



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MATRIX 1-84 DISTRIBUTION CENTER- SITE PLAN
PROJECT NO.: 22-29
PROJECT LOCATION: SECTION 86, BLOCK 1, LOT 97/ ROUTE 17K
SECTION 89, BLOCK 1, LOTS 66 & 69.11
REVIEW DATE: 26 MAY 2023
MEETING DATE: 1 JUNE 2023
PROJECT REPRESENTATIVE: LANGAN ENGINEERING

1. The Town of Newburgh Planning Board declared its intent for Lead Agency on 1 December 2022. Lead Agency circulation was mailed to interested and involved agencies on 7 December 2022. The Planning Board would be in a position to declare itself Lead Agency for the SEQRA review for the subject project.
2. The applicants have identified the secondary means of access for fire protection required by the Fire Code based on the building size as a circuitous route through the Manheim Auto Auction parcel. The aerial photo identifies numerous vehicles parked throughout the proposed routing. The method of delineating the emergency access and assuring that the emergency access remains open and maintained for emergency vehicles must be addressed. Easement must be provided.
3. The Design Plans do not show the Toyota of Newburgh overflow lot. Status of this should be addressed.
4. Compliance with the Tree Preservation Ordinance must be documented. Tree Preservation Ordinance is under review and evaluation by the Town Board.
5. During the initial project review, Noise & Visual analysis locations were identified.
6. Extensive retaining walls have been implemented on the plan in order to address grading in relation to existing site topography. Retaining walls on the western portion of the property are approximately 54 feet maximum height. Walls on the eastern side of the property are 35 feet maximum height.
7. Plans should show the location of the recently approved Moffat Properties driveway. Requirements from the NYSDOT regarding the Moffat Properties driveway should be similarly depicted at the access road.
8. A City of Newburgh Flow Acceptance letter will be required.
9. During initial design of the SWPPP it must be determined whether the site is tributary to the City of Newburgh water supply reservoir (Washington Lake) or if the project discharges across the

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unnamed tributary through the Stewart Airport properties.

10. The EAF identifies the site containing habitat for Threatened and Endangered Species. Reports regarding each of these species should be prepared and submitted to the Planning Board and the NYSDEC.
11. There is documented reports that the open land former farm area was used for sludge disposal in the past. The applicant's representative is called to this matter with regard to this potential. It is noted that three remediation sites are identified in the Long Form EAF within the DEC search database.
12. The Federal Jurisdictional Wetland delineation should be submitted to the Planning Board to complete its files.
13. Sign-off from the FAA will be required. Initial determinations from the adjoining Moffat Properties identify FAA concerns regarding placement of the structure.
14. The Zoning Analysis for the remaining Manheim parcel should be submitted.
15. Bulk Table for the resulting lot line changed lots should be provided.
16. The following detailed studies will be required:
 - Stormwater Pollution Prevention Plan (SWPPP)
 - Traffic Study
 - Visual Analysis
 - Noise Analysis
 - Threatened and Endangered Species Analysis
 - FAA No Hazard Confirmation
 - Sanitary Sewer and Water Design with hydraulic loading rate for City of Newburgh Flow Acceptance
 - Architectural rendering including visuals of retaining wall structures
18. Detailed Engineering review will be undertaken upon submission of complete Site Plan documents, plans and reports.

