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CONSULTING ENGINEERS D.P.C.

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Principal Emeritus:
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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MADISON ROSE PROPERTIES
PROJECT NO.: 18-21
PROJECT LOCATION: SECTION 16, BLOCK 3, LOT 11.1
REVIEW DATE: 29 NOVEMBER 2018
MEETING DATE: 6 DECEMBER 2018
PROJECT REPRESENTATIVE: TALCOTT ENGINEERING/CHARLES BROWN

1. The proposed amended subdivision is to remove a note stating “not for residential purposes at this time” from a large subdivision approved in 1993. The undersigned has discussed the above referenced note with a current employee of MH&E who worked for the original design engineer in 1993. It is noted that at the time shallow absorption trench systems were not considered conventional sanitary sewer systems and fill systems were not permitted for new subdivisions. While such a lot would not be permitted under current regulations and policies this lot was created as a non building lot. The Applicants have obtained approval from the Orange County Health Department on 12 August 2015 for a subsurface sanitary sewer disposal system utilizing proprietary Elgin laterals and a shallow absorption trench system.
2. In order to remove the notes an amended subdivision approval is required.
3. It is recommended that an additional sheet be provided containing the Town of Newburgh required septic system notes and water system notes and details for connection to the municipal water system in Foxwood Drive South. In addition the plans should be stamped by a NYS licensed surveyor as the engineered plan submitted to County Health specifically states it does not represent a boundary survey and property lines are shown only for reference purposes.
4. For reference it is noted that the sanitary sewer disposal system approved by the county was for a two bedroom maximum residence.
5. A Public Hearing is required for the amended subdivision approval.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
MADISON ROSE PROPERTIES RESIDENTIAL SIDE PLAN
2. Owner of Lands to be reviewed:

Name	<u>SNAGGLETUOTH DEVELOPMENT CORP</u>
Address	<u>781 GARTH RD, APT 5F</u>
	<u>SCARSDALE, NY 10583</u>
Phone	<u>646-306-4327</u>
3. Applicant Information (If different than owner):

Name	<u>MADISON ROSE PROPERTIES LLC</u>
Address	<u>ATTN: RICHARD SAULEN</u>
	<u>741 HEWITT CANE</u>
	<u>NEW WINDSOR, NY 12553</u>
Representative	<u>CHARLES T. BROWN, PE / TALCOTT ENGINEERING</u>
Phone	<u>845-569-8400</u>
Fax	<u>845-569-4583</u>
Email	<u>TALCOTTDESIGN12@GMAIL.COM</u>
4. Subdivision/Site Plan prepared by:

Name	<u>CHARLES T. BROWN / TALCOTT ENGINEERING</u>
Address	<u>1 GARDNERTOWN ROAD</u>
	<u>NEWBURGH, NY 12550</u>
Phone/Fax	<u>845-569-8400 / 845-569-4583</u>
5. Location of lands to be reviewed:
119 FOXWOOD DRIVE SOUTH
6. Zone R-2 Fire District CRONONER VALLEY
Acreage 0.51 School District NEWBURGH
7. Tax Map: Section 16 Block 3 Lot 11.1

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1
Lot line change NO
Site plan review YES
Clearing and grading NO
Other NO

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) NONE

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature *Richard Swartz* Title *applicant*


Date: 11/14/18

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

11. Surveyor,s Certification
12. Surveyor's seal and signature
13. Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. 1 Number of lots including residual lot
24. N/D Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. N/A Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

- 30. Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31. If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32. Number of acres to be cleared or timber harvested
- 33. Estimated or known cubic yards of material to be excavated and removed from the site
- 34. Estimated or known cubic yards of fill required
- 35. The amount of grading expected or known to be required to bring the site to readiness
- 36. Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 37. Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
 Licensed Professional

Date: 11/14/08

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: _____

Name of owner on premises: _____

Address of owner: _____

Telephone number of owner: _____

Telephone number of applicant: _____

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Location of land on which proposed work will be done: _____

Section: _____ Block: _____ Lot: _____ Sub. Div.: _____

Zoning District of Property: _____ Size of Lot: _____

Area of lot to be cleared or graded: _____

Proposed completion of date: _____

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ Date: _____

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Richard Stulkin
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

11/14/18
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

Nov. 2, 2018

SNAGGTOOTH DEVELOPMENT CORPORATION
281 GARTH ROAD
APT. 5F
SCARSDALE, NY
10583

From: Snaggletooth Development Corporation
To: Town of Newburgh Building Department
Subject: Contract Vendee Letter
Re: Sec. 16 Bk 3 Lot 11.1 119 Foxwood Drive South

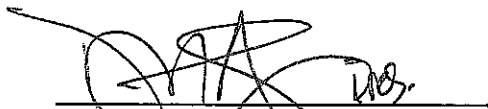
Dear Sir:

This letter is to confirm that Madison Rose Properties LLC with a mailing address of 741 Hewitt Lane New Windsor, NY 12553 is in contract to purchase the subject vacant lot on 119 Foxwood Drive South from Snaggletooth Development Corporation located at the above address.

Madison Rose Properties is allowed to apply for a building permit on the subject lot and transact any other business with the municipality of the Town of Newburgh regarding the subject property.

Please call me at 646-306-4327 if you have any questions.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'D. Amatuzzo Jr.', written over a horizontal line.

Daniel Amatuzzo Jr.
Snaggletooth Development Corporation -President

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

11/14/18

DATED

Richard Shulkin

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

Short Environmental Assessment Form


Part 1 - Project Information

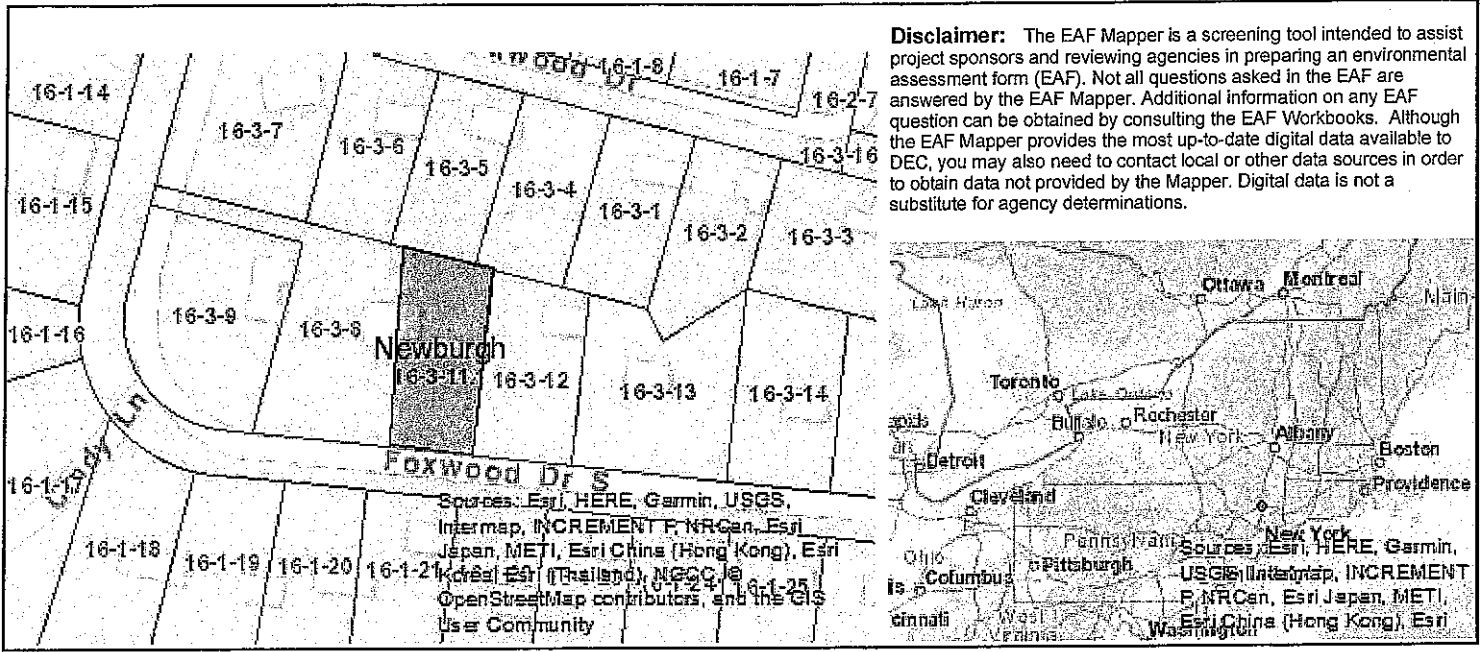
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
			TED # 18319-SEH
Name of Action or Project: MADISON ROSE PROPERTIES, LLC RESIDENTIAL SITE PLAN			
Project Location (describe, and attach a location map): 119 FOXWOOD DRIVE SOUTH, NEWBURGH, NY 12550			
Brief Description of Proposed Action: REMOVE NOTE "NOT FOR RESIDENTIAL PURPOSES AT THE TIME" FROM A LOT			
Name of Applicant or Sponsor: MADISON ROSE PROPERTIES, LLC ATTN:RICHARD SHULKIN		Telephone: 845-542-1169 E-Mail: RICHS@NYESTATES.NET	
Address: 741 HEWITT LANE			
City/PO: NEW WINDSOR		State: NY	Zip Code: 12553
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ 0.51 acres			
b. Total acreage to be physically disturbed? _____ 0.25 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.51 acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant <u>sponsor</u> name: CHARLES T, BROWN, PE Date: 11-13-2018</p> <p>Signature:  _____</p>		



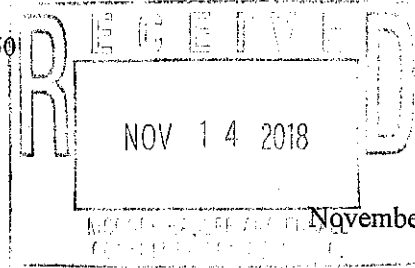
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Talcott Engineering

DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550
(845) 569-8400* ~ (fax) (845) 569-4583



Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, NY 12550

NOVEMBER 14, 2018

Attn: John Ewasutyn, Chairman

Re: Project Narrative

Town Project No. 2018-21
Madison Rose Properties, LLC Residential Site Plan
119 Foxwood Drive, South
SBL: 16-3-11.1
R-2 Zone
Job No. 18319-SEH

PROJECT NARRATIVE

The proposed project is to remove the "Not for residential purposes at this time" note from the above referenced lot, as discussed with Pat Hines. The lot was created with filed Map #256-93 and meets current zoning. The septic system for this lot was approved by the Health Department on August 12, 2015.

Attached please find 12 Planning Board Applications, 12 sets of plans, and 12 copies of an EAF short form, along with this narrative and checks for the application fees (\$700), public hearing fee (\$150), and escrow (\$2,200). I will FedEx 1 copy to Michael Donnelly and will deliver 1 copy to Pat Hines.

Respectfully yours,

Charles T. Brown, P.E. – President
Talcott Engineering

Pc; Rich Shulkin, Client

TOPOGRAPHY FOR LANDS OF: SNAGGLETOOTH DEVELOPMENT CORP.

119 FOXWOOD DRIVE SOUTH,
TOWN OF NEWBURGH,
COUNTY OF ORANGE, STATE OF NEW YORK

SCALE: 1" = 20 FEET
DATE: OCTOBER 22, 2014

TAX MAP DESIGNATION: SECTION 16, BLOCK 3, LOT 11.1
DEED REFERENCE: LIBER 11738 PAGE 1042

- NOTES:
- THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES, IF SHOWN ARE FOR REFERENCE PURPOSES ONLY.
 - THE TOPOGRAPHY IS BASED ON ACTUAL FIELD LOCATION, AND HAS BEEN TIED INTO NAVD 88 ELEVATIONS USING THE RTN AT NYS DOT.
 - GRID NORTH AND THE NAVD 88 ELEVATIONS ARE BASED ON NYS STATE PLANE, EASTERN ZONE COORDINATES, AS CONNECTED TO THE RTN AT NYS DOT GPS.

PREPARED BY:
MARGARET M. HILLRIEGEL
LICENSED
LAND SURVEYOR
372 OREGON TRAIL
PINE BUSH, NEW YORK 12566
PHONE #: (845) 744-2072

LEGEND

- PERC TEST LOCATION
- DEEP TEST PIT LOCATION
- STONEWALL
- UTILITY BOX
- FIRE HYDRANT
- WATER VALVE
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE
- BUILDING SETBACK ENVELOPE

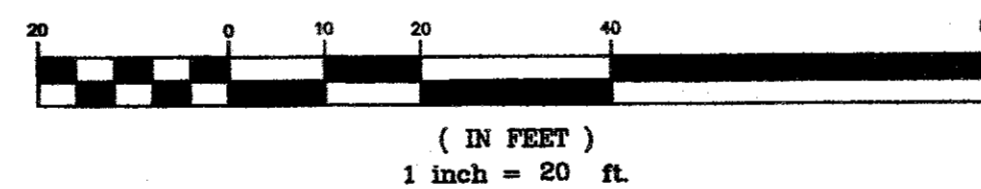
WASTEWATER DISPOSAL DESIGN

DESIGN FLOW OF 2 BEDROOM DWELLING: 220 GPD
SLOWEST STABILIZED PERCOLATION RATE: 15:15 (AT DEPTH OF TRENCHES)
DESIGN PERCOLATION RATE: 60:00
DESIGN APPLICATION RATE: 0.45 GPD/SF
MIN CONVENTIONAL TRENCH REQUIRED: 245 LF
MIN ELJEN TRENCH REQUIRED: 82 LF
ELJEN TRENCH PROPOSED: 88 LF

SCHEDULE OF SANITARY ELEVATIONS

FLOOR ELEV OF TRENCH BOTTOMS: 514.5
BOTTOM ELEV OF IN-DRAIN UNITS: 515.0
INV OF PERFORATED DISTRIBUTOR PIPE: 515.6
DISTRIBUTION BOX INV OUT: 515.7
DISTRIBUTION BOX INV IN: 515.87
SEPTIC TANK OUTLET: 516.25
SEPTIC TANK INLET: 516.50
LOWEST SEWERABLE HOUSE ELEV: 516.7

GRAPHIC SCALE



BULK REQUIREMENTS

ZONING DISTRICT: R-2
C.1.1C SINGLE FAMILY DWELLINGS, NOT TO EXCEED 1 (ONE) DWELLING LOT WITH EITHER PUBLIC WATER OR PUBLIC SEWER SYSTEMS.

	REQUIRED	PROPOSED
LOT AREA	17,500 sf min	22,100± sf
LOT WIDTH	100 ft min	101 ft (AT SETBACK)
LOT DEPTH	125 ft min	+210 ft
FRONT YARD	40 ft min	103± ft
ONE SIDE YARD	15 ft min	+15 ft
BOTH SIDE YARDS	30 ft min	+30 ft
REAR YARD	40 ft min	82 ft
BUILDING HEIGHT	35 ft max	<35 ft
LOT SURFACE COVERAGE	30% max	7 %
LOT BUILDING COVERAGE	15% max	5 %

SOIL DATA

SOIL TESTING IN 2005 PERFORMED BY GREGORY SHAW, PE
TESTS DENOTED WITH THE PREFIX "J" WERE WITNESSED BY OCHD

	START	STOP	RATE
PT 1A (24") (8/3/2005)			7 MIN
PT 1B (24") (8/3/2005)			17 MIN
PT 1C (24") (8/2/2005)			43 MIN
PT 2 (24") (8/10/2014)	1:01:25 1:18:46 1:48:34 1:24:22	1:17:39 1:46:29 1:20:39 1:58:12	16:14 27:43 32:05 33:50
PT 3 (24") (8/10/2014)	1:20:27 1:34:44 1:54:14	1:33:27 1:49:47 2:09:19	13:00 15:03 15:05
PT 4 (12") (8/15/2014)	11:00:00 11:13:45 11:29:31	11:12:16 11:28:03 11:44:46	12:16 14:18 15:15
PT 5 (12") (8/15/2014)	11:23:45 11:33:29 11:46:33	11:32:26 11:44:26 11:57:33	8:41 10:57 11:00
PT J1 (39"; 24" INTO NATIVE SOIL) (7/7/2015)			1:19 1:30 1:35
PT J2 (27"; 12" INTO NATIVE SOIL) (7/31/2015)			2:14 2:20 2:20
PT J3 (12" INTO FILL MATERIAL) (7/31/2015)			12:17 14:19 14:55
DTP 1 (8/4/2005)	0-0.4' TOP SOIL 0.4-2.8' LIGHT BROWN SILT LOAM WITH SAND, GRAVEL & COBBLES		
DTP 2 (8/4/2005)	0-0.4' TOP SOIL 0.4-2.9' LIGHT BROWN SILT LOAM WITH SAND, GRAVEL & COBBLES		
DTP 3 (8/15/2014)	0-6" TOP SOIL 6"-30" LIGHT BROWN FINE SANDY SILT		
DTP 4 (8/15/2014)	0-6" TOP SOIL 6"-24" LIGHT BROWN FINE SANDY SILT		
DTP J1 (7/31/2015)	0-20" SANDY LOAM FILL 20"-30" NATIVE ROOT MAT 30"-59" SILT LOAM W/ GRAVEL & COBBLE 59" ROCK REFUSAL		

GENERAL NOTES

- TAX MAP I.D. T/O NEWBURGH SECTION 16, BLOCK 3, LOT 11.1
- OWNER OF RECORD: SNAGGLETOOTH DEVELOPMENT CORP., 150 NORTH BEDFORD ROAD, UNIT 3C CHAPPAQUA, NY 10914
- TOTAL AREA OF PARCEL: 22,100 SF ±
- ZONING DISTRICT OF PARCEL: R-2
- WATER SUPPLY: PUBLIC - T/O NEWBURGH
- WASTEWATER DISPOSAL: ON-SITE. SHALLOW TRENCH WITH ELJEN UNITS.
- INDIVIDUAL SEWAGE TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SYSTEM IS REQUIRED WITHIN ONE YEAR OF THE SYSTEM BECOMING AVAILABLE.
- PLAN APPROVAL IS LIMITED TO 5 (FIVE) YEARS. TIME EXTENSIONS FOR THE PLAN MAY BE GRANTED BY THE ORANGE COUNTY HEALTH DEPARTMENT BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- THE ENGINEER CERTIFIES THAT THE WASTEWATER DISPOSAL SYSTEM SHOWN ON THESE PLANS ARE DESIGNED IN ACCORDANCE WITH STANDARDS AND REQUIREMENTS PROMULGATED BY THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS, AND THAT THE DESIGN IS BASED ON ACTUAL SOIL AND SITE CONDITIONS FOUND ON THE LOT, AT THE DESIGN LOCATION, AT THE TIME.
- THIS OFFICE SHALL NOT PROVIDE CERTIFICATION FOR ANY PROPOSED SYSTEM DEPICTED ON THIS PLAN UNLESS IT IS DIRECTLY INVOLVED IN THE SUPERVISION OF ITS CONSTRUCTION.
- A NYS LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY HEALTH DEPT. AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT THE ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS BY A NYS PERMITTED SANITARY WASTE HAULER.
- DISTRIBUTION BOX SHOULD BE INSPECTED PERIODICALLY TO ASSURE IT IS LEVEL AND OPERATING PROPERLY.

RESERVED FOR DEPARTMENT OF HEALTH APPROVAL

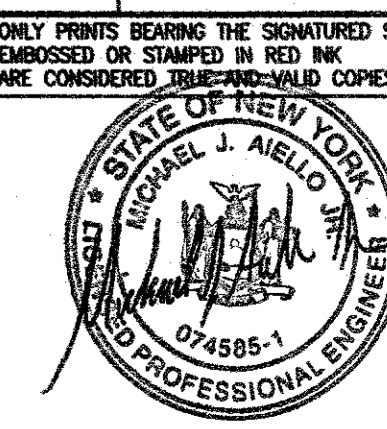
MICHAEL J. AIELLO, PE, PLLC
P.O. BOX 226
MONTGOMERY, NY 12549
845-778-0230

DATE: OCTOBER 22, 2014
REV. DATE: 11/25/2014
7/31/2015

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 2209-2 OF THE NYS EDUCATION LAW.

SANITARY PLAN
FOR
SNAGGLE TOOTH DEVELOPMENT, CORP

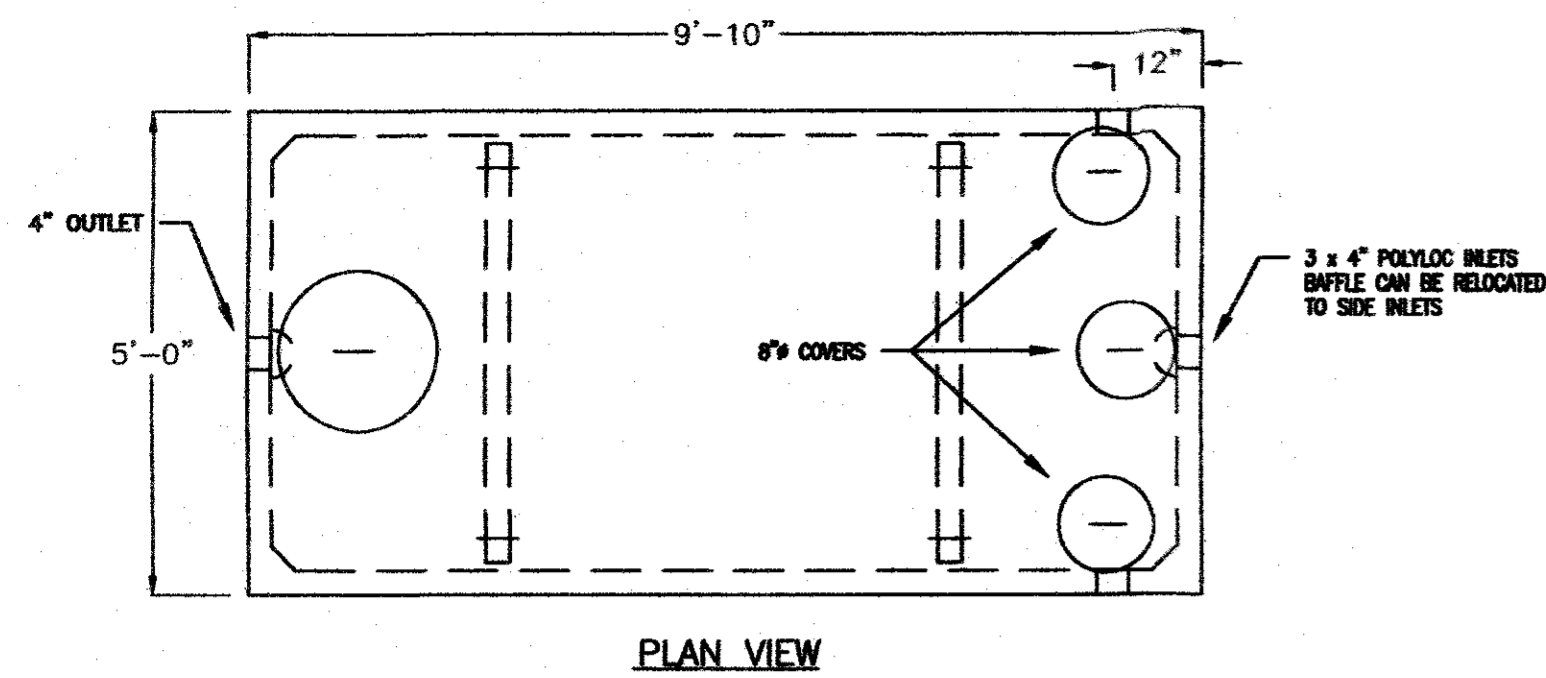
TAX MAP # 16-3-11.1 FOXWOOD DR SOUTH TOWN OF NEWBURGH
COUNTY OF ORANGE STATE OF NEW YORK DWG # 2014-1022
DRAWN BY MJA SCALE 1"=20' SHEET # 1 OF 2



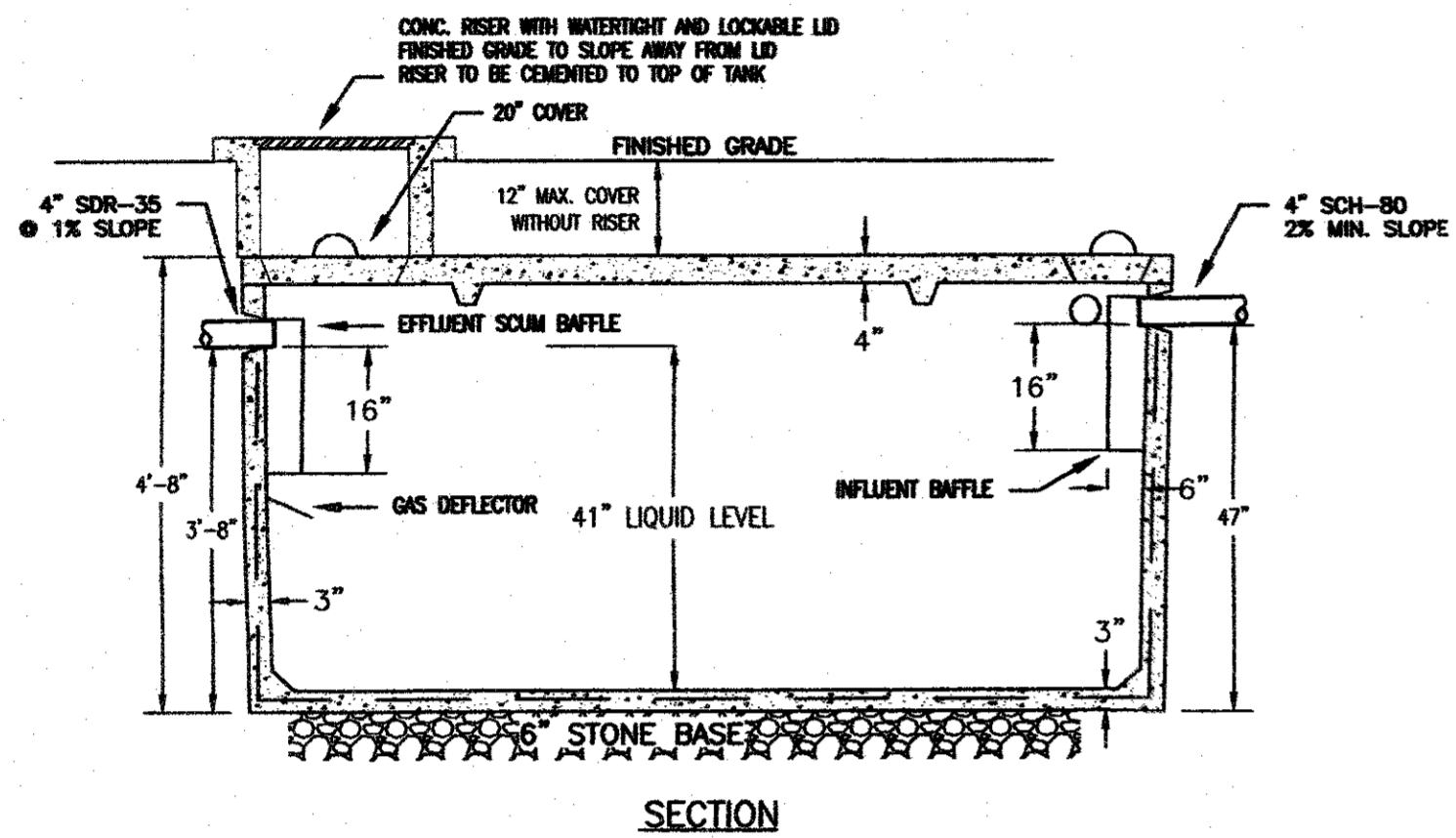
ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

These plans for sewerage disposal systems
sewer Snaggletooth Development Corp. Twp. Newburgh
Are hereby approved pursuant to Part 75 of the New York State Department of Health's Administrative Rules And Regulations (10NYCRR 75)

Edna Z. Sini



PLAN VIEW



SECTION

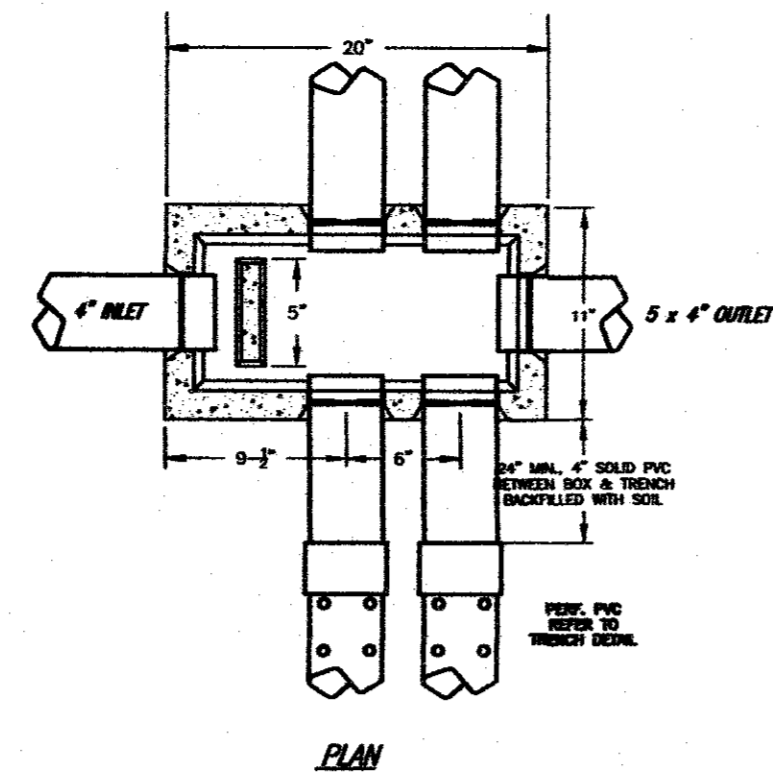
LOW PROFILE SEPTIC TANK DETAIL N.T.S.

NOTES

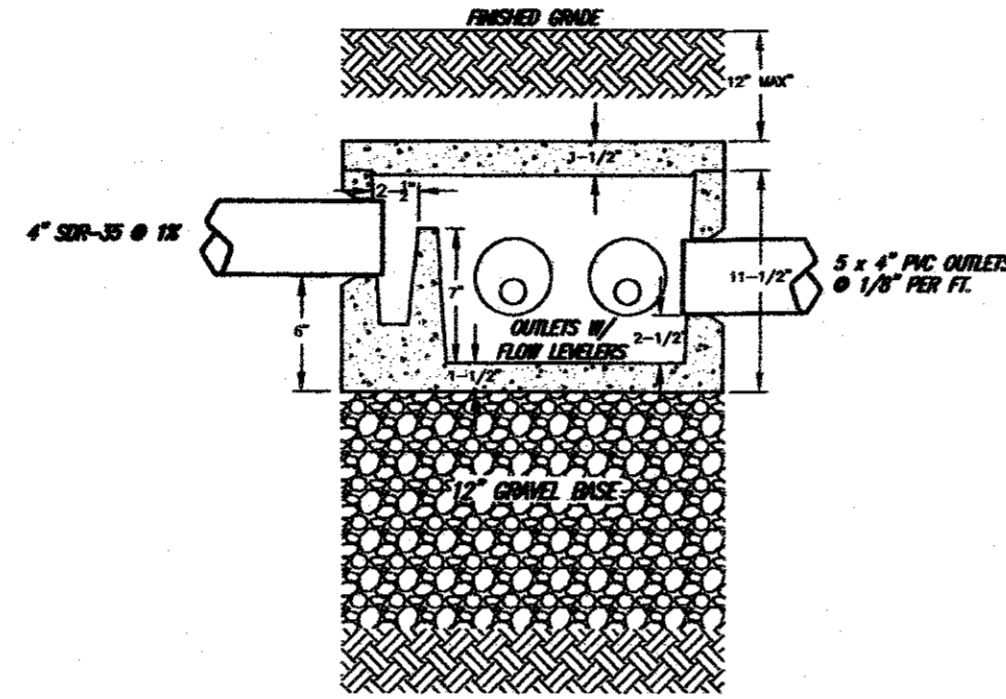
1. USE LB-1000 SEPTIC TANK BY WOODARD'S CONCRETE PRODUCTS OR APPROVED EQUAL.
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI.
3. TANK SHALL SUPPORT A MINIMUM LOAD OF 300 PSF.
4. ALL JOINTS SHALL BE SEALED WITH ASPHALTIC CEMENT.
5. IF THE GROUND COVER ABOVE THE TANK EXCEEDS 12 INCHES, THEN AN ACCESSIBLE RISER SHALL BE PROVIDED WITH A WATER TIGHT AND LOCKABLE LID.
6. THE TANK SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS BY A NYS PERMITTED SANITARY WASTE HAULER.

SEPTIC SYSTEM NOTES

1. INSTALLATION OF THIS SYSTEM SHALL BE MADE UNDER THE DIRECT SUPERVISION OF AN ENGINEER EXPERIENCED IN SMALL SANITARY FLOWS AND LICENSED TO PRACTICE IN NEW YORK STATE (NYS). THE ENGINEER SHALL CERTIFY, IN WRITING AND PRIOR TO THE OCCUPANCY, THAT THE CONSTRUCTION INCLUDING THAT THE SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER-TIGHTNESS, AND THAT THE TANK WAS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A, DIRECTLY TO THE BUILDING DEPARTMENT AND ORANGE COUNTY DEPARTMENT OF HEALTH.
2. THIS OFFICE CANNOT BE RESPONSIBLE FOR THE CONSTRUCTION OF ANY WASTEWATER DISPOSAL SYSTEM UNLESS IT IS INVOLVED IN ITS ACTUAL AND DIRECT INSTALLATION SUPERVISION.
3. THE SANITARY FACILITIES ON THESE PLANS ARE NOT TO BE RELOCATED OR REDESIGNED WITHOUT APPROVAL BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
4. THIS SYSTEM(S) WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS OR WATER TREATMENT CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
5. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "RESIDENTIAL ON-SITE WASTEWATER TREATMENT SYSTEM DESIGN HANDBOOK, 2012".
6. NO GRADING IS PERMITTED IN THE VICINITY OF THE ABSORPTION FIELD, EXCEPT FOR THAT WHICH IS SPECIFIED AND APPROVED ON THESE PLANS.
7. TOP SOIL SHALL NOT BE STRIPPED FROM ABOVE THE ABSORPTION FIELD.
8. THE PERIMETER OF THE ABSORPTION FIELD SHALL BE GRADED TO DIVERT RUNOFF AWAY FROM THE DISPOSAL AREA.
9. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELD(S) EXCEPT DURING ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF ABSORPTION FIELD(S) BEFORE, DURING OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUCE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
10. ALL PORTIONS OF THE ABSORPTION FIELD SHALL BE A MINIMUM DISTANCE OF 200 FT UP-GRADE AND 100 FT DOWN-GRADE FROM ANY WELL.
11. CELLAR DRAINS, ROOF DRAINS AND FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ANY WELL OR THE SANITARY DISPOSAL SYSTEM. ALL DRAIN PIPES MUST EXTEND TO DAYLIGHT AND DISCHARGE IN THE VICINITY OF EXISTING SWALES OR DRAINAGE IMPROVEMENTS.
12. DRIVEWAYS OR PARKING AREAS SHALL NOT BE CONSTRUCTED OVER THE ABSORPTION FIELD AFTER ITS INSTALLATION.
13. NO SWIMMING POOLS OR STRUCTURES THAT MIGHT COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD FOLLOWING ITS INSTALLATION.
14. THE SEPTIC TANK SHALL BE LOCATED AT LEAST 10 FEET FROM ANY FOUNDATION OR PROPERTY LINE.
15. THERE MUST BE UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE BUILDING, THEREBY ALLOWING GASES TO DISCHARGE THROUGH THE STACK VENT.
16. THE HOUSE SEWER SHALL BE 4" CI OR SCH-80 PVC WITH A MINIMUM SLOPE OF 1/4" PER FOOT (2%).
17. THE SEWER PIPE SHALL PENETRATE THE FOUNDATION THROUGH A CORE-DRILLED OPENING AT LEAST 2 (TWO) NOMINAL PIPE SIZES LARGER (8") WITH THE VOID SPACE GROUTED AFTER PIPE INSTALLATION.
18. NO PIPE JOINT SHALL BE WITHIN 36" OF THE FOUNDATION WALL.
19. THE PIPE FROM THE SEPTIC TANK TO THE DISTRIBUTION BOX SHALL BE 4" SDR-35 PVC AND BE SLOPED AT A MINIMUM PITCH OF 1/8" PER FOOT (1%).
20. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM THE SEPTIC TANK, CHAMBERS OR DISTRIBUTION BOX(ES) IS NOT STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCES OR EXITS THEN CLEANOUTS ARE REQUIRED AT THESE POINTS.
21. ALL PIPE PENETRATIONS IN TANKS, CHAMBERS OR BOXES SHALL BE GROUTED.
22. THE HOMEOWNER(S) SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE "AS-BUILT" RECORD DRAWING OF THE WATER SUPPLY AND WASTEWATER TREATMENT FACILITIES.

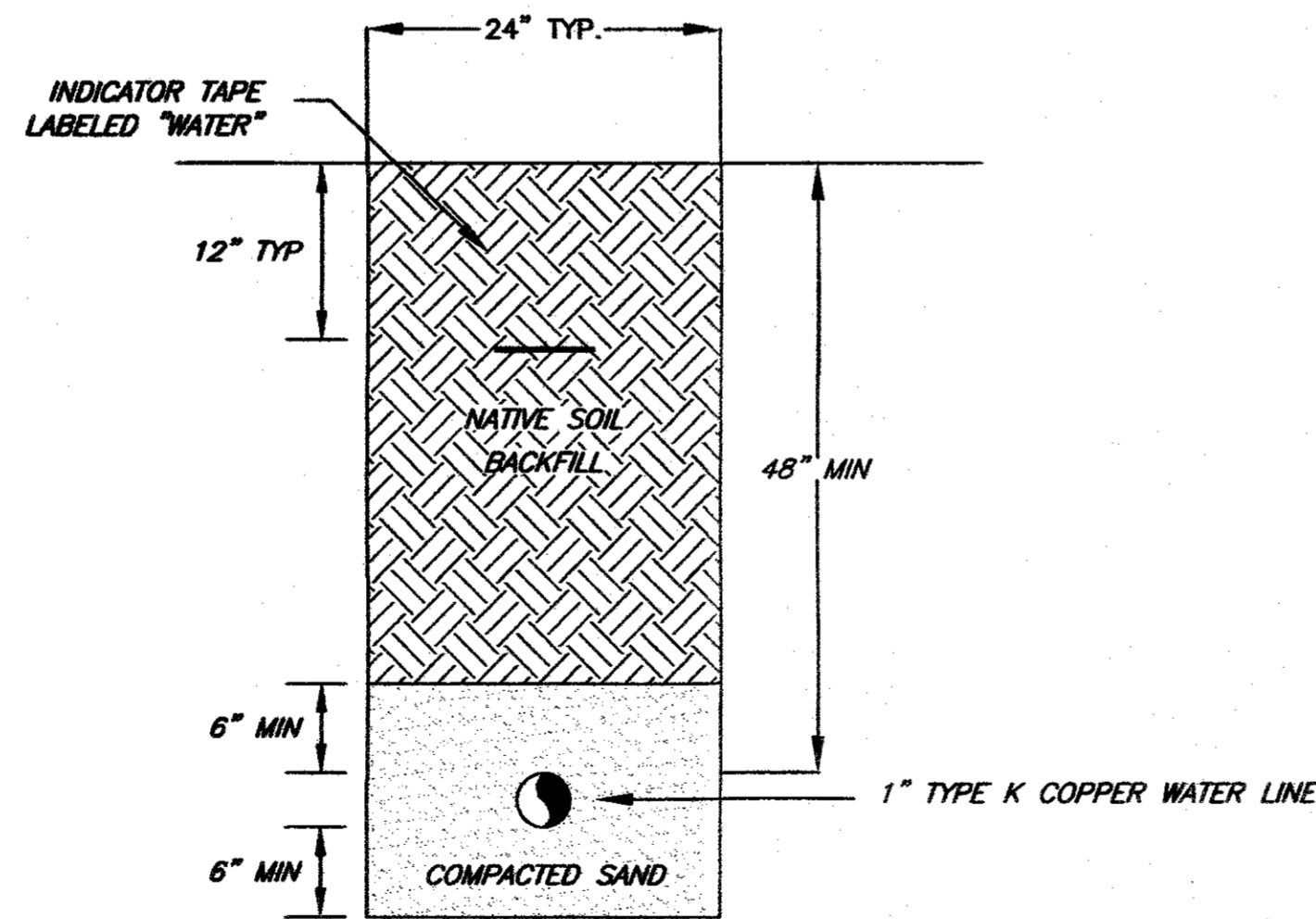


PLAN

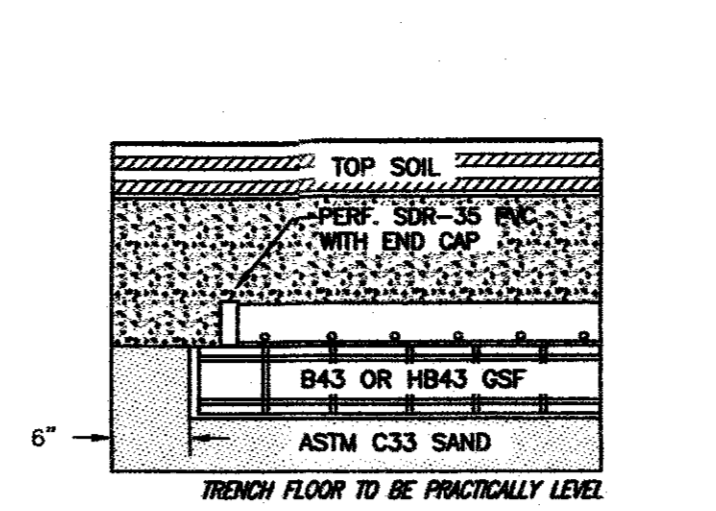


SECTION

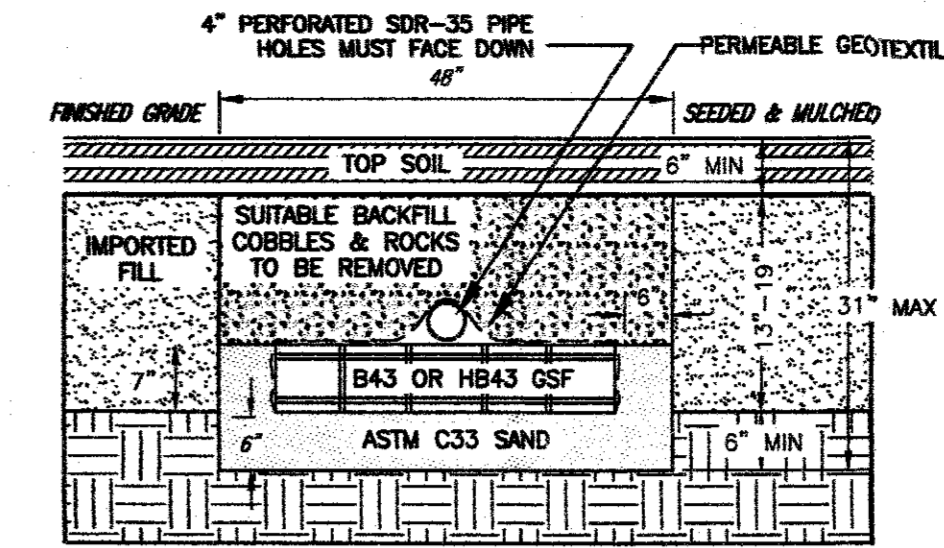
PRECAST DISTRIBUTION BOX DETAIL



WATER SERVICE TRENCH N.T.S.



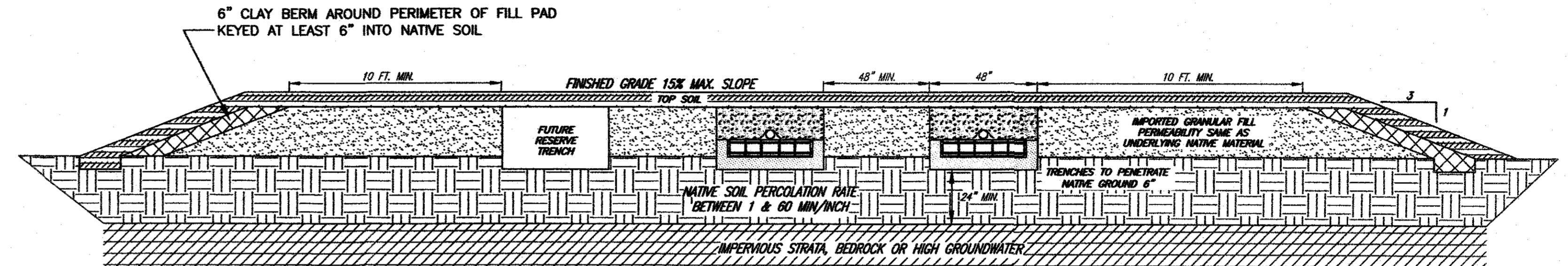
ELJEN GSF SHALLOW TRENCH PROFILE



ELJEN GSF SHALLOW TRENCH SECTION

ASTM C-33 SAND

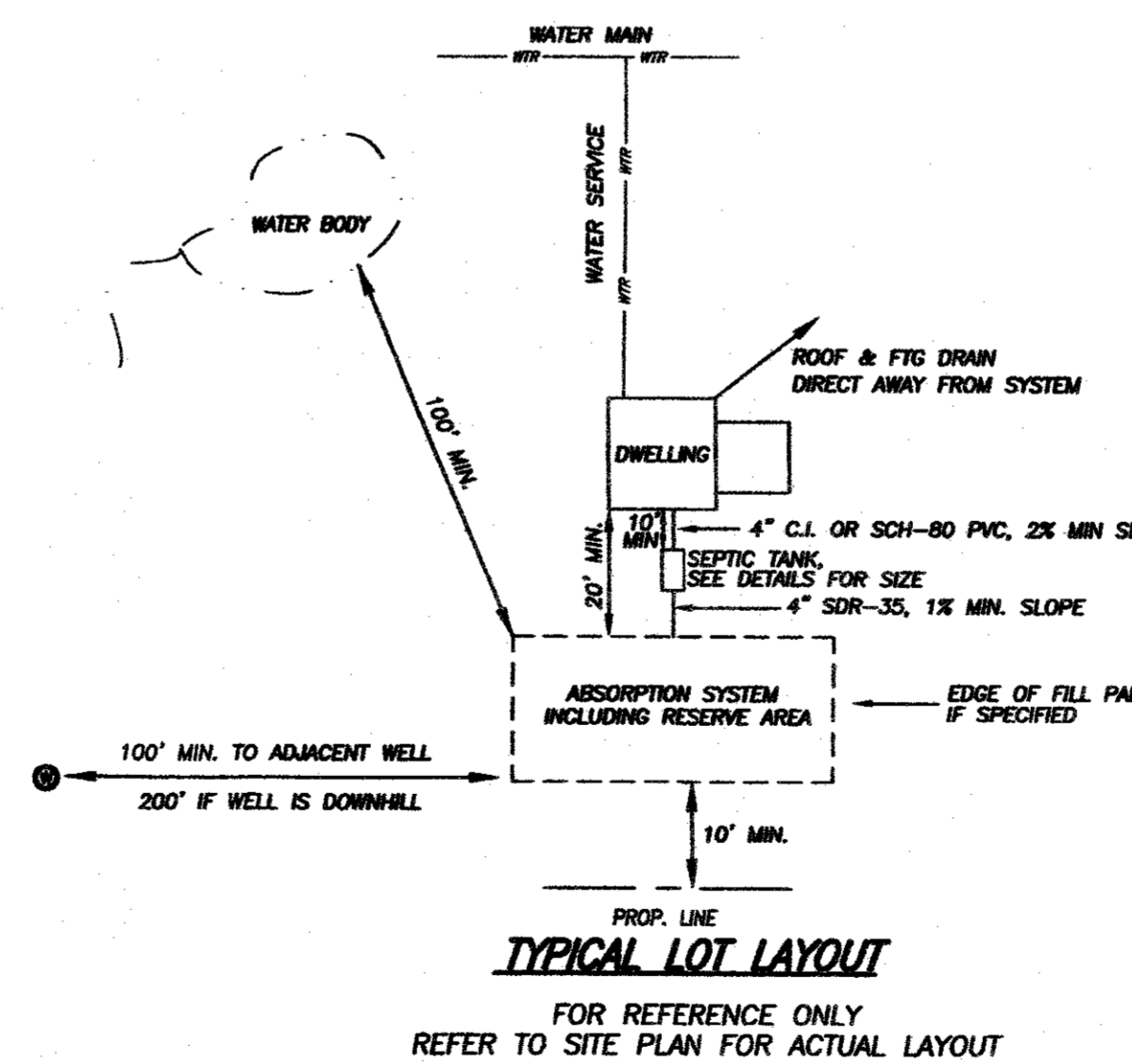
SIEVE SIZE	PERCENT PASSING
3/8 INCH	100%
NO. 4	95% - 100%
NO. 8	80% - 100%
NO. 16	50% - 85%
NO. 30	25% - 60%
NO. 50	5% - 30%
NO. 100	<10%
NO. 200 (WEI)	<5%



ELJEN GRAVELLESS SAND FILTER (GSF) SHALLOW FILL PAD SECTION N.T.S. SECTION A-A

NOTES

1. PROPERTY OWNERS AND CONTRACTORS ARE ADVISED THAT UNDER NO CIRCUMSTANCES IS THE PROPOSED LEACH FIELD AREA TO BE DISTURBED.
2. IN THE EVENT THAT TREE AND HEAVY BRUSH MUST BE REMOVED, IT SHALL BE ACCOMPLISHED WITH A BRUSH HOG AND MANUAL TREE CUTTING AT AT GRADE ONLY. LOW STUMPS AND ROOTS SHALL NOT BE DISPLACED OR REMOVED UNLESS IT IS THE DIRECT LINE OF AN ABSORPTION TRENCH.
3. PRIOR TO ANY CONSTRUCTION ON THE SITE, THE ABSORPTION FIELD AND RESERVE AREA SHALL BE ACCURATELY IDENTIFIED BY FIELD STAKES AND ALL CONTRACTORS SHALL BE INSTRUCTED TO AVOID ANY DISTURBANCE INCLUDING VEHICLE PARKING AND ANY AND ALL STORAGE INCLUDING STOCKPILED SOIL THAT HAS BEEN EXCAVATED.
4. TRENCHES SHALL NOT BE CONSTRUCTED WHEN SOIL IS WET OR SATURATED.
5. TRENCHES SHALL BE SET PARALLEL TO GRADE CONTOURS AND NOT, NECESSARILY, PARALLEL TO EACH OTHER.
6. TRENCHES SHALL BE SPACED A MINIMUM OF 8 (EIGHT) FEET ON CENTER.
7. A MINIMUM OF 48" OF UNDISTURBED SOIL SHALL REMAIN BETWEEN TRENCH WALLS.
8. A MINIMUM OF 24" UNDISTURBED SOIL SHALL REMAIN BETWEEN TRENCH BOTTOMS AND GROUNDWATER, LEDGE ROCK OR ANY IMPERVIOUS SOIL.
9. TRENCH BOTTOMS SHALL BE SET PRACTICALLY LEVEL.
10. SIDES AND BOTTOM OF TRENCHES SHALL BE RAKED IMMEDIATELY PRIOR TO PLACEMENT OF THOROUGHLY WASHED ASTM C-33 CONCRETE SAND.
11. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION TO AVOID UNDUCE COMPACTION RESULTING IN A CHANGE OF THE ABSORPTION CAPACITY.
12. BELL ENDS OF PIPES SHALL BE INSTALLED AT THE UPSTREAM DIRECTION OF FLOW.
13. ENDS OF LATERALS SHALL BE CAPPED.
14. HOLES OF THE DISTRIBUTION LATERALS MUST FACE DOWN.
15. FINISHED GRADE TOP SOIL SHALL BE SLIGHTLY MOUND TO ACCOUNT FOR SETTLING, SEEDED WITH GRASS AND STABILIZED WITH STRAW MULCH.
16. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY. THESE PROCEDURES CAN BE FOUND ON PAGES 58-61 OF THE NYSDOH DESIGN HANDBOOK.
17. THE OWNER/APPLICANT SHALL ALSO BE ADVISED THAT ELJEN SPECIFICALLY EXCLUDES ITS IN-DRAIN UNITS FROM WARRANTY COVERAGE IF USED IN A COMMERCIAL APPLICATION.



TYPICAL LOT LAYOUT

FOR REFERENCE ONLY
REFER TO SITE PLAN FOR ACTUAL LAYOUT

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
By direction of the State Commissioner of Health
these plans are hereby approved pursuant to the
Public Health Law. See first sheet for date and
signature.

RESERVED FOR DEPARTMENT OF HEALTH APPROVAL

MICHAEL J. AIELLO, PE, PLLC
P.O. BOX 226
MONTGOMERY, NY 12549
845-778-0230

REV. DATE	REVISION DESCRIPTION
11/25/2014	OCHD COMMENTS
7/31/2015	OCHD COMMENTS

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NYS EDUCATION LAW.

SANITARY DETAILS
FOR
SNAGGLE TOOTH
DEVELOPMENT CORP

TAX MAP # 16-3-11.1 FOXWOOD DR SOUTH TOWN OF NEWBURGH
COUNTY OF ORANGE STATE OF NEW YORK DWG # 2014-1022
DRAWN BY MJA N.T.S. SHEET # 2 OF 2

