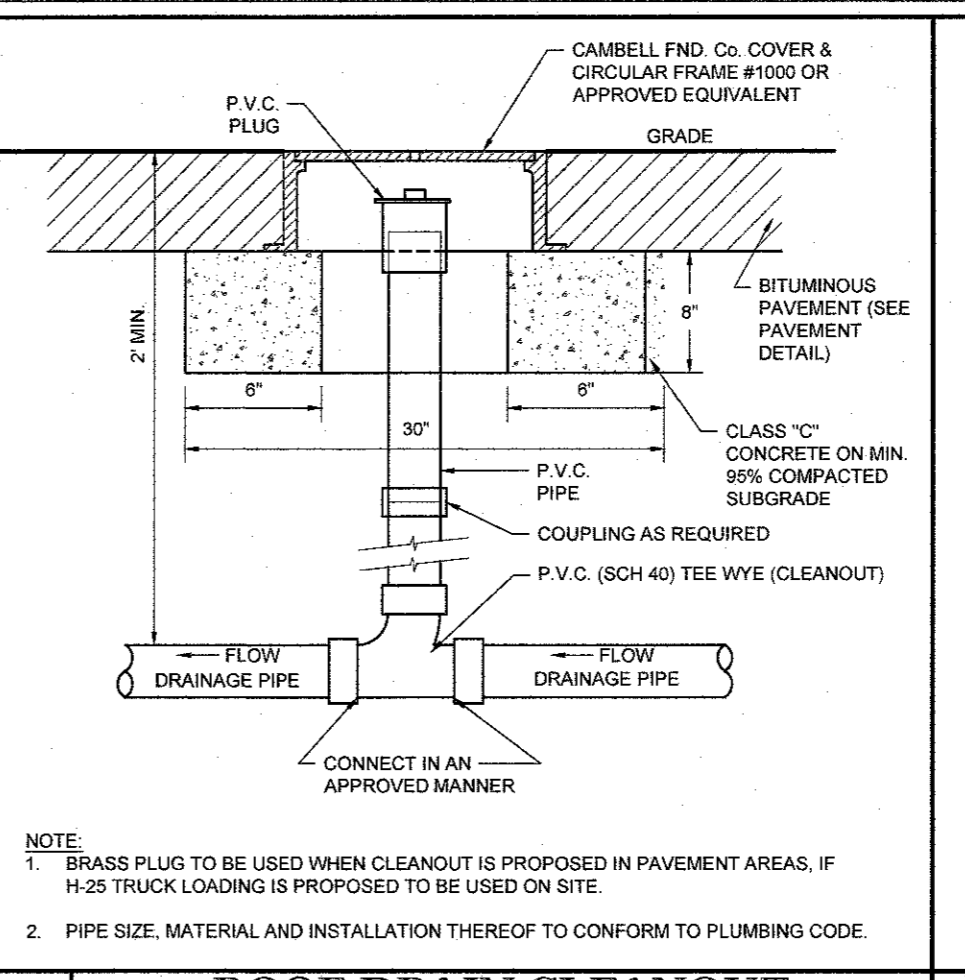
**1 STANDARD CONNECTION DETAIL**  
NOT TO SCALE (U039904-01/2013)



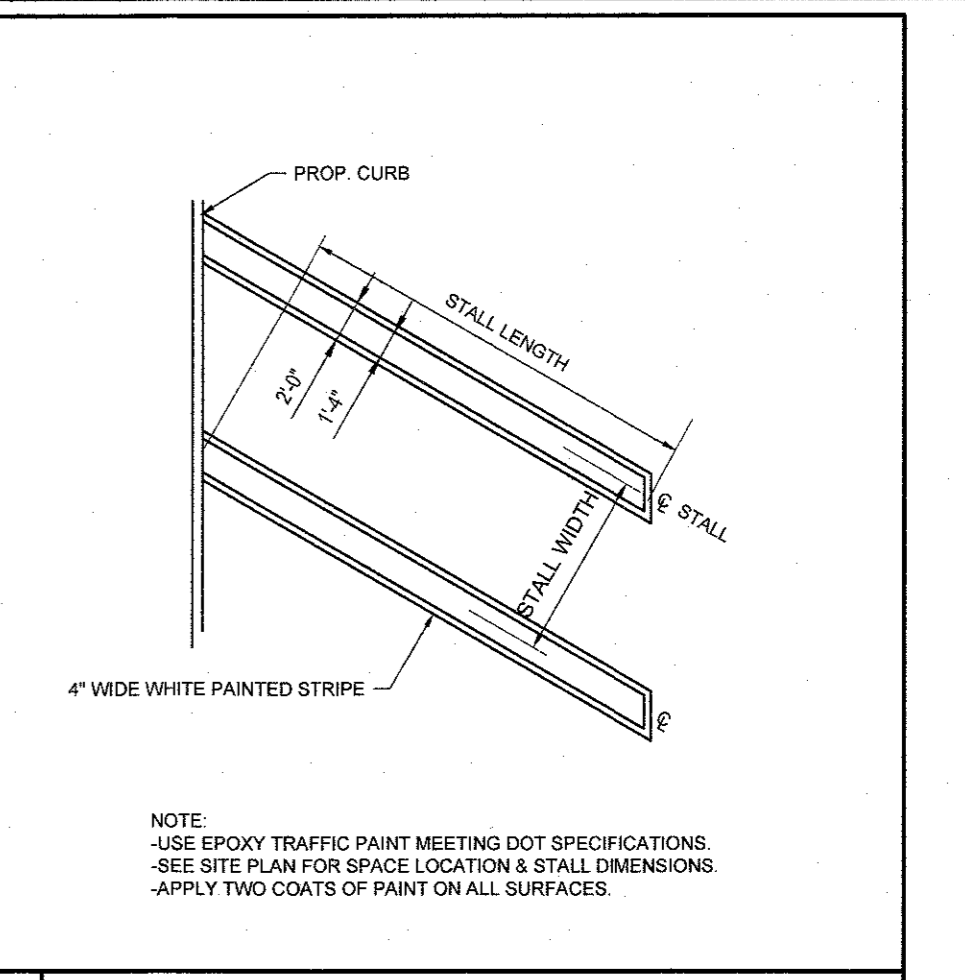
**2 SEWER CLEANOUT WITHIN PAVED AREAS DETAIL**  
NOT TO SCALE (U030101-01/2013)



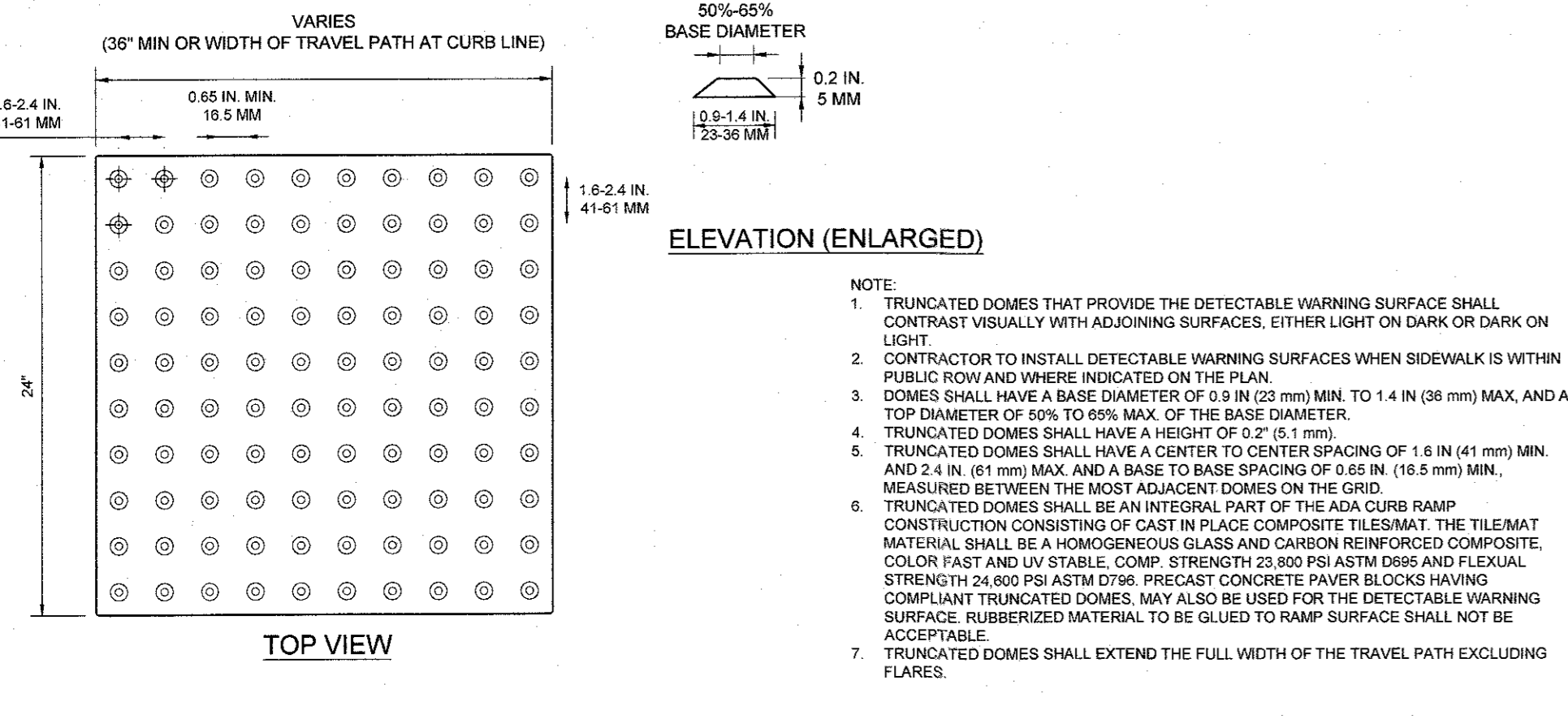
**3 SANITARY TRENCH DETAIL**  
NOT TO SCALE (U039908-01/2013)



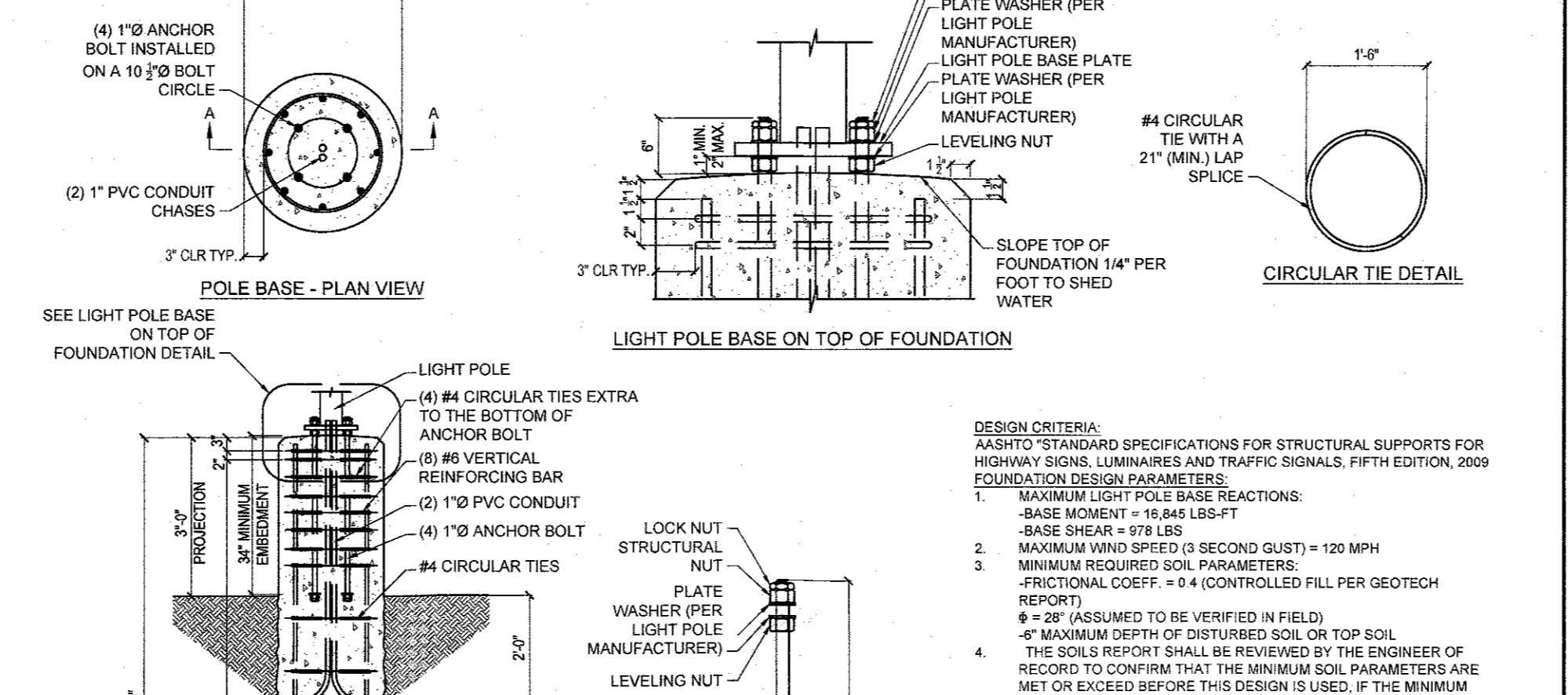
**4 ROOF DRAIN CLEANOUT IMPERVIOUS SURFACES DETAIL**  
NOT TO SCALE (G020107-01/2013)



