

Full Size Site Plans

are available for viewing at the

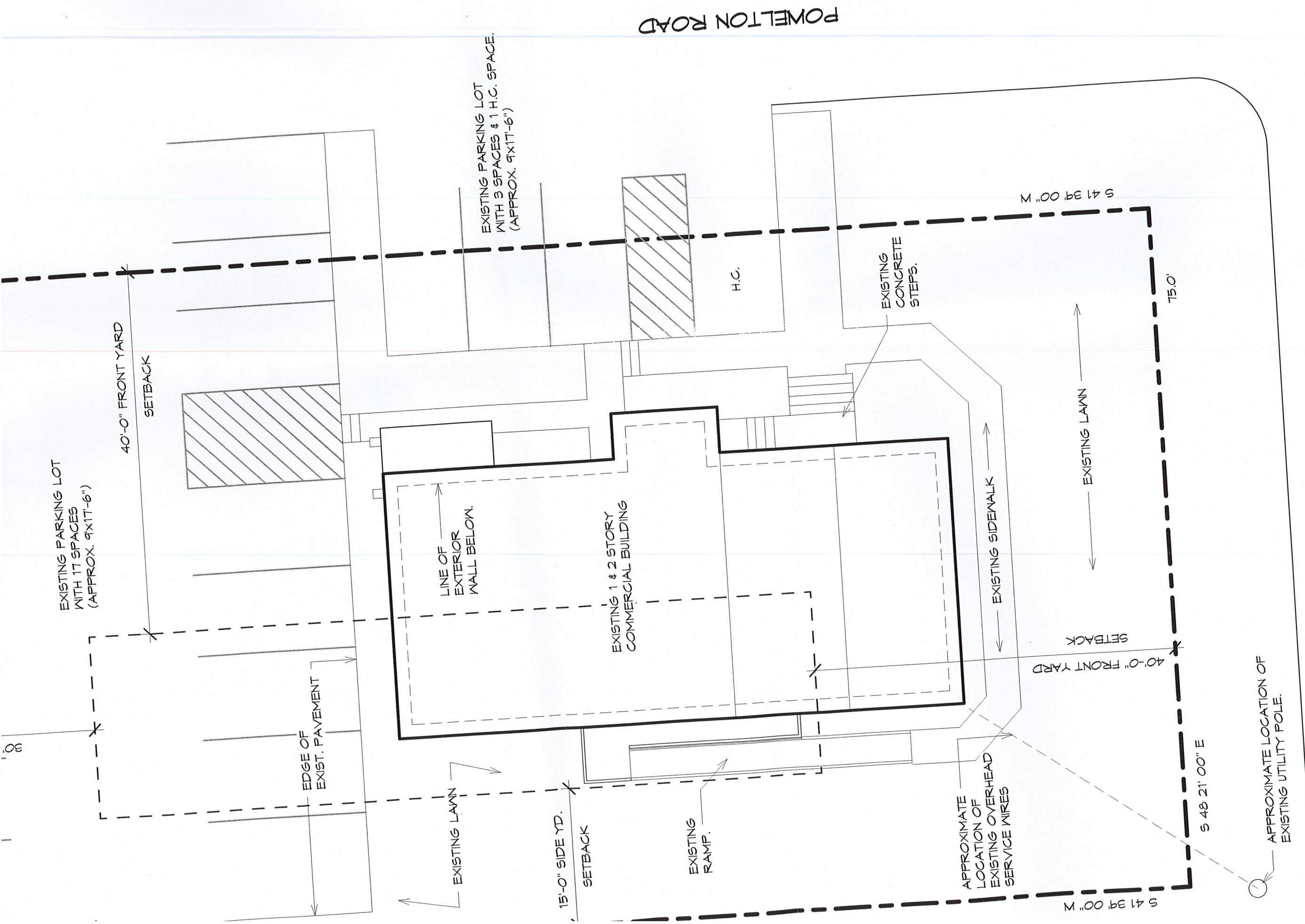
**Zoning Board of Appeals**

Office located at

**308 Gardnertown Road**

Newburgh, NY

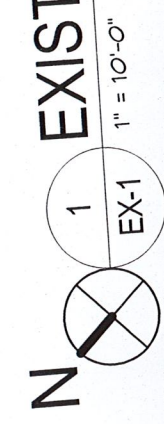
845-566-4901



POMELTON ROAD

NORTH PLANK ROAD

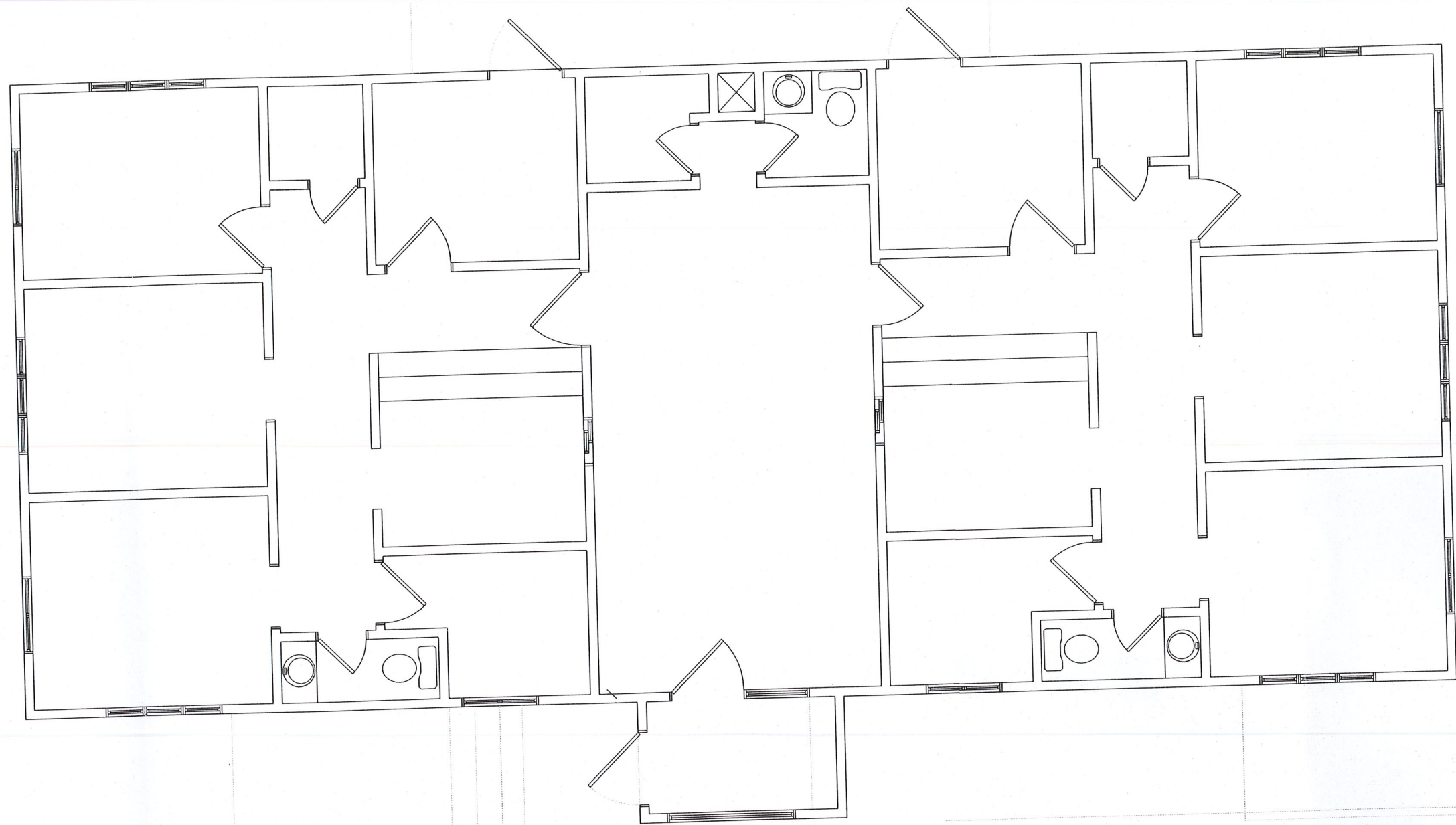
