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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MADAN SUBDIVISION
PROJECT NO.: 20-06
PROJECT LOCATION: SECTION 8, BLOCK 1, LOT 52.2
REVIEW DATE: 27 APRIL 2020
MEETING DATE: 7 MAY 2020
PROJECT REPRESENTATIVE: MECURIO-NORTON-TAROLLI-MARSHALL ENGINEERING

1. A proposed 10-foot easement on Lot #3 is proposed for the relocation of the utility line to Lot #1. The adequacy of the 10-foot width should be evaluated based on the need for future maintenance. Timing of the relocation should be discussed with regard to the relocation being required prior to the filing of the subdivision plat.
2. Sight distance measurements identify that clearing is required to provide adequate sight distance. The clearing required should be shown on the plans and appropriate site clearing easements should be required.
3. Town of Newburgh standard note requiring a certification letter by a design professional as well as a stamped as built plan must be submitted to the Building Dept. prior to the issuance of a Certificate of Occupancy must be added to the plan.
4. Orange County Planning referral is required as the project is located at the Town of Plattekill/Ulster County boundary. Referral to the Town of Plattekill is also required.
5. Highway Superintendent review of driveways should be received. Consideration of a shared driveway for the new lots should be undertaken. A common access point may be beneficial allowing the driveway to separate once on the individual lots.
6. The EAF submitted identifies the project being within the Shawangunk Mountain Scenic Bylaw area.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Madan Subdivision

2. Owner of Lands to be reviewed:

Name Robert P. & Deborah C. Madan

Address 757 Orchard Drive

Newburgh, NY 12589

Phone 518-331-8907

3. Applicant Information (If different than owner):

Name Same as Owner

Address _____

Representative Mercurio-Norton-Tarolli-Marshall (MNTM) Engineering & Land Surveying

Phone 845-744-3620

Fax _____

Email mntm@mntm.co

4. Subdivision/Site Plan prepared by:

Name Mercurio-Norton-Tarolli-Marshall (MNTM) Engineering - Land Surveying

Address PO Box 166

Pine Bush, NY 12566

Phone/Fax 845-744-3620

5. Location of lands to be reviewed:

Orchard Drive

6. Zone AR

Acreeage 6.448 acres

Fire District Plattekill

School District Wallkill

7. Tax Map: Section 1 **Block** 1 **Lot** 132

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 3

Lot line change _____

Site plan review _____

Clearing and grading as associated with proposed minor subdivision

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None known

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Project Engineer

Date: 3-17-2020

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Madan Subdivision

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

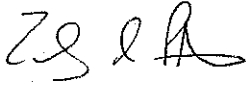
II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. Surveyor,s Certification
12. Surveyor's seal and signature
13. Name of adjoining owners
14. n/a Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. n/a Flood plain boundaries
16. Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. Show existing or proposed easements (note restrictions)
20. n/a Right-of-way width and Rights of Access and Utility Placement
21. n/a Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. Number of lots including residual lot
24. n/a Show any existing waterways
25. n/a A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

30. x Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. n/a If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. x Number of acres to be cleared or timber harvested
33. x Estimated or known cubic yards of material to be excavated and removed from the site
34. x Estimated or known cubic yards of fill required
35. x The amount of grading expected or known to be required to bring the site to readiness
36. n/a Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
37. n/a Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
 Licensed Professional

Date: 3 - 17 - 2020

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

PROXY

(OWNER) Robert P. Madan & Deborah C. Madan, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 757 Orchard Drive

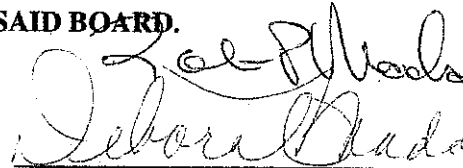
IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF Tax Parcel: 1-1-132

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH PLANNING BOARD AND Mercurio-Norton-Tarolli-Marshall IS AUTHORIZED TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 3 - 17 - 2020

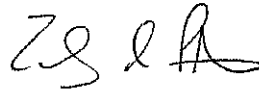


OWNERS SIGNATURE

Robert P. Madan
Deborah C. Madan

OWNERS NAME (printed)

Ann-Margaret Bolton



WITNESS' SIGNATURE

NAMES OF ADDITIONAL REPRESENTATIVES

Zachary A. Peters (Project Engineer)

WITNESS' NAME (printed)

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Robert P. Madan
Deborah C. Madan

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

3 - 17 - 2020

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:


 x **NONE**

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

 TOWN BOARD
 x **PLANNING BOARD**
 ZONING BOARD OF APPEALS
 ZONING ENFORCEMENT OFFICER
 BUILDING INSPECTOR
 OTHER

3 - 14 - 2020
DATED


INDIVIDUAL APPLICANT


CORPORATE OR PARTNERSHIP APPLICANT

BY: _____
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

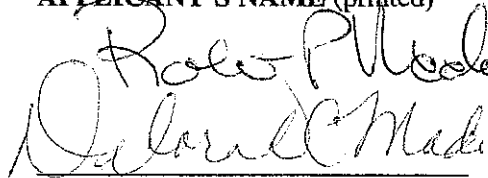
The applicant hereby acknowledges, consents, and agrees to the above.

3 - 14 - 2020

DATED

Robert P. Madan
Deborah C. Madan

APPLICANT'S NAME (printed)

Handwritten signatures of Robert P. Madan and Deborah C. Madan in cursive script, written over a horizontal line.

APPLICANT'S SIGNATURE

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: Robert P. & Deborah C. Madan
757 Orchard Drive Newburgh, NY 12589

Description of the proposed project: 3-lot residential subdivision
Existing dwelling to remain on one lot

Location of the proposed project: Orchard Drive, Town of Newburgh, Orange County
Tax Parcel: 1-1-132

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: None

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

Deborah C. Madan Robert Madan

APPLICANT'S SIGNATURE

3.14.20

DATE

Lawrence J. Marshall, P.E.
John Tarolli, P.E., L.S.

Zachary A. Peters, P.E.
Kenneth W. Vriesema, L.S.

Project Narrative

For

Madan Subdivision

Orchard Drive
Town of Newburgh
Orange County, New York
Town of Newburgh Project No. 2020-06

Prepared for:

Robert P. & Deborah C. Madan
757 Orchard Drive
Wallkill, NY 12589
518-331-8907

Prepared by:

Mercurio-Norton-Tarolli-Marshall
Engineering & Land Surveying, P.C.



Zachary A. Peters, P.E.

Prepared:
March 10, 2020



A. Description of Project Site:

The project site is located in the Town of Newburgh, Orange County, New York on the easterly side of Orchard Drive. The parcel is currently identified as tax map parcel: Section 1, Block 1, Lot 132. The project site contains approximately 6.448 acres of land located in the Agricultural (AR) zoning district.

B. Existing Conditions:

The project site contains an existing single-family dwelling, driveway, and lawn area. The majority of the site is currently wooded. According to the United States Department of Agriculture National Cooperative soil survey, the soils located on the project site are Bath-Nassau channery silt loam, classified as hydrologic soils group (HSG) "C" soils; and Mardin gravelly silt loam, classified as HSG "D" soils. There are no state- or federally-regulated wetlands located on the project site. Runoff from the project site is generally in the form of sheet flow.

C. Proposed Development:

The proposed development is a three (3) lot residential subdivision resulting in the creation of two (2) new tax parcels. The third lot will contain the existing dwelling and associated improvements. The proposed homes will be served by private, onsite wells and sewage disposal systems and will be accessed by private driveways from Orchard Drive (County Road #23). The sight distances for the proposed driveways exceed the AASHTO recommended stopping sight distances for the posted speed limit.

The project involves the re-subdivision of Lot 10 of the Northeast Construction Corp. Subdivision, filed in the Orange County Clerks' Office as Filed Map No. 252-02. The proposed lot sizes for Lots 1, 2, & 3 are 3.452-acres (154,285 sq.ft.), 1.445-acres (62,959 sq.ft.), and 1.461-acres (63,644 sq.ft.), respectively. The minimum lot size based upon the current zoning for the project site is 40,000 square feet.

D. Water Supply Requirements:

All proposed wells are to be bedrock wells yielding more than five (5) gallons per minute. All wells are to be constructed in accordance with the requirements of the New York State Department of Health Appendix 5-B, "Standards for Water Wells", Table 2. The overburden determined for this site most closely resembles Type 5. This type of overburden requires a 6" minimum casing firmly seated in rock. To mitigate the potential for water entering the wells at less than fifty (50) feet below grade, a minimum of fifty (50) feet of casing will be installed. Drill hole diameter shall be equal to the casing size plus 2" if grout is set using pressure placement, or the casing size plus 4" if grout is set using gravity placement.

E. Sewage Disposal Requirements:

The design of the proposed sewage disposal systems is based on the requirements of the New York State Department of Health (NYSDOH) and the Orange County



Department of Health (OCDOH). The Orange County Department of Health requires sewage disposal systems be designed for 110 gallons per day (gpd) per bedroom in accordance with NYSDOH Appendix 75-A.

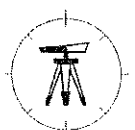
Each of the proposed lots will be designed for a four (4) bedroom house (440 gpd). The detail sheet and plans will show the design and location of the proposed sewage disposal systems. The proposed sewage disposal systems will be designed as absorption trench systems. Each design will include the preliminary area and the addition of a 50% reserve area in accordance with OCDOH regulations.

The proposed systems have been designed based on results of field testing completed by MNTM. Two (2) percolation tests and two (2) deep tests have been performed at each of the proposed sewage disposal system locations. The specific dates and soils testing results have been provided in tabular form on the plans. Systems have been designed with trench bottom separations being a minimum of 2.0' above groundwater, rock, or an impervious layer.

F. Stormwater Requirements:

The total proposed area of disturbance is approximately 0.94-acres. The project will disturb less than one (1) acre and will not require post-construction stormwater treatment and detention facilities in accordance with current New York State Department of Environmental Conservation (NYSDEC) stormwater regulations.

Erosion and sediment control measures will be installed during construction to prevent the transportation of sediment off-site. Silt fencing will be installed below the disturbed areas and stabilized construction entrances will be installed at each of the proposed driveway entrances. Erosion and sediment control measures will be maintained at all times during construction.



**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Madan Subdivision		
Project Location (describe, and attach a general location map): Orchard Drive, Town of Newburgh, Orange County		
Brief Description of Proposed Action (include purpose or need): Proposed 3-lot residential subdivision. One (1) lot contains an existing dwelling. All lots served by private driveways from Orchard Drive and onsite wells and sewage disposal systems.		
Name of Applicant/Sponsor: Robert P. & Deborah C. Madan		Telephone: 518-331-8907
		E-Mail:
Address: 757 Orchard Drive		
City/PO: Newburgh	State: NY	Zip Code: 12589
Project Contact (if not same as sponsor; give name and title/role): Mercurio-Norton-Tarolli-Marshall (MNTM) - Zachary A. Peters, Project Engineer		Telephone: 845-744-3620
		E-Mail: zpeters@mntm.co
Address: PO Box 166		
City/PO: Pine Bush	State: NY	Zip Code: 12566
Property Owner (if not same as sponsor): Same as Applicant		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Subdivision	March 2020
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town DPW (driveway permit)	March 2020
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

AR zone

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Walkill Central School District

b. What police or other public protection forces serve the project site?

NY State Police, Orange County Sheriff Office, Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?

Plattekill Fire

d. What parks serve the project site?