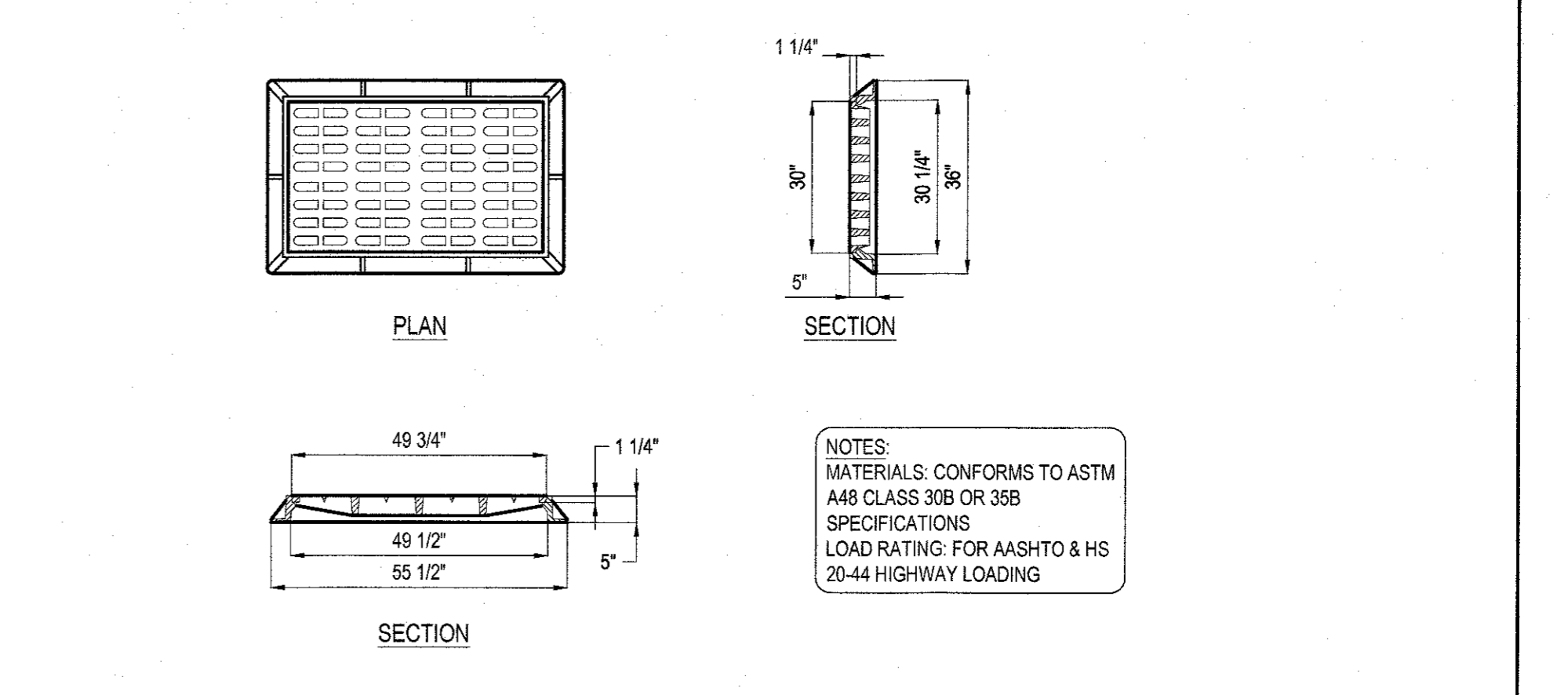
**5 60° ANGLED STRIPING DETAIL**  
NOT TO SCALE (S080503-01/2013)



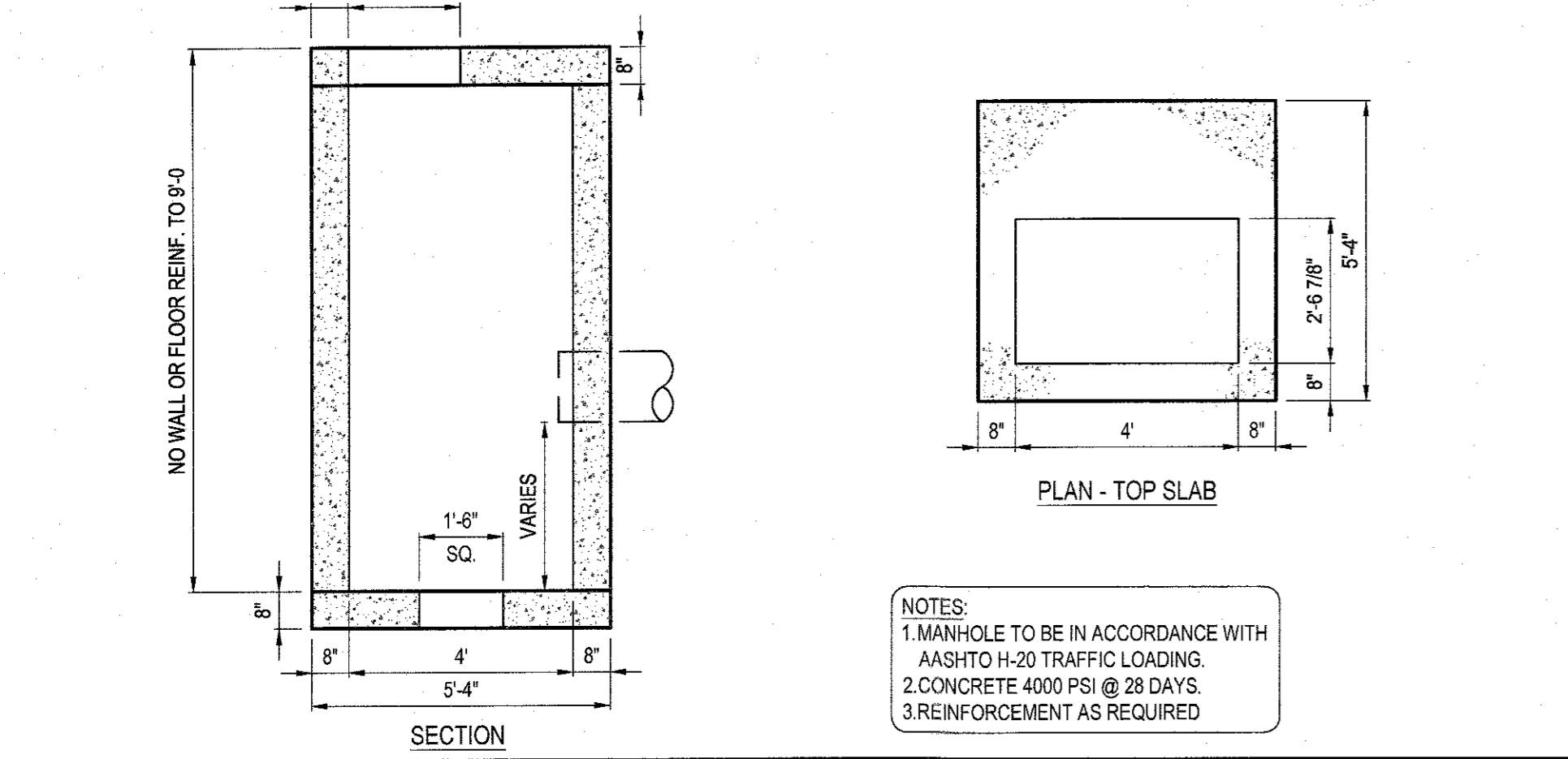
**6 TRUNCATED DOME PATTERN DETAIL**  
NOT TO SCALE (S070117-01/2013)



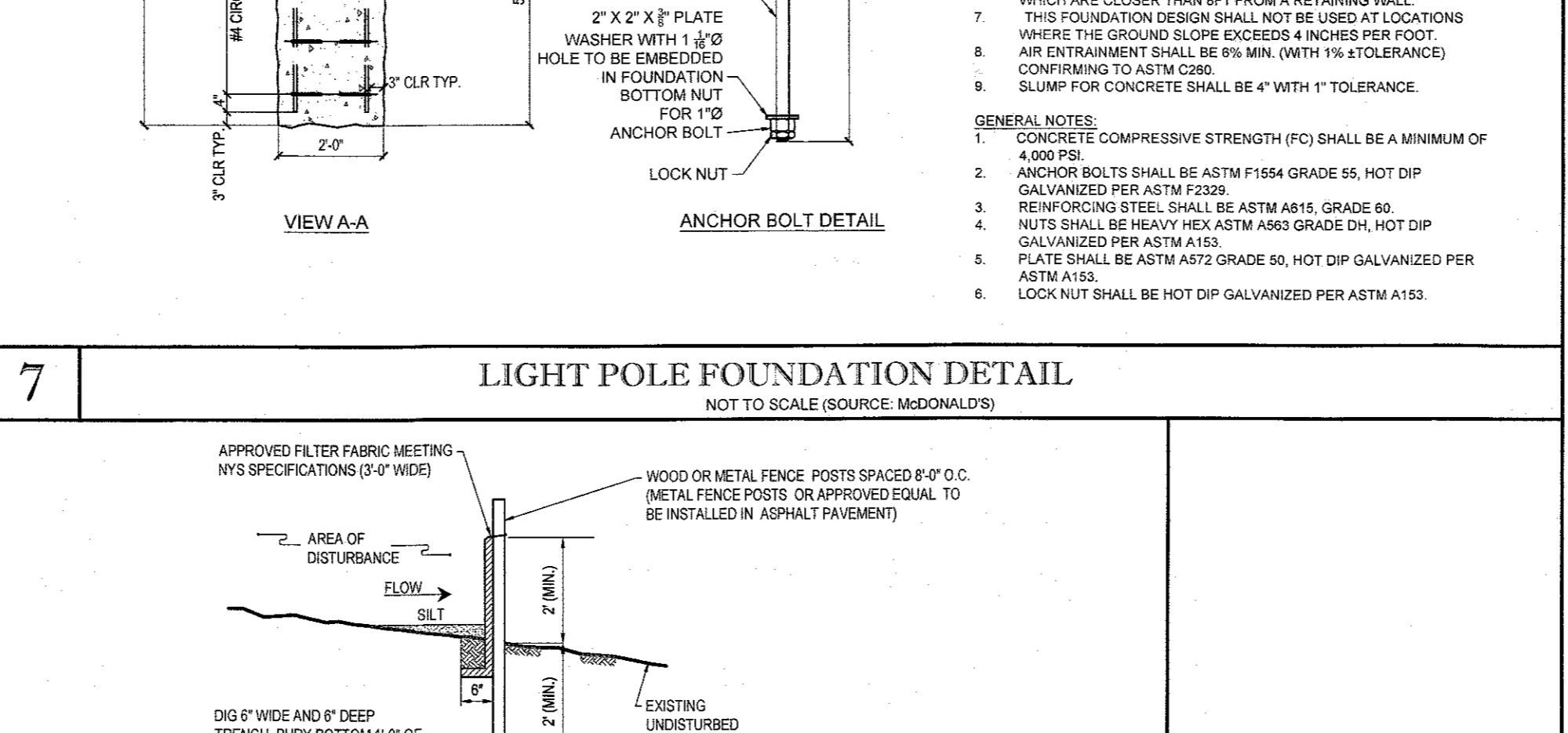
**7 LIGHT POLE FOUNDATION DETAIL**  
NOT TO SCALE (SOURCE: MCDONALD'S)



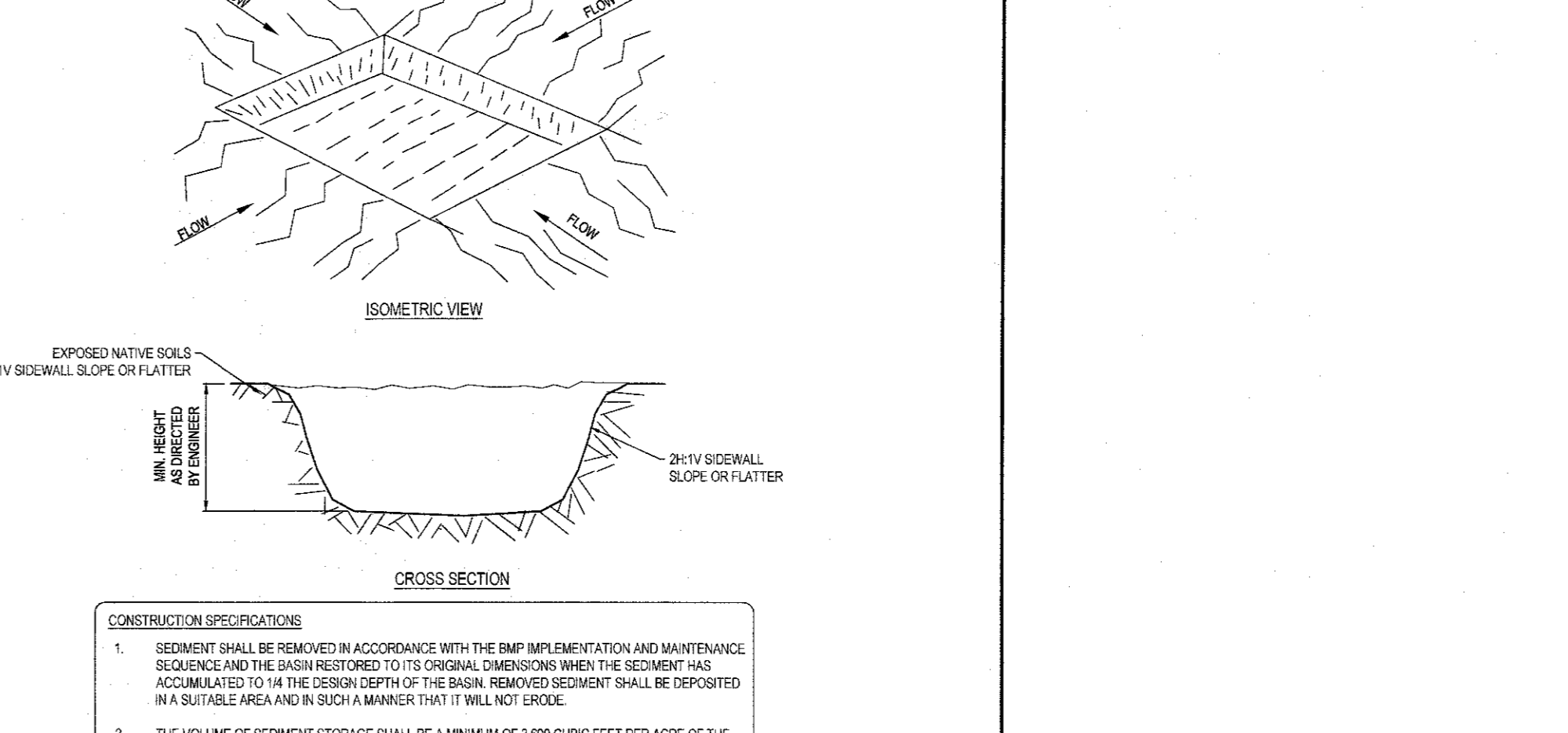
**8 30" X 49" H.D. FLAT FRAME AND GRATE**  
N.T.S.



