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STATE OF NEW YORK : COUNTY OF ORANGE
TOWN OF NEWBURGH PLANNING BOARD

----- X
In the Matter of

ONE POWELTON AVENUE
(2015-19)

Powelton Avenue
Section 80; Block 6; Lot 7
B Zone

----- X

SITE PLAN

Date: August 6, 2015
Time: 7:16 p.m.
Place: Town of Newburgh
Town Hall
1496 Route 300
Newburgh, NY 12550

BOARD MEMBERS: JOHN P. EWASUTYN, Chairman
FRANK S. GALLI
KENNETH MENNERICH
DAVID DOMINICK
JOHN A. WARD

ALSO PRESENT: MICHAEL H. DONNELLY, ESQ.
MARK J. EDSALL

APPLICANT'S REPRESENTATIVE: STEPHEN WHALEN

----- X

MICHELLE L. CONERO
10 Westview Drive
Wallkill, New York 12589
(845)895-3018

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CHAIRMAN EWASUTYN: The third item of business this evening is One Powelton Avenue. It's a site plan in a B Zone. It's being represented by Highlands Architecture. Stephen Whalen I believe is the architect.

MR. WHALEN: All set?

CHAIRMAN EWASUTYN: Yes.

MR. WHALEN: Good evening. Again my name is Steve Whalen, I'm a partner with Highlands Architecture.

Our proposal is for One Powelton Road. The existing building that's there now is approximately 1,500 square feet. On the lower level there's an existing tenant about 400 square feet, the remainder on the lower level is basement. The existing second floor is a former dentist office.

Per the site plan you can see there's approximately 20 parking spaces. You can see that some of these parking spaces are actually over the property line. The handicap accessibility, which is not accessible because the sidewalks are so steep, is around the building, and there's a wood framed ramp on the

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backside of the building.

Our proposal is for a few additions. Taking off the entire roof to construct a second floor -- a second story, third story addition along the entire footprint. On the east side of the building we're going to be constructing an elevator, a stair and lobby addition. On the west side of the building is just a stair tower for a second means of egress.

On the site we're going to bring all the parking spaces into the property line. The handicap parking space will be generally in the same area but again it will be all beyond the property line. We'll have sixteen parking spaces down below and the handicap parking space, that makes it a total of seventeen. We have about just under 3,400 square feet of office space. So we have seventeen parking spaces, which is what's required.

CHAIRMAN EWASUTYN: There was a question about that during the work session, so thank you for coming up with those numbers.

MR. WHALEN: Okay.

CHAIRMAN EWASUTYN: Anything else you'd

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like to say?

MR. WHALEN: We're still developing the elevations and the interior floor plan. Our thoughts so far were to try to keep in keeping with some of the buildings in the surrounding area. We're talking about going with a hardy board siding with some cultured stone and maybe some CMU along the bottom. We'll have like a towered feature, Powelton Road and North Plank Road on the corner. We're trying to keep a residential feel to the building, like a standing seam roof. We're still developing that, though.

CHAIRMAN EWASUTYN: Did you receive Pat Hines' review comments?

MR. WHALEN: No. Did that go out via e-mail?

MR. EDSALL: I'm not sure if he sent those out. We can have them sent over.

MR. GALLI: Here's a copy.

CHAIRMAN EWASUTYN: I'll have Mark Edsall from McGoey, Hauser & Edsall review some of those comments with you now.

MR. EDSALL: Pat reviewed it on a concept basis. There are a number of issues that

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ONE POWELTON AVENUE

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are going to clearly be added to the plan as it's further developed.

Knowing that this needs to go to the Zoning Board of Appeals first for, as Pat indicates, a minimum of four variances, lot area, lot width, front yard relative to both sides being that it's a corner lot, and then a side yard variance. So that action is required for the Board to continue to review it for approval.

Separate from the Zoning Board action relative to the site plan itself, they are proposing curbing. The potential impacts of the curbing relative to drainage and the grading all need to be addressed. Collection and disposal of stormwater.