Cronomer Lake Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? 6.448 acres

b. Total acreage to be physically disturbed? ±0.94 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 6.448 acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Residential

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 3

iv. Minimum and maximum proposed lot sizes? Minimum 1.445 acres Maximum 3.542 acres

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	2 prop. (1 ex.)			
At completion of all phases	3			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 880 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

Private wells

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ 5 gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 880 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):
 Onsite sub-surface sewage disposal system _____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 n/a _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. Rooftop runoff from residential dwellings

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
Stormwater runoff will flow through onsite vegetation to the existing drainage courses along Orchard Drive

 • If to surface waters, identify receiving water bodies or wetlands: _____
Stormwater runoff ultimately tributary to NYSDEC wetland WD-50, located offsite >1,000' west

 • Will stormwater runoff flow to adjacent properties? Yes No
 iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ±1,200 kWh
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 grid/local utility
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____ 7:00 am - 7:00 pm
 • Saturday: _____ 9:00 am - 5:00 pm
 • Sunday: _____ -
 • Holidays: _____ -
 ii. During Operations:
 • Monday - Friday: _____ 24-hr
 • Saturday: _____ 24-hr
 • Sunday: _____ 24-hr
 • Holidays: _____ 24-hr

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
 Construction equipment during work hours _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Clearing of onsite vegetation for construction of proposed improvements

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Standard residential lighting _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Clearing of onsite vegetation for construction of proposed improvements

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.23	0.49	+0.26
• Forested	5.82	4.88	-0.94
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	-	-	-
• Agricultural (includes active orchards, field, greenhouse etc.)	-	-	-
• Surface water features (lakes, ponds, streams, rivers, etc.)	-	-	-
• Wetlands (freshwater or tidal)	-	-	-
• Non-vegetated (bare rock, earth or fill)	-	-	-
• Other Describe: <u>Grass/lawn</u>	0.40	1.08	+0.68

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >6 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Bath-Nassau channery silt loam	_____	77 %
Mardin gravelly silt loam	_____	23 %
	_____	%

d. What is the average depth to the water table on the project site? Average: _____ >6 feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	77 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	21 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	2 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
Whitetail deer	Grey Squirrel	Eastern Chipmunk
Opossum	Striped skunk	Various birds
Cottontail rabbit	Groundhog	Various reptiles & amphibians
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>		
<p>E.3. Designated Public Resources On or Near Project Site</p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Shawangunk Mountains Scenic Byway</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic Byway</u>	
<i>iii.</i> Distance between project and resource: <u>1.5</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

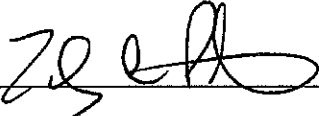
Attach any additional information which may be needed to clarify your project.

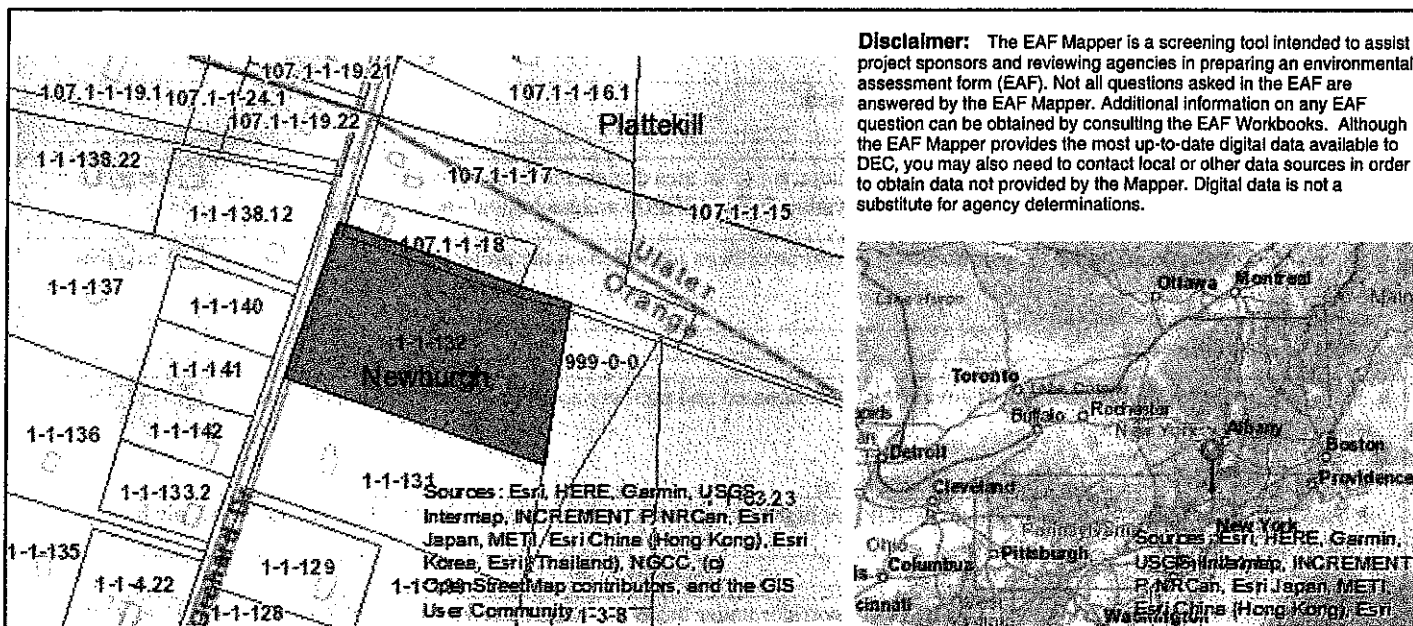
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

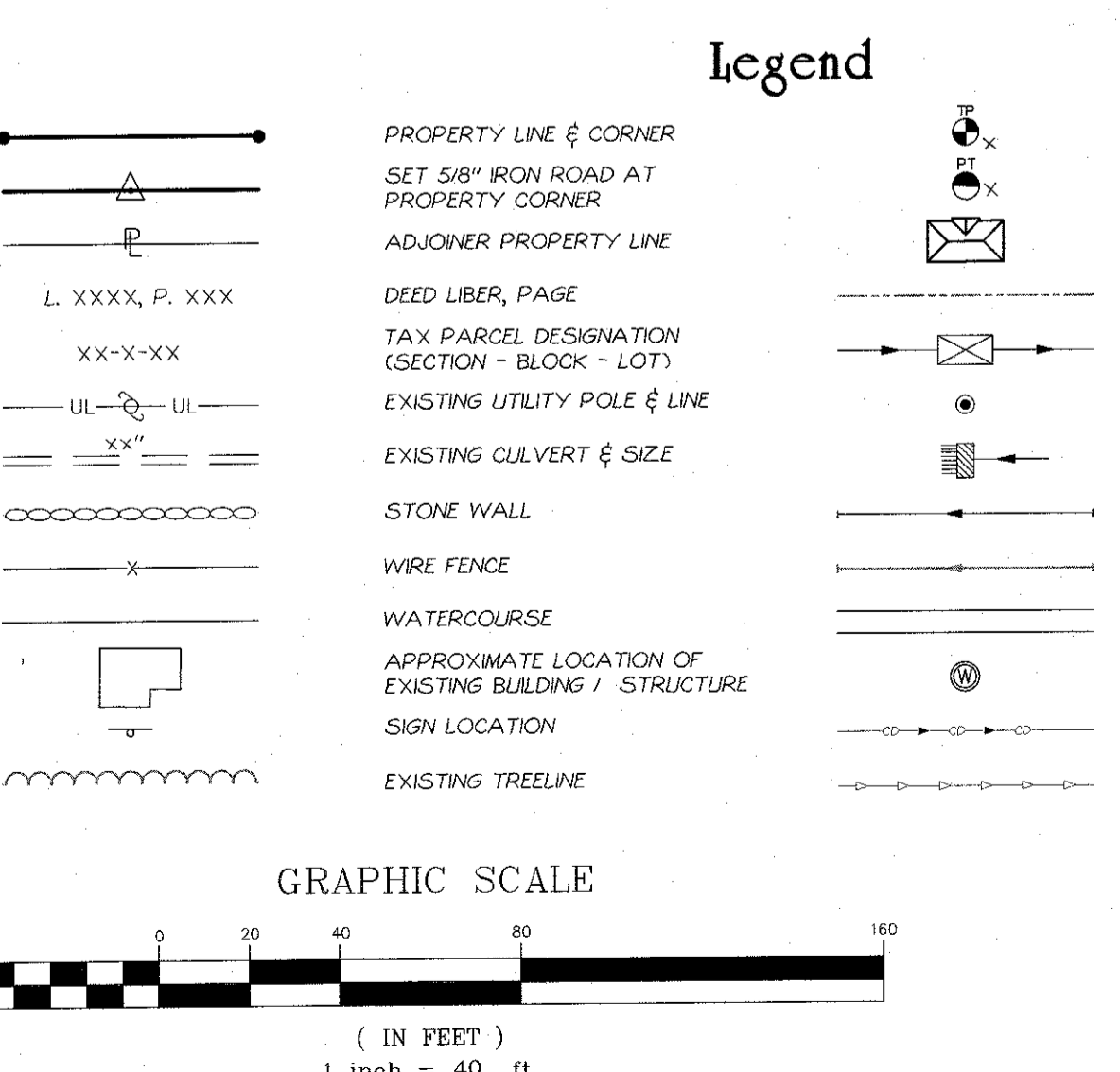
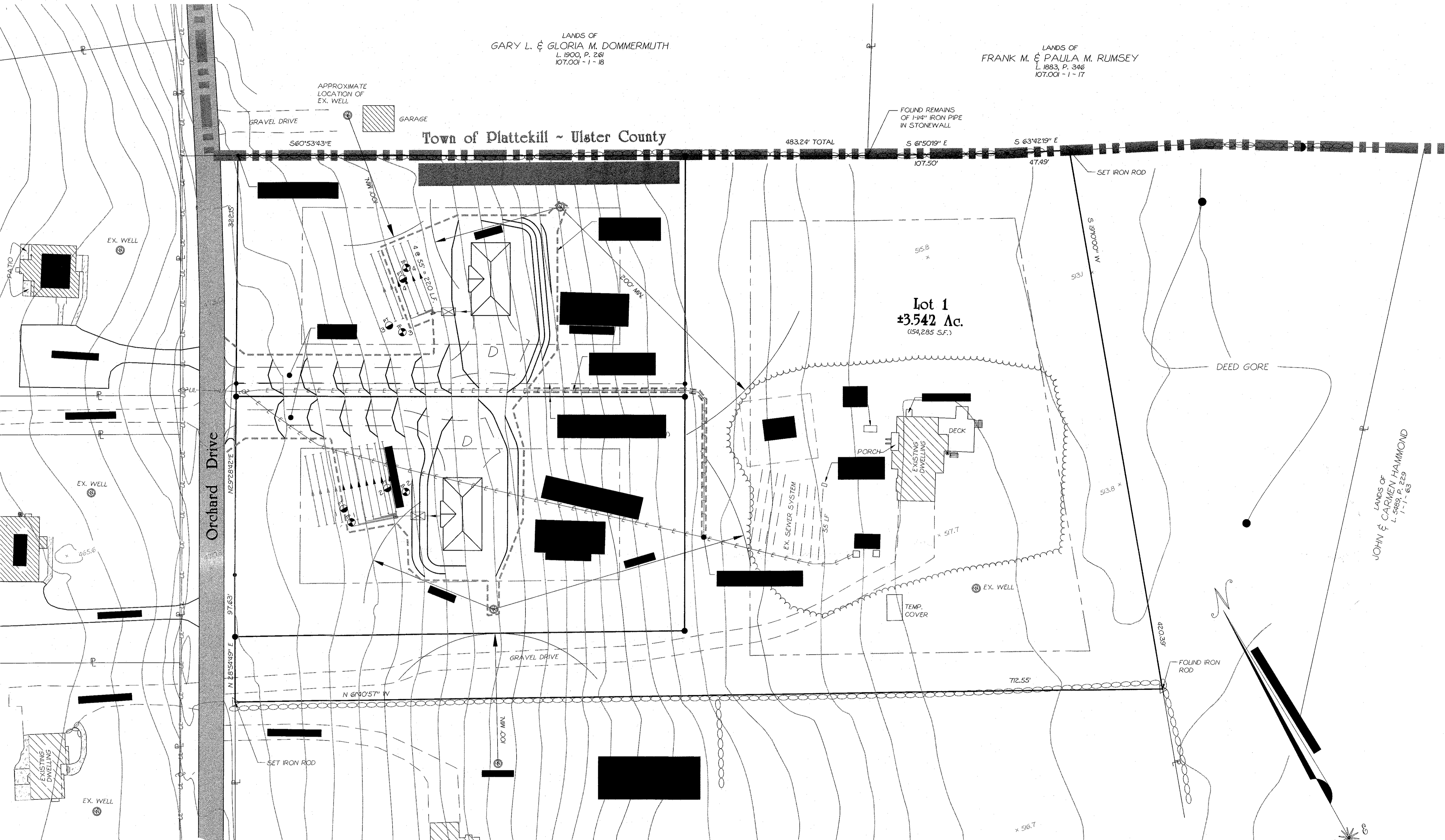
Applicant/Sponsor Name Robert P. & Deborah C. Madan Date March 10, 2020

