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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MANN SUBDIVISION
PROJECT NO.: 16-02
PROJECT LOCATION: SECTION 28, BLOCK 1, LOT 12.1
REVIEW DATE: 23 AUGUST 2016
MEETING DATE: 1 SEPTEMBER 2016
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The Applicant's representatives have addressed our previous comments on the plan regarding subsurface sanitary sewer design and drainage issues. Highway Superintendent's approval for the driveway location and connections to the drainage system should be received.
2. Private road access and maintenance agreement must be reviewed by Mike Donnelly's office.
3. Bonding by private roadway should be provided prior to final approval.
4. Coverage under the Stormwater SPDES permit will be required for disturbances greater than one acre and less than 5 acres residential.
5. Roadway dedication parcel must be complete prior to final signing of plans.
6. A road name must be approved by the Town Board.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal

PJH/kbw



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

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August 18, 2016

VIA HAND DELIVERY

Chairman John Ewasutyn
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: Mann Subdivision
PB #2016-02
Town of Newburgh, Orange County, New York
MC Project No. 15001767A

Dear Mr. Ewasutyn:

Below please find our responses to comments from McGoey, Hauser & Edsall, in a letter dated August 4, 2016. The comments have been repeated here for clarity.

Comment 1. A subdivision sheet depicting meets and bounds for all proposed lots stamped by surveyor should be incorporated into the plans.

Response 1. A subdivision plat, Sheet 1 of 1, signed and sealed by both a Licensed Surveyor and Engineer, has been included in the submission.

Comment 2. Capacity of the existing 12 inch pipe within Lakeside Road should be evaluated based on diversion from the proposed project roadway to the Town's collection system.

Response 2. Drainage conditions have been evaluated entering the existing system along Lakeside Road. Additional contributing flows are unknown but the calculations show a minor increase from 3.3 cfs in the existing to 4.7 cfs in the proposed. Approximately 300 feet east of the project site the drainage pipe increases from 12 to 15-inches along the frontage of the Newburgh Little League fields. We anticipate the increase to have little impact to the carrying capacity of this pipe due to slope of the existing downstream pipe and discharge proximity. Calculations and references have been attached.

Comment 3. Note 10 of the Utility Plan should be revised to require a copy of the As Built Plan as well as certification be submitted to the code enforcement officer prior to certificate of occupancy for any lot.

- Response 3. Note 10 has been revised to include language requiring an as-built and certification be submitted per the comment.
- Comment 4. Additional information regarding the percolation test performed on the site should be provided. The septic system design table identifies preliminary field data. Shallow absorption systems are identified however a limiting layer is not identified in the soil profiles. Depth of percolation testing performed should be identified on the chart. Chart should clarify that the lot numbers are the design percolation while the following numbers are the stabilized percolation test results.
- Response 4. Shallow absorption systems are proposed based on stabilized percolation test results at 12-inch depth. Initial testing was not documented on plans, but initial test runs at each lot failed to meet the 46-60 minute design range, although slower percolation rates were observed, and as such the shallow systems have been designed. Although mottling was not observed, and neither rock, nor groundwater was encountered in the deep test pits for the site, the soil horizons themselves were restrictive to design requirements of in-ground systems.
- The design table has been revised for clarification and now identifies Lot Number, Percolation Test, Design Percolation Rates, and Stabilized Percolation Rates for each respective Lot.
- Comment 5. The Town of Newburgh private road pavement section detail should be added to the plans. Current detail only shows 2 inches of type 3 dense binder.
- Response 5. Detail on plans is consistent with Town specifications.

Very truly yours,

MASER CONSULTING P.A.



John J. Stoeckel, P.E.
Project Engineer

ABF/jm
Enclosures
cc: Cecil Mann
Pat Hines
Mike Donnelly
File



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

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Drainage Schematic

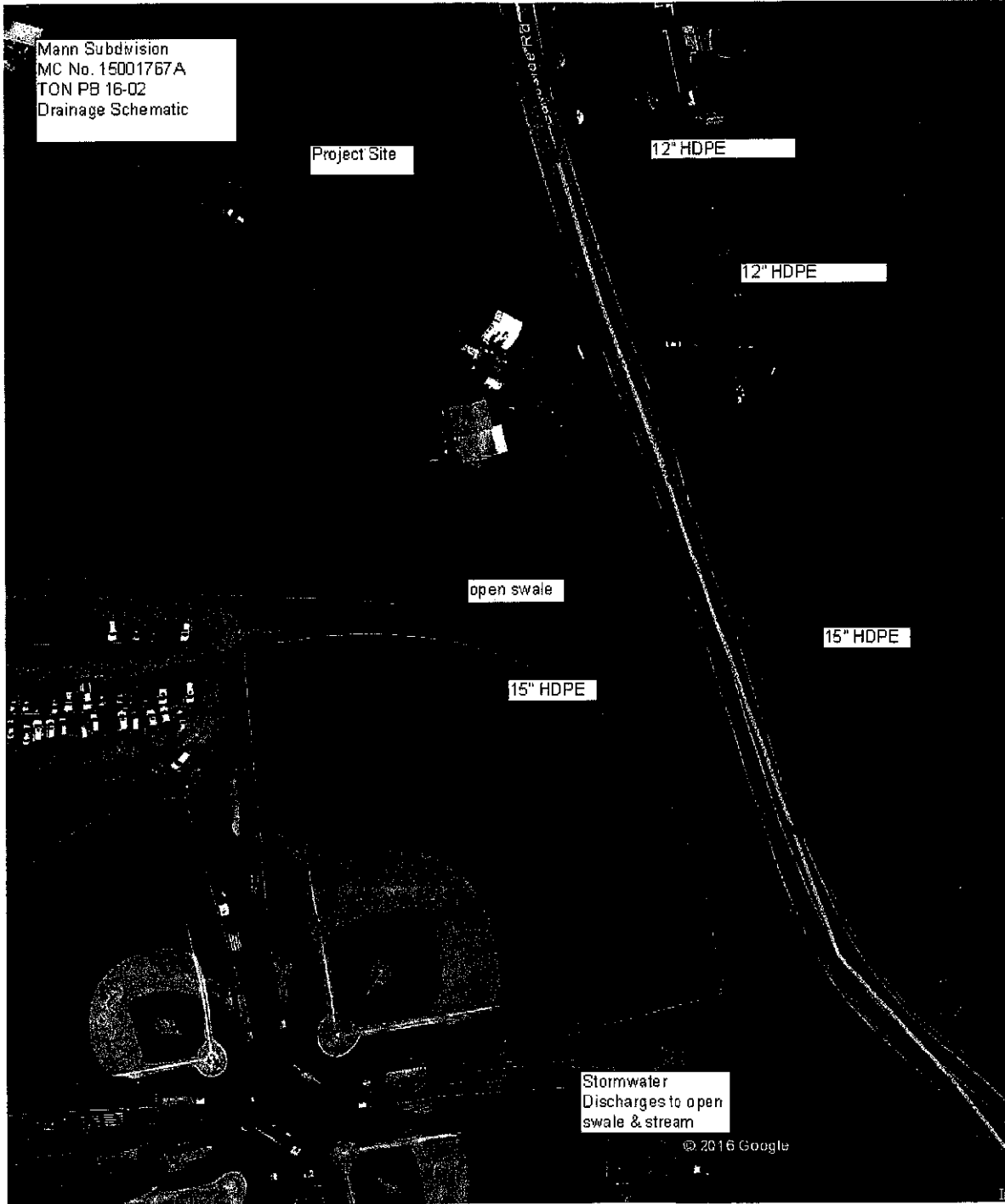
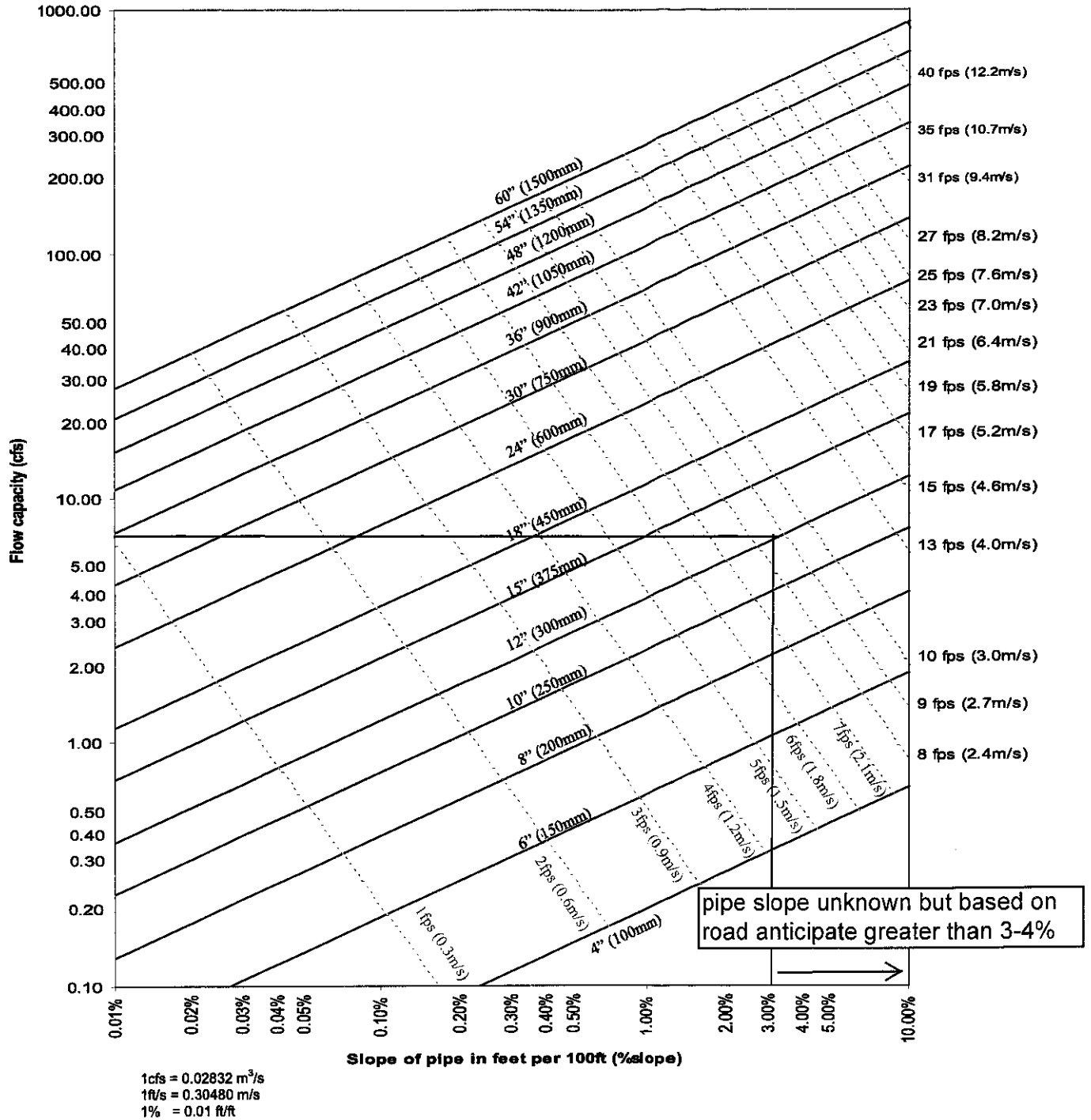
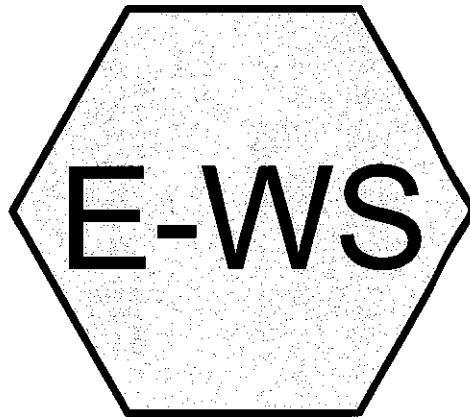


Figure 3-1
Discharge Rates for ADS Corrugated Pipe with Smooth Interior Liner¹



1. Applicable products: N-12[®], MEGA GREEN[®], N-12 STIB, N-12 WTIB, HP STORM, SaniTile[®], SaniTite HP, N-12 Low Head

Note: Based on a design Manning's "n" of 0.012.
 Solid lines indicate pipe diameters. Dashed lines indicate approximate flow velocity.
 Redeveloped from FHWA HDS 3 – Design Charts for Open-Channel Flow²



Existing WS



Mann Subdivision

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Type III 24-hr 10-Year Rainfall=5.50"

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Page 2

Summary for Subcatchment E-WS: Existing WS

Runoff = 3.29 cfs @ 12.13 hrs, Volume= 0.267 af, Depth= 3.53"

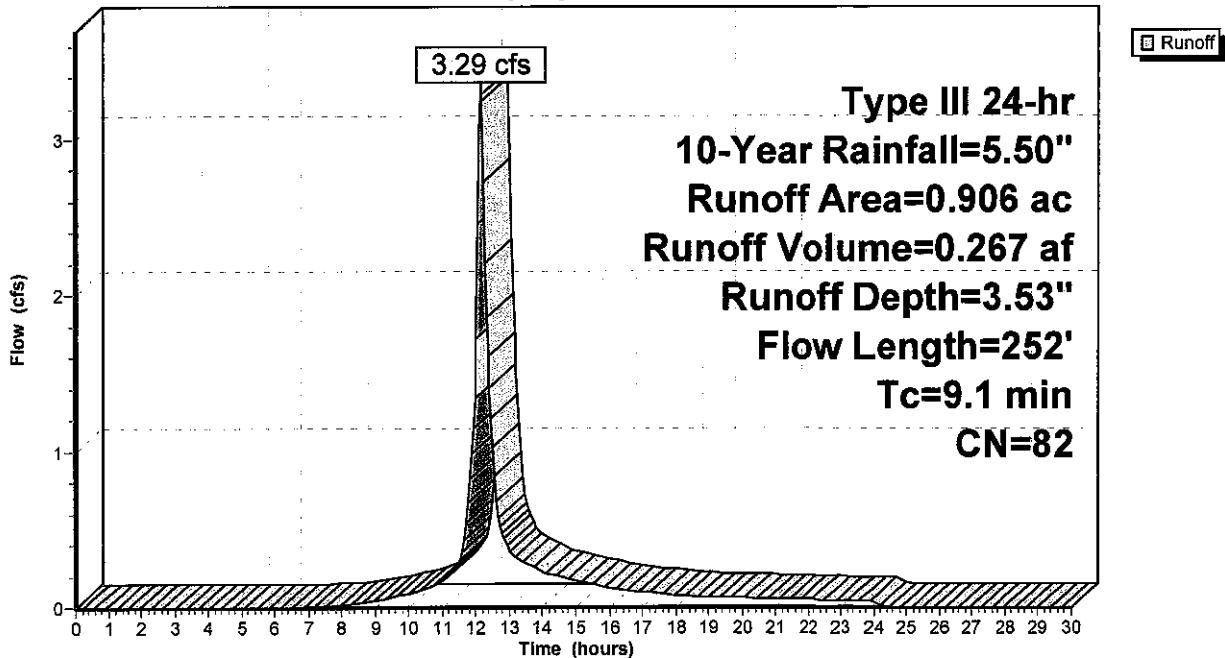
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Type III 24-hr 10-Year Rainfall=5.50"

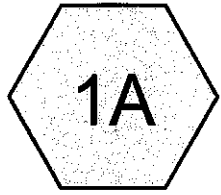
Area (ac)	CN	Description
0.089	98	Paved parking, HSG D
0.817	80	>75% Grass cover, Good, HSG D
0.906	82	Weighted Average
0.817		90.18% Pervious Area
0.089		9.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.6	100	0.0250	0.19		Sheet Flow, Sheet Flow Grass: Short n= 0.150 P2= 3.50"
0.1	30	0.0430	3.34		Shallow Concentrated Flow, Shallow Conc. Unpaved Kv= 16.1 fps
0.4	122	0.0110	4.98	37.32	Channel Flow, Channel Flow Area= 7.5 sf Perim= 8.0' r= 0.94' n= 0.030 Short grass
9.1	252	Total			

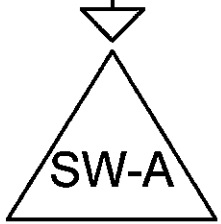
Subcatchment E-WS: Existing WS

Hydrograph

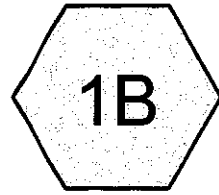




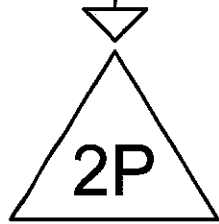
(new Subcat)



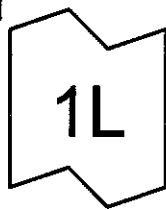
West Swale



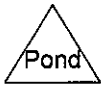
(new Subcat)



West Swale



(new Link)



Mann Subdivision

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Type III 24-hr 10-Year Rainfall=5.50"

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Page 2

Summary for Subcatchment 1A: (new Subcat)

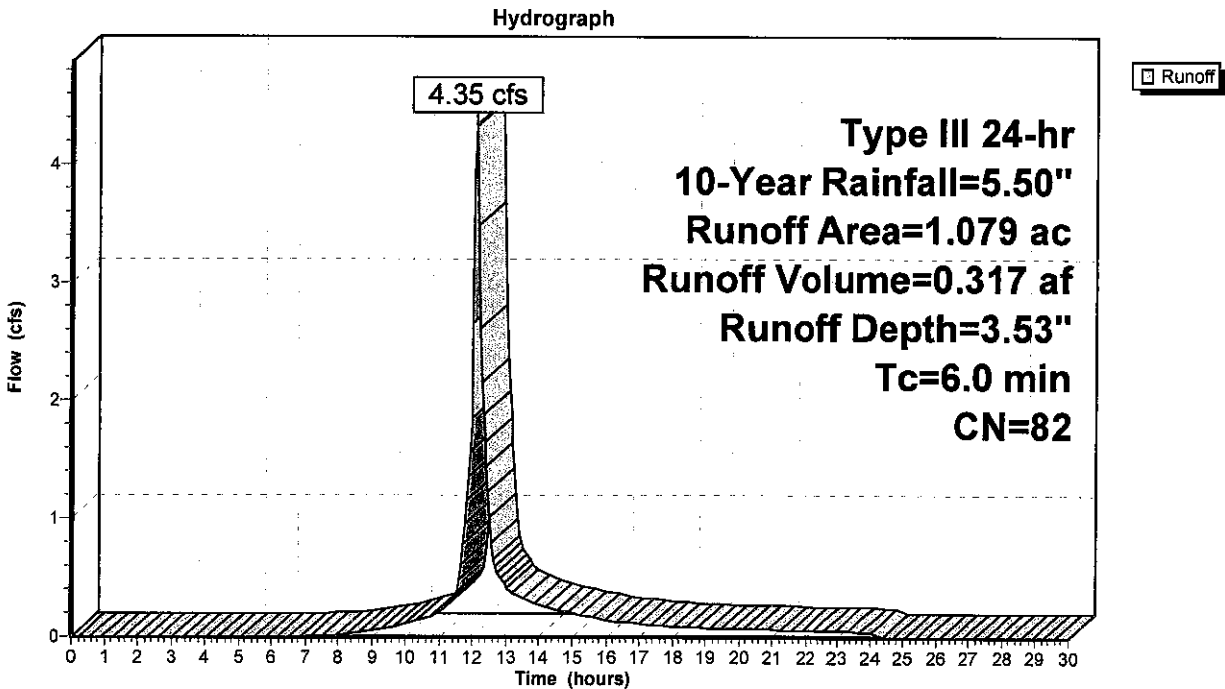
Runoff = 4.35 cfs @ 12.09 hrs, Volume= 0.317 af, Depth= 3.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-Year Rainfall=5.50"

Area (ac)	CN	Description
0.131	98	Paved parking, HSG D
0.948	80	>75% Grass cover, Good, HSG D
1.079	82	Weighted Average
0.948		87.86% Pervious Area
0.131		12.14% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min

Subcatchment 1A: (new Subcat)



Mann Subdivision

Type III 24-hr 10-Year Rainfall=5.50"

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Page 3

Summary for Subcatchment 1B: (new Subcat)

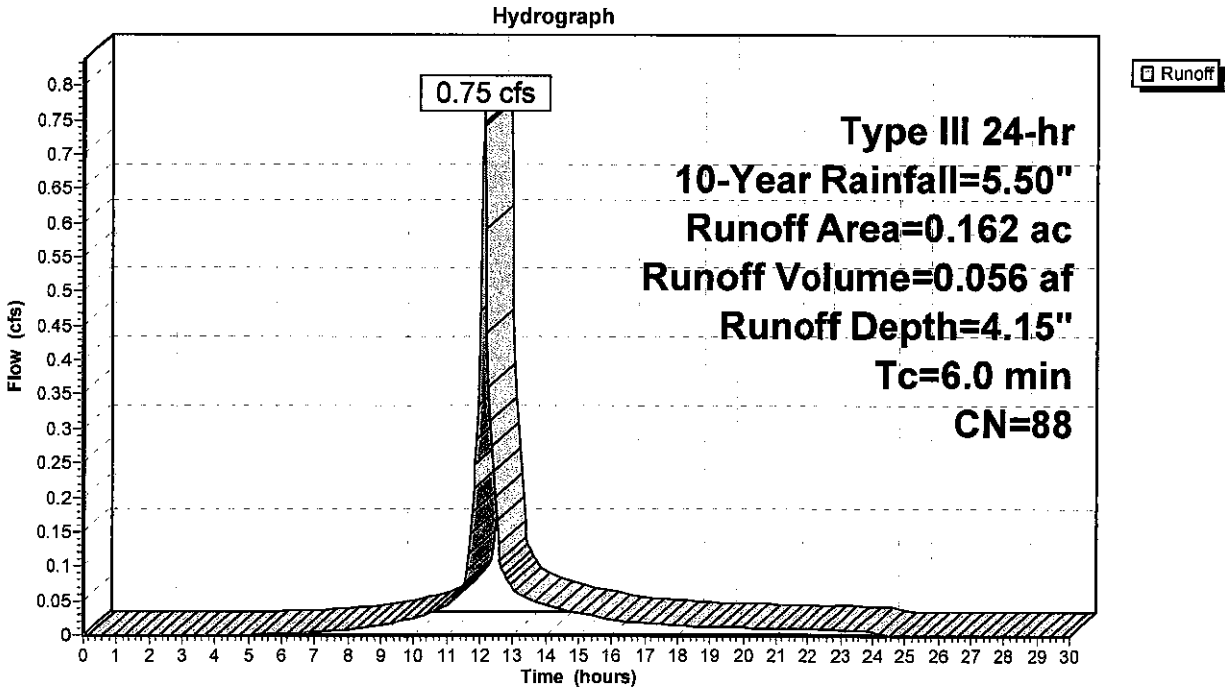
Runoff = 0.75 cfs @ 12.09 hrs, Volume= 0.056 af, Depth= 4.15"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type III 24-hr 10-Year Rainfall=5.50"

Area (ac)	CN	Description
0.075	98	Paved parking, HSG D
0.087	80	>75% Grass cover, Good, HSG D
0.162	88	Weighted Average
0.087		53.70% Pervious Area
0.075		46.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min.

Subcatchment 1B: (new Subcat)



Mann Subdivision

Type III 24-hr 10-Year Rainfall=5.50"

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Page 4

Summary for Pond 2P: West Swale

Inflow Area = 0.162 ac, 46.30% Impervious, Inflow Depth = 4.15" for 10-Year event
 Inflow = 0.75 cfs @ 12.09 hrs, Volume= 0.056 af
 Outflow = 0.74 cfs @ 12.10 hrs, Volume= 0.056 af, Atten= 1%, Lag= 0.8 min
 Primary = 0.74 cfs @ 12.10 hrs, Volume= 0.056 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 520.94' @ 12.10 hrs Surf.Area= 145 sf Storage= 43 cf

Plug-Flow detention time= 2.2 min calculated for 0.056 af (100% of inflow)
 Center-of-Mass det. time= 2.1 min (796.6 - 794.5)

Volume	Invert	Avail.Storage	Storage Description
#1	520.50'	638 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
520.50	50	0	0
521.00	159	52	52
522.00	296	228	280
523.00	421	359	638

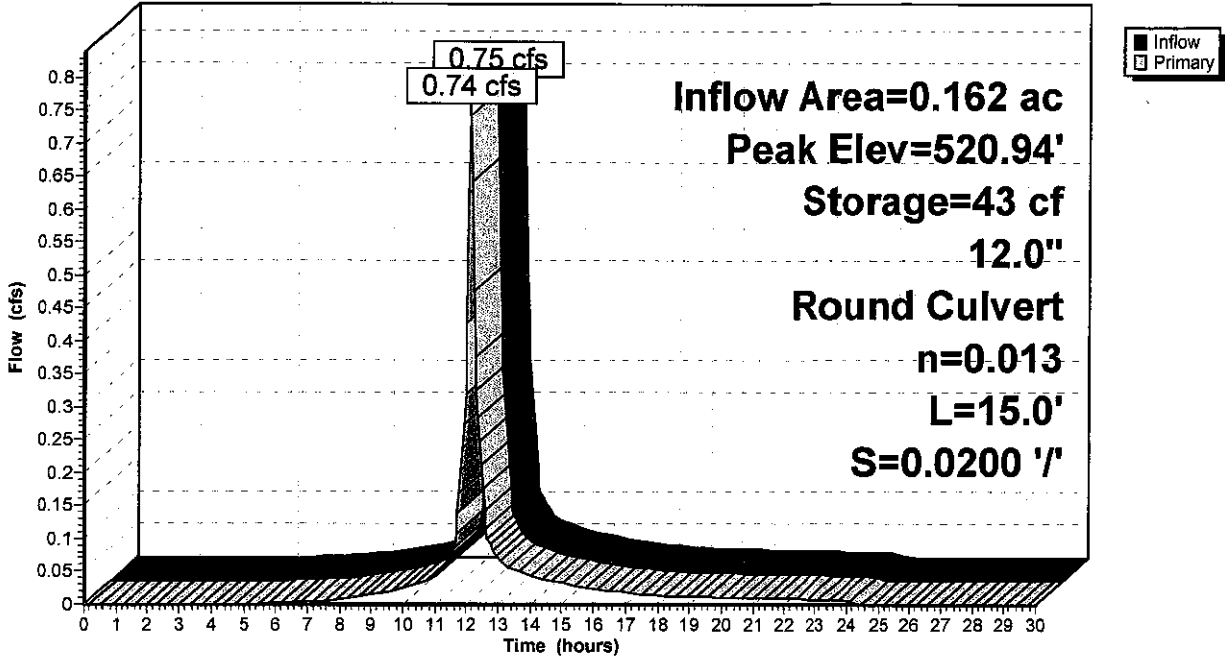
Device	Routing	Invert	Outlet Devices
#1	Primary	520.50'	12.0" Round Culvert L= 15.0' CPP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 520.50' / 520.20' S= 0.0200 '/ Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf

Primary OutFlow Max=0.74 cfs @ 12.10 hrs HW=520.94' (Free Discharge)

↑1=Culvert (Inlet Controls 0.74 cfs @ 2.25 fps)

Pond 2P: West Swale

Hydrograph



Mann Subdivision

Type III 24-hr 10-Year Rainfall=5.50"

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Page 6

Summary for Pond SW-A: West Swale

Inflow Area = 1.079 ac, 12.14% Impervious, Inflow Depth = 3.53" for 10-Year event
 Inflow = 4.35 cfs @ 12.09 hrs, Volume= 0.317 af
 Outflow = 4.01 cfs @ 12.12 hrs, Volume= 0.317 af, Atten= 8%, Lag= 2.0 min
 Primary = 4.01 cfs @ 12.12 hrs, Volume= 0.317 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 522.12' @ 12.12 hrs Surf.Area= 313 sf Storage= 307 cf

Plug-Flow detention time= 1.2 min calculated for 0.317 af (100% of inflow)
 Center-of-Mass det. time= 1.2 min (813.6 - 812.4)

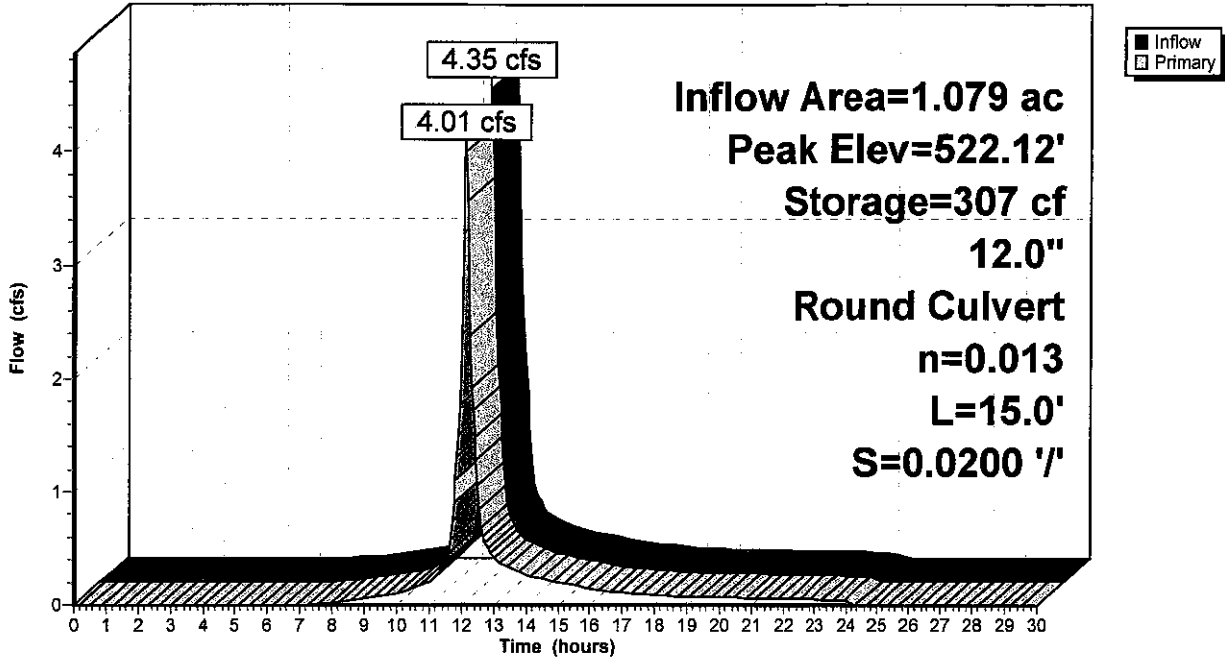
Volume	Invert	Avail.Storage	Storage Description
#1	520.50'	633 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
520.50	50	0	0
521.00	145	49	49
522.00	297	221	270
523.00	430	364	633

Device	Routing	Invert	Outlet Devices
#1	Primary	520.50'	12.0" Round Culvert L= 15.0' CPP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 520.50' / 520.20' S= 0.0200 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf

Primary OutFlow Max=3.93 cfs @ 12.12 hrs HW=522.08' (Free Discharge)
 ←1=Culvert (Inlet Controls 3.93 cfs @ 5.00 fps)

Pond SW-A: West Swale

Hydrograph



Mann Subdivision

Type III 24-hr 10-Year Rainfall=5.50"

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Page 8

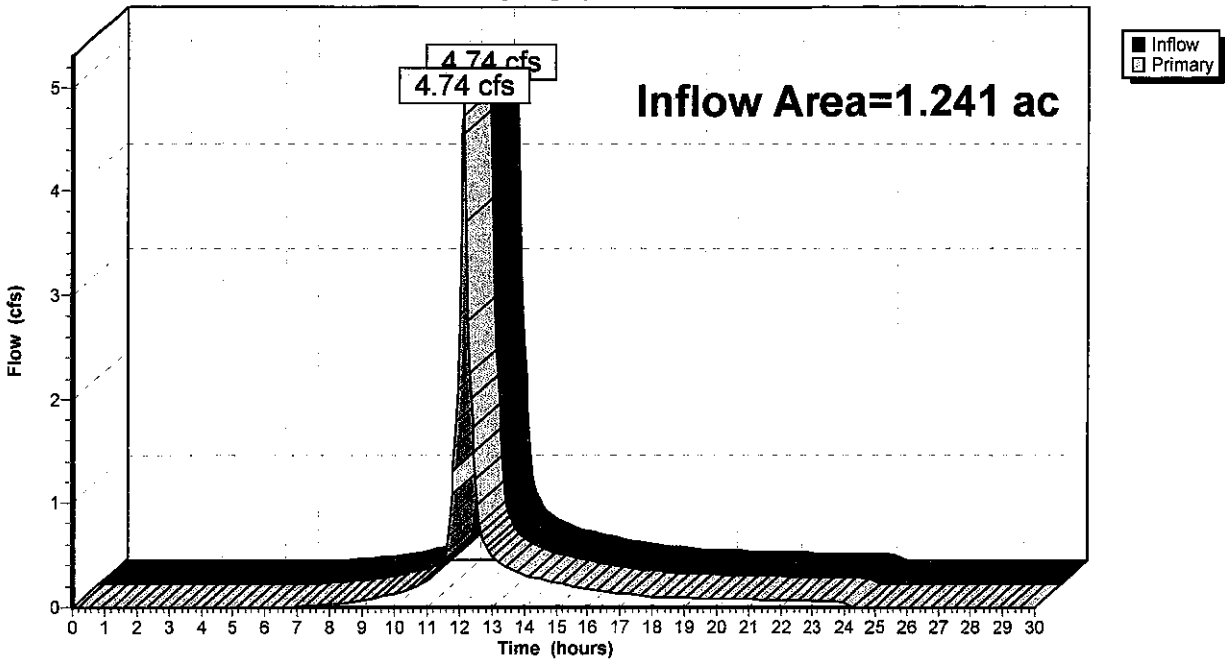
Summary for Link 1L: (new Link)

Inflow Area = 1.241 ac, 16.60% Impervious, Inflow Depth = 3.61" for 10-Year event
Inflow = 4.74 cfs @ 12.12 hrs, Volume= 0.373 af
Primary = 4.74 cfs @ 12.12 hrs, Volume= 0.373 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Link 1L: (new Link)

Hydrograph



BULK TABLE

ZONE: R1 RESIDENTIAL
 PERMITTED USE: SINGLE-FAMILY DWELLING, NOT TO EXCEED 1 DWELLINGS PER LOT

MINIMUM	REQUIRED	PROPOSED LOT 1 *	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA	40,000 SQ. FT.	71,437 SQ. FT.	41,605 SQ. FT.	45,950 SQ. FT.	55,181 SQ. FT.
FRONT YARD SETBACK	50 FEET	68.3 FEET	69.4 FEET	69.4 FEET	157.6 FEET
REAR YARD SETBACK	40 FEET	42.5 FEET	66.9 FEET	51.3 FEET	165.0 FEET
SIDE YARD SETBACK					
ONE	30 FEET	216.2 FEET	43.1 FEET	45.6 FEET	44.6 FEET
BOTH	80 FEET	112.5 FEET	198.4 FEET	158.5 FEET	158.5 FEET
LOT WIDTH	150 FEET	408.4 FEET	258.8 FEET	156.5 FEET	152.3 FEET
LOT DEPTH	150 FEET	187.2 FEET	150.0 FEET	284.7 FEET	378.0 FEET
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.
MAXIMUM					
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
LOT BUILDING COVERAGE	10%	4.2% (3,021 SQ. FT.)	3.6% (1,500 SQ. FT.)	3.3% (1,500 SQ. FT.)	2.7% (1,500 SQ. FT.)
LOT SURFACE COVERAGE	20%	13.3% (9,547 SQ. FT.)	6.5% (2,961 SQ. FT.)	6.1% (2,795 SQ. FT.)	6.8% (3,774 SQ. FT.)

* PROPOSED LOT 1 INCLUDES EXISTING DWELLING AND ACCESSORY BUILDING

LOT AREAS

	FULL LOT AREA	R.O.W. AREA	DWELLING LOT AREA
PROPOSED LOT 1	83,959.92 SQ. FT.	12,437.50 SQ. FT.	71,522.42 SQ. FT.
PROPOSED LOT 2	52,208.16 SQ. FT.	10,604.42 SQ. FT.	41,603.74 SQ. FT.
PROPOSED LOT 3	47,221.98 SQ. FT.	1,273.45 SQ. FT.	45,948.53 SQ. FT.
PROPOSED LOT 4	56,610.41 SQ. FT.	1,345.67 SQ. FT.	55,264.74 SQ. FT.

* PROPOSED 3.55125 SQ. FT. OF LAKESIDE ROAD RIGHT-OF-WAY TO BE DEDICATED TO THE TOWN OF NEWBURGH.

OWNER/APPLICANT:

MR. CECIL MANN
 545 LAKESIDE ROAD
 NEWBURGH, NY 12550

TAX LOT:

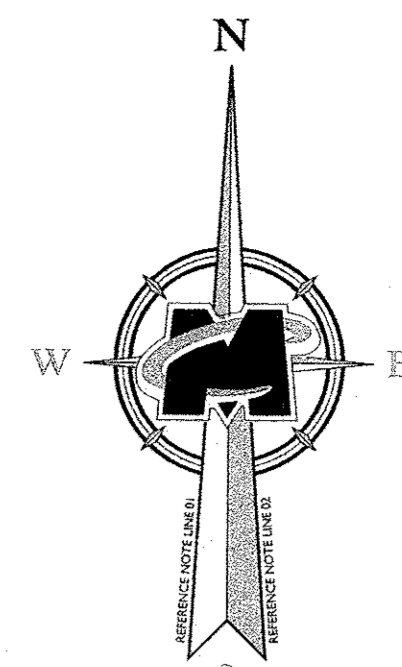
28-1-12.1
 243,548 SQ. FT.
 45.59 ACRES

SITE INFORMATION:

545 LAKESIDE ROAD
 NEWBURGH, NY 12550
 243,548 SQ. FT.
 45.59 ACRES

NOTES:

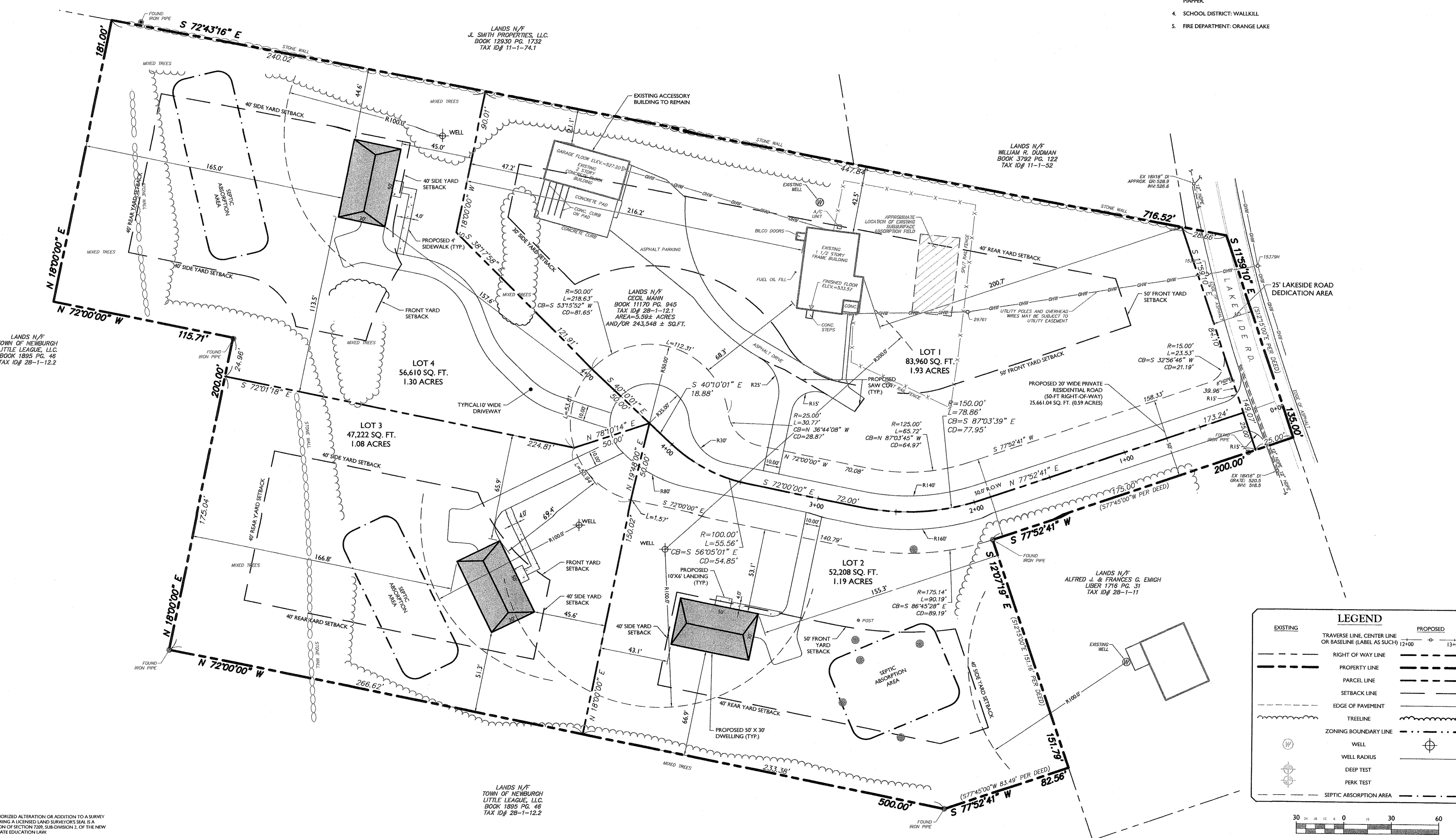
- BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" BY MASER CONSULTING, P.A. DATED OCTOBER 06, 2015
- THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, NO. 36071C0128 & 36071C0129.
- THE PROPERTY IS NOT WITHIN ANY WETLANDS OR WETLAND BUFFERS AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ENVIRONMENTAL MAPPER.
- SCHOOL DISTRICT: WALKILL
- FIRE DEPARTMENT: ORANGE LAKE



Customer Loyalty Through Client Satisfaction
 W.W. 01257-CO-011-0119-0-0-0
 Engineers ■ Planners ■ Surveyors
 Landscape Architects ■ Environmental Scientists
 Office Locations:
 ■ Albany, NY
 ■ Cheesecake Ridge, NY
 ■ Clinton, NJ
 ■ Hammondsport, NY
 ■ Haverhill, NY
 ■ Lehigh Valley, PA
 ■ Marlboro, NJ
 ■ Mc. Arlingdon, NJ
 ■ Mc. Laurel, NJ
 ■ Sterling, VA
 ■ Norfolk, VA
 ■ Albemarle, NC
 ■ Columbia, MD
 ■ Albany, NY
 ■ New Windsor, NY
 ■ Haverhill, NY
 ■ Lehigh Valley, PA
 ■ Exton, PA
 ■ Philadelphia, PA
 ■ Tampa, FL
 ■ Miami, FL
 ■ Columbia, MD

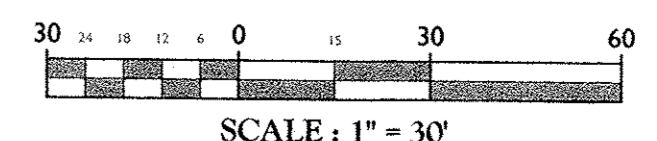
State of N.Y. Certificate of Authorization: 0008671 / 0008621
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811 PROTECT YOURSELF
 ALL STATE REQUIRE NOTIFICATION OF EXCAVATORS, LICENSERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
 Know what you dig.
 Call before you dig. STATE REQUIRED FILE NUMBER
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
 WWW.CALL811.COM



LEGEND

EXISTING	PROPOSED
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00 13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
PARCEL LINE	
SETBACK LINE	
EDGE OF PAVEMENT	
TREELINE	
ZONING BOUNDARY LINE	
WELL	
WELL RADIUS	
DEEP TEST	
PERK TEST	
SEPTIC ABSORPTION AREA	



REV	DATE	DRAWN BY	DESCRIPTION

NEW YORK STATE
 PROFESSIONAL ENGINEERING
 AND SURVEYING
ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 07355-1
MARK R. DeLOR
 NEW YORK LICENSED LAND SURVEYOR - LICENSE NUMBER: 050478

MINOR SUBDIVISION PLAN
 FOR
CECIL MANN
 AUG 22 2016
 SECTION 28
 BLOCK 1
 LOT 12.1
TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

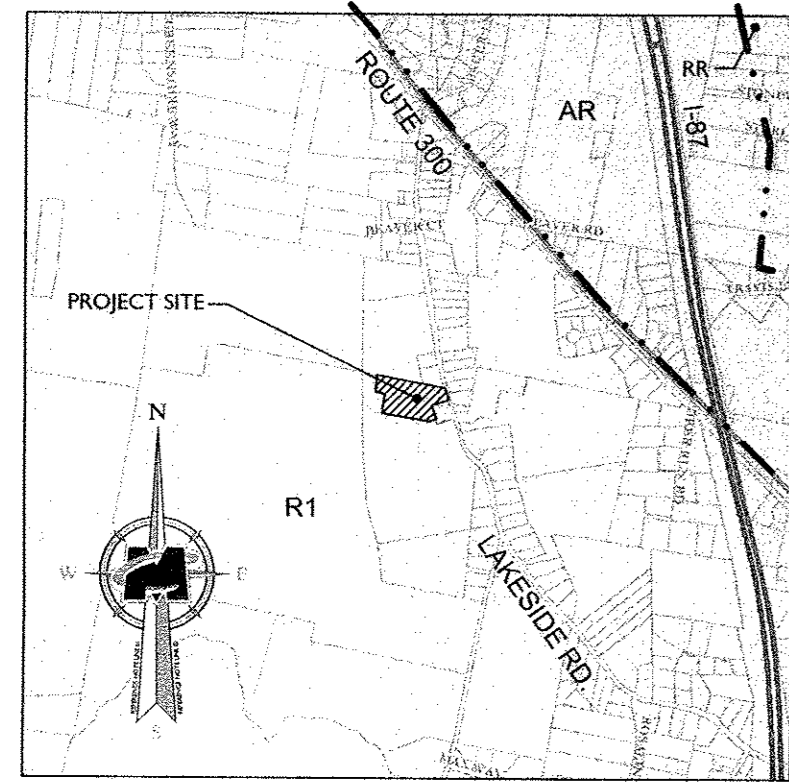
NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4495
 Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	06/27/16	JAP/PHW	JSD/PS
PROJECT NUMBER	DRAWING NAME		
15001767A	V-SUBD		

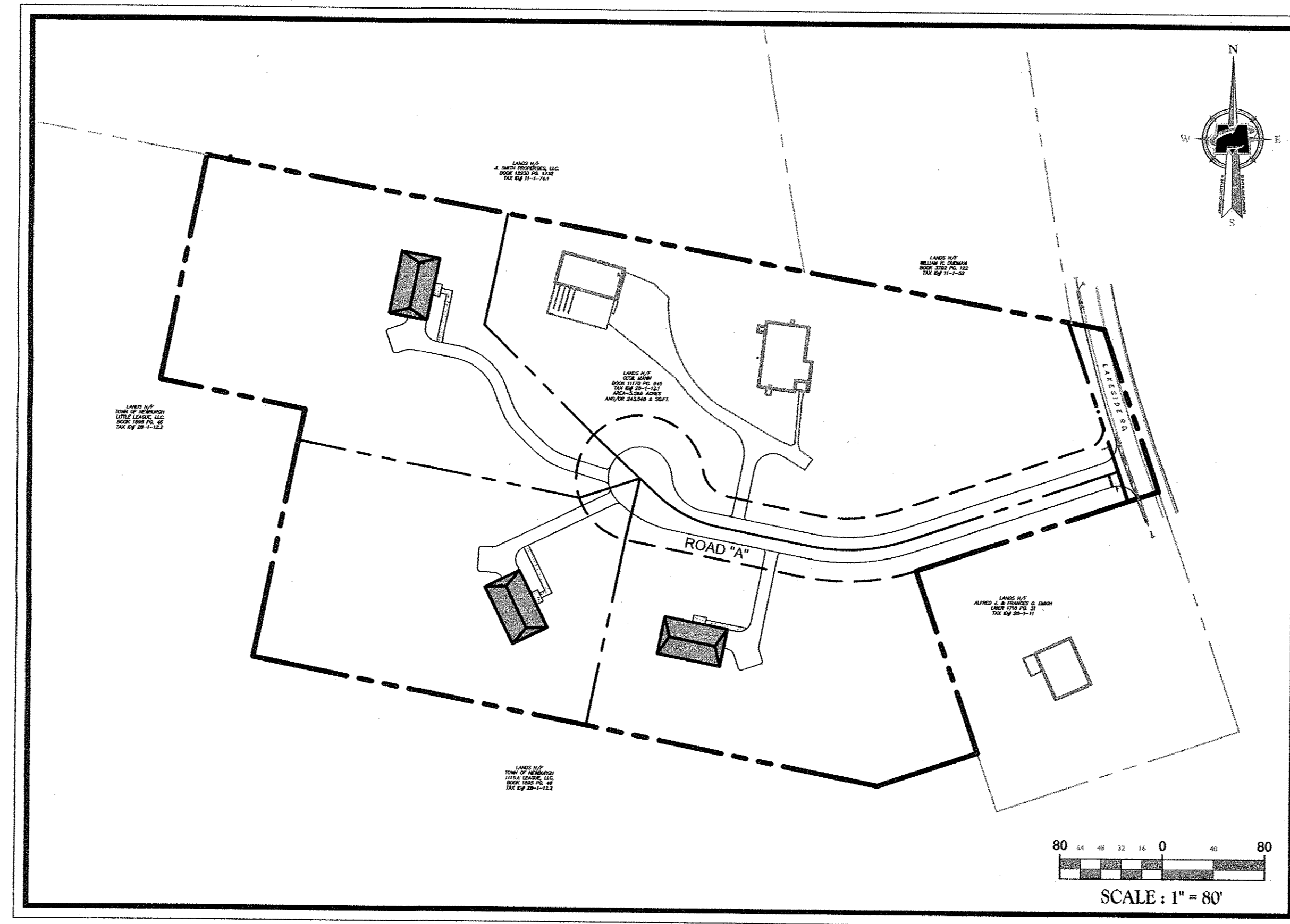
MINOR SUBDIVISION PLAN
 SHEET NUMBER:
01 of 01

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

MINOR SUBDIVISION PLAN FOR CECIL MANN MANN SUBDIVISION SECTION 28, BLOCK 1, LOT 12.1 TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



ZONING MAP
SCALE: 1" = 2000'



KEY MAP
SCALE: 1" = 80'

INDEX OF SHEETS

SHT. NO.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	8/19/2016
2	EXISTING CONDITIONS & DEMOLITION PLAN	8/19/2016
3	DIMENSION PLAN	8/19/2016
4	GRADING & DRAINAGE PLAN	8/19/2016
5	ROAD PROFILE	8/19/2016
6	UTILITY PLAN	8/19/2016
7	EROSION & SEDIMENT CONTROL PLAN	8/19/2016
8	EROSION & SEDIMENT CONTROL DETAILS	8/19/2016
9	CONSTRUCTION DETAILS	8/19/2016

GENERAL INFORMATION

- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHICAL SURVEY", DATED OCTOBER 06, 2015, PREPARED BY MASER CONSULTING, P.C. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
- THE PROPERTY IS NOT WITHIN ANY WETLANDS OR WETLAND BUFFERS AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ENVIRONMENTAL MAPPER.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAPS 36071C0128E AND 36071C0129E PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", LATEST VERSION.
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE SHALL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS TO BE INSTALLED ON EACH BUILDING LOT, SUBJECT TO THE APPLICABLE REGULATIONS AND THE APPROVAL OF THE ORANGE COUNTY HEALTH DEPARTMENT AND THE TOWN OF NEWBURGH.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO PROPOSED SEPTIC SYSTEM. GRAVITY PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS, HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN EACH DWELLING UNIT UNTIL DESIGNATED PICK UP DAY AS NOTED ON THE PLANS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HERON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HERON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH DWELLING/BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

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REV	DATE	DESCRIPTION
01	08/19/16	ISSUE FOR PERMITTING BOARD COMMENTS

STATE OF NEW YORK
ANDREW B. FETHERSTON
PROFESSIONAL ENGINEER

ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 07355-1

MINOR
SUBDIVISION PLAN
FOR
CECIL MANN

SECTION 28
BLOCK 1
LOT 12.1

TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK

NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
Fax: 845.567.1025

SCALE: AS SHOWN	DATE: 07/26/16	DRAWN BY: JAP	CHECKED BY: JS
PROJECT NUMBER: 15001767A	DRAWING NAME: C-COVER		

COVER SHEET

SHEET NUMBER: 01 of 09

DEMOLITION NOTES:

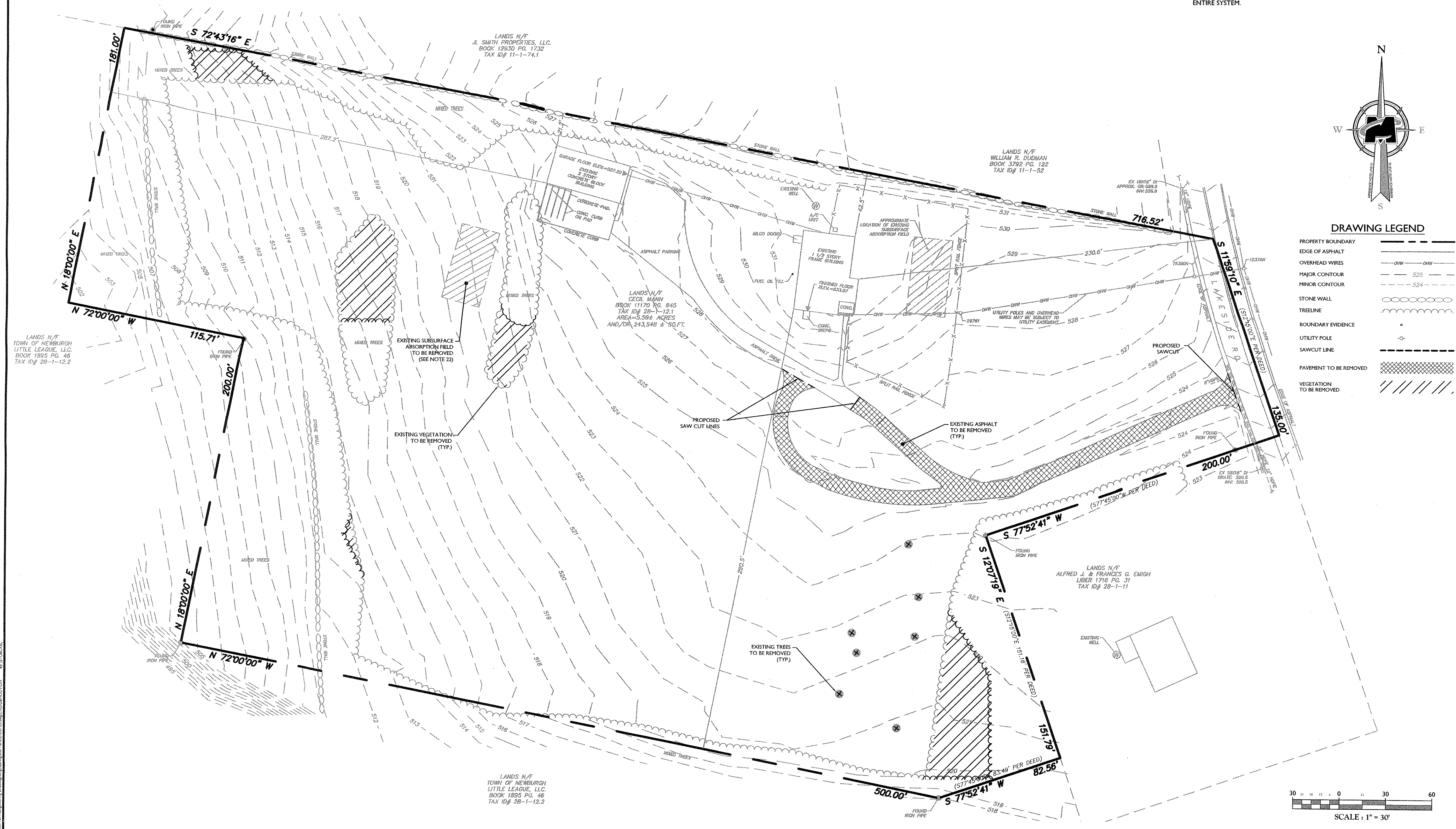
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. DIG SAFELY, NEW YORK, 1-800-962-7962 OR 811. A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO MASER CONSULTING, P.A. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
 - A. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON

- SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL PLAN," THIS DRAWING SET).
- INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- COORDINATION WITH UTILITY COMPANIES AND TOWN OF NEWBURGH REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- A COMPLETE INSPECTION FOR CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, SHALL BE PERFORMED OF ALL BUILDINGS AND/OR STRUCTURES PRIOR TO REMOVAL. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL

- APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- ROCK EXCAVATIONS WILL BE PERFORMED BY MECHANICAL MEANS ONLY. USE OF

- EXPLOSIVES IS PROHIBITED. ALL THE REQUIRED PERMITS AND CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL", AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
 - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
 - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
 - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING

- ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
 - DEMOLITION SHALL NOT PROCEED UNTIL THE APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLY SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE CITY.
 - CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED SITE AREAS TO ORIGINAL CONDITION AS DIRECTED BY THE OWNER.
 - PROTECT ALL EXISTING UTILITIES (INCLUDING DRAIN INLETS, HYDRANTS, VALVES, SEWER MANHOLES, ETC.) DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.
 - CONTRACTOR SHALL INVESTIGATE EXISTING SYSTEM LIMITS AND REMOVE THE ENTIRE SYSTEM.



DRAWING LEGEND

- PROPERTY BOUNDARY (Solid line)
- EDGE OF ASPHALT (Dashed line)
- OVERHEAD WIRES (Line with 'X' markers)
- MAJOR CONTOUR (Long dashed line)
- MINOR CONTOUR (Short dashed line)
- STONE WALL (Line with circles)
- TREELINE (Line with vertical dashes)
- BOUNDARY EVIDENCE (Dotted line)
- UTILITY POLE (Circle with cross)
- SAWCUT LINE (Line with 'X' markers)
- PAVEMENT TO BE REMOVED (Cross-hatched area)
- VEGETATION TO BE REMOVED (Diagonal hatched area)

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 120 WEST STATE STREET
 ALBANY, NY 12242-4905
 (518) 474-2297

ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

MINOR SUBDIVISION PLAN FOR CECIL MANN

SECTION 28
 BLOCK 1
 LOT 12.1

TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 945.564.4495
 Fax: 945.567.1025

SCALE: AS SHOWN DATE: 07/26/16 DRAWN BY: JAP CHECKED BY: JCS
 PROJECT NUMBER: 15001767A DRAWING NAME: C-DEMO
 SHEET TITLE: SITE DEMOLITION PLAN
 SHEET NUMBER: 02 of 09

BULK TABLE

ZONE: R1 RESIDENTIAL
 PERMITTED USE: SINGLE-FAMILY DWELLING, NOT TO EXCEED 1 DWELLINGS PER LOT

MINIMUM	REQUIRED	PROPOSED LOT 1 *	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA	40,000 SQ. FT.	71,437 SQ. FT.	41,605 SQ. FT.	45,950 SQ. FT.	55,181 SQ. FT.
FRONT YARD SETBACK	50 FEET	68.3 FEET	53.1 FEET	69.4 FEET	157.6 FEET
REAR YARD SETBACK	40 FEET	42.5 FEET	66.9 FEET	51.3 FEET	165.0 FEET
SIDE YARD SETBACK					
ONE	30 FEET	216.2 FEET	43.1 FEET	45.6 FEET	44.6 FEET
BOTH	80 FEET	198.4 FEET	112.5 FEET	158.5 FEET	158.5 FEET
LOT WIDTH	150 FEET	408.4 FEET	258.8 FEET	156.5 FEET	152.3 FEET
LOT DEPTH	150 FEET	187.2 FEET	150.0 FEET	284.7 FEET	378.0 FEET
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.
MAXIMUM					
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
LOT BUILDING COVERAGE	10%	4.2% (3,021 SQ. FT.)	3.6% (1,500 SQ. FT.)	3.3% (1,500 SQ. FT.)	2.7% (1,500 SQ. FT.)
LOT SURFACE COVERAGE	20%	13.3% (9,547 SQ. FT.)	6.5% (2,961 SQ. FT.)	6.1% (2,795 SQ. FT.)	6.8% (3,774 SQ. FT.)

* PROPOSED LOT 1 INCLUDES EXISTING DWELLING AND ACCESSORY BUILDING

LOT AREAS			
	FULL LOT AREA	R.O.W. AREA	DWELLING LOT AREA
PROPOSED LOT 1	83,959.17 SQ. FT.	12,521.95 SQ. FT.	71,437.22 SQ. FT.
PROPOSED LOT 2	52,206.79 SQ. FT.	10,402.22 SQ. FT.	41,604.57 SQ. FT.
PROPOSED LOT 3	47,223.00 SQ. FT.	1,273.45 SQ. FT.	45,949.55 SQ. FT.
PROPOSED LOT 4	56,618.27 SQ. FT.	1,355.67 SQ. FT.	55,262.60 SQ. FT.

* PROPOSED 3,550.82 SQ. FT. OF LAKESIDE ROAD RIGHT-OF-WAY TO BE DEDICATED TO THE TOWN OF NEWBURGH.

OWNER/APPLICANT:

MR. CECIL MANN
 545 LAKESIDE ROAD
 NEWBURGH, NY 12550

TAX LOT:

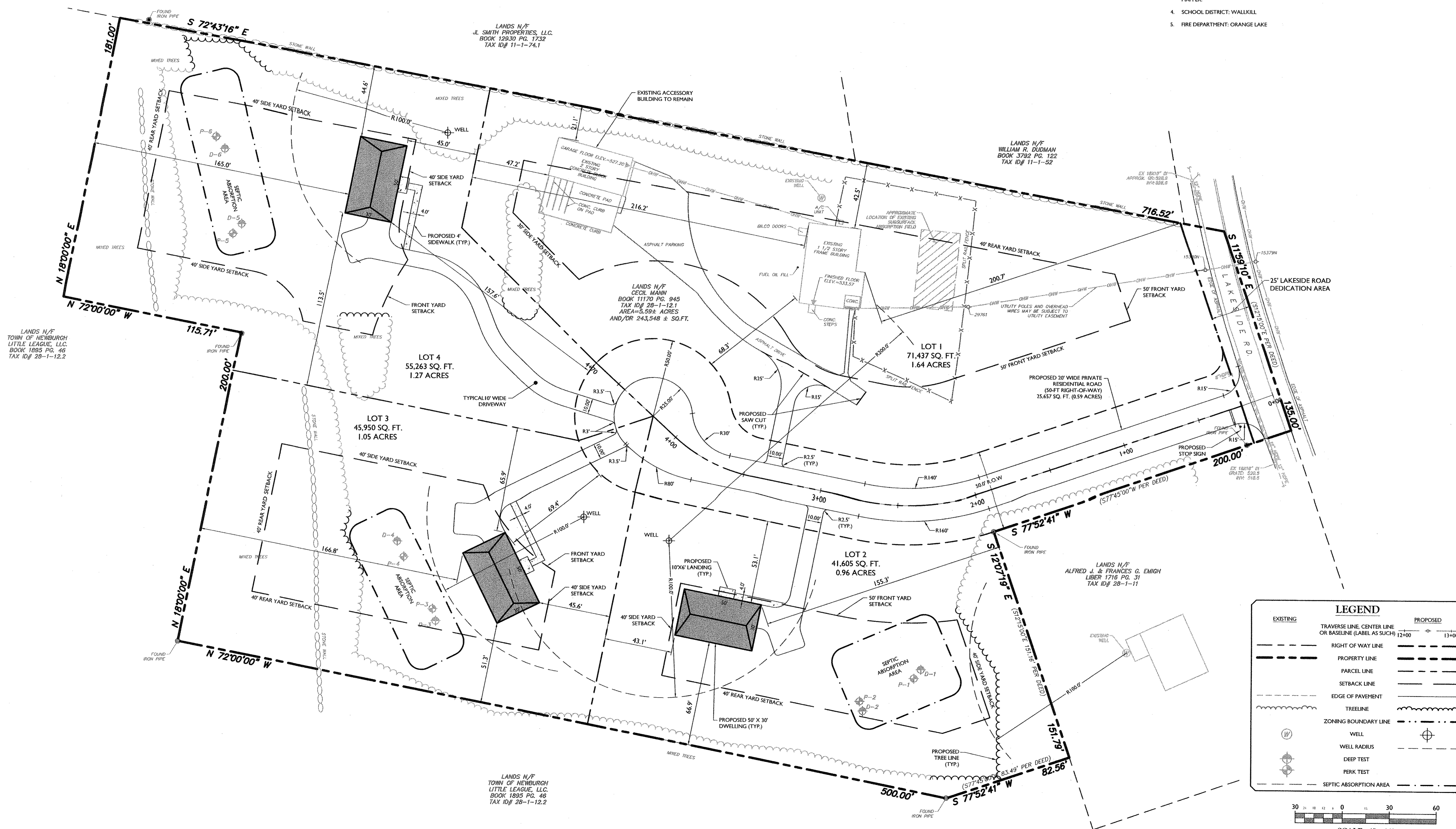
28-1-121
 2,243,548 SQ. FT.
 25.59 ACRES

SITE INFORMATION:

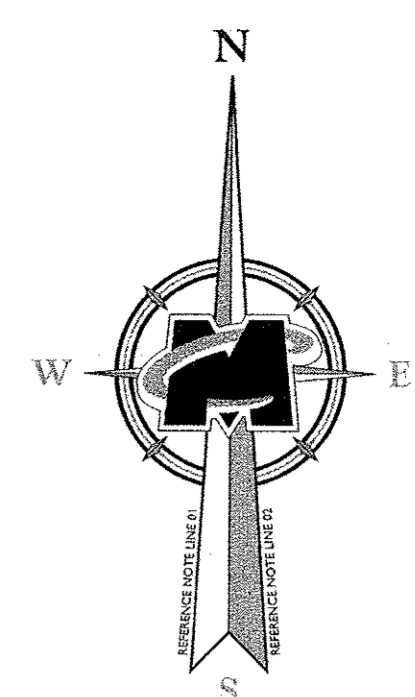
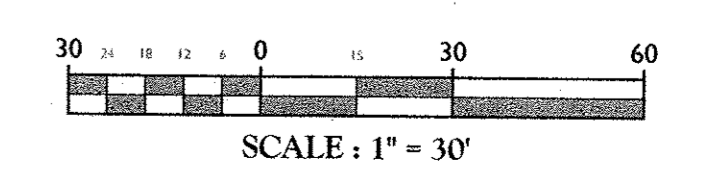
545 LAKESIDE ROAD
 NEWBURGH, NY 12550
 2,243,548 SQ. FT.
 25.59 ACRES

NOTES:

- BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" BY MASER CONSULTING, P.A. DATED OCTOBER 06, 2015
- THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, NO. 36071C0128E & 36071C0129E.
- THE PROPERTY IS NOT WITHIN ANY WETLANDS OR WETLAND BUFFERS AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ENVIRONMENTAL MAPPER.
- SCHOOL DISTRICT: WALLKILL
- FIRE DEPARTMENT: ORANGE LAKE



LEGEND	
EXISTING	PROPOSED
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00	13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
PARCEL LINE	
SETBACK LINE	
EDGE OF PAVEMENT	
TREELINE	
ZONING BOUNDARY LINE	
WELL	
WELL RADIUS	
DEEP TEST	
PERK TEST	
SEPTIC ABSORPTION AREA	



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NO.	DATE	DESCRIPTION
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STATE OF NEW YORK
 ANDREW B. FETHERSTON
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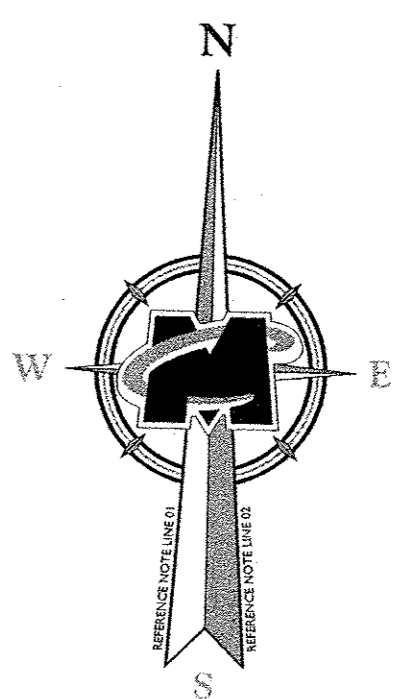
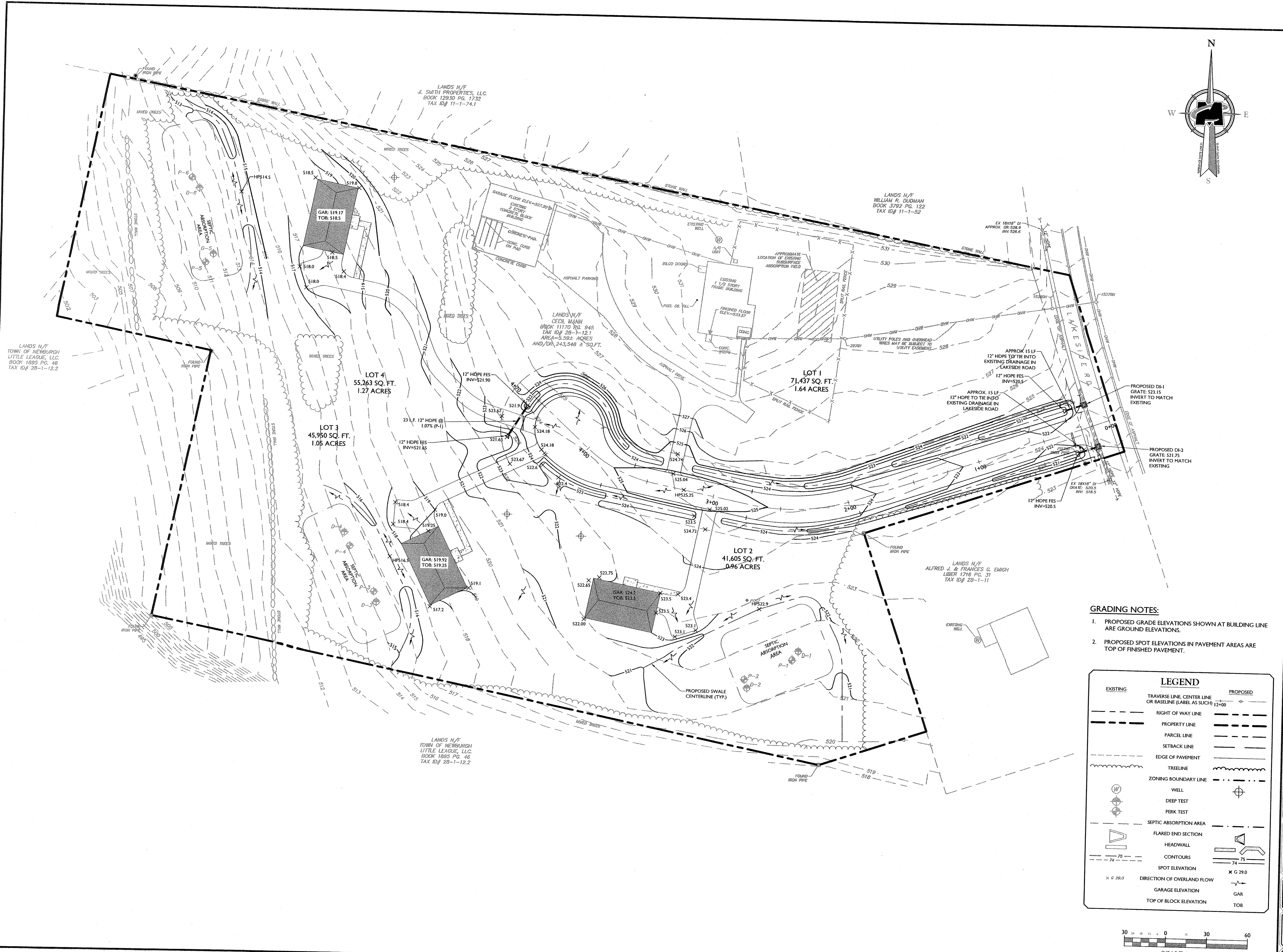
MINOR SUBDIVISION PLAN
 FOR
CECIL MANN

SECTION 28
 BLOCK 1
 LOT 12.1

TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

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 555 Hudson Valley Avenue
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SCALE: AS SHOWN DATE: 07/26/16 DRAWN BY: JAP CHECKED BY: JS
 PROJECT NUMBER: 15001767A DRAWING NAME: C-LAY
 SHEET TITLE: DIMENSION PLAN
 SHEET NUMBER: 03 of 09



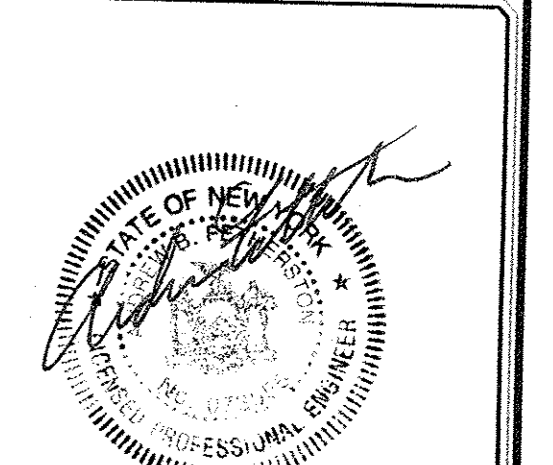
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ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

MINOR SUBDIVISION PLAN
 FOR **CECIL MANN**
 SECTION 28
 BLOCK 1
 LOT 12.1
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

MASER CONSULTING P.A.
 NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
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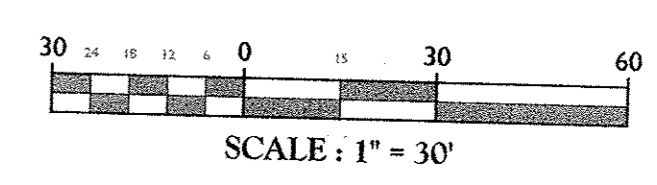
SCALE: AS SHOWN	DATE: 07/26/16	DRAWN BY: JAP	CHECKED BY: JPS
PROJECT NUMBER: 15591767A	DRAWING NAME: C-GRAD		

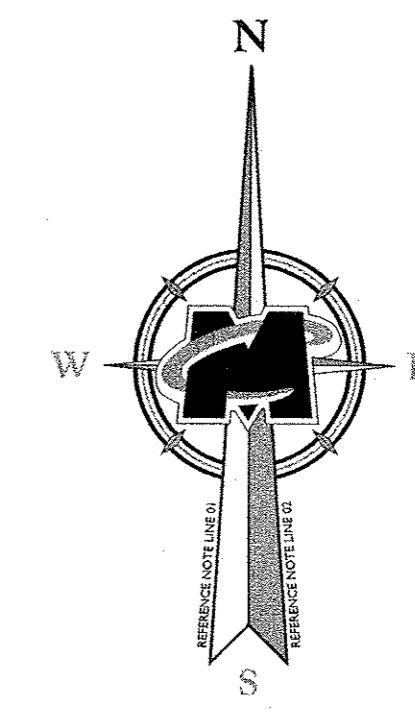
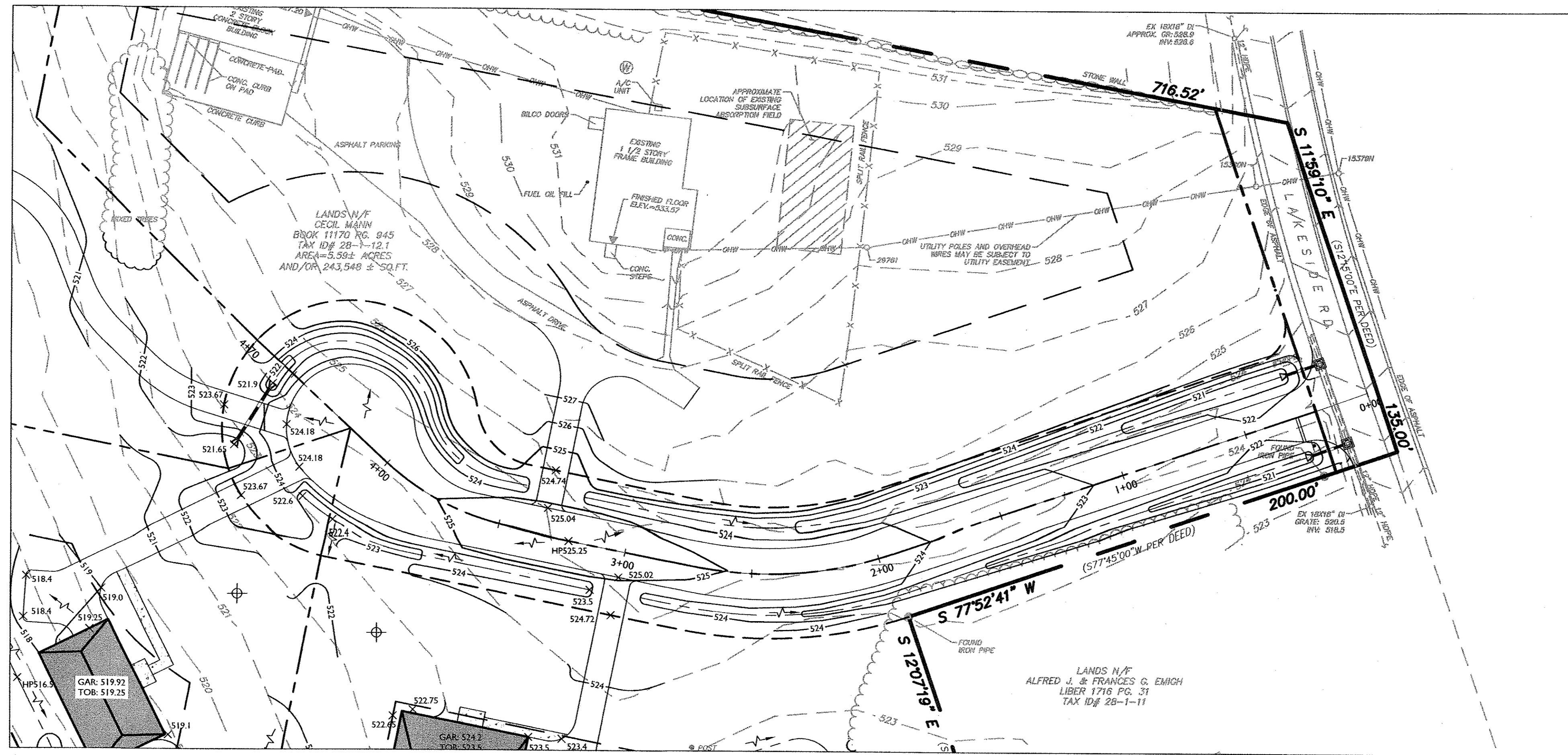
SHEET TITLE: **GRADING PLAN**
 SHEET NUMBER: **04** of **09**

- GRADING NOTES:**
1. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
 2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.

LEGEND

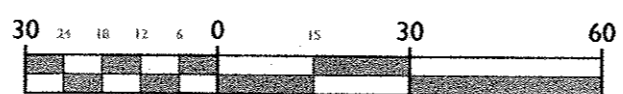
EXISTING	PROPOSED
TRaverse line, center line or baseline (label as such) 12+00	---
RIGHT OF WAY LINE	---
PROPERTY LINE	---
PARCEL LINE	---
SETBACK LINE	---
EDGE OF PAVEMENT	---
TREELINE	---
ZONING BOUNDARY LINE	---
WELL	⊕
DEEP TEST	⊕
PERK TEST	⊕
SEPTIC ABSORPTION AREA	---
FLARED END SECTION	---
HEADWALL	---
CONTOURS	---
SPOT ELEVATION	x G 29.0
x G 28.0	DIRECTION OF OVERLAND FLOW
GARAGE ELEVATION	GAR
TOP OF BLOCK ELEVATION	TOB



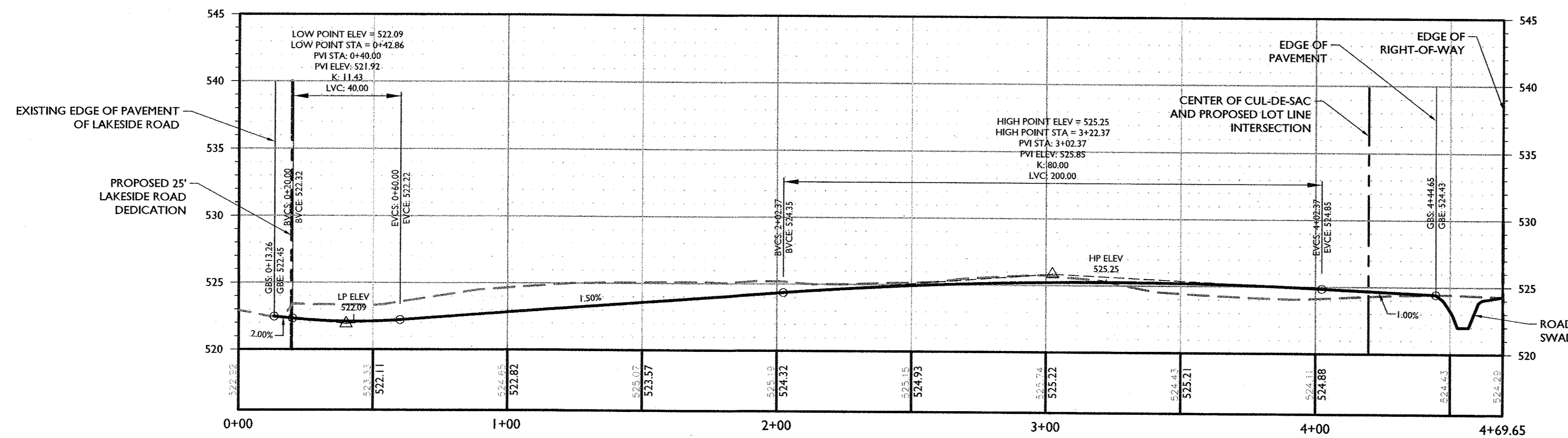


PROPOSED ROAD PLAN

SCALE: 1"=30'



SCALE: 1" = 30'



PROFILE OF PROPOSED MANN ROAD

HORIZONTAL : 1" = 30'

VERTICAL : 1" = 6'

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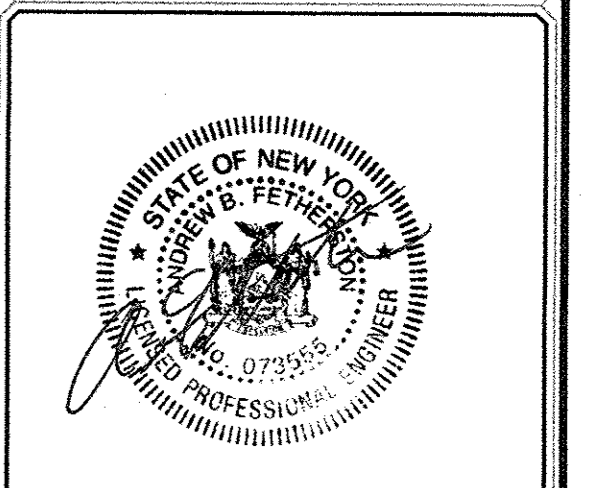
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PROJECT NUMBER	DRAWING NAME
15001767A	C-PROF

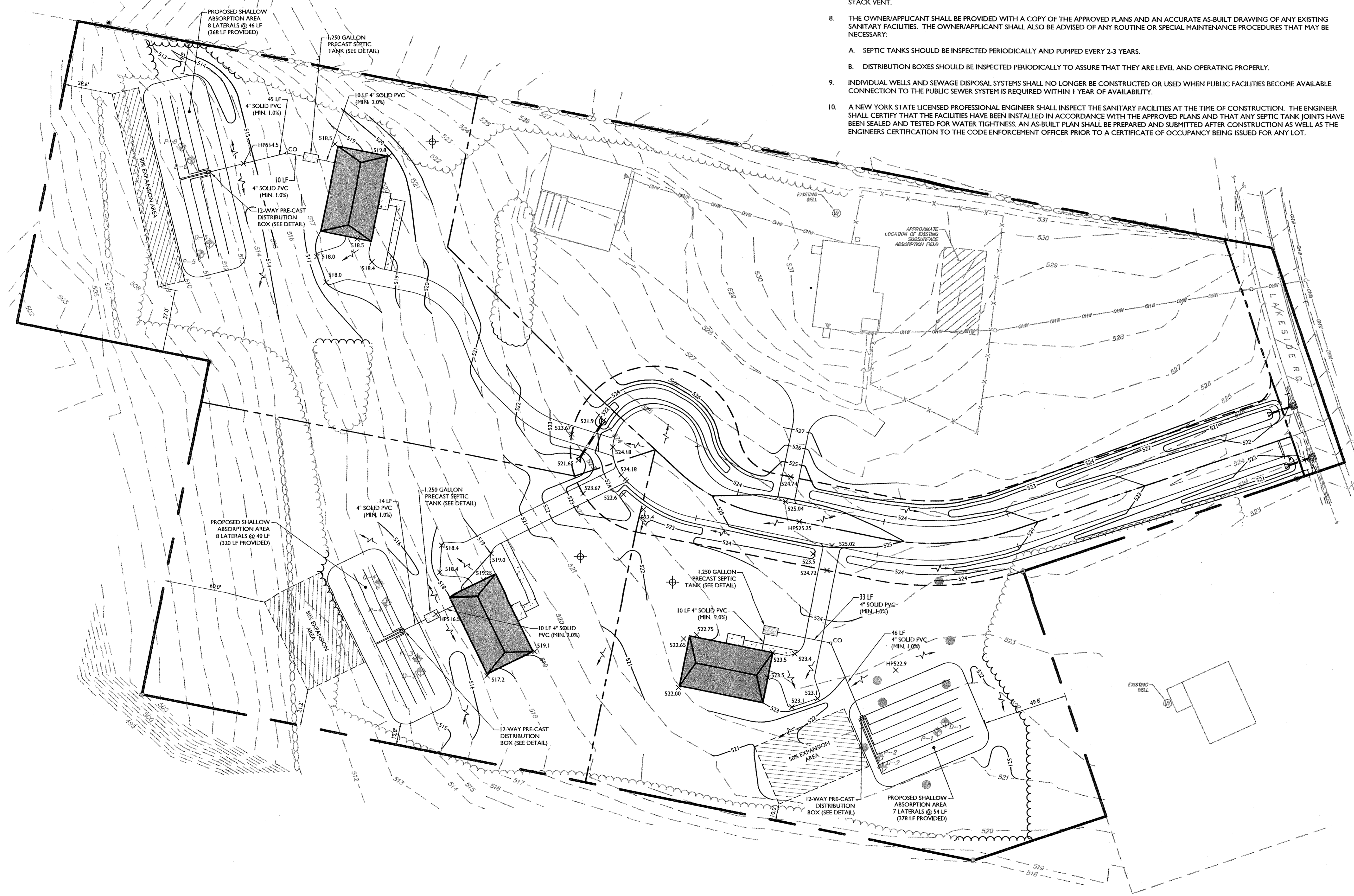
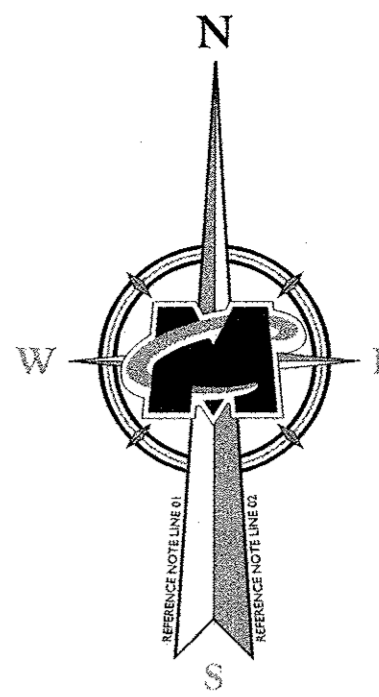
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GENERAL NOTES:

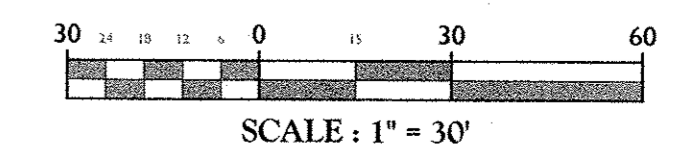
1. LOW FLOW PLUMBING FIXTURES MUST BE USED IN BUILDING.
2. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES (DISTRIBUTION BOXES, ETC)
3. DESIGN PERCOLATION RATES FOR SHALLOW SYSTEM DESIGN (12" DEPTH) TAKEN FROM DATA GATHERED BY MASER CONSULTING P.A. ON DECEMBER 3, 2015.
4. DEEP TEST INFORMATION REFERENCED FROM TESTS WITNESSED BY MASER CONSULTING P.A. ON DECEMBER 3, 2015.

ORANGE COUNTY HEALTH DEPARTMENT NOTES:

1. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
2. TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
3. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
4. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
5. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
6. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE TOWN OF NEWBURGH.
7. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
8. THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY:
 - A. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
 - B. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
9. INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
10. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. AN AS-BUILT PLAN SHALL BE PREPARED AND SUBMITTED AFTER CONSTRUCTION AS WELL AS THE ENGINEER'S CERTIFICATION TO THE CODE ENFORCEMENT OFFICER PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY LOT.



LEGEND	
EXISTING	PROPOSED
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
RIGHT OF WAY LINE	
PROPERTY LINE	
PARCEL LINE	
SETBACK LINE	
EDGE OF PAVEMENT	
TREELINE	
ZONING BOUNDARY LINE	
WELL	
WELL RADIUS	
DEEP TEST	
PERK TEST	
SEPTIC ABSORPTION AREA	
FLARED END SECTION	
HEADWALL	
HEADWALL	
CATV	CATV
CABLE TV CONDUIT	
GAS MAIN	G
TELEPHONE CONDUIT	T
ELECTRIC CONDUIT	E
STORM PIPE	



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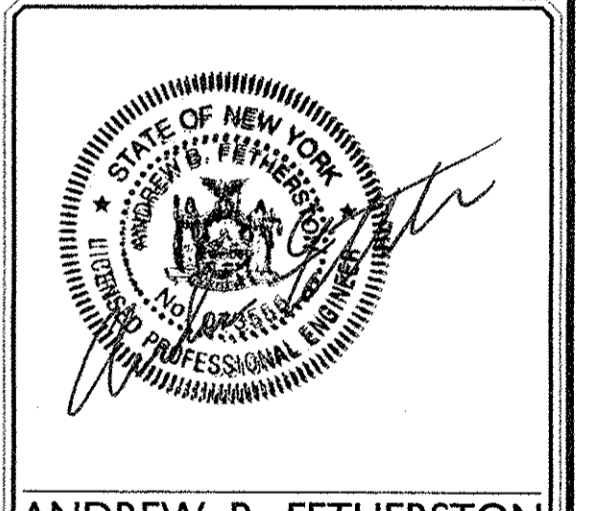
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SECTION 28
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TOWN OF NEWBURGH
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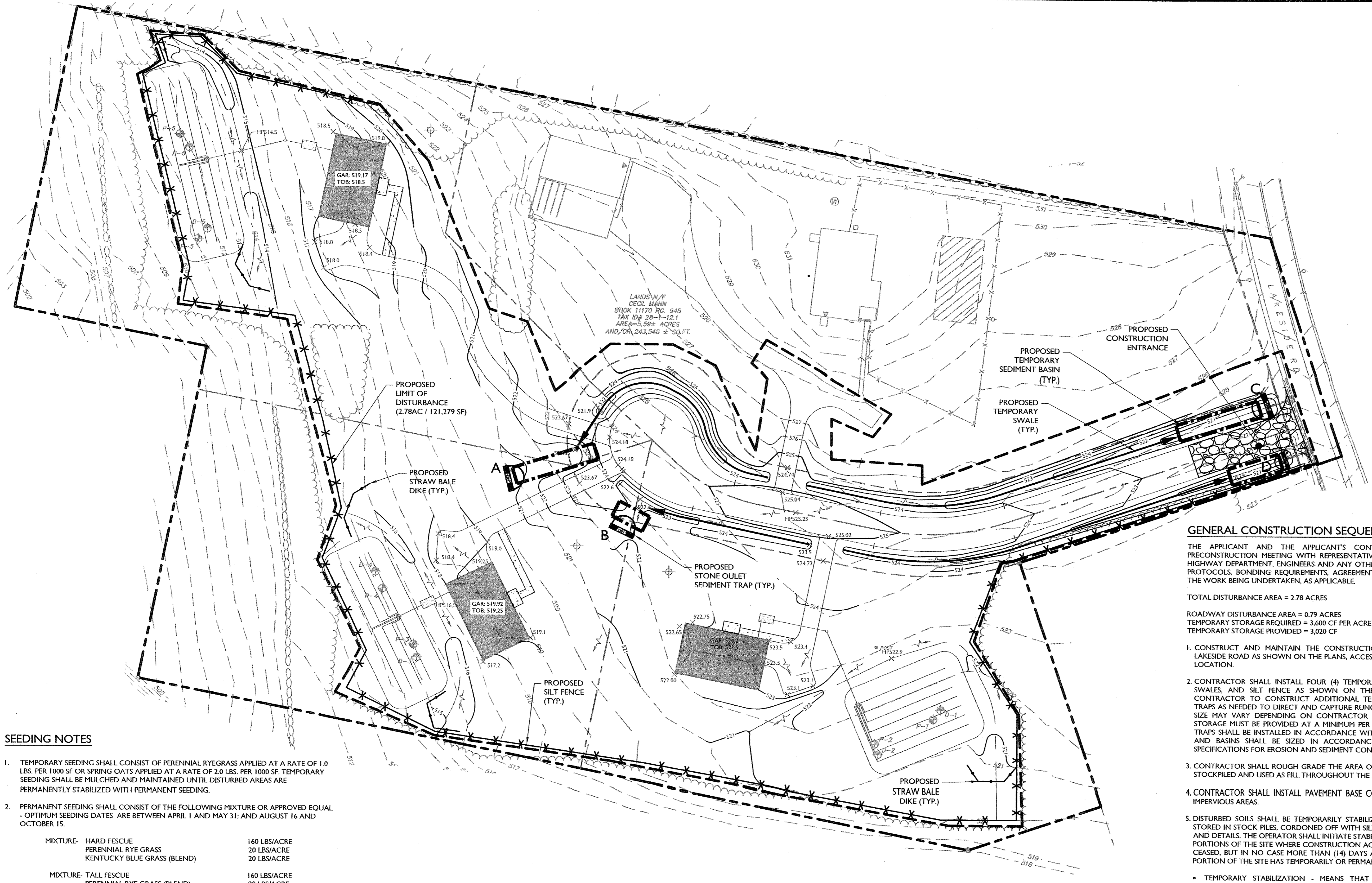
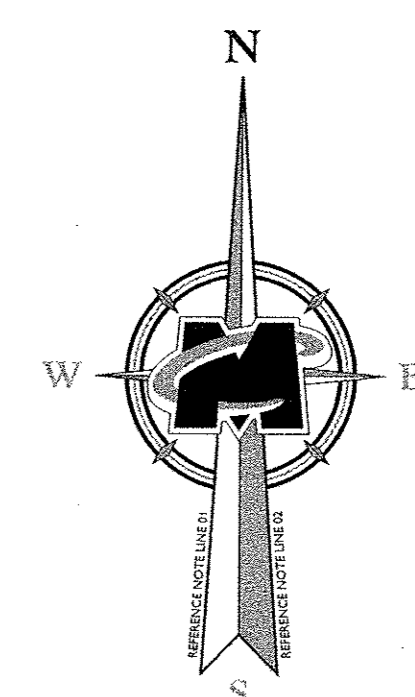
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PROJECT NUMBER: 15001767A	DRAWING NAME: C-UTIL		

SHEET TITLE: **UTILITY PLAN**

SHEET NUMBER: **06 of 09**

15001767A-Orange County Health Department - Parcel-C-Util-06-C-Util-16.dwg



SEEDING NOTES

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 16 AND OCTOBER 15.

MIXTURE - HARD FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
MIXTURE - TALL FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC REGULATIONS. A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DEICING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

LOT PHASING CONSTRUCTION SEQUENCES

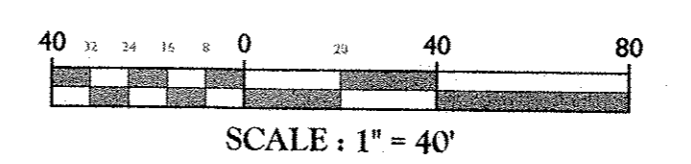
- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF CONSTRUCTION LIMITS. SILT FENCING SHALL BE INSTALLED AS SHOWN ON EROSION CONTROL PLAN.
- CONTRACTOR TO ENTER THE SITE FROM LAKESIDE ROAD.
- CONTRACTOR SHALL CLEAR TREES AND VEGETATION AS NECESSARY TO CONSTRUCT PROPOSED LOTS. CONTRACTOR SHALL GRUB STUMPS AS NECESSARY TO CONSTRUCT PROPOSED LOTS.
- INSTALL ALL TEMPORARY STONE OULET SEDIMENT TRAPS AND TEMPORARY SWALES IN SUBSEQUENT PHASES AS INDICATED ON THE EROSION CONTROL PLAN.
- CONTRACTOR SHALL BRING THE GRADES FOR THE PROPOSED BUILDINGS AND DRIVEWAYS TO PROPOSED ELEVATIONS. ONCE THE SOIL IN THIS AREA IS BROUGHT TO GRADE, IT SHALL BE TEMPORARILY STABILIZED THROUGH HYDROSEEDING AND/OR MULCHING, UNTIL PERMANENT STABILIZATION IS ACHIEVED (I.E. SOD, SEEDING, BUILDING FOUNDATIONS, BASE COURSE ASPHALT).

THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- STONE OULET SEDIMENT TRAP
- TEMPORARY SWALE
- STRAW BALE DIKE
- CONSTRUCTION LIMIT LINE
- TEMPORARY SEDIMENT BASIN

THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY



GENERAL CONSTRUCTION SEQUENCE

THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND A PRECONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE TOWN BUILDING DEPARTMENT, HIGHWAY DEPARTMENT, ENGINEERS AND ANY OTHER PARTIES DEEMED NECESSARY TO REVIEW ALL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.

TOTAL DISTURBANCE AREA = 2.78 ACRES
 ROADWAY DISTURBANCE AREA = 0.79 ACRES
 TEMPORARY STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 2,858 CF
 TEMPORARY STORAGE PROVIDED = 3,020 CF

- CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCE AND STAGING AREA OFF OF LAKESIDE ROAD AS SHOWN ON THE PLANS, ACCESSING THE PROJECT SITE FROM THE DESIGNATED LOCATION.
- CONTRACTOR SHALL INSTALL FOUR (4) TEMPORARY SEDIMENT TRAPS, TEMPORARY DIVERSION SWALES, AND SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. CONTRACTOR TO CONSTRUCT ADDITIONAL TEMPORARY DIVERSION SWALES AND SEDIMENT TRAPS AS NEEDED TO DIRECT AND CAPTURE RUNOFF FROM DISTURBED AREAS. LOCATIONS AND SIZE MAY VARY DEPENDING ON CONTRACTOR SCHEDULE AND APPROACH BUT 3,600 CF OF STORAGE MUST BE PROVIDED AT A MINIMUM PER ACRE OF UPSTREAM DISTURBANCE. SEDIMENT TRAPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS. SEDIMENT TRAPS AND BASINS SHALL BE SIZED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL.
- CONTRACTOR SHALL ROUGH GRADE THE AREA OF PROPOSED ROAD. THE EXCESS SOIL SHALL BE STOCKPILED AND USED AS FILL THROUGHOUT THE SITE.
- CONTRACTOR SHALL INSTALL PAVEMENT BASE COURSE AS SOON AS PRACTICAL TO STABILIZE IMPERVIOUS AREAS.
- DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL AND MATERIALS STORED IN STOCK PILES, CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - TEMPORARY STABILIZATION - MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) AS SET FORTH IN THE TECHNICAL STANDARD, NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TO PREVENT THE EXPOSED SOIL FROM ERODING. THE MATERIALS CAN INCLUDE, BUT ARE NOT LIMITED TO, MULCH, SEED AND MULCH, AND EROSION CONTROL MATS (E.G., LITE TWISTED YARN, EXCELSIOR WOOD FIBER MATS). STABILIZATION SHALL BE MAINTAINED PER SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-15-002 OR AS AMENDED.
 - FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
- CONTRACTOR SHALL BEGIN CONSTRUCTION ON PROPOSED HOUSES. AFTER COMPLETION OF EACH HOME EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
- UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

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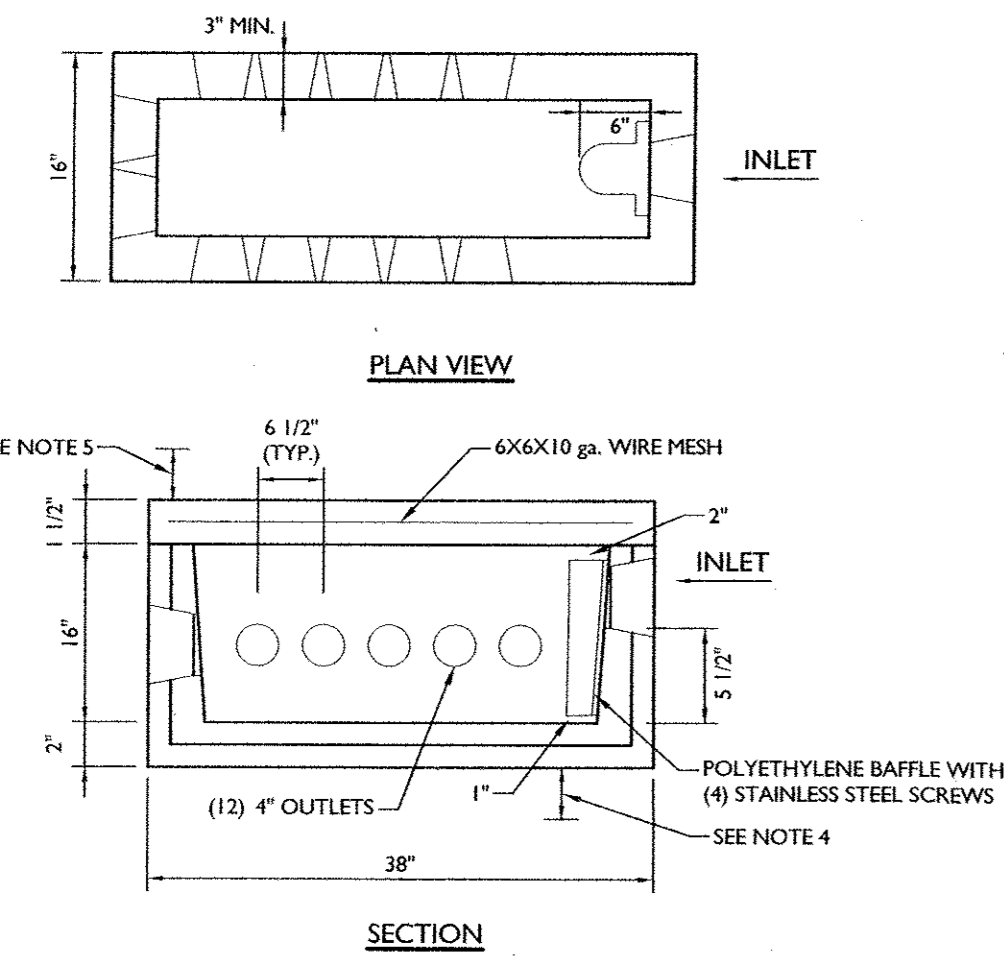
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 PROFESSIONAL ENGINEER
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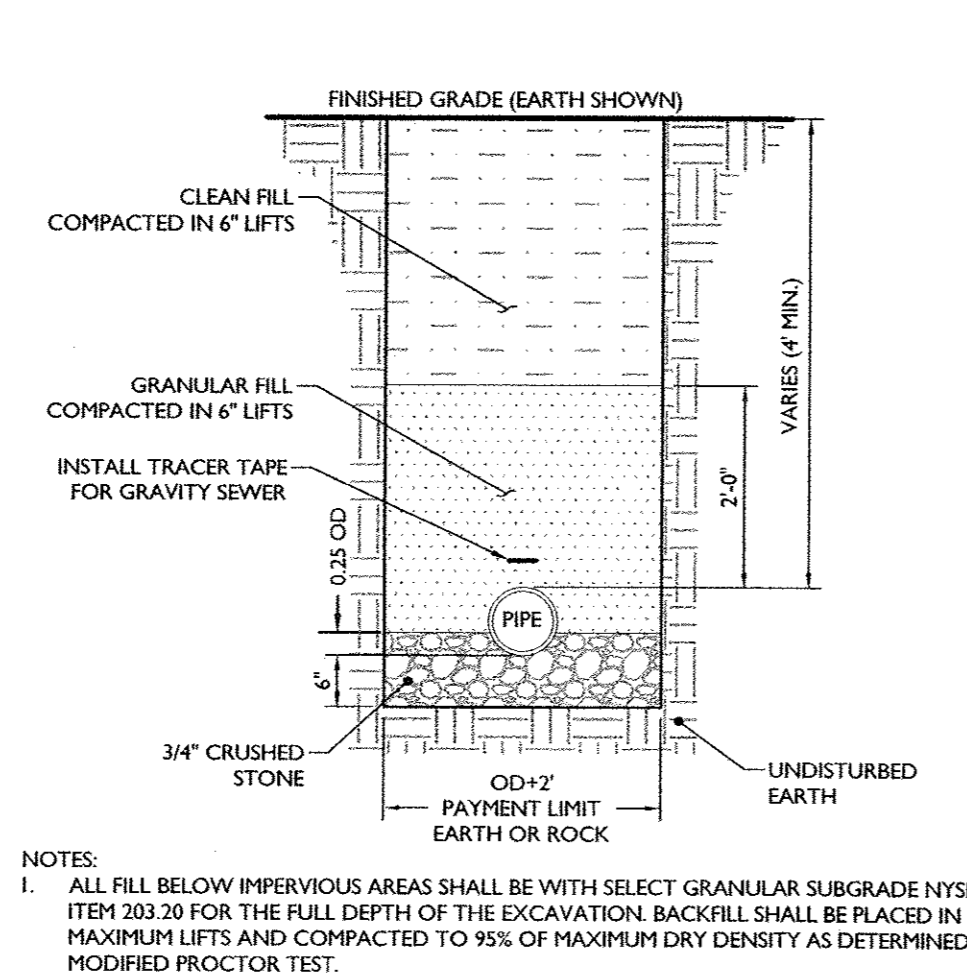
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 PROJECT NUMBER: 15001767A DRAWING NAME: C-SECC
 SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
 SHEET NUMBER: 07 of 09

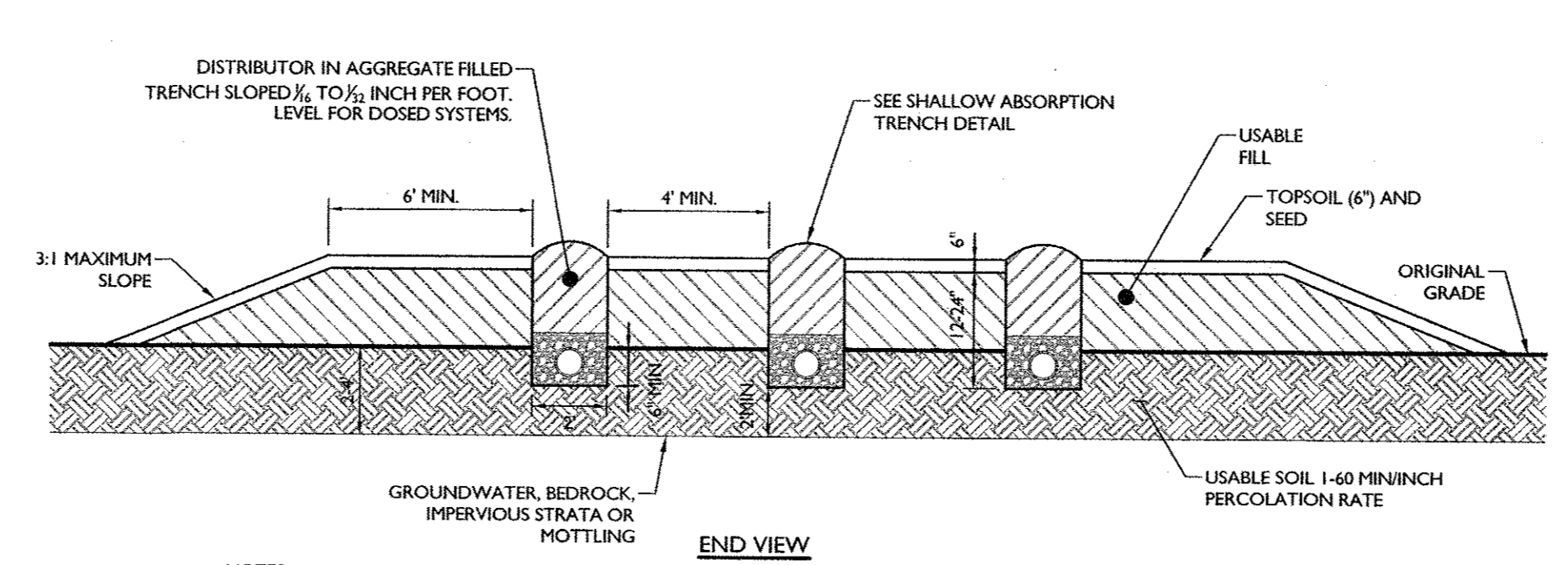


- NOTE:
- INLET AND OUTLETS ARE KNOCKOUTS
 - WEIGHT BOX-1,400 LBS. TOP-400 LBS.
 - CONCRETE TO TEST 4000 PSI AT 28 DAYS, AIR ENTRAPMENT: 5% STEEL REINFORCEMENT 6"x6"x10 GAUGE WIRE MESH, #4 REBAR BEDDING TO BE 12 INCHES MINIMUM OF CLEAN SAND, FEA GRAVEL OR AGGREGATE (5/8" TO 1 1/2")
 - MAXIMUM COVER OVER DISTRIBUTION BOX TO BE 12 INCHES.
 - ALL USED OUTLETS TO BE AT SAME ELEVATION OR SPEED LEVELS SHALL BE USED.
 - PIPE CONNECTION: POLYLOK SEAL (PATENTED)
 - LOAD RATING: 300 PSF (#20 ON REQUEST)?

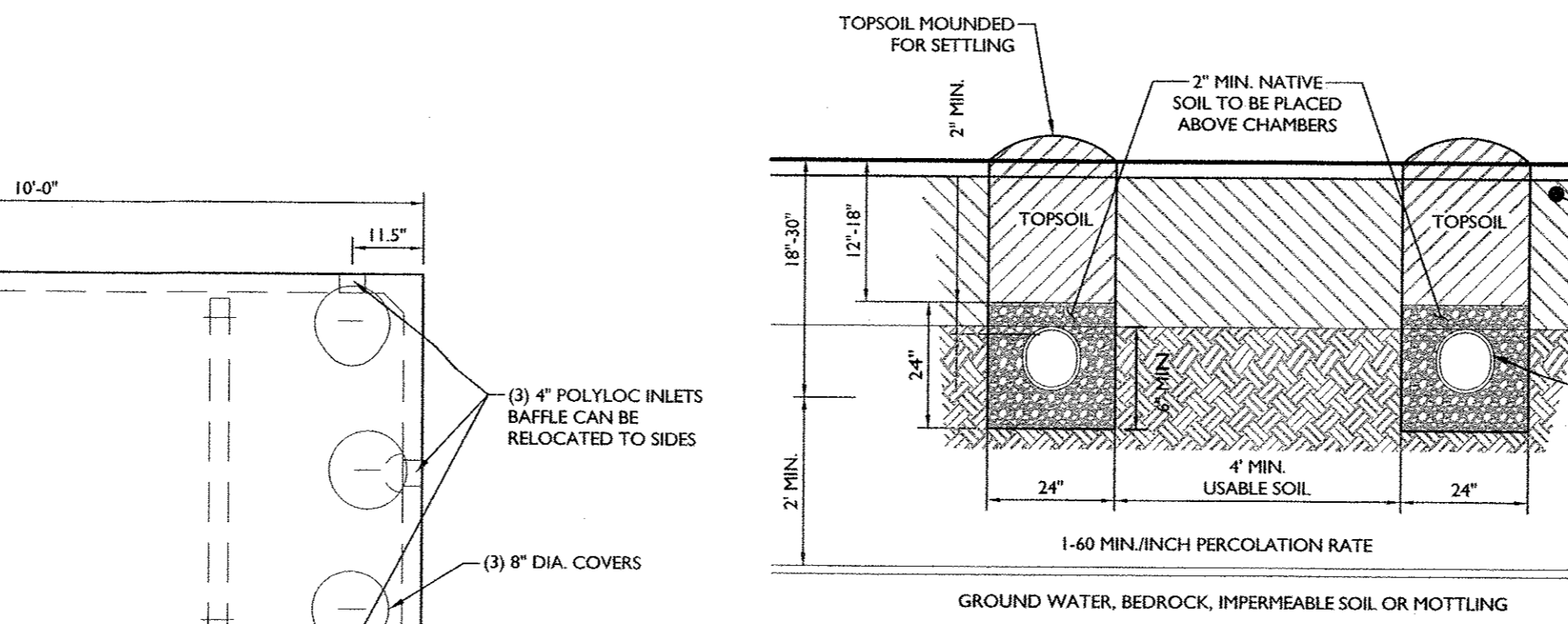
12 WAY PRECAST DISTRIBUTION MODEL DB-12/12 OUTLETS WITH BAFFLE
 (MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, INC.)
 N.T.S.



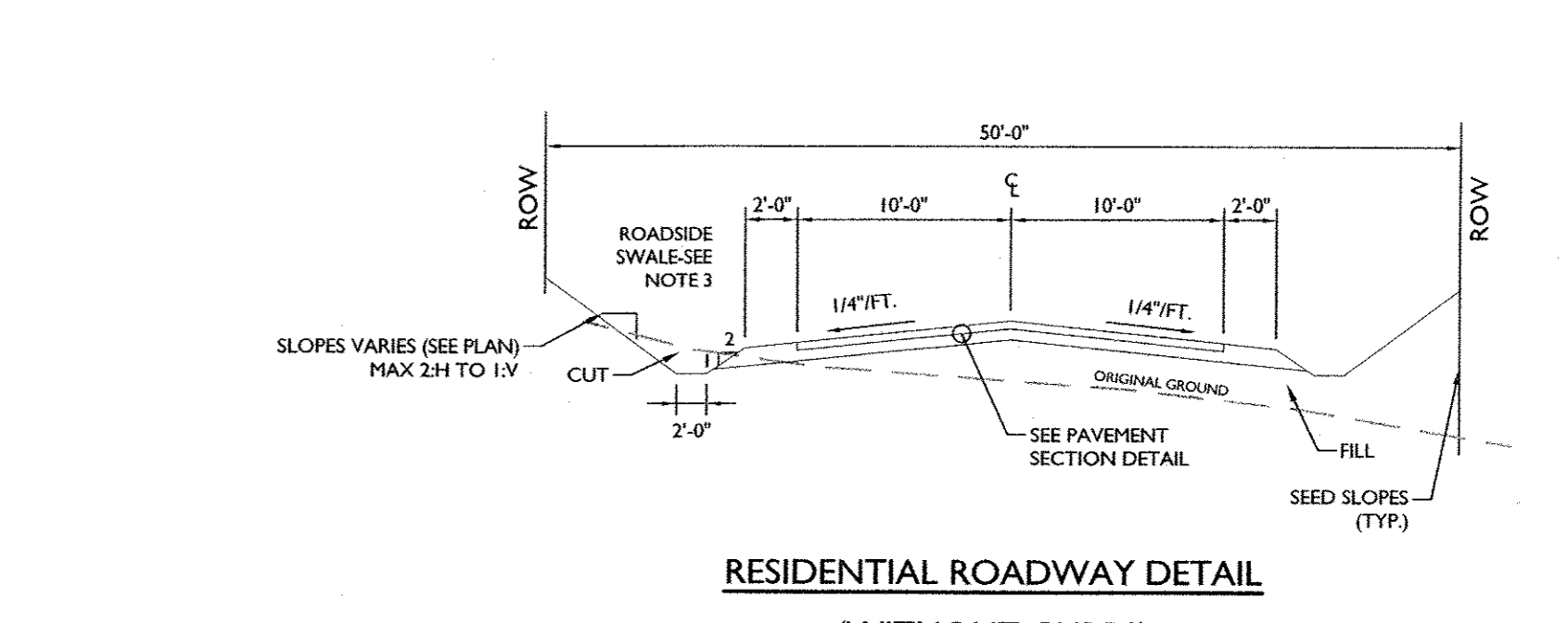
TYPICAL TRENCH BEDDING DETAIL
 N.T.S.



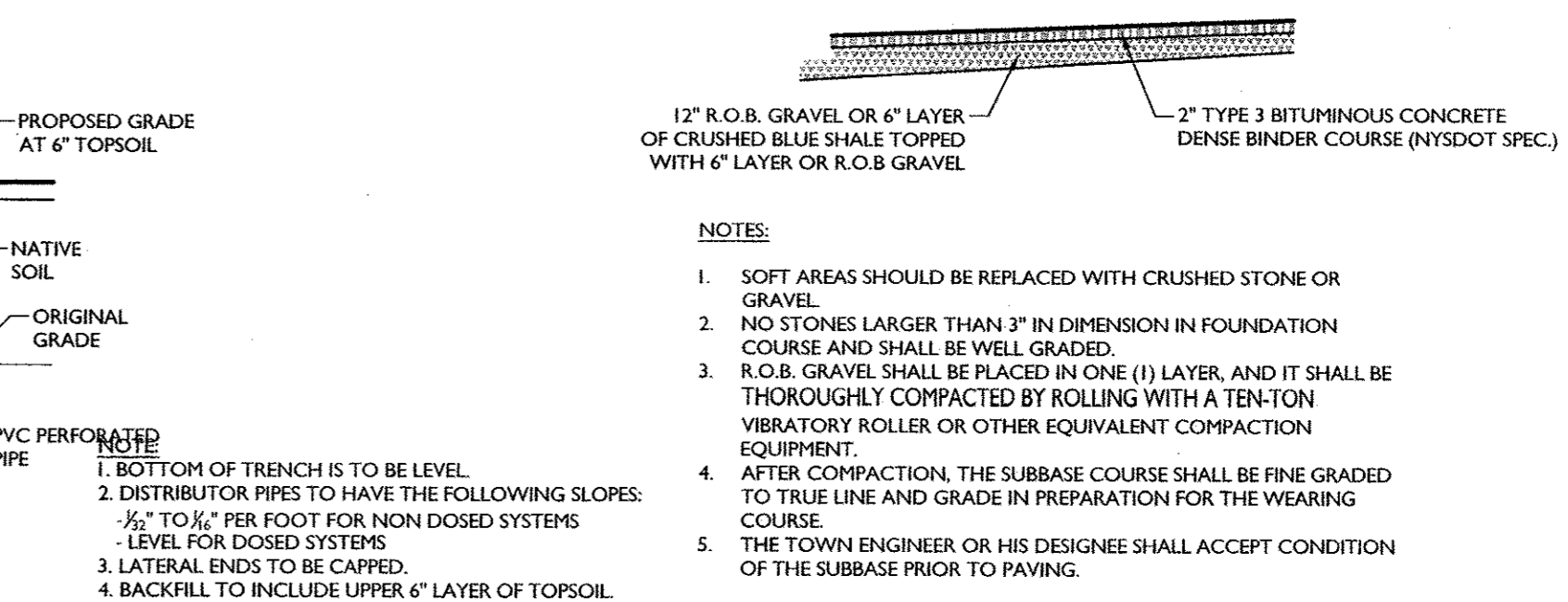
- NOTES:
- BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND TRENCHES SHALL BE 6" BELOW ORIGINAL GRADE.
 - USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
 - MAXIMUM DEPTH OF USABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
 - TRENCH BOTTOMS SHALL BE LEVEL. TRENCHES SHALL BE PARALLEL TO GROUND CONTOURS.
 - ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.
 - FILL SHALL EXTEND AT LEAST SIX FEET BEYOND ENDS OF TRENCHES BEFORE STARTING 1 ON 3 EDGES OF FILL.
 - LATERAL ENDS TO BE CAPPED.



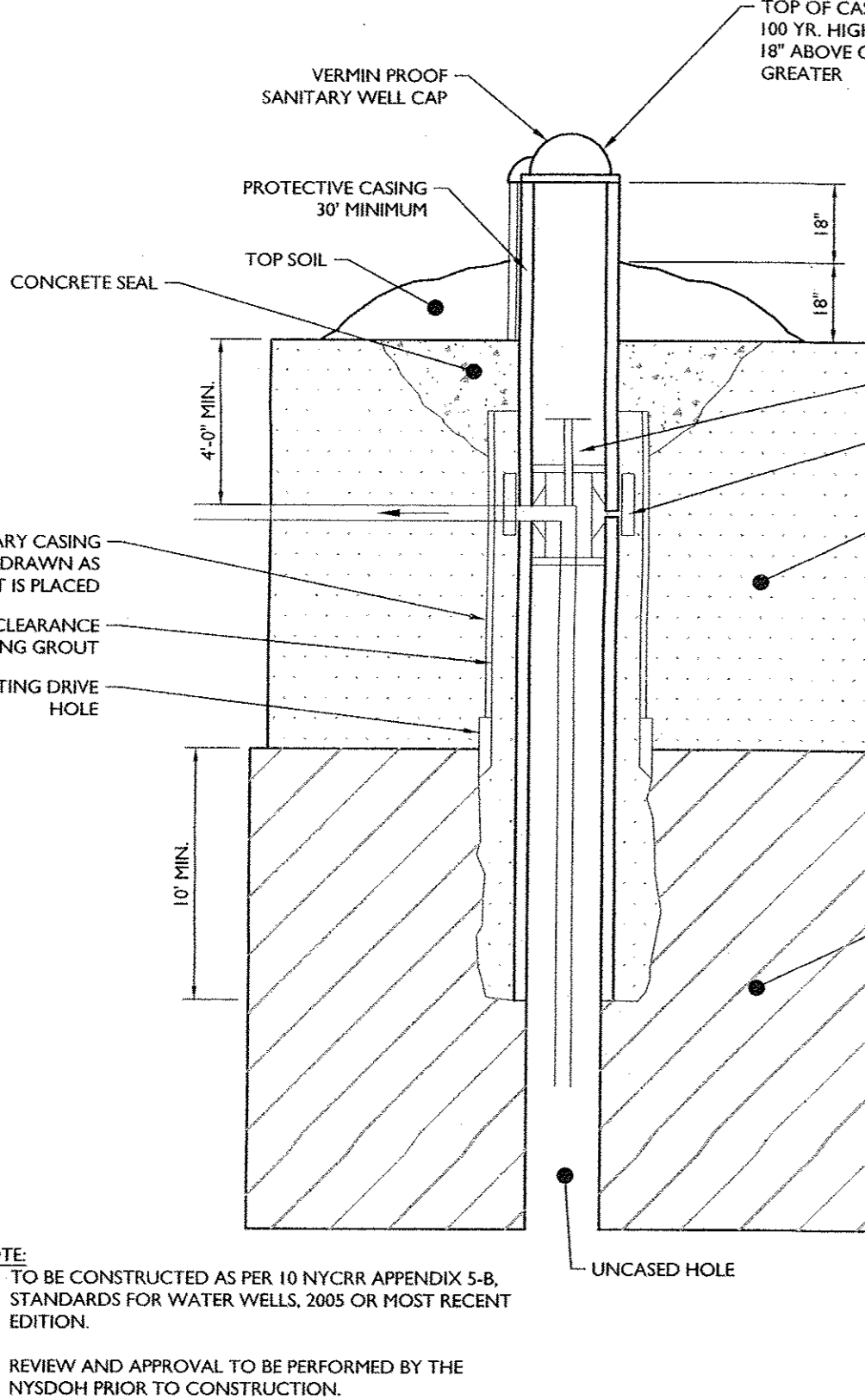
SHALLOW ABSORPTION TRENCH DETAIL
 N.T.S.



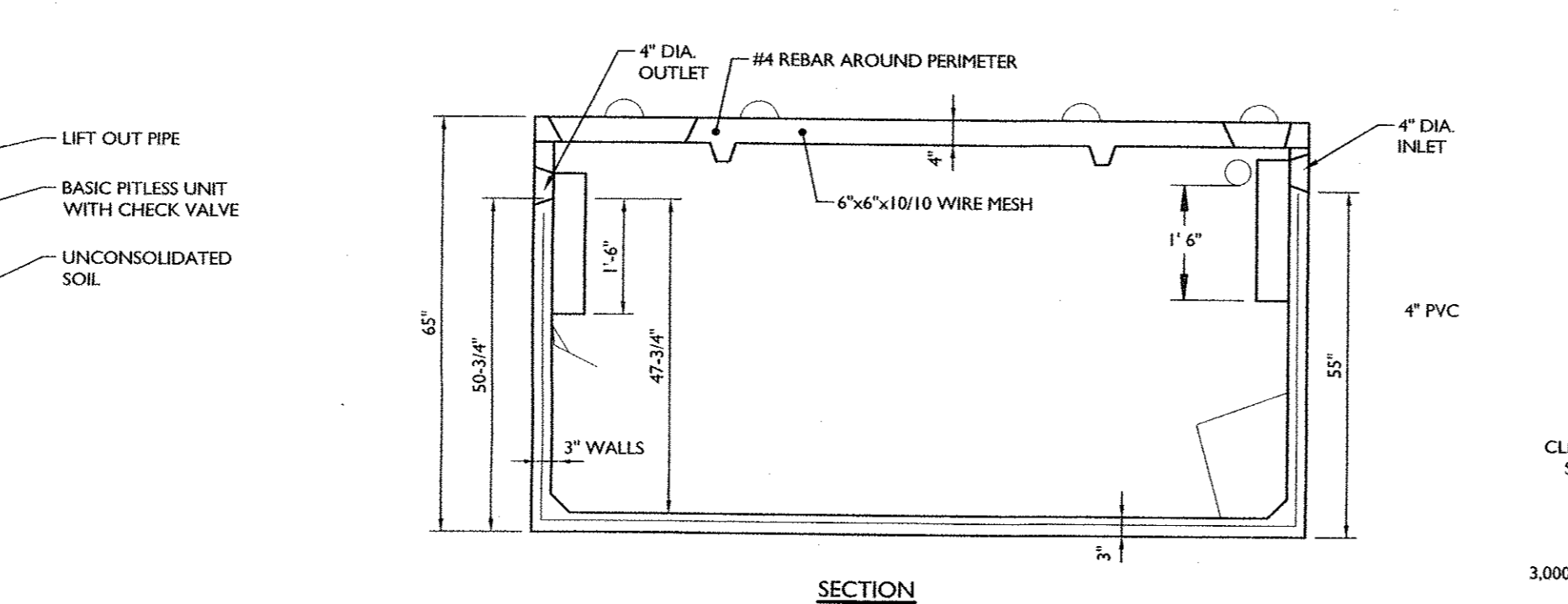
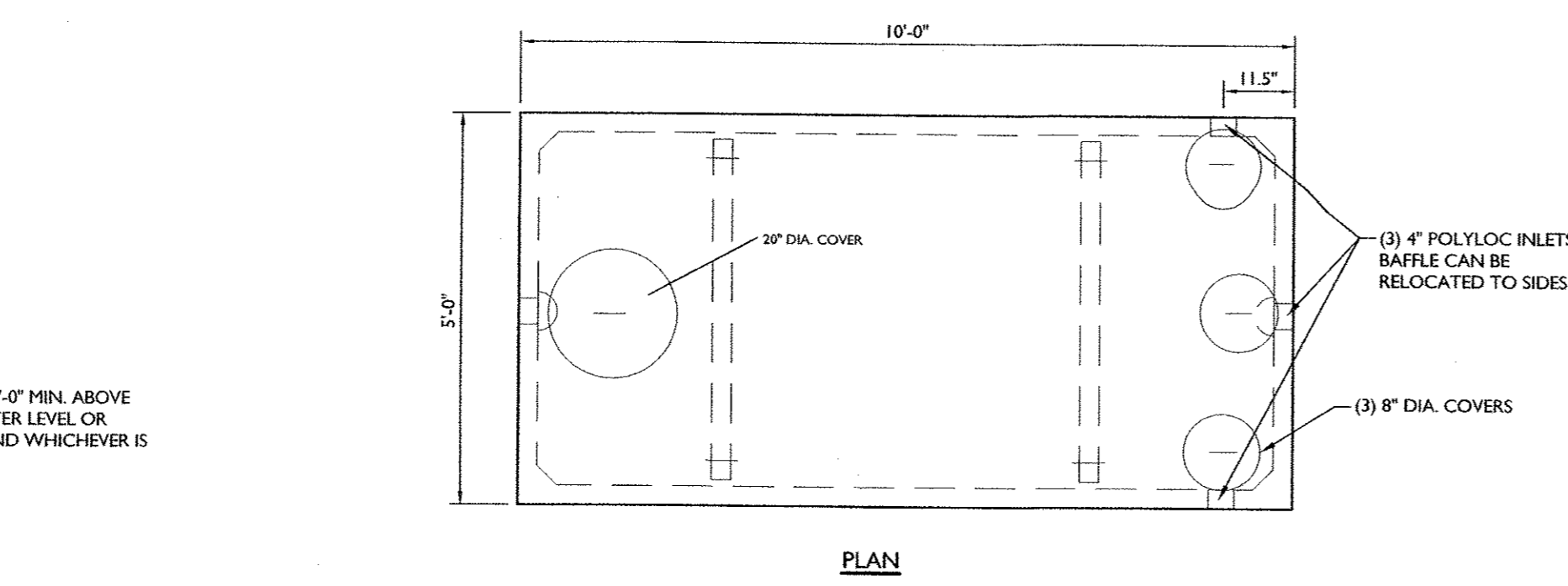
- NOTES:
- LIGHTPOLES, WHEN REQUIRED WILL BE LOCATED AS DIRECTED BY THE TOWN ENGINEER AND TOWN SUPERINTENDENT OF HIGHWAYS
 - ALL ROADSIDE SWALES 6% OR GREATER IN SLOPE ARE TO BE PAVED WITH 3" BINDER COURSE OVER 6" SUBBASE MATERIAL.



PAVEMENT SECTION DETAIL
 N.T.S.

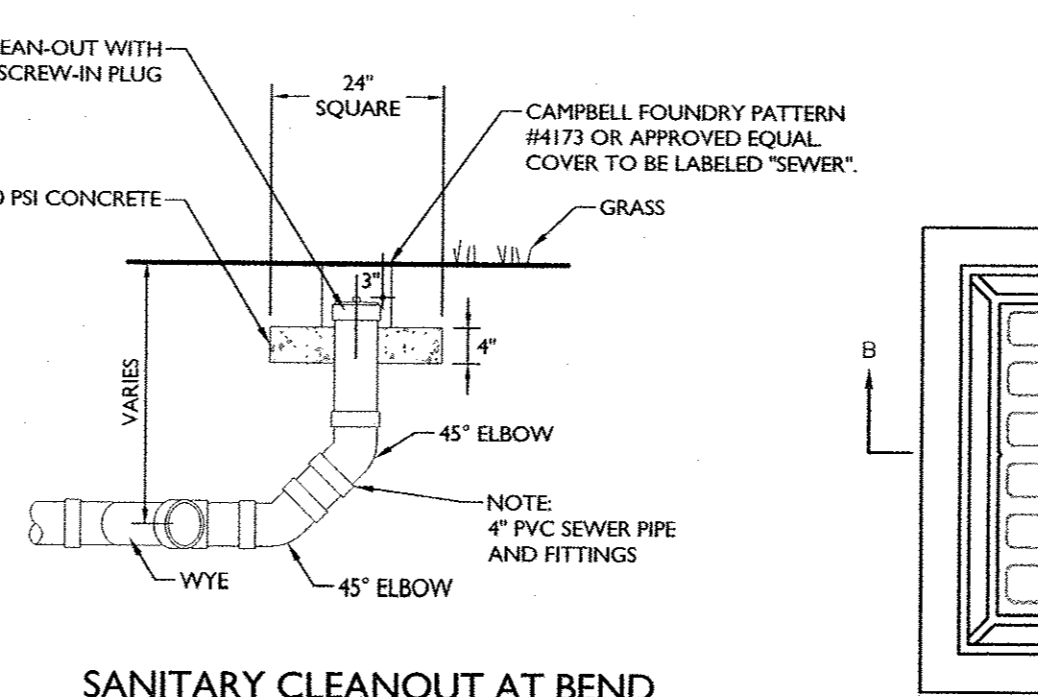


WELL DETAIL
 N.T.S.

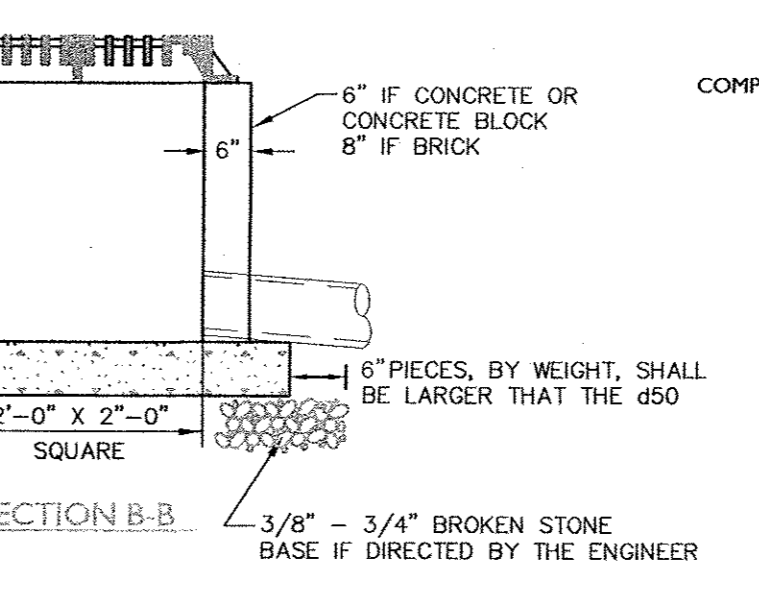


- NOTES:
- TANK IS 4000 PSI CONCRETE - STEEL REINFORCEMENT, 6"x6"x10 GA. S.W.M.
 - TANK IS TO BE MANUFACTURED BY WOODARDS CONCRETE SALES CO. OR APPROVED EQUAL.
 - CONSTRUCTION JOINT - SEALED WITH ASPHALT CEMENT OR EQUIVALENT.
 - BEDDING TO BE A MINIMUM OF 3" OF CLEAN SAND OR FEA GRAVEL, OR 5" OF WASHED AGGREGATE 3/4" TO 1-1/2"
 - TANK TO BE SET LEVEL.
 - 12" MAXIMUM GROUND COVER OVER TANK.

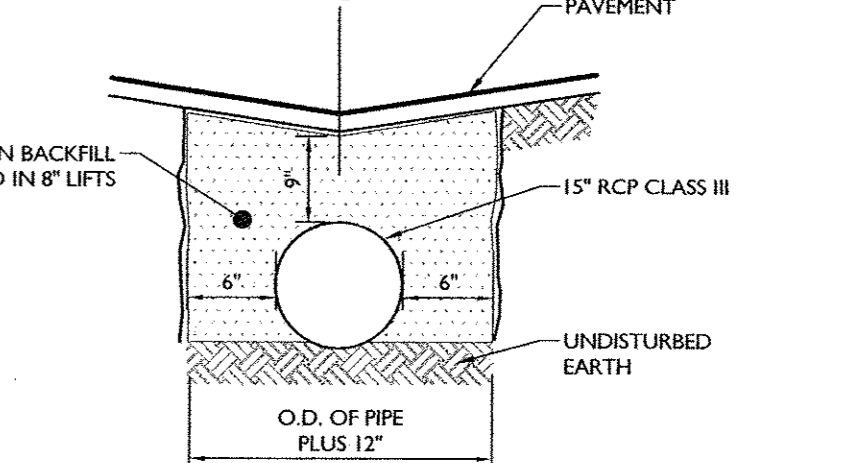
1250 GALLON PRECAST SEPTIC TANK DETAIL
 N.T.S.



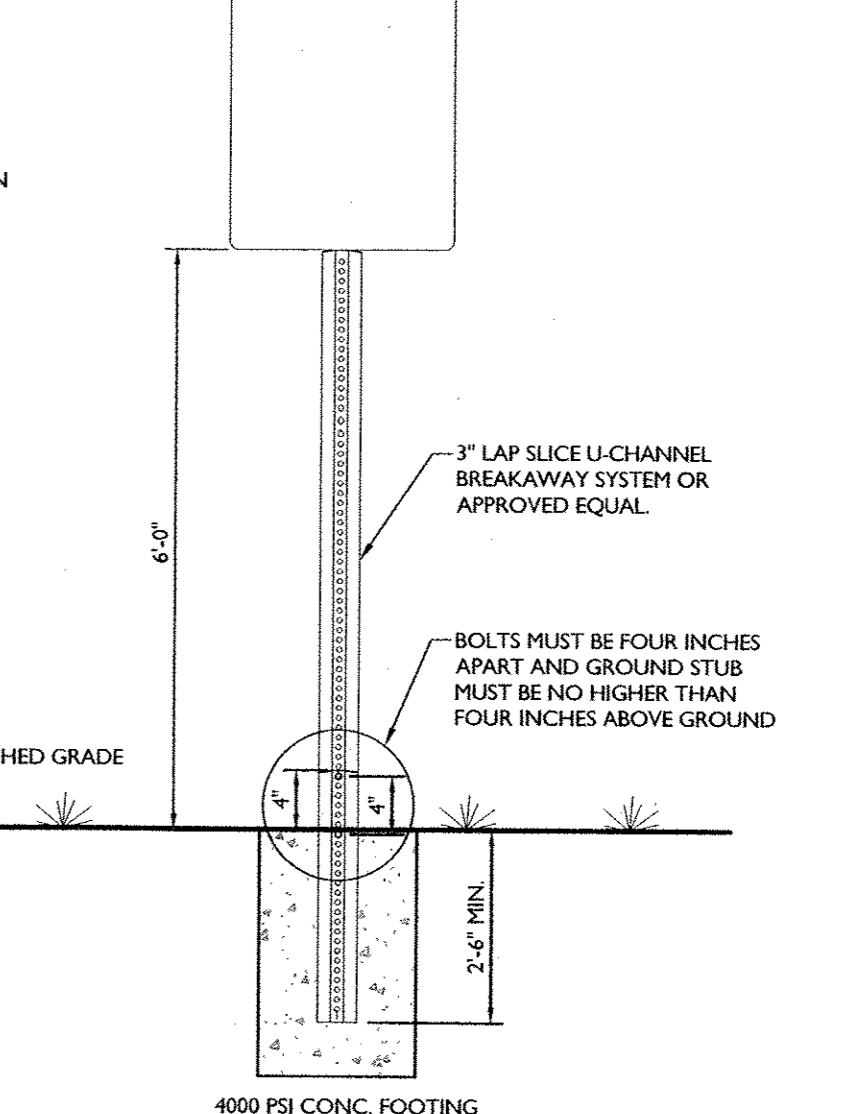
SANITARY CLEANOUT AT BEND
 N.T.S.



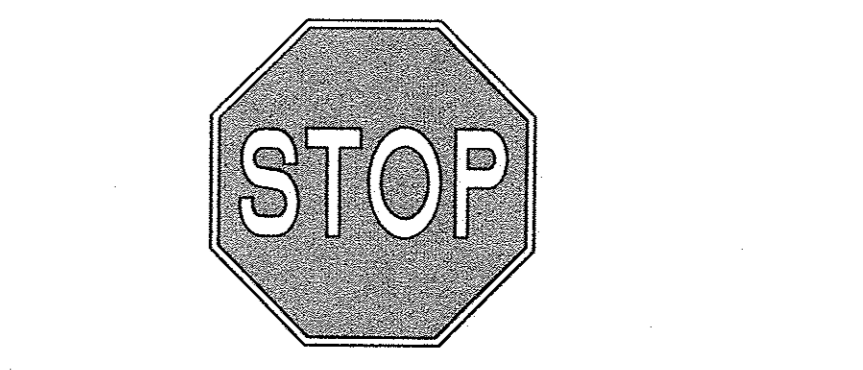
24" X 24" DRAIN INLET DETAIL
 N.T.S.



DRIVEWAY CULVERT SECTION
 N.T.S.



BREAKAWAY SIGN POST DETAIL
 N.T.S.



STOP SIGN (R1-1, 30" X 30")
 N.T.S.

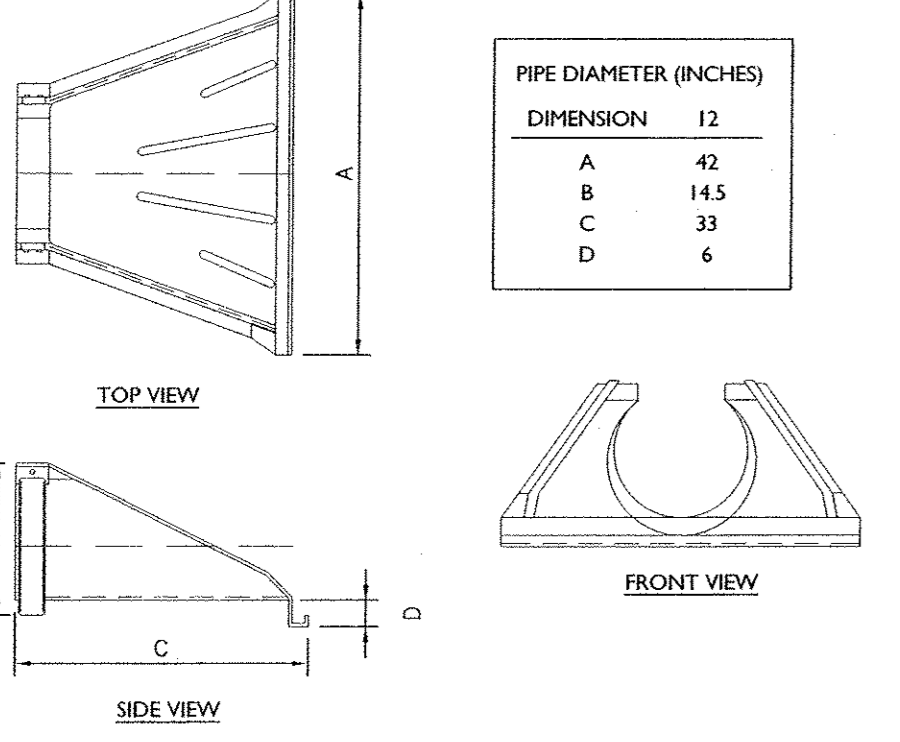
SEPTIC SYSTEM DESIGN TABLE

MASER CONSULTING TESTING FIELD DATA								
LOT #	PERCOLATION TEST #	DEPTH OF PERCOLATION TEST (IN)	DESIGN PERCOLATION RATE (MIN/INCH)	STABILIZED PERCOLATION RATE (MIN/INCH)	REQUIRED LENGTH OF ABSORPTION TRENCH (4 BEDROOMS)	SOIL OBSERVATIONS (AT DEPTH)	SOIL OBSERVATIONS (AT DEPTH)	TYPE OF SEPTIC SYSTEM
1	P-1	12	21-30	25.50	367 LF	D-1 4" TOPSOIL 6"-30" SILTY CLAY WITH SOME SAND 30"-72" BROWN CLAY	D-2 9" TOPSOIL 9"-18" SILTY CLAY WITH SOME SAND 18"-72" BROWN GRAY CLAY	SHALLOW SYSTEM
	P-2	12	21-30	10.17				
2	P-3	12	16-20	17.40	315 LF	D-3 6" TOPSOIL 6"-12" SILTY CLAY 12"-38" BROWN CLAY 38"-60" CLAY WITH SAND AND PEBBLES 60"-84" BROWN CLAY	D-4 15" TOPSOIL 15"-66" BROWN CLAY WITH COBBLES AND BOULDERS	SHALLOW SYSTEM
	P-4	12	16-20	4.25				
3	P-5	12	21-30	7.30	367 LF	D-5 12" TOPSOIL 12"-24" SILTY CLAY 24"-66" BROWN CLAY (FREE OF COBBLES)	D-6 12" TOPSOIL 12"-44" BROWN SILTY CLAY 44"-84" SANDY SILT WITH COBBLES	SHALLOW SYSTEM
	P-6	12	21-30	24.40				

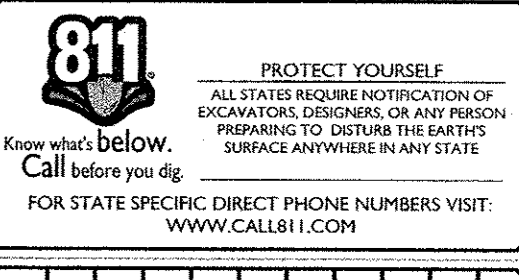
NOTE:
 AN INVESTIGATIVE TWENTY-FOUR (24) INCH PERCOLATION TEST WAS PERFORMED AT EACH PROPOSED LOT SUBSURFACE AREA BUT FAILED TO YIELD A MINIMUM 40 MIN/INCH PERCOLATION RATE.

MINIMUM HORIZONTAL SEPARATION DISTANCE (in FEET)

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES PER PUBLIC HEALTH LAW				
DRILLED WELL - PRIVATE WATER SYSTEM	50	50	100	
WATER LINE (PRESSURE)	10	10	10	
RECOMMENDED MINIMUM HORIZONTAL SEPARATION DISTANCES				
SURFACE WATER	50	25	100	
INTERCEPTOR DRAIN / OPEN DRAINAGE DIVERSION TO GROUNDWATER	25	25	50	
FOUNDATION	10	N/A	20	
PROPERTY LINE	10	10	10	



CORRUGATED POLYETHYLENE FLARED END SECTION
 N.T.S.



DATE	REVISION	DESCRIPTION
01/08/16	JFS	REVISED PER PLANNING BOARD COMMENTS



ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 07355-1

MINOR SUBDIVISION PLAN FOR CECIL MANN

SECTION 28 BLOCK 1 LOT 12.1
TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK

NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4495
 Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	07/26/16	JAP	JFS

CONSTRUCTION DETAILS