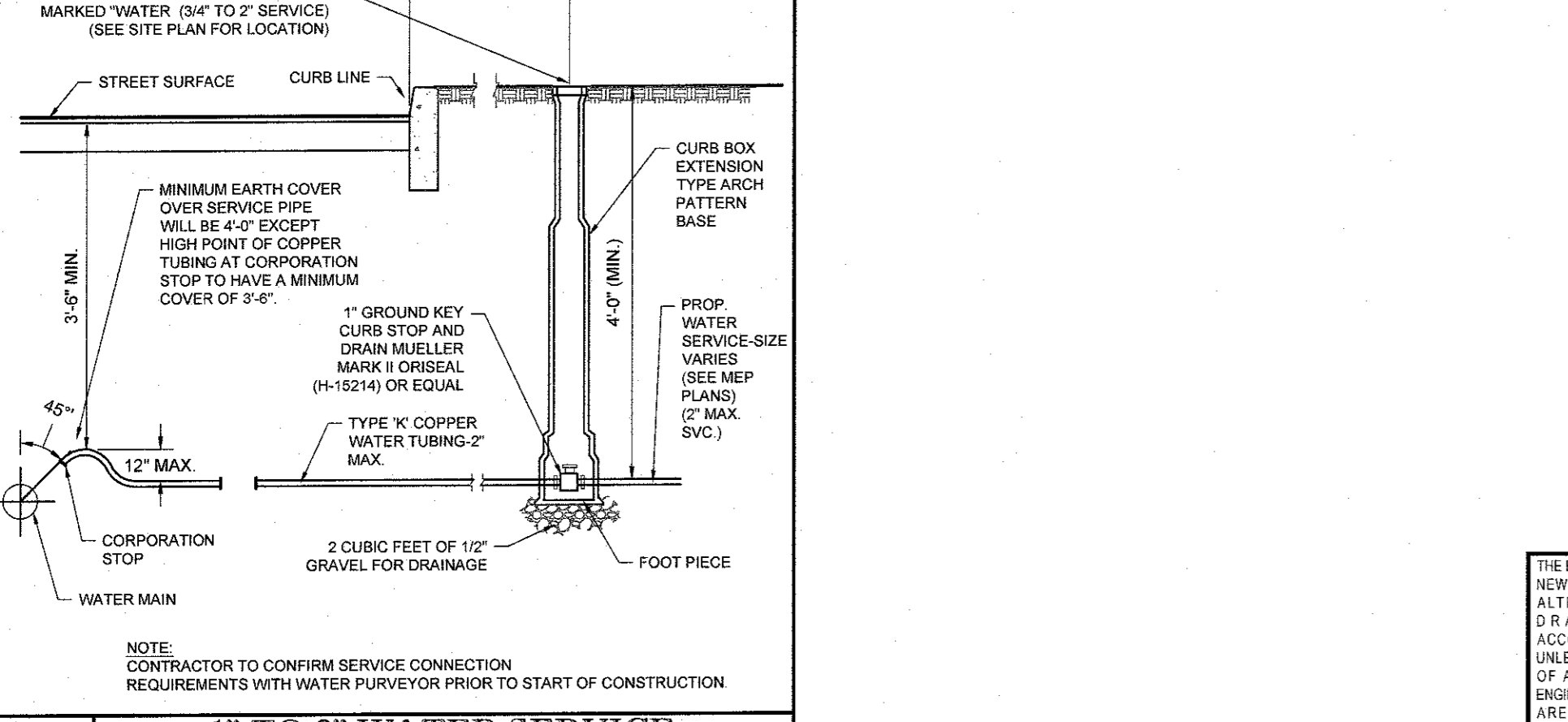
**9 STANDARD CATCH BASIN WITH RECTANGULAR OPENING**  
N.T.S.



**11 SILT FENCE**  
N.T.S.



**12 TEMPORARY SEDIMENT BASIN**  
N.T.S.



**10 1" TO 2" WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE (U049902-01/2013)

**McDonald's**

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NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-8500

PLAN APPROVALS	DATE	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)		

REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

ISSUE REF.	DESCRIPTION	BY	DATE
ATK	REV. PER TOWNSHIP COMMENTS		01/22/18
APR	REV. PER TOWNSHIP ENGINEER COMMENTS		02/15/18

PROPOSED SITE IMPROVEMENTS  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY STATE  
TOWN OF NEWBURGH NY  
COUNTY  
ORANGE  
REGIONAL DWG. NO. 031-0145  
PLAN DESCRIPTION  
DETAIL SHEET

STATUS DATE BY  
PRELIMINARY 08/15/17 KF  
PLAN CHECKED 08/15/17 LM  
AS-BUILT N/A N/A

**C-14**  
OF 17 REV. 2

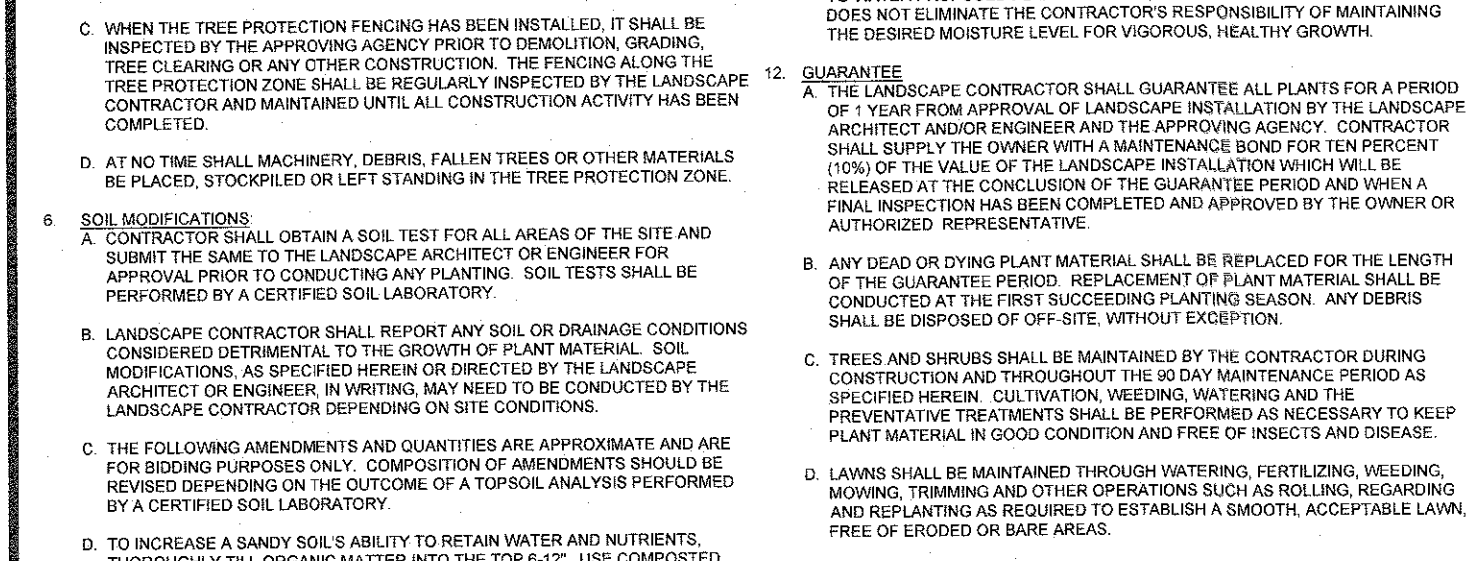
**LANDSCAPE SPECIFICATIONS:**

- SCOPE OF WORK:**  
A. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISH GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOILING, PLANTING AND MAINTAINING INCLUDING LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS:**  
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.  
B. TOPSOIL - NATURAL, FINE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 1% BY WEIGHT AND A RANGE BETWEEN 4.5 TO 7.2. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY GLOBS.  
C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 4" THICK LAYER OF TOPSOIL AND SEED OR SOILED IN ACCORDANCE WITH THE SEEDING SPECIFICATION ON THE APPROVED LANDSCAPE PLAN.  
D. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW GERM SEED BLEND. SOIL SHALL BE STRONGLY ROOTED, VEG. AND DEBRIS FREE. FRESH WITH A UNIFORM THICKNESS OF AT LEAST 1" SOIL INSTALLED ON FLOES GREATER THAN 4" SHALL BE PROVED TO HOLD THE SOIL IN PLACE.  
E. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE LANDSCAPE PLAN.  
F. FERTILIZER  
1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNIFORM STANDARD BIDS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT WILL NOT BE DRY PRIOR TO USE.  
2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR AS A MINIMUM 10% NITROGEN, 10% PHOSPHORUS AND 10% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.  
3. PLANT MATERIAL  
A. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).  
B. ALL CASES BOTANICAL NAMES SHALL PRECEDE COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.  
C. PLANTS SHALL BE LEGITIMATE WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR IDENTIFICATION PURPOSES DURING THE FINAL INSPECTION.  
D. TREES WITH BRUISES OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4" WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE REJECTED WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.  
E. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, GLOBS OR LARVAE.  
F. MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING 4 INCHES (4") IN CALIPER. FOR TREES OVER 4 INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT OF THE TRUNK THAT IS REPRESENTATIVE OF THE TRUNK AND NOT TO THE CLOSEST MEASUREMENT OF THE TRUNK. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

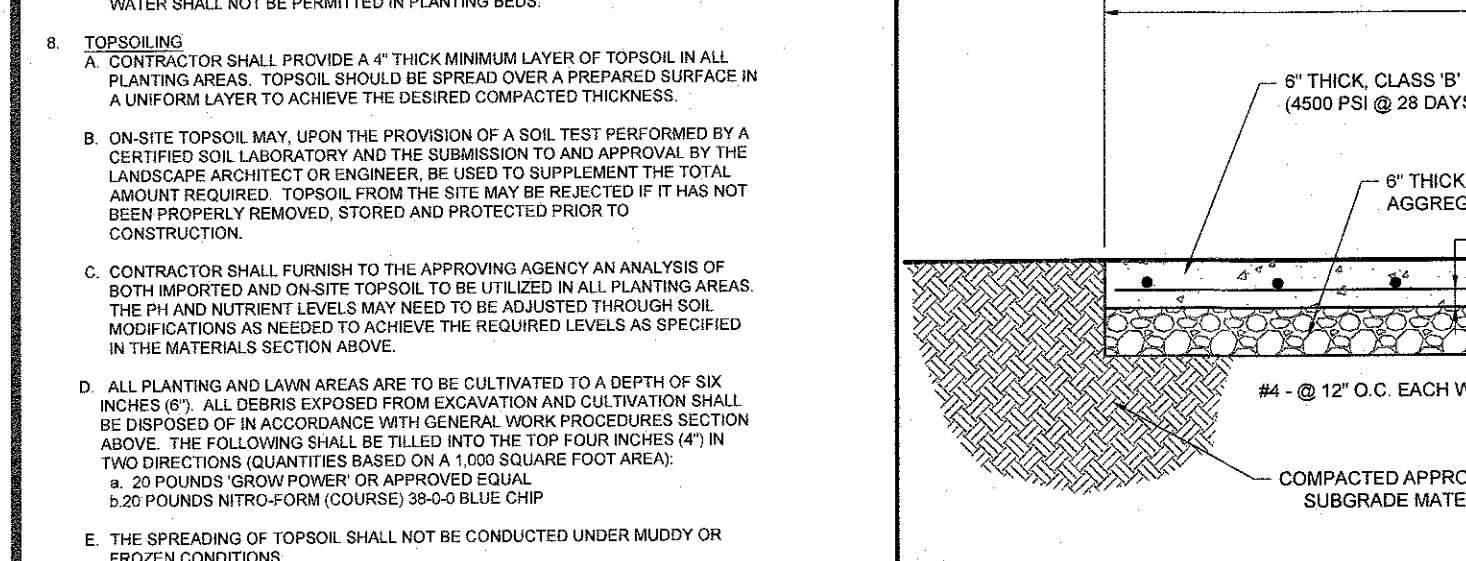
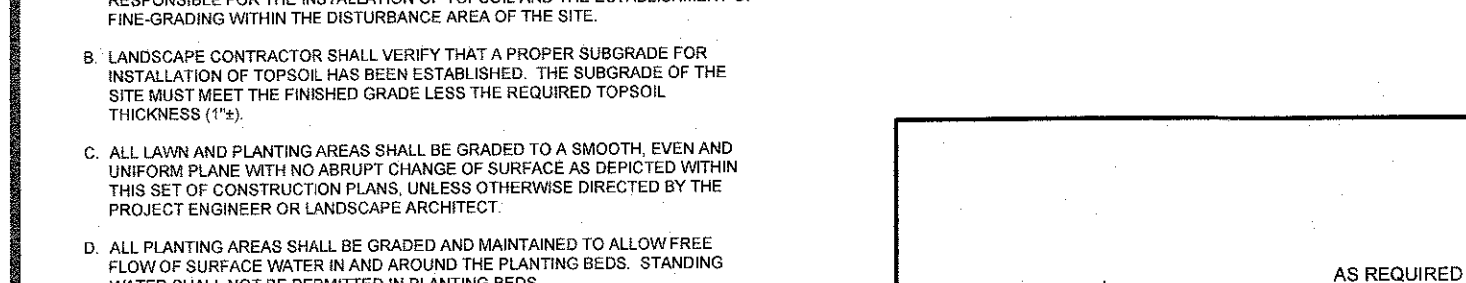
- GENERAL WORK PROCEDURES:**  
A. THE CONTRACTOR SHALL UTILIZE WORKMANSHIP INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.  
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.  
C. PREPARATION:  
1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE CUT OUT AND DISPOSED OF IN ACCORDANCE WITH THE GENERAL WORK PROCEDURES OUTLINED HEREIN.  
2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. THE CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND VANDALISM PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE CONTRACTOR SHALL WATER EXISTING TREES AS NECESSARY TO PREVENT SOIL DRYING.  
3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 14:27-14, 14:27-15, 14:27-16, 14:27-17, 14:27-18, 14:27-19, 14:27-20, 14:27-21, 14:27-22, 14:27-23, 14:27-24, 14:27-25, 14:27-26, 14:27-27, 14:27-28, 14:27-29, 14:27-30, 14:27-31, 14:27-32, 14:27-33, 14:27-34, 14:27-35, 14:27-36, 14:27-37, 14:27-38, 14:27-39, 14:27-40, 14:27-41, 14:27-42, 14:27-43, 14:27-44, 14:27-45, 14:27-46, 14:27-47, 14:27-48, 14:27-49, 14:27-50, 14:27-51, 14:27-52, 14:27-53, 14:27-54, 14:27-55, 14:27-56, 14:27-57, 14:27-58, 14:27-59, 14:27-60, 14:27-61, 14:27-62, 14:27-63, 14:27-64, 14:27-65, 14:27-66, 14:27-67, 14:27-68, 14:27-69, 14:27-70, 14:27-71, 14:27-72, 14:27-73, 14:27-74, 14:27-75, 14:27-76, 14:27-77, 14:27-78, 14:27-79, 14:27-80, 14:27-81, 14:27-82, 14:27-83, 14:27-84, 14:27-85, 14:27-86, 14:27-87, 14:27-88, 14:27-89, 14:27-90, 14:27-91, 14:27-92, 14:27-93, 14:27-94, 14:27-95, 14:27-96, 14:27-97, 14:27-98, 14:27-99, 14:27-100.

- EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE - (L101104-012013)  
A. AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.  
B. SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.  
C. DO NOT STAKE OR WRAP TRUNK.  
D. TWICE THE WIDTH OF THE ROOT BALL.  
E. BEFORE PLANTING ADD 3 TO 4" OF WELL-COMPOSTED LEAVES OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.  
F. UNDISTURBED SUBGRADE.  
G. DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES.  
H. TAMM SOIL SOLIDLY AROUND BASE OF ROOT BALL.  
I. SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE.  
J. 4" BUILT-UP EARTH SAUCER.  
K. 3" DOUBLE-SHREDED HARDWOOD BARK MULCH (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK).  
L. DO NOT STAKE OR WRAP TRUNK.  
M. TWICE THE WIDTH OF THE ROOT BALL.  
N. PREPARED SOIL FOR TREES 1 PART COW MANURE 3 PARTS TOPSOIL.  
O. UNDISTURBED SUBGRADE.  
P. DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES.  
Q. TAMM SOIL SOLIDLY AROUND BASE OF ROOT BALL.  
R. SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE.

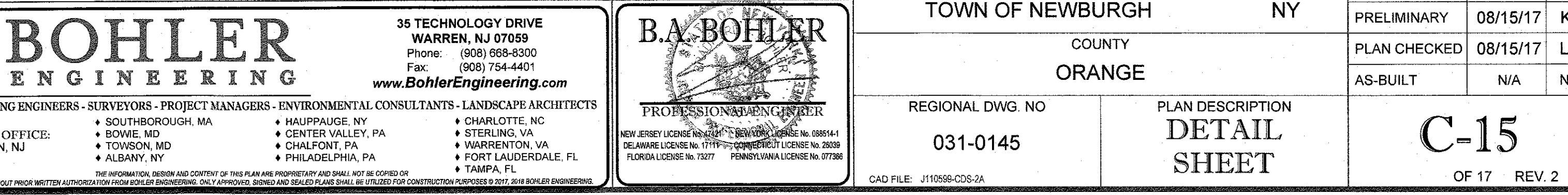
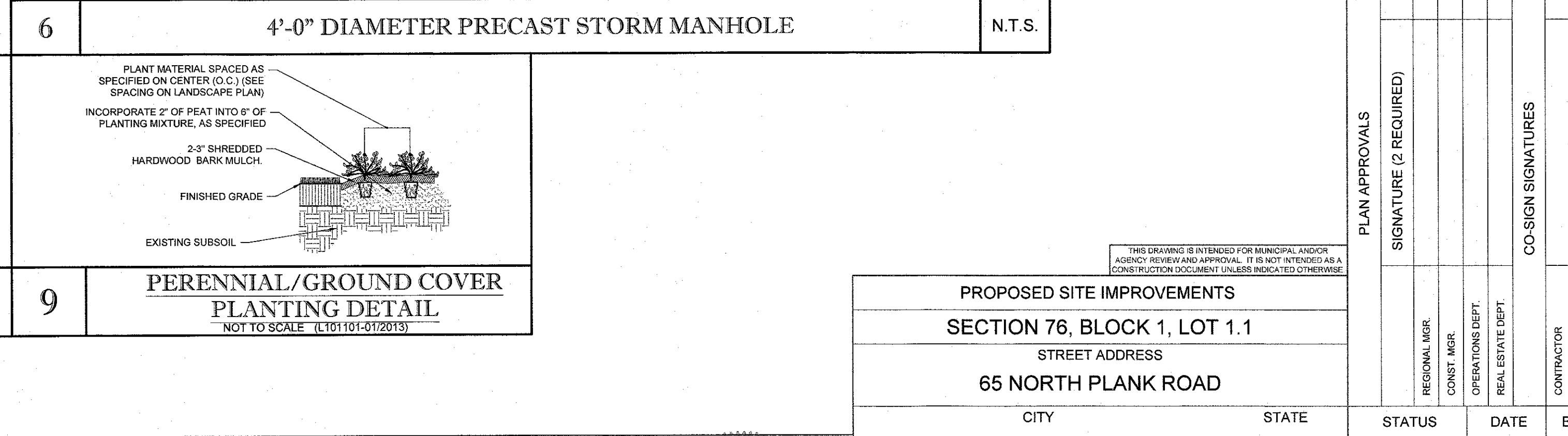
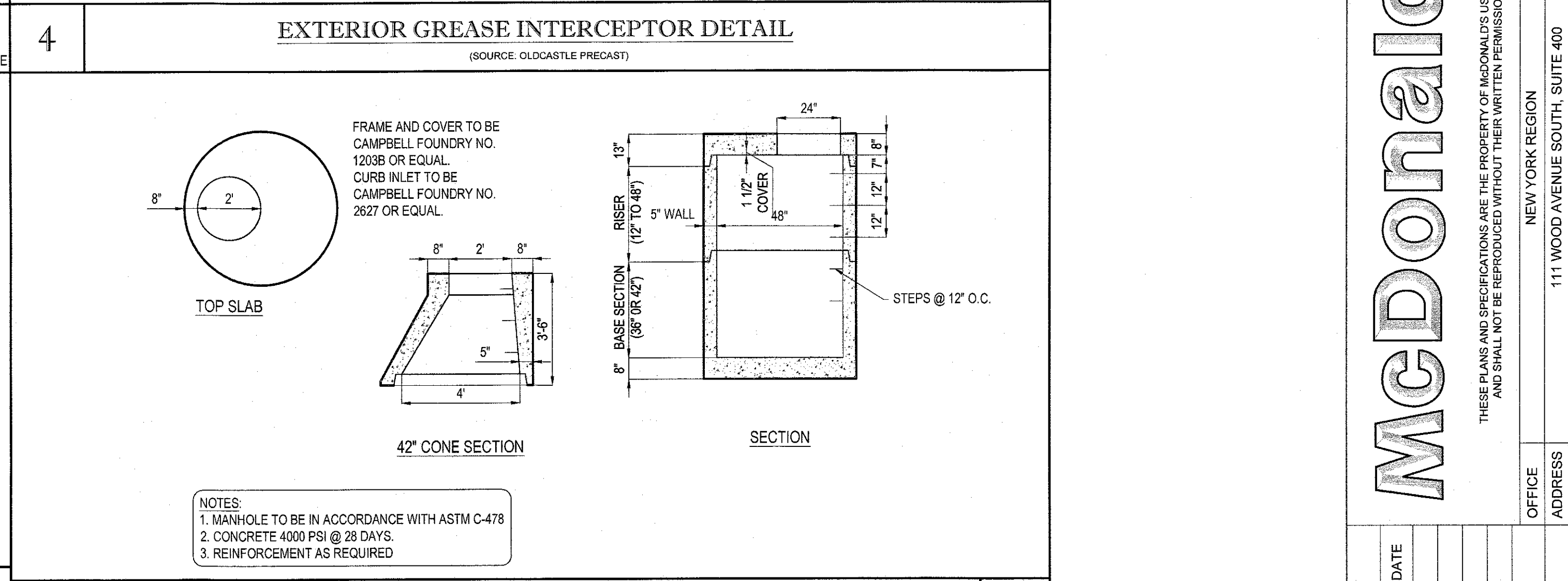
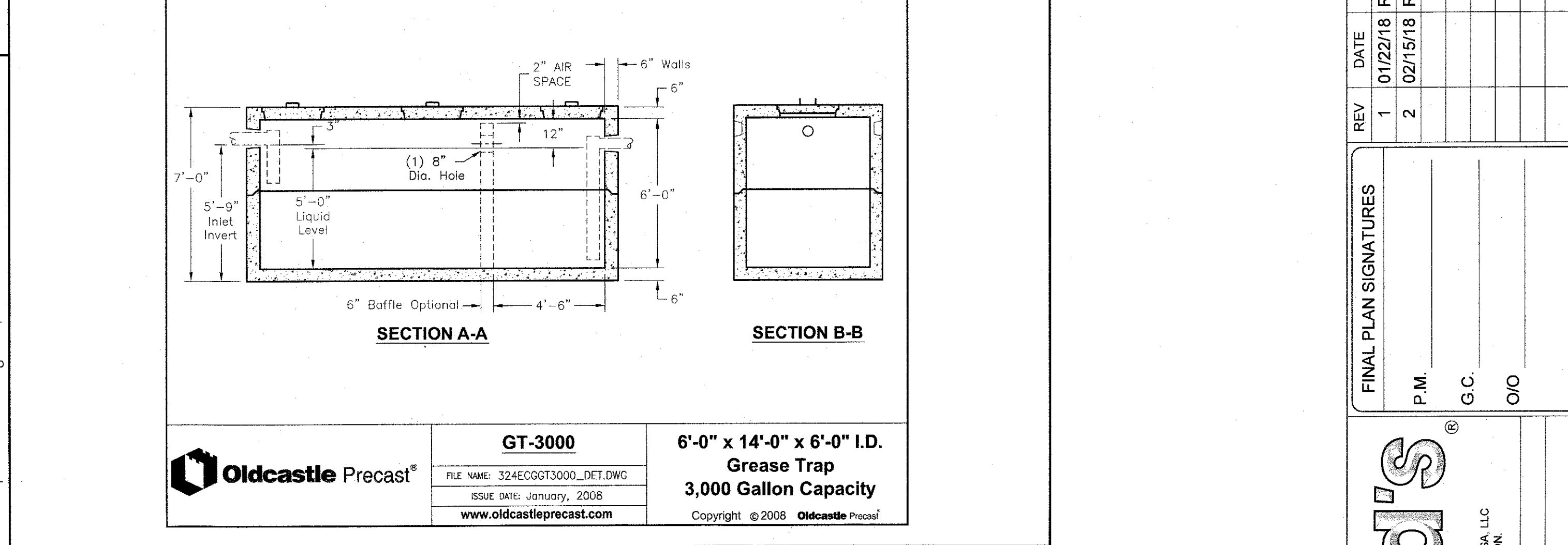
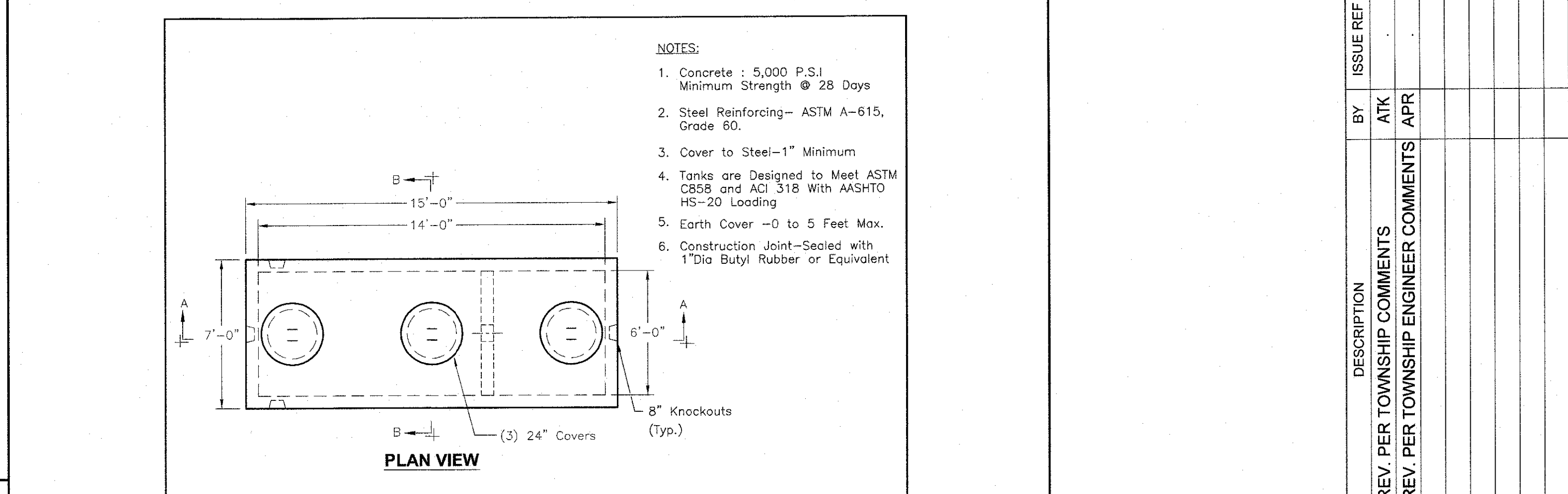
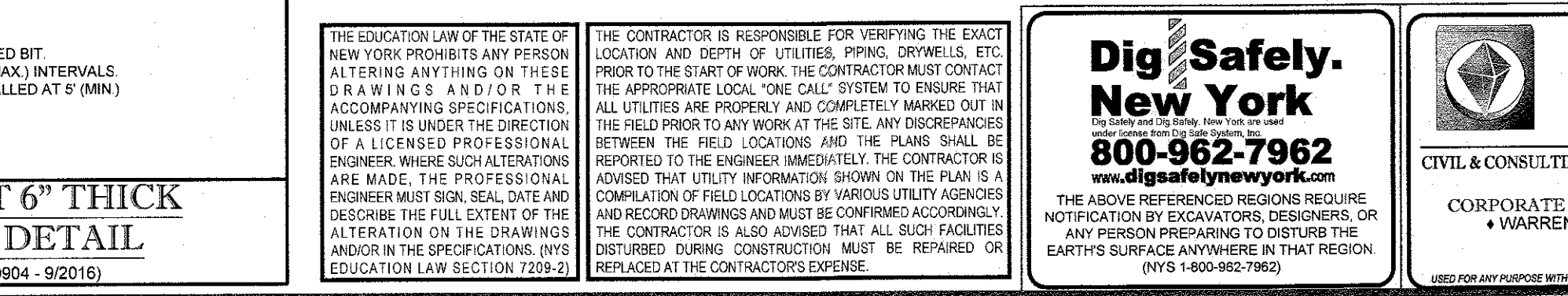
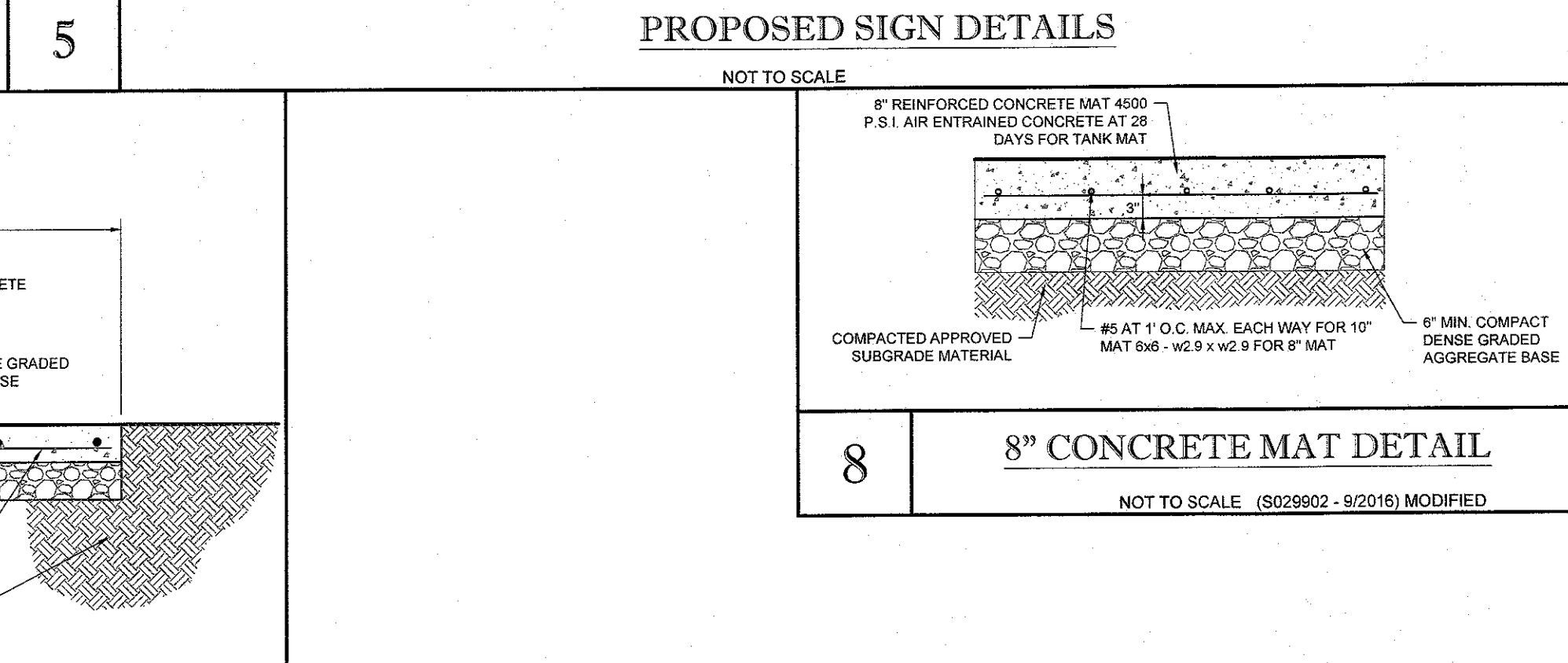
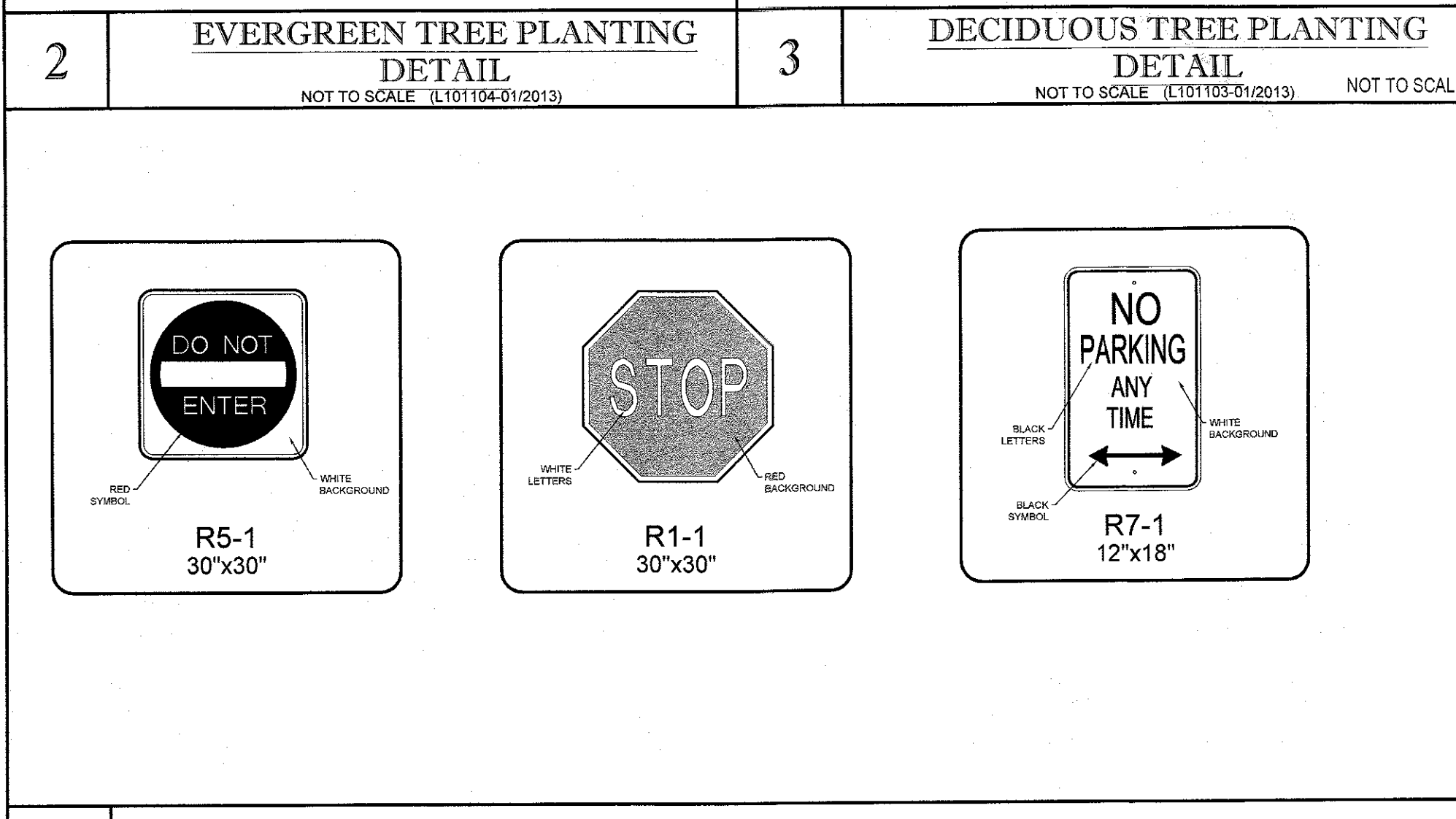
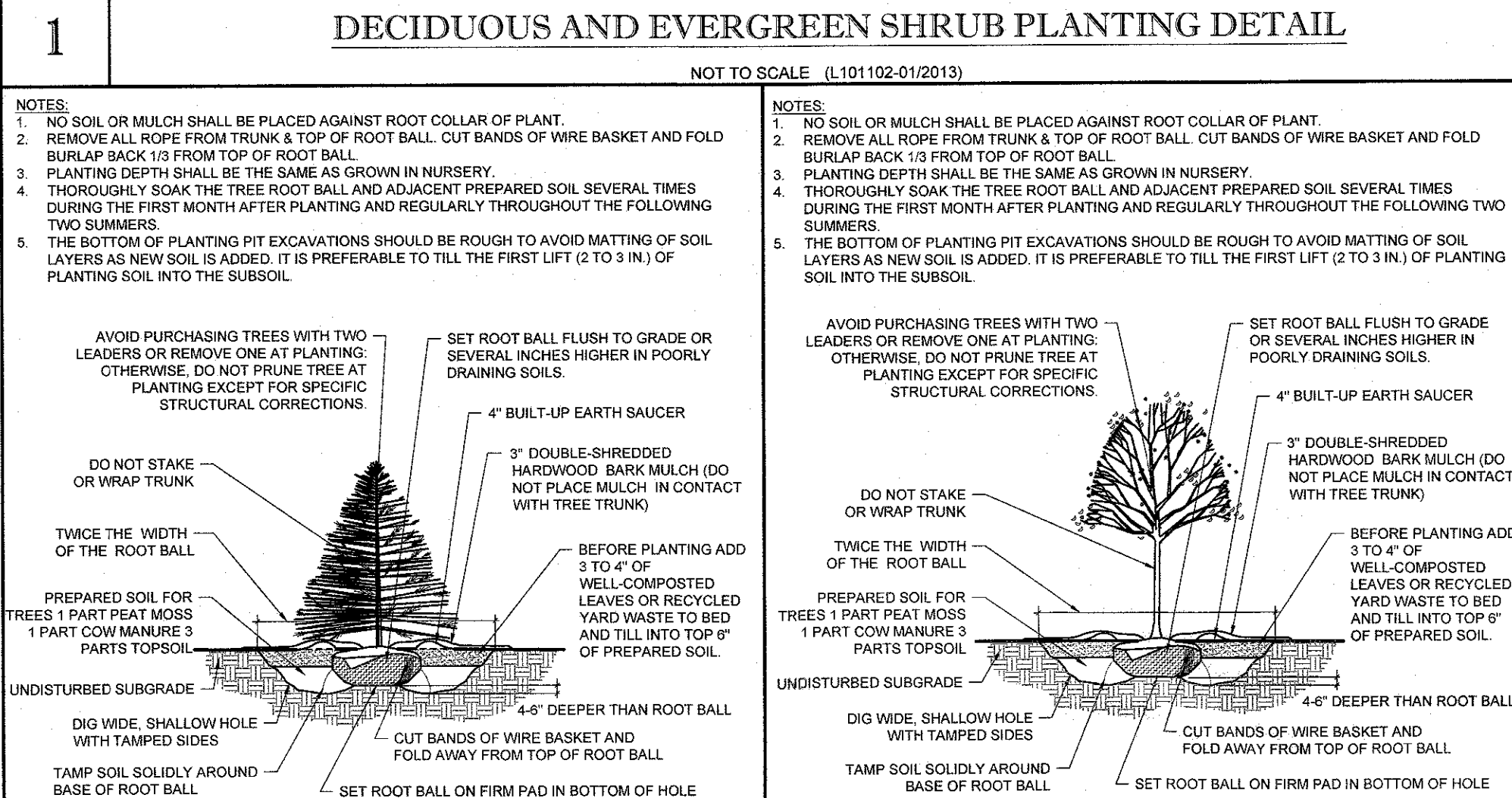
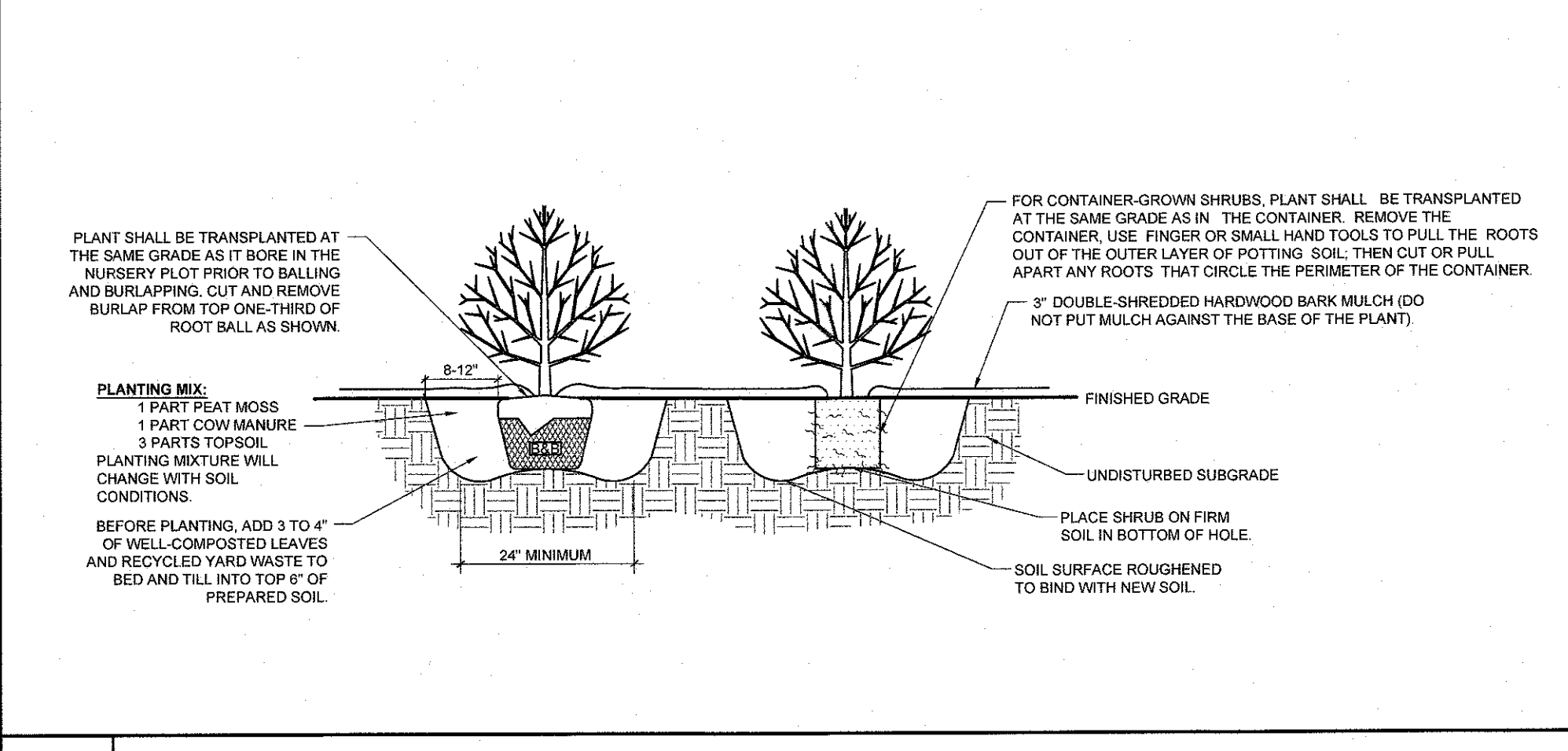
- DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE - (L101103-012013)  
A. AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.  
B. SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.  
C. DO NOT STAKE OR WRAP TRUNK.  
D. TWICE THE WIDTH OF THE ROOT BALL.  
E. BEFORE PLANTING ADD 3 TO 4" OF WELL-COMPOSTED LEAVES OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.  
F. UNDISTURBED SUBGRADE.  
G. DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES.  
H. TAMM SOIL SOLIDLY AROUND BASE OF ROOT BALL.  
I. SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE.