Signature Zachary A. Peters  Title Project Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No

E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

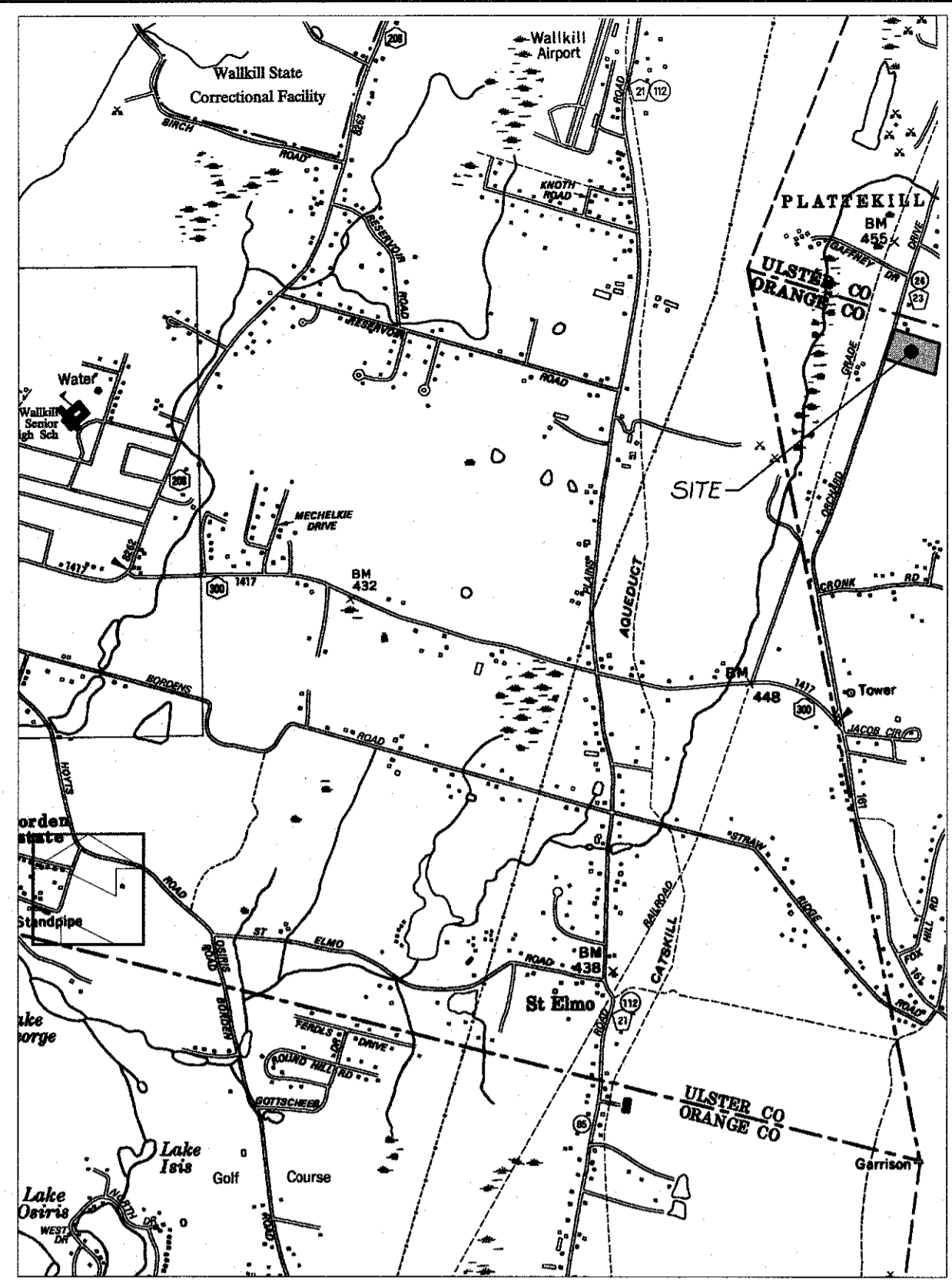


LANDS OF GARY L. & GLORIA M. DOMMERMUTH
L. 1900, P. 261
107.001 - 1 - 18

LANDS OF FRANK M. & PAULA M. RUMSEY
L. 1883, P. 346
107.001 - 1 - 17

Town of Plattekill ~ Ulster County

Lot 1
±3.542 Ac.
(154,285 S.F.)



Location Map
SCALE: 1" = 2,000'

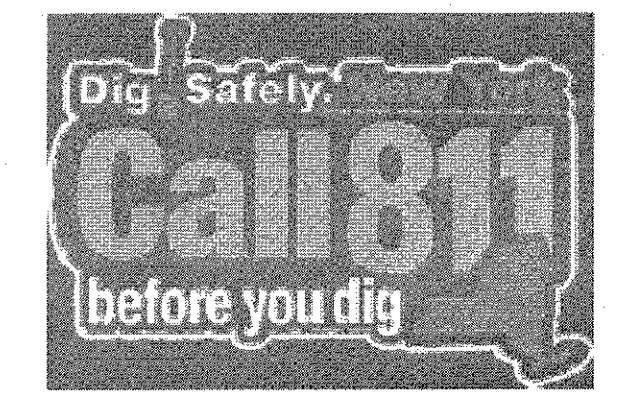
- Notes:**
- 1) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON JULY 23, 2002 AND MOST RECENTLY UPDATED ON FEBRUARY 15, 2020.
 - 2) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
 - 3) SUBJECT TO UTILITY GRANTS OF RECORD.
 - 4) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ORCHARD DRIVE FOR USE AS A PUBLIC HIGHWAY.
 - 5) VERTICAL DATUM IS NAVD83.
 - 6) THIS PARCEL IS KNOWN AS LOT 10 OF A MAP ENTITLED "SURVEY & SUBDIVISION MAP OF LANDS OF NORTHEAST CONSTRUCTION CORPORATION", FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 25, 2002, AS MAP NUMBER 252-02. SUBJECT TO ALL NOTES AND DETAILS AS SHOWN ON SAID FILED MAP.
 - 7) THERE ARE NO WELLS AND SEWAGE DISPOSAL SYSTEMS ON ADJACENT PROPERTIES WITHIN 100' OR 300' (AS REQUIRED BY NYS DOCS STANDARDS) OF THE PROPOSED WELLS AND SEWAGE DISPOSAL SYSTEMS FOR EACH LOT.
 - 8) NO EXCAVATED MATERIAL IS ANTICIPATED TO BE REMOVED FROM THE SITE. APPROXIMATELY 160 CY. OF FILL IS REQUIRED FOR THE HOUSE AND DRIVEWAY CONSTRUCTION. THE PROPOSED DISTURBANCE IS APPROXIMATELY 0.94 ACRES.
 - 9) LOT OWNERS SHALL BE RESPONSIBLE FOR CLEARING AND MAINTAINING 13 FEET FROM THE EDGE OF ORCHARD DRIVE PAVEMENT TO MAINTAIN ADEQUATE SIGHT DISTANCES.
 - 10) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SEWERAGE SYSTEM SUBJECT TO THE PROVISIONS OF LOCAL LAW 1, 1989, THE TOWN OF NEWBURGH BUILDING INSPECTOR MUST RECEIVE AN "AS-BUILT" PLAN OF SUCH SYSTEM BEARING THE FOLLOWING CERTIFICATION OF A PROFESSIONAL ENGINEER OR OTHER AUTHORIZED DESIGN PROFESSIONAL AS SET FORTH ABOVE: "I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."
 - 11) THE EXISTING BURIED UTILITY LINE SERVING THE DWELLING ON LOT 1 WILL BE RELOCATED AS SHOWN, SUBJECT TO A PROPOSED UTILITY EASEMENT THROUGH LOT 3 IN FAVOR OF LOT 1.

Zoning Legend: AR

SINGLE-FAMILY RESIDENTIAL	REQUIRED	LOT 1	LOT 2	LOT 3
MINIMUM LOT AREA	40,000 S.F.	154,285 S.F.	62,959 S.F.	63,641 S.F.
MINIMUM LOT WIDTH	150'	185'	184'	184'
MINIMUM LOT DEPTH	150'	341'	345'	345'
MINIMUM FRONT YARD	50'	158'	157'	178'
MINIMUM REAR YARD	50'	101'	158'	134'
MINIMUM SIDE YARD (ONE)	30'	142'	62'	62'
MINIMUM SIDE YARD (BOTH)	80'	341'	126'	129'
MINIMUM HABITABLE FLOOR AREA	900 S.F.	7900 S.F.	7900 S.F.	7900 S.F.
MAXIMUM LOT BUILDING COVERAGE	10%	15%	2.4%	2.7%
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'	<35'
MAXIMUM LOT SURFACE COVERAGE	20%	6.6%	8.6%	9.2%

Parcel Information

TAX PARCEL:	SECT. 1, BLOCK 1, LOT 132
AREA:	6.448 ACRES
RECORD OWNER:	ROBERT P. & DEBORAH C. MADAN 757 ORCHARD DRIVE WALLKILL, NY 12589
DEED REFERENCE:	LIBER 1823, PAGE 1588
MAP REFERENCE:	LOT 10, NORTHEAST CONSTRUCTION CORP. SUBD. FILED MAP #252-02 (8-25-2002)



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NO.	DATE	REVISION	BY

I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND FURTHER THAT SUCH DESIGN IS BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON EACH LOT AT THE LOCATION SHOWN. THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

I HEREBY CERTIFY TO ROBERT P. MADAN & DEBORAH C. MADAN THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO - NORTON - TAROLLI - MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON JULY 23, 2002 AND MOST RECENTLY UPDATED ON FEBRUARY 15, 2020.