Pat also is noting that some additional comments from the highway superintendent and code enforcement officer should be taken into consideration relative to building height and improvements in the public right-of-way. So those are issues that he lists as concerns.

You had some information brought forth as part of the presentation relative to square footage. That should all be put onto the plan

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and should be part of the parking computation to show where you stand from a parking standpoint for the proposed areas and uses for the building.

Being that you're going to the Zoning Board, if you have difficulty complying with the parking requirements, this would be a good time to find that out because you don't want to have to go back to the Zoning Board twice. So that should be resolved. Perhaps you can share any additional knowledge with the Board on that.

The utilities need to be depicted and defined on the plan.

A detail sheet needs to have landscaping and site development details added.

Again, it's a concept plan. Being that it's going to the Zoning Board, I think the most critical point that the applicant should be aware of is going and getting all the variances that they need so they don't have to go twice.

CHAIRMAN EWASUTYN: Jerry Canfield with code compliance will be assisting us -- he's not here this evening -- as far as your interpretation of parking and use.

MR. WHALEN: Okay.

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CHAIRMAN EWASUTYN: Jerry will be back in the office the early part of next week.

Mike Donnelly will talk to you now as to what he's going to present to the ZBA and if there's a need to add a note to that.

Mike.

MR. DONNELLY: With the Board's permission or direction, I will send a letter to the Zoning Board referring your application to the Zoning Board for consideration of a lot area, lot width, two front yards because you're a corner lot, and a side yard area variance. You will, nevertheless, need to apply to the Zoning Board on their forms for those variances. I can add, if the Board would like, the possibility for a parking variance to be developed by the applicant, that way if you felt you needed it you could include that in your application.

CHAIRMAN EWASUTYN: Stephen?

MR. WHALEN: Yeah. May as well, as long as we're going before the ZBA, include that one. I think we'll comply but just in case.

CHAIRMAN EWASUTYN: Okay.

MR. DONNELLY: I will include that in

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ONE POWELTON AVENUE

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the letter than.

CHAIRMAN EWASUTYN: Any additional
comments from Board Members? John Ward?

MR. WARD: What's the total height of
the building after you build it?

MR. WHALEN: I looked in the ordinance
and it was saying from an average grade of the --
I think it was like the dominant street, which
ever it had more frontage on what street. We
have more frontage on Powelton. So taking the
average grade, we're right at 35 to the top part
of the tower, which is the highest part of the
building.

MR. WARD: And structurally building
up, is the building able to do that?

MR. WHALEN: Structurally, yes.

MR. WARD: It's an old building.

MR. WHALEN: Yeah. It's structurally
sound. We're going to do a lot of demolition to
the building.

MR. WARD: Are you taking the first
floor out?

MR. WHALEN: We're going to leave this
level down here, which is primarily the basement

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ONE POWELTON AVENUE

and the one tenant space. This we're pretty much going to gut the interior. We're going with a new flooring system for above, obviously a new roof.

MR. WARD: I'm more concerned about the height and the location. You've got residents and other businesses next to it. You don't need an eyesore.

MR. WHALEN: Okay.

MR. WARD: It had a height -- it's two stories as is with the flat type roof. You're making it a peak where it's dominant.

MR. WHALEN: We could lower the pitch on the roof.

MR. WARD: Yeah. That's what I'm saying.

MR. WHALEN: The owners want a pitched roof on there. We're going in with like a 6-12 right now. We could lower that.

MR. WARD: If you could, because you're reaching the high --

MR. WHALEN: Okay.

CHAIRMAN EWASUTYN: Mark, I think your office has an additional copy of the plans that

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ONE POWELTON AVENUE

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you could circulate to the Orange County Planning Department.

MR. EDSALL: I'll check with Pat.

CHAIRMAN EWASUTYN: They delivered two sets.

MR. EDSALL: Okay.

CHAIRMAN EWASUTYN: Then I'll move for a motion to have Mike Donnelly prepare a referral letter to the Zoning Board of Appeals and to circulate to the Orange County Planning Department under 239-M of the Municipal Law.