- 8" CONCRETE MAT DETAIL**  
NOT TO SCALE (S029802 - 9/2016) MODIFIED  
A. 8" REINFORCED CONCRETE MAT 4500 P.S.I. AIR ENTRAINMENT CONCRETE AT 28 DAYS FOR TANK MAT.  
B. INCORPORATE 2" OF PEAT INTO 6" OF PLANTING MIXTURE, AS SPECIFIED.  
C. 2-3" SHREDED HARDWOOD BARK MULCH.  
D. FINISHED GRADE.  
E. EXISTING SUBSOIL.  
F. 6" MIN. COMPACT DENSE GRADED AGGREGATE BASE.



- 5**
- 6**
- 7**
- 8**
- 9**



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHOSE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND IN THE SPECIFICATIONS. IT IS REPEATEDLY ADVISED THAT ALL SUCH ALTERATIONS MUST BE REPAID OR REPERCEIVED AT THE CONTRACTOR'S EXPENSE.

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.com

**BOHLER ENGINEERING**  
35 TECHNOLOGY DRIVE WARREN, NJ 07059  
Phone: (908) 669-9300  
Fax: (908) 754-4401  
www.BohlerEngineering.com

**B.A. BOHLER**  
PROFESSIONAL ENGINEER

**PROPOSED SITE IMPROVEMENTS**  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD  
CITY STATE  
TOWN OF NEWBURGH NY  
COUNTY  
ORANGE

**REGIONAL DWG NO**  
031-0145

**PLAN DESCRIPTION**  
DETAIL SHEET

**C-15**  
OF 17 REV. 2

ISSUE REF	BY	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES
	ATK <td>REVISION COMMENTS <td>01/25/18 <td>1 <td>P.M.</td> </td></td></td>	REVISION COMMENTS <td>01/25/18 <td>1 <td>P.M.</td> </td></td>	01/25/18 <td>1 <td>P.M.</td> </td>	1 <td>P.M.</td>	P.M.
	APR <td>REVISION COMMENTS <td>02/15/18 <td>2 <td>G.C.</td> </td></td></td>	REVISION COMMENTS <td>02/15/18 <td>2 <td>G.C.</td> </td></td>	02/15/18 <td>2 <td>G.C.</td> </td>	2 <td>G.C.</td>	G.C.
					O.O.
<p>111 WOOD AVENUE SOUTH, SUITE 400 RESELIN, NJ 08830 (732) 623-8500</p>					