**EXISTING SITE PLAN**



1" = 10'-0"

NOTES:

1. EXISTING METES AND BOUNDS, PROPERTY LINE, BUILDING AND PARKING LOT LOCATIONS TAKEN FROM A SURVEY ON FILE WITH THE TOWN OF [unclear] PREPARED BY [unclear] DATE UNKNOWN.

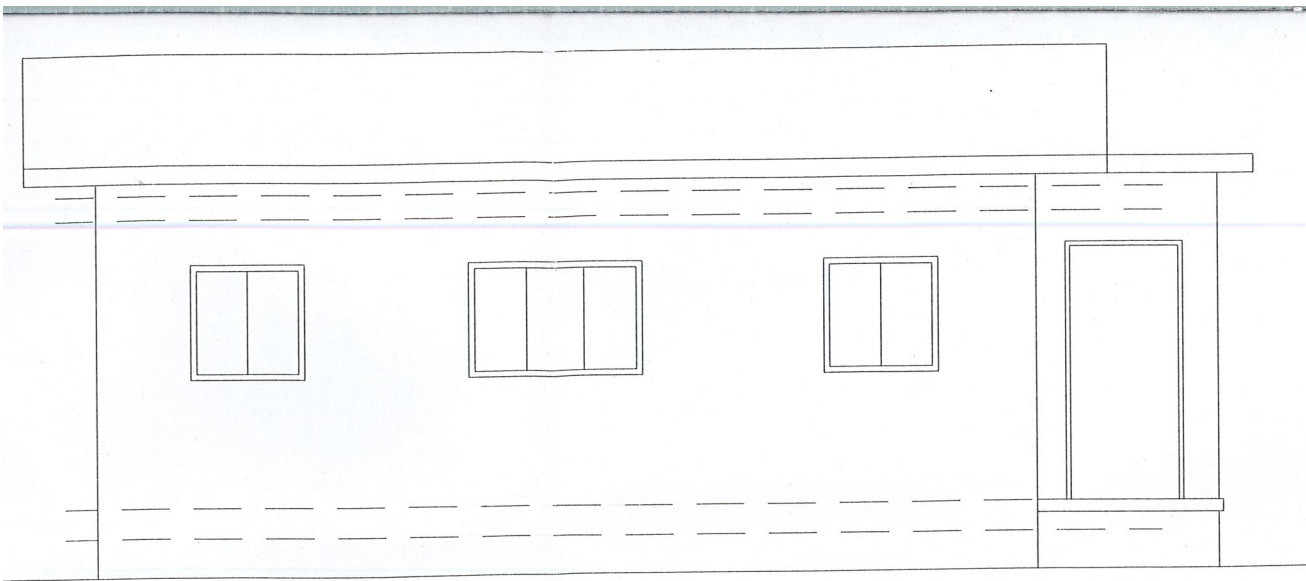


N

2  
EX-1

# EXISTING FLOOR PLAN

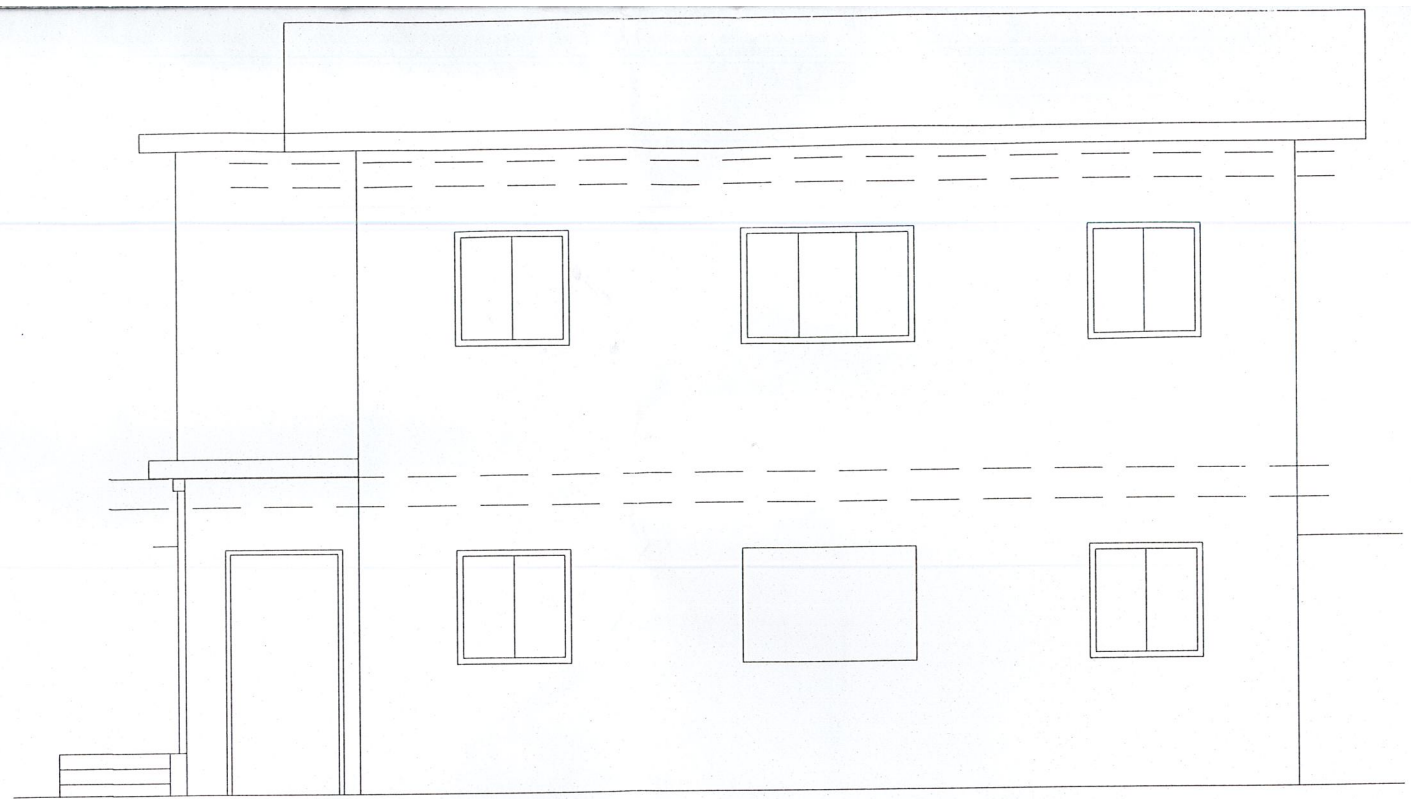
3/16" = 1'-0"