Respectfully submitted,

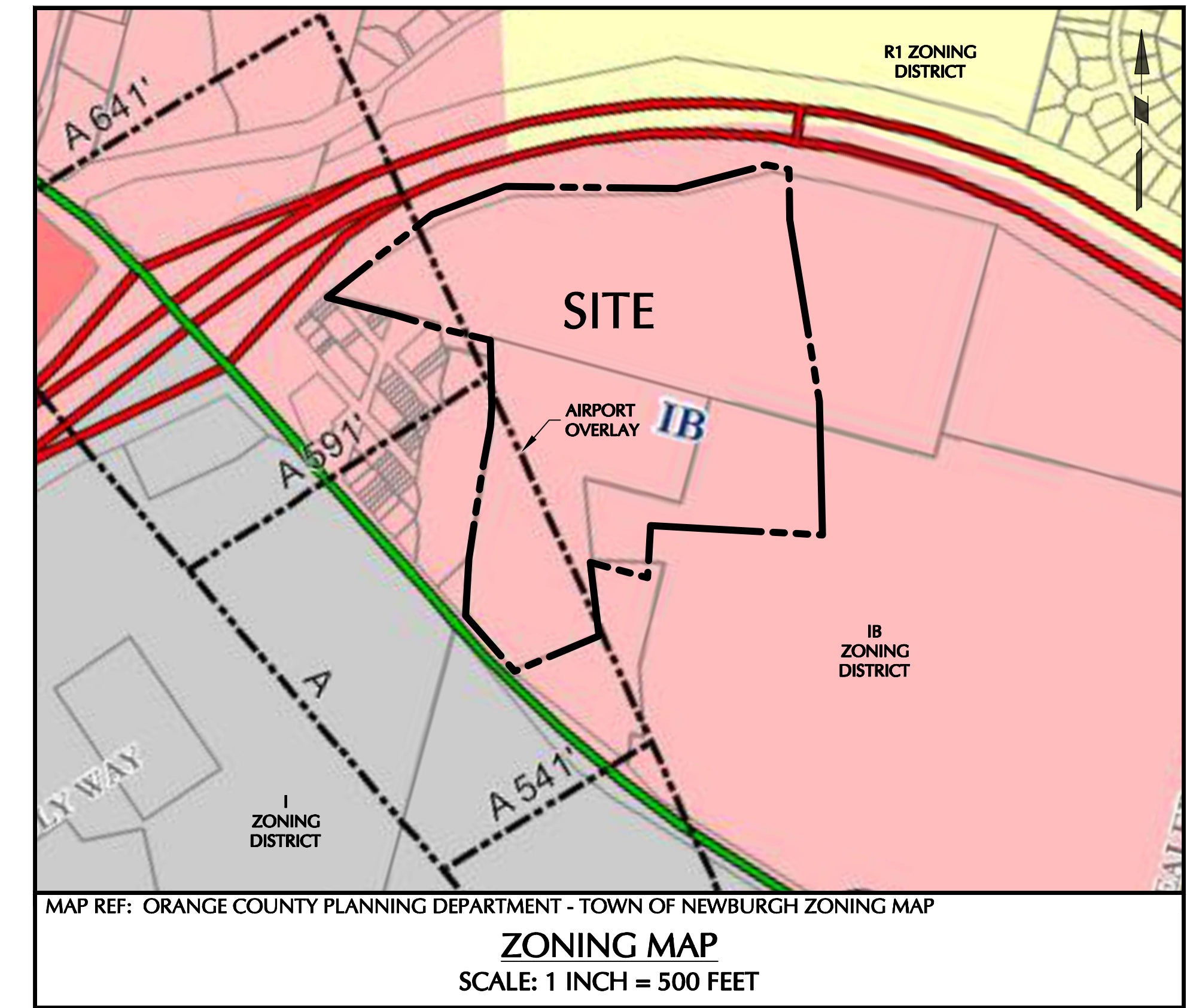
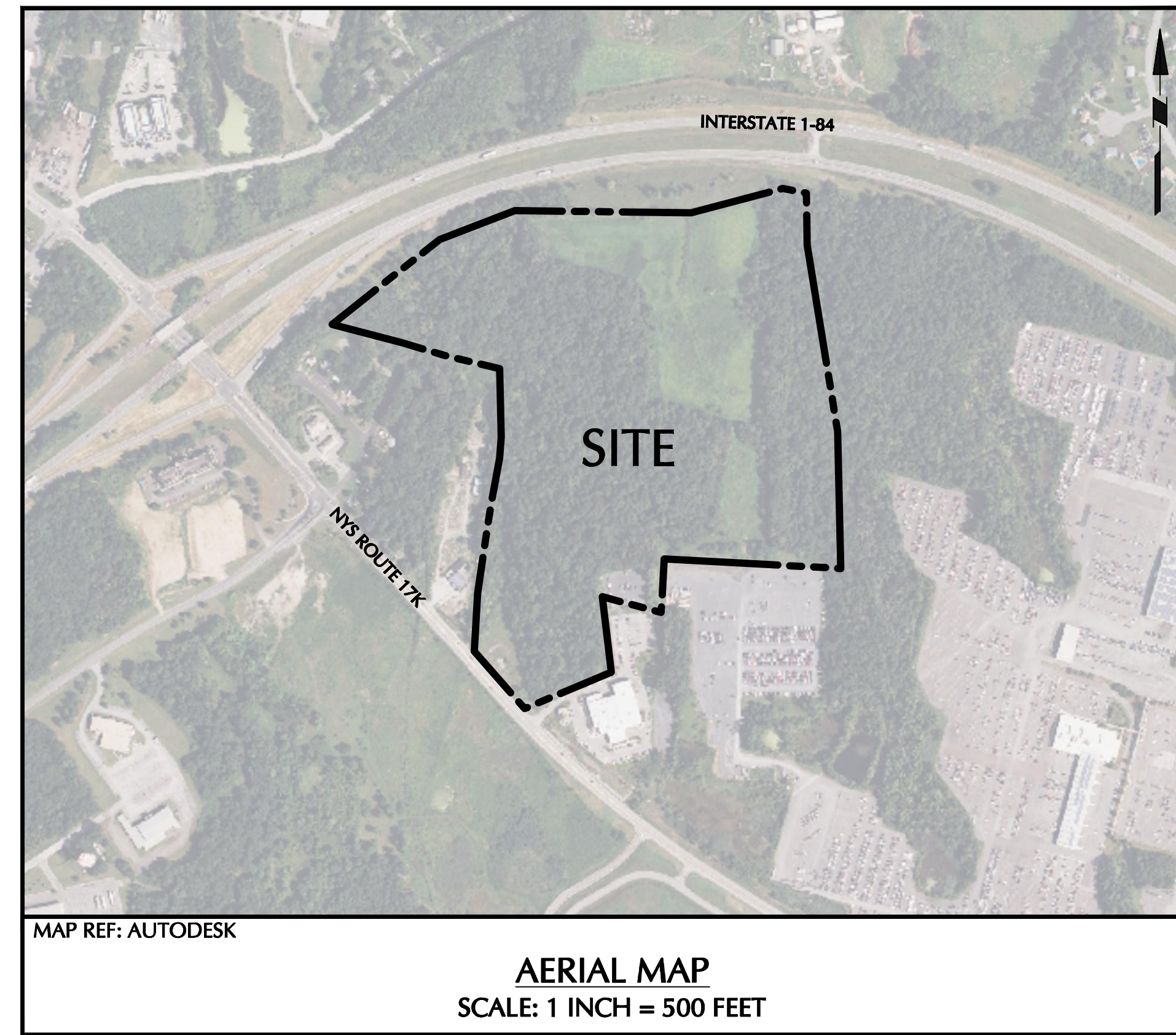