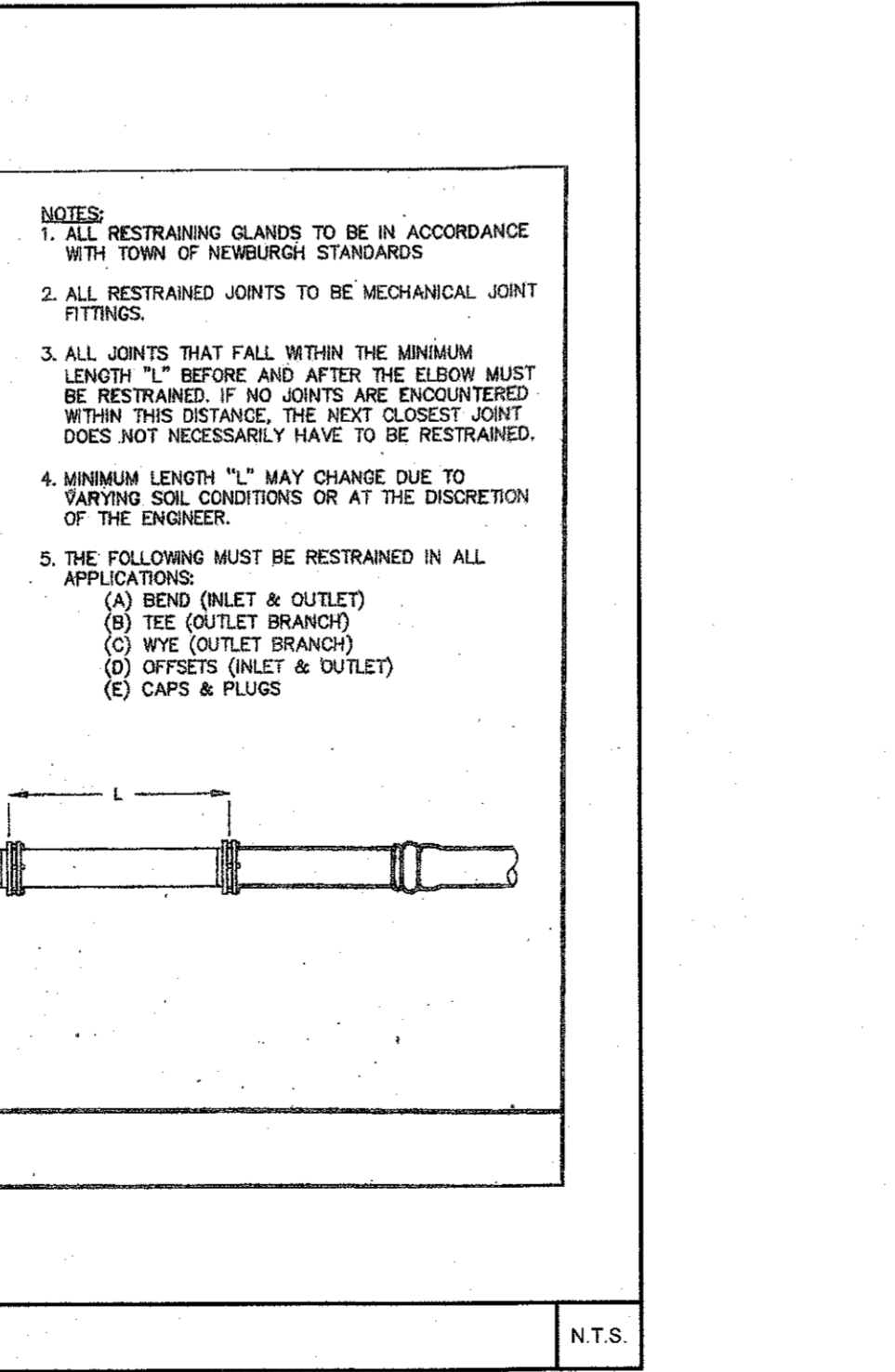
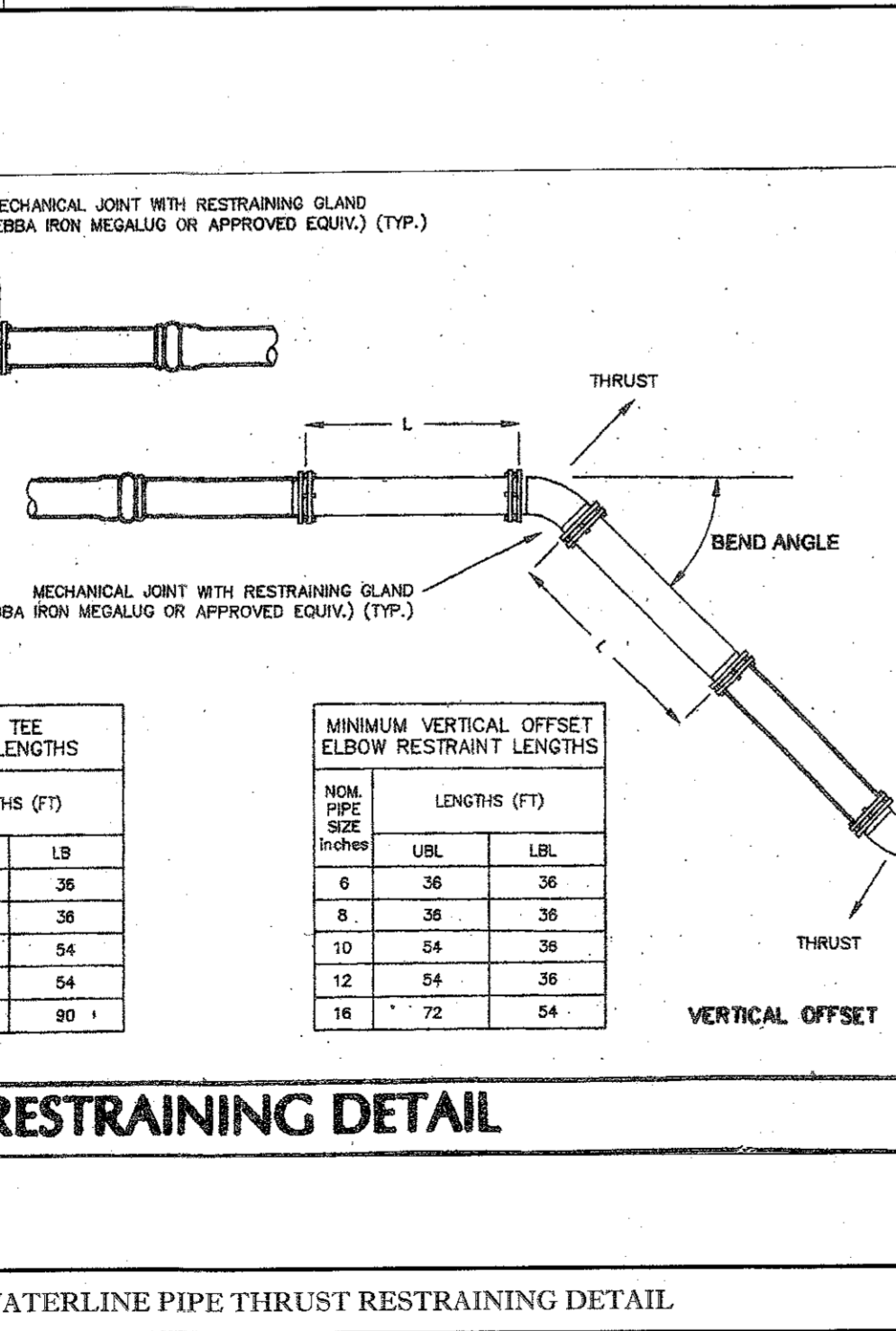
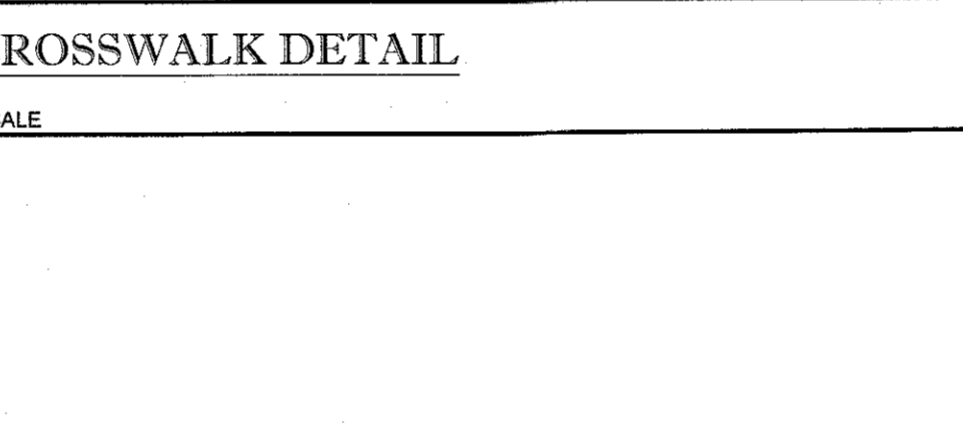
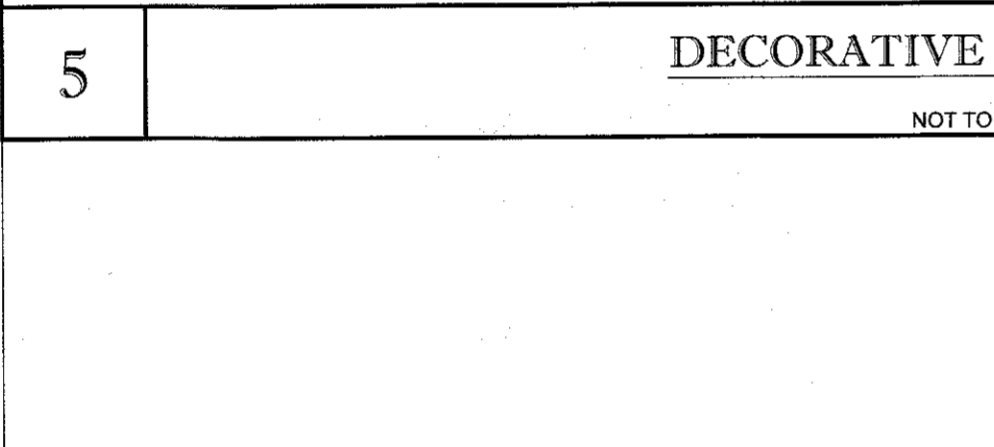
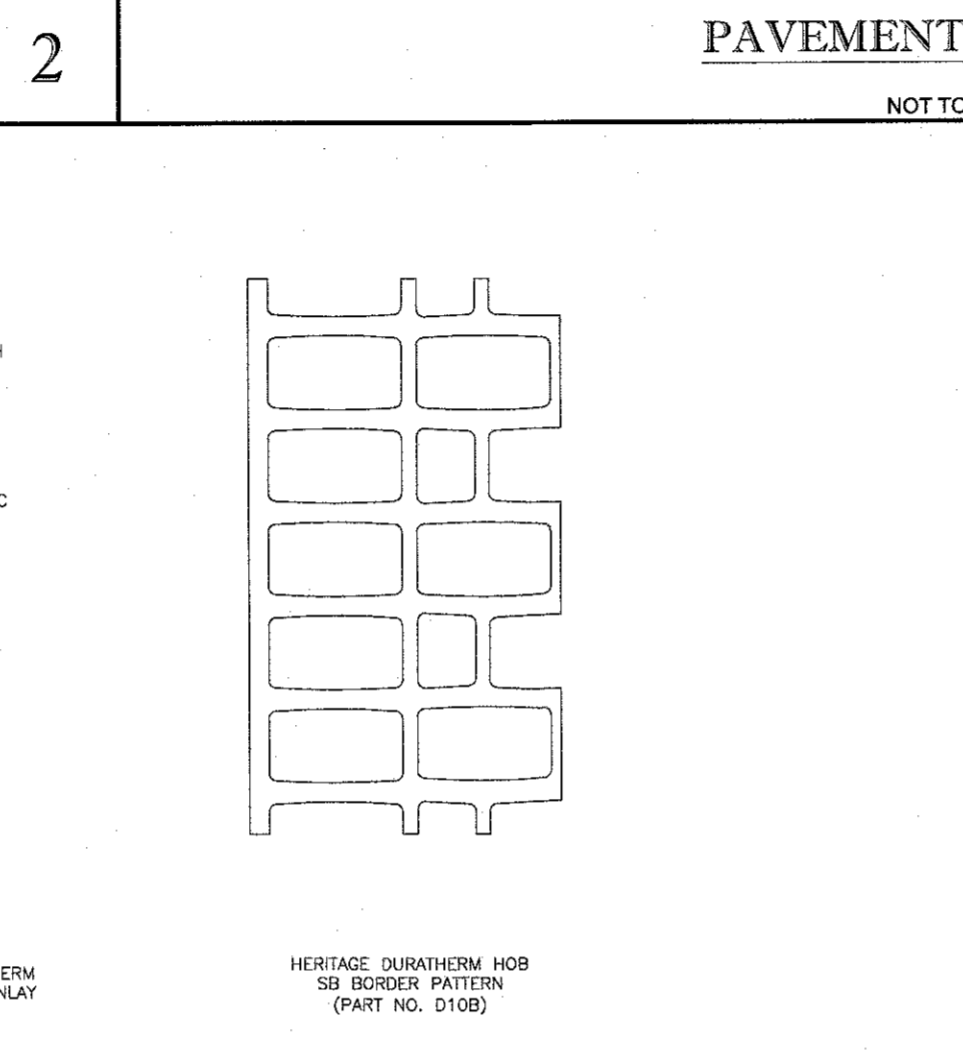
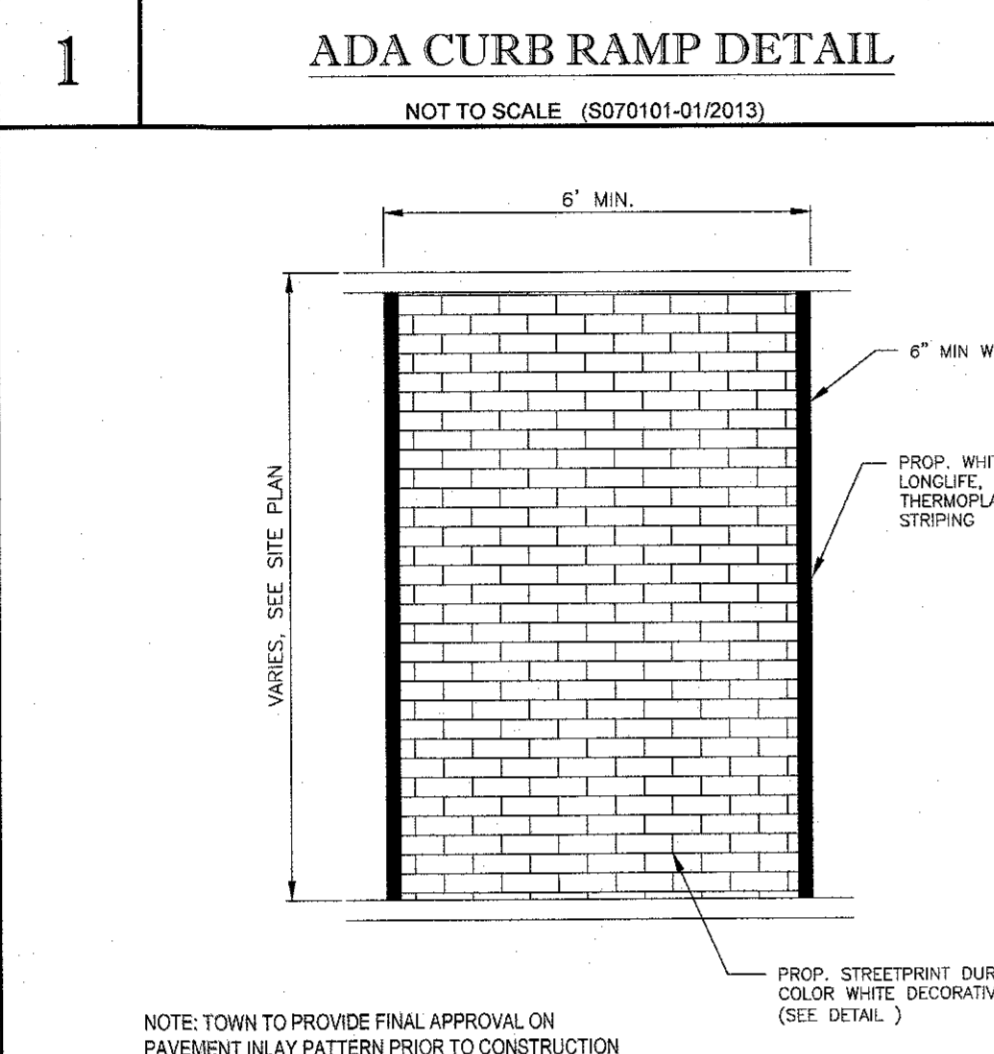