3  
EX-1

### EXISTING SOUTH ELEVATION

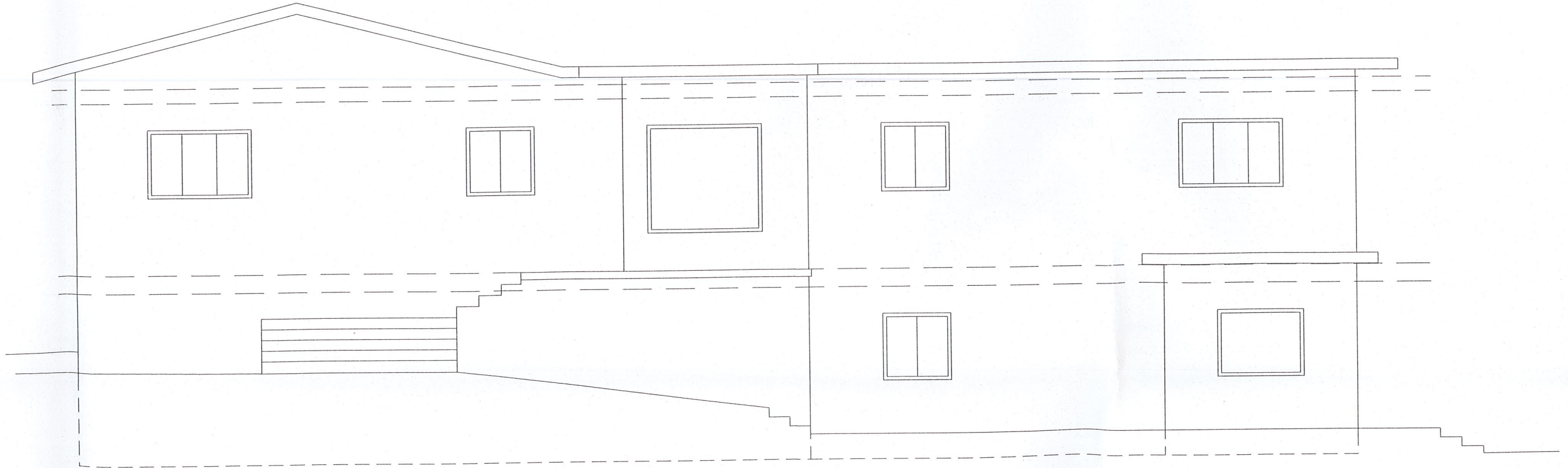
3/16" = 1'-0"



4  
EX-1

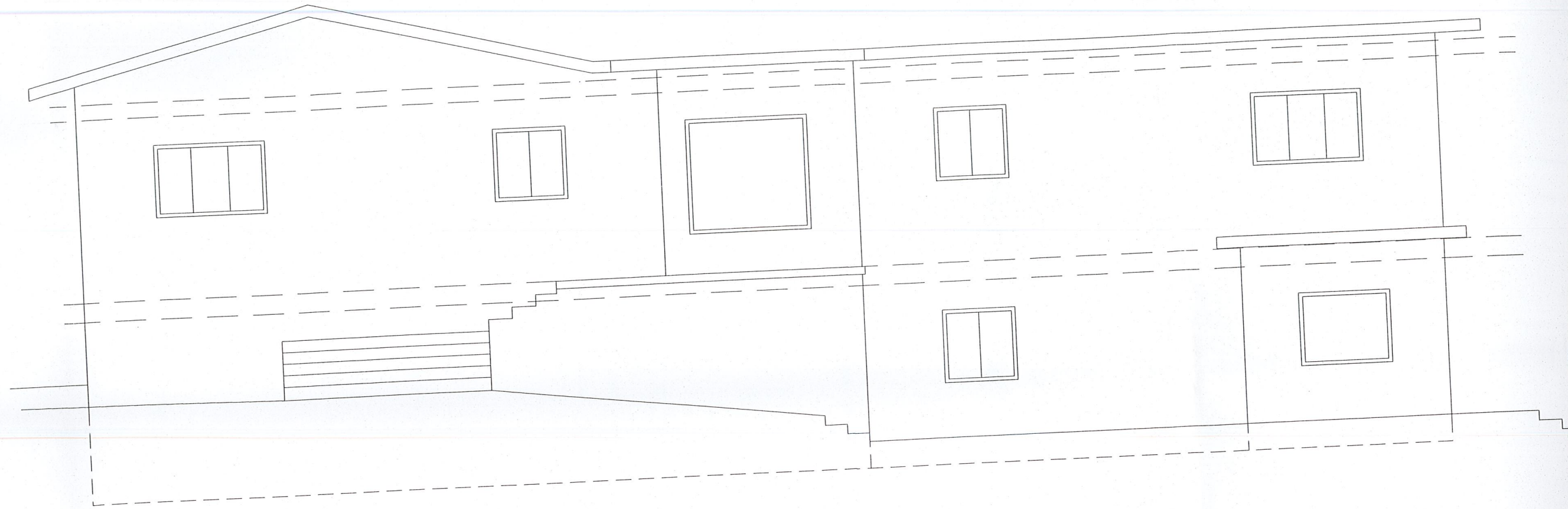
### EXISTING NORTH ELEVATION

3/16" = 1'-0"