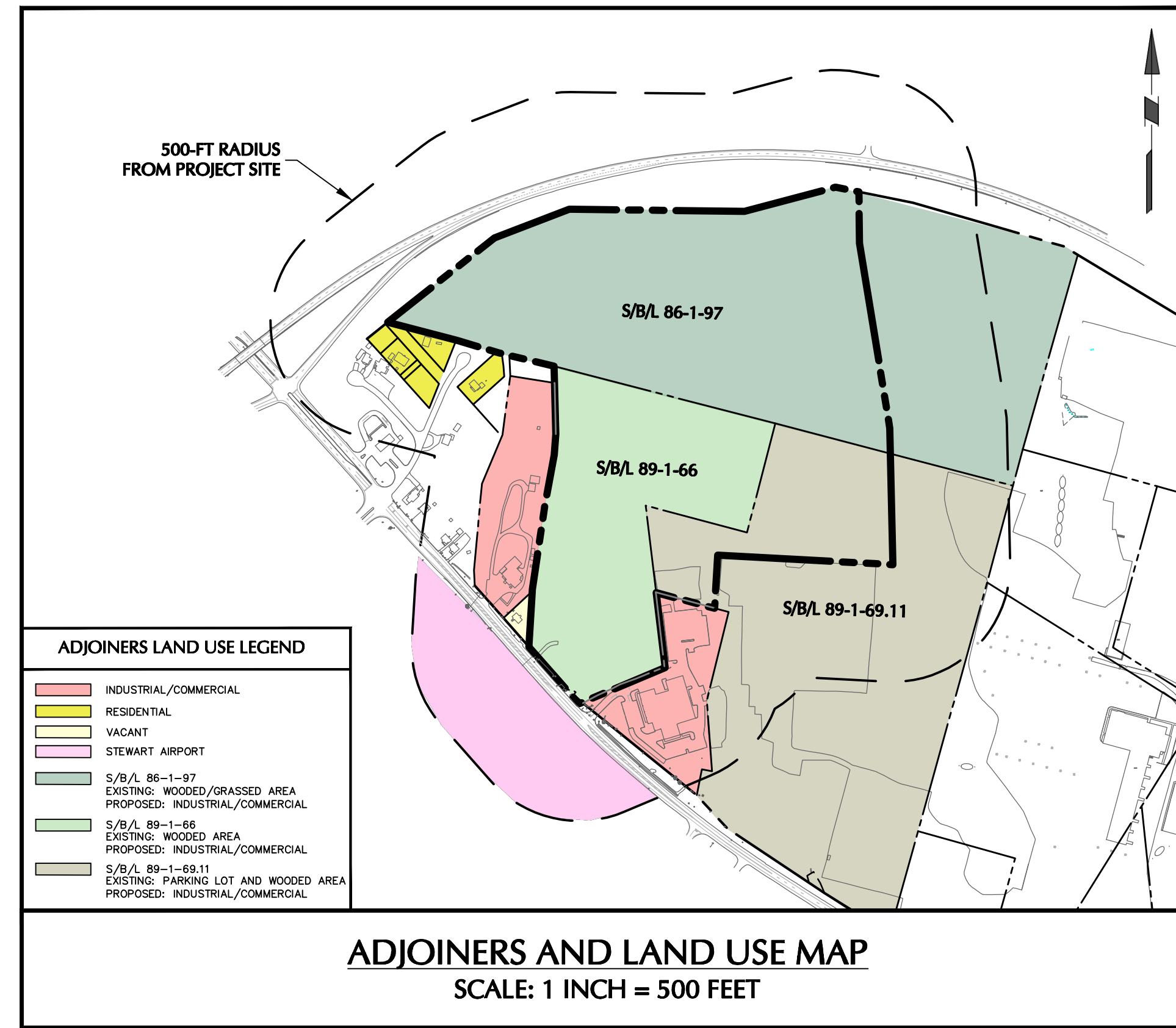
MHE Engineering, D.P.C.