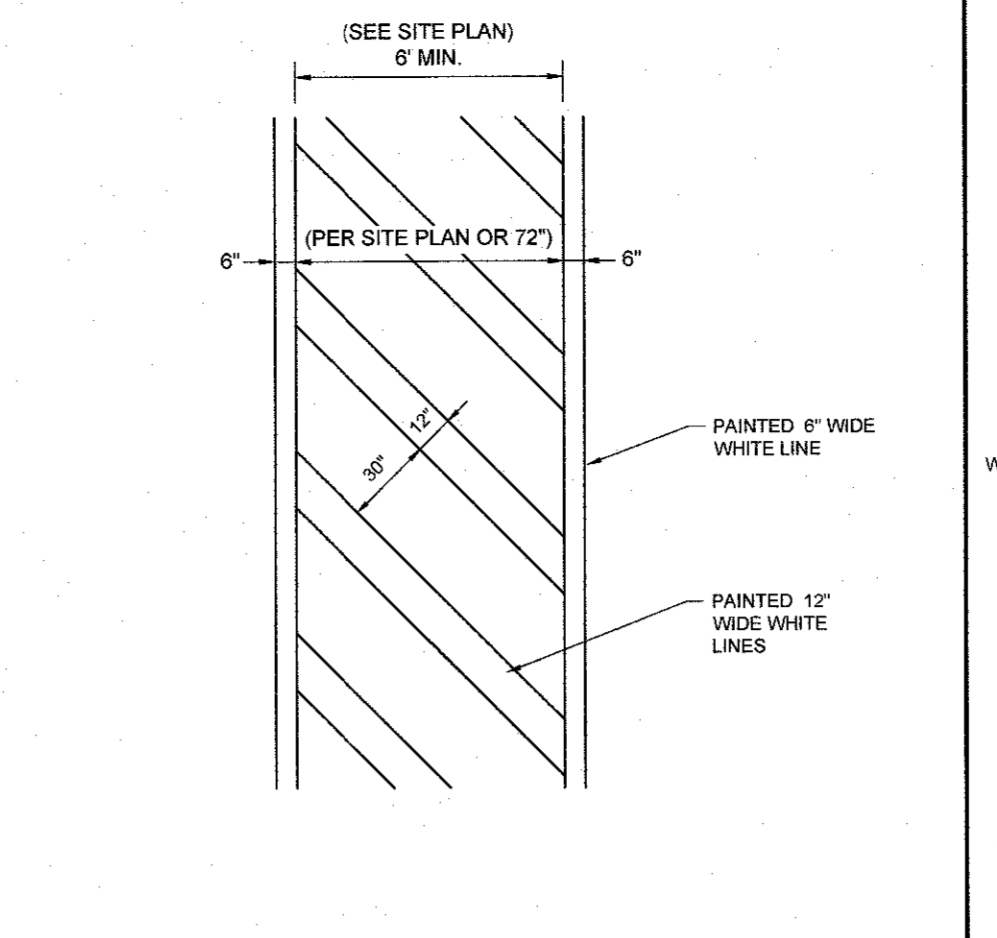
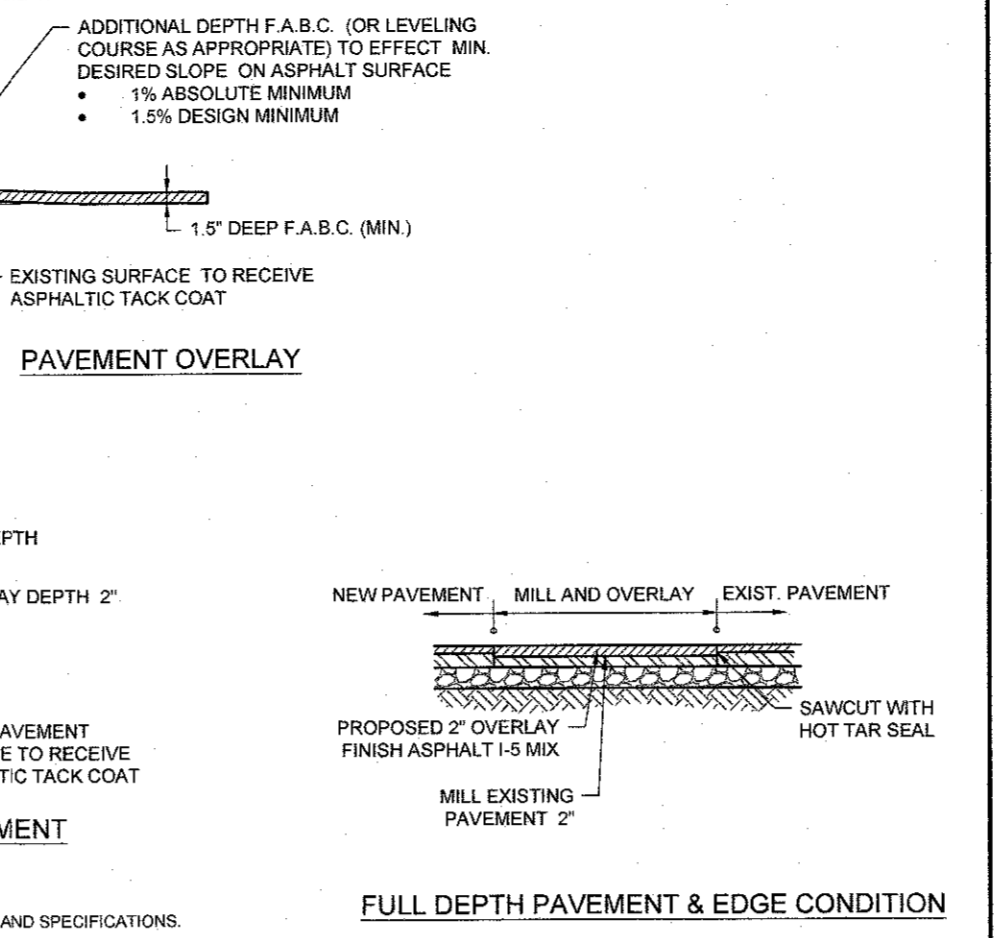
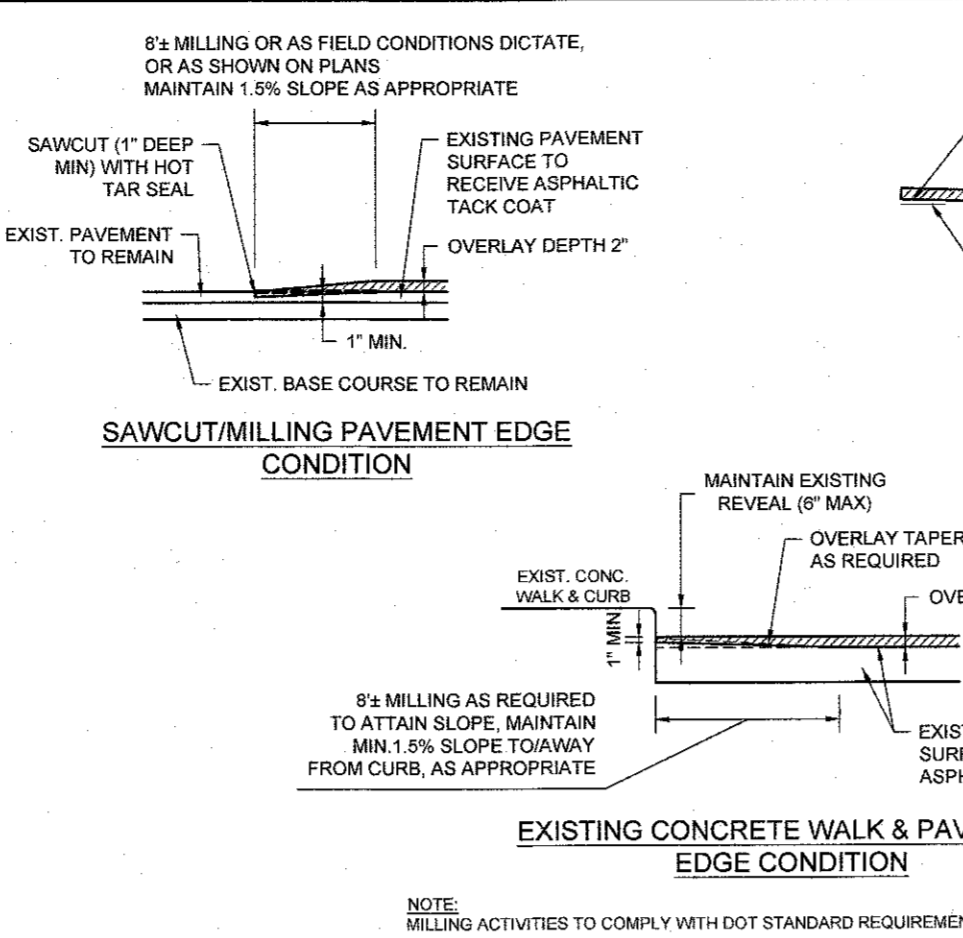
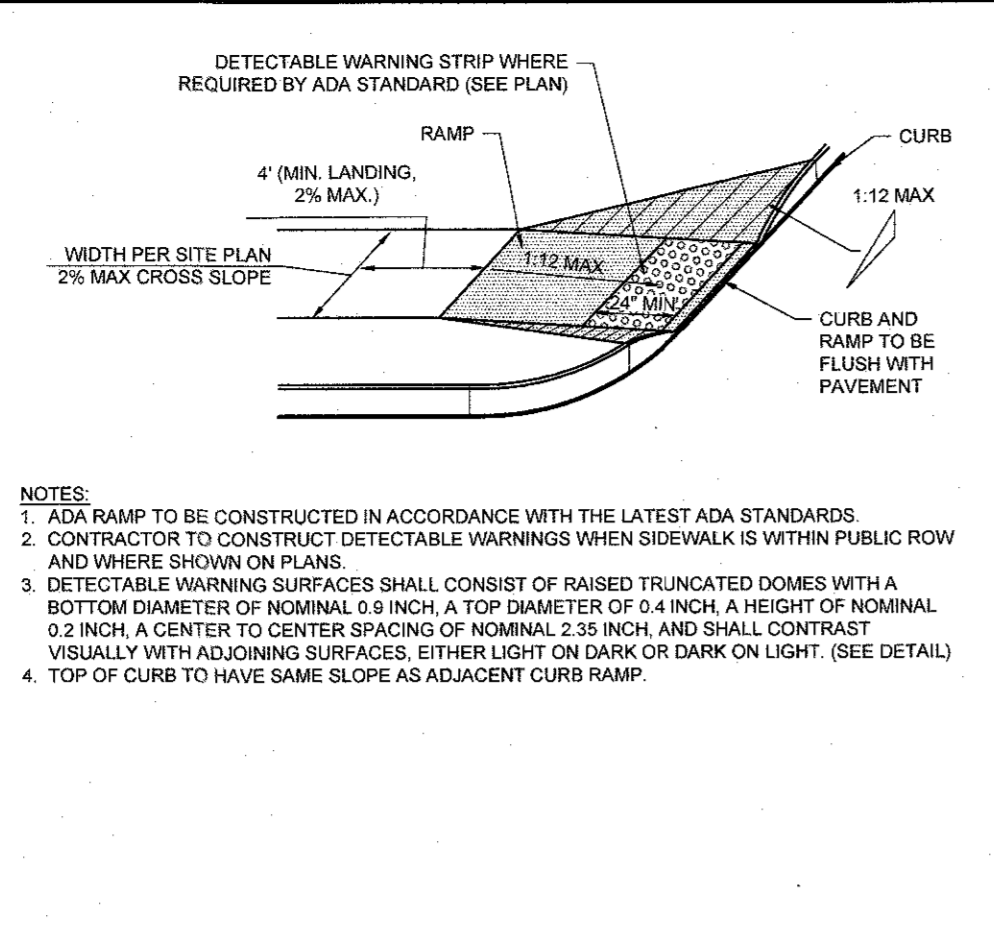
**TOWN OF NEWBURGH  
WATER SYSTEM NOTES FOR SITE PLANS**