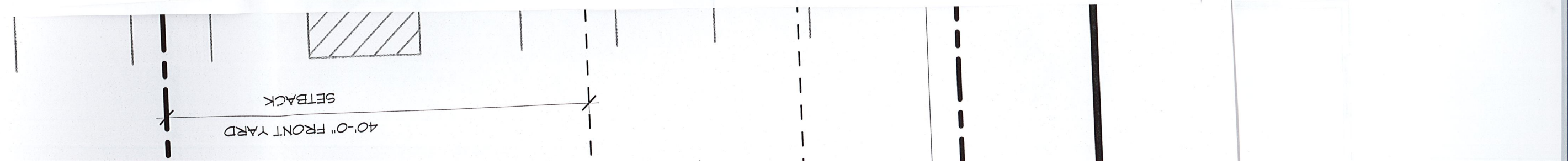


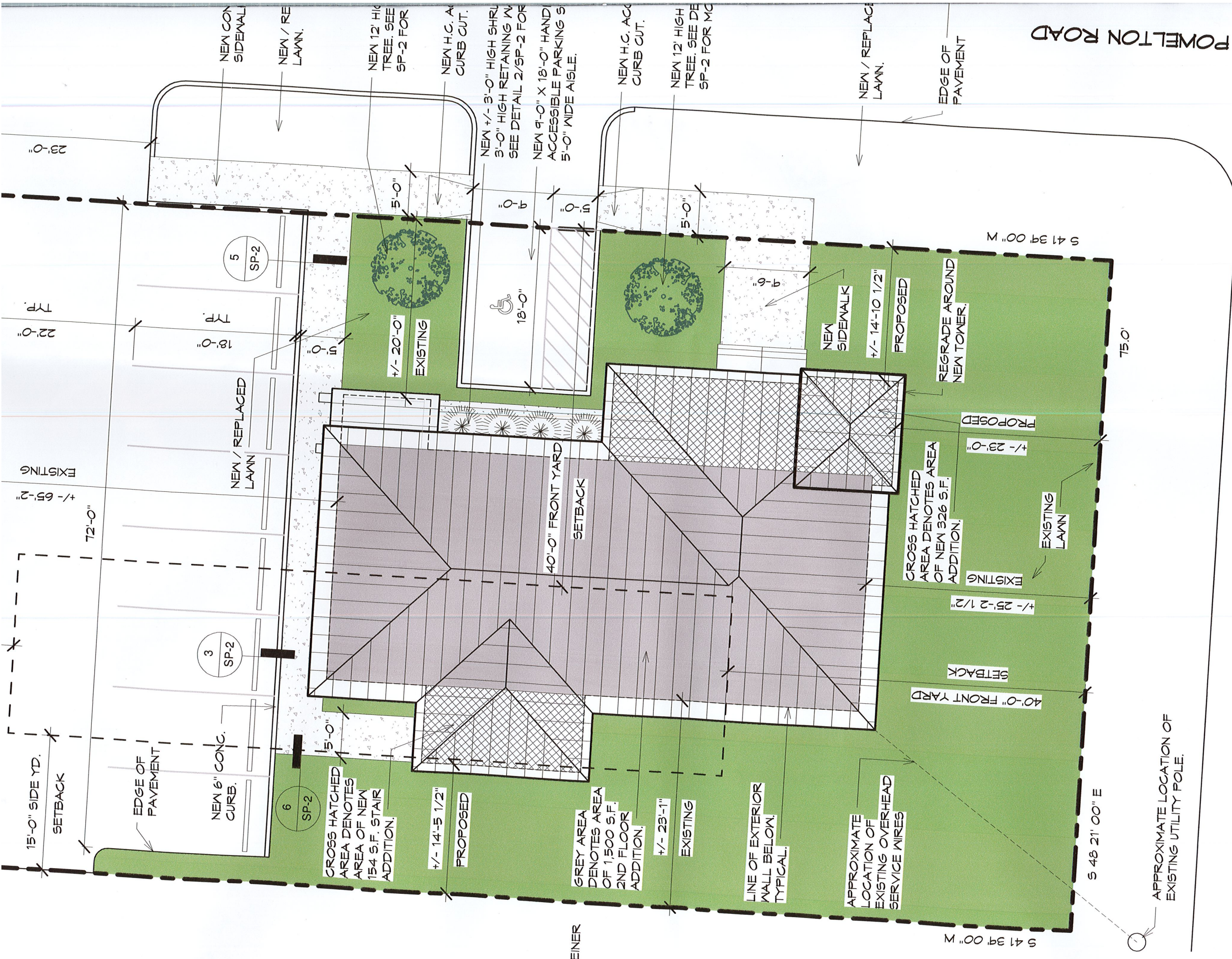
5

### EXISTING EAST ELEVATION



5 EXISTING EAST ELEVATION  