Patrick J. Hines
Principal
PJH/kbw

SKETCH PLAN SUBMISSION DOCUMENTS FOR MATRIX I-84 DISTRIBUTION CENTER

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK
SECTION 89, BLOCK 1, LOTS 66 AND 69.11; SECTION 86, BLOCK 1, LOT 97
PLANNING BOARD PROJECT No: 2022-29



DRAWING LIST		
DRAWING NO.	SHEET NO.	DRAWING TITLE
CS001	1 OF 6	COVER SHEET
CD100	2 OF 6	EXISTING CONDITIONS AND SITE SLOPES ANALYSIS PLAN
CS100	3 OF 6	OVERALL SITE PLAN
CS200	4 OF 6	EMERGENCY ACCESS ROUTE
CS300	5 OF 6	MANHEIM ZONING ANALYSIS
CG100	6 OF 6	OVERALL GRADING PLAN

PROJECT CONTACTS	
APPLICANT:	MATRIX NEWBURGH ROUTE 17K DEVELOPMENT, LLC 3 CENTRE DRIVE MONROE TOWNSHIP, NJ 08831
OWNER (SBL: 89-1-66):	MATRIX NEWBURGH ROUTE 17K DEVELOPMENT, LLC 3 CENTRE DRIVE MONROE TOWNSHIP, NJ 08831
OWNER (SBL: 89-1-69.11):	MANHEIM REMARKETING, INC 6205 PEACHTREE DUNWOODY ROAD NE ATLANTA, GA 30328
OWNER (SBL: 86-1-97):	MANHEIM REMARKETING, INC 6205 PEACHTREE DUNWOODY ROAD NE ATLANTA, GA 30328
SITE CIVIL/ENGINEER:	LANGAN ONE NORTH BROADWAY, SUITE 910 WHITE PLAINS, NY 10601 (914) 323-7400

Date	Description	No.
05/09/23	REVISED SKETCH PLAN SUBMISSION	1.
Revisions		

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.

DATE SIGNED: 5/9/2023
SIGNATURE: [Signature]
PROFESSIONAL ENGINEER NY Lic. No. 062303

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Project: **MATRIX CENTER - 17K**
Drawing Title: **COVER SHEET**
Project No.: **190063302**
Date: **NOVEMBER 17, 2022**
Drawn By: **LM**
Checked By: **CU**

Drawing No.: **CS001**
Section No. 89, Block No. 1, Lot No. 66 and 69.11
Town of Newburgh
Orange County, New York

Project No.: **190063302**
Date: **NOVEMBER 17, 2022**
Drawn By: **LM**
Checked By: **CU**
Sheet **1** of **6**

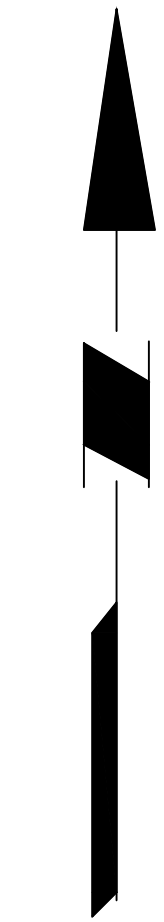


REFERENCE NOTES

- EXISTING SITE FEATURES, TOPOGRAPHIC, AND UTILITY INFORMATION SHOWN HEREON ARE FROM AN ALTA/SUP'S LAND TITLE SURVEY PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL SURVEYING, LANDSCAPE ARCHITECTURE, AND GEOLOGY, D.P.C.
- THE HORIZONTAL DATUM REFERENCED IS THE NORTH AMERICAN DATUM OF 1983 (NAD83), NEW YORK STATE EAST STATE PLANE.
- THE VERTICAL DATUM REFERENCED IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- ONSITE WETLANDS HAVE BEEN DELINEATED AND LOCATED BY LANGAN ENGINEERING, ENVIRONMENTAL SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C. WETLAND SCIENTISTS ON 11/01/2022 AND 11/02/2022.