MR. GALLI: So moved.

MR. DOMINICK: Second.

CHAIRMAN EWASUTYN: I have a motion by Frank Galli. I have a second by Dave Dominick. I'll ask for a roll call vote starting with Frank Galli.

MR. GALLI: Aye.

MR. MENNERICH: Aye.

MR. DOMINICK: Aye.

MR. WARD: Aye.

CHAIRMAN EWASUTYN: Aye. Motion carried.

Thank you.

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ONE POWELTON AVENUE

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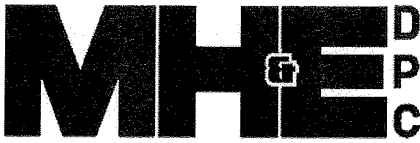
MR. WHALEN: Thank you.

(Time noted: 7:25 p.m.)

C E R T I F I C A T I O N

I, Michelle Conero, a Shorthand Reporter and Notary Public within and for the State of New York, do hereby certify that I recorded stenographically the proceedings herein at the time and place noted in the heading hereof, and that the foregoing is an accurate and complete transcript of same to the best of my knowledge and belief.

DATED: August 28, 2015



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Planning Board Info 8/6/15 meeting

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e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT: 1 POWELLTON AVENUE SITE PLAN (Dr. Paymai)
PROJECT NO.: 2015-19
PROJECT LOCATION: 80-6-7
PROJECT REPRESENTATIVE: HIGHLANDS ARCHITECTURE-STEVEN A. WHALEN
REVIEW DATE: 5 AUGUST 2015
MEETING DATE: 6 AUGUST 2015

1. The project will require a referral to the Zoning Board of Appeals for the following:
 - a. Lot area
 - b. Lot width
 - c. Front yard, both corner lot
 - d. Side yard.
2. The Applicants are proposing to install curbing within the existing parking lot. Grading and drainage should be addressed as installation of curbing will affect existing drainage conditions.
3. The Planning Board should determine if field survey should be provided. Current information is from an undated, unnamed survey source.
4. The Planning Board should consider to whether to waive requirements for topography on the site.
5. Jerry Canfield's comments regarding building height should be received. Area of proposed tower identifies a 35 foot height.
6. Parking calculations should be added to the plans.
7. Highway Superintendent's comments regarding installation of sidewalk and public right of way should be received. Landscaping and sidewalks are identified within the right of way.

8. Existing utilities should be depicted on the plans showing water and sewer services.
9. Details of proposed landscaping should be added to the plan sheets.
10. Site development details should be added to the plan sheets.
11. Existing and proposed square footage of the structure should be identified on the plans.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

NEW PEDIATRIC DENTAL OFFICE FOR:

DR. PAYAMI

1 POWELTON ROAD
NEWBURGH, NY 12550

DWG # DRAWING LIST

- T-1 TITLE SHEET
EX-1 EXISTING PLANS, ELEVATIONS
EX-2 SITE & BUILDING PHOTOS
SP-1 PROPOSED SITE PLAN
A-1 PROPOSED PLANS, EAST ELEVATION

GENERAL NOTES
1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF NEW YORK...

2. ALL WORK INCLUDING INTERIORS, FINISHES AND MEMBERS OF...
3. CONTRACTOR SHALL OBTAIN AND VERIFY ALL EXISTING CONDITIONS AND...
4. GENERAL SHALL OBTAIN AND VERIFY ALL RECORD DOCUMENTS OF...
5. ALL INTERIORS, FINISHES, FIXTURES AND MEMBERS OF CONSTRUCTION...
6. CONTRACTOR SHALL OBTAIN AND VERIFY ALL RECORD DOCUMENTS OF...
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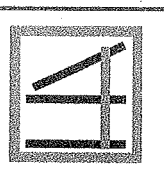
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NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAYAMI
1 POWELTON ROAD
NEWBURGH, NY 12550



TITLE SHEET
T-1
DATE: 1/18/2018
DRAWN BY: J. L. BURTON
CHECKED BY: J. L. BURTON
REVISIONS: 4 (MAY 2018) 1 (JULY 2018)
SCALE: AS SHOWN
SHEET NO. 01

Table with columns: SYMBOLS, EXISTING CONSTRUCTION TO REMAIN, EXISTING CONSTRUCTION TO BE REMOVED, NEW CONSTRUCTION, SECTION, DETAIL, ELEVATION. Includes various symbols and their descriptions.

SYMBOLS
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
NEW CONSTRUCTION
SECTION
DETAIL
ELEVATION
1. ALL WORK SHALL CONFORM TO THE BUILDING CODE OF NEW YORK...
2. ALL WORK INCLUDING INTERIORS, FINISHES AND MEMBERS OF...
3. CONTRACTOR SHALL OBTAIN AND VERIFY ALL EXISTING CONDITIONS AND...



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ARCHITECTURE
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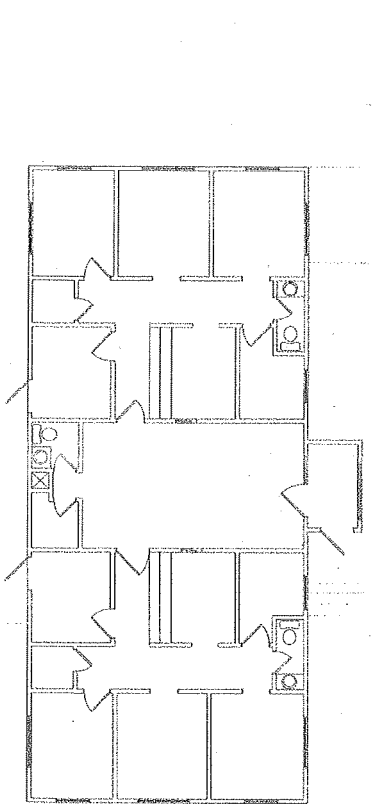
N.W. PEIATRIC, DENTAL OFFICE FOR
DR. PAVANI
1 POWELTON ROAD
NEWBURGH, NY 12550



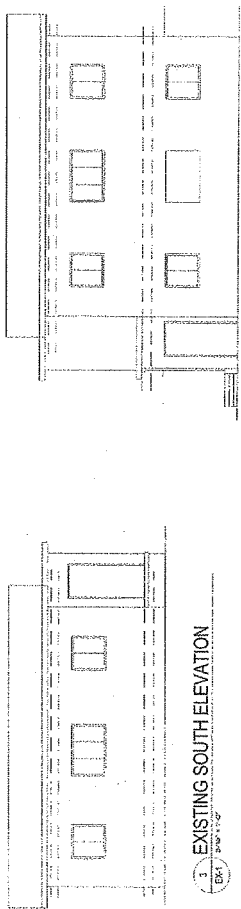
EXIST SITE, PLAN,
ELEVATIONS

EX-1

COPY	PLAN SET
DATE	2/20/2014
DRAWING NO.	14-021003-P-01
DRAWING TITLE	EXISTING SITE, PLAN, AND ELEVATIONS
DESIGNED BY	DR. PAVANI
DRAWN BY	DR. PAVANI
CHECKED BY	
APPROVED BY	



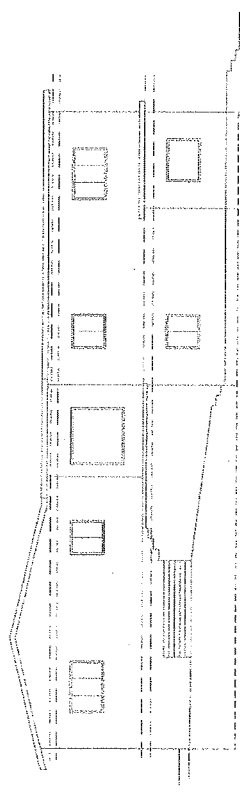
2. EXISTING FLOOR PLAN
BX1 2/20/2014



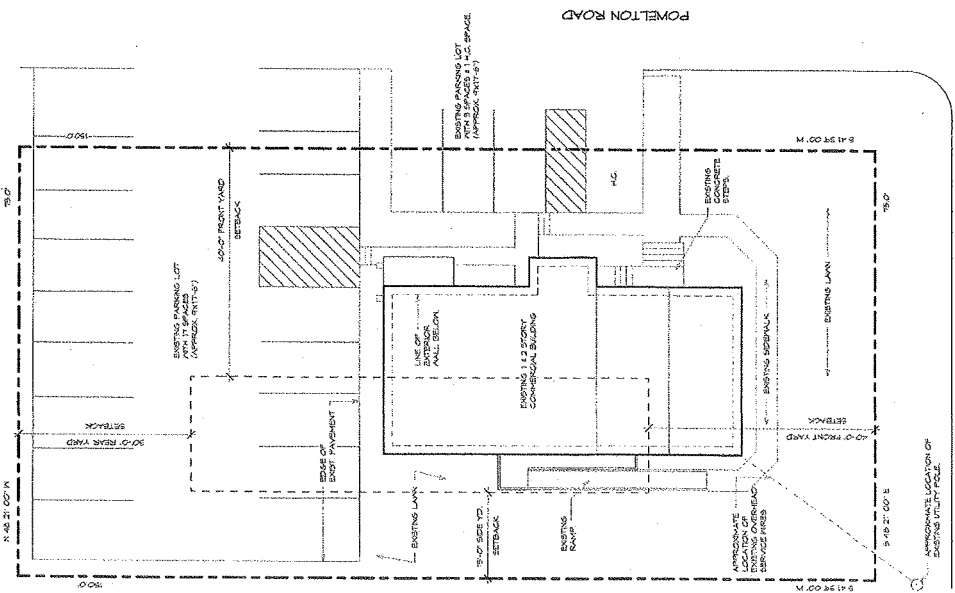
3. EXISTING SOUTH ELEVATION
BX1 2/20/2014



4. EXISTING NORTH ELEVATION
BX1 2/20/2014



5. EXISTING EAST ELEVATION
BX1 2/20/2014



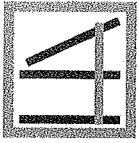
1. EXISTING SITE PLAN
BX1 2/20/2014

NORTH PLANK ROAD

NOTES:
1. ALL DIMENSIONS AND LOCATIONS ARE SHOWN ON THIS SET OF DRAWINGS UNLESS OTHERWISE INDICATED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE INDICATED.
2. ADDITIONAL SITE INFORMATION OBTAINED BY HIGHLANDS ARCHITECTURE, PLLC.

APPROXIMATE LOCATION OF EXISTING UTILITY POLES

14-021003-P-01



**HIGHLANDS
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pkc

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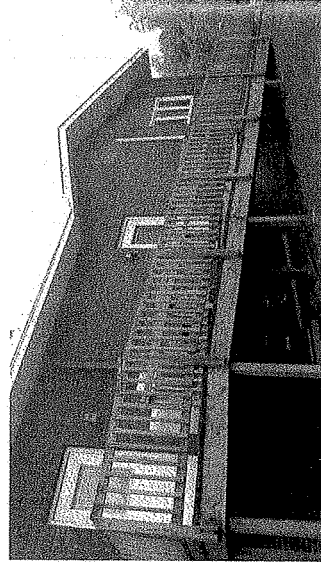
SITE & BUILDING
PHOTOS

EX-2

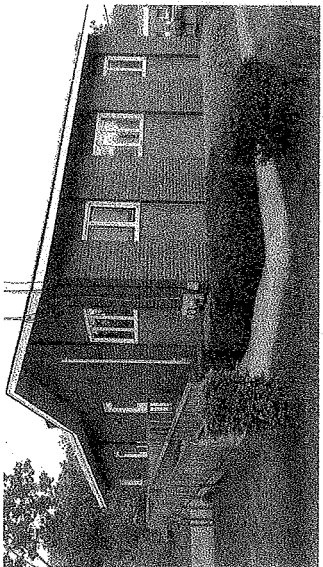
DATE	8/20/2018
PERSON	PAVANI, DR. PAVANI
ADDRESS	1 POWLTON ROAD
CITY	NEWBURGH, NY
STATE	NY
COUNTY	NY



2. SITE PHOTO - NORTH WEST SIDE



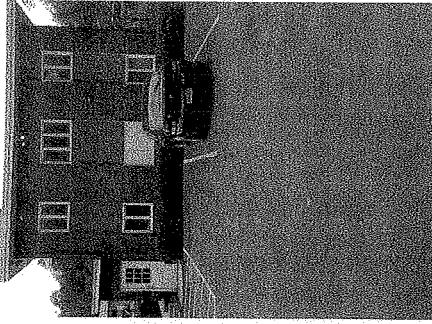
1. SITE PHOTO - WEST SIDE



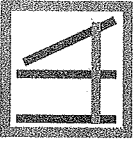
1. SITE PHOTO - SOUTH WEST SIDE



1. SITE PHOTO - EAST SIDE



3. SITE PHOTO - NORTH SIDE



**HIGHLANDS
ARCHITECTURE**
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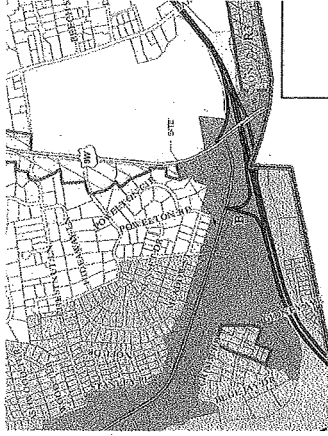
NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAVAM
1 POWELL ROAD
NEW BRITAIN, NY 12550



PROPOSED SITE
PLAN

SP-1

DATE	1.14.2018
REVISION / ADJUST SHEET NO.	
DESIGNED BY	
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DATE	



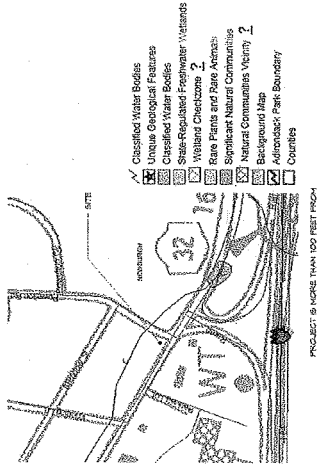
3 PARTIAL ZONING MAP
SP-1



5 FLOOD PLAN MAP
SP-1



2 LOCATION MAP
SP-1

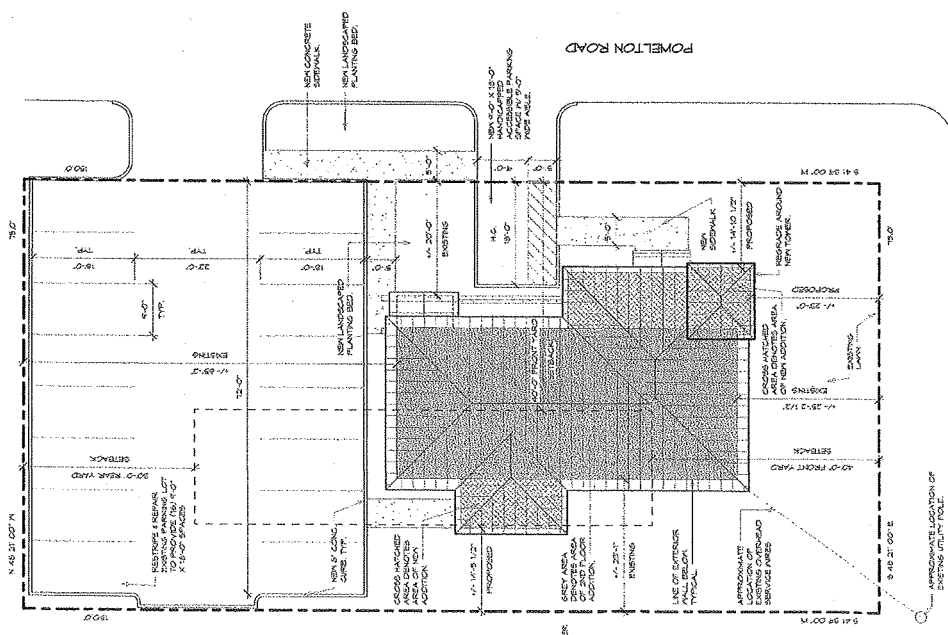


4 WETLANDS MAP
SP-1

ZONING INFORMATION

LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YD.	REAR YD.	SEAR YD.	LOT SURF. COV.	BLDG. FT.	LOT SURFACE COV.
10,000 SF	100 FT	40 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
12,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
14,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
16,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
18,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
20,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
22,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
24,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
26,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
28,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
30,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
32,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
34,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
36,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
38,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
40,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
42,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
44,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
46,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
48,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
50,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
52,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
54,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
56,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
58,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
60,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
62,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
64,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
66,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
68,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
70,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
72,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
74,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
76,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
78,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
80,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
82,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
84,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
86,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
88,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
90,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
92,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
94,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
96,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
98,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%
100,000 SF	75 FT	50 FT	40 FT	15 FT	15 FT	100%	28 FT	100%

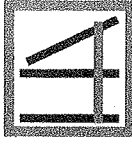
ZONING INFORMATION



PROPOSED SITE PLAN

- NOTES
- EXISTING UTILITIES AND BOUNDARIES SHOWN. THE BUILDING AND PARKING AREAS SHOWN ARE APPROXIMATE. THE EXISTING UTILITIES AND BOUNDARIES SHOWN ARE APPROXIMATE. THE EXISTING UTILITIES AND BOUNDARIES SHOWN ARE APPROXIMATE.
 - ADDITIONAL SITE INFORMATION DOCUMENTED BY HIGHLANDS ARCHITECTURE, PLLC.
 - APPROXIMATELY 30 CUBIC YARDS OF MATERIAL TO BE DISEMPOWERED.

APPROXIMATE LOCATION OF EXISTING UTILITIES



**HIGHLANDS
ARCHITECTURE**
pk

322 ROUTE 9
COLD SPRING, NY 0516
645.609.5975 OFFICE
highlandsarchitect.com

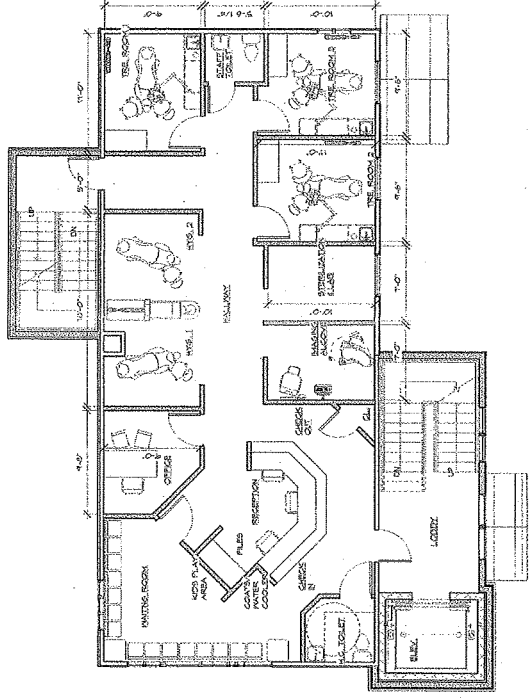
NEW PEDIATRIC DENTAL OFFICE FOR
DR. PAVANI
1 POWELL ROAD
MIRBACH, NY 12550



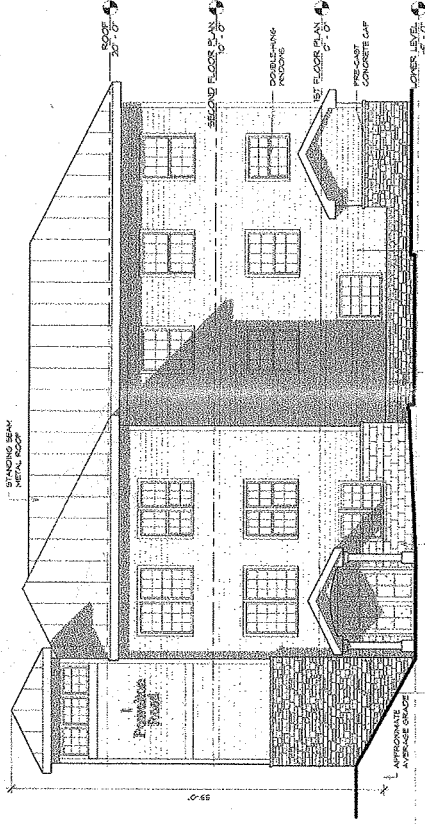
PROPOSED PLANS
EAST ELEVATION

A-1

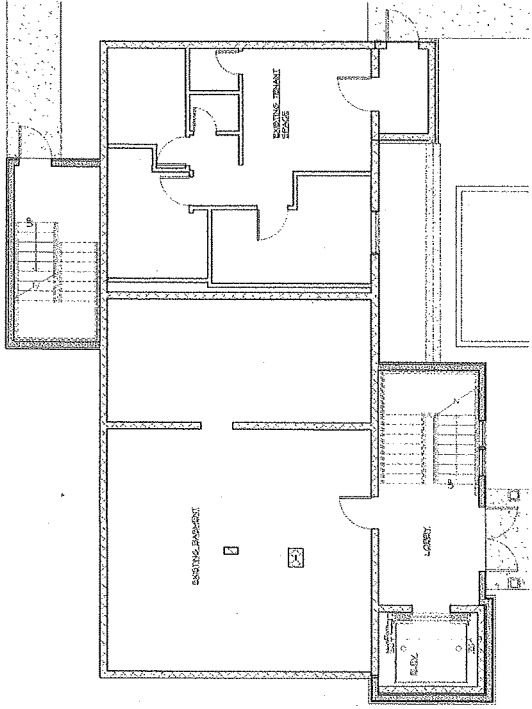
DATE: 8.06.18
DESIGNED: AUGUST 2018 PER PLANS
REVISIONS: 11/18
DRAWN BY: SW
CHECKED BY: SW



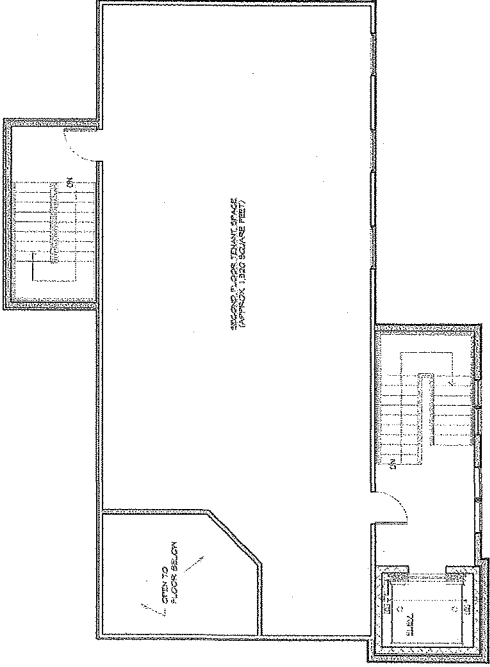
2 PROPOSED LAYOUT PLAN
A1 2/8" = 1'-0"



4 SIDE ELEVATION (EAST)
A1 2/8" = 1'-0"



1 LOWER LEVEL
A1 2/8" = 1'-0"



3 SECOND FLOOR PLAN
A1 2/8" = 1'-0"