EX-1 3/16" = 1'-0"





V/F SCHEINER

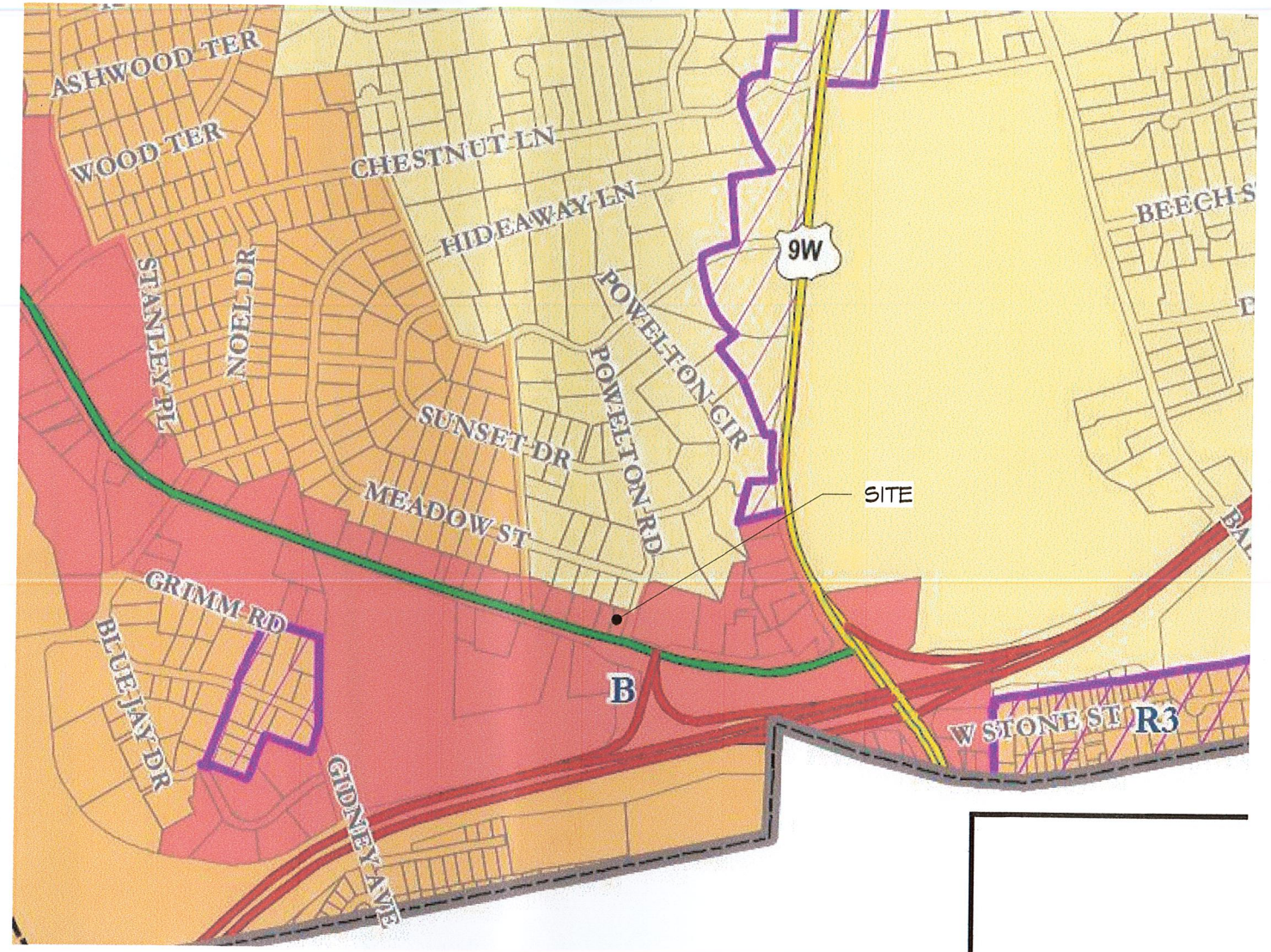
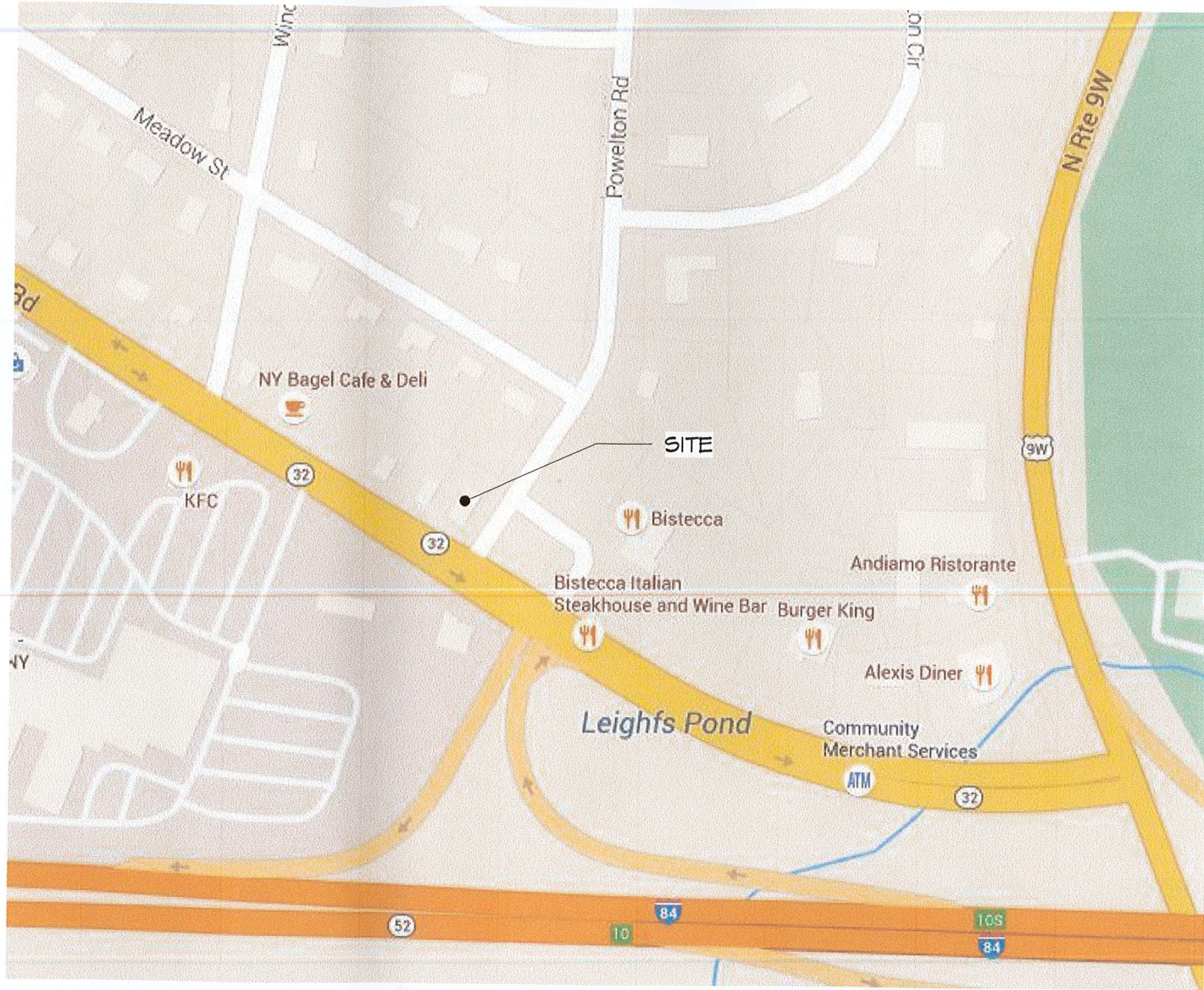
NORTH PLANK ROAD

