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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: MATRIX BUSINESS PARK AT NEWBURGH/AMSCAM  
AMENDED SITE PLAN**  
**PROJECT NO.: 2015-26**  
**PROJECT LOCATION: SECTION 95 BLOCK 1 LOT (4.12,54.1, 69.25,49.12)**  
**REVIEW DATE: 11 OCTOBER 2016**  
**MEETING DATE: 12 OCTOBER 2016**  
**PROJECT REPRESENTATIVE: LANGAN ENGINEERING**

1. The Applicants have submitted plans responsive to our previous comments including additional details regarding guide rails, grading and parking layout.
2. The Applicants have provided a chart identifying changes in the site plan with regard to previously reviewed SEQRA thresholds. The chart identifies a de minimis increase in water and sewer use on the site.
3. Ken Wersted's comments regarding traffic impacts should be received and evaluated by the board with regard to any potential SEQRA impacts.
4. A dumpster/ compactor has been added to one of the loading docks, which will be utilized for the AMSCAM tenant.
5. The majority of the previously identified land banked parking will be constructed under the current proposal and utilized for passenger vehicles.
6. Orange County Planning comments are outstanding. Thirty day notice will lapse on the 16<sup>th</sup> of October.
7. NYSDOT coordination should be confirmed with Ken Wersted.

8. A motorized chain link sliding gate/swing gate is now depicted between the current occupancies on the west end of the site. Jurisdictional Fire Department access should be addressed.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

PJH/kbw

**Updated Project Narrative**  
**Amended Site Plan Approval**  
**The Matrix Business Park at Newburgh**

OCT 10 2016

Matrix Newburgh I, LLC ("Matrix") is seeking amended site plan approval to accommodate Amscan Inc. ("Amscan"), a prospective tenant at "The Matrix Business Park at Newburgh" ("the Project"). The Project received site plan and Architectural Review Board (ARB) approval from the Town of Newburgh Planning Board on February 18, 2016 for construction of a 565,320 square-foot multi-tenant warehouse building and associated site improvements. Under the original approval, approximately 317,520 square feet of the building would be occupied by Amerisource Bergen and the remaining space, approximately 247,800 square feet, would be left vacant for a future tenant. Amscan now desires to occupy the remaining vacant space in the building.

The Project also received amended site plan approval from the Planning Board on April 25, 2016 for a re-configured and relocated emergency access driveway. As required by Condition No. 8 of the amended approval, Matrix is required to seek Planning Board review for any use or tenancy for the vacant portion of the building falling outside of "S-1" (moderate hazard storage) use/occupancy category as defined by the NYS Building Code. Amscan's proposed operations at the site will fall into the S-1 Storage Moderate Hazard and F-2 Industrial Moderate Hazard categories under the NYS Building Code.

As a result, Matrix is seeking Planning Board review of the use and operational characteristics for Amscan related to its proposed occupancy within the building. Matrix is also seeking approval of a minor site plan revision to meet Amscan's and Amerisource Bergen's parking requirements.

Amscan is the largest designer, manufacturer, and distributor of decorated party goods and party accessories in the world. The company is also a leading supplier of gifts, home décor, and tabletop products as well as the primary source for gift wrap, gift bags, stationery, and licensed products.

Amscan's proposed use of the site is permitted under the Town's Zoning Code in the IB zoning district with a site plan approval from the Planning Board for the following uses: (1) manufacturing, fabricating or processing products or materials; and (2) warehouse and storage facility.

Amscan's proposed use will consist of a combination of light manufacturing/assembly, storage and office space. Amscan's space will be utilized primarily for the production, packaging, storage and shipping of party paper products. This includes automated printing on these products. All inks are water-based and there are no hazardous materials being used on the site. An average of 300 gallons per day of soap and water are used for printer ink clean-up. The resulting wastewater is collected and contained within the building, and is hauled away by a licensed contractor for proper disposal on a regular basis. General offices, break areas and restrooms will also be provided in support of the operations of this facility. Slightly more than half of Amscan's space will be used for storage and the remaining space will be used for manufacturing and production of its products and offices.

**Updated Project Narrative**  
**Amended Site Plan Approval**  
**The Matrix Business Park at Newburgh**

Amscan has requested additional employee parking, fewer truck dock doors and less trailer storage spaces than shown on the originally-approved site plan. Although the projected number of total employees has decreased, the proposed increase in employee parking accommodates peak demands during shift overlap periods and allows for future growth. Matrix has accommodated this request by converting 38 previously-approved trailer storage spaces and 14 truck dock spaces to 106 additional employee parking spaces, with a net reduction in total impervious area.

There are no changes proposed to the previously-approved approved signage for the site and/or building.

Finally, Matrix is also seeking approval for a reduction of thirty (30) employee parking spaces for Amerisource Bergen. This will reduce the total employee spaces from 224 to 194. The amount of visitor parking spaces approved on the original plan will remain unchanged. The reduced parking still exceeds the total amount of off-street parking required by the Town's Zoning Code and will accommodate Amerisource Bergen's needs while resulting in an additional reduction of total impervious surface for the site.

The combined parking changes outlined above will result in a net decrease of approximately 17,000 square feet of impervious surface for the site.

SEQRA Analysis of Proposed Site Plan Amendment

The Planning Board is the lead agency under SEQRA for the original project. The Board classified the original project as a Type 1 action under SEQRA. The Planning Board issued a Negative Declaration under SEQRA for the original project and its site plan on November 19, 2015 and reaffirmed it in a written Negative Declaration on December 17, 2015. The Negative Declaration concluded that the original site plan would not create any significant adverse environmental impacts.

Presented below is summary of the potential SEQRA impacts resulting from the proposed minor site plan amendments. Overall, the minor amendments will not create any new environmental impacts. In fact, the minor amendments will actually reduce environmental impacts over the original approved plan by reducing the total amount of impervious surfaces on the site. For example, the minor amendments entail a net decrease of truck loading spaces and a net increase of car parking spaces. However, overall this results in a net decrease in total impervious area on the site. No change in the building area or its size is proposed. No change to the grading and drainage design is proposed aside from local minor adjustments in parking area to accommodate the revised parking spaces. No changes are proposed to the approved height and signage variances granted by the ZBA for the project.

**Updated Project Narrative  
Amended Site Plan Approval  
The Matrix Business Park at Newburgh**

SEQR Item	Proposed Impact
Impact on Land	No change to overall earthwork; i.e. slopes, grading, or limit of disturbance
Air Quality	No change – consistent with original approval. No special air permits are required for the proposed occupancy.
Water Quality	No change. Reduced impervious area results in less runoff and increased storm water quality. SESC, SWPPP, and Storm water management measures are unchanged and are consistent with the original approval.
Impervious Area	There will be a reduction of approximately 17,000 sf in total impervious area and associated runoff resulting from the elimination of 30 employee parking spaces at Warehouse A, and the conversion of 14 dock spaces and 38 trailer storage spaces to 106 employee parking spaces for Warehouse B.
Traffic	There will be net decrease in daily and peak hour truck trips (approximately 8 trucks/day), and an increase in employee traffic distributed over three shifts. The resultant moderate increase in weekday peak hour traffic will be readily accommodated by the proposed traffic signal, which will operate at Overall Level of Service B during both AM and PM peak hours.
Noise, odor, and light	No change – consistent with original approval
Solid Waste Production	No change – consistent with original approval; there will be no excessive or toxic solid waste generated by the proposed use. There will be a dumpster/compactor located in one of the dock door spaces at the rear of the building. A baler inside the building will be used to bind paper and tissue for recycling. All site-generated solid waste will be removed by private haulers.
Erosion/Flooding/Drainage	No change. Reduced impervious area results in reduced quantity and increased quality of storm water runoff. Proposed SESC, SWPPP, and Storm water management measures are unchanged and are consistent with the original approval.
Fish and Wildlife, Flora/Fauna	No change to limit of disturbance area or impact
Wetlands	No change to limit of disturbance area
Habitat/Listed Species	No change to limit of disturbance area
Historical/Archeological	No change – consistent with original approval
Critical Environmental Areas	No change – consistent with original approval
Energy/Utility Use	No change – consistent with original approval
Water and Sewer	Original water and sewer demand was projected based on the number of anticipated employees. The overall number of employees has been reduced vs. initial estimates and therefore a reduced water and sewer demand is projected as compared to the original approval. There is an additional 300 gpd of process water demand for printer cleaning. The additional water is within initial demand estimates for the building. This process water is collected and stored inside the building and it is disposed of by private hauler; therefore there is no significant change to originally anticipated sewer quantity (demand) and/or effluent characteristics.

**Updated Project Narrative**  
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Based on the foregoing, the minor site plan amendments will not create the potential for any specific, significant or adverse environmental impacts not already addressed by the Planning Board and will actually reduce such impacts. The information provided in the original Environmental Assessment Form remains valid. Therefore, the proposed amended site plans are consistent with and already covered by the original SEQRA Negative Declaration adopted by the Planning Board and no further SEQRA review should be warranted.

INTERSTATE ROUTE 87 (NEW YORK STATE THRUWAY)  
NORTH BOUND  
SOUTH BOUND

### LEGEND

---	PROPERTY LINE
▭	PROPOSED BUILDING
---	PROPOSED CURB
---	MOUNTABLE CURB
---	DEPRESSED CURB
---	WETLAND BOUNDARY
---	RETAINING WALL
---	CHAIN LINK FENCE
---	STEEL OR TIMBER GUIDE RAIL
---	STORMWATER MANAGEMENT BASIN
---	TRAFFIC DIRECTIONAL ARROW
---	TRAFFIC DIRECTIONAL ARROW
---	BUILDING ENTRANCE
---	SITE LIGHTING
---	FIRE HYDRANT

- ### GENERAL NOTES
- EXISTING BOUNDARY, UTILITY AND TOPOGRAPHIC INFORMATION OBTAINED FROM PLANS ENTITLED "TOPOGRAPHIC AND BOUNDARY SURVEY OF SECTION 95 BLOCK 1 LOT 4.12, LOT 54.1, LOT 69.25 AND LOT 49.12" DATED 7/17/2015, LAST REVISED 8/24/2015 AND "LOT LINE CHANGE OF SECTION 95 BLOCK 1 LOT 4.12, LOT 54.1, LOT 69.25 AND LOT 49.12" DATED 10/27/2015, LAST REVISED 10/27/2015, WITH ADDITIONAL INFORMATION INCLUDING PROPERTY CORNERS FOUND OR SET AND OFF-SITE DRAINAGE STRUCTURES FROM SUPPLIED MAPPING, AS PREPARED BY LANGAN ENGINEERING.
  - ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88 AS ESTABLISHED THROUGH GPS METHODS. THE MERIDIAN IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM MAD 83 AS ESTABLISHED THROUGH GPS METHODS.
  - "ACEE WETLANDS" ARE WETLANDS CONFIRMED BY ACEE PER JURISDICTIONAL DETERMINATION DATED MAY 10, 2011, BASED ON PLAN ENTITLED "WETLAND DELINEATION PLAN", AS PREPARED BY LANGAN ENGINEERING, DATED 04/18/07, LAST REVISED 11/17/10. ACEE WETLAND AREA X DELINEATED BY LANGAN ENGINEERING WETLAND SCIENTISTS ON APRIL 16, 2013 AND JULY 2, 2015.
  - THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE OWNER AND ENGINEER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
  - THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS IF DEEMED NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
  - THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
  - INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
  - THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL DOORS, STAIRS, RAMPS, CANOPIES, SIDEWALKS, AND ARCHITECTURAL ELEMENTS AROUND THE BUILDING, AND SHALL COORDINATE INSTALLATION OF THESE ELEMENTS WITH THE SITE LAYOUT PRIOR TO INSTALLATION.
  - ALL WETLANDS SHOWN TO BE PROTECTED AND MAINTAINED, NO DISTURBANCE IS PERMITTED.

SEE DRAWINGS CS-401 AND CS-402 FOR DETAILED SITE INFORMATION

Date	Description	No.
10/7/2016	REVISED PER TOWN COMMENTS	8
8/31/2016	REVISED PER TENANT CHANGES	7
5/5/2016	REVISED LIGHT POLE LOCATIONS	6
4/26/2016	REVISED PER TOWN COMMENTS	5
4/11/2016	REVISED ACCESS ROADS	4
3/18/2016	REVISED PER MEP AND ARCH COORDINATION AND TOWN COMMENTS	3
1/25/2016	REVISED PER MEP COMMENTS, NYS DOT DESIGN, AND EMERGENCY ACCESS PATH	2
11/9/2015	REVISED PER TOWN COMMENTS	1

### TOWN OF NEWBURGH ZONING TABLE

Section 95, Block 1, Lot 79 (PREVIOUSLY LOTS 4.12, 54.1, 69.25, AND 49.12)  
IB Interchange Business Zone

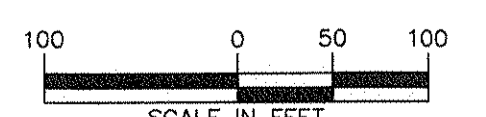
ITEM	REQUIRED / PERMITTED	PROPOSED
<b>Land Use</b>	Warehouse	
<b>Lot</b>		
Minimum Lot Area	40,000 SF	3,124,333 SF (71.73 AC)
Minimum Lot Width	150 FT	262 FT
Minimum Lot Depth	150 FT	> 200 FT
<b>Yard</b>		
Minimum Front Yard	50 FT (80 FT)	630 FT
Minimum Side Yard (1 Side Yard)	30 FT	150 FT
Minimum Side Yard (Both Side Yards)	80 FT	382 FT
Minimum Rear Yard	60 FT	69 FT
Minimum Landscape Buffer at 17K	35 FT	35 FT
<b>Lot Coverage</b>		
Maximum Lot Building Coverage	40%	18.1%
Maximum Lot Surface Coverage	80%	35%
<b>Building</b>		
Maximum Building Height**	40 FT	45 FT*
Maximum Accessory Building Height	15 FT	< 15 FT
Minimum Accessory Building Setback from Principal Building	10 FT	44 FT
<b>Parking and Loading</b>		
Minimum Number of Off-Street Truck Loading Spaces	16 Spaces	46 Spaces
Minimum Number of Car Parking Spaces	158 Spaces	441 Spaces
Minimum Number of Accessible Parking Spaces	8 Spaces	18 Spaces
<b>Signs</b>		
Maximum Business Sign Area (freestanding or attached to building)	210 sq ft	614 sq ft
Minimum Distance from Sign to Street Line	15 ft	15 ft
Maximum Number of Freestanding Signs	1	2
Maximum Area of Directional Sign	3 sq ft	150 sq ft
Maximum Height of Sign	40 ft	11.6 ft

- Notes**
- For a building used for nonresidential purposes with a floor area of 40,000 SF or more, 1 additional off-street truck loading space for each 40,000 SF in addition to the first 40,000 SF must be provided.
  - For car parking space requirements, parking area reservation should be equivalent to the total ground coverage of the building, with a minimum of 2 improved spaces per 3 employees on the premises at any 1 period of time, with a minimum of two spaces.  
Warehouse A = 121 Employees x (2 Spaces/3 Employees) = 81 Spaces  
Warehouse B = 115 Employees x (2 Spaces/3 Employees) = 77 Spaces
  - Bulk requirements for the IB District dictate the minimum front yard setback for a warehouse facility to be 50 feet. Front yards abutting all county and state highways shall be at least 60 feet in depth. For all new developments, the first 35 feet of the front yards of all properties fronting on Route 17K from the city of Newburgh west to the Town of Montgomery shall be landscaped.
  - As calculated using 1/2 the total length of the street frontage.
  - Variance granted in Zoning Board Resolution dated January 5, 2016.
  - \*\*Measured at south face of building facing Route 17K.

### Parking Summary Table

ITEM	PROPOSED WAREHOUSE A	PROPOSED WAREHOUSE B	TOTAL
Car Parking Spaces	227 Spaces	214 Spaces	441 Spaces
Truck Loading Spaces	30 Spaces	16 Spaces	46 Spaces
Reserved Trailer Spaces*	24 Spaces	20 Spaces	44 Spaces

\*Reserved spaces provided to satisfy tenant requirements and not zoning requirements.



**WARNING:**  
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

REVISIONS

SIGNATURE: DATE SIGNED: 10/07/2016  
CHARNESE UTSCHIG  
PROFESSIONAL ENGINEER NY Lic. No. 062303

## LANGAN

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NEW JERSEY NEW YORK CONNECTICUT PENNSYLVANIA  
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Project: **MATRIX BUSINESS PARK AT NEWBURGH**  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK  
Drawing No. 09/31/2016

## OVERALL SITE PLAN

Project No. 9190601 Drawing No.  
Date 9/9/2015  
Scale 1" = 100'  
Drawn By RAC  
Submission Date 09/31/2016

# CS-101

### PAVEMENT KEY

- STANDARD DUTY PAVEMENT (WAREHOUSE A)
- STANDARD DUTY PAVEMENT (WAREHOUSE B)
- HEAVY DUTY PAVEMENT
- CONCRETE PAVEMENT
- STABILIZED STONE SHOULDER
- TRUCK PULL OFF AREA

### SIGN LEGEND

- STOP (R1-1 30"x30")
- RESERVED PARKING (R2 12"x18")
- NO PARKING ANY TIME (R7 12"x18")
- NO PARKING FIRE LANE (R8-31 12"x18")
- NO PARKING (R3-8(MOD) 30"x30")

### LEGEND

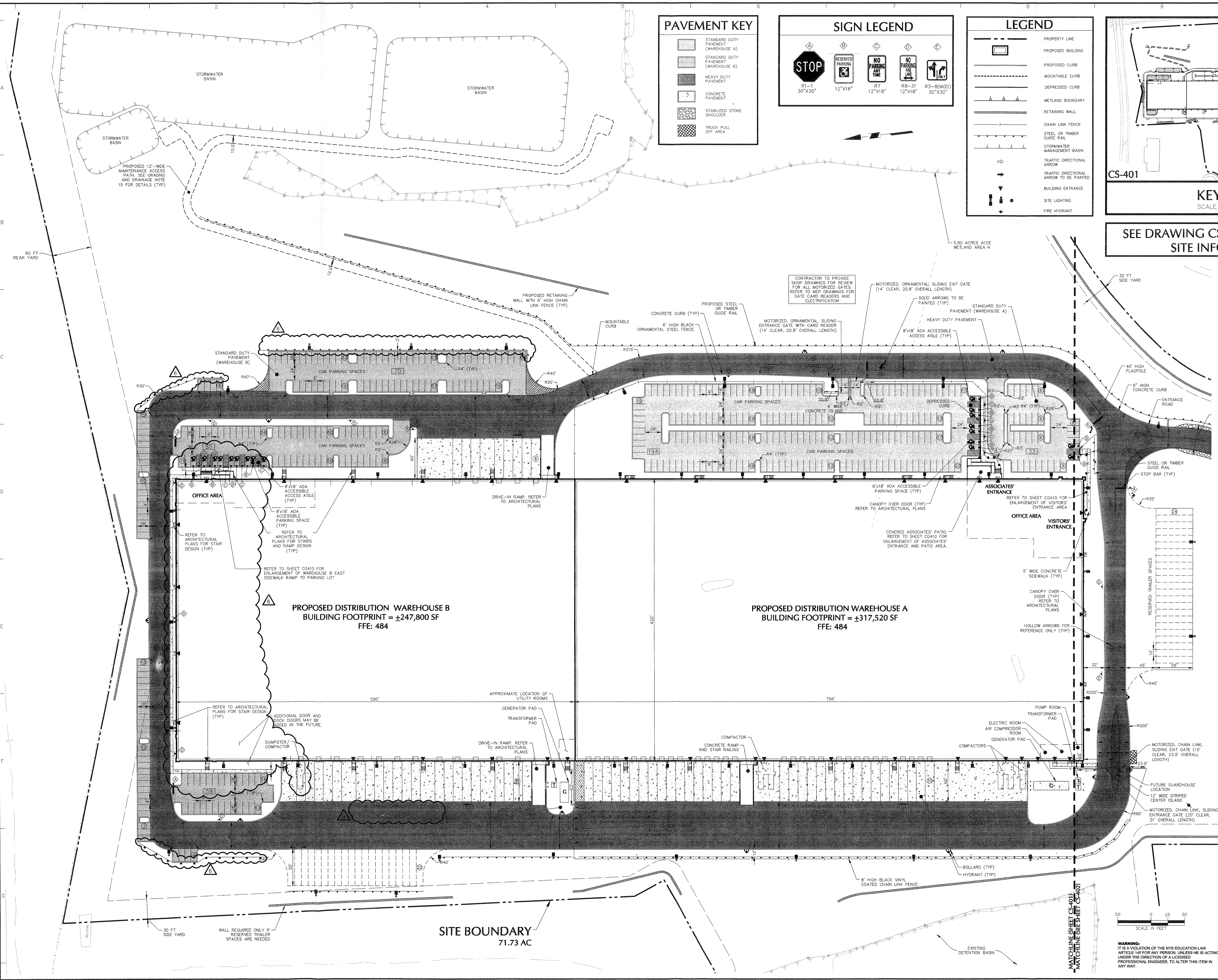
- PROPERTY LINE
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- PROPOSED CURB
- MOUNTABLE CURB
- DEPRESSED CURB
- WETLAND BOUNDARY
- RETAINING WALL
- CHAIN LINK FENCE
- STEEL OR TIMBER GUIDE RAIL
- STORMWATER MANAGEMENT BASIN
- TRAFFIC DIRECTIONAL ARROW
- TRAFFIC DIRECTIONAL ARROW TO BE PAINTED
- BUILDING ENTRANCE
- SITE LIGHTING
- FIRE HYDRANT

### KEY MAP

SCALE 1" = 500'

SEE SHEET CS-402

SEE DRAWING CS-101 FOR OVERALL SITE INFORMATION



Date	Description	No.
10/7/2016	REVISED PER TOWN COMMENTS	6
9/31/2016	REVISED PER TENANT CHANGES	5
4/11/2016	REVISED ACCESS ROADS	4
3/18/2016	REVISED PER MEP AND ARCH. COORDINATION AND TOWN COMMENTS	3
1/25/2016	REVISED PER MEP COMMENTS, NYSDOT DESIGN, AND EMERGENCY ACCESS PATH	2
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REVISIONS

10/07/2016  
DATE SIGNED

SIGNATURE: CHARLES LUTSCHIG  
PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANEGAN**

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ARIZONA ALABAMA MISSISSIPPI MISSOURI KANSAS  
LOUISIANA GEORGIA FLORIDA ALASKA HAWAII  
Lanegan Corporation, Environmental, Structural, and Mechanical Engineers, P.E. & A.  
Lanegan Engineering, Consulting and Landscape Architecture, P.C. & A.  
Lanegan Engineering and Construction Services, Inc.  
Lanegan Services, LLC  
Lanegan Services, Inc.

Project: **MATRIX BUSINESS PARK AT NEWBURGH**

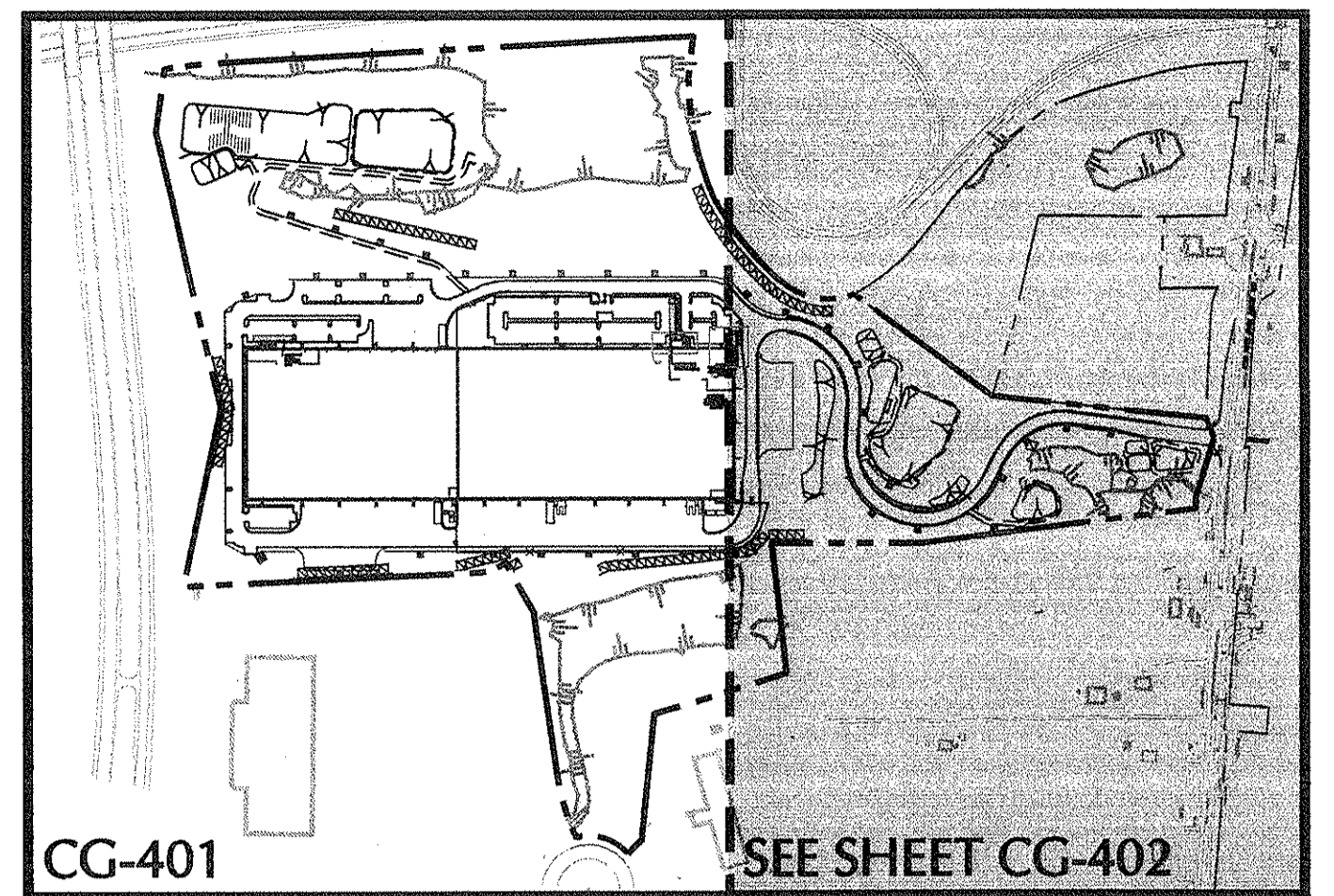
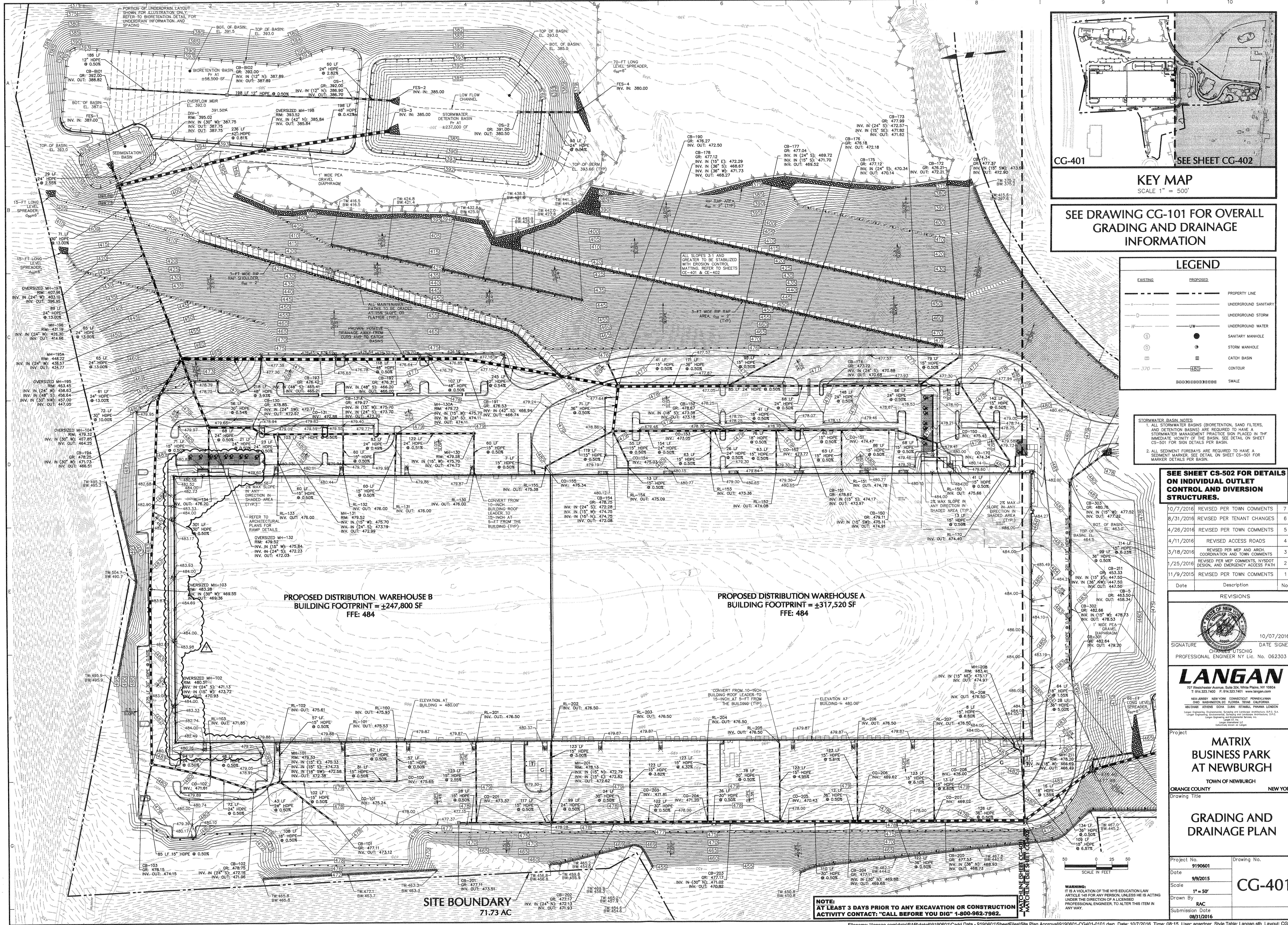
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

Drawing Title: **SITE PLAN**

Project No.	9190601	Drawing No.	CS-401
Date	9/9/2015	Scale	1" = 50'
Drawn By	RAC	Submission Date	08/31/2016

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**KEY MAP**  
SCALE 1" = 500'

SEE DRAWING CG-101 FOR OVERALL GRADING AND DRAINAGE INFORMATION

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	UNDERGROUND SANITARY
---	---	UNDERGROUND STORM
---	---	UNDERGROUND WATER
---	---	SANITARY MANHOLE
---	---	STORM MANHOLE
---	---	CATCH BASIN
---	---	CONTOUR
---	---	SWALE

**STORMWATER BASIN NOTES**

1. ALL STORMWATER BASINS (BIORETENTION, SAND FILTERS, AND DETENTION BASINS) ARE REQUIRED TO HAVE A STORMWATER MANAGEMENT PRACTICE SIGN PLACED IN THE IMMEDIATE VICINITY OF THE BASIN. SEE DETAIL ON SHEET CS-501 FOR SIGN DETAILS PER BASIN.
2. ALL SEDIMENT FOREBAYS ARE REQUIRED TO HAVE A SEDIMENT MARKER. SEE DETAIL ON SHEET CS-501 FOR MARKER DETAILS PER BASIN.

**SEE SHEET CS-502 FOR DETAILS ON INDIVIDUAL OUTLET CONTROL AND DIVERSION STRUCTURES.**

Date	Description	No.
10/7/2016	REVISED PER TOWN COMMENTS	7
8/31/2016	REVISED PER TENANT CHANGES	6
4/26/2016	REVISED PER TOWN COMMENTS	5
4/11/2016	REVISED ACCESS ROADS	4
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**REVISIONS**

Date	Description	No.
10/07/2016	DATE SIGNED	

**LANGAN**

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NEWARK, NEW YORK, CONNECTICUT, PENNSYLVANIA, OHIO, WASHINGTON DC, FLORIDA, TEXAS, CALIFORNIA

MIDWEST: ILLINOIS, INDIANA, OHIO, MISSOURI, PENNSYLVANIA, OHIO

Langan Engineering, Consulting, & Construction, L.P.C., S.A.  
 Langan Engineering, Consulting, & Construction, L.P.C., S.A.  
 Langan Engineering and Construction Services, Inc.

**MATRIX BUSINESS PARK AT NEWBURGH**

TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK

Drawing Title

**GRADING AND DRAINAGE PLAN**

Project No. 9190601 Drawing No. CG-401

Date 9/9/2015 Scale 1" = 50'

Drawn By RAC Submission Date 08/31/2016

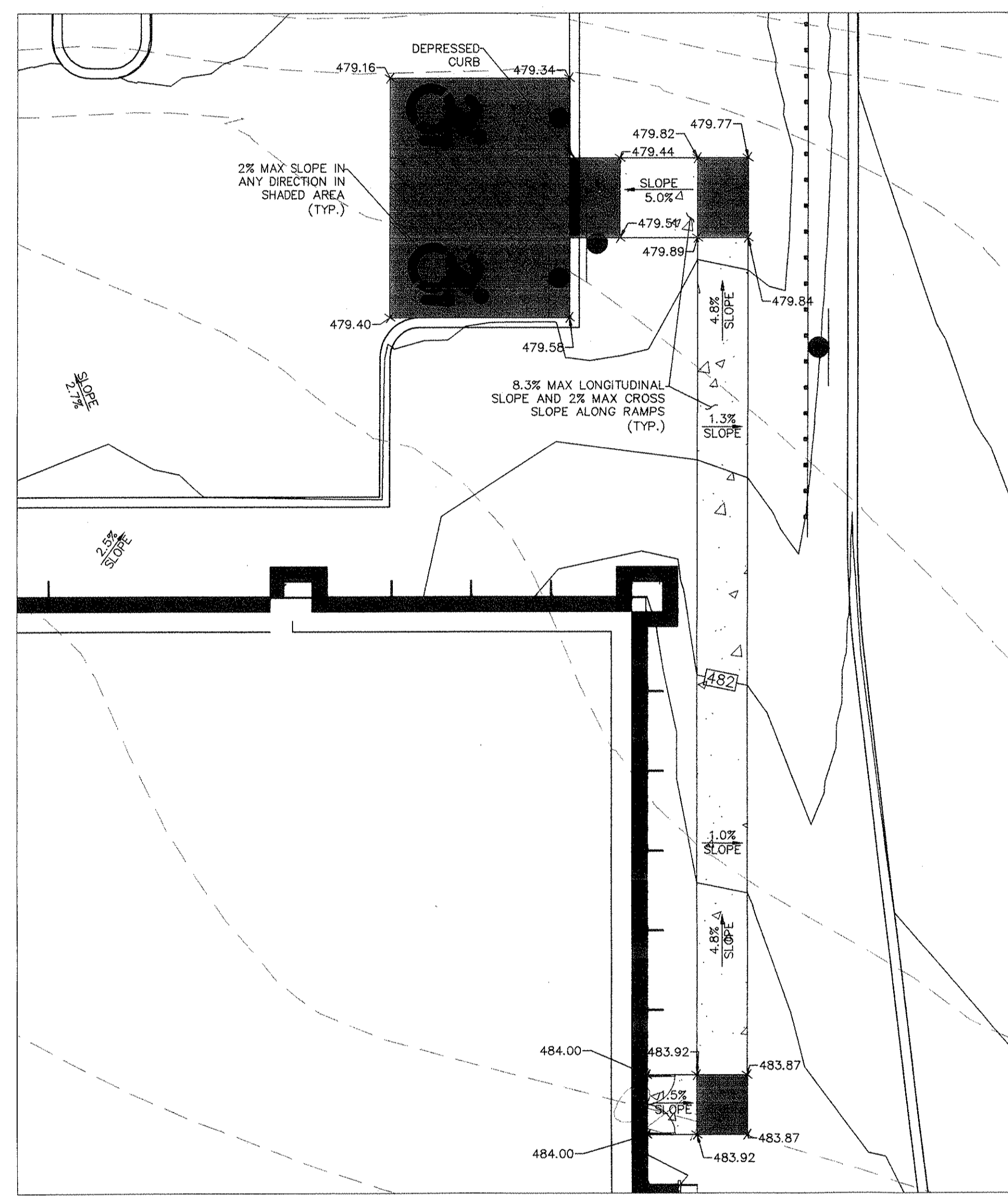
**PROPOSED DISTRIBUTION WAREHOUSE B**  
 BUILDING FOOTPRINT = ±247,800 SF  
 FFE: 484

**PROPOSED DISTRIBUTION WAREHOUSE A**  
 BUILDING FOOTPRINT = ±317,520 SF  
 FFE: 484

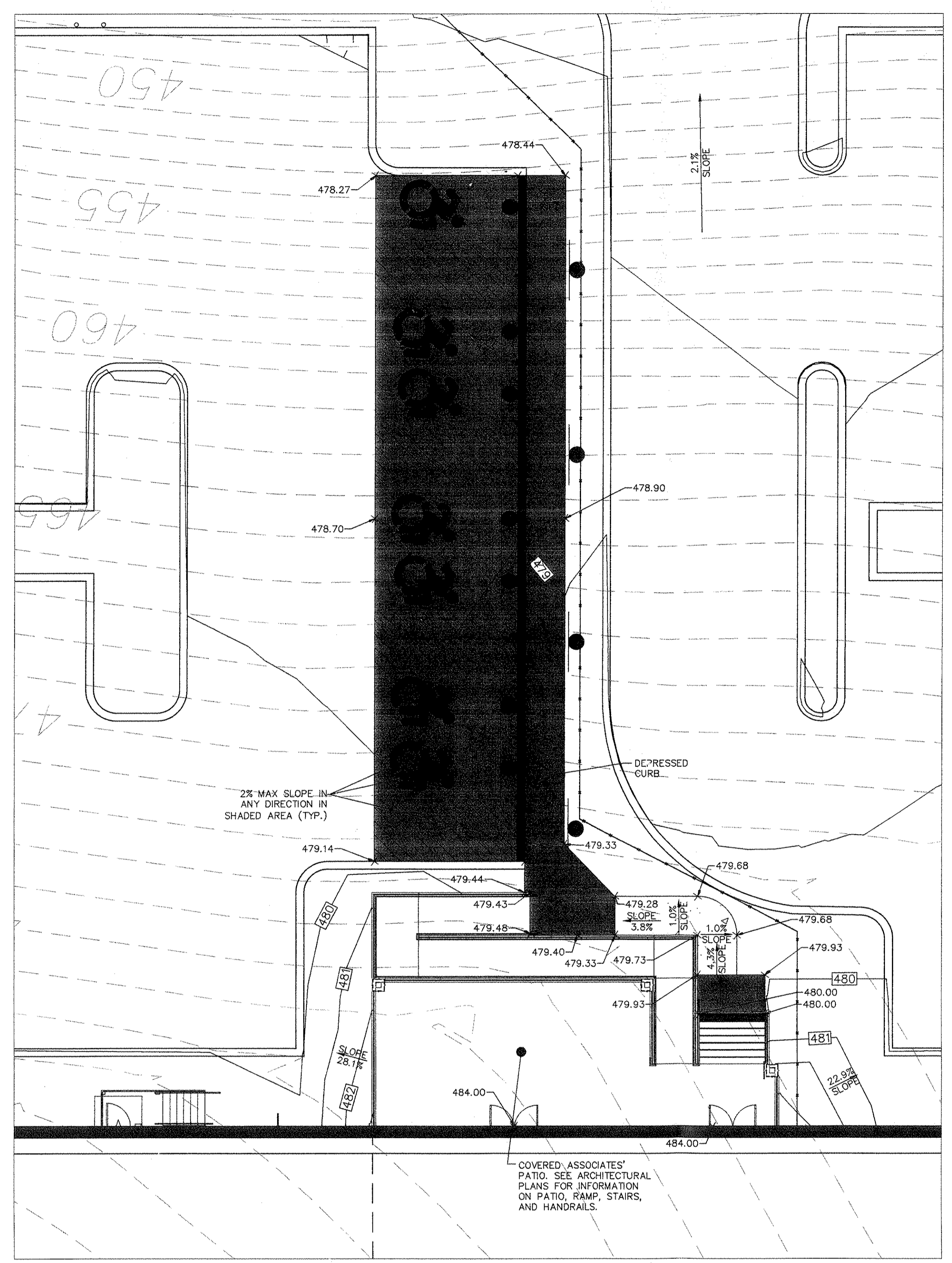
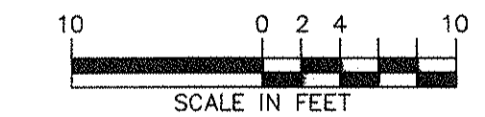
**SITE BOUNDARY**  
 71.73 AC

**NOTE:**  
 AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT "CALL BEFORE YOU DIG" 1-800-962-7962.

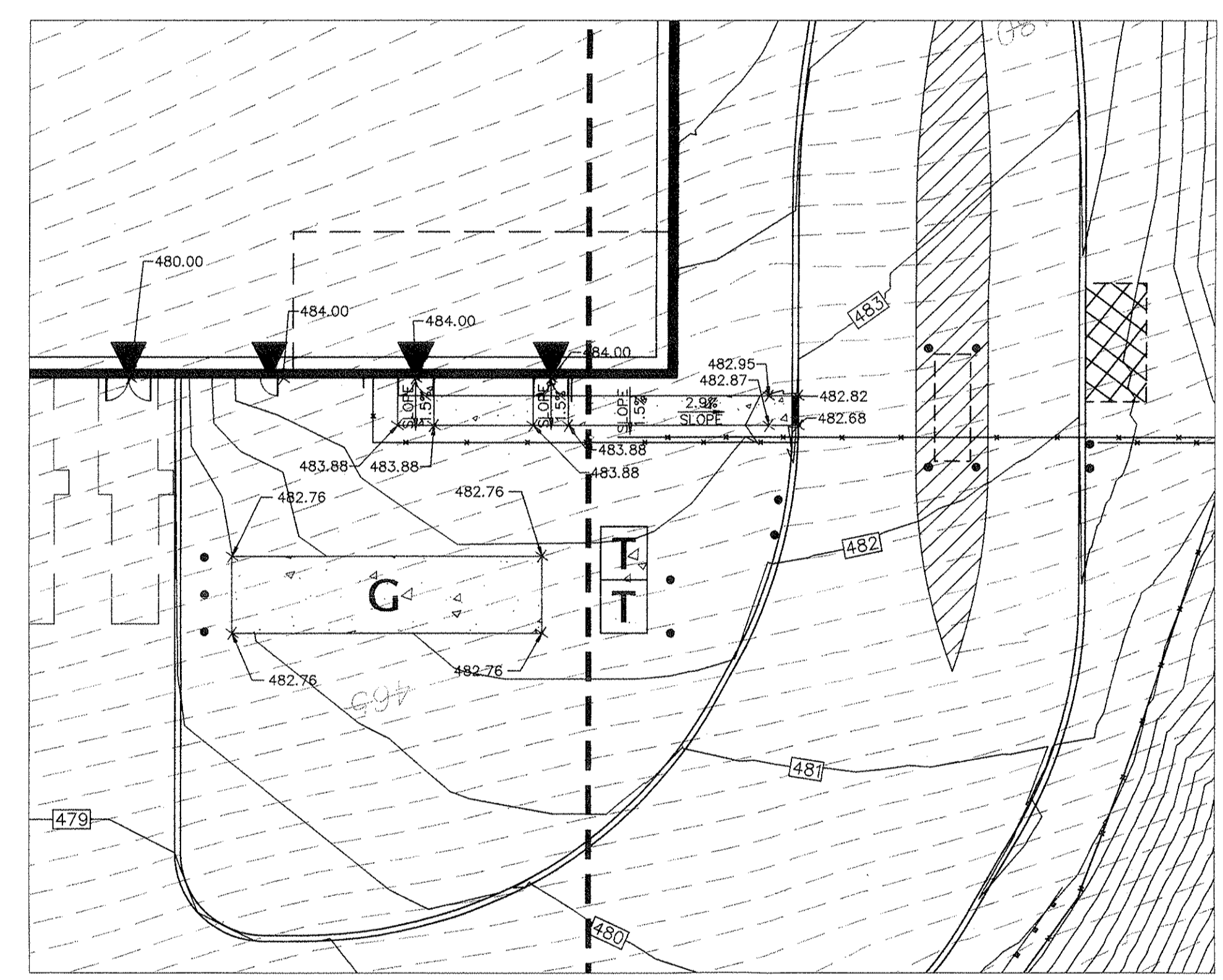
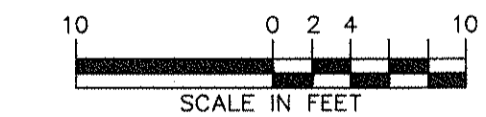
**WARNING:**  
 IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.



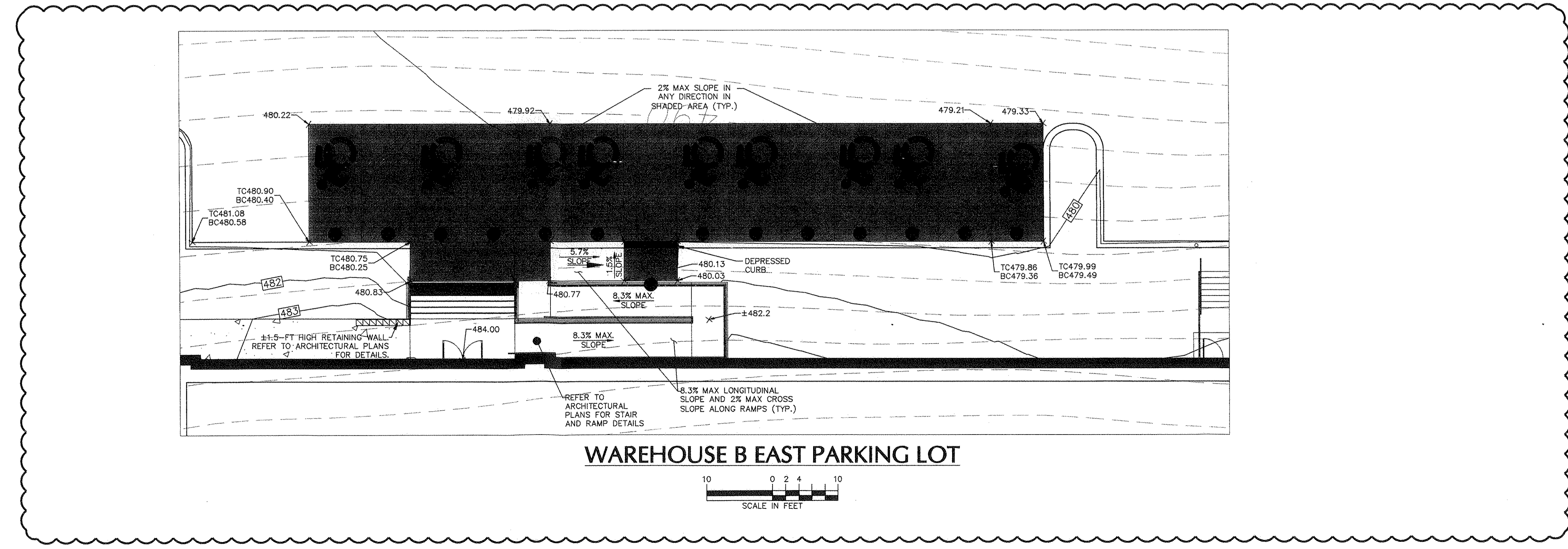
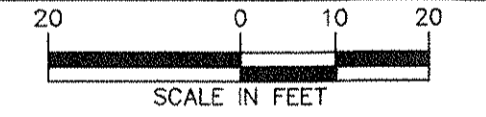
VISITORS' ENTRANCE



ASSOCIATES' ENTRANCE



NORTHWEST BUILDING CORNER



WAREHOUSE B EAST PARKING LOT



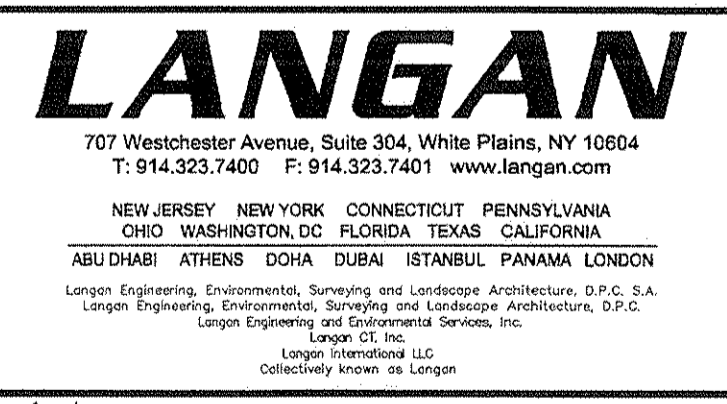
SEE DRAWING CG101 FOR OVERALL GRADING AND DRAINAGE INFORMATION

**NOTE:**  
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

Date	Description	No.
10/7/2016	REVISED PER TOWN COMMENTS	5
4/11/2016	REVISED ACCESS ROADS	4
3/18/2016	REVISED PER MEP AND ARCH. COORDINATION AND TOWN COMMENTS	3
1/25/2016	REVISED PER MEP COMMENTS, IN-SITU DESIGN, AND EMERGENCY ACCESS PATH	2
11/9/2015	REVISED PER TOWN COMMENTS	1

REVISIONS

10/07/2016 DATE SIGNED  
CHARLES UTSCHIG  
PROFESSIONAL ENGINEER NY Lic. No. 062303

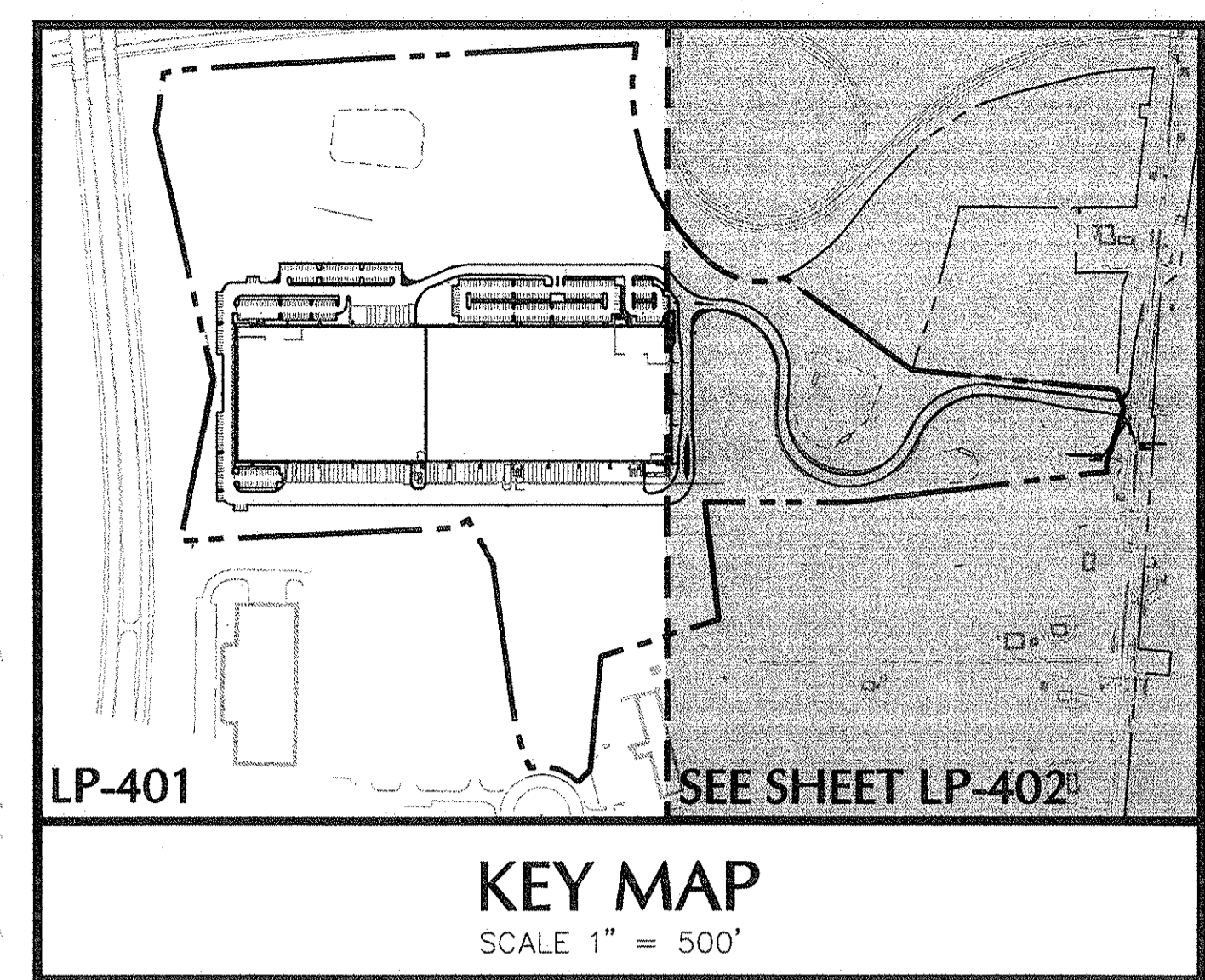
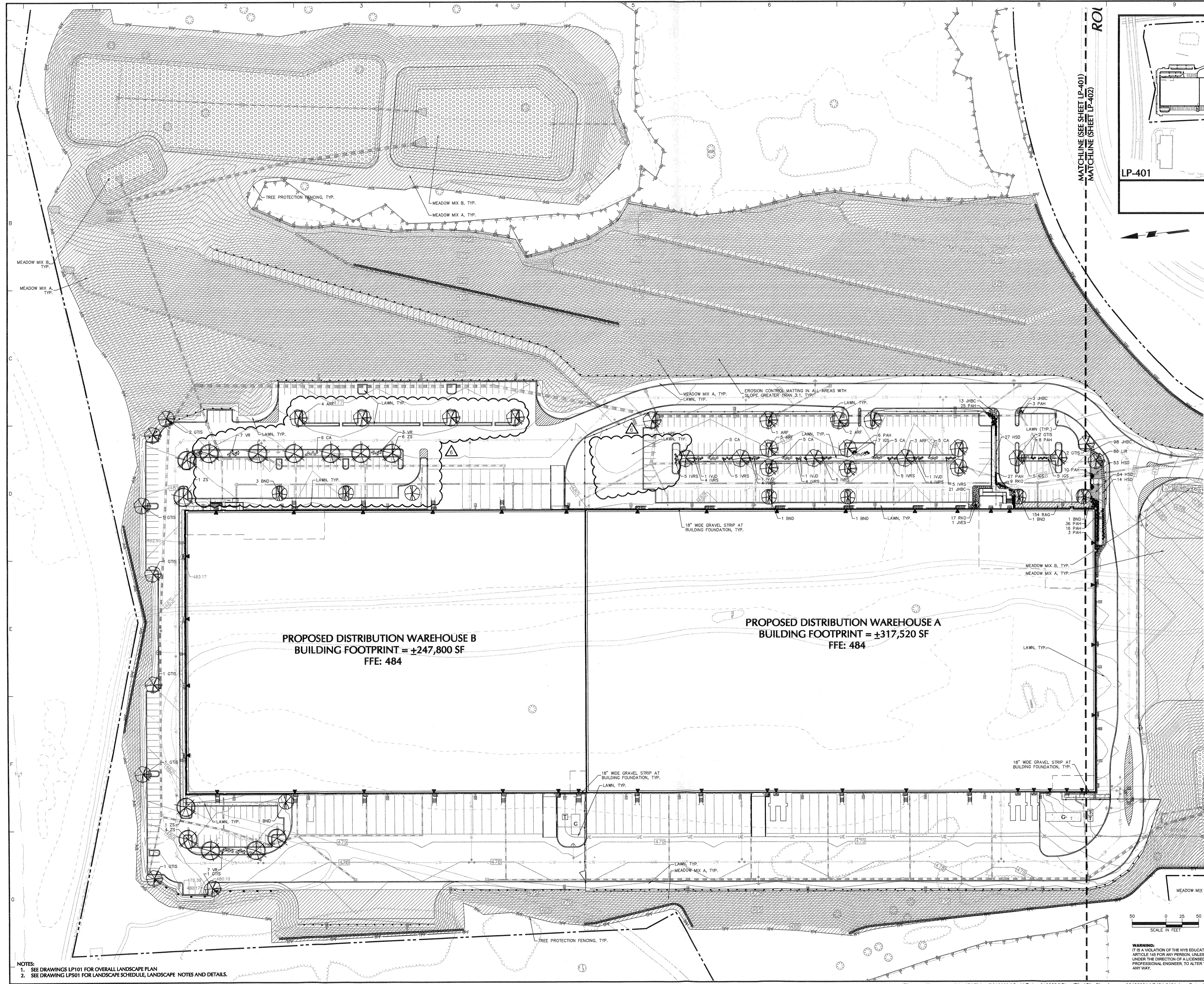


Project  
**MATRIX BUSINESS PARK AT NEWBURGH**  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK  
Drawing Title  
**GRADING DETAIL ENLARGEMENT PLAN**

Project No. 9190601  
Date 9/9/2015  
Scale AS SHOWN  
Drawn By RAC  
Submission Date 08/31/2016

Drawing No. CG-410

**WARNING:**  
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**LEGEND**

	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED CURB
	WETLAND BOUNDARY
	RETAINING WALL
	CHAIN LINK FENCE
	GUIDE RAIL
	STORMWATER MANAGEMENT FEATURE
	TREE PROTECTION FENCING
	SHADE TREES
	EVERGREEN TREES
	SHRUBS
	MEADOW MIX A
	MEADOW MIX B

Date	Description	No.
10/7/2016	REVISED PER TOWN COMMENTS	6
4/26/2016	REVISED PER TOWN COMMENTS	5
4/11/2016	REVISED ACCESS ROADS	4
3/18/2016	REVISED PER MEP AND ARCH. COORDINATION AND TOWN COMMENTS	3
1/25/2016	REVISED PER MEP COMMENTS, NYSDOT DESIGN, AND EMERGENCY ACCESS PATH	2
11/9/2015	REVISED PER TOWN COMMENTS	1

**REVISIONS**

SIGNATURE: [Signature] DATE SIGNED: 10/07/2016  
 REGISTERED LANDSCAPE ARCHITECT  
 N.Y. LIC. NO. LA 001901-1

**LANGAN**

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 T: 914.323.7400 F: 914.323.7401 www.langan.com  
 NEW JERSEY NEW YORK CONNECTICUT PENNSYLVANIA OHIO WASHINGTON, DC FLORIDA TEXAS CALIFORNIA  
 ALABAMA ARIZONA ARKANSAS COLORADO CONNECTICUT DELAWARE GEORGIA ILLINOIS INDIANA IOWA KANSAS KENTUCKY LOUISIANA MAINE MARYLAND MASSACHUSETTS MICHIGAN MINNESOTA MISSISSIPPI MISSOURI MONTANA NEBRASKA NEVADA NEW HAMPSHIRE NEW JERSEY NEW MEXICO NEW YORK NORTH CAROLINA NORTH DAKOTA OREGON PENNSYLVANIA RHODE ISLAND SOUTH CAROLINA SOUTH DAKOTA TENNESSEE TEXAS UTAH VERMONT VIRGINIA WASHINGTON, DC WEST VIRGINIA WISCONSIN WYOMING

Project

**MATRIX BUSINESS PARK AT NEWBURGH**

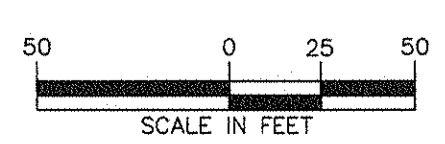
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

Drawing Title

**LANDSCAPE PLAN**

Project No.	9190601	Drawing No.	<b>LP-401</b>	
Date	9/9/2015	Scale		1" = 50'
Drawn By	AVC	Submission Date		09/31/2016
Submission Date	09/31/2016			

**NOTES:**  
 1. SEE DRAWINGS LP101 FOR OVERALL LANDSCAPE PLAN  
 2. SEE DRAWING LP501 FOR LANDSCAPE SCHEDULE, LANDSCAPE NOTES AND DETAILS.



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