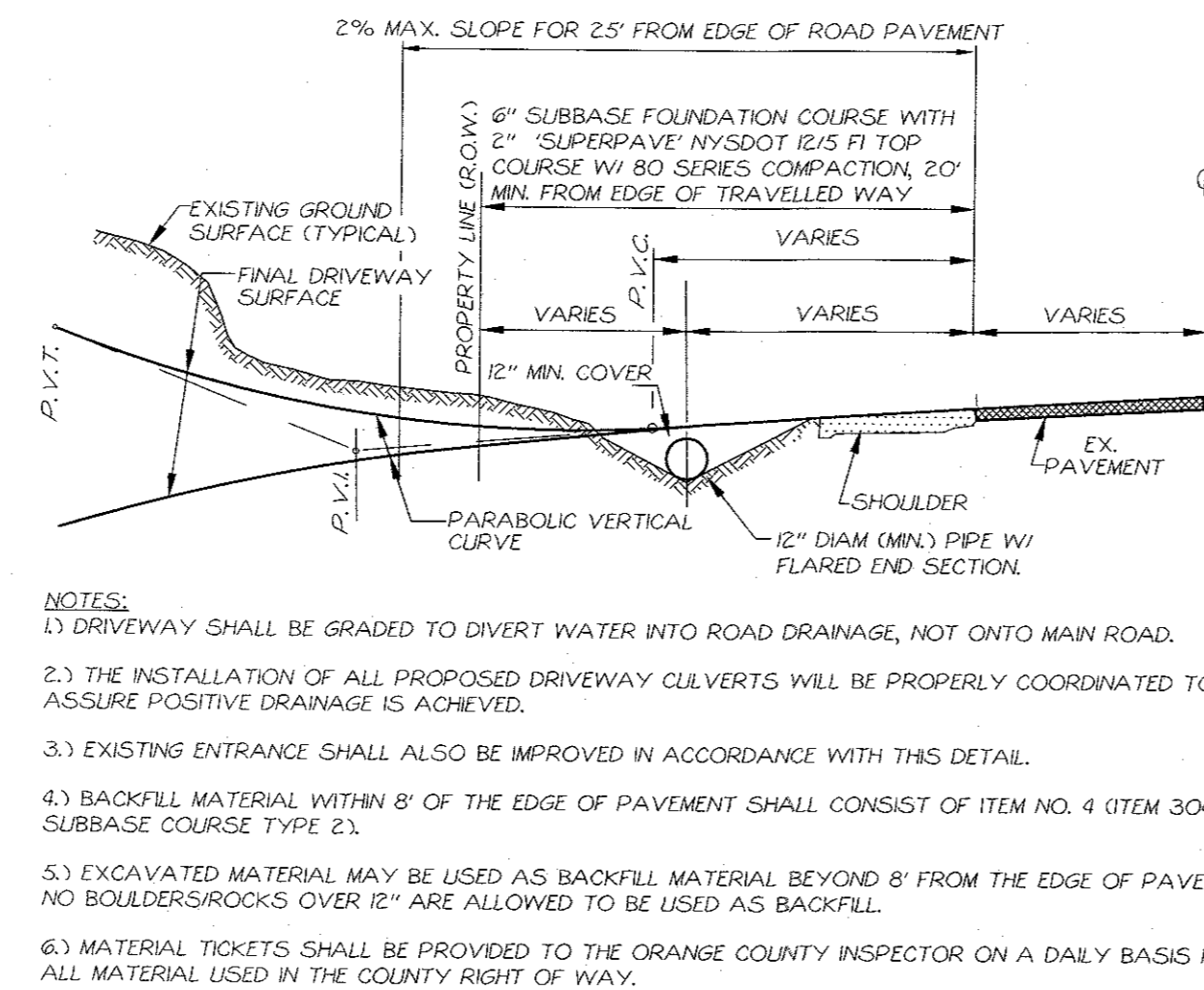
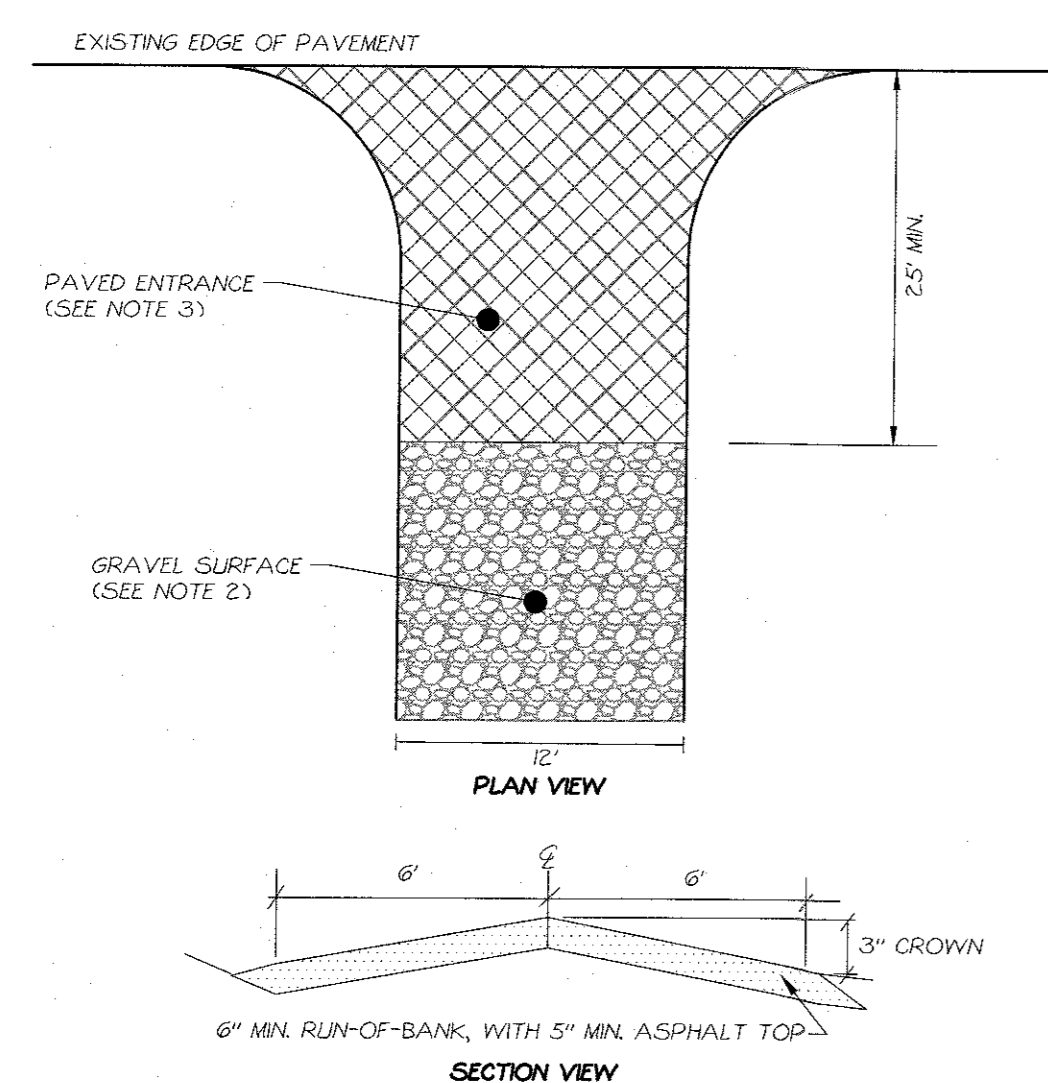
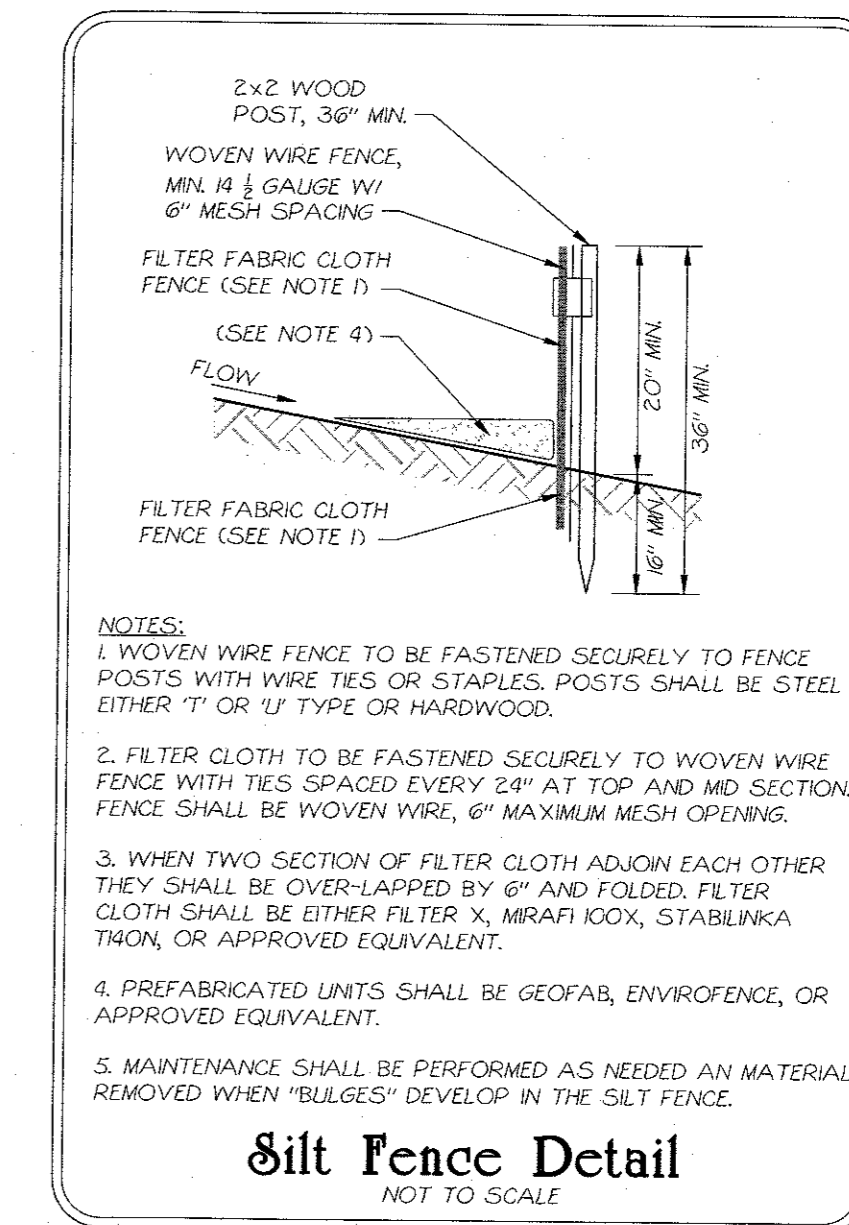
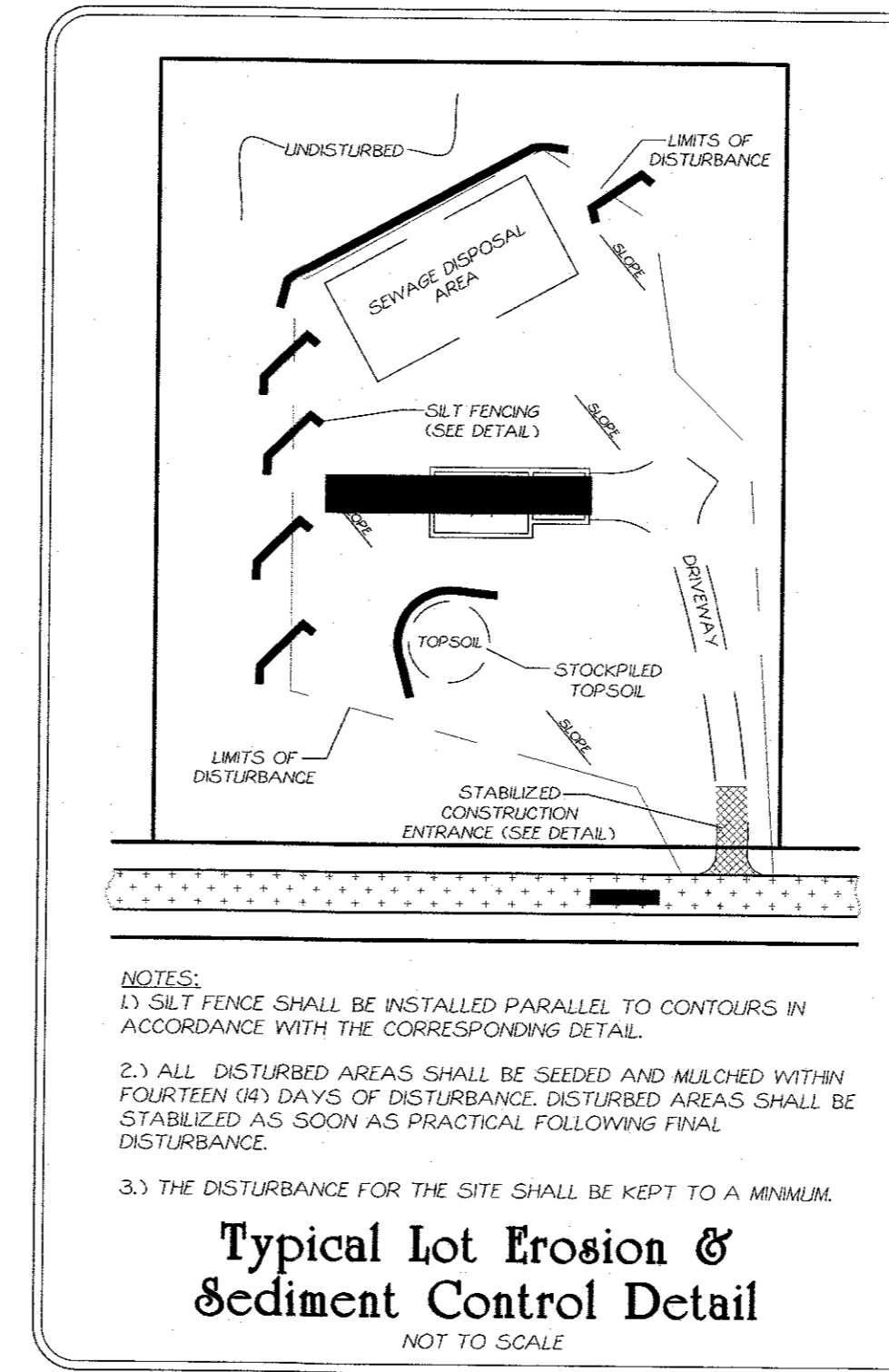
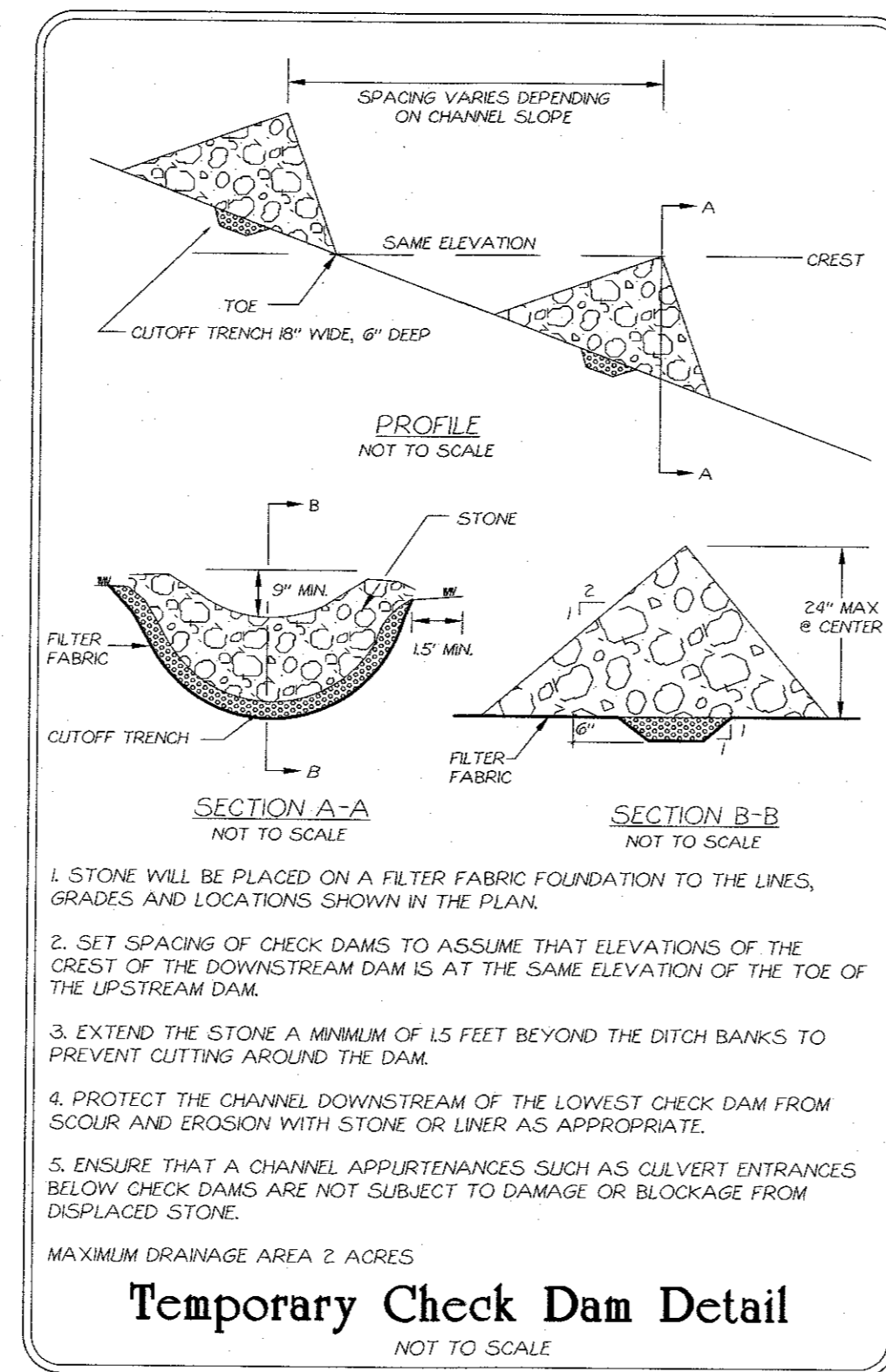
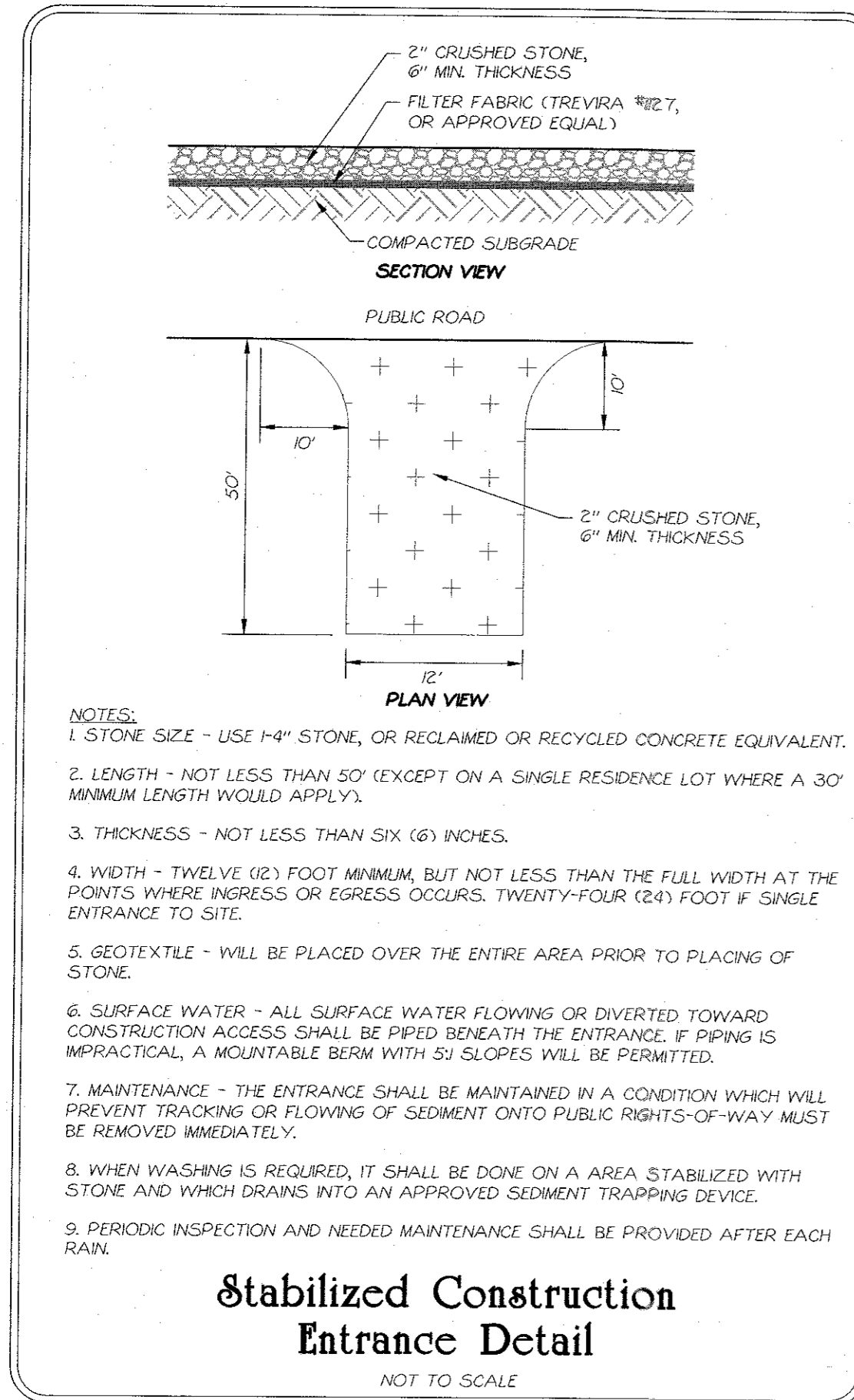
JOHN TAROLLI LS #049201
LAWRENCE MARSHALL PE #08707