POMELTON ROAD

N **1** PROPOSED PLOT PLAN  
SP-1 1" = 10'-0"

NOTES:

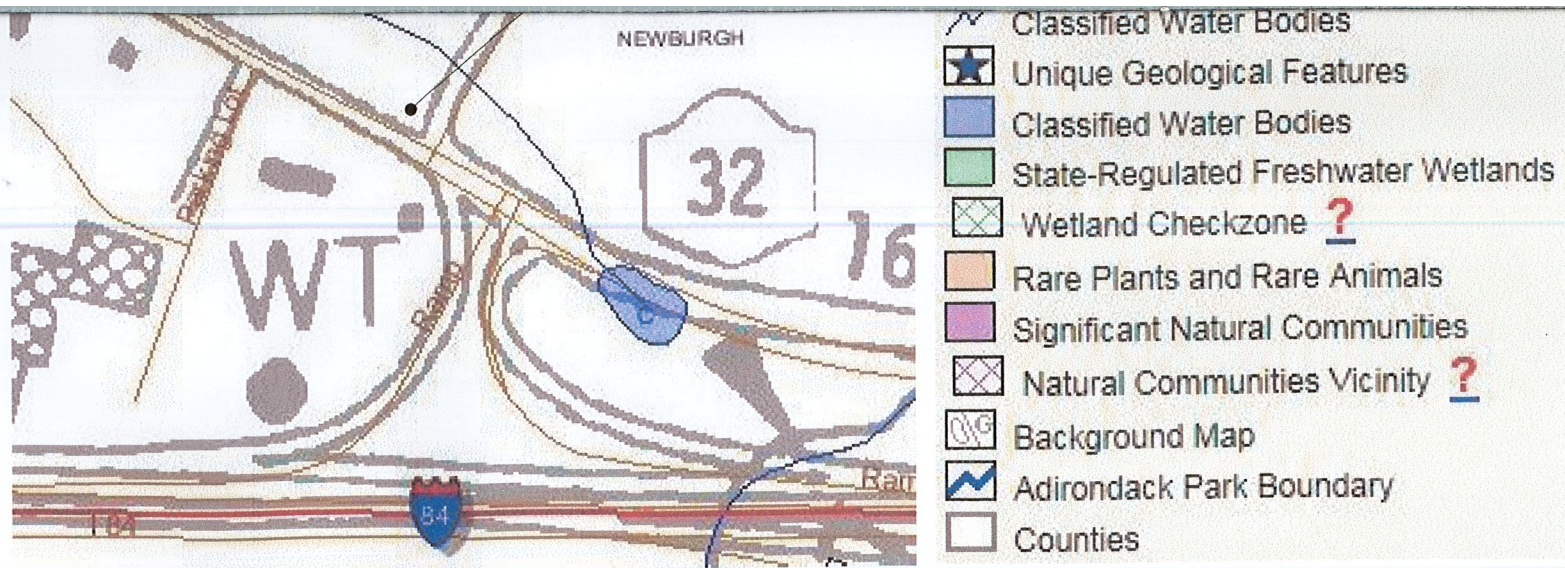
- EXISTING METES AND BOUNDS, PROPERTY LINE, BUILDING AND PARKING LOT LOCATIONS TAKEN FROM A SURVEY ON FILE WITH THE TOWN OF NEWBURGH BUILDING DEPARTMENT. PREPARER AND DATE UNKNOWN. (NEW UPDATED SURVEY IS CURRENTLY BEING PREPARED BY A NEW YORK STATE LICENSED SURVEYOR. IF COMPLETE, THIS SURVEY WILL BE BROUGHT TO THE ZONING BOARD OF APPEALS MEETING).



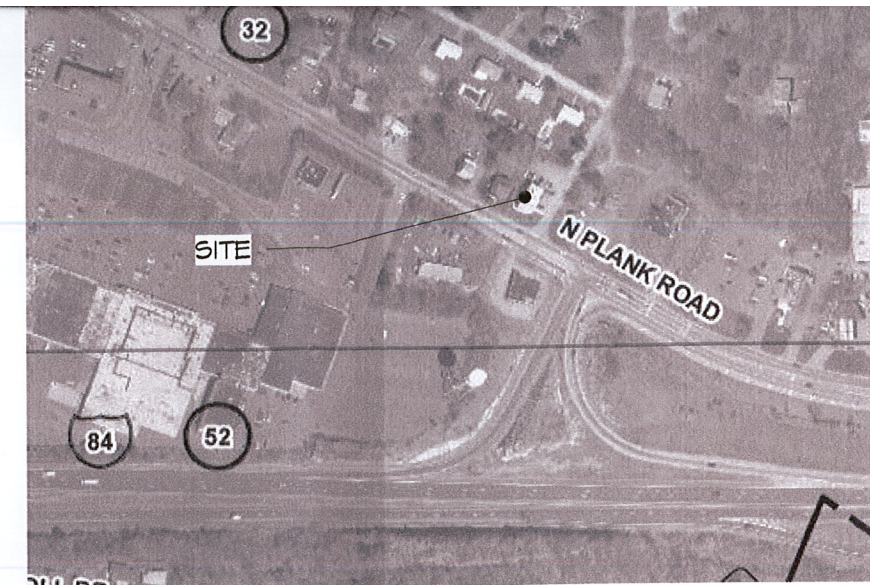
2 LOCATION MAP  
SP-1

3 PARTIAL ZONING MAP  
SP-1





PROJECT IS MORE THAN 100 FEET FROM ANY WETLANDS PER ABOVE MAP.



PROJECT SITE IS NOT LOCATED IN A FLOOD PLAIN PER ABOVE FEMA MAP.

4 WETLANDS MAP  
SP-1 1/4" = 1'-0"

5 FLOOD PLAIN MAP  
SP-1 1/8" = 1'-0"

PARKING REQUIREMENTS:			
ORDINANCE REQUIREMENT:	OCCUPIED FLOOR AREAS:	PARKING REQUIRED:	PARKING PROVIDED:
OFFICE OR OFFICE BUILDING: 1 PER 200 SQUARE FEET OF FLOOR AREA FOR THE FIRST 20,000 SQUARE FEET OF FLOOR AREA.	LOWER LEVEL: 543 S.F. 1ST FLOOR: 1,500 S.F. 2ND FLOOR: 1,320 S.F. TOTAL: 3,363 S.F.	3,363 S.F. / 200 = 16.8 SPACES REQUIRED.	16 PARKING SPACES + 1 H.C. SPACE = 17 TOTAL SPACES.

ZONING INFORMATION										
TOWNSHIP: NEWBURGH SECTION, BLOCK, LOT: 80-6-7 ZONE: B										
	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YD.	FRONT YD.	REAR YD.	SIDE YD.	LOT BLDG COV.	BLDG. HT.	LOT SURFACE COV.
ORDINANCE REQUIREMENT:	15,000 SF	100 FT	125 FT	40 FT	40 FT	30 FT	15 FT	60%	35 FT	85%
EXISTING:	11,250 SF	75 FT	150 FT	+/- 25'-2 1/2"	+/- 20'-0"	+/- 65'-2"	+/- 23'-1"	+/- 14.8%	+/- 20 FT	+/- 63.8%
PROPOSED:	11,250 SF *	75 FT *	N/A	+/- 23'-0" *	+/- 14'-10 1/2" *	+/- 65'-2"	+/- 14'-5 1/2" *	+/- 18.7%	33 FT	+/- 63%



THESE DRAWINGS ARE INSUFFICIENT FOR CONSTRUCTION WITHOUT THE SEAL AND SIGNATURE OF THE ARCHITECT OF RECORD.

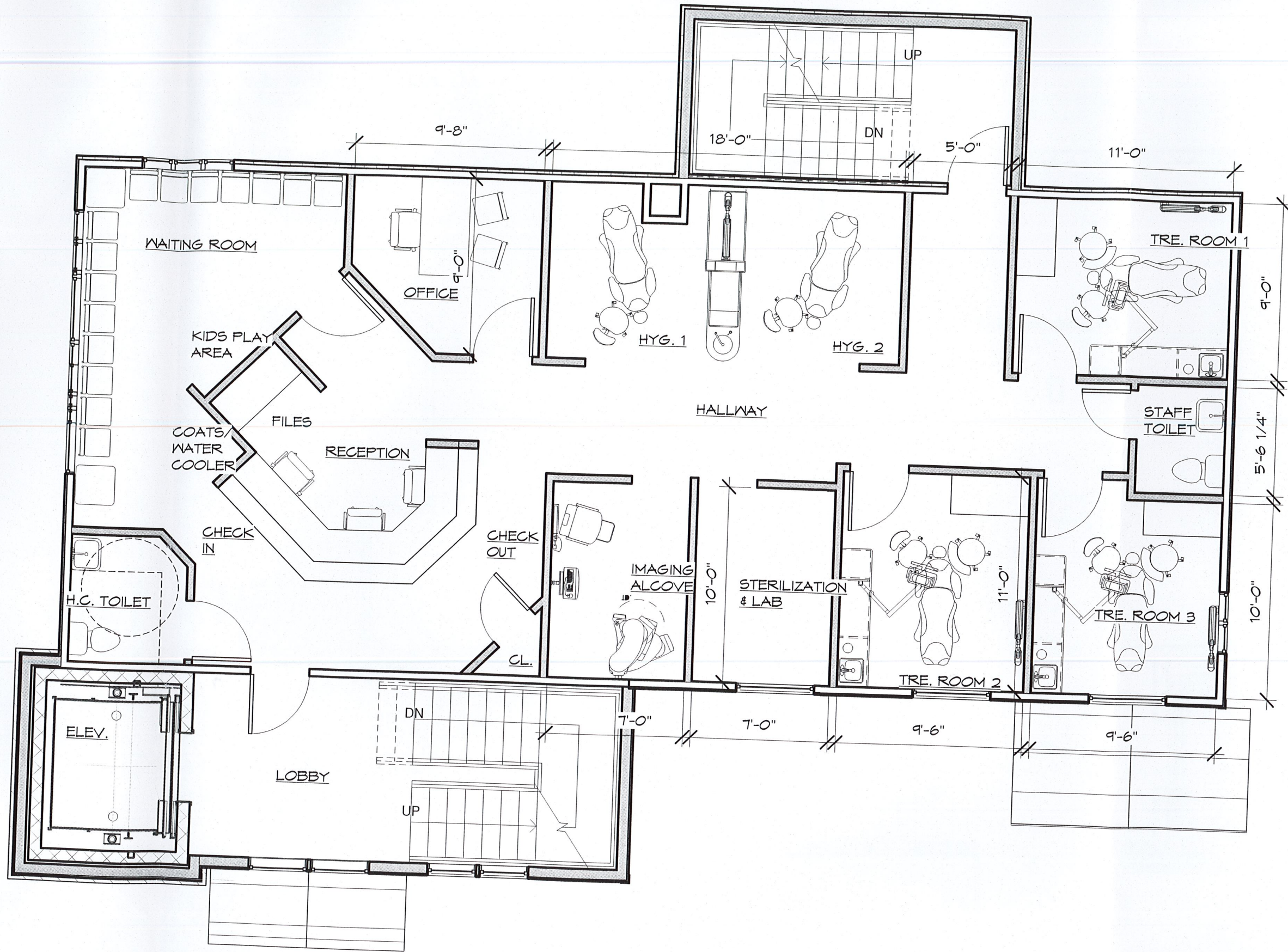


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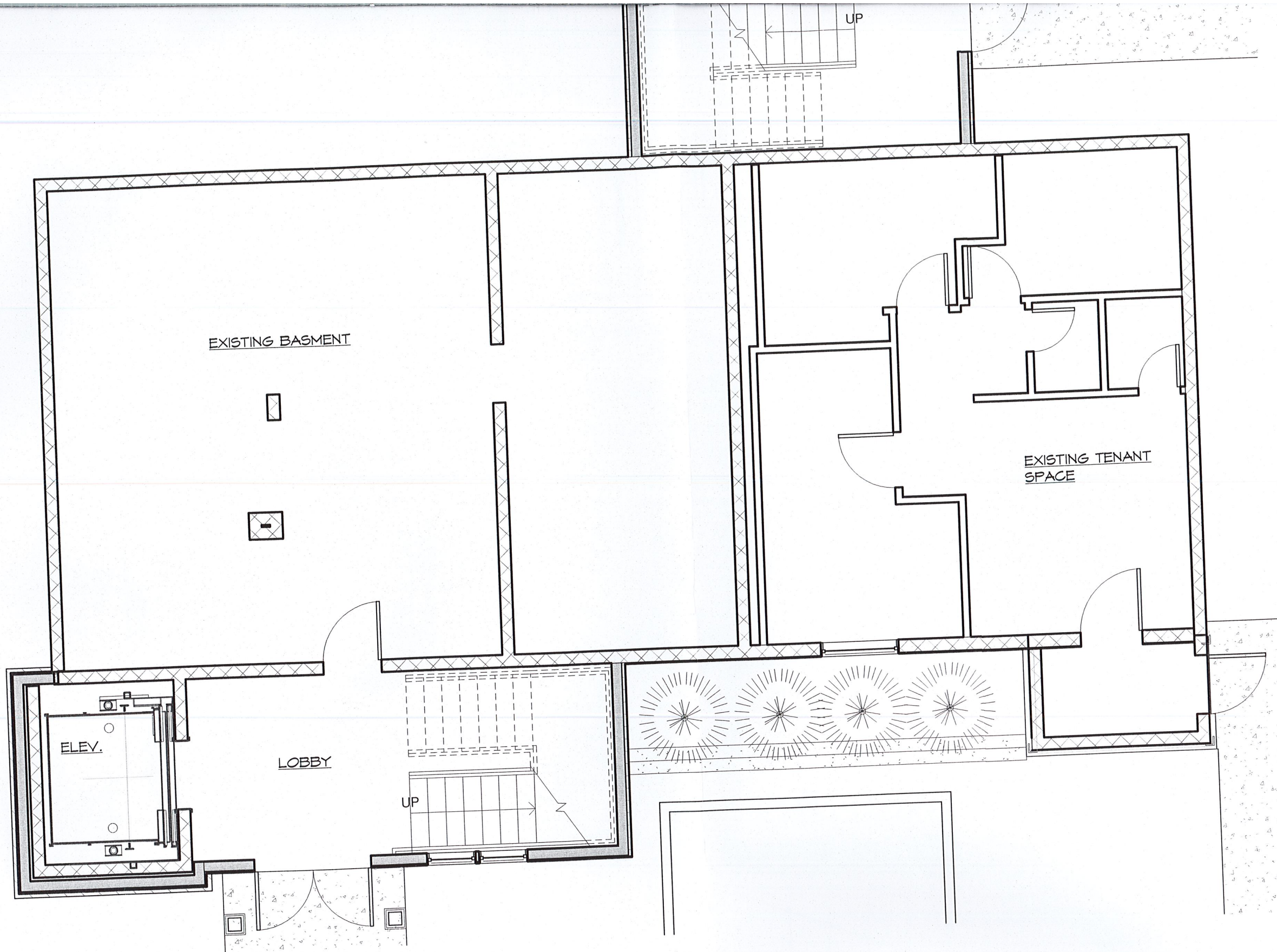


4 SIDE ELEVATION (EAST)  
 A-1 3/16" = 1'-0"



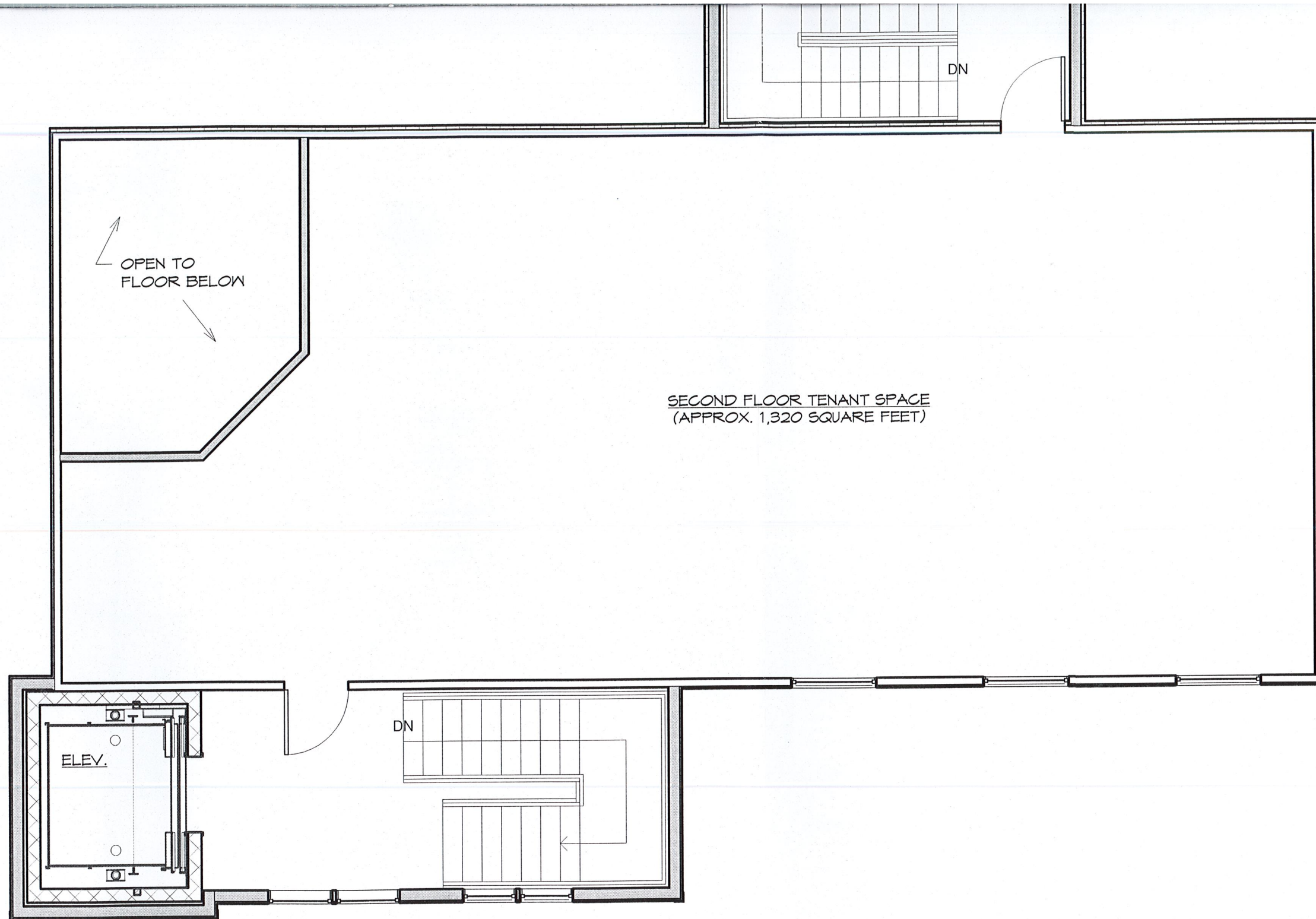
2

PROPOSED 1ST FLOOR PLAN



1 LOWER LEVEL  
A-1 3/16" = 1'-0"

33'-0"



3 SECOND FLOOR PLAN  
A-1 3/16" = 1'-0"