- "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh."
- All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI/AWWA C151/A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
- Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
- All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI/AWWA C110/A21.10 for Ductile and Gray Iron Fittings or ANSI/AWWA C153/A21.53 for Ductile Iron Compact Fittings, latest revision.
- All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
- Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96  
Revised 04-24-02  
Revised 01-2015

**TOWN SEWER SYSTEM NOTES**

- Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.
- All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.
- All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming to ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and spigot configuration compatible with the pipe.
- The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.
- The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.



**MINIMUM TEE RESTRAINT LENGTHS**

NOM. PIPE SIZE (INCHES)	LENGTHS (FT)	
	LR	LR
6	18	36
8	18	36
10	18	54
12	18	54
16	18	90

**MINIMUM VERTICAL OFFSET ELBOW RESTRAINT LENGTHS**

NOM. PIPE SIZE (INCHES)	LENGTHS (FT)	
	UBL	LBL
6	36	36
8	36	36
10	54	36
12	54	36
16	72	54

**CONTECH ENGINEERED SOLUTIONS LLC**  
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800-338-1122 513-644-7000 513-644-7993 FAX

**CDS-4-C (CDS2015-4) ONLINE CDS STANDARD DETAIL**

Original 12-06-96  
Revised 04-24-02  
Revised 01-2015

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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRIVELINES, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE "FIELD LOCATIONS" AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT THE PROFESSIONAL ENGINEER'S SIGNATURE ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIR OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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www.digsafelynewyork.com

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Professional Engineer  
No. 008914  
New Jersey License No. 008914  
Pennsylvania License No. 008914  
Florida License No. 008914  
New York License No. 008914

**PROPOSED SITE IMPROVEMENTS**  
SECTION 76, BLOCK 1, LOT 1.1  
STREET ADDRESS  
65 NORTH PLANK ROAD

CITY STATE  
TOWN OF NEWBURGH NY  
COUNTY  
ORANGE

REGIONAL DWG NO. PLAN DESCRIPTION  
031-0145 DETAIL SHEET

STATUS DATE BY  
PRELIMINARY 08/15/17 KM  
PLAN CHECKED 08/15/17 LF  
AS-BUILT N/A N/A

CAD FILE: J10690-CDS-2A

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NEW YORK REGION  
111 WOOD AVENUE SOUTH, SUITE 400  
ISELIN, NJ 08830 (732) 623-8800

OFFICE ADDRESS

DATE  
01/22/18  
02/15/18

BY  
ATK  
APR

REVISIONS  
REV. 1 01/22/18  
REV. 2 02/15/18

DESCRIPTION  
REV. PER TOWNSHIP COMMENTS  
REV. PER TOWNSHIP ENGINEER COMMENTS

FINAL PLAN SIGNATURES  
P.M. G.C. O/O

PLAN APPROVALS  
SIGNATURE (2 REQUIRED)  
REGIONAL MGR.  
CONSTR. MGR.  
OPERATIONS DEPT.  
REAL ESTATE DEPT.

CO-SIGN SIGNATURES  
CONTRACTOR  
OWNER

DATE  
08/15/17  
08/15/17

BY  
KM  
LF

STATUS  
PRELIMINARY  
PLAN CHECKED  
AS-BUILT

DATE  
08/15/17  
08/15/17  
N/A

BY  
KM  
LF  
N/A

PROJECT NO.  
C-16

REV. 2



# SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

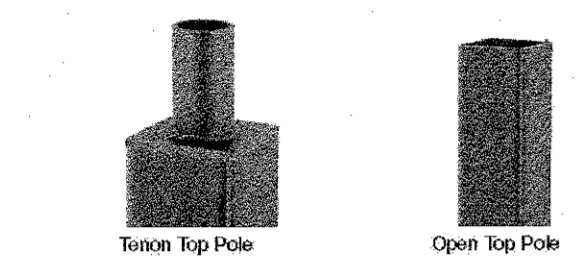
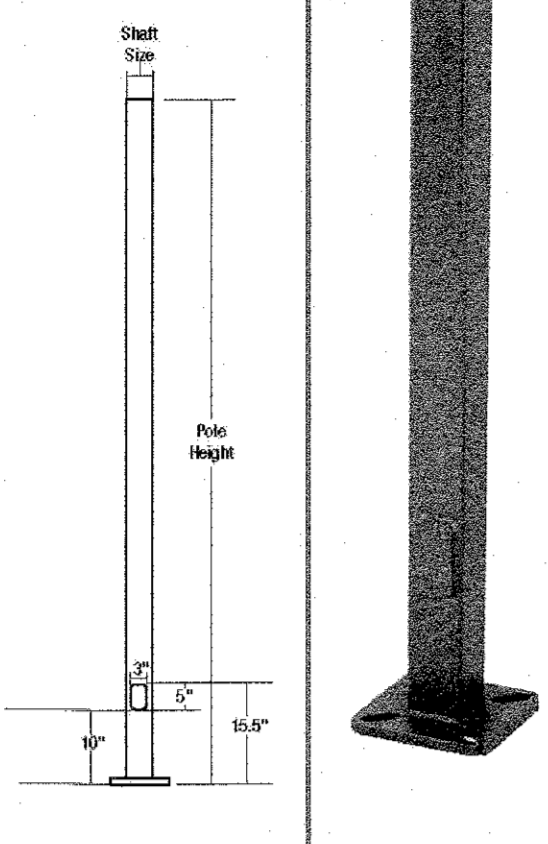
### Specifications

The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.

The popularity of this series is due to its full offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/colors stocked for immediate shipping.

- Square Steel Straight Pole
- One piece construction
- 2 3/8" O.D. base, Open Top or Factory drilled Side Mount Options available
- Steel Base Plate
- 2 size options for anchor bolts. All anchor bolts fully galvanized with 2 nuts and washers (bolts ordered as separate line item and paper template included as component of pole)
- Square base cover available (purchased as separate line item)
- Pole finished in weather proof powder coat paint in 4 standard colors
- 3" x 5" Gasketed hand hole standard

### Dimensions



Ordering Information Ordering Example: SES-18-40-01-1A-0-DB

SES	Material	Height	Base	Mounting	Color	Options
SS	Square Steel Straight Pole	10, 20, 22, 25, 28, 30 Feet	10" x 10" x 15.5" Base	Open Top Pole	White, Black, Silver	Hand Hole, Gasketed

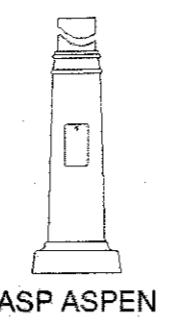
CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: SILVER

Web: www.securitylighting.com  
2100 5th Ave, Suite 400, Rolling Meadows, IL 60008-4704  
Phone: 815-221-1100 Fax: 815-221-1101  
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## 1 AREA LIGHT POLE SPECIFICATION (A-1 BLC, A-2 BLC & A-3 BLC)

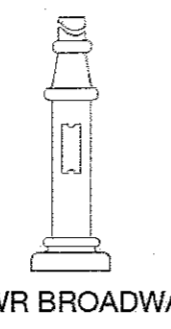
NOT TO SCALE SOURCE: SECURITY LIGHTING

## POLES DECORATIVE



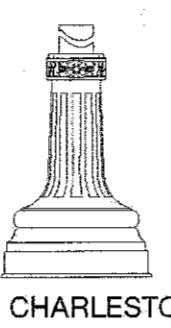
ASP ASPEN

Base Type	Mounting Height (Feet)	Shaft Size at Base (Inches)	Wall Thickness (Inches)	Shaft Type	Luminaire	Color	Options (Add as Suffix)
ASP-Aspen	10-17, 18-19, 20-21, 22-23, 24-25, 26-27, 28-29, 30-31	4-1/2"	3/8" 13", 3/8" 15"	4"-Round Straight, 4"-Round Flared	4"-x 4" O.D. Teardrop, 4"-x 4" O.D. Teardrop	AP-Gray, BK-Black, BR-Bronze, CP-Clear Polished, GM-Galvanized, GN-Non-Reflective Green, WH-White	GP-Position for Convenience, CU-Curtain, CO-Counterweight, GR-Ground Lug



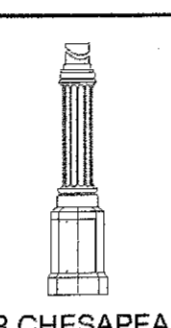
BWR BROADWAY

Base Type	Mounting Height (Feet)	Shaft Size at Base (Inches)	Wall Thickness (Inches)	Shaft Type	Luminaire	Color	Options (Add as Suffix)
BWR-Broadway	10-17, 18-19, 20-21, 22-23, 24-25, 26-27, 28-29, 30-31	4-1/2"	3/8" 13", 3/8" 15"	4"-Round Teardrop	4"-x 4" O.D. Teardrop	AP-Gray, BK-Black, BR-Bronze, CP-Clear Polished, GM-Galvanized, GN-Non-Reflective Green, WH-White	GP-Position for Convenience, CU-Curtain, CO-Counterweight, GR-Ground Lug



CHI CHARLESTON

Base Type	Mounting Height (Feet)	Shaft Size at Base (Inches)	Wall Thickness (Inches)	Shaft Type	Luminaire	Color	Options (Add as Suffix)
CHI-Charleston	10-17, 18-19, 20-21, 22-23, 24-25, 26-27, 28-29, 30-31	4-1/2"	3/8" 13", 3/8" 15"	4"-Round Teardrop	4"-x 4" O.D. Teardrop	AP-Gray, BK-Black, BR-Bronze, CP-Clear Polished, GM-Galvanized, GN-Non-Reflective Green, WH-White	GP-Position for Convenience, CU-Curtain, CO-Counterweight, GR-Ground Lug



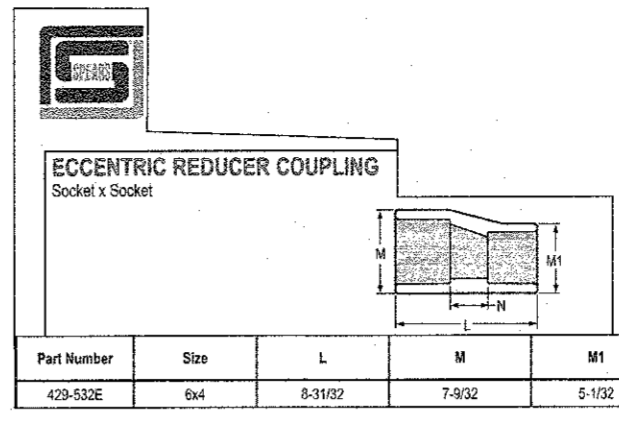
CPR CHESAPEAKE

Base Type	Mounting Height (Feet)	Shaft Size at Base (Inches)	Wall Thickness (Inches)	Shaft Type	Luminaire	Color	Options (Add as Suffix)
CPR-Chesapeake	10-17, 18-19, 20-21, 22-23, 24-25, 26-27, 28-29, 30-31	4-1/2"	3/8" 13", 3/8" 15"	4"-Round Teardrop	4"-x 4" O.D. Teardrop	AP-Gray, BK-Black, BR-Bronze, CP-Clear Polished, GM-Galvanized, GN-Non-Reflective Green, WH-White	GP-Position for Convenience, CU-Curtain, CO-Counterweight, GR-Ground Lug

CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: BRONZE

## 2 DECORATIVE LIGHT POLE SPECIFICATION (D-1 & D-2)

NOT TO SCALE SOURCE: COOPER INDUSTRIES



## 3 ECCENTRIC REDUCER COUPLING DETAIL

NOT TO SCALE SOURCE: SPEARS MANUFACTURING

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY	STATE	
TOWN OF NEWBURGH	NY	
COUNTY		
ORANGE		
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	DETAIL SHEET	
CAD FILE: J110569-COS-2A		

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS	APR	

FINAL PLAN SIGNATURES	
P.M.	G.C.
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