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STATE OF NEW YORK : COUNTY OF ORANGE
TOWN OF NEWBURGH PLANNING BOARD

----- X
In the Matter of

ONE POWELTON AVENUE
Project No. 2015-19

Powelton Avenue
Section 80; Block 6; Lot 7
B Zone

----- X

SITE PLAN

1496 Route 300
Newburgh, New York 12550
November 19, 2015
7:02 p.m.

BOARD MEMBERS: JOHN EWASUTYN, Chairman
FRANK GALLI
CLIFFORD BROWNE
KENNETH MENNERICH
DAVID DOMINICK
JOHN WARD

ALSO PRESENT: MICHAEL DONNELLY, ESQ.
PATRICK HINES
GERALD CANFIELD
KENNETH WERSTED

APPLICANT'S REPRESENTATIVE: STEPHEN WHALEN

----- X

MICHELLE L. CONERO
Court Reporter
10 Westview Drive
Wallkill, New York 12589
(845)895-3018

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ONE POWELTON AVENUE

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MR. BROWNE: Moving right along.
The next item then would be One Powelton Avenue, project number 2015-19. This is a site plan being presented by Highlands Architecture, PLLC.

Again if you would introduce yourself.

MR. WHALEN: My name is Stephen Whalen, I'm an Architect with Highland Architectural. I'm representing the owners for One Powelton Road.

To go over what we're planning to do -- this is our second presentation to the Planning Board. Our proposal is for an existing two-story building. We're proposing three additions and some renovations. The first proposed addition is for a 1,500 square foot third-level addition across the entire existing footprint of the building. We also have another addition on the southeast side of the building which is located here, and that's to house the elevator, stair and lighting for each floor. Since the last time we presented, the square footage of that addition has been reduced. It was 326 square feet. It's

1 now been reduced to 270 square feet. We have
2 moved it back so that the existing setback, which
3 is 17 feet from the North Plank Road side, so
4 this will also be 17 feet from that property
5 line. The setback from the Powelton Road side
6 has also been reduced. It was 16 feet. It's now
7 been reduced to 16.75 feet. Our third addition
8 is for a 136 square foot stair addition. That's
9 going to be on the northwest side of the
10 building. Again, that also was larger. That was
11 154 square feet. That's been reduced to 136
12 square feet. That setback has also changed. It
13 used to be 13.5 feet from the side property line.
14 That's been now changed to 13.75 feet.

16 The lot building coverage has been
17 reduced. It was 19 percent. It's now been
18 reduced to 18.2.

19 The lot surface coverage, the existing
20 site plan had 66 percent coverage. With our
21 proposal we're actually reducing the impervious
22 coverage down to 65 percent. Our plans are now
23 to replace the existing parking lot in the same
24 location. What we want to do is we want to pitch
25 that parking lot towards Powelton Road. Right

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ONE POWELTON AVENUE

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now it actually pitches towards the neighboring property. We want to address that issue.

We're also planning on a new septic tank and possible leachfields. Right now there's an existing septic tank. We don't have much information on it. We do have a civil engineer looking into that. Our proposal is for a new septic tank and possible leachfields.

Again with the drainage, our proposal is for all of the roof drainage to now drain to the North Plank Road side of the property. Right now it drains to the back into the parking lot and then onto the neighboring properties.

We have adjusted the height. The average grade for this property is 226.5 feet.

The highest feature on this, we have a tower feature which is for the elevator. The height of that would be 33 feet above that elevation.

We're also proposing that, as it was a concern at the ZBA meeting that we attended, for the obstructions that are on the corners. Since we've now moved this addition further back along the building, we're also going to eliminate some

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ONE POWELTON AVENUE

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of the obstructions. There's a building sign here and there's some landscaping. We're going to remove all that so there's no obstructions from Powelton Road onto North Plank.

We're also looking at possibly additional parking for staff along here. I haven't shown that on the site plan because we're waiting to see what comes back with the septic tank and leachfield information before we propose to do anything back here. If we do something back here it would be impervious -- pervious. I'm sorry.

I think that's about it.

CHAIRMAN EWASUTYN: Comments from Board Members. Frank Galli?

MR. GALLI: How many parking spaces did you add since the Zoning Board meeting?

MR. WHALEN: We left that the same. We didn't want to increase the impervious.

MR. GALLI: It was a big issue about the parking. I was at the meeting.

MR. WHALEN: Okay.

MR. GALLI: Did you shorten the building?

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MR. WHALEN: The two additions, we shrunk their footprint.

MR. GALLI: Because what you're telling me here, what I'm listening to, it doesn't seem like there's a lot changed compared to the last plan you had.

MR. WHALEN: We changed -- we moved the additions around because we know at that ZBA meeting there was a concern about having this addition protruding out past the building with the view. So we wanted to move that back. We shrunk down the size of it. We wanted to -- we know drainage and septic are an issue here, so we didn't want to have any change in the impervious. I mean we could put several more parking spaces here and pave this out to the maximum, but that's not really the avenue we want to take.

MR. GALLI: I think that's just one of the issues you're going to be facing when you go back to the ZBA. That's their call. I can't speak for them. You're talking less than one percent lot coverage you're giving them.

Height, you know, 26 square feet is 5 by 5. It's not much there. I mean it's your

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ONE POWELTON AVENUE

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call but I'm just saying. You know, I was at that meeting and there were a lot of concerns. I think you're going to have an uphill battle with this plan.

MR. WHALEN: Right. But we want to address the major concerns right now, one of which is septic and drainage. This owner, she could move in here and just open up her practice without touching the outside of the building and those issues would still be there.

MR. GALLI: That's all I have, John.

CHAIRMAN EWASUTYN: Cliff Browne?

MR. BROWNE: Nothing, John.

CHAIRMAN EWASUTYN: Ken Mennerich?

MR. MENNERICH: I have nothing at this point.

CHAIRMAN EWASUTYN: Dave Dominick?

MR. DOMINICK: Nothing.

CHAIRMAN EWASUTYN: John Ward?

MR. WARD: Not right now.

CHAIRMAN EWASUTYN: Pat Hines?

MR. HINES: We have some comments. Our first comment has to do with the discussion that the applicant's representative just had. We were

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hard pressed to find any changes in the plan.
Now we find there's a 3 inch difference in their rear yard and 25 square foot in the front. The tower I guess has been moved.

 If you are successful at the ZBA, when you come back we are going to request you evaluate the drainage conditions across the property. Directing additional water to Powelton Avenue, we're going to want to see where that additional water is going to go. Right now it goes to the neighbor's yard. Putting it out on Powelton Avenue may not be the answer either. If you do have a civil engineer looking at your septic, you may want to task them with taking a look at the drainage. There's an existing catch basin on the, I think, northeast corner of the property there. That may be able to be extended to collect up that water if you want to take a look at that.

 The other issue is more for Jerry but I believe with the size of the building it may need to be sprinklered.

MR. CANFIELD: Yes.

MR. HINES: That's going to be a

1
2 consideration for your client as they increase
3 the size of this structure, the cost associated
4 with sprinklering the entire building.

5 MR. WHALEN: We looked into that.
6 We're going to go in with type 5-A construction
7 which allows you to have three stories at 9,000
8 square feet per floor.

9 MR. HINES: The Town of Newburgh has --
10 I'll defer to Jerry. There's a separate
11 sprinkler ordinance in the Town.

12 I have your City of Newburgh flow
13 acceptance letter. Not realizing this was on
14 septic, we will be looking at that septic design
15 in the future.

16 I believe there's also a private force
17 main in the vicinity of this project which you
18 could probably investigate connecting to.

19 MR. WHALEN: I got in touch with the
20 engineer that designed that and we could possibly
21 do it. It would be a very large sum of money to
22 do it.

23 MR. HINES: I understand the history
24 there. I know who owns it.

25 MR. WHALEN: It's a great solution.

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Believe me, I'd love to be able to tap into that.

MR. HINES: You'll look at that.

We have a comment on your curb detail. Also, they're proposing bumper blocks and I don't see the regrading associated with the change in grading for the parking lot. The Planning Board typically requires defined curbs. It would have been an issue if you continued the drainage in that direction, but that may help you prevent the drainage from going in that northwesterly direction that it goes now by putting curbing on the site. Typically commercial sites that are upgraded like this do require curbing. You are curbing the southern part of the parking lot and we're asking you to evaluate curbing the entire parking lot to define the parking lot and to control the drainage from it.

MR. WHALEN: Yup.

MR. HINES: The parking lot striping detail needs to comply with Town of Newburgh.

When it comes back it will have to be referred to County Planning because of the frontage along the State highway.

Those are the technical comments we

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ONE POWELTON AVENUE

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have now. They're only going to be in effect if it makes it back from the ZBA.

MR. DONNELLY: I think we have a report from the County; right?

MR. HINES: For this one?

MR. DONNELLY: Yeah.

MR. MENNERICH: A Local determination.

MR. HINES: Okay.

CHAIRMAN EWASUTYN: Jerry Canfield?

MR. CANFIELD: No. It needs to be referred back to the ZBA. We need to determine the exact dimensions of what the referral will be for. I think the number of variances are the same, it's just the dimensions of those area variances may change. That's what we need.

MR. WHALEN: What was changed for the front now, it's going to be existing nonconforming. We're maintaining that 17 feet along the North Plank Road side.

MR. CANFIELD: Right. I believe the initial one was like 23 feet is what it was, or --

MR. WHALEN: That was on the Powelton Road side. We're actually coming closer than the

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ONE POWELTON AVENUE

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existing building is to North Plank Road. Now we're staying in line with that. So we're not increasing the nonconformity.

MR. CANFIELD: Right. The need for the variance still exists.

MR. WHALEN: Correct.

MR. CANFIELD: And just to further reiterate Pat's comment regarding the sprinkler system, Town of Newburgh has a more stringent sprinkler requirement than the New York State Fire Code, and that's what will be applied here. So that's the reasoning why that needs to be done.

MR. WHALEN: Okay.

MR. CANFIELD: That's all I have.

CHAIRMAN EWASUTYN: All right. Michael and Steve, I guess if you both could come to an understanding of what the referral is to the ZBA.

MR. DONNELLY: I'll send the letter. I think I know what the variances are but not the quantity. Lot area is the same?

MR. WHALEN: Yup.

MR. DONNELLY: The lot width requirement -- that's unchanged, too; --

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ONE POWELTON AVENUE

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MR. WHALEN: Correct.

MR. DONNELLY: -- right? The front yards, we had the need for two because it was a corner lot. What are the new dimensions now?

MR. WHALEN: From North Plank Road it's 17 feet and from Powelton Road it's 16.75.

MR. DONNELLY: And the required is?

MR. WHALEN: From North Plank is 60 and from Powelton is 40.

MR. DONNELLY: Side yard?

MR. WHALEN: Required is 15, the new dimension now is 13.75.

MR. DONNELLY: Did I hear a rear yard as well?

MR. WHALEN: No. That complies.

MR. HINES: There's lot building coverage and surface -- no. You're fine.

MR. WHALEN: They also comply.

MR. HINES: Yes, those comply.

MR. DONNELLY: So I'll send a revised letter for lot area; lot width; two front yards, one 17 where 60 is required and the other 16.75 where 40 is required; and the side yard of 13.75 where 15 is required. Are there any others?

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ONE POWELTON AVENUE

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MR. WHALEN: Just the five.

CHAIRMAN EWASUTYN: I'll move for a motion to have Mike Donnelly prepare the referral letter to the Zoning Board of Appeals for the application before us this evening, that being One Powelton Avenue.

MR. WARD: So moved.

MR. MENNERICH: Second.

CHAIRMAN EWASUTYN: I have a motion by John Ward. I have a second by Ken Mennerich. Any discussion of the motion?

(No response.)

CHAIRMAN EWASUTYN: I'll move for a roll call vote starting with Frank Galli.

MR. GALLI: Aye.

MR. BROWNE: Aye.

MR. MENNERICH: Aye.

MR. DOMINICK: Aye.

MR. WARD: Aye.

CHAIRMAN EWASUTYN: Aye.

Thank you.

MR. WHALEN: Thank you.

(Time noted: 7:13 p.m.)

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C E R T I F I C A T I O N

STATE OF NEW YORK)

: SS.:

COUNTY OF ULSTER)

I, MICHELLE CONERO, a Notary Public
for and within the State of New York, do hereby
certify:

That the proceedings hereinbefore
set forth is a true record.

I further certify that I am not
related to any of the parties to this action by
blood or by marriage and that I am in no way
interested in the outcome of this matter.

IN WITNESS WHEREOF, I have hereunto
set my hand this 9th day of December 2015.

Michelle Conero
MICHELLE CONERO



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT: 1 POWELLTON AVENUE SITE PLAN (Dr. Paymai)
PROJECT NO.: 2015-19
PROJECT LOCATION: 80-6-7
PROJECT REPRESENTATIVE: HIGHLANDS ARCHITECTURE-STEVEN A. WHALEN
REVIEW DATE: 13 NOVEMBER 2015
MEETING DATE: 19 NOVEMBER 2015

1. The Applicant's representative requested to discuss with the Planning Board modifications to the current project based on comments received from the ZBA and the ZBA Public Hearing. Changes to the project in order to address the ZBA application should be specifically identified.
2. The Applicant's are requested to evaluate existing drainage conditions across the property frontage on Powellton Avenue.
3. The building will require to be sprinklered based on the revised square footage. Adequacy of water lines should be addressed in future submissions.
4. City of Newburgh flow acceptance letter for increased flow is required.
5. Sanitary sewer line location should be identified on the plans.
6. We would recommend the concrete curb detail have a stone foundation.
7. The Planning Board should discuss potential curb in lieu of bumper blocks proposed on northeast portion of the site.
8. Parking lot striping detail in compliance with the Town of Newburgh requirements as well as ADA. Striping details should be added to the plans. ADA striping detail should contain appropriate signage.
9. Project requires submission to Orange County Planning due to location on State Highway.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal

NEW PEDIATRIC DENTAL OFFICE FOR:

DR. PAYAMI

1 POWELTON ROAD
NEWBURGH, NY 12550

DWG. # DRAWING NAME

T-1 TITLE SHEET

- EC-1 EX-SIT PLAN, ELEVATIONS
EC-2 EX-SIT ELEVATIONS
SK-1 SITE & EXISTENCE PLAN
SK-2 SITE DETAILS
A-1 PROPOSED PLANS, EAST ELEVATION

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF NEW YORK.
2. ALL WORK SHALL CONFORM TO ALL LOCAL, MUNICIPAL, COUNTY, STATE AND FEDERAL CODES.
3. CONTRACTOR SHALL OBTAIN AND VERIFY ALL EXISTING CONDITIONS AND RECORD ALL UTILITIES OF THE PROPOSED WORK.
4. CONTRACTOR SHALL OBTAIN AND VERIFY ALL EXISTING CONDITIONS AND RECORD ALL UTILITIES OF THE PROPOSED WORK.
5. CONTRACTOR SHALL OBTAIN AND VERIFY ALL EXISTING CONDITIONS AND RECORD ALL UTILITIES OF THE PROPOSED WORK.

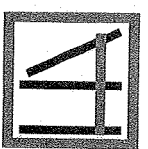
Any U.S. or U.S. with larger than allowed, permit cover from allowed, placed in the location...
GENERAL NOTES:
1. ALL WORK SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.

- 1. ALL NEW WORK SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.
2. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DOOR THRESH, FRAME...
3. THE CONTRACTOR SHALL VERIFY ALL DOOR QUANTITIES, COORDINATION...
4. PROVIDE THE REVISIONS WHERE REVISIONS ARE NOTED IN THE...
5. REVISIONS SHALL BE SELECTED BY NUMBER ONLY.

GENERAL NOTES:
1. ALL NEW WORK SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.
2. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DOOR THRESH, FRAME...
3. THE CONTRACTOR SHALL VERIFY ALL DOOR QUANTITIES, COORDINATION...

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GENERAL NOTES:
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3. THE CONTRACTOR SHALL VERIFY ALL DOOR QUANTITIES, COORDINATION...



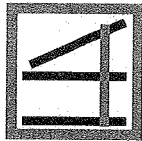
HIGHLANDS ARCHITECTURE plc
372 ROUTE 9
COLD SPRING, NY 0516
645.609.5976 OFFICE
highlandsarchitecture.com

NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAYAMI
1 POWELTON ROAD
NEWBURGH, NY 12550



TITLE SHEET
T-1

DATE: JUNE 2011
REVISIONS: 4 AUGUST 2013 BY PLJ/MS
REVISIONS: 11 NOV 0111 BY PLJ/MS
REVISIONS:
DRAWN BY: BK



**HIGHLANDS
ARCHITECTURE**
pllc

132 ROUTE 9
COB BRICK, NY 12516
645.609.5976 OFFICE
highlandsarchitecture.com

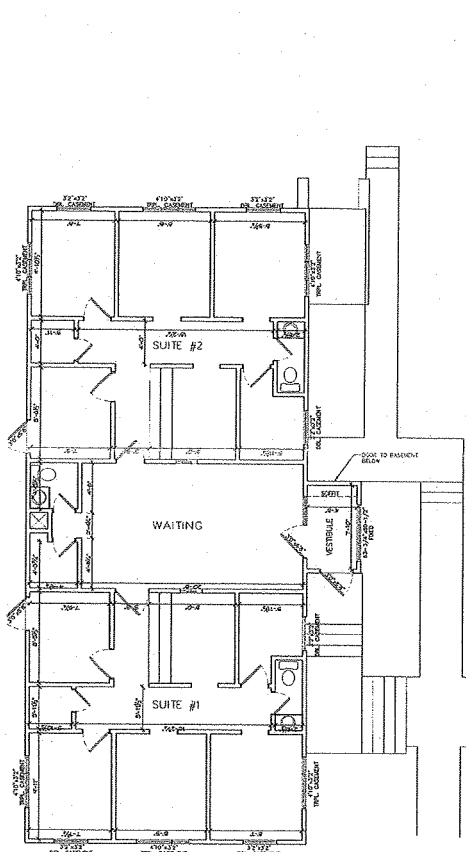
NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAVANI
1 POWLTON ROAD
NEWBURGH, NY 12550



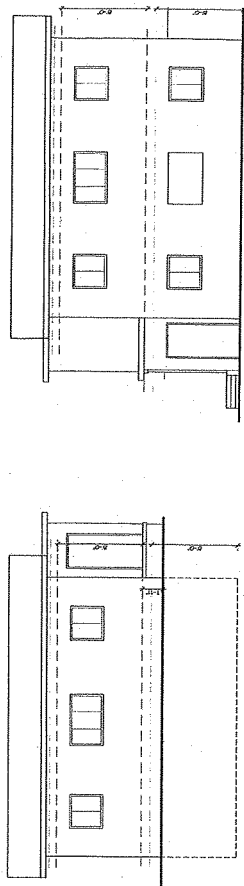
EXIST. SITE, PLAN,
ELEVATIONS

EX-1

DATE: 9 JUNE 2015
REVISIONS: 04/15, 10/15
REVISIONS: 11 NOV 2015 RB PLING
REVISIONS:
DRAWN BY: SW

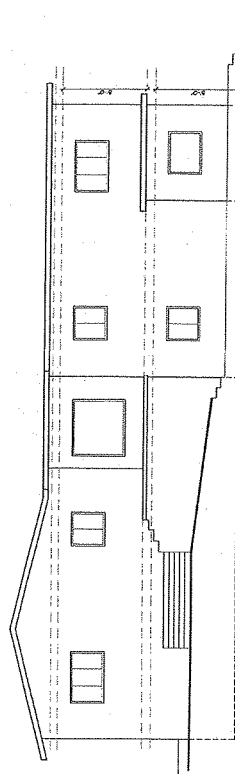


2 EXISTING FLOOR PLAN
EX-1 3/16" = 1'-0"

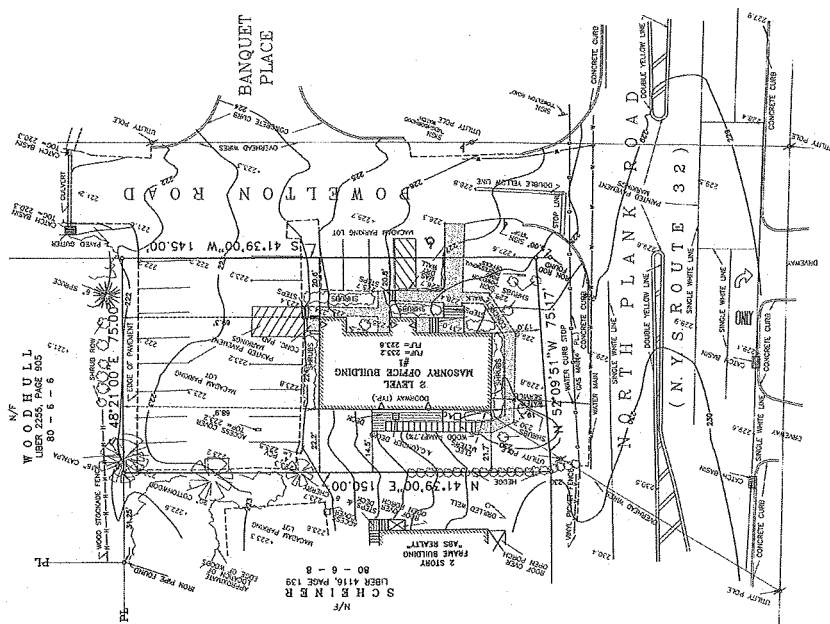


3 EXISTING SOUTH ELEVATION
EX-1 3/16" = 1'-0"

4 EXISTING NORTH ELEVATION
EX-1 3/16" = 1'-0"

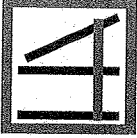


5 EXISTING EAST ELEVATION
EX-1 3/16" = 1'-0"



1 EXISTING SITE PLAN
EX-1 1" = 20'-0"

NOTE:
THIS PLAN INFORMATION TAKEN FROM A SURVEY
AS PREPARED BY
STEVEN P. DRABICK, P.L.S.
PROFESSIONAL LAND SURVEYOR
CORWALL, NY 12818
DRAWING # 1734-15, DATE: SEPTEMBER 30, 2015



HIGHLANDS
ARCHITECTURE
plc

322 ROUTE 9
COLD SPRING, NY 0516
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highlandsarchitecture.com

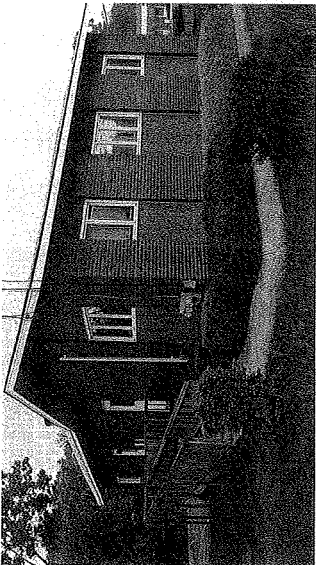
NW PEDIATRIC DENTAL OFFICE FOR
DR. PAVAM
1 POWLTON ROAD
NEWBURGH, NY 12550



SITE & BUILDING
PHOTOS

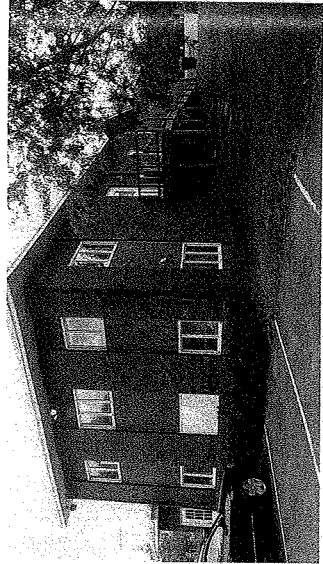
EX-2

DATE	6/26/2015
PERFORMED BY	DR. PAVAM
REVISIONS	11 NOV 2015 PER PLAN
REVISIONS	
DATE	6/26/2015



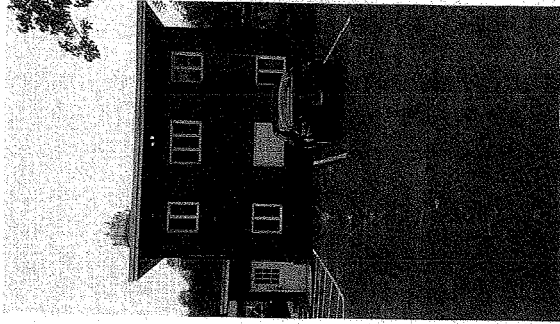
1 SITE PHOTO - SOUTH WEST SIDE

EX-2



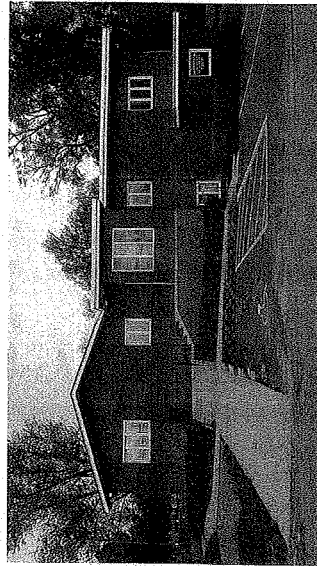
2 SITE PHOTO - NORTH WEST SIDE

EX-2



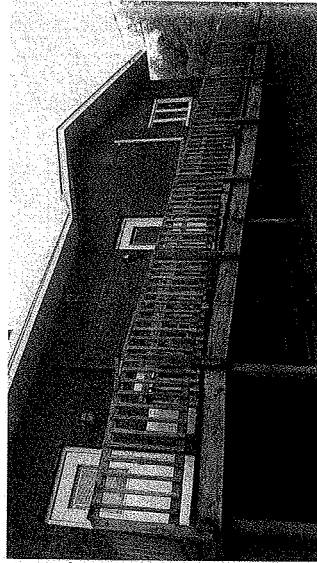
3 SITE PHOTO - NORTH SIDE

EX-2



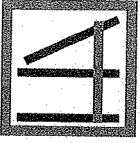
4 SITE PHOTO - EAST SIDE

EX-2



5 SITE PHOTO - WEST SIDE

EX-2



HIGHLANDS ARCHITECTURE

pkc
1312 ROUTE 9
COLD SPRING, NY 0516
645.809.5976 OFFICE
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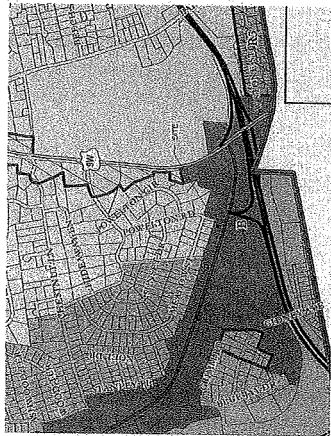
NEW PEDIATRIC DENTAL OFFICE TOR.
DR. PAVANI
1 POWELL ROAD
NEWBURGH, NY 12550



PROPOSED SITE PLAN

SP-1

DATE	BY	REVISION
1/18/14	SK	ISSUED
1/22/14	SK	REVISED PER FLD
2/11/14	SK	REVISED PER TOWNSHIP



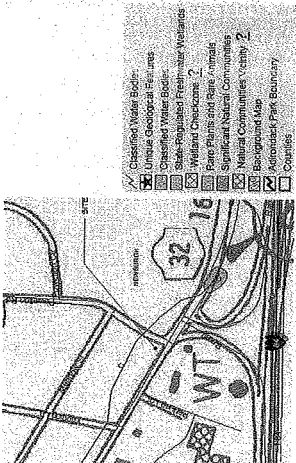
3 PARTIAL ZONING MAP



PROJECT SITE IS NOT LOCATED IN A FLOOD PLAIN (SEE TOWN MAP)



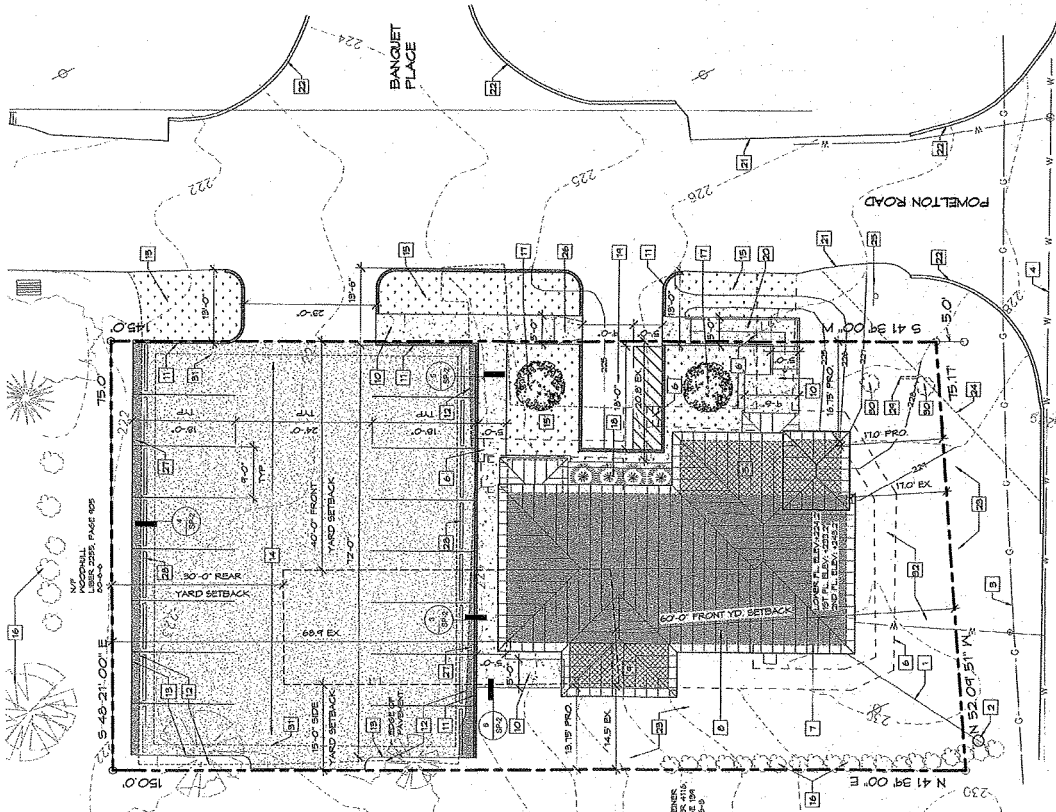
2 LOCATION MAP



PROJECT IS MORE THAN 500 FEET FROM ANY WETLANDS PER ABOVE MAP

4 WETLANDS MAP

5 FLOOD PLAN MAP



PROPOSED PLOT PLAN

NOTE:
1. ALL SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY
STONER & STRONG, INC., PROFESSIONAL LAND SURVEYORS,
DRAFTED 1/25/13. DATED APRIL 2010, 2013.
2. APPROXIMATELY 50 YARDS OF MATERIAL TO BE EXCAVATED.

ZONING INFORMATION

TOWNSHIP INFORMATION
SECTION: BLOCK: LOT: 90-17
SPLIT 5

CHANGING REQUIREMENT	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YD.	REAR YD.	SIDE YD.	LOT BLDG. COV.	BLDG. HT.	LOT SURFACE COV.
EXISTING	15,000 SF	150 FT	125 FT	40 FT	30 FT	15 FT	6%	30 FT	40%
PROPOSED	15,000 SF	150 FT	125 FT	30 FT	30 FT	15 FT	18.5%	30 FT	40%
** PROPOSED FOR CONFORMANCE	15,000 SF	150 FT	125 FT	30 FT	30 FT	15 FT	18.5%	30 FT	40%

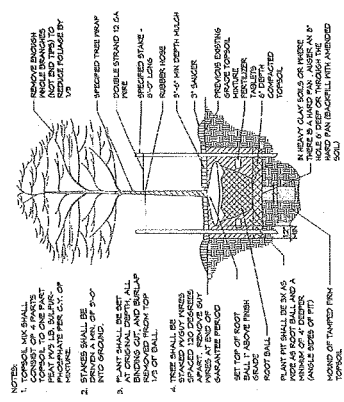
- FLOOD PLAN MAP**
- 1. USE OF EXISTING CONCRETE CURBS
 - 2. EXISTING LANE, PATCH, REPAIR, AND RESURF AS NECESSARY
 - 3. USE OF EXISTING OR NO EXISTING SIDEWALKS WHERE THEY EXIST
 - 4. EXISTING DRIVEWAYS TO BE REPAIRED
 - 5. NEW DRIVEWAYS TO BE REPAIRED
 - 6. EXISTING DRIVEWAYS TO BE REPAIRED
 - 7. NEW DRIVEWAYS TO BE REPAIRED
 - 8. EXISTING DRIVEWAYS TO BE REPAIRED
 - 9. NEW DRIVEWAYS TO BE REPAIRED
 - 10. EXISTING DRIVEWAYS TO BE REPAIRED
 - 11. NEW DRIVEWAYS TO BE REPAIRED
 - 12. EXISTING DRIVEWAYS TO BE REPAIRED
 - 13. NEW DRIVEWAYS TO BE REPAIRED
 - 14. EXISTING DRIVEWAYS TO BE REPAIRED
 - 15. NEW DRIVEWAYS TO BE REPAIRED

- WETLANDS MAP**
- KEYNOTE LEGEND:**
- 1. EXISTING OVERHEAD SERVICE LINES
 - 2. EXISTING UTILITY POLES
 - 3. LOCATION OF EXISTING UNDERGROUND GAS SERVICE
 - 4. LOCATION OF EXISTING UNDERGROUND WATER SERVICE
 - 5. EXISTING UNDERGROUND GAS SERVICE
 - 6. EXISTING UNDERGROUND WATER SERVICE
 - 7. LINE OF EXISTING WALL BEYOND TYPICAL
 - 8. EXISTING WALL BEYOND TYPICAL
 - 9. EXISTING WALL BEYOND TYPICAL
 - 10. EXISTING WALL BEYOND TYPICAL
 - 11. EXISTING WALL BEYOND TYPICAL

PARKING REQUIREMENTS:
 OFFICE BUILDING: 18 SPACES PROVIDED
 OFFICE OR OTHER BUILDING: 18 SPACES PROVIDED
 OFFICE OR OTHER BUILDING: 18 SPACES PROVIDED
 TOTAL: 36 SPACES PROVIDED
 REQUIRED: 36 SPACES PROVIDED
 DEFICIT: 0 SPACES PROVIDED

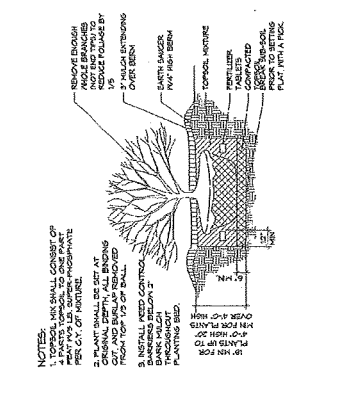


DATE	9 JAN 2018
REVISIONS	10 AUGUST 2017 FOR PLING
REVISIONS	11 NOV 2015 FOR PLING
REVISIONS	
DRAWN BY	SP



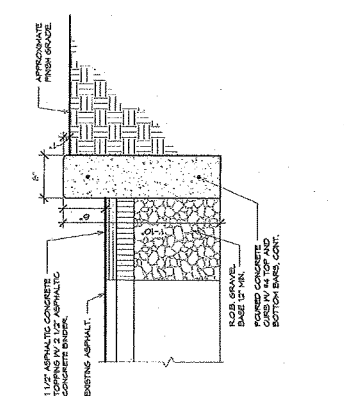
- NOTES:**
1. TOPSOIL MIX SHALL BE 1/3 TOPSOIL, 2/3 COMPOST. TO ONE PART TOPSOIL TO ONE PART COMPOST. TO ONE PART COMPOST TO ONE PART TOPSOIL. TO ONE PART COMPOST TO ONE PART TOPSOIL.
 2. STAKES SHALL BE 2" X 4" INTO GROUND.
 3. PLANT SHALL BE SET ALL ALONG OF, AND BENEATH, 1/2" OF DIRT FROM TOP OF SOIL.
 4. TREE SHALL BE STAKED ABOUT 1/2" ABOVE FINISH GRADE TOPSOIL. STAKES SHALL BE SET AT 1/2" ABOVE FINISH GRADE TOPSOIL.
 5. PLANT SHALL BE AS NEAR AS POSSIBLE TO THE CENTER OF THE PIT. MAKE AN 8" HOLE OF TOPSOIL FROM THE CENTER OF THE PIT.

1 TREE PLANTING DETAIL
SP-2 1/2" x 1/2"



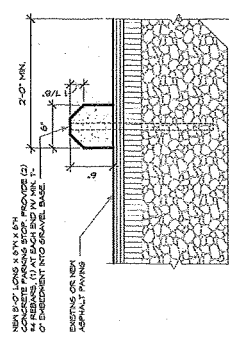
- NOTES:**
1. TOPSOIL MIX SHALL CONSIST OF 1/3 TOPSOIL, 2/3 COMPOST. TO ONE PART TOPSOIL TO ONE PART COMPOST. TO ONE PART COMPOST TO ONE PART TOPSOIL.
 2. STAKES SHALL BE 2" X 4" INTO GROUND.
 3. PLANT SHALL BE SET ALL ALONG OF, AND BENEATH, 1/2" OF DIRT FROM TOP OF SOIL.
 4. TREE SHALL BE STAKED ABOUT 1/2" ABOVE FINISH GRADE TOPSOIL. STAKES SHALL BE SET AT 1/2" ABOVE FINISH GRADE TOPSOIL.
 5. PLANT SHALL BE AS NEAR AS POSSIBLE TO THE CENTER OF THE PIT. MAKE AN 8" HOLE OF TOPSOIL FROM THE CENTER OF THE PIT.

2 SHRUB PLANTING DETAIL
SP-2 1/2" x 1/2"



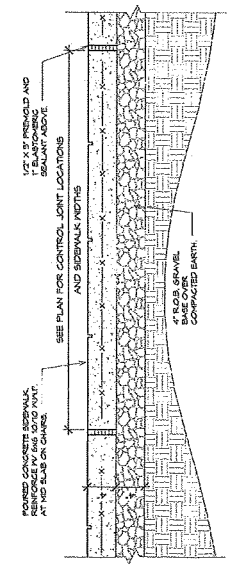
- NOTES:**
1. 1" ASPHALTE-CONCRETE TOPPING IV-2 1/2" ASPHALTIC EXISTING ASPHALT.
 2. 4" R.G.B. GRAVEL BASE 1/2" MIN. OVER 1/2" TOP AND BOTTOM BARS, CONT.

3 CURB DETAIL
SP-2 1/2" x 1/2"



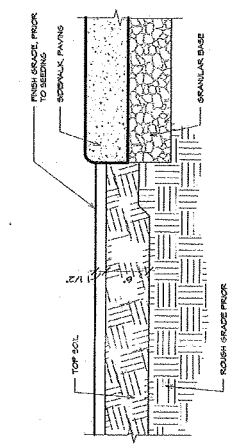
- NOTES:**
1. 2" X 4" LONG X 8" X 8" X 8" BARS (TO BE SET IN 2" MIN. OF EXISTING OR NEW ASPHALT PAVING).

4 PARKING STOP DETAIL
SP-2 1/2" x 1/2"



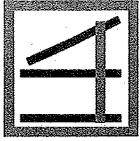
- NOTES:**
1. 1/2" X 1/2" REINFORCING AND SEALANT ABOVE.
 2. 4" R.G.B. GRAVEL BASE OVER COMPACTED BENTON.

5 SIDEWALK DETAIL
SP-2 1/2" x 1/2"



- NOTES:**
1. 1/2" X 1/2" REINFORCING AND SEALANT ABOVE.
 2. 4" R.G.B. GRAVEL BASE OVER COMPACTED BENTON.

6 SEEDING / LAWN DETAIL
SP-2 1/2" x 1/2"



**HIGHLANDS
ARCHITECTURE**
p.l.c.

372 ROUTE 9
COBURN SPRING, NY 10916
645.609.5976 OFFICE
highlandsarchitecture.com

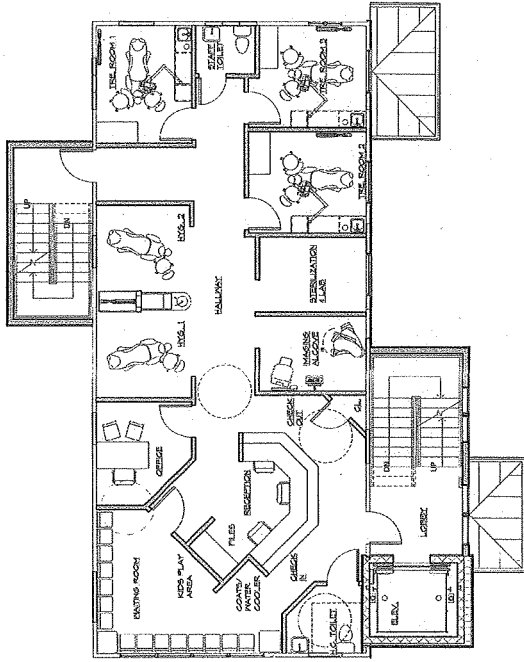
NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAVANI
1 POWELLTON ROAD
NEWBURGH, NY 12550



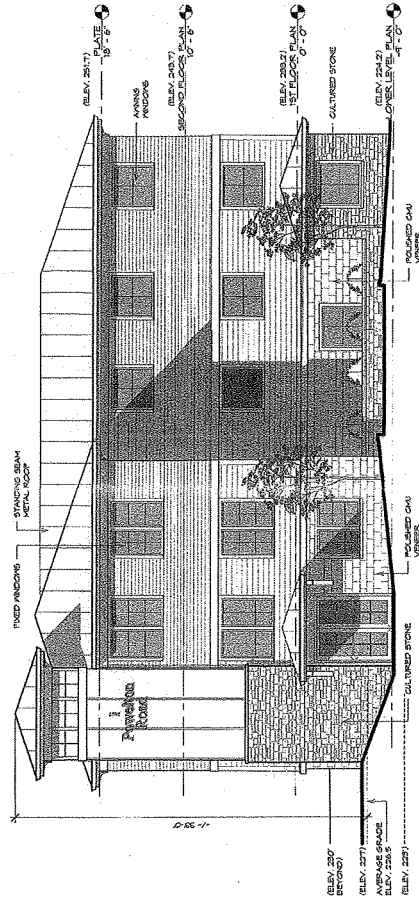
FLOOR PLANS,
EAST ELEVATION

A-1

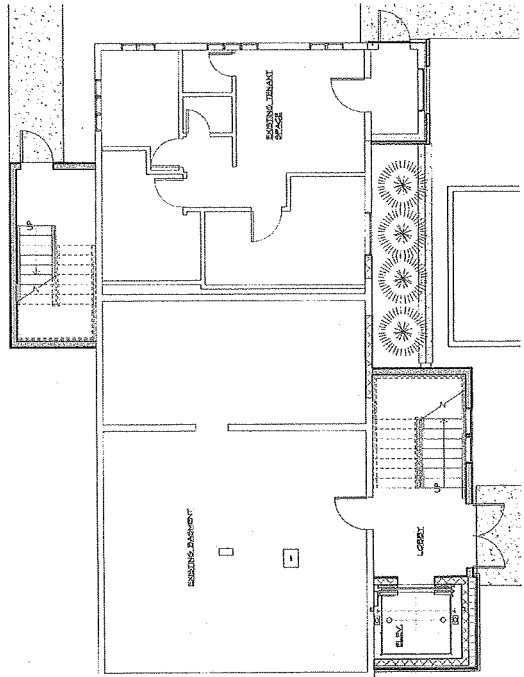
DATE:	8/26/2013
REVISIONS MADE FOR:	NOTES, DETAILS, SNA
REVISIONS:	11/20/13 PER REVIEWS
REVISIONS:	
DATE:	8/26/13



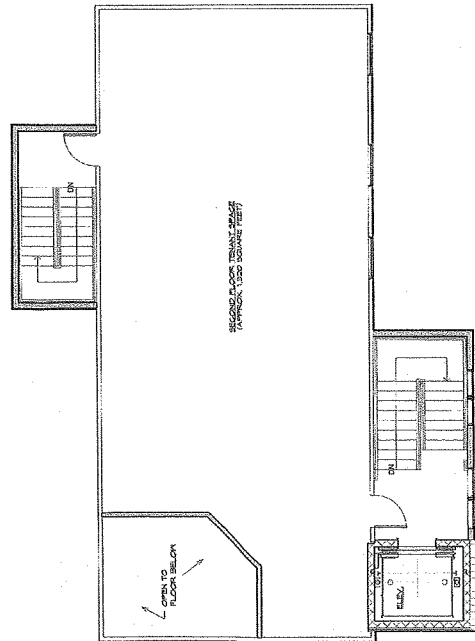
2 FIRST FLOOR PLAN
3/8" = 1'-0"



4 SIDE ELEVATION (EAST)
3/8" = 1'-0"



1 LOWER LEVEL PLAN
3/8" = 1'-0"



3 SECOND FLOOR PLAN
3/8" = 1'-0"