Survey Map & Subdivision Plan
for Lands of
Robert P. & Deborah C. Madan

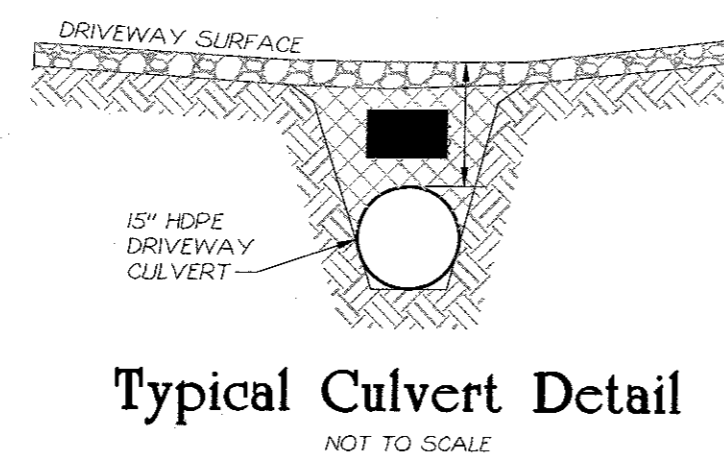
MNTM
Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744-3620 F: (845)744-3885 MNTM@MNTM.CO

TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: KWV
DATE: FEBRUARY 24, 2022
PROJECT: 2822-10B
SHEET: 1 / 4



Driveway Entrance Profile Detail



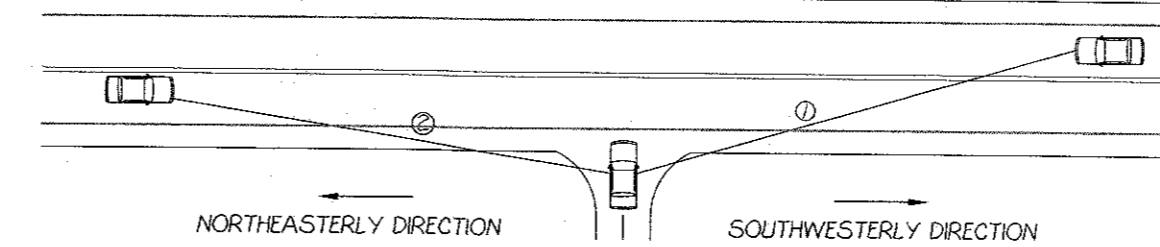
Typical Culvert Detail

Sight Distance Table

MEASUREMENTS RECORDED BY: R. SMITH DATE: FEBRUARY 19, 2020
SPEED LIMIT ALONGS ORCHARD ROAD = 30 MPH

LOCATION	SIGHT LINE	DISTANCE	NOTES
LOT 2	1	+600'	LIMITED BY VERTICAL CURVE
	2	+570'	CLEARING OF ROADSIDE VEGETATION REQUIRED
LOT 3	1	+570'	LIMITED BY VERTICAL CURVE
	2	+605'	CLEARING OF ROADSIDE VEGETATION REQUIRED

* NO CHANGES TO THE EXISTING LOT 1 DRIVEWAY PROPOSED OR REQUIRED.



Erosion & Sediment Control Notes:

- DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.
- THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 0.94 ACRES.
- IDLE DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION REQUIREMENTS IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016 EDITION. TEMPORARY STABILIZATION SPECIFICATIONS INCLUDE:
 - ANNUAL OR PERENNIAL RYEGRASS SEEDING WITH STRAW MULCHING AT A RATE OF 30 LBS PER ACRE.
 - COARSE WOOD CHIPS AT A RATE OF 500 LBS PER ACRE.
 - WOOD FIBER HYDROMULCH, AS PER MANUFACTURERS SPECIFICATIONS.
- ALL DISTURBED AREAS NOT ENCLUMBERED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, OR OTHER IMPERVIOUS COVER BE STABILIZED WITH BLUE GRASS BLEND, WITH THE FOLLOWING SPECIFICATIONS:
 - 25% FESTUCA RUBRA COMMUTATA (CHEVINGS FESCUE)
 - 15% LOLLUM PERENNE (PERENNIAL RYEGRASS)
 - 60% POA PRATENSIS (KENTUCKY BLUEGRASS)
- SEEDING SHALL BE PERFORMED AT A RATE OF FIVE (5) LBS. PER ACRE.

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NO.	DATE	REVISION	BY
			LAWRENCE MARSHALL PE #08707

Construction Detail Sheet
for
Robert P. & Deborah C. Madan

TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: FEBRUARY 24, 2020
PROJECT: 2822-10B
SHEET: 2 / 4

MNTM
Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744-5620 F: (845)744-3865 MNTM@MNTM.CO

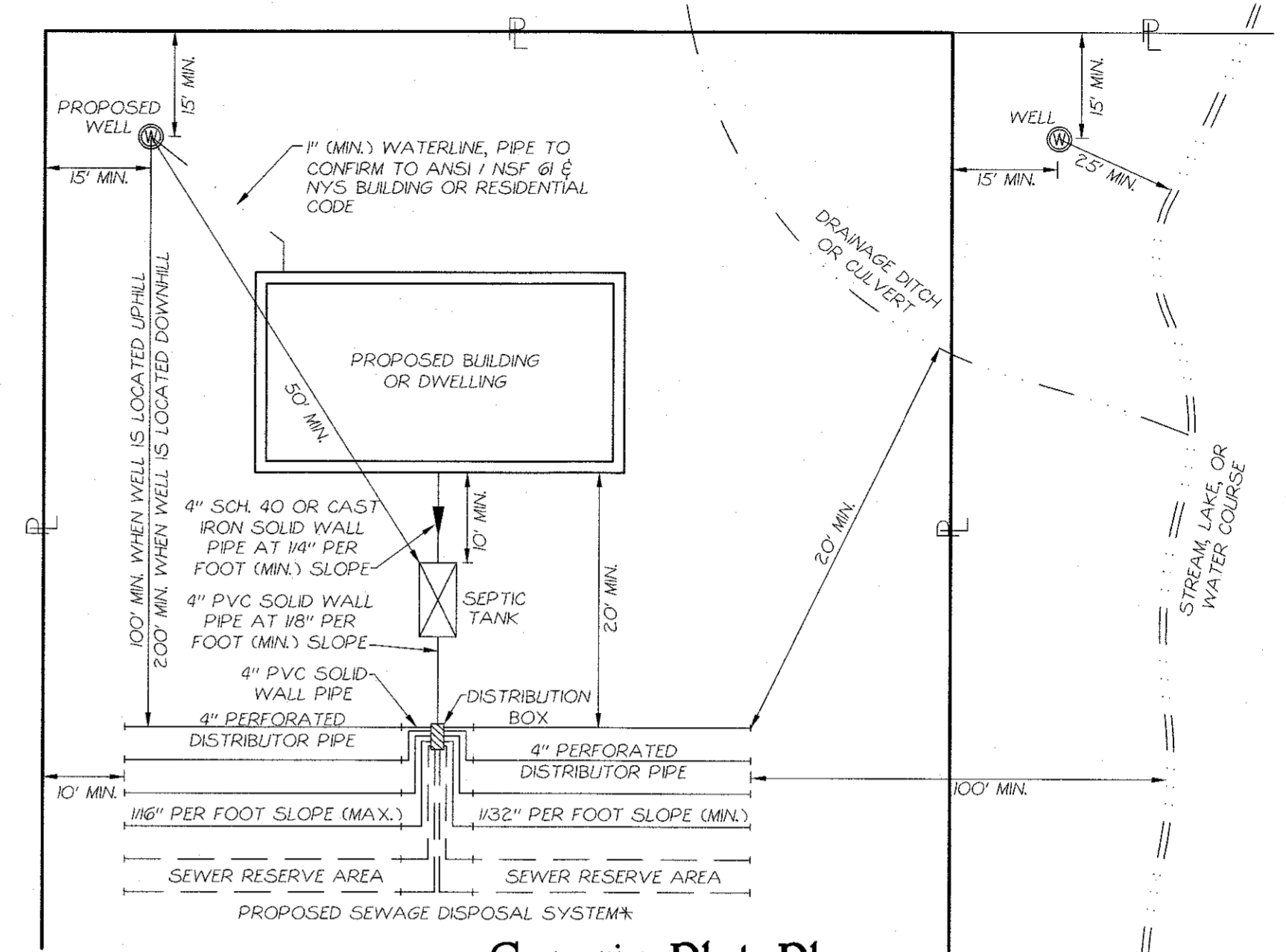
Deep Soils Testing Results

TEST HOLE #	1	2	3	4
TESTING DATE:	2-19-20	2-19-20	2-19-20	2-19-20
TESTER:	RTS	RTS	RTS	RTS
DEEP TEST SOIL LOG *NO WATER OR ROCK UNLESS SO NOTED	0' TOPSOIL 6"	0' TOPSOIL 6"	0' TOPSOIL 9"	0' TOPSOIL 9"
	1' SILT LOAM 18"	1' SILT LOAM 24"	1' SILT LOAM 24"	1' SILT LOAM 24"
	2' SILT LOAM W. SHALE FRAGMENTS 48"	2' SILT LOAM W. SHALE FRAGMENTS 48"	2' SILT LOAM W. SHALE FRAGMENTS 48"	2' SILT LOAM W. SHALE FRAGMENTS 48"
	3' SILT LOAM W. RIPPLE SHALE 63"	3' SILT LOAM W. RIPPLE SHALE 66"	3' SILT LOAM W. RIPPLE SHALE 63"	3' SILT LOAM W. RIPPLE SHALE 63"
	4' SILT LOAM W. RIPPLE SHALE 66"	4' SILT LOAM W. RIPPLE SHALE 66"	4' SILT LOAM W. RIPPLE SHALE 63"	4' SILT LOAM W. RIPPLE SHALE 63"
	5' SILT LOAM W. RIPPLE SHALE 66"	5' SILT LOAM W. RIPPLE SHALE 66"	5' SILT LOAM W. RIPPLE SHALE 63"	5' SILT LOAM W. RIPPLE SHALE 63"
	6' SILT LOAM W. RIPPLE SHALE 66"	6' SILT LOAM W. RIPPLE SHALE 66"	6' SILT LOAM W. RIPPLE SHALE 63"	6' SILT LOAM W. RIPPLE SHALE 63"
	7' SILT LOAM W. RIPPLE SHALE 66"	7' SILT LOAM W. RIPPLE SHALE 66"	7' SILT LOAM W. RIPPLE SHALE 63"	7' SILT LOAM W. RIPPLE SHALE 63"
	8' SILT LOAM W. RIPPLE SHALE 66"	8' SILT LOAM W. RIPPLE SHALE 66"	8' SILT LOAM W. RIPPLE SHALE 63"	8' SILT LOAM W. RIPPLE SHALE 63"

NOTES:

Percolation Testing Results

TEST HOLE #	1	2	3	3
TESTING DATE:	4-15-20	4-15-20	4-15-20	4-15-20
DEPTH / TESTER:	24" - RTS	24" - RTS	24" - RTS	24" - RTS
PERCOLATION TEST RESULTS *TESTING COMPLETED WITH A STOPWATCH RELEASED TIMES ARE IN MINUTES	RUN 1 ELAPSED TIME: 1:04	RUN 2 ELAPSED TIME: 23:03	RUN 3 ELAPSED TIME: 1:52	RUN 4 ELAPSED TIME: 2:19
	RUN 5 ELAPSED TIME: 1:31	RUN 6 ELAPSED TIME: 27:27	RUN 7 ELAPSED TIME: 2:09	RUN 8 ELAPSED TIME: 2:52
	RUN 9 ELAPSED TIME: 1:37	RUN 10 ELAPSED TIME: 28:42	RUN 11 ELAPSED TIME: 2:20	RUN 12 ELAPSED TIME: 2:59
	RUN 13 ELAPSED TIME:	RUN 14 ELAPSED TIME: 29:02		
	RUN 15 ELAPSED TIME:			
	RUN 16 ELAPSED TIME:			
	RUN 17 ELAPSED TIME:			
STABILIZED RATE:	1:37	29:02	2:20	2:59



Generic Plot Plan

* THE 'GENERIC PLOT PLAN' IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

General Notes:

- PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.
- SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.
- ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.
- NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.
- SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE. THE PIPE SHALL BE SCH 80 PVC OR CAST IRON.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE APPROVED BY THE DESIGN ENGINEER.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS.
- THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING A COPY OF THE NYSDC WELL COMPLETION REPORT.
- SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.

MINIMUM SEPARATION DISTANCES FROM EXISTING OR PROPOSED FEATURES

SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE, OR WATERCOURSE (B)	DWELLING	PROPERTY LINE	DRAINAGE DITCH (D) (G)
HOUSE SEWER (WATERTIGHT JOINTS)	50' (E)	25'	3'	10'	--
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD	100' (A)	100'	20'	10'	50'
SEEPAGE PIT	150' (A)	100'	20'	10'	50'
DRY WELL (ROOF & FOOTING)	50'	25'	20'	10'	10'
RAISED OR MOUND SYSTEM (C)	100' (A)	100'	20'	10'	50'

- (A) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COARSE GRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL.
- (B) MEAN HIGH WATER MARK.
- (C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.
- (D) RECOMMENDED SEPARATION DISTANCES.
- (E) UNLESS CAST IRON OR PVC WITH O-RING JOINTS IS UTILIZED, THEN 25'.

SYSTEM COMPONENT	SWALE, STREAM, OR WATERCOURSE	CEMETERY PROPERTY LINE	SUBDIVISION BOUNDARY
ABSORPTION FIELD	25'	100'	50'

(F) ALL DRAINAGE PIPES WITHIN 25 FEET OF ANY WELL SHALL BE WATERTIGHT

SYSTEM COMPONENT	HIGH WATER LINE OF A WET POND	INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN	CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE)	CURTAIN DRAIN	TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE	SOLID CURTAIN DRAIN, ROOF OR FOOTING PILES, SNOW STORAGE EASEMENT
ABSORPTION FIELD	100'	50'	3.5'	15'	2.5'	10'

Minimum Separation Distances From Existing Or Proposed Features

FOR ORANGE COUNTY - AS PER NEW YORK STATE DEPARTMENT OF HEALTH 'RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK', 2012 EDITION & ORANGE COUNTY POLICY & STANDARDS LAST REVISED SEPTEMBER 2014

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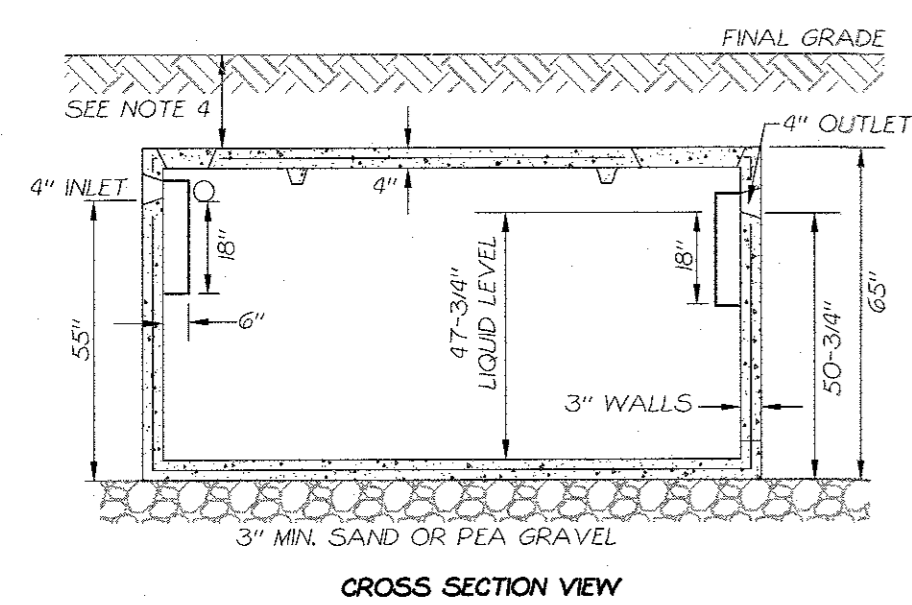
NO.	DATE	REVISION	BY
			LAWRENCE MARSHALL PE #087107

**Well & Sewage Disposal System
Detail Sheet I for
Robert P. & Deborah C. Madan**

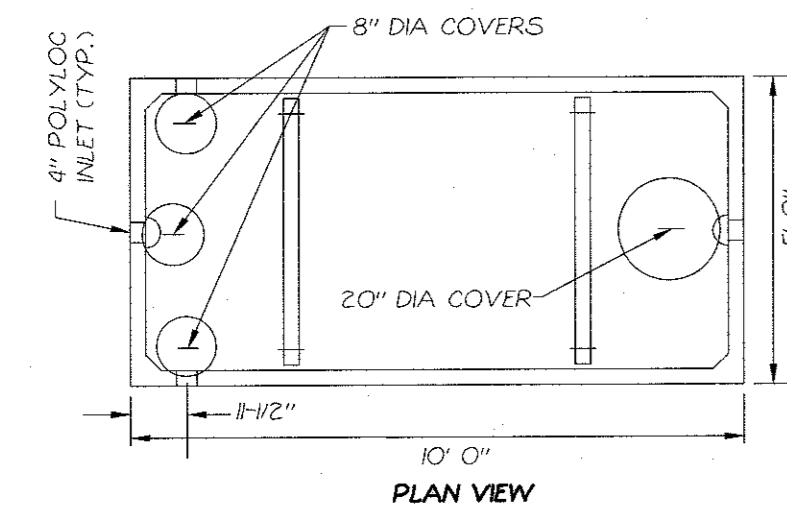
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TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: FEBRUARY 23, 2020
PROJECT: 2822-JOB
SHEET: 3 / 4



CROSS SECTION VIEW



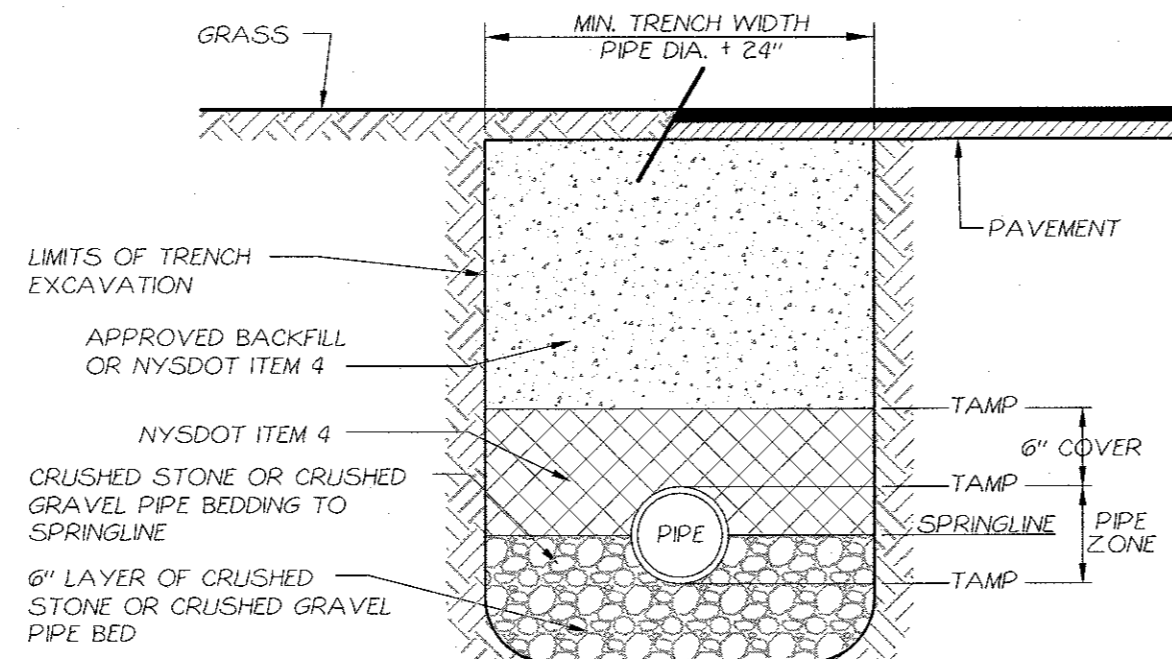
PLAN VIEW

- NOTES:
- 1) SEPTIC TANK SHALL BE MODEL ST-1250, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 368-3471
 - 2.) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 - 3.) INLET BAFFLE CAN BE RELOCATED TO THE SIDE.
 - 4.) IF COVER EXCEEDS 12" A RISER MUST BE USED TO ALLOW ACCESS.

CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS
 STEEL REINFORCEMENT: 6" X 6" X10 GA. STEEL WIRE MESH
 #4 REBAR AROUND PERIMETER
 CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT
 WEIGHT: 9,500 LBS
 LOAD RATING: 300 PSF

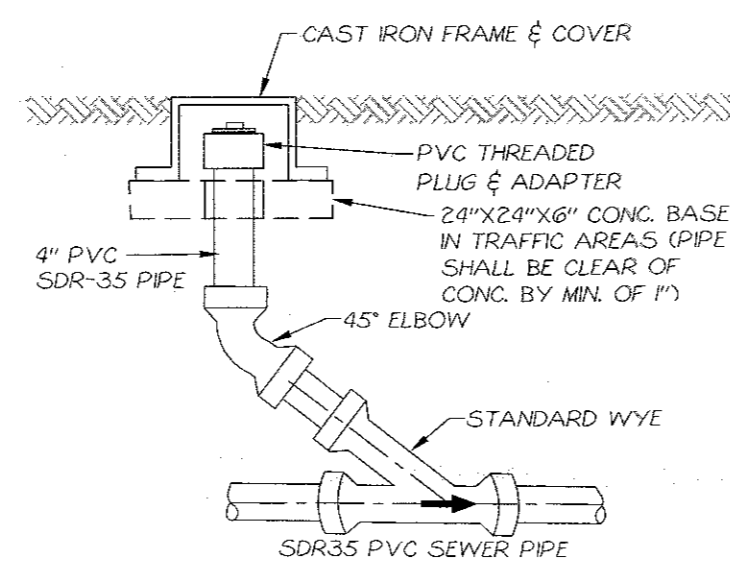
Typical Precast 1,250-Gallon Concrete Septic Tank

NOT TO SCALE



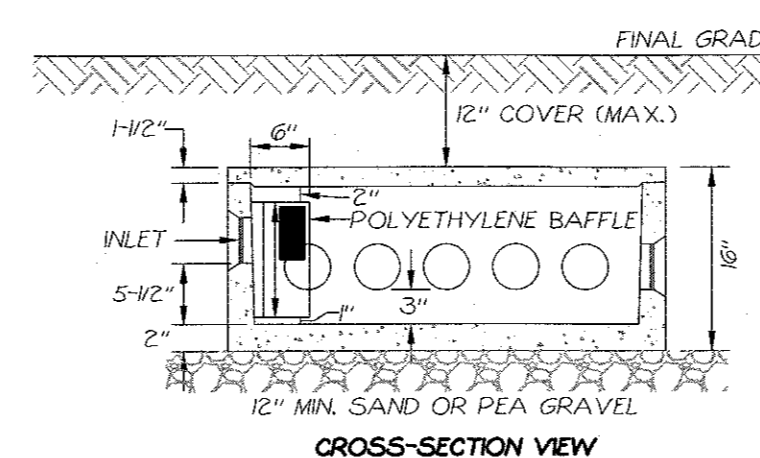
Typical Trench Detail

- NOTES:
- 1) NYS DOT ITEM 4 BACKFILL SHALL BE INSTALLED IN 6" LIFTS.
 - 2) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE NYS DOT ITEM 4 BACKFILL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
 - 3) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 4" NYS DOT ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 1-1/2" ASPHALT TOP COURSE.

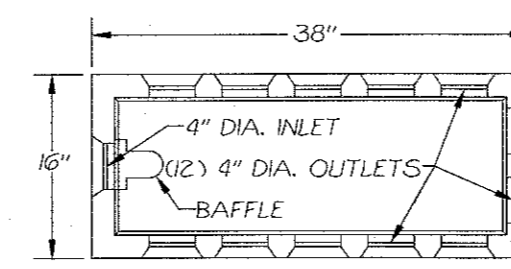


- NOTES:
- 1) CAST IRON FRAME & COVER AND CONCRETE BASE SHALL ONLY BE INSTALLED IF CLEANOUT IS IN VEHICULAR TRAFFIC AREAS.
 2. IN LAWN AREAS, CLEANOUT SHALL BE INSTALLED A MINIMUM OF 4" ABOVE FINAL GRADE.

In-Line Sewer Cleanout



CROSS-SECTION VIEW

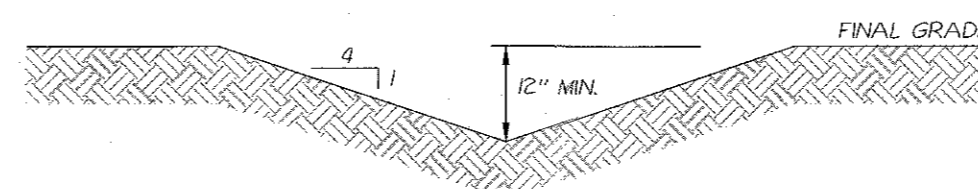


PLAN VIEW

- NOTES:
- 1) DISTRIBUTION BOX SHALL BE MODEL DB-12, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 368-3471
 - 2.) FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.
 - 3.) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 - 4.) A SANITARY TEE, 90° ELBOW, OR OTHER APPROVED BAFFLE SHALL BE INSTALLED AT THE INLET.
 - 5.) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
 - 6.) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

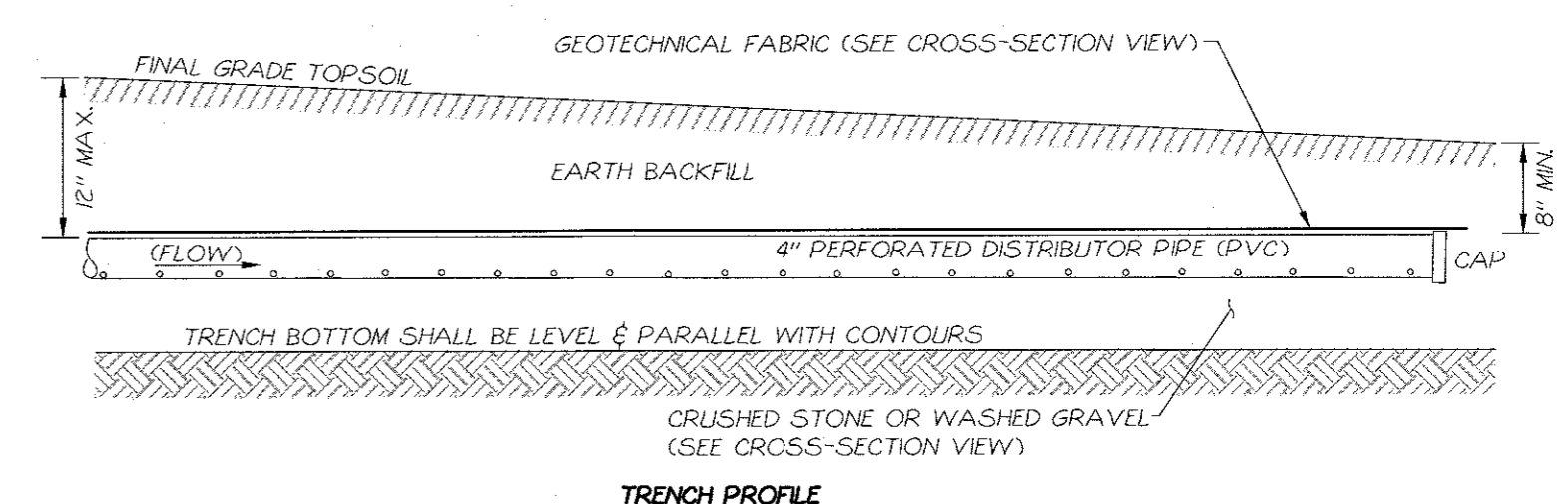
Typical Precast Concrete Distribution Box

NOT TO SCALE

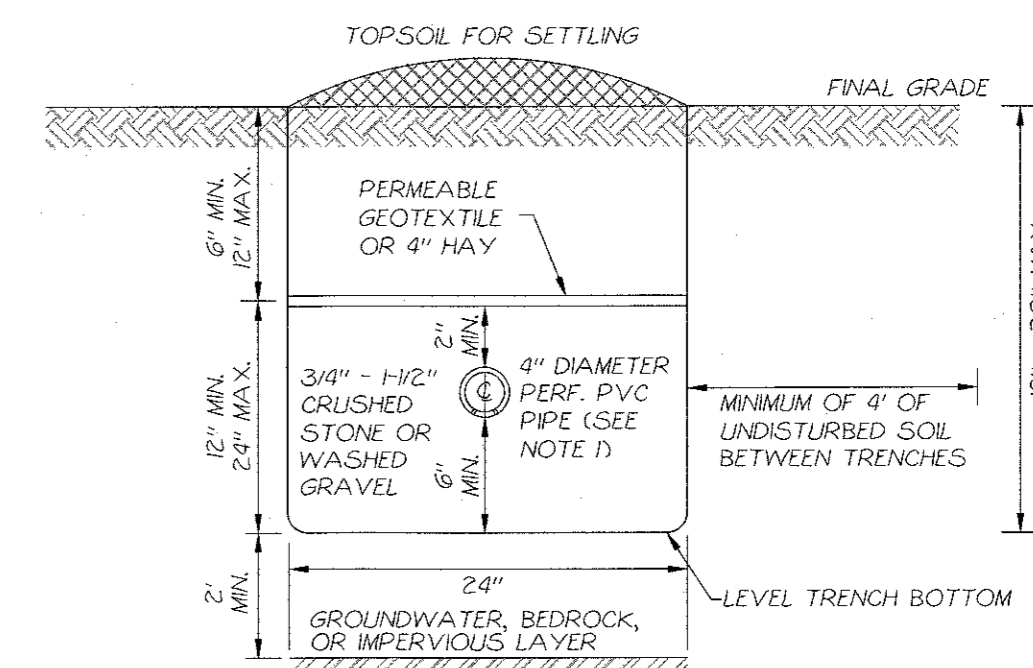


- NOTE: THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

Diversion Swale Detail



TRENCH PROFILE



CROSS-SECTIONAL VIEW

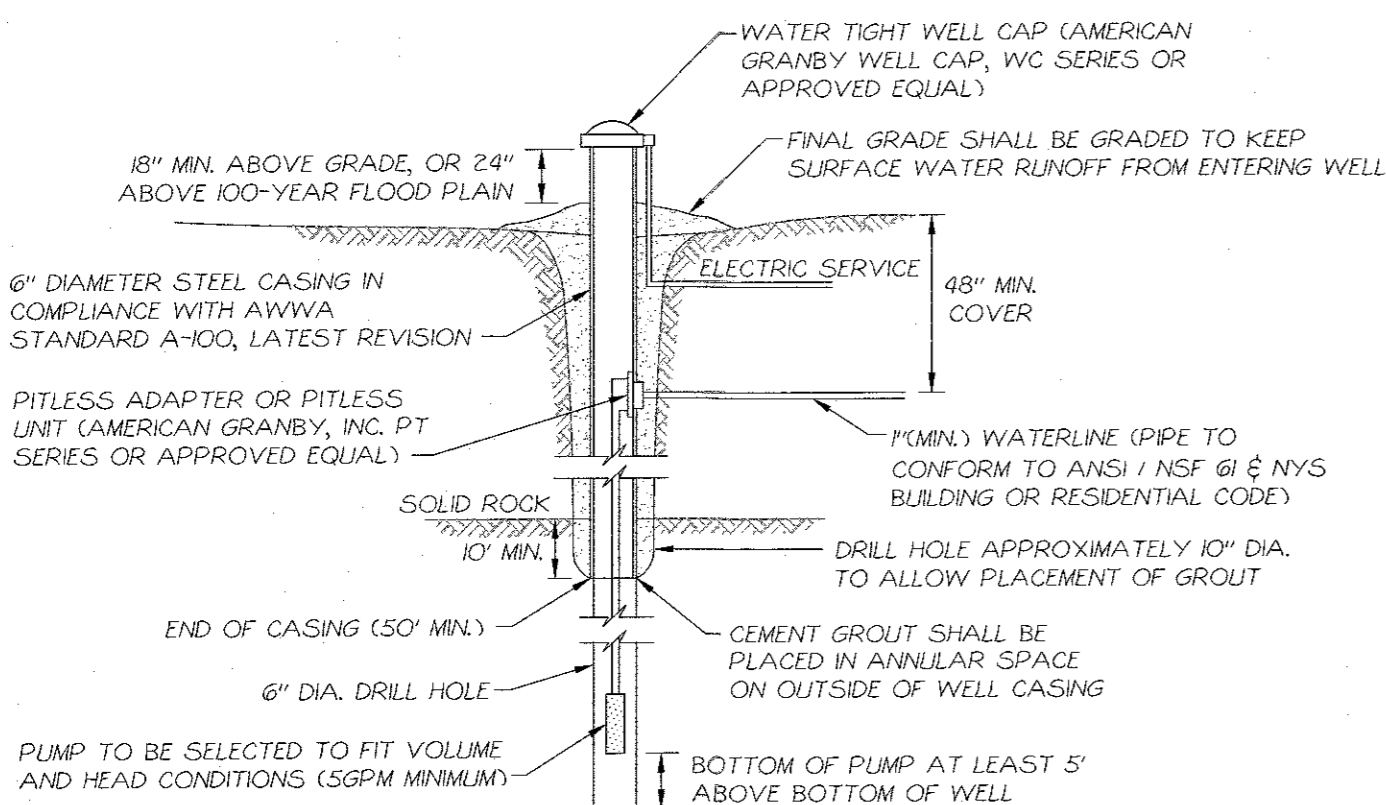
- NOTES:
- 1) DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.
 - 2.) DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE RAKED PRIOR TO INSTALLATION OF GRAVEL.
 - 3.) THE END OF EACH LATERAL SHALL BE CAPPED.
 - 4.) LATERALS SHALL BE SLOPED 1/8" - 1/32" PER FOOT FOR GRAVITY SYSTEMS. LATERALS SHALL BE INSTALLED LEVEL FOR PUMPED OR DOSED SYSTEMS.
 - 5.) LATERALS SHALL BE INSTALLED SIX (6) FEET ON CENTER, MINIMUM MAINTAIN A MINIMUM OF FOUR (4) FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.

Absorption Trench Detail

Sewage Disposal System Requirements

LOT	DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM	DESIGN STABILIZED PERCOLATION RATE (MIN.)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN
2	440	(250)	DB-12	A.T.	21 - 30	367	385	7 ROWS @ 55 L.F.
3	440	(250)	DB-12	A.T.	6 - 7	220	220	4 ROWS @ 55 L.F.

- NOTES:
- 1) A.T. = ABSORPTION TRENCH TYPE SYSTEM
 - 2.) THE DESIGN FLOW RATE OF 440 GALLONS PER DAY (GPD) IS BASED UPON 80 GPD PER BEDROOM * 4 BEDROOM.
 - 3.) NO CHANGES ARE PROPOSED TO THE EXISTING SEWAGE DISPOSAL SYSTEM OR RESERVE SEWER AREA ON LOT 1.



- NOTES:
- 1) WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE NEW YORK STATE DEPARTMENT OF HEALTH (NYS DOH) APPENDIX 5-B "STANDARDS FOR WATER WELLS."
 - 2.) THE WELL CAP MUST BE A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR FLOOD ELEVATION.
 - 3.) THE END OF WELL CASING SHALL EXTEND TO A MINIMUM DEPTH OF 50 FEET.

Typical Well Detail

<p>"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."</p> <p>"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYORS EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."</p> <p>"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."</p>	NO.	DATE	REVISION	BY	LAWRENCE MARSHALL PE #087107

Well & Sewage Disposal System Detail Sheet II for Robert P. & Deborah C. Madan

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Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.

TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

DRAFTED BY: ZAP
 DATE: FEBRUARY 24, 2020
 PROJECT: 2822-10B
 SHEET: 4 / 4