SLOPES TABLE

NUMBER	MIN. SLOPE	MAX. SLOPE	AREA (SF)	AREA (AC)	COLOR
1	15.0%	20.0%	319,807	7.34	
2	20.0%	25.0%	193,050	4.43	
3	25.0%	Vertical	537,263	12.33	



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100 0 50 100
SCALE IN FEET

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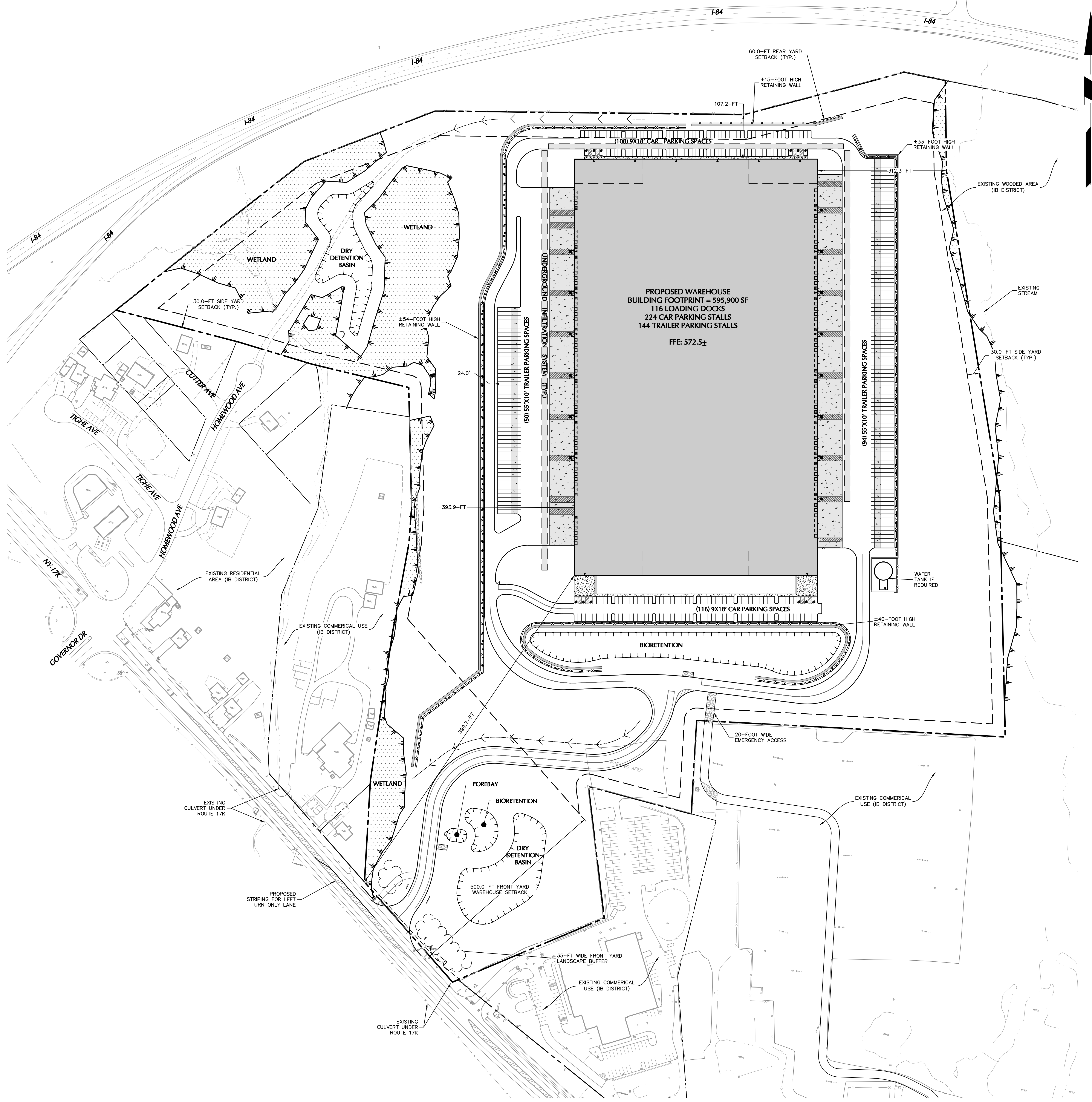
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DATE SIGNED
JOSEPH SCHIG, JR., P.E.
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Project
MATRIX CENTER - 17K
SECTION No. 86, BLOCK No. 1, LOT No. 97
SECTION No. 89, BLOCK No. 1, LOT No. 66 and 69.11
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
EXISTING CONDITIONS AND SLOPES ANALYSIS PLAN

Project No.
190063302
Date
NOVEMBER 17, 2022
Drawn By
LM
Checked By
CU
Drawing No.
CD101
Sheet 3 of 6



ZONING TABLE: TOWN OF NEWBURGH, NY INTERCHANGE BUSINESS (IB) ZONING DISTRICT				
CODE REF.	BULK REGULATION	REQUIRED	PROPOSED LOT COMPLIANCE	
			PROPOSED	COMPLIANCE
Schedule 8	PRINCIPAL USE	Use subject to site plan review by Planning Board	Warehouse	YES
Schedule 8	MIN. LOT AREA	40,000 SF	±2,698,696 SF (62.0 AC)	YES
Schedule 8	MIN. LOT WIDTH	150 FT	720 FT	YES
Schedule 8	MIN. LOT DEPTH	150 FT	2,110 FT	YES
Sect. 185-18	MIN. FRONT YARD (STATE ROAD) ⁽¹⁾	60 FT	899.7 FT	YES
Schedule 8	MIN. SETBACK FROM ROUTE 17K ⁽²⁾	500 FT	899.7 FT	YES
Schedule 8	MIN. REAR YARD	60 FT	107.2 FT	YES
Schedule 8	MIN. SIDE YARD (ONE SIDE)	30 FT	312.3 FT	YES
Schedule 8	MIN. SIDE YARD (BOTH SIDES)	80 FT	706.2 FT	YES
Schedule 8	MAX. LOT BUILDING COVERAGE	40%	22.1%	YES
Schedule 8	MAX. BUILDING HEIGHT	40 FT	< 40 FT	YES
Schedule 8	MAX. LOT SURFACE COVERAGE	80%	< 60%	YES
Sect. 185-18	FRONT YARD LANDSCAPE BUFFER ALONG ROUTE 17K	35 FT	35 FT	YES

Notes:
 (1) A 60 FT front yard setback is required from State roads (NYS Route 17K)
 (2) Per Schedule 8, Column D, Line Item 9, "Warehouse, storage and transportation facilities, including truck and bus terminals, not within 500 feet of Route 17K" is a use subject to site plan review by the Planning Board.

LOADING & OFF-STREET PARKING REQUIREMENTS SECTION (185-13)		
Zone: IB (Interchange Business)		
Loading Requirements	Required	Proposed
2 spaces up to initial 40,000 SF and 1 additional space for each 40,000 square feet in addition to the first 40,000 square feet	Initial 40,000 SF Building = 2 spaces 555,500 SF Remaining Building / 40,000 SF = 13.9 spaces 2 spaces + 14 spaces = 16 loading spaces required	> 16 spaces provided
Off-Street Parking Requirements		
Office Building: 1/200 SF of building floor area for first 20,000 SF of floor area, then 1/300 SF additional floor area	20,000 SF total office space proposed 20,000 SF office / 200 SF = 100 spaces required	224 total spaces provided
Warehouse: 2 per 3 employees on duty or on the premises at any one time (minimum 2 spaces)	186 employees per shift / 3 employees = 62 spaces 62 spaces * 2 spaces = 124 spaces required	
Total	100 spaces + 124 spaces = 224 spaces required	
ADA Accessible Parking Requirements		
	201-300 total spaces = 7 ADA spaces required	12 spaces provided

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 100 0 50 100

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Project
MATRIX CENTER - 17K
 SECTION No. 86, BLOCK No. 1, LOT No. 97
 SECTION No. 89, BLOCK No. 1, LOT No. 66 and 69.11
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

Drawing Title
OVERALL SITE PLAN

Project No.
 190063302

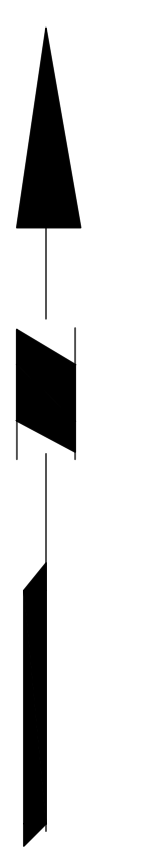
Date
 NOVEMBER 17, 2022

Drawn By
 LM

Checked By
 CU

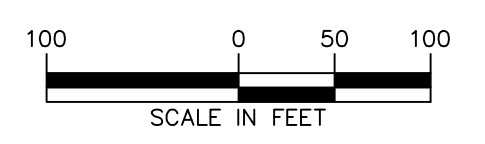
Drawing No.
CS100


Sheet 3 of 6



Date	Description	No.
Revisions		

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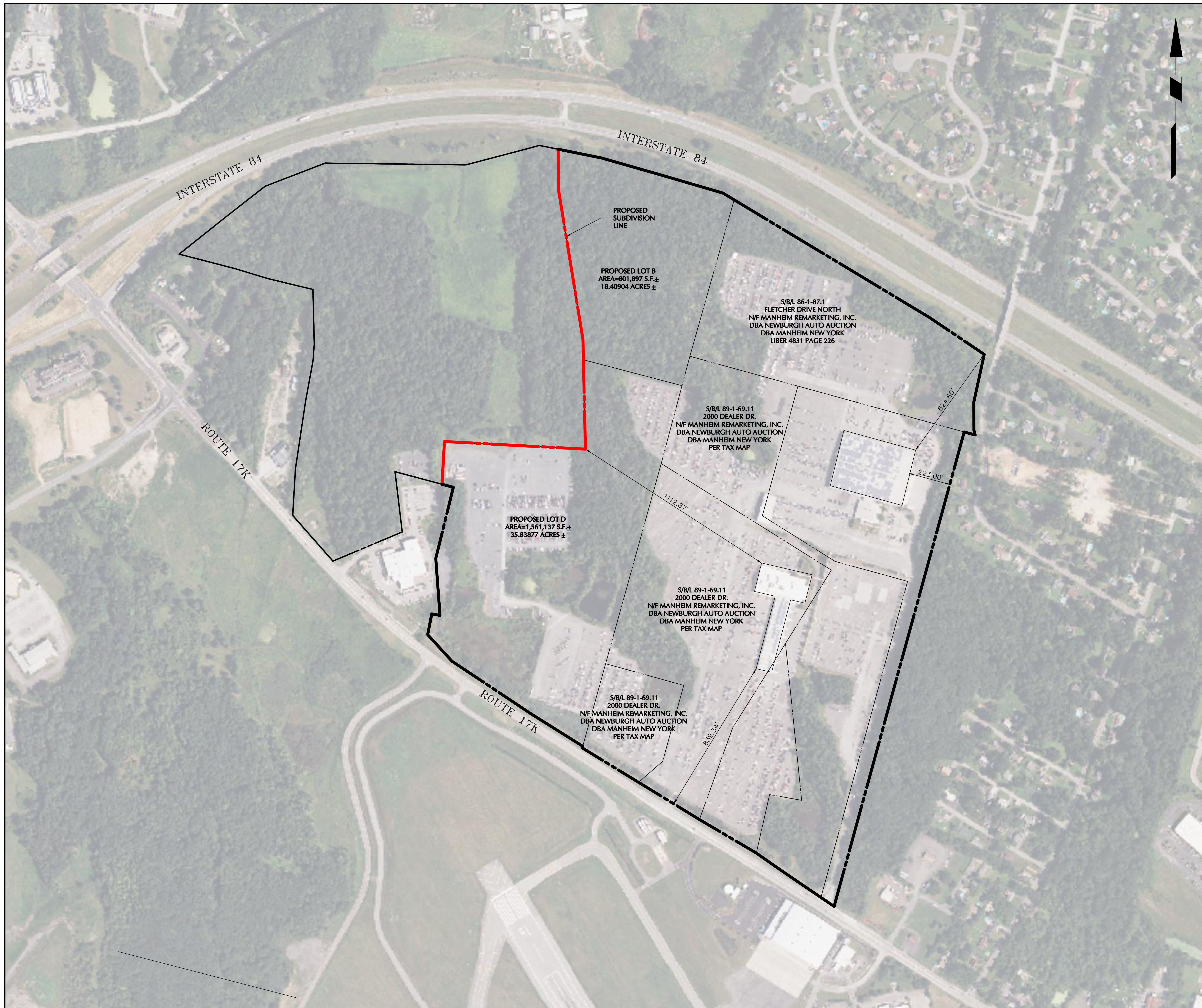
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 ORANGE COUNTY NEW YORK

Drawing Title
EMERGENCY ACCESS ROUTE

Project No.
 190063302
 Date
 MAY 9, 2023
 Drawn By
 LM
 Checked By
 CU

Drawing No.
CS200
 Sheet 4 of 6



ZONING TABLE: TOWN OF NEWBURGH, NY				
INTERCHANGE BUSINESS (IB) ZONING DISTRICT				
CODE REF.	BULK REGULATION	REQUIRED	PROPOSED LOT	
			POST SUBDIVISION	COMPLIANCE
Schedule 8	PRINCIPAL USE	Use subject to site plan review by Planning Board	Auto Dealership	YES
Schedule 8	MIN. LOT AREA	40,000 SF	±6,927,531 SF (159.0 AC)	YES
Schedule 8	MIN. LOT WIDTH	150 FT	2,739.6 FT	YES
Schedule 8	MIN. LOT DEPTH	150 FT	2,110.0 FT	YES
Sect. 185-18	MIN. FRONT YARD (STATE ROAD)	60 FT	839.3 FT	YES
Schedule 8	MIN. REAR YARD	60 FT	624.8 FT	YES
Schedule 8	MIN. SIDE YARD (ONE SIDE)	30 FT ⁽¹⁾	223.0 FT	YES
Schedule 8	MIN. SIDE YARD (BOTH SIDES)	80 FT	1,335.9 FT	YES
Schedule 8	MAX. LOT BUILDING COVERAGE	40%	±2.8%	YES
Schedule 8	MAX. BUILDING HEIGHT	40 FT	EXISTING	YES
Schedule 8	MAX. LOT SURFACE COVERAGE	80%	±51.4%	YES

Notes:
 (1) Per code section 185-18C(5)(a), a portion of the eastern boundary of the manheim site is subject to an additional side yard setback based on building area. The proposed subdivision of the lot will not have an effect on the eastern property line or its associated side yard

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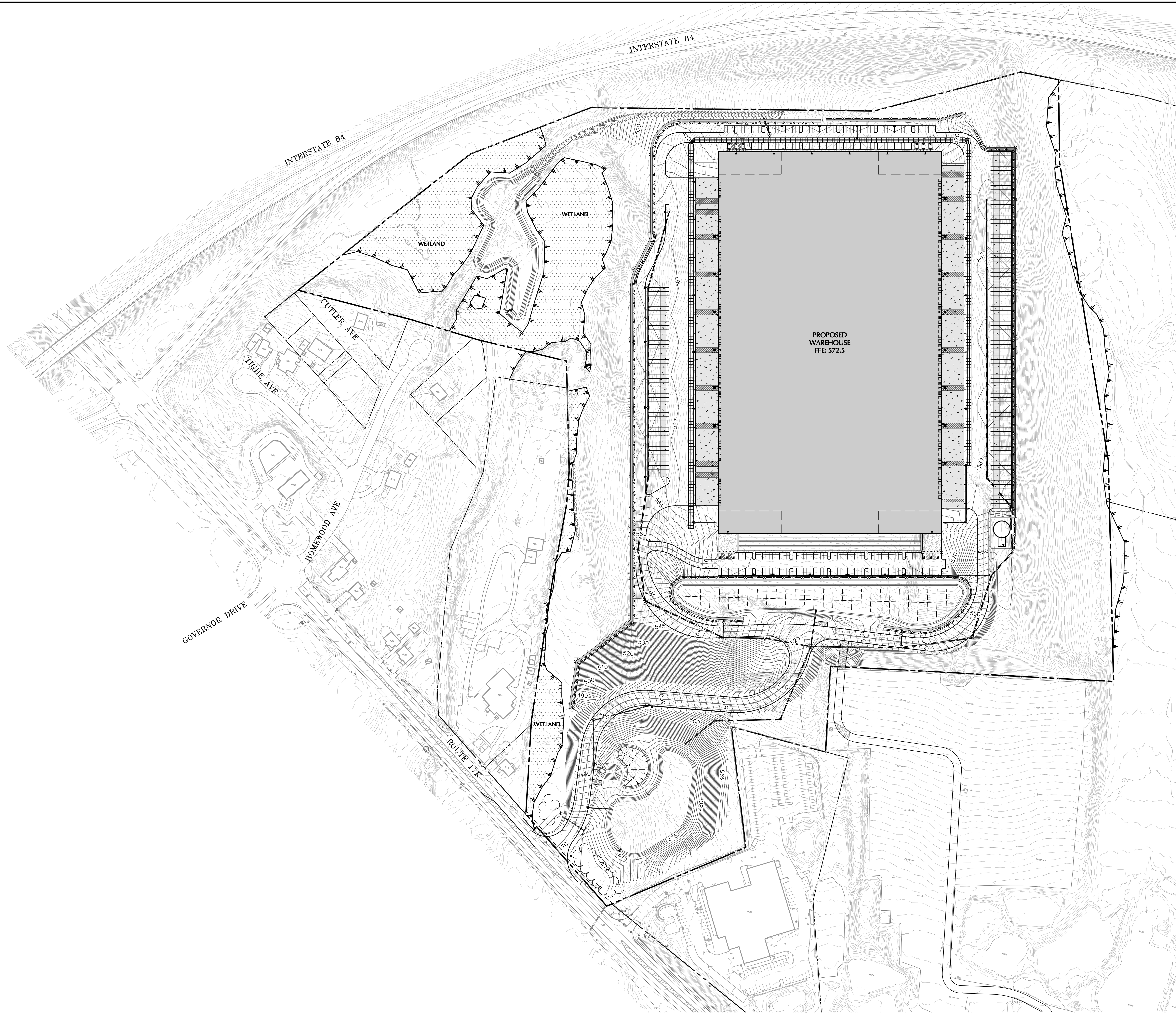
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 ORANGE COUNTY NEW YORK


Drawing Title: **MANHEIM ZONING ANALYSIS**

Project No.: 190063302
 Date: MAY 9, 2023
 Drawn By: LM
 Checked By: CU
 Drawing No.: CS300
 Sheet 5 of 6



Date	Description	No.
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Drawing Title
OVERALL GRADING PLAN

Project No.	190063302	Drawing No.	CG100
Date	MAY 9, 2023	Drawn By	LM
Checked By	CU	Sheet